



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD
SPECIAL MEETING AGENDA**

Wednesday, July 22, 2020 at 4:30 p.m.

South Pasadena Design Review Board Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the regular meeting of the Design Review Board for June 4, 2020 will be conducted remotely and held by video conference. The Meeting will be broadcast live on the City's website (https://www.spectrumstream.com/streaming/south_pasadena_drb/live.cfm) and local cable channels.

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chambers will not be open for the meeting. Board members will be participating remotely and will not be physically present in the Council Chambers.

The Design Review Board welcomes public input. Members of the public may provide comments to the Design Review Board by emailing: PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Wednesday, July 22, 2020** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) what agenda item you are submitting public comment on, or if it is a general public comment. All comments/questions received will be distributed to the Board for consideration and will also be posted on the City's website prior to the meeting.

CALL TO ORDER:

Chair Mark Smeaton

ROLL CALL:

Melissa Hon Tsai, Yael Lir, Kay Younger, Samantha Hill, Vice-Chair, and Mark Smeaton, Chair

COUNCIL LIAISON:

Richard Schneider, M.D., Council Liaison

STAFF PRESENT:

Kanika Kith, Planning Manager
Malinda Lim, Associate Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENTS AND SUGGESTIONS

Members of the public may provide general public comments the Design Review Board by emailing: PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Wednesday, July 22, 2020** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) what agenda item you are submitting public comment on, or if it is a general public comment.

Pursuant to state law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC HEARING

1. **Project No. 2299-DRX – Design Review for a Two-Story Rear Addition with a Deck, Relocation of a One Car Garage With Attached Carport, and Demolition of the Existing Deck and Roof Structure to Accommodate the Two-Story Addition at 1319 Stratford Avenue.**

Recommendation

Approve the Design Review Permit with the creation of a subcommittee to work with the applicant on design changes, subject to conditions of approval.

CONSENT ITEMS

2. None

PRESENTATIONS

3. None

DISCUSSION ITEMS

4. None

ADMINISTRATION

- 5. Comments from City Council Liaison
- 6. Comments from Board Members
- 7. Comments from Staff

ADJOURNMENT

- 8. Adjourn to the regular Design Review Board meeting scheduled for August 6, 2020 at 6:30 p.m.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website.

The meeting will be broadcast live on the local cable channel (Spectrum Channel 19 and AT&T Channel 99) and on the City's website, and a recording of the meeting will be available within 48 hours of adjournment at the following links:

- Live Stream: https://www.spectrumstream.com/streaming/south_pasadena_drb/live.cfm
- Recorded meeting: https://www.spectrumstream.com/streaming/south_pasadena_drb/

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk’s Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.


 Date 7/16/20 Elaine Serrano,
 Administrative Secretary



Design Review Board Agenda Report

ITEM NO. 1

DATE: July 22, 2020

TO: Design Review Board

FROM: Joanna Hankamer, Director of Planning and Community Development
Kanika Kith, Planning Manager

PREPARED BY: Bryan Fernandez, Contract Planner

SUBJECT: **Project No. 2299-DRX: Design Review Permit** for a 1,562 square-foot, two-story addition to an existing 910 square-foot single-story single-family dwelling, addition of a 142 square-foot deck, relocation of an existing 244-square-foot (20 feet by 12 feet) one-car garage with an attached one-car carport located at 1319 Stanford Street (APN No: 5320-025-017)

Recommendation

Staff recommends that the Design Review Board approves the Design Review Permit with the creation of a subcommittee to work with the applicant on design changes, subject to conditions of approval.

Project Description

On February 13, 2020, the Applicant's representative, Adrian Dahl, submitted an application for a Design Review Permit to make the following changes to an existing single-story home located at 1319 Stratford:

- A 1,562 square-foot, two-story addition with a 142 square-foot deck at the back of the house
- Relocation of an existing 244-square-foot (20 feet by 12 feet) one-car garage with an attached one-car carport.

The proposed addition is composed of approximately 712 square feet on the first floor and approximately 866 square feet on the second floor. The project proposes to demolish an existing 254 square-foot deck, the interior of the existing residence, and portions of the existing roof structure to mount a 234-square-foot of the second-floor addition and a six-foot high (15 feet by 8 feet) dormer above the existing structure. Overall, the project would expand the floor area of the existing single-family residence to a total of 2,488 square feet.

The property is approximately 7,479 square foot and the existing home is approximately 910 square feet. No trees are proposed to be removed.

Location

The property is located on the block bounded by Monterey Road to the north, Marengo Avenue to the west, Oak Street to the south, and fronts Stratford Avenue to its east. Properties surrounding the site are

one- to two-story single-family homes and is on the same block as Marengo Elementary School south of the property. The property is non-contributing within the eligible Marengo Craftsman School District, and as the district is described the Historic Resources Survey, contributors are modestly sized, one- and two-story, single-family residences, set on rectangular lots with a common setback. Period revival and Craftsman style is the district's unifying stylistic architecture features. **Figure 1** is an aerial view of the project site (outlined in blue). **Figure 2** is a street view of the existing home. Additional images of the property are in Attachment No. 3.

Figure 1: Aerial View of Project Site

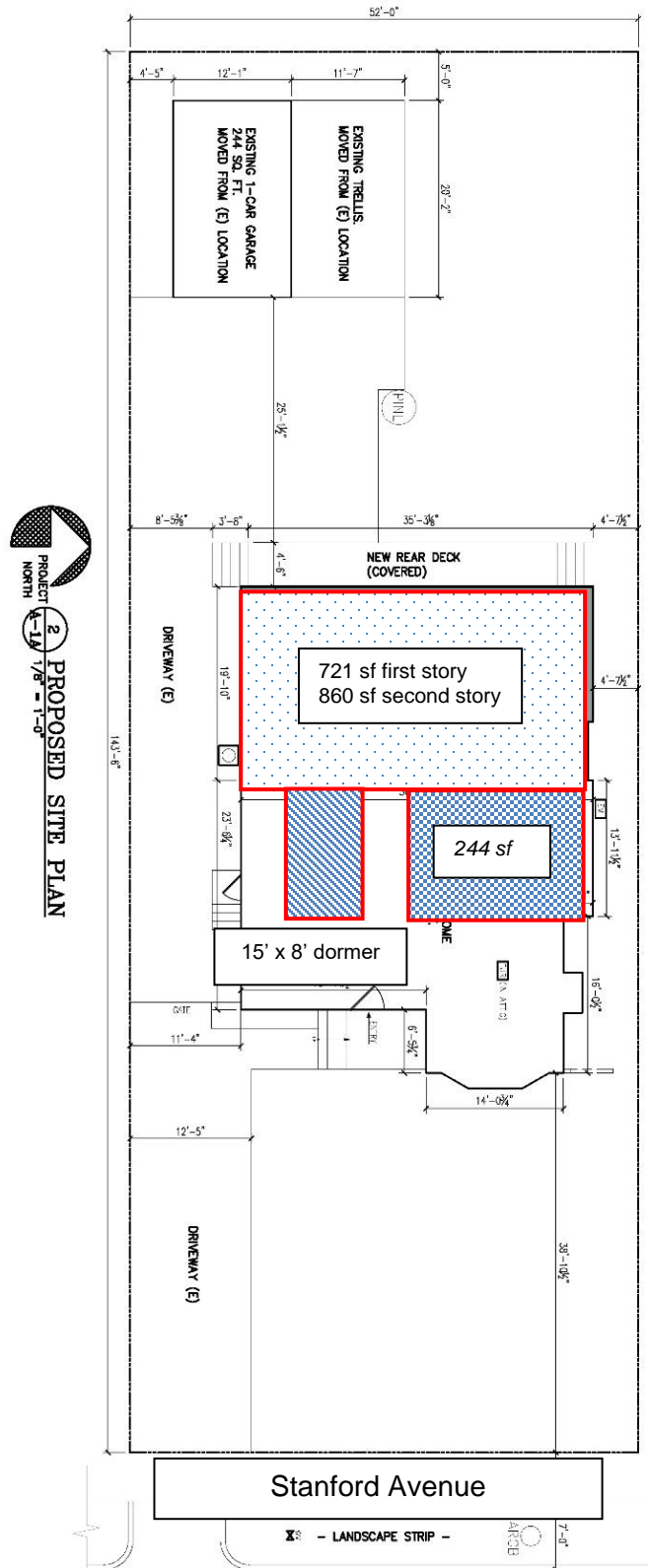


Figure 2: Street View of Existing House



The proposed site plan with the approximate location of the proposed addition and existing structures are outlined in red with portions above the existing structure pattern-filled in blue is illustrated in **Figure 3** below.

Figure 3: Proposed Site Plan



Project Analysis

General Plan Consistency

The General Plan land use designation of the site is Low Density Residential which allows single-family units to be built at a density between 3.5 to 6.0 dwelling units per acre. The proposed project involves the addition to a single-family dwelling and does not exceed the number of allowable units for the property, therefore, it is consistent with the General Plan.

The *project with conditions of approval for design changes* (Condition No. P9 in Attachment 1 Conditions of Approval) would be consistent with the goal and applicable policies identified below:

- Quality New Developments Goal 8: To harmonize physical change to preserve South Pasadena’s historic character, scale, and “small town atmosphere ”
- Policy 8.1 (Require contextual, compatible and responsible design); and
- Neighborhood Protection Goal 10: To preserve the scale, architectural character, infrastructure and landscape assets of South Pasadena’s established residential neighborhoods)
- Policy 8.1 (Prevent mansionization). Ensure that remodeling or infill development in established residential neighborhoods is harmonious in scale and building form with its context and that “mansionization” is both avoided and prevented.

Zoning Code Compliance

The project site is 7,488 square feet and is a nonconforming parcel since it is less than the required 10,000 square feet in the RS Zone. This project is subject to Section 36.220.050 (Development of Small Nonconforming Residential Parcels) in addition to the applicable provisions of Section 36.220.040 (Residential Zoning District General Development Standards). Table 1 and Table 2 lists the project’s conformance with applicable development standards.

The first and second-story addition on the north side are 4 feet 7 inches from the north property line and do not meet the following setback requirements.

- Table 2-3 of Section 36.220.040 of the Zoning Code requires a side setback equivalent to 10% of the lot width in the RS Zone. The 52-foot-wide lot would require a minimum setback of 5 feet and 2 inches. The proposed addition facing the north side property line does not meet the setback requirements of Section 36.220.040.
- Section 36.220.050(B)(2) of the Zoning Code requires the second story to be set back a minimum of three feet from the side of the house. For this property, the second-story setback is 8 feet and 2 inches from the property line. On the north side, the second-story addition is directly above the non-conforming first floor setback and provides no step back. This standard can be waived if the project’s architectural style requires a zero front or side second story set back (step back).

Table 1: Residential Zoning District General Development Standards (RS Zone)			
	<i>Allowed/Required</i>	<i>Existing</i>	<i>Proposed</i>
Lot Coverage	50% (3,740 sq. ft.)	18.8% 1,408 sq. ft.	23.2% 1,764 sq. ft.
Floor Area Ratio (excludes carport and garage)	35% (2,618 sq. ft.)	12.2% 910 sq. ft.	33.3% 2,488 sq. ft.
Building Height	35'	19' – 8"	22.5'
Off-Street Parking	2 covered spaces	2 covered spaces (one-car garage and one-car carport)	2 covered spaces (one-car garage and one- car carport)
Front and Rear Setback	20 feet, or 15 feet for houses with a front porch	Front: 39' Rear: 74.5'	Front: 39' ground floor 55' second-story Rear : 55' to addition 50' rear deck
Side Setbacks and Step Back	Ground-floor (10% of lot width) – 5' – 2" Step back (Additional 3 feet): 8' – 2"	North: 4' – 7" South: 11' - 4'	North: 4' – 7" ground floor and second story. Exception request required South: no change
Detached Garage Setbacks	5 ft. side and/or rear property line	Side: 4.5' Rear: 5'	Side: 4.5' feet existing non-conforming Rear: 5'

Exception Request

The applicant is requesting from the Design Review Board to grant an exception to Section 36.220.050(B)(2) and allow for zero-foot second story setback (step back) along the north side of second-story addition. This provision requires that the DRB make a determination that the project's architectural style requires a zero front or side second-story step back. Staff recommends conditions of approval that include design recommendations to achieve compliance with all Zoning Code provisions. This includes a condition to allow the option for the project's ground-floor setback line to match that of the existing residence's non-conforming setback if the DRB determines that it is required for the architectural style of the project.

Table 2: Residential Zoning District General Development Standards (Design Compatibility)		
	<i>Existing</i>	<i>Proposed</i>
Architectural Styles	One-story bungalow	Modern
Building Form	<p>A building volume with dimensions that demonstrate proportional relationships. The building height (18'-4") is half the building width (36 feet) and composed of roof and building wall equal in height (8'-4"). Split façade midpoint (18 feet) along its width.</p> <p>Multiple architectural styles and their variants such as Minimal Traditional, Ranch, Prairie, and Spanish Revivals have a similar form found in the existing bungalow and the prevailing style of the established neighborhood</p>	<p>Multiple building volumes with specified dimensions</p> <ul style="list-style-type: none"> • Flat-shaped dormer (attic with a ceiling height of 6 feet and street-facing width of 8 feet) projects out 15 feet from the second-story addition to replace an existing pitched roof structure. • 2nd-story include a 28' x 19', 10-foot ceiling height portion on the south side and a 32' by 18, 8'-4" ceiling height portion on the north side. • Ground floor addition is 19'-10" x 36', 8'-4" ceiling height internally integrated into existing 30' x 36' building <p>The proposed building form has characteristics of multiple architectural styles and their variants such as Modernistic and International.</p>
<i>Building Walls and Floor Plan</i>	<p>Rectangular (maximum dimensions of 36 feet and length of 30 feet) changes in plane include:</p> <ul style="list-style-type: none"> • Front: a building façade with a step back at 18 feet (50% of the façade) to create a projecting gabled wing with a depth 20% of the building length (6.5 feet) • Sides and front: Lengths no longer than 23.5 feet and or shorter than 3 feet 	<p>Rectangular (maximum dimensions of 36 feet and length of 32 feet) changes in plane include:</p> <ul style="list-style-type: none"> • Front (north): the second-story addition projects 13'-2" (40% building length) above the existing structure and façade is 18 feet or 67% of the building width • Sides and front: Lengths include 32' at second story (north) with a six-foot portion recessed a few

	with other lengths around 12 to 18 feet; projecting wing façade is provided with polygonal segments	inches. Other lengths are 19 feet, 15 feet, and 13 feet.
<i>Roof</i>	Hipped and front- and side-gabled roof with steep-slope (9:12) pitch. The roof's dimension, pitch, and shape are constant and intersecting ridgelines appear as exterior wall plane projects.	Flat roof proposed for second-story addition, including flat dormer, and to replace existing pitch roof over existing residence. Demolition includes 400 square feet of the existing pitched roof and to be replaced with 1,100 square feet flat roof structure. Roofline is continuously horizontal with a slight step down in height on the north side due to its lower ceiling height.
Materials and Colors	One-over-one wood-frame windows with simple wood surrounds in a variety of rectangular configurations. The home is sheathed in horizontal wood cladding. The roof is made of composition roof shingles replaced in 1982.	Exterior wall is clad using New Hardie Plank Lap siding. Wood-fascia proposed on the flat roofline instead of shingles. Some windows are proposed to be changed, most of the new ones will be metal-framed. Horizontal grouping of ribbon window casement and windows flush with the wall surface. Current design uses thin layer of shingles as ornamentation to demarcate the ground-floor from the second-story.

Figure 4: Existing & Proposed East Elevations (Front)



Proposed



Figure 5: Existing & Proposed South Elevations (Side)



Proposed

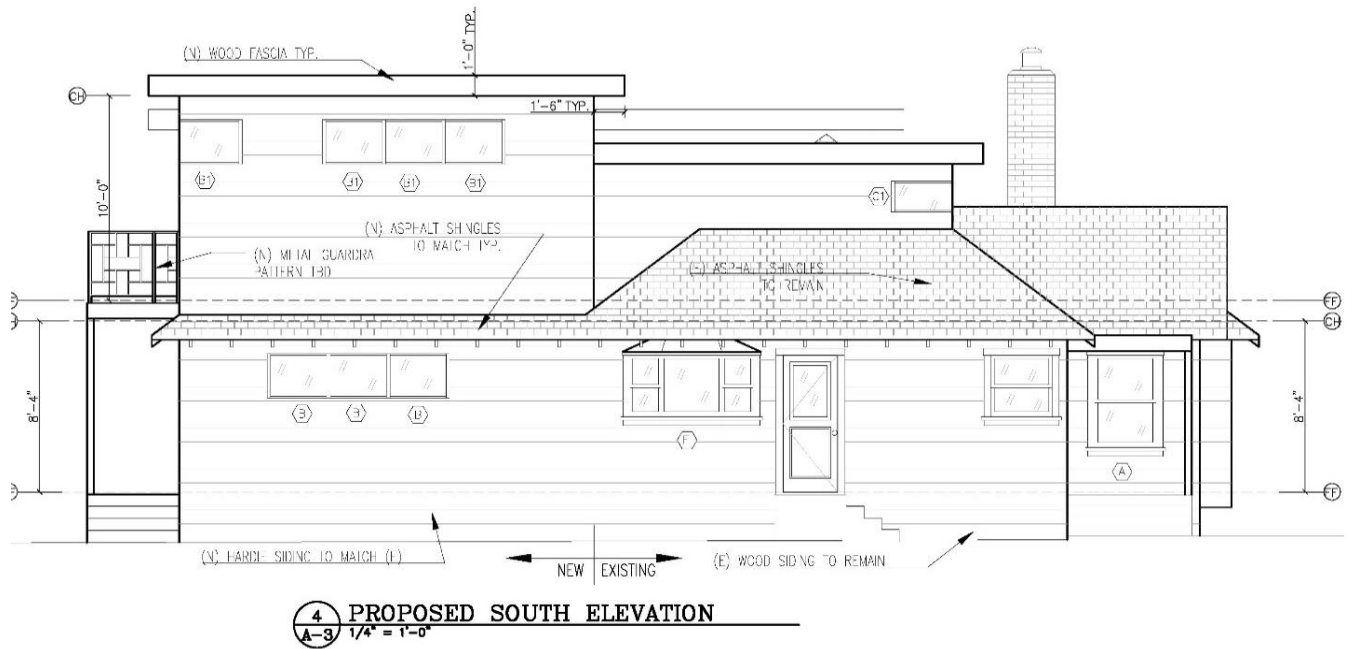


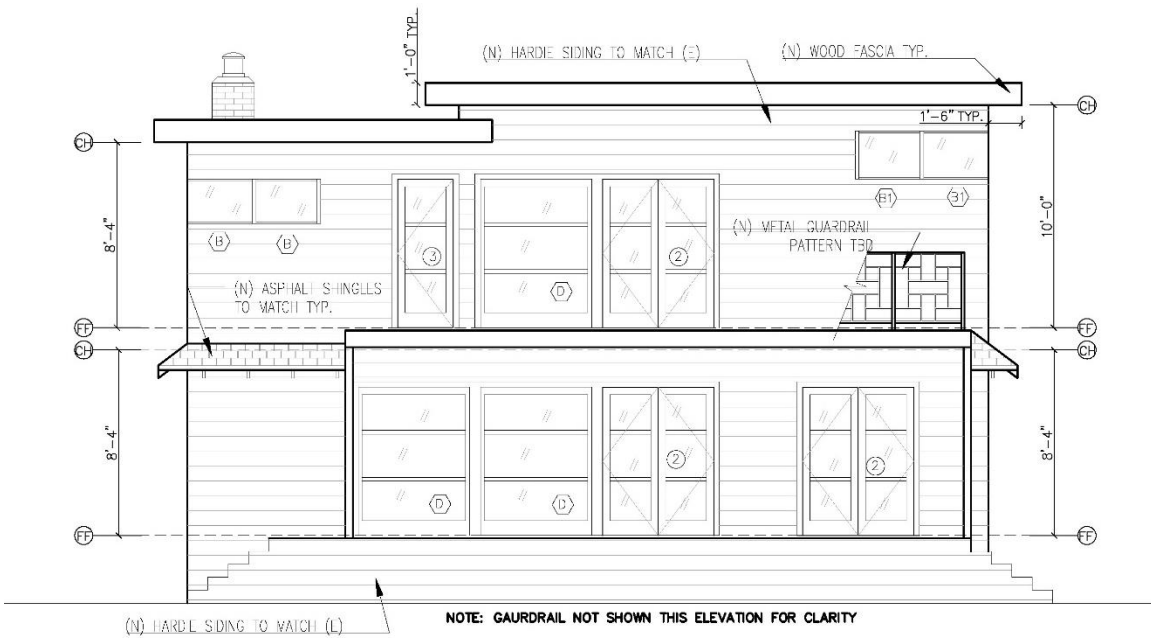
Figure 6: Existing & Proposed West Elevations (Rear)

Existing



1 EXISTING WEST ELEVATION
 A-4 1/4" = 1'-0"

Proposed



3 PROPOSED WEST ELEVATION
 A-4 1/4" = 1'-0"

Figure 7: Existing & Proposed North Elevations (Side)

Existing



Proposed

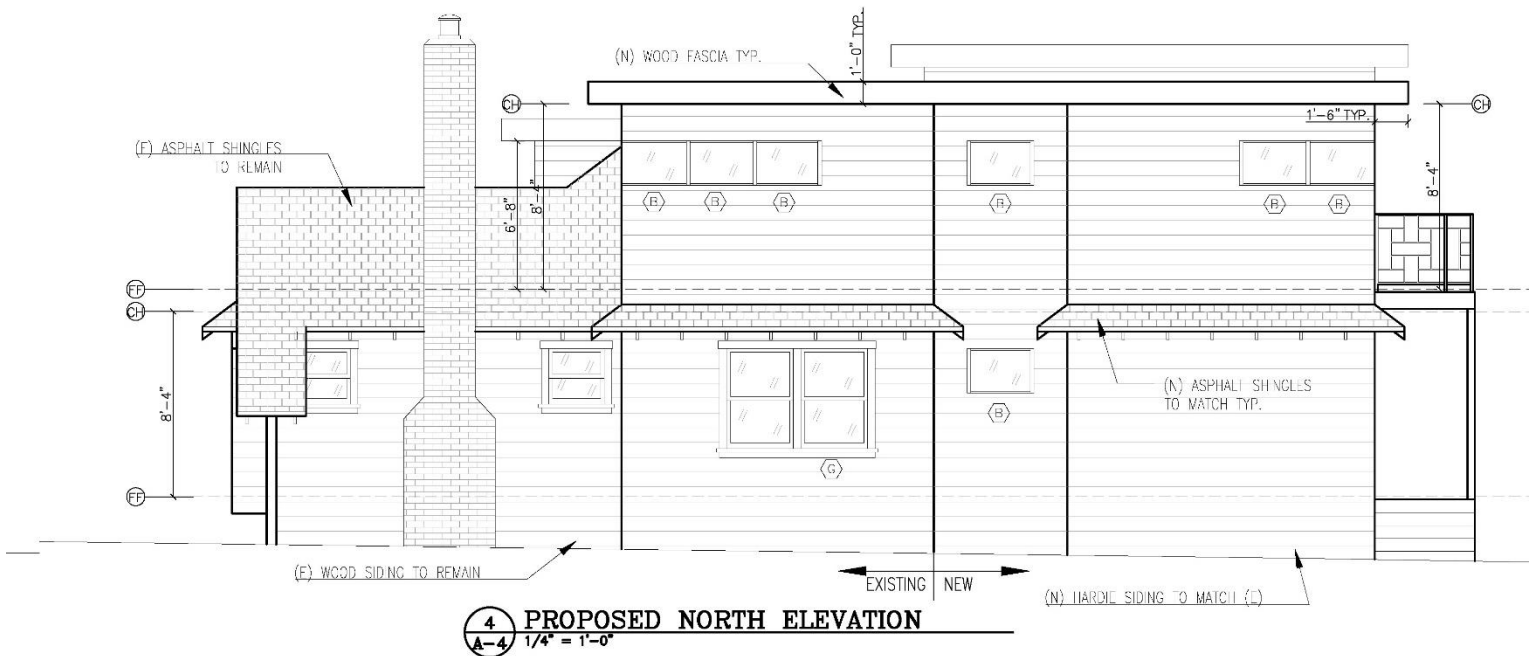


Figure 8: Existing and Proposed Roof Plans and First-Story Floor Plan

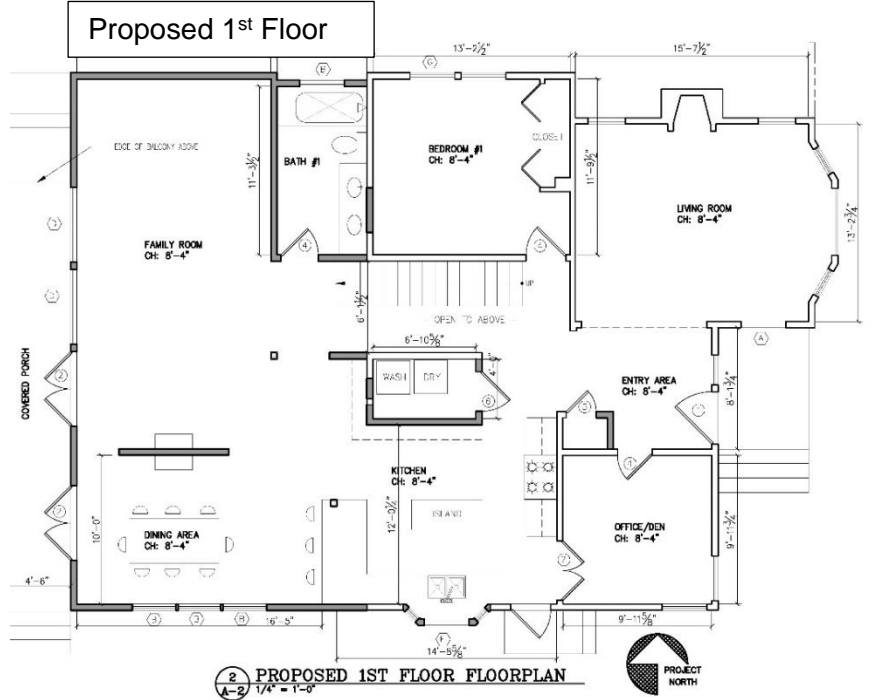
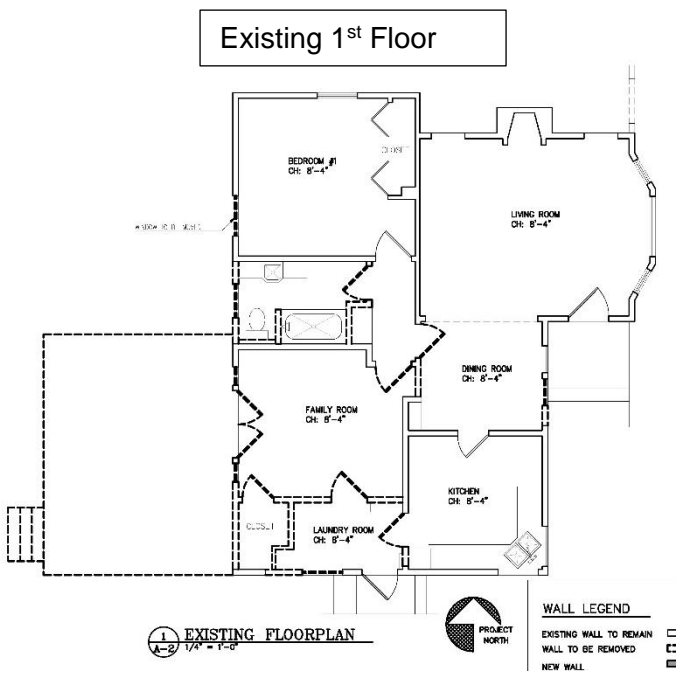
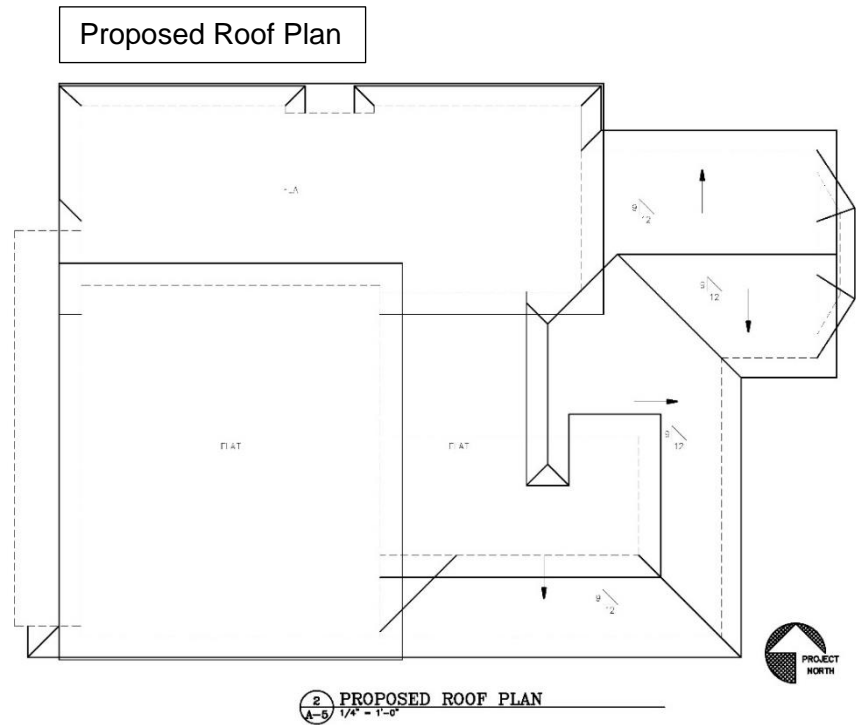
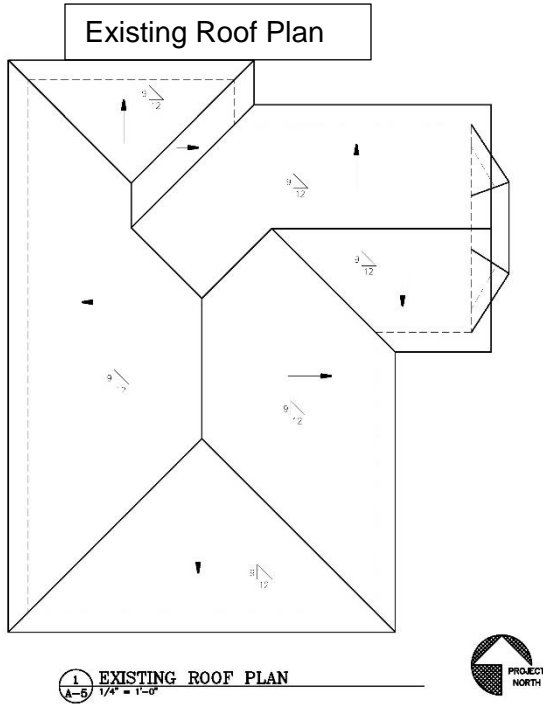
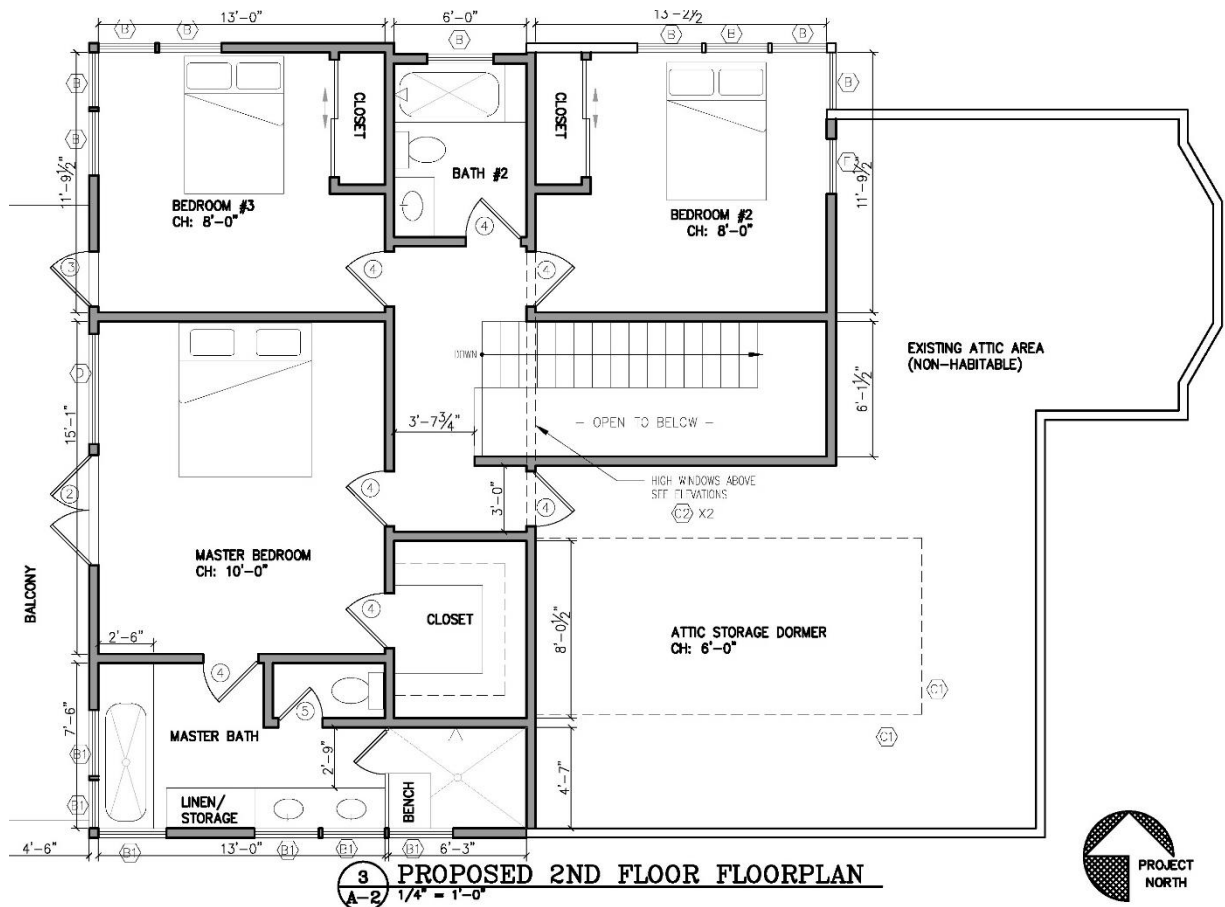


Figure 9: Proposed Second-Story Floor Plan



Design Review Permit

The Design Review Board is the Review Authority of this project since it is a project not subject to the provision of Chapter 2.65 (Cultural Heritage Ordinance) of the Municipal Code. The property is not a historic resource as it is not listed in the City’s Inventory of Cultural Resources (Resolution No. 6268).

According to the City’s latest Historic Resources Survey, this property is not within a designated historic district and is not identified as a contributing property to a potential local historic district (Marengo School Craftsman District). The Marengo School Craftsman District is an eligible historic district, not a designated historic district. The Residential Design Guidelines, Part III for Non-Historic Homes apply to this project in addition to the development standards of the Zoning Code. The Historic Resources Evaluation Report (HRE) prepared for the project (**Attachment No. 4**) is discussed further in the Environmental Review portion of the staff report.

Design Compatibility

Section 36.220.050(A) is a development standard that requires the project’s design to have exterior colors, forms, and materials that are consistent throughout and visually compatible with adjacent structures and the surrounding neighborhood. The size, mass, and scale of new dwellings shall also be visually compatible with adjacent structures and the surrounding neighborhood. Adjacent structures include existing residences and garages. Table 2 identifies the components of this building form, provides staff’s

evaluation of the proposed design, and design compatibility to the adjacent structures using images and architectural plans provided by the applicant.

Based on the proposed project's form as exhibited by its physical dimensions and visual characteristics provided in Table 2, the project does not meet the requirement of Section 36.220.050(A) and staff is recommending a set of design changes for the Board to consider as conditions of approval, included in **Attachment 1** (Condition No. P9). Two-story additions are not out of character with the existing neighborhood as there are other two-story homes in the block and the district. However, appropriate design changes are needed for the proposed addition to blend in with existing home in this eligible historic district.

Proposed Design

As the applicant have stated, the proposed addition uses simple 90-degree angles with vertical walls and horizontal non-sloping roofs. The proposed addition highlights its rectangular form in multiple ways through detailing and its building form, and as seen from the elevation drawings, this includes:

- unbroken wall planes vertically and horizontally up to the maximum length and height of the building
- multiple horizontal roof lines that complement several other horizontal elements
- exterior clad in lap siding for two-stories enveloping the residence with repeating and monotonous horizontal pattern detail
- demolition of the existing pitched roofing and ridgeline to be replaced with flat dormers and flat roofs

Since the second-story addition is mounted on top of the existing structure and provided with 10-foot high interior ceilings, the flat-roofed second-story addition casts a visually prominent profile rising three feet above the roof of the existing structure. Projecting second-story elements includes the 15' by 8' flat dormer (attic) and the 244-square-foot bedroom located within required setback area. These flat-roofed elements require demolition of existing pitched roof and ridgelines. In order to maintain the building form, staff recommends the eliminating the dormer and adding more vertical windows to the façade of the bedroom addition. The elevations show a visually notable abrupt change of building at the junctions of the new and existing portions of the structure. The project's construction would recast the property's building form from hipped-and-gabled to that dominated by a flat-roofed structure with a rectangular mass. If this project is approved as submitted, this design would set the standard for the neighborhood for future design review under Section 36.220.050(A).

Recommended Design Changes

These recommendations address non-compliance with the Zoning Code and assist in making the findings necessary to approve this Design Review Permit. The recommendations identify design strategies to address visual incompatibility based on objective standards derived from the site's existing developments. These recommendations focus on the second-story addition's visual incompatibility with the adjacent structure when viewed from Stratford Avenue. The DRB could incorporate the recommendations in Residential Design Guidelines, Part III for Non-Historic Homes or consider information from the HRE report prepared for this project. Written recommendations and Residential Design Guidelines, Part III for Non-Historic Homes were sent to the applicant in June. The applicant has not provided alternative design exhibits since its initial submittal of plans. Applicant's responses to the recommendations are included as **Attachment 5**.

- Eliminate the dormer and add more vertical windows to the façade of the bedroom addition.
- Revise the floor plan so all portions of the second-floor addition are above the first-story addition behind the existing home. Architectural elements of the addition on either story would need to avoid demolishing pitched roof areas unless it would be replaced by a visually compatible design element.
- Building dimensions should show a proportional relationship of length, width, and height
- Lower the floor plates and/or ceiling heights to be consistent with the one-story addition. Combined with the floor plan revisions above, this would lower the profile of second-story additions as viewed from the street and from the adjacent properties.
- Avoid building walls that would be visible above the existing structure roof or protrude into roof silhouette if viewed from the street. Building walls should be below the roof base (if same story).
- Roof plan should have intersecting ridgelines and consistent in height and pitch. Acceptable roof forms are hipped/gable styles and other roofing elaboration such as dormers to be similar in shape. Shingles are only to be used as roofing material and avoided as ornamentation.
- Fenestration: Use similar vertical dimension found in the existing structure; Recess or pop out window frames from adjacent wall.

Although the parcel is non-conforming in lot size required for new parcels, its dimensions are adequate to build a 2,488 square-foot single-family residence in compliance with the Zoning Code. To achieve a lower profile as viewed from the street, some of the proposed second-story volume could be accommodated at the rear portion of the lot outside the 25-foot required rear setback. Visually compatible lower-pitched roofs are possible if placed on one-story additions and/or located at the rear of the lot.

Staff recommends that the DRB approves the Design Review Permit with the creation of a subcommittee to work with the applicant on the recommended design changes listed above and any other changes requested by the DRB. Staff recommends, as part of the exception, allowing the option for the applicant to maintain the same existing ground-floor setback line if the DRB determines that it is required for the architectural style of the project.

Applicant's Responses

The City issued written comments on design and zoning compliance as part of the application completeness review. **Attachment 5** contains the applicant's responses to these written comments and references developments outside the project site. The City's processes to review residential projects have changed in the last few years, among these changes include the adoption of the Cultural Heritage Ordinance in 2017. The Zoning Code does not grandfather non-conformity of other properties and transfer those rights to other properties. The proposed conditions of approval facilitate design review of the project to help resolve Zoning Code non-compliance.

Landscaping and Hardscaping

SPMC Division 36.330. Landscaping Standards applies to the project's proposed landscape plan. Because the addition will almost triple the existing floor area of the single-family residence, a Landscape Plan approval is required. The proposed Landscape Plan keeps the existing landscape visible from Stratford Avenue and therefore complies with the provision of Section 36.330.03. Due to the additional building floor areas, the existing softscape of the property is reduced 700 square feet. The project reduces the existing softscape from 54% of the lot to 44% with the remainder as hardscape. Existing trees identified in the Landscape Plan are pine, oak, deciduous magnolia, and carob. All existing trees will remain in their location and the relocation of the garage will eliminate bamboos. The plan proposes no new landscaping modifications outside maintaining the remaining planting areas of the property. Outside the building area and the deck, the existing hardscape plan are mostly for vehicle purpose. The conditions require the applicant to submit a Landscape Plan showing compliance with the City's Water Efficient Landscape Ordinance.

Design Review:

In order to approve a proposed project, the Design Review Board shall first find that the design and layout of the proposed development meet the findings listed below. If the project's redesign incorporates the recommended design changes and any other design improvements from the DRB, the follow findings could be made.

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The project with the conditions of approval that include design changes to the floor plan, e.g, the location of the second-story addition, lowering the floor plates and ceiling heights, and incorporating roof pitches on the second floor, would address Zoning Code compliance and consistency with the applicable provisions of Residential Design Guidelines, Part III for Non-Historic Homes. The project with the conditions of approval would be consistent in architectural style and prevailing building form found within the Marengo Craftsman School District, where contributing properties are modestly sized, one- and two-story, single-family residences, set on rectangular lots with a common setback. If the recommended design changes are implemented by the applicant to the satisfaction of the Design Review Board, approval of the permit is a balanced approach allowing the applicant's exception request subject to the recommend design changes and RS Zone development standards.

The General Plan land use designation of the site is Low Density Residential which allows single-family units to be built at a density between 3.5 to 6.0 dwelling units per acre. The proposed project involves the addition to a single-family dwelling and does not exceed the number of allowable units for the property, therefore, it is consistent with the General Plan. The project with the conditions of approval for design changes would be consistent with the land use designation of Low Density Residential and would be consistent with the goal and applicable policies identified under Quality New Developments and Neighborhood Protection.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project is an addition to an existing single-family dwelling constructed in 1945 within an established single-family neighborhood (Marengo School Craftsman District). As conditioned, the project's mass, scale and bulk would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards. The conditions of approval include design recommendations to help the project comply with the following Zoning Code requirements: Sections 36.220.040, 36.220.050(A), and 36.220.050(B)(2). The subject property is two houses up from Marengo Elementary School along Stratford Avenue, and no additional traffic would be generated by the single-family dwelling or changes to the driveway configuration that would make hazardous the school's driveway or sidewalk access located 200 feet south of the property.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The project with the conditions of approval that include design changes to the floor plan, e.g, the location of the second-story addition, lowering the floor plates and ceiling heights, and incorporating roof pitches on the second floor, would address Zoning Code compliance and consistency with the applicable provisions of Residential Design Guidelines, Part III for Non-Historic Homes. The project with the conditions of approval would be visually compatible with the form of the adjacent existing residence and prevailing architectural style found in the established neighborhood of the Marengo School Craftsman District. The Historic Resources Survey concludes that since 66% of the buildings within the district boundary are contributing (96 out of a possible 149 properties in the district), the Marengo School Craftsman District would be eligible for designation as a local historic district. The other 29 potential historic districts in the Survey have proportion of contributing properties that are as low as 58%.

The DRB grants the exception to Section 36.220.050(B)(2) to allow for zero-foot second story setback (step back) along the north side of the second-story addition. The DRB determines that the project as conditioned would require a zero front or side second-story step back for its architectural style to be visually compatible with the existing residence. In addition, the project's condition allows the DRB the option to allow the addition's ground-floor setback line to match of the existing residence as part of approving the exception request.

As conditioned, the project addresses non-compliant design features. Two-story additions are not out of character with the existing neighborhood as there are other two-story homes in the block and the district. Through the conditions of approval, the proposed two-story addition would be set further back from Stratford Avenue, lowered in profile, and maintain the silhouette of the roofline of the existing structure. As conditioned, the highest portion of the addition would be less visible from Stratford Avenue, which minimizes the perceived scale of the addition and minimize the visual impact on the existing structure from the street. Recommendations are also provided to address finish and material of the exterior design elements. Therefore, the overall design of the

proposed addition would be harmonious and compatible with surrounding homes and neighborhood.

4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

The project, as conditioned, would provide an expanded living space for its residents and desirable environment for the established neighborhood of single-family dwellings. Through the conditions of approval's recommended design changes, the aesthetics of the design carry on the visually compatible forms of the district as described in the Historic Resources Survey as, "modestly sized, one- and two-story, single-family residences, set on rectangular lots with a common setback". Period revival and Craftsman style is the district's unifying stylistic architecture features. The project still retains the one-story bungalow's front-facing façade of porches and projecting gabled wing, while conditions of approval incorporating the Recommended Design Changes ensure an aesthetically appealing project design.

Environmental Analysis

Pursuant to the provisions of California Environmental Quality Act (CEQA) and the CEQA Guidelines, the development is a project that requires discretionary approval from the Design Review Board. A Historic Resource Evaluation (HRE) has been prepared by Rincon Consultants pursuant to CEQA Guidelines Section 15064.5 for a project that may have a potentially significant effect on the environment that may cause a substantial adverse change in the significance of a historical resource. The HRE evaluated the project's potentially significant effect on the 1300 block of Stratford Avenue (30 properties), a portion of a Marengo School Craftsman District. The City's Historic Resources Survey concludes that since 66% of the buildings within the district boundary are contributing (96 out of a possible 149 properties in the district), the district would be eligible for designation as a local historic district. The proportion of contributing properties is as low as 58% in the Survey's description of other potential historic districts. The report does not identify any new historic resource, or significant changes to contributing properties that have occurred since the Survey that would render them non-contributing. The City's Inventory of Cultural Resources (Resolution No. 6268) updated in 2016 to reflect the Survey recommendations lists 1323 Stanford Avenue south of the site as a significant contributor to this potential local historic district. The HRE does not identify the project's adverse significant effect on the continuing eligibility of the district as a local historic resource or change in the status of contributing properties. In accordance with CEQA Guidelines Section 15061 (Review for Exemption) that mandates a finding of exemption to determine that no further environmental review is required. Section 15303, Class 3 New Construction or Conversion of Small Structures applies to the project that would construct an addition to an existing single-family dwelling in a residential zone.

Staff Recommendations and Alternatives to Consider

Per Zoning Code Section 36.600.050(J), in order to facilitate the review process for this project, the DRB may delegate within its membership its review authority and the implementation of the conditions of approval by appointing either one of the following a) the Chairperson, acting alone, or b) a subcommittee of the full DRB, for specified review of this project's design. As stated above, staff recommends that the DRB approves the Design Review Permit with the creation of a subcommittee to work with the applicant on design improvements.

As an alternative to Staff⁷ recommendation, the DRB may also consider the following options as an action:

1. The Design Review Board can Approve as submitted without design changes as recommended by staff; or
2. The Design Review Board can Approve with modifications to condition(s); or
3. The Design Review Board can Continue the project for a future public hearing and direct the applicant to make changes to the project; or
4. The Design Review Board can Deny the project.

Next Steps

1. If approved, conditionally, or as submitted, the applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
2. If denied, the Design Review Board's decision can be appealed by the applicant to the Planning Commission.

Fiscal Impact

Not Applicable.

Public Comment

At the time of writing this report, staff received no public comments.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review* newspaper, and individual property mailings to those within 300 feet of the project site.

Attachments

1. Conditions of Approval
2. Project Narrative
3. Property Photos
4. Historic Resources Evaluation Report
5. Correspondences from Applicant
6. Development Plans & Material Board

ATTACHMENT 1
Conditions of Approval

ATTACHMENT 1
CONDITIONS OF APPROVAL
Design Review Board

PROJECT NO. 2299-DRX
1319 Stratford Avenue (APN: 5320-007-030)

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Design Review Board concerning this use.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- P7. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;

- b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P8. Prior to issuance of building permits, the applicant shall submit final landscape and irrigation plans showing compliance with the City's Water Efficient Landscape Ordinance (SPMC Section 35.50) and with Section 36.330.030 for approval by the Community Development Director.
- P9. The applicant shall submit plans for review and final approval by the Design Review Board subcommittee that include the following changes:
- A. Eliminate the dormer and add more vertical windows to the façade of the bedroom addition
 - B. Revise the floor plan so all portions of the second-floor addition are above the first-story addition behind the existing home. Architectural elements of the addition on either story would need to avoid demolishing pitched roof areas unless it would be replaced by a visually compatible design element.
 - C. Building dimensions should show a proportional relationship of length, width, and height
 - D. Lower the floor plates and/or ceiling heights to be consistent with the one-story addition. Combined with the floor plan revisions above, this would lower the profile of second-story additions as viewed from the street and from the adjacent properties.
 - E. Avoid building walls that would be visible above the existing structure roof or protrude into roof silhouette if viewed from the street. Building walls should be below the roof base (if same story).
 - F. Roof plan should have intersecting ridgelines and consistent in height and pitch. Acceptable roof forms are hipped/gable styles and other roofing elaboration such as dormers to be similar in shape. Shingles are only to be used as roofing material and avoided as ornamentation.
 - G. Fenestration: Use similar vertical dimension found in the existing structure; Recess or pop out window frames from adjacent wall.
- P10. In approving the exception request to allow zero second-story step back, the subcommittee may approve plans with a ground-floor setback on the north side of the property line of 4 feet and 7 inches.

BUILDING AND SAFETY DIVISION:

General conditions for all existing buildings and proposed addition:

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.

- B3. Park Impact Fee to be paid at the time of permit issuance.
- B4. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B5. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B6. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B7. Foundation inspection will not be made until setback on the south side of the garage relocated location and on the north side of the addition has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B8. Project shall comply with the CalGreen Residential mandatory requirements.
- B9. Separate application is required for the existing garage and trellis relocation and foundation system.
- B10. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet for dwellings and accessory buildings without automatic residential fire sprinkler protection shall comply with Table R302.1(1&2)
- B11. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit and a separate is required for Fire Sprinklers

DEPARTMENT OF PUBLIC WORKS:

- PW1 The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2 The applicant shall provide a copy of a current Title Report (within the last 60 days). The applicant shall show all easements per the Title Report to the satisfaction of the Public Works Department. Any conflict with existing easements resulting in the site being redesigned potentially requires a minor change or amendment approval by Planning Commission.
- PW3 The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee (\$515) for two (2) reviews and an additional fee of \$153 for each additional review) and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to the issuance of permits.

- PW4 The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW5 The applicant shall provide a detailed drainage plan signed and stamped by a CA licensed civil engineer. Cross lot drainage is not permitted. Provide a copy of the approved plan from the Building & Safety Department.
- PW6 The applicant shall comply with all requirements of the City of South Pasadena Low Impact Development (LID) Ordinance. The applicant shall include the necessary Best Management Practices (BMP) measures and a Standard Urban Storm Water Mitigation Plan (SUSMP) for construction and post-construction phases as part of the LID plan per SPMC Section 23.14. Provide a copy of the approved plan from the Building & Safety Department.
- PW7 Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW8 Provide a copy of a will-serve letter and receipt for the sewer connection fee from the Los Angeles County Sanitation District (LACSD). A copy of the receipt for any fees to be paid must be submitted before permit issuance.
- PW9 Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- PW10 The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway fronting the property on Stratford Avenue to the satisfaction of the City Engineer per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW11 Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW12 The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- PW13 No overnight storage of materials or equipment within the public right-of-way shall be permitted.

- PW14 Temporary bins (low boy) will be “roll off” style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.

- PW15 The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.

FIRE DEPARTMENT:

The project shall comply with all current adopted California Building, Fire Codes, NFPA and SPFD standards requirements based on occupancy classification.

ATTACHMENT 2
Project Narrative

Ross Residence – 1319 Stratford Ave.

Section G

Enhancing Existing Non-Historic Residences

Describe how the project meets the design guidelines for roofs, porches, and balconies:

This project incorporates simple flat roof forms (DGs pg. 54) which allow the new addition to complement the existing home without being too distracting or overbearing. An earlier design concept used steeply pitched gabled and hipped roofs on the addition area but those “exotic and complex roof forms” (DGs pg. 54) competed with the design language of the original home and resulted in a busy and overwhelming design. The new rear porch and balcony also use simple forms and detailing. The 2nd floor balcony and 1st floor partially covered deck will both be of wood construction and use a simple flat projection that matches the new flat roofs. Also, the roof skirt (described in the next section relating to architectural details) will intersect with the projecting balcony at the rear of the home similar to how the new flat roofs project from the existing home’s hipped roof.

Describe how the proposed project meets the design guidelines related to architectural details, windows and doors, and façade treatments:

A major architectural detail in this project is the new flat roof dormer which interrupts the front and south side pitches of the existing home’s hipped roof. Due to the original 9/12 pitch of the roof, the original design was centered around a severe front face of roof which, due to being hipped, was only interrupted by the projecting front gable and bay window. As covered in the section above, this giant face of roof prevents a new 2-story addition from tying in to the existing from behind. An addition entirely to the rear would be mostly hidden and feel unconnected to the rest of the home or an addition trying to match this hip would result in gigantic massing that would not be in the same spirit of the original design. The only option to try to match the existing design would be to demolish most of that existing roof and create a new roof over both the addition and existing home or to break up the large roof plane. This would result in effectively demolishing most or all of the home and starting over. Instead, our design intends to respectfully utilize the original design by leaving it mostly intact and using it to supplement the overall design of the mixed traditional/modern home. The modern aspect now interacts with the original because of the dormer that projects into the front of the home.

Other architectural details involved include the roof skirt that continues around most of the new addition. Similar but inversely to the dormer, the idea with the roof skirt is to keep some of the original design involved in the new addition. The skirt keeps the same 1’-4” overhang and continues around the new addition even where there is no pitched roof for it to continue from. This also is an effective way to break up the proposed two story vertical planes of the new addition.

The windows added to the addition area are simple design and shape. There are also only three main types of new windows in this area: floor-to-ceiling windows next to the doors on the rear, 3’ wide x 2’ high windows that wrap around the back and front in horizontal groupings of 3-4, and one larger double hung window for egress in one of the upstairs bedrooms. The 3’x2’

Ross Residence – 1319 Stratford Ave.

windows are placed 4'-8" above the floor height (or 6'-8" in the master bathroom) to create privacy for and from the neighbors on both sides. This way the second floor windows aren't positioned to overlook into the neighboring homes and yards. The two new windows in the existing home area (a bay window and a new double hung window in the former front door location) will both match the style of the existing home.

The façade treatments in the new addition follow the design guidelines by matching the materials already found in the existing home and in the surrounding areas. The new addition will use hardie siding which will appear similar to the existing horizontal wood siding, but is an "alternative material that has proven durability in the Southern California climate [by not being] susceptible to UV-related degradation."

Describe how the proposed project meets the design guidelines related to streetscape, site design, and additions:

The massing of the new addition will fit in more closely with the surrounding neighborhood and streetscape than the original home does today. Most of the surrounding homes are two story homes and many of them appear to be non-original additions to single-story homes. Most of these also are massed to keep the additions towards the rear of the home and some also incorporate dormers which push into the front plane of the home. This project uses similar massing, heights, widths, etc. as those found on other additions and original homes in the area.

Section H

Identify the architectural style of your project:

This project is a modern addition to a traditional style home.

Describe the design features/architectural elements that are typical of this architectural style:

Modern homes often feature flat roofs, large open glass areas, exposed raw materials (concrete, steel beams, stained wood, etc.), cantilevered areas, and either minimalistic forms and massing or non-traditional angles/curves/shapes.

Explain how those features/elements (from item #2) have been incorporated into your project:

This addition features flat roofs with different heights. The three different heights of the roofs is similar to the way a traditional gabled or hipped roof would break up larger planes or pitches of roof. Rather than having a single large gable (or in this case a single large flat roof) that could look overwhelming, often gables or dormers were used to give more visual complexity and avoid having massive roofs. We are using that same design theory but in a different style. Another goal with the different roof heights is to step the massing of the entire home – not just the roof. This way the addition does not push up against the original with a single vertical wall, but zig-zags back and forth across the connection between existing and new.

The rear of the home features large areas of open glass windows/doors which are a common feature in modern homes. This is often done to celebrate modern engineering and materials. A

Ross Residence – 1319 Stratford Ave.

large opening like this would probably not have been possible when this home was originally built in 1945. Similarly, the interior of the addition area features a large open family room area that is open to the dining room and kitchen areas adjacent to it.

The massing of this variation of modern architecture is minimalist. The addition uses simple 90 degree angles with vertical walls and horizontal non-sloping roofs. This allows the addition to blend in with the original by not having distracting different roof slopes or angles.

We are also incorporating elements from the traditional style of the original home into the new modern addition. This fits into the modern style by creating an unusual, non-traditional mix of different architectural detailing and style. The roof overhang on the front of the home is continued around on both sides of the addition and creates a unique lower roof (including asphalt shingles) where there is no actual roof to connect to. This is especially interesting in contrast to the flat roof above which will not have exposed rafter tails or visible roofing materials but will only have a visible wood fascia and an enclosed soffit overhang.

Which of the features/elements from item #2 have you not included in the project? List the reason/s for not doing so:

We are not incorporating any exposed raw materials such as concrete walls, uncovered steel beams, or any other kind of non-traditional façade treatments. This is an intentional decision informed by our attempt to create a minimalistic modern home. Further, we thought using these kinds of materials instead of matching those from the original home would be even more distracting and ruin any attempted visual connection between new and existing.

ATTACHMENT 3
Property Photos

#1

Ross Residence - 1319 Stratford Ave. Dahl Architects Inc.



#2

Ross Residence - 1319 Stratford Ave. Dahl Architects Inc.



#3

Ross Residence - 1319 Stratford Ave. Dahl Architects Inc.



#4

Ross Residence - 1319 Stratford Ave. Dahl Architects Inc.



#5

Ross Residence - 1319 Stratford Ave. Dahl Architects Inc.



#6

Ross Residence - 1319 Stratford Ave. Dahl Architects Inc.



#7

Ross Residence - 1319 Stratford Ave. Dahl Architects Inc.



1319 Stratford Ave. Garage Photos

East Elevation



1319 Stratford Ave. Garage Photos

South Elevation



1319 Stratford Ave. Garage Photos

North Elevation



1319 Stratford Ave. Garage Photos

West Elevation (not visible due to overgrowth)



1319 Stratford Ave. Garage Photos

Interior Southwest Corner



1319 Stratford Ave. Garage Photos

Interior Northwest Corner



1319 Stratford Ave. Garage Photos

Interior Northeast Corner



1319 Stratford Ave. Garage Photos

Interior Southeast Corner



ATTACHMENT 4
Historic Resource Evaluation Report



Historic Resources Evaluation Report 1319 Stratford Drive, South Pasadena

Prepared for:
City of South Pasadena, Planning & Building Department
Ms. Kanika Kith, Planning Manager
1414 Mission Street
South Pasadena, California 91030

Prepared by:
Rincon Consultants, Inc.
Contact: Debi Howell-Ardila, MHP
250 East 1st Street, Suite 1400
Los Angeles, California 90012

10 June 2020 (revised)

Table of Contents

Executive Summary	1
1 Introduction	4
Personnel and Methodology	5
Current Historic Resource Status of Subject Property	5
City of South Pasadena Inventory of Cultural Resources, 1991 and 2002.....	5
City of South Pasadena Historic Resources Survey, 2015/2016	8
South Pasadena Citywide Historic Context Statement, 2014	8
2 Regulatory Framework	10
Federal Regulations	10
National Historic Preservation Act of 1966.....	10
National Register of Historic Places	10
Integrity.....	11
State Regulations.....	12
California Register of Historical Resources	12
California Environmental Quality Act (CEQA)	12
Secretary of the Interior’s Standards for the Treatment of Historic Properties.....	14
City of South Pasadena Cultural Heritage Ordinance.....	15
3 Property Description & Site History.....	17
Construction Chronology and Ownership History.....	20
4 Focused Neighborhood Overview	22
5 Evaluation and Project Review	27
Eligible Historical Resources Affected by Project.....	27
Marengo School Craftsman District, Character-Defining Features.....	27
Marengo School Craftsman District, Historic Integrity	28
Proposed Project Review.....	32
Citywide Historic Context Statement, Eligibility Standards/Integrity Thresholds	38
City of South Pasadena Design Guidelines.....	39
Secretary’s Standards	41
6 Conclusion.....	42
7 Bibliography.....	43

Figures

Figure 1	Subject property location, parcel map	4
Figure 2	City of South Pasadena Historic Districts, Inventory and Register Listed	6
Figure 3	South Pasadena Inventory-Listed Marengo School Craftsman District (labelled as “T-2” and marked in red).....	7
Figure 4	East (façade) elevation, east perspective	17
Figure 5	Façade, from southeast (top), north elevation, from northeast (bottom).....	18
Figure 6	Garage and backyard, from east (top) and west elevation, from west (bottom).....	19
Figure 7	Overview of south elevation, west perspective.....	20
Figure 8	Tract No. 1348, filed in 1911; 1319 Stratford Avenue occupies lot 19.....	22
Figure 9	1930 Sanborn Fire Insurance Map; 23 of 26 homes through Stratford Avenue were still one-story in height.....	23
Figure 10	As of 1950, the Stratford Avenue portion of the Marengo School Craftsman District still consisted primarily of one-story homes	24
Figure 11	1928 aerial photograph; the vertical swath of Fair Oaks appears on the left, the horizontal swath of Huntington Drive appears along the bottom	25
Figure 12	1948 aerial photograph, three years after construction of subject property	26
Figure 13	South Pasadena Inventory-Listed Marengo School Craftsman District	27
Figure 14	Potential noncontributors to Marengo School Craftsman District, due to alterations; 1311 Stratford (left) and 1315 Stratford (right, adjacent to subject property).....	28
Figure 15	Overview of the setting and feeling conveyed through the one-story character of Stratford Avenue, Marengo School Craftsman District	29
Figure 16	From left to right, 1323 Stratford (1922, district contributor), the subject property at 1319 Stratford (1945, noncontributor), and 1315 Stratford (1924, former contributor, and now a potential non-contributor as of 2015/2016, due to alterations).....	29
Figure 17	2nd-story additions in 1300 block of Stratford Avenue; 1312 Stratford (1913, on left), 1314 Stratford (1914, on right, addition under construction), northwest perspective ..	30
Figure 18	West perspective of 1318 Stratford and 2nd-story addition to 1314 Stratford Avenue .	30
Figure 19	1300 block of Stratford, southwest perspective, with 2 nd -story addition at 1314 Stratford in the background, center-left	31
Figure 20	Example of one-story addition within 1300 block of Stratford Avenue	31
Figure 21	Roof plan, existing (top) and proposed (bottom)	33
Figure 22	East (primary) elevation, existing (top) and proposed (bottom).....	34
Figure 23	West elevation, existing (top) and proposed (bottom)	35
Figure 24	North elevation, existing (top) and proposed (bottom)	36
Figure 25	South elevation, existing (top) and proposed (bottom)	37

Executive Summary

This Historic Resources Evaluation Report was prepared by Rincon Consultants at the request of the City of South Pasadena Planning and Building Department (City) for the property at 1319 Stratford Avenue (Assessor's Parcel Number 5320-025-017). Located adjacent to Marengo Elementary School, the subject property consists of a one-story residence and garage constructed in 1945.

PROJECT OBJECTIVE: This report was completed to provide the City with the analysis and substantial evidence required to facilitate compliance with the California Environmental Quality Act (CEQA) and the City of South Pasadena Municipal Code.

All public agencies in California are subject to CEQA. According to CEQA Guidelines, significant adverse impacts can result if a historic resource is altered to such a degree that it loses integrity and the ability to convey the reasons for its significance. The first step to avoiding significant adverse impacts is (1) identifying the character-defining features that lend the historic resource its significance and (2) planning for the retention, rehabilitation, and/or sensitive replacement of such features in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Secretary's Standards)*. In accordance with CEQA, the change from eligible to ineligible for a historical resource constitutes material impairment.

In addition, CEQA Guidelines Section 21002 states that "it is the policy of the state that public agencies should not approve projects as proposed if there are feasible alternatives or feasible mitigation measures available which would substantially lessen the significant environmental effects of such projects." This study includes recommended mitigation measures that would substantially lessen the potential significant adverse impacts of the project.

PROPOSED PROJECT: The proposed project involves partial demolition and new construction involving a "noncontributing" (i.e., not eligible) property within a historic district included in the City's Inventory of Cultural Resources (the Marengo School Craftsman District).

Because the proposed project would remove large portions of the subject property, including approximately 50 percent of the original volume of the house and all of the west elevation, it meets the South Pasadena Municipal Code Section 2.65 definition of "demolition" (i.e., "Demolition means the destruction or removal in whole or part of any physical structure").

In addition, the new construction would affect a qualifying historical resource per CEQA and the Public Resources Code (the Marengo School Craftsman District). CEQA Guidelines Section 15064.5 includes as qualifying historical resources those properties and districts "included in a local register of historical resources, as defined in Section 5020.1(k) of the PRC or identified as significant in a historic resources survey meeting the requirements of Section 5024.1(g) of the PRC." The Marengo School Craftsman District was identified as a locally eligible historic district in two citywide historic resources surveys adopted by the City Council and therefore qualifies as a historical resource under CEQA.

Therefore, this report includes an analysis of the proposed in-fill project, vis-à-vis the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Secretary's Standards)*, in order to assess potential indirect impacts to the surrounding district. In accordance with the California Code of Regulations and CEQA Guidelines, a project that conforms with the *Secretary's Standards* is a project generally considered to avoid, lessen, or mitigate significant direct and indirect adverse

impacts to historical resources such as the Marengo School Craftsman District.¹ If a project meets the *Secretary's Standards*, the project can qualify for a Class 31 Categorical Exemption under CEQA.²

The *Secretary's Standards* are the industry-recognized guidelines for fostering the preservation, rehabilitation, and maintenance of historic properties. CEQA and the South Pasadena Cultural Heritage Ordinance, as codified in Municipal Code Section 2.65, use compliance with the *Secretary's Standards*, as well as the City's Design Guidelines, as the basis for an evaluation of potential impacts to historical resources, including historic districts, and as the method for avoiding, lessening, and mitigating significant adverse direct and indirect impacts.

SUMMARY OF FINDINGS: As a result of the first part of the analysis, Rincon confirms that the subject property is a non-contributor within the Inventory of Cultural Resources-listed Marengo School Craftsman District. The property does not appear to meet any other applicable eligibility criteria. The property does, however, fall within the boundaries of a district that is a qualifying historical resource per CEQA Guidelines Section 15064.5.

As a result of the second part of the analysis, Rincon finds that some components of the proposed project do not comply with the *Secretary's Standards* or other preservation planning studies commissioned by the City. The proposed project, as currently designed, could cause an indirect significant adverse impact to the historical resource.

The proposed project would introduce an additional two-story residence within the Stratford Avenue block of the Marengo School Craftsman District. One of the district's character-defining features is its predominantly single-story residential character and Craftsman/period-revival architectural styles, dating primarily to the 1910s and 1920s. In recent years, the 1300 block of Stratford Avenue has seen five of 15 properties go from one to two stories in height (including one property currently under construction).

In addition, the City's 2015/2016 historic resources survey identified four contributing properties that may no longer be eligible due to alterations, including two-story additions in rear elevations and additions with flat roofs, as is proposed for the subject property. Such changes to the district over time have begun to result in gradual, cumulative impacts to its historic integrity.

The proposed project would also introduce an additional two-story high (over 22 feet), atypical flat roof within the 1300 block of historic district, which is characterized by hipped and front- and size-gabled roof lines. In addition, the second-story addition would be rectangular in volume, introducing another design feature that departs from the historic setting and feeling of the Marengo School Craftsman District. The two-story mass and rectangular volume of the proposed addition, as well as the flat roof form, depart from the guidance offered in the *Citywide Historic Context Statement*, *City Design Guidelines*, and *Secretary's Standards vis-à-vis* new in-fill construction within historic districts.

In order to avoid, lessen, or mitigate significant, indirect as well as cumulative adverse impacts to the Marengo School Craftsman District, which is a qualifying historical resource under CEQA, it is recommended that the following mitigation measures be applied to the project:

1. The City work with the applicant to identify ways to bring the project into closer compliance with the applicable preservation planning guidelines, including *Citywide Historic Context Statement*, *City Design Guidelines*, and *Secretary's Standards*;

¹ 14 California Code of Regulations {CCR} Section 15126.4.

² 14 CCR Section 15331.

2. The City and project applicant identify ways to scale-back the second-story addition, to ensure that it is visually subordinate to the subject property and more compatible with the character-defining features, setting, and feeling of the surrounding historic district;
3. The City and project applicant identify ways to ensure the stylistic compatibility of the second-story addition to the subject property, by exploring alternatives to the current rectangular-massed, flat-roof addition.

This report includes the following sections:

1. Introduction
2. Regulatory Framework
 - a. Including applicable national, state, and local regulations
3. Property Description and Site History/Context
 - a. Including construction chronology and ownership history
4. Focused Neighborhood Context
 - a. Including brief narrative and visual overview of historic development
5. Evaluation and Project Review
 - a. Including updated evaluation, description of cultural resources affected by proposed project, character-defining features and integrity considerations
 - b. Including project review in light of Citywide Historic Context Statement eligibility requirements, City of South Pasadena Design Guidelines, and *Secretary's Standards*
6. Conclusion
7. Bibliography

Personnel and Methodology

This report was completed by Debi Howell-Ardila, MHP, Rincon Senior Architectural Historian. Rincon Principal and Architectural History Program Manager Shannon Carmack provided strategic oversight and QA/QC review. Ms. Howell-Ardila is a preservation professional with 15 years of experience; she is the former Vice Chair/Chair of the South Pasadena Cultural Heritage Commission, where she served as a commissioner between 2012 and 2018. Ms. Carmack has over 20 years of experience in historic preservation and environmental compliance, including nearly a decade spent on the Cultural Heritage Commission of the City of Long Beach.

Archives and collections consulted for this study included the online collections of the South Pasadena Public Library, ProQuest Historical Newspapers, and Ancestry.com. Available Sanborn Fire Insurance Maps and historical aerial imagery were obtained through Environmental Data Resources. Records and previous studies on file with the South Pasadena Planning and Building Department were also consulted, including the City's 2014 *South Pasadena Citywide Historic Context Statement* and the 2015/2016 *South Pasadena Historic Resources Survey*.

Current Historic Resource Status of Subject Property

As of April 2020, the subject property is not individually listed on the City's Inventory of Addresses (which includes eligible properties and historic districts) or the Register of Cultural Resources (which includes designated landmarks and historic districts); nor is it listed on the NRHP or CRHR. The property also does not appear on the California Historic Resources Inventory. This section provides an overview of previous City-commissioned surveys and studies as regard the subject property.

City of South Pasadena Inventory of Cultural Resources, 1991 and 2002

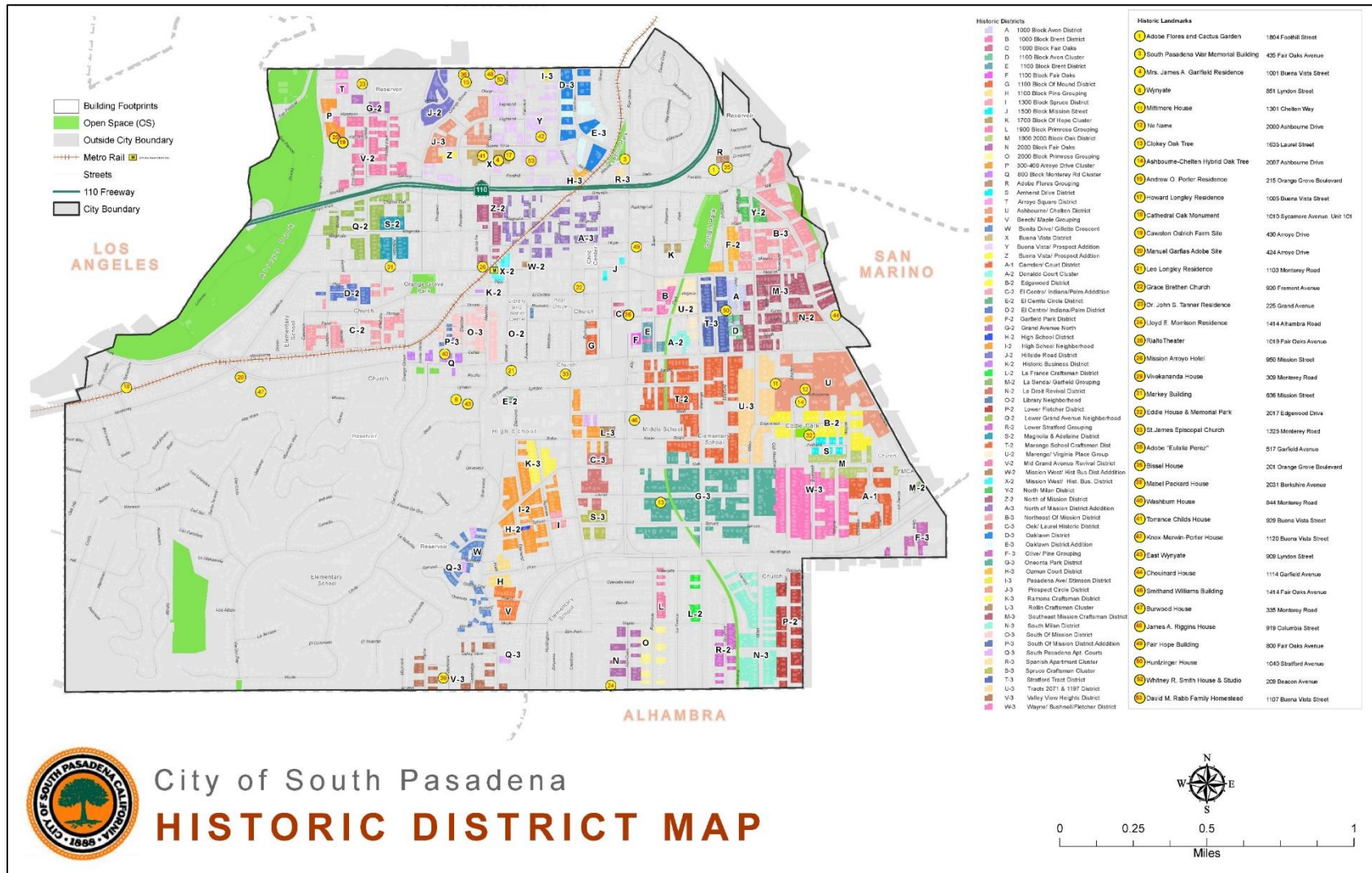
Compiled in 1991 and updated in 2002, the South Pasadena Inventory of Cultural Resources was created to ensure that cultural resources are recognized and proactively managed in the City's planning process. The Inventory includes all properties and historic districts eligible for local, state, or federal designation. It also includes properties designated on the NRHP and CRHR. All properties included on the Inventory of Cultural Resources qualify as historical resources pursuant to CEQA. The Inventory of Cultural Resources was adopted by the South Pasadena City Council in 1994 and incorporated in Chapter 5, "Historic Preservation Element," of the City's General Plan. The 2002 survey update was also incorporated in the Inventory and adopted by the City Council.

Rincon reviewed the City's 1991 and 2002 survey results and Inventory of Cultural Resources. The subject property is not included individually in the Inventory of Cultural Resources. However, the property is a noncontributor within an eligible historic district, the **Marengo School Craftsman Historic District**. This historic district was identified as part of the City's 1991 survey and confirmed on two occasions, in 2002 and 2015 (Figure 2 and Figure 3). The district is located on:

- 1600 to 1800 blocks of Monterey Road, south side
- 1600 and 1700 blocks of Lyndon Street
- 1600 and 1700 blocks of Bank Street, north side
- 1700 block of Rollin Street
- 1800 block of Oak Street, north side
- 1200 to 1500 blocks of Marengo and Stratford Avenues

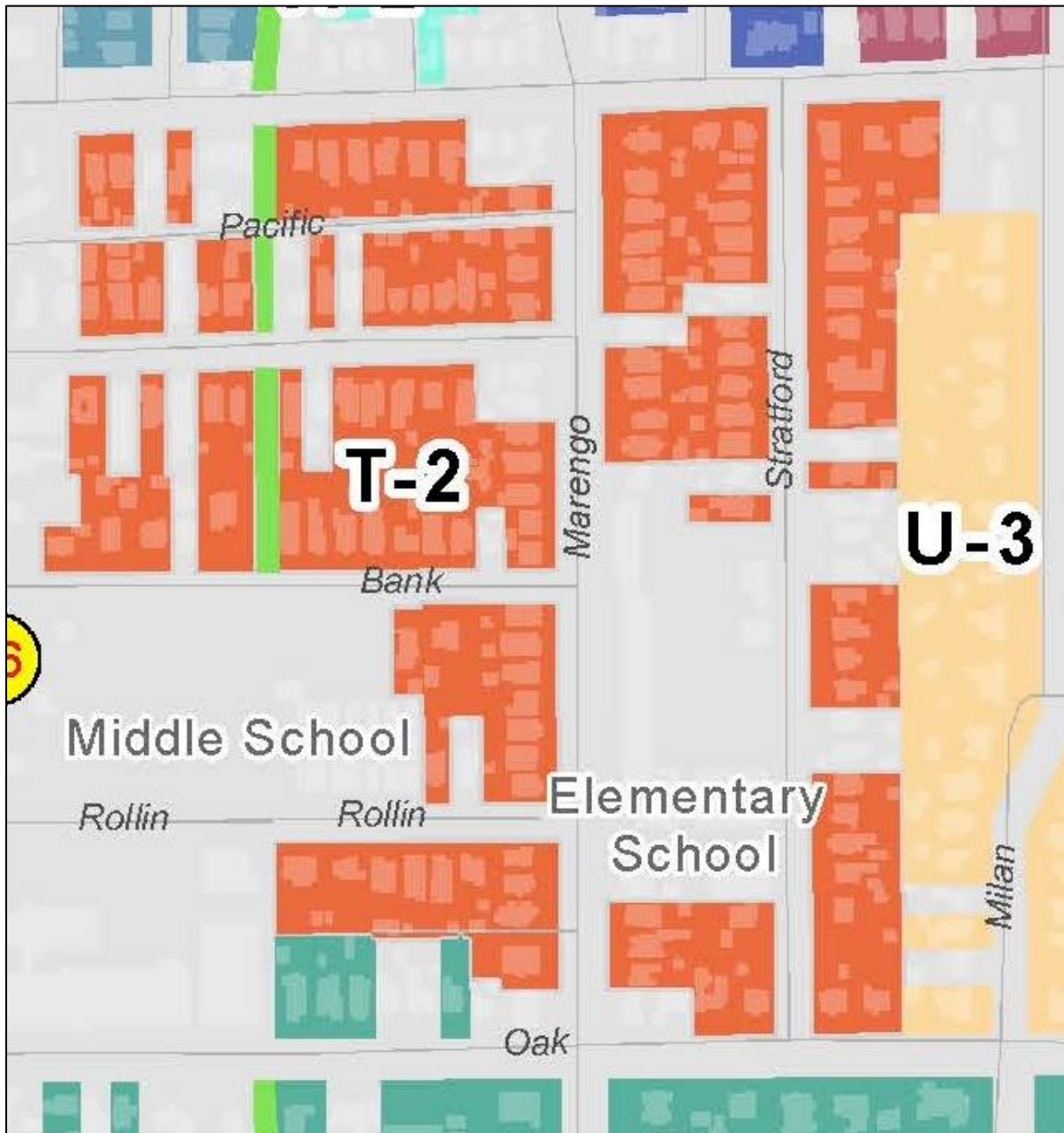
The Marengo School Craftsman Historic District qualifies as a Cultural Resource pursuant to the South Pasadena Municipal Code and as a historical resource per CEQA.

Figure 2 City of South Pasadena Historic Districts, Inventory and Register Listed



Source: City of South Pasadena Planning and Building Department

Figure 3 South Pasadena Inventory-Listed Marengo School Craftsman District (labelled as "T-2" and marked in red)



Source: City of South Pasadena Planning and Building Department

City of South Pasadena Historic Resources Survey, 2015/2016

Completed in 2015/2016, the South Pasadena Historic Resources Survey provided a citywide update to the Inventory of Cultural Resources.⁵ The project objective was applying the City's Multiple Property Documentation (MPD) format *Historic Context Statement* to refine and expand on previous survey results. The 2015/2016 survey also included of-age resources that had never been evaluated—namely, recent past properties constructed between 1935 and 1972.

Phase 1 examined the north-south corridor identified as the Area of Potential Effects for the Caltrans State Route 710 Environmental Impact Report.⁶ Phase 2 of the survey included properties constructed between 1935 and 1972. Phase 3 re-surveyed properties on the Inventory of Cultural Resources. At the conclusion of survey work, findings were consolidated in an updated Inventory of Cultural Resources.

The subject property was not identified in the 2015/2016 survey as an individually eligible historic resource. However, the property was confirmed to be **a noncontributor within the boundaries of an identified eligible historic district, the Marengo School Craftsman Historic District. As a result of this updated survey**, the Marengo School Craftsman District was found to represent “a good example of a neighborhood of modestly-sized period revival single-family residences, with a high degree of integrity, in South Pasadena” (Figure 13).⁷

South Pasadena Citywide Historic Context Statement, 2014

The *South Pasadena Citywide Historic Context Statement* provides an MPD format framework for consistent and comparative evaluations. The document provided the evaluative basis for the historic resources survey update completed in 2015/2016.

The historic context statement includes a chronology of the built environment history of the City, as well as detailed contexts and themes of significance and their associated property types. Registration requirements, including character-defining features and integrity thresholds, are used to evaluate properties and historic districts. The historic context statement includes extensive sections on themes of significance and architectural styles from the pre-World War II era in South Pasadena.

As noted above, the subject property **falls within Marengo School Craftsman District**. The following eligibility standards and guidance on additions/alterations to individually eligible resources and within Craftsman and period-revival historic districts is provided in the *South Pasadena Citywide Historic Context Statement*.

The study describes the types of additions and changes that would foster retention of historic integrity of the resource and thereby avoid significant adverse impacts to the resource: **“New additions that are compatible with, differentiated from, and subordinate to the original** and do

⁵ City of South Pasadena Planning and Building Department. 20 June 2017. *Administrative Draft Report, City of South Pasadena Historic Resources Survey*. Prepared by: Historic Resources Group, Pasadena, California.

⁶ State of California Department of Transportation and the Los Angeles County Metropolitan Transportation Authority, Draft Environmental Impact Report/Environmental Impact Statement, Volume I and II, March 2015. LSA Associates, Inc. and California Department of Transportation, District 7.

⁷ City of South Pasadena Planning and Building Department, 2017, p. 52.

not damage or destroy historic materials, features, and spatial relationships that characterize the property.”⁸

In terms of residential historic districts like the Marengo School Craftsman District, the *Citywide Historic Context Statement* includes the following guidance regarding the required aspects of integrity for eligible:

In order for a historic district to be eligible for designation, the majority of the components that add to the district’s historic character must possess integrity, as must the district as a whole. A contributing property typically must retain integrity of location, design, setting, feeling, and association to adequately convey the significance of the historic district.

Some alterations to individual buildings, such as replacement roof materials, replacement garage doors, and replacement of some windows (within original openings) may be acceptable as long as the district as a whole continues to convey its significance.

In order to **avoid adverse cumulative impacts to the character of a historic district**, major alterations such as replacement of all windows, substantial additions to the primary façade or that alter the original roofline, and enclosed porches and balconies should be avoided. Alterations to both individual residences and the district should be evaluated in terms of the cumulative effect on the historic resource.

South Pasadena has a strong collection of significant residences and neighborhoods from this period; alterations should not erode that character over time.⁹

⁸ City of South Pasadena Planning and Building Department. 2014. *South Pasadena Citywide Historic Context Statement*, p. 252. Prepared by Historic Resources Group, Pasadena, California.

⁹ *South Pasadena Citywide Historic Context Statement*, p. 153.

2 Regulatory Framework

This regulatory framework section identifies the federal, state, and local laws, statutes, guidelines, and regulations that govern the identification and treatment of cultural resources as well as the analysis of potential impacts to cultural resources. The lead agency must consider the provisions and requirements of this regulatory framework when rendering decisions on projects that have the potential to affect cultural resources.

Federal Regulations

National Historic Preservation Act of 1966

Enacted in 1966 and amended in 2000, the National Historic Preservation Act (NHPA) instituted a multifaceted program, administered by the Secretary of the Interior, to encourage sound preservation policies of the nation's cultural resources at the federal, state, and local levels. The NHPA authorized the expansion and maintenance of the NRHP, established the position of State Historic Preservation Officer and provided for the designation of State Review Boards, set up a mechanism to certify local governments to carry out the goals of the NHPA.

The City of South Pasadena is a Certified Local Government, as administered by the State Office of Historic Preservation.

National Register of Historic Places

The National Register of Historic Places (NRHP) was established by the National Historic Preservation Act (NHPA) of 1966 as "an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment."¹⁰ The NRHP recognizes properties that are significant at the national, state, and local levels.

To be eligible for listing in the NRHP, a resource must be significant in American history, architecture, archaeology, engineering, or culture. A property is eligible for the NRHP if it is significant under one or more of the following criteria:

- Criterion A:** It is associated with events that have made a significant contribution to the broad patterns of our history;
- Criterion B:** It is associated with the lives of persons who are significant in our past;
- Criterion C:** It embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; and/or
- Criterion D:** It has yielded, or may be likely to yield, information important in prehistory or history.

¹⁰ CFR 36 CFR 60.2.

Integrity

Integrity is the ability of a property to convey the reasons for its significance. To be listed in the NRHP, a property must not only be shown to be significant under the National Register criteria, but it also must retain historic integrity. The NRHP criteria recognize seven aspects or qualities that, considered together, define integrity. To retain historic integrity, a property will always possess several, and usually most, of the aspects. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association, defined as follows:

1. Location: the place where the historic property was constructed or where the historic event occurred.
2. Design: the combination of elements that create the form, plan, space, structure, and style of a property.
3. Setting: the physical environment of a historic property.
4. Materials: the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
5. Workmanship: the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
6. Feeling: a property's expression of the aesthetic or historic sense of a particular period of time.
7. Association: the direct link between an important historic event or person and a historic property.

In terms of the present project -- reviewing major changes/demolition and in-fill construction within a historic district -- the aspects of integrity most relevant are "setting" and "feeling." In order to assess changes in "setting," the National Park Service provides the following guidance:

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the character of the place in which the property played its historical role. **It involves how, not just where, the property is situated and its relationship to surrounding features and open space.**

Setting often reflects the **basic physical conditions under which a property was built and the functions it was intended to serve.** In addition, **the way in which a property is positioned in its environment can reflect the designer's concept of nature and aesthetic preferences.**

The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as: Topographic features (a gorge or the crest of a hill); vegetation; simple manmade features (paths or fences); and **relationships between buildings and other features or open space.**

These features and their relationships should be examined not only within the exact boundaries of the property, but also between the property and its surroundings. This is particularly important for districts.¹¹

The aspect of "feeling" is defined by the National Park Service in the following way:

¹¹ National Park Service, Department of the Interior. 1990. National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation. Washington, DC: US Department of the Interior.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the "presence of physical features that, taken together, convey the property's historic character."¹²

State Regulations

The policies of the NHPA are implemented at the state level by the California Office of Historic Preservation, a division of the California Department of Parks and Recreation. The Office of Historic Preservation is also tasked with carrying out the duties described in the Public Resources Code (PRC) and maintaining the California Historic Resources Inventory and CRHR. The state-level regulatory framework also includes CEQA, which requires the identification and mitigation of substantial adverse impacts that may affect the significance of historical and archeological resources.

California Register of Historical Resources

The CRHR is an inventory of significant architectural, archaeological, and historical resources in California. Resources can be listed in the CRHR through a number of methods. State Historical Landmarks and NRHP-listed properties are automatically listed in the CRHR. The CRHR criteria are closely based on those developed by the National Park Service for the NRHP. According to PRC Section 5024.1(c), a resource, either an individual property or a contributor to a historic district, may be listed in the CRHR if the State Historical Resources Commission determines that it meets one or more of the following criteria, which are modeled on NRHP criteria:

- Criterion 1:** It is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- Criterion 2:** It is associated with the lives of persons important in our past.
- Criterion 3:** It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- Criterion 4:** It has yielded, or may be likely to yield, information important in history or prehistory.

As with resources nominated to the NRHP, CRHR-nominated resources must retain enough of their historic character or appearance to convey the reasons for their significance. Resources whose historic integrity does not meet NRHP criteria may still be eligible for listing in the CRHR.

California Environmental Quality Act (CEQA)

As defined in the Public Resources Code, CEQA requires a lead agency to analyze whether historic and/or archaeological resources may be adversely impacted by a proposed project. Under CEQA, a "project that may cause a substantial adverse change in the significance of a historic resource is a project that may have a significant effect on the environment" (PRC Section 21084.1). Answering this question is a two-part process: first, the determination must be made as to whether the proposed project involves cultural resources. Second, if cultural resources are present, the

¹² Ibid.

proposed project must be analyzed for a potential “substantial adverse change in the significance” of the resource.

In addition, pursuant to CEQA Guidelines Section 15378, study of a project requires consideration of “the whole of an action, which has the potential for resulting in either a direct physical change in the environment, or a **reasonably foreseeable indirect physical change in the environment.**”

CEQA Definition of Historical Resources

According to CEQA Guidelines Section 15064.5, for the purposes of CEQA, qualifying historical resources are defined as:

1. A resource listed in, or formally determined eligible for listing in, the California Register of Historical Resources (CRHR) (PRC 5024.1, Title 14 CCR, Section 4850 et seq);
2. A resource included in a local register of historical resources, as defined in Section 5020.1(k) of the PRC or identified as significant in a historic resources survey meeting the requirements of Section 5024.1(g) of the PRC;
3. Any building, structure, object, site, or district that the lead agency determines eligible for national, state, or local landmark listing; generally, a resource shall be considered by the lead agency to be historically significant (and therefore a historic resource under CEQA) if the resource meets the criteria for listing on the CRHR (as defined in PRC Section 5024.1, Title 14 CCR, Section 4852).

Resources nominated to the CRHR must retain enough of their historic character or appearance to convey the reasons for their significance. Resources whose historic integrity (as defined in previous section) does not meet NRHP criteria may still be eligible for listing in the CRHR.

According to CEQA, the fact that a resource is not listed in or determined eligible for listing in the CRHR or is not included in a local register or survey shall not preclude the lead agency from determining that the resource may be an historical resource (PRC Section 5024.1). Pursuant to CEQA, a project with an effect that may cause a substantial adverse change in the significance of a historical resource may have a significant effect on the environment (CEQA Guidelines, Section 15064.5).

Substantial Adverse Change and Indirect Impacts to Historical Resources. CEQA Guidelines Section 15064.5 specifies that “substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource **or its immediate surroundings such that the significance of an historical resource would be materially impaired.**” Section 15064.5 further specifies that “material impairment” occurs when a project alters in an adverse manner or demolishes “those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion” or eligibility for inclusion in the NRHR, CRHR, or local register.

In addition, pursuant to CEQA Guidelines Section 15126.2, the “direct and indirect significant effects of the project on the environment shall be clearly identified and described, giving due consideration to both the short-term and long-term effects.”

In terms of the need to consider both direct and indirect impacts, CEQA Guidelines, Section 15064d further define impacts as:

1. A direct physical change in the environment is a physical change in the environment which is caused by and immediately related to the project.

2. An **indirect physical change in the environment is a physical change in the environment which is not immediately related to the project, but which is caused indirectly by the project.** If a direct physical change in the environment in turn causes another change in the environment, then the other change is an indirect physical change in the environment.
3. An **indirect physical change** is to be considered only if that change is a reasonably foreseeable impact which may be caused by the project.

Secretary of the Interior's Standards for the Treatment of Historic Properties

In accordance with the California Code of Regulations and CEQA Guidelines, a project that has been determined to conform with the *Secretary's Standards* is a project generally considered to avoid, lessen, or mitigate significant adverse impacts to historical resources.¹³ If a project meets the *Secretary's Standards*, the project can qualify for a potential categorical exemption from CEQA.¹⁴

The goal of the *Secretary's Standards* is to outline treatment approaches that allow for the retention of and/or sensitive changes to the distinctive materials and features that lend a historical resource its significance. When changes are carried out according to the standards, the historical resource retains its historic integrity and thereby continues to convey the reasons for its significance. The *Secretary's Standards* and associated Guidelines are "neither technical nor prescriptive, but are intended to promote responsible preservation practices that help protect" cultural resources.¹⁵ Rather, the *Secretary's Standards* and associated Guidelines offer general recommendations for preserving, maintaining, repairing, and replacing historical materials and features, as well as designing new additions or making alterations.

The *Secretary's Standards* also provide guidance on new construction adjacent to historic districts and properties, in order to ensure that there are no adverse impacts to integrity as a result of a change in setting.

The most flexible of the four *Secretary's Standards* is rehabilitation. For the purposes of Certificate of Appropriateness applications in South Pasadena, rehabilitation is the most commonly used treatment approach. The ten *Secretary's Standards for Rehabilitation* are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the

¹³ 14 California Code of Regulations {CCR} Section 15126.4.

¹⁴ 14 CCR Section 15331.

¹⁵ 36 CFR 67.

old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

In order to determine whether a project complies with the *Secretary's Standards*, the analysis must consider the "character-defining," or historically significant, features of the historical resource. Alterations and replacement of character-defining features over time can impair a historic property's integrity and result in a loss of historic status. Therefore, to ensure that a historic property remains eligible after implementation of projects, character-defining features should be identified and preserved.

According to *Preservation Brief 17, Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*, there is a three-step process to identifying character-defining features. Step 1 involves assessing the physical aspects of the building exterior as a whole, including its location and setting, shape and massing, orientation, roof and roof features, projections, and openings. Step 2 looks at the building more closely—at materials, trim, secondary features, and craftsmanship. Step 3 encompasses the interior, including individual spaces, relations or sequences of spaces (floor plan), surface finishes and materials, exposed structure, and interior features and details.

City of South Pasadena Cultural Heritage Ordinance

Updated in 2017, the City's Cultural Heritage Ordinance includes eligibility criteria for landmarks and historic districts. As codified in Ordinance Section 2.63B, buildings, structures, natural features, and historic districts are eligible for local designation if they meet any or all of the following:

1. Its character, interest or value as a part of the heritage of the community;
2. Its location as a site of a significant historic event;
3. Its identification with a person, persons or groups who significantly contributed to the culture and development of the city, state or United States;
4. Its exemplification of a particular architectural style of an era or history of the city;
5. Its exemplification of the best remaining architectural type in a neighborhood;
6. Its identification as the work of a person or persons whose work has influenced the heritage of the city, the state or the United States;
7. Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials or craftsmanship;

Historic Resource Evaluation Report

8. It is part of or related to a square, park or other distinctive area that should be developed or preserved according to a plan based on a historic cultural or architectural motif;
9. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;
10. Its potential of yielding information of archaeological interest;
11. Its significance as a distinguishable neighborhood or area whose components may lack individual distinction.

3 Property Description & Site History

Located in one of the oldest residential neighborhoods in South Pasadena, 1319 Stratford Avenue consists of a one-story, vernacular residence and accompanying garage. Constructed in 1945, the property is roughly square in plan and capped with a hipped roof with projecting front-gabled wing. The roof terminates in shallow open eaves accented with rafter tails. The home is sheathed in horizontal wood cladding. On the east-facing façade, the projecting gabled-wing displays a bay window with fixed and one-over-one lights, flanked by decorative shutters. A segmental shed roof accented with rafter tails caps the bay. The gable apex is pierced with a vent with horizontal louvers.

The entrance is located at the intersection of the projecting wing and main bay of the house. The door is elevated on four concrete steps and sheltered beneath a small covered porch roof, resting on a simple pole support. The main bay of the home consists of one-over-one windows with decorative shutters. Based on the asymmetrical design composition of the windows, they appear to be an alteration and not part of the original design. The north elevation displays an attached brick chimney with a flared base. Fenestration generally mirrors that of the façade, with one-over-one wood-frame windows with simple wood surrounds in a variety of configurations. On the west elevation, a set of multi-light French doors leads onto a simple wood deck sheltered beneath a wood-frame canopy.

The garage is set back at the rear of the property and accessed via a concrete and asphalt driveway with a wood fence. It is sheathed in horizontal wood siding and accessed via what appears to be a wood door as well as a door. The residence is deeply set back from the street and displays mature landscaping.

Figure 4 East (façade) elevation, east perspective



Source: Rincon Consultants, 2020

Figure 5 Façade, from southeast (top), north elevation, from northeast (bottom)



Source: Rincon Consultants (top) and City of South Pasadena Planning and Building Department (bottom)

Figure 6 Garage and backyard, from east (top) and west elevation, from west (bottom)



Source: Rincon Consultants (top) and City of South Pasadena Planning and Building Department (bottom)

Figure 7 Overview of south elevation, west perspective



Source: City of South Pasadena Planning and Building Department

Construction Chronology and Ownership History

The subject property was constructed in 1945 as a five-room, single-family residence with accompanying garage, occupying a single parcel. In intervening decades, according to building permits on file with the City of South Pasadena Planning and Building Department, permitted changes made to the property included the re-roofing in composition shingles, addition of a deck and fireplace, and alterations to exterior walls, as well as other electrical and plumbing permits.

The house was constructed for Harold Edward Hutchinson. A native of England, Hutchinson was born in 1882 and moved to the United States in 1903.¹⁶ He and his wife Annie resided in South Pasadena for many decades, as early as 1920, when they resided on Glendon Court with their two children, Edith (age 7) and Florence (age 5).

By 1930, the Hutchinson family resided on Bank Street for a number of years before building their new home at 1319 Stratford Avenue in 1945. Hutchinson worked as a wood-worker, cabinet maker, and home builder, running an active practice in South Pasadena. He passed away in 1950, after which point his widow Annie continued to live in the residence through the early 1950s.

¹⁶ Biographical information for property owners and residents was drawn from census, marriage/death, and voter records on file with Ancestry.com, as well as city directories and other sources.

The property changed hands on a number of occasions in the intervening decades.

Table 1 provides a list of all available building permits for the property.

Table 1 Building Permits, 1319 Stratford Avenue

DATE	PERMIT #	OWNER	DESIGN PROFESSIONAL/ CONTRACTOR	DESCRIPTION
1/13/1945	12978	Harold E. Hutchinson	N/A	Construction of 5-room residence with wood siding Total estimated cost: \$4,500
7/5/1945	13438	Harold E. Hutchinson	N/A	Construction of garage Total estimated cost: \$500
10/26/1955	34206	"Clare"	Owner	Interior additions
3/17/1982	N/A	Herbert Hess	Owner/builder	Addition of zero-clearance fireplace Total estimated cost: \$1,000
9/2/1982	N/A	Herbert Hess	Owner/builder	Redwood deck, composition roof, alteration of existing wall of house Total estimated cost: \$2,000
9/22/1982	N/A	Herbert Hess	Owner/builder	Electrical permit
8/14/1998	001801	Joannie Hess	Morrow & Holman Plumbing, South Pasadena	Plumbing permit

4 Focused Neighborhood Overview

The subject property is located in one of South Pasadena’s oldest residential areas. As of May 2020, the neighborhood and vicinity still retain some of the City’s highest concentrations of early twentieth century neighborhoods and architecture.

The tract map establishing this block of Stratford Avenue was filed in 1911 (Figure 8), and the present configuration still reflects the original tract design. The block was quickly established as a residential neighborhood of primarily one-story Craftsman and period-revival style homes.

As shown on the Sanborn Fire Insurance Map, as of 1930, this immediate block of Stratford Avenue was already home to a total of 26 single-family homes, a vast majority of which (23) were one-story dwellings. Another two homes had 1.5 stories, and one home had 2 stories in 1930.

By 1950, past the cut-off date for the district’s period of significance, this block of Stratford Avenue still had a majority of one-story homes, with 23 of 26 one story in height. By the time of the subject property’s construction in 1945, the Marengo School Craftsman District was already nearly built-out, with a cohesive collection of Craftsman and period-revival homes with uniform setbacks, side driveways, and mature landscaping and street trees.

Figure 8 Tract No. 1348, filed in 1911; 1319 Stratford Avenue occupies lot 19



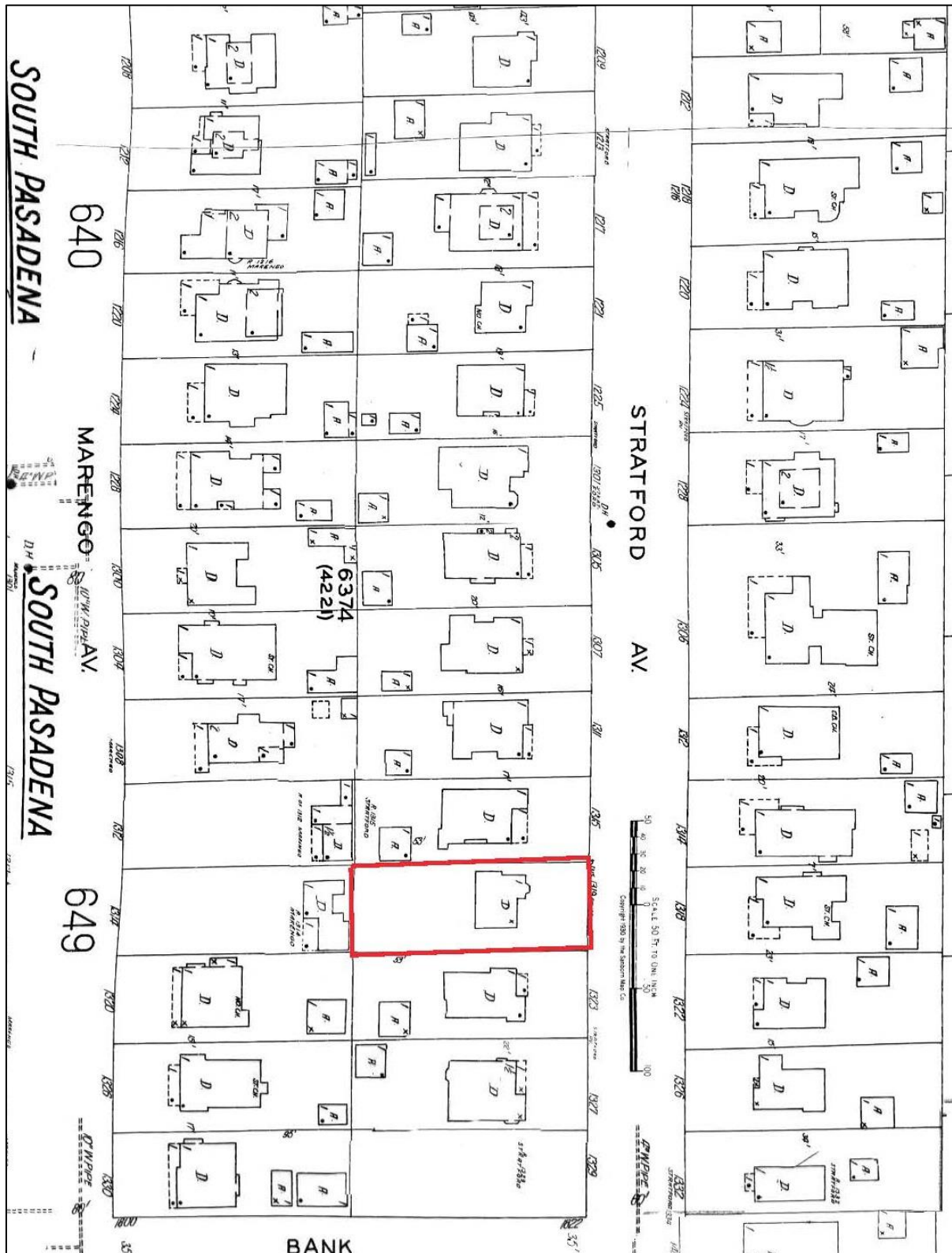
Source: Los Angeles County Department of Engineering Tract Map Archives

Figure 9 1930 Sanborn Fire Insurance Map; 23 of 26 homes through Stratford Avenue were still one-story in height



Source: Environmental Data Resources, 2020

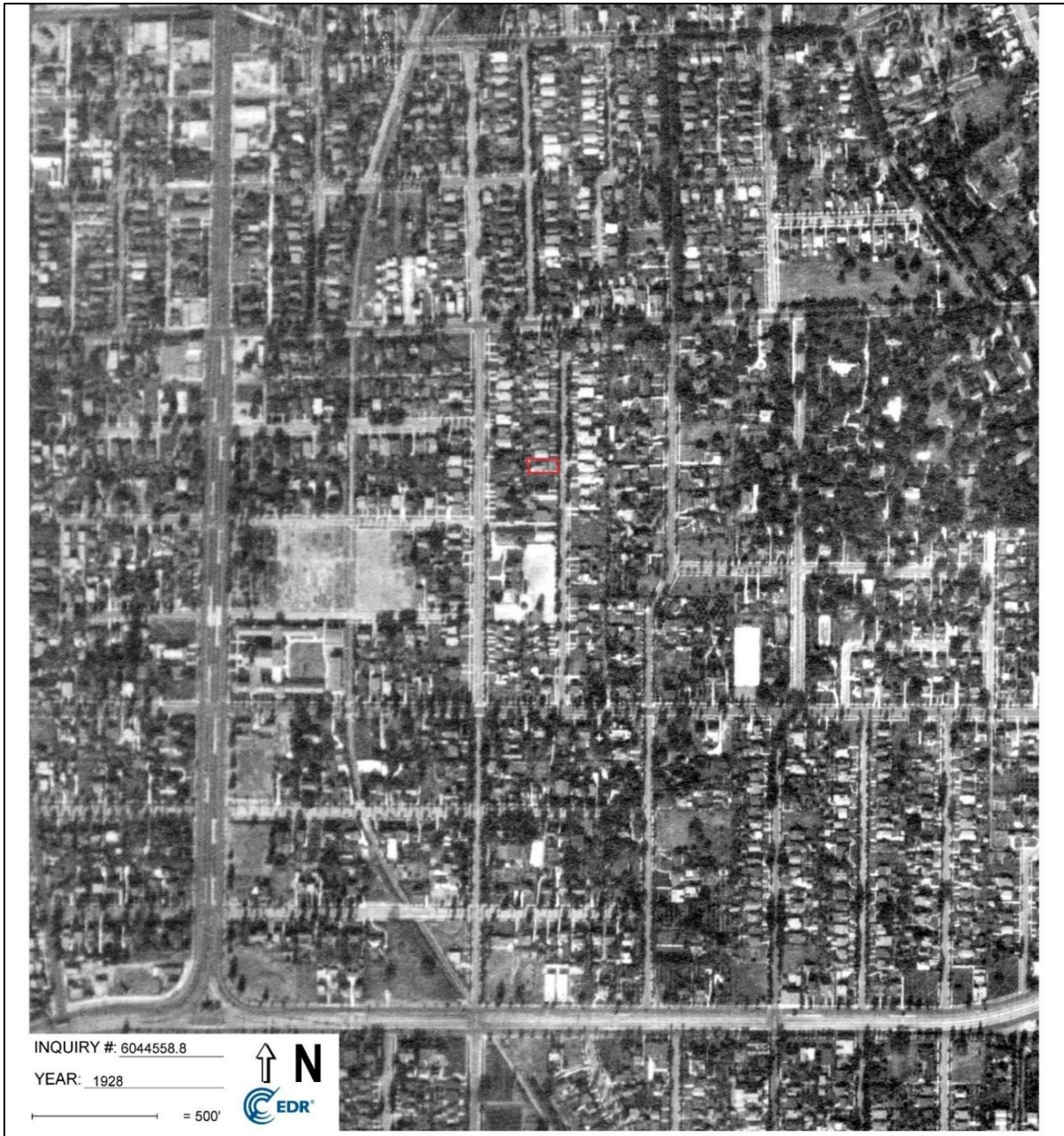
Figure 10 As of 1950, the Stratford Avenue portion of the Marengo School Craftsman District still consisted primarily of one-story homes



Source: Environmental Data Resources, 2020

Throughout central South Pasadena, early settlement owed much to the area’s proximity to neighborhood schools, including Marengo Elementary, the commercial areas along Mission Street and Fair Oaks Avenue, and the transportation corridors of Huntington Drive to the south and Fair Oaks Avenue to the west, both of which included Pacific Electric “Red Car” lines. Aerial photographs from 1928 and 1948 show the degree of build-out by 1928; in the photos, Fair Oaks Avenue and Huntington Drive bisect, in broad horizontal and vertical swaths, the left and bottom of the photos (Figure 11 and Figure 12). Construction between 1928 and the postwar period was limited to in-fill on the few empty lots that were still available.

Figure 11 1928 aerial photograph; the vertical swath of Fair Oaks appears on the left, the horizontal swath of Huntington Drive appears along the bottom



Source: Sanborn Fire Insurance Map, Environmental Data Resources, 2020

Figure 12 1948 aerial photograph, three years after construction of subject property



Source: Sanborn Fire Insurance Map, Environmental Data Resources, 2020

5 Evaluation and Project Review

The subject property does not appear to meet the applicable eligibility criteria. Rincon recommends the property as ineligible individually or as a contributor to a historic district. The subject property was not included or identified in the 2015/2016 survey as an individually eligible historic resource. However, this study confirms the property's status as a noncontributor within the eligible historic district, the **Marengo School Craftsman District**. The Marengo School Craftsman District was identified through two citywide historic resources surveys adopted by City Council; the district is included in the City's Inventory of Cultural Resources and therefore **qualifies as a historical resource pursuant to CEQA**. This section describes this district and presents an overview of the proposed project in light of the 2014 *Citywide Historic Context Statement*, *City Design Guidelines*, and *Secretary's Standards*. Because the subject property itself is not itself a historical resource, the project review included in this section focuses only on those guidelines applying to in-fill within historic districts and adjacent to historic properties, vis-à-vis the district's character-defining features and historic integrity.

Eligible Historical Resources Affected by Project

Marengo School Craftsman District, Character-Defining Features

As described in the City's 2015/2016 historic resources survey (p. 52), the Marengo School Craftsman District represents "a good example of a neighborhood of modestly-sized period revival single-family residences, with a high degree of integrity, in South Pasadena" (Figure 13). The 2015/2016 evaluation identified 96 contributing properties and 51 noncontributors, with a period of significance from 1903 to 1951. Page 52 of the survey report documented the following character-defining features of the Marengo School Craftsman District:

- Modestly sized, one- and two-story, single-family residences; houses occupy rectangular lots with a common setback
- Craftsman architectural style, as well as period-revival styles, are the unifying feature
- Paved paths (usually concrete) leading from the sidewalk to primary façades
- Detached garages, located at the rear of the parcel, accessed via side driveways
- Landscaping, consisting of mature shrubs and trees; concrete retaining walls and concrete curbs, gutters, and sidewalks

Figure 13 South Pasadena Inventory-Listed Marengo School Craftsman District



Source: City of South Pasadena Planning and Building Department

The proposed project would add a second story to the subject property. As noted previously, a majority of contributors throughout the Marengo School Craftsman District consist of one-story Craftsman and period-revival style homes.

Marengo School Craftsman District, Historic Integrity

Over the years, many properties within the Marengo School Craftsman District have been updated, altered, and expanded, with the most salient alteration consisting of second-story additions in the rear elevations of homes. The 1300 block of Stratford Avenue has seen the highest number of second-story additions on the block. Out of 15 homes, 30 percent (or five properties) have highly visible second-story additions in the rear elevations. The most recent of these is still under construction at 1314 Stratford Avenue. Other alterations through the Stratford Avenue portion of the historic district include 1 1/2 -story façade elevation dormers as well as the removal/replacement of original windows, doors, and exterior sheathing.

Some of these alterations have resulted in formerly eligible contributing properties being recommended as ineligible. Two such properties are adjacent to the subject property: 1311 Stratford and 1315 Stratford Avenue (Figure 14). Based on a site inspection of these properties by Rincon, the principal alterations appear to be the two-story additions in the rear elevations of the homes. These additions are (1) significantly higher or stylistic departures from the original homes and (2) highly visible from the public right-of-way. In accordance with CEQA, the change from eligible to ineligible constitutes material impairment and a significant adverse impact.

Figure 14 Potential noncontributors to Marengo School Craftsman District, due to alterations; 1311 Stratford (left) and 1315 Stratford (right, adjacent to subject property)



Source: City of South Pasadena Planning and Building Department

The trend toward adding two-story additions that are not visually subordinate, in terms of height, to the original mass of contributing properties, and that are highly visible from the public right-of-way is creating a gradual cumulative impact to the historic setting, feeling, and character of the Marengo School Craftsman Historic District. As documented in the City's 2015/2016 historic resources survey, this was a common trend for historic districts throughout South Pasadena; the survey recommended that dozens of contributing historical resources within the City's historic districts should be re-evaluated due to alterations.

The following photographs of the 1200 and 1300 blocks of Stratford Avenue provide a visual overview and comparison of the one-story areas of the district and the newly emerging two-story residences. These images provide a comparison of contributors expanded through second-story additions as well as through hyphens and/or one-story extensions in the rear of the homes.

Figure 15 Overview of the setting and feeling conveyed through the one-story character of Stratford Avenue, Marengo School Craftsman District



Source: Rincon Consultants, 2020

Figure 16 From left to right, 1323 Stratford (1922, district contributor), the subject property at 1319 Stratford (1945, noncontributor), and 1315 Stratford (1924, former contributor, and now a potential non-contributor as of 2015/2016, due to alterations)



Source: Rincon Consultants, 2020

Figure 17 2nd-story additions in 1300 block of Stratford Avenue; 1312 Stratford (1913, on left), 1314 Stratford (1914, on right, addition under construction), northwest perspective



Source: Rincon Consultants, 2020

Figure 18 View from west perspective of 1318 Stratford and 2nd-story addition to 1314 Stratford Avenue



Source: Rincon Consultants, 2020

Figure 19 1300 block of Stratford, southwest perspective, with 2nd-story addition at 1314 Stratford in the background, center-left



Source: Rincon Consultants, 2020

Figure 20 Example of one-story addition within 1300 block of Stratford Avenue



Source: Rincon Consultants, 2020

Proposed Project Review

This section presents an overview of the proposed project in light of the applicable City of South Pasadena preservation planning guidelines and regulations: (1) the 2014 *Citywide Historic Context Statement*, (2) City of South Pasadena Design Guidelines, and (3) the *Secretary's Standards*. The following summarizes the need and scope for applying each set of standards.

1. The *Citywide Historic Context Statement* was commissioned by the South Pasadena Planning and Building Department in 2014 and was funded through a Certified Local Government grant. The study includes eligibility standards and integrity thresholds, including for cumulative impacts, for historic properties and districts throughout South Pasadena.
2. The City's Design Guidelines, created in 2009, apply the *Secretary's Standards* to the specific architectural styles and historic character of South Pasadena. As codified in Municipal Code Section 2.65, the City of South Pasadena *Design Guidelines for Alteration & Additions to Historic Residences* are to be considered in the issuance of all Certificates of Appropriateness.
3. Project compliance with the *Secretary's Standards* is the only method recognized in CEQA Guidelines Section 15064.5(b)(3) for avoiding, lessening, and mitigating significant adverse impacts to historical resources.

In addition, pursuant to CEQA Guidelines Section 15331, projects that comply with the *Secretary's Standards* qualify for a Class 31 Categorical Exemption. Each time the City issues a Certificate of Appropriateness, the City's accompanying CEQA determination claims this Class 31 exemption, based on project compliance with the *Secretary's Standards*. Therefore, to ensure compliance with CEQA, *Secretary's Standards* compliance is the essential requirement for issuance of a Certificate of Appropriateness.

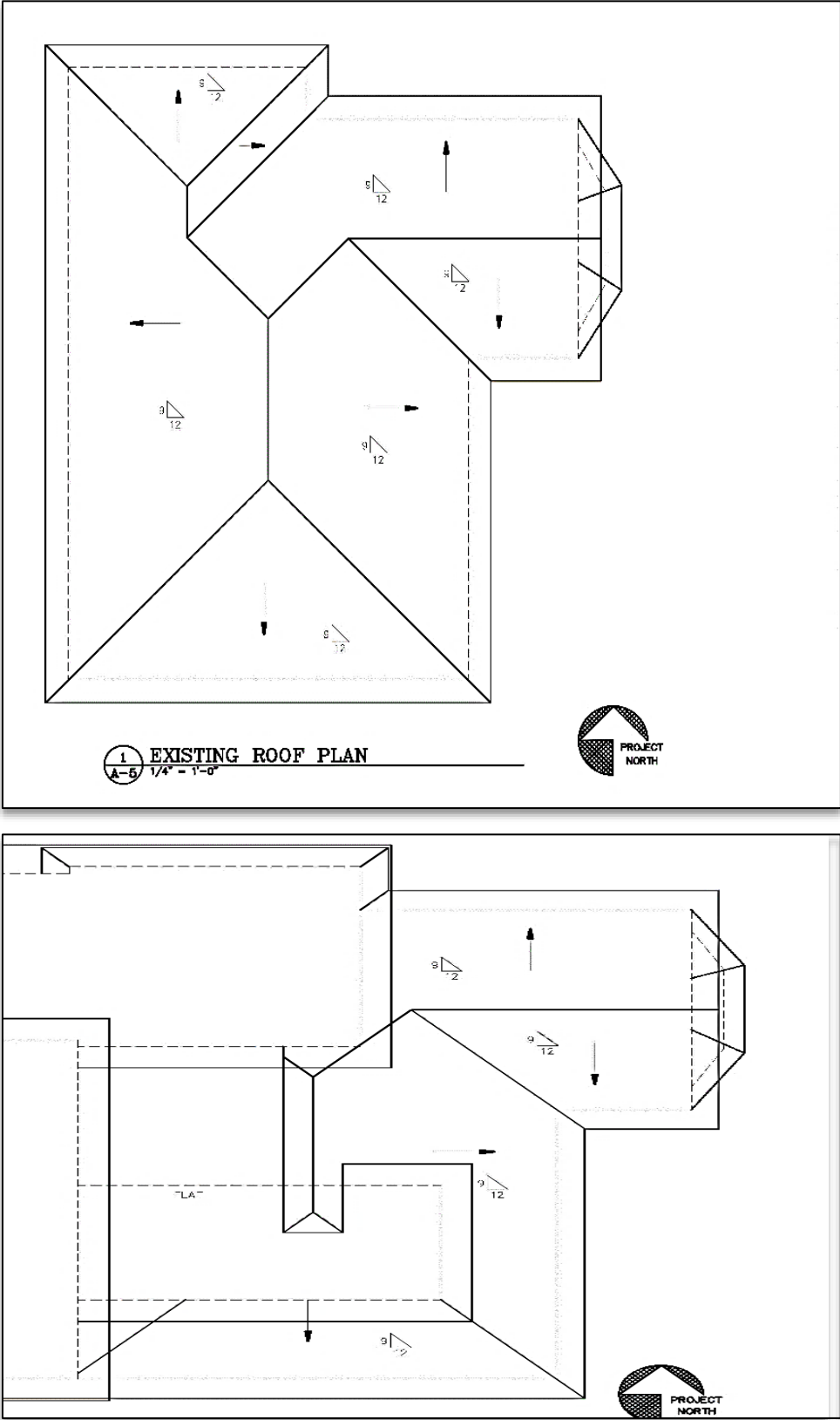
Because the subject property is not itself a historical resource (the eligible resource is the Marengo School Craftsman District), the following sections focus on the relevant standards guiding in-fill within historic districts and adjacent to historic properties, in light of the district's character-defining features and historic integrity.

The proposed project calls for a two-story addition totaling 1,578 square feet, representing a 70 percent increase in total square footage. The addition and new roof line, which would rise to 22 feet and 6.5 inches at the highest point, would remove approximately 50 percent of the volume of the existing house. The addition would primarily be located at the rear elevation of the residence.

The roofline for the addition would be flat, and the mass of the addition itself would be rectangular. The proposed flat roof departs from the hipped roof of the subject property and from the traditional front- and side-gabled roofs seen on most of the contributing properties throughout the historic district.

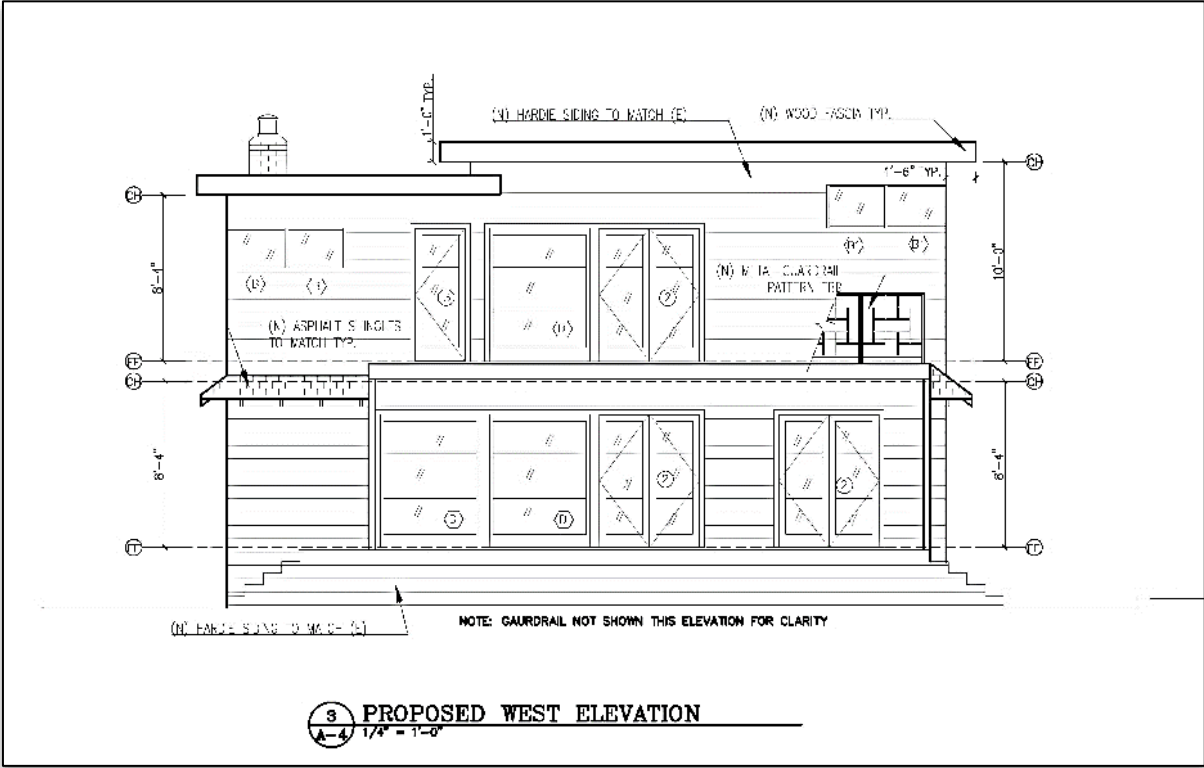
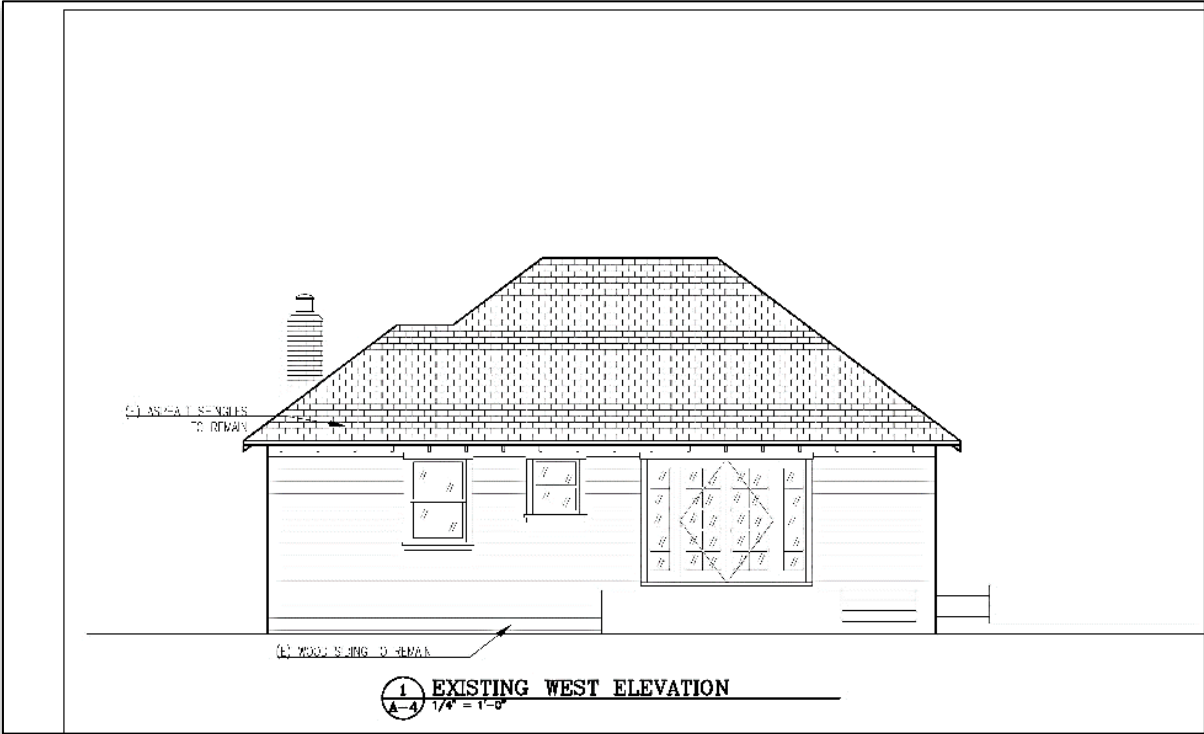
The most relevant component of the proposed project, due to its potential for indirect impacts to the adjacent historic district, is the new construction and addition, due to its two-story mass, volume, and form. The following figures include the existing and proposed elevations for the project.

Figure 21 Roof plan, existing (top) and proposed (bottom)



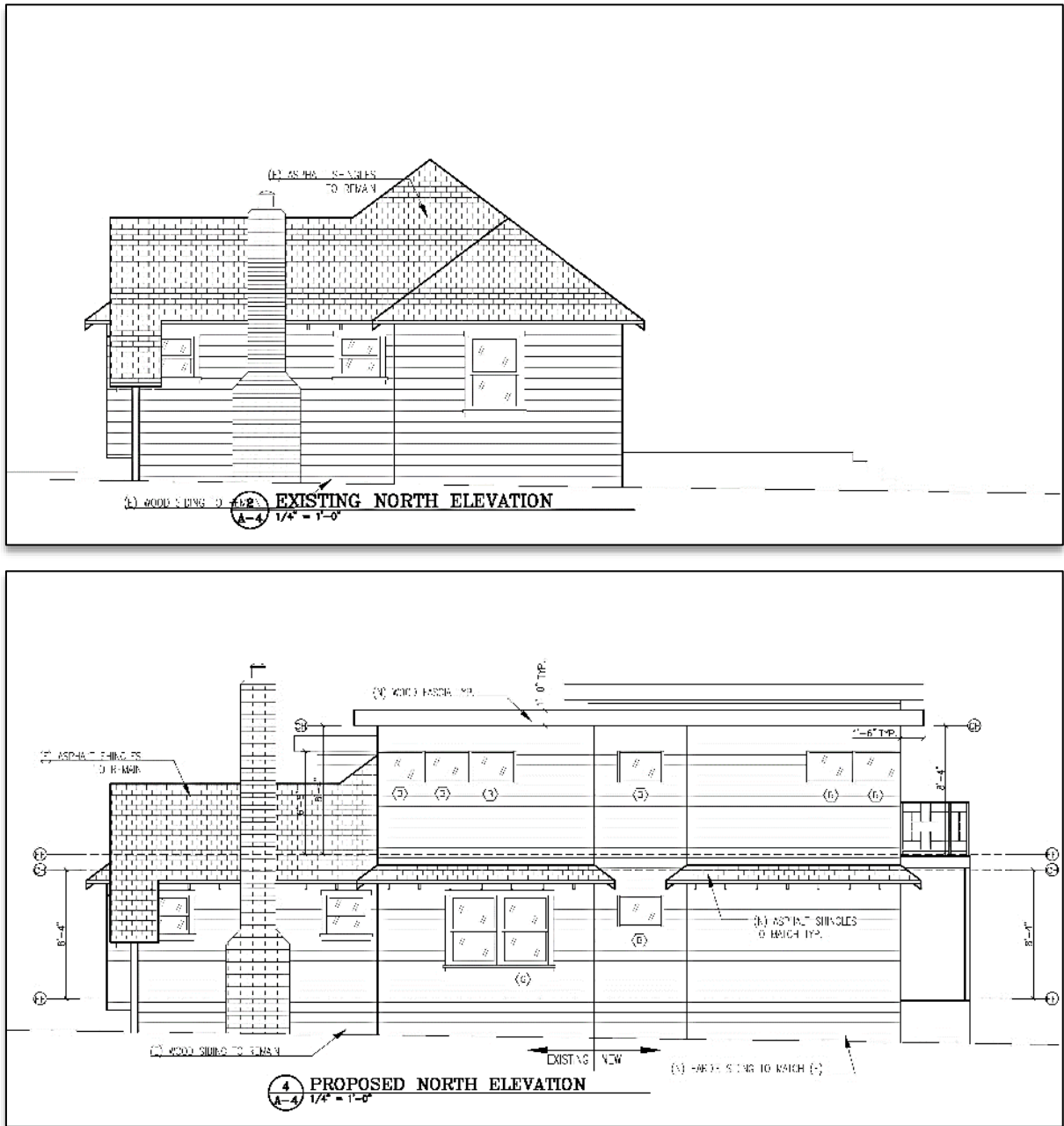
Source: City of South Pasadena Planning and Building Department, 2020

Figure 23 West elevation, existing (top) and proposed (bottom)



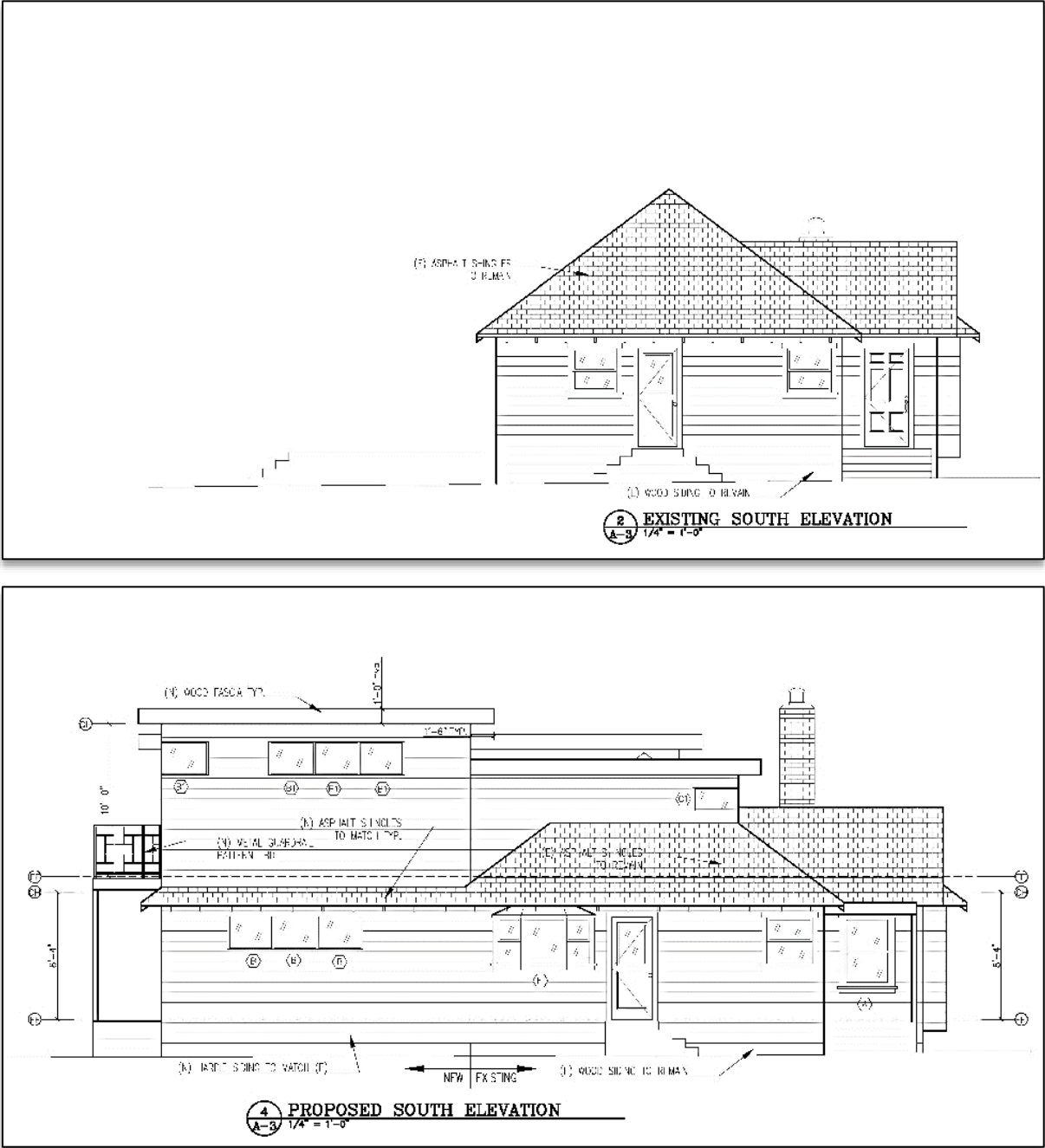
Source: City of South Pasadena Planning and Building Department, 2020

Figure 24 North elevation, existing (top) and proposed (bottom)



Source: City of South Pasadena Planning and Building Department, 2020

Figure 25 South elevation, existing (top) and proposed (bottom)



Source: City of South Pasadena Planning and Building Department, 2020

Citywide Historic Context Statement, Eligibility Standards/Integrity Thresholds

As noted above, the subject property falls within the Marengo School Craftsman District. The following eligibility standards and guidance on additions/alterations to individually eligible resources and within Craftsman and period-revival historic districts are drawn from the *Citywide Historic Context Statement*:

1. New additions should be “compatible with, differentiated from, and subordinate to the original” (page 252).
2. New additions should not “damage or destroy historic materials, features, and spatial relationships that characterize the property” (page 252).
3. “In order for a historic district to be eligible for designation, the majority of the components that add to the district’s historic character must possess integrity, as must the district as a whole. A contributing property typically must retain integrity of location, design, **setting, feeling**, and association to adequately convey the significance of the historic district” (page 153).
4. “Some alterations to individual buildings, such as replacement roof materials, replacement garage doors, and replacement of some windows (within original openings) may be acceptable as long as the district as a whole continues to convey its significance” (page 153).
5. “In order to **avoid adverse cumulative impacts to the character of a historic district**, major alterations such as replacement of all windows, substantial additions to the primary façade or that alter the original roofline, and enclosed porches and balconies should be avoided” (page 153).
6. “Alterations to both individual residences and the district should be evaluated in terms of **the cumulative effect on the historic resource**” (page 153).

The proposed project would introduce an additional two-story residence within the Stratford Avenue block of the Marengo School Craftsman District. One of the district’s character-defining features is its primarily one-story character and Craftsman/period-revival architectural styles. This stretch of the district, in the 1300 block of Stratford Avenue, already has five of 15 properties that have been altered from one story to two stories (including one property currently under construction). The 2015/2016 historic resources survey identified four former contributing properties may no longer be eligible due to alterations (more two-story additions have been completed since that time).

The proposed second-story addition would introduce another element within the district that departs from its traditional one-story character; it would also introduce a high (at over 22 feet), atypical flat roof element to the historic, which is characterized by hipped and front- and size-gabled roof lines. In addition, the second-story addition would be rectangular in volume, introducing another feature that departs from the historic setting and feeling of the historic district.

The two-story mass and flat roof depart from the guidance offered in the City of South Pasadena’s *Citywide Historic Context Statement* to preserve and maintain the historic integrity of historic districts. In order to avoid, lessen, or mitigate a significant, cumulative adverse impact to the historic district, it is recommended that the City work with the applicant to identify ways to scale-back and enhance the compatibility of the second-story addition to the subject property, both in terms of size and design.

City of South Pasadena Design Guidelines

As codified in Municipal Code Section 2.65, the City of South Pasadena *Design Guidelines for Alteration & Additions to Historic Residences* are to be considered in the issuance of all Certificates of Appropriateness. As stated on page 9, the Design Guidelines

are based on the *Secretary of the Interior's Standards for Treatment of Historic Properties*. They are intended to foster the preservation and rehabilitation of the character-defining features. The standard procedure for historic buildings is to identify, retain and preserve the form and detailing of the architectural materials and features that are important in defining the historic character of the structure. Additions or alterations are encouraged to be compatible with these historic features.”¹⁷

The Design Guidelines include a section focused on additions to historic properties or properties adjacent to historic properties. The goal of this section is to “provide direction on how additions should be designed to respect the character of the historic building, the neighborhood and adjacent properties. The height, massing, forms, location on the property, roof slope, exterior building materials, window and door type and placement are all important considerations in the design of an addition.”¹⁸

The following guidelines relate to new construction to historic properties and within or adjacent to historic districts:

1. “Additions should be designed to respect the character of the original historic structure and to **minimize impacts on adjacent properties**” (page 36).
2. A primary character-defining feature of many homes and neighborhoods is their **single-story configuration**. Second story additions to one-story houses are therefore generally discouraged. It should be understood, particularly in these cases, that it may not be possible to achieve the allowable floor area ratio (FAR) without impacting the historic building. In these cases, therefore, the maximum use of the FAR is not likely to be the most appropriate way to approach the project” (page 36).
3. “Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and **should be limited in size and scale** in relation to the existing structure. Additions should have limited visibility from the street” (page 36).
4. “Second story additions with **simple rectangular building forms appear massive**; variety and articulation of a second floor addition is necessary for compatibility with neighboring structures” (page 37).
5. “The mass of a structure is related to its floor area, height, relationship to the site and design of its architectural forms. Articulated architectural forms and traditional details consistent with the historic styles are encouraged in additions to historic residences. Existing structures in the historic neighborhoods vary in size, but are predominantly small in size and scale. Most are single story bungalows. This smaller scale is a significant part of the charm and appeal of these neighborhoods. Roof-top additions are more likely to be necessary for these small houses” (page 37).

¹⁷ City of South Pasadena, Planning and Building Department. January 2009. *Part II: Design Guidelines for Alteration & Additions to Historic Residences*, p 9. Prepared by Architectural Resources Group, Pasadena, California.

¹⁸ City of South Pasadena, Planning and Building Department. January 2009. *Part II: Design Guidelines for Alteration & Additions to Historic Residences*, p 37. Prepared by Architectural Resources Group, Pasadena, California.

In light of these guidelines and the character-defining features of the Marengo School Craftsman District, the proposed project's second-story addition, rectangular mass, and flat roof represent a departure from the City's Design Guidelines.

A rectangular, flat-roof addition is present on the neighboring property, at 1315 Stratford Avenue; however, due to alterations, the property was identified in 2015/2016 as potentially no longer eligible as a contributor to the historic district.

In contrast, a number of homes in the Stratford Avenue block of the Marengo School Craftsman District have been expanded in line with the Design Guidelines; these addition projects provide for additional living space while also retaining the historic massing and scale in keeping with the character-defining features of the historic district. These changes reflect these City Design Guidelines recommendations:

- An addition set apart from the original building with a small connector to link it is appropriate when the rear yard can accommodate the additional building footprint.
- Stepping the height up away from the street and neighboring structures can minimize the perceived scale of an addition.
- Consider the existing rhythm of setbacks at the front, rear and side yards when planning any addition. The creation of large, flat surfaces and the loss of open space and mature landscaping should be avoided.
- Locate a rooftop addition back from the building front.
- The back of a building may be taller than the front and still appear in scale with the primary structure if appropriately designed.

As stated previously, the proposed project would introduce an additional two-story residence within the Stratford Avenue block of the Marengo School Craftsman District. One of the district's character-defining features is its primarily one-story character and Craftsman/period-revival architectural styles. This stretch of the district, in the 1300 block of Stratford Avenue, already has five of 15 properties that have been altered from one story to two stories (including one property currently under construction). The 2015/2016 historic resources survey identified four former contributing properties may no longer be eligible due to alterations (more two-story additions have been completed since that time).

The proposed second-story addition would introduce another element within the district that departs from its traditional one-story character; it would also introduce a high (at over 22 feet), atypical flat roof element to the historic, which is characterized by hipped and front- and side-gabled roof lines. In addition, the second-story addition would be rectangular in volume, introducing another feature that departs from the historic setting and feeling of the historic district.

The character of the proposed two-story mass and flat roof depart from the guidance offered in the City of South Pasadena's Design Guidelines. In order to avoid, lessen, or mitigate a significant, cumulative adverse impact to the historic district, it is recommended that the City work with the applicant to identify ways to scale-back and enhance the compatibility of the second-story addition to the subject property, both in terms of size and design.

Secretary's Standards

This section includes the relevant Secretary's Standard for Rehabilitation for the proposed project: Standard No. 9.

Rehabilitation Standard No. 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard No. 9 focuses on two primary qualities for new additions or related adjacent construction: differentiation from and compatibility with the historic resource.

In terms of differentiation, the goal is to ensure – through design composition, materials, finishes— that the new construction is clearly discernible as a later, non-historic addition to the historic property. In terms of compatibility, the goal is ensuring that the new addition or construction blends seamlessly with the historic property, that it is (ideally) visually subordinate and unobtrusive to the historic resource.

The project does not presently comply with Standard No. 9, due to the scale, mass, and character of the new construction compared with the small scale of the subject property as well as the character-defining features of the historic district.

In order to avoid, lessen, or mitigate a significant, cumulative adverse impact to the historic district, it is recommended that the City and Design Review Board work with the applicant to identify ways to scale-back and enhance the compatibility of the second-story addition to the subject property, both in terms of size and design.

6 Conclusion

As a result of this analysis, Rincon evaluated and updated the historic resource status of the subject property. The property does not appear eligible, either individually or as a contributor to a historic district, under any of the applicable criteria. However, the property is a noncontributor within an Inventory-listed historic district, the Marengo School Craftsman District. As such, the proposed project would affect a qualifying historical resource per CEQA review; this report provides an analysis of potential direct and indirect adverse impacts to this historical resource.

As a result of project review completed for this study, Rincon finds that some components of the proposed project depart from the applicable South Pasadena preservation planning guidelines and regulations, including: (1) the 2014 *Citywide Historic Context Statement*, (2) City of South Pasadena Design Guidelines, and (3) the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Secretary's Standards)*.

The proposed project would introduce an additional two-story residence within the Stratford Avenue block of the Marengo School Craftsman District. One of the district's character-defining features is its primarily single-story residential character and Craftsman/period-revival architectural styles, dating primarily to the 1910s and 1920s. In recent years, the 1300 block of Stratford Avenue has seen five of 15 properties go from one to two stories in height (including one property currently under construction).

In addition, the City's 2015/2016 historic resources survey identified four contributing properties that may no longer be eligible due to alterations, including two-story additions in rear elevations and additions with flat roofs, as is proposed for the subject property. Such changes to the district over time have begun to result in gradual, cumulative impacts to its historic integrity.

The proposed project would also introduce an additional two-story high (over 22 feet), atypical flat roof within the 1300 block of historic district, which is characterized by hipped and front- and size-gabled roof lines. In addition, the second-story addition would be rectangular in volume, introducing another design feature that departs from the historic setting and feeling of the Marengo School Craftsman District.

In summary, the two-story mass and rectangular volume of the proposed addition, as well as the flat roof form, depart from the guidance offered in the *Citywide Historic Context Statement*, *City Design Guidelines*, and *Secretary's Standards*.

In order to avoid, lessen, or mitigate significant, indirect and cumulative adverse impacts to the historic district, this study recommends the following mitigation measures for the project:

1. The City and Design Review Board work with the applicant to identify ways to bring the project into compliance with applicable preservation planning guidelines, including *Citywide Historic Context Statement*, *City Design Guidelines*, and *Secretary's Standards*
2. The City, Design Review Board, and project applicant identify ways to scale-back the second-story addition, to ensure that it is visually subordinate to the subject property and thereby more compatible with the setting, feeling, and character of the surrounding historic district;
3. The City, Design Review Board, and project applicant identify ways to ensure the stylistic compatibility of the second-story addition to the subject property, by exploring alternatives to the current rectangular-massed, flat-roof addition.

7 Bibliography

- Harris, Cyril M. 1998. *American Architecture: An Illustrated Encyclopedia* (New York: WW Norton).
- Historic Resources Group. 20 June 2017. *Administrative Draft Report, City of South Pasadena Historic Resources Survey*. Prepared for: City of South Pasadena Planning and Building Department.
- . 2014. *Final Administrative Report, South Pasadena Citywide Historic Context Statement*. Prepared for: City of South Pasadena Planning and Building Department.
- LSA Associates, Inc. 2015. California Department of Transportation and LA County Metropolitan Transportation Authority, Draft Environmental Impact Report/Environmental Impact Statement, Volume I and II, March 2015. California Department of Transportation, District 7.
- McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses* (New York: Alfred A. Knopf).
- McCoy, Esther. 1975 [1960]. *Five California Architects* (Santa Monica, CA: Hennessey + Ingalls).
- . 1975. "Arts and Architecture Case Study Houses." *Perspecta*, vol. 15: pp. 55-73.
- Morton, W. Brown III, Gary L. Hume, Kay D. Weeks, and H. Ward Jandl. 1992. *Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings* (Washington, D.C.: U.S. Department of the Interior, National Park Service, Cultural Resources, Preservation Assistance Division).
- National Park Service, Department of the Interior. 1991. *National Register Bulletin 16A, How to Complete the National Register Registration Form* (Washington DC: National Register Branch).
- . 1990. National Register Bulletin 15, *How to Apply the National Register Criteria for Evaluation* (Washington DC: National Register Branch).
- Nelson, Lee H. 1982. *Preservation Brief 17: Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*. Heritage Preservation Services, National Park Service. (Washington, DC: Department of the Interior).
- Office of Historic Preservation. 1995. "Instructions for Recording Historical Resources" (Sacramento, CA: State Office of Historic Preservation).
- PCR Services Corporation. 2002. Historic Resources Survey Report: Phase I Documentation of Historic Districts and Individual Properties. Prepared for the City of South Pasadena Planning and Building Department, December 2002.
- . 2003. Historic Resources Survey Report: Phase II Documentation of Historic Districts and Individual Properties. Prepared for City of South Pasadena Planning and Building Department, September 2003.
- South Pasadena Planning and Building Department. Building permits.
- Woodbridge, Sally B. 1980. "The California House." *The Wilson Quarterly*, vol. 4, no. 3 (summer 1980): pp. 83-91.

ATTACHMENT 5
Correspondence From Applicant



CITY OF SOUTH PASADENA

PLANNING AND BUILDING DEPARTMENT
1414 MISSION, SOUTH PASADENA, CA 91030
TEL: 626.403.7220 ▪ FAX: 626.403-7221
WWW.SOUTHPASADENACA.GOV

INCOMPLETE AND CORRECTION NOTICE

May 6, 2020

PROJECT #: 2299-DRX

PROJECT LOCATION: 1319 Stratford Avenue, South Pasadena, CA 91030
(APN: 5315-006-045)

APPLICANT: Adrian Dahl
1134 El Centro Street
South Pasadena, CA 91030

OWNER: Jack and Mary Ross
1319 Stratford Avenue
South Pasadena, CA 91030

ZONING: Residential Single-Family (RS)

GENERAL PLAN: LDR- Low Density Residential

RE: Incompleteness and Correction Letter for Project No. 2299-DRX for a 712 square-foot first floor addition, a 866 square-foot second floor addition, a 142 square-foot deck, the demolition of 254 deck, and relocation of a trellis and one car garage on a 7,479 square-foot lot at 1319 Stratford Avenue (Assessor's Parcel Number: 5320-025-017)


Dear Adrian Dahl:

On behalf of the South Pasadena Planning Division, thank you for your submittal on March 27, 2020, for the project referenced above. The City has completed its review of the submittal materials and has deemed the application **INCOMPLETE**. Please provide the following information and corrections.

1. A Historical Resource Evaluation (HRE) is required and is in process.
2. Site Plan. Separate exhibit depicting both existing site improvements and landscape to make the site plan more visible. Revise the site plan to include the following information.
 - a. Label the proposed deck/covered porch
 - b. Provide the dimension of the carport.

3. Sheet L-1 – Landscape Plan. Sheet L-1 is inconsistent with the Site Plan’s depiction of the location and size of existing and proposed structures.
 - a. Revise L-1 so that the size of the addition and location of the proposed garage is consistent with the Site Plan.
 - b. It is not clear what components of the project were included in the hardscape calculations. Hardscape areas include areas that are occupied by the ground-floor of proposed addition and the portion of the deck above 30 inches. According to the plan’s calculations this should total 854 square feet.
 - c. Provide dimensions of the lot as well as structures (similar to the site plan)
4. Garage and carport relocation. It is our understanding that the existing garage and carport will be demolished and replaced. However, based on the site plan, it appears they will be relocated. If so, please provide a description of the work entailed to relocate the existing garage and photographs of the existing garage and carport on all four sides and interior. If proposing a new garage, please show on site plan and provide floor plan and elevations.
5. Public Notification. Please email us the radius map and mailing labels.
6. Table 2-3 of Section 36.220.040 of the Zoning Code requires a side setback equivalent to 10% of the lot width in the RS Zone. In addition, Section 36.220.050(B)(2) of the Zoning Code requires the second story to be set back a minimum of three feet from the side of the house. The 52-foot-wide lot would require a minimum setback of 5 feet and 2 inches and 8 feet and 2 inches applied to the second story. The proposed addition facing the north side property line does not meet either setback requirements.
 - a. The exterior walls of the new addition would have to meet the minimum set back distance. Allowed setback projections if consistent with Table 3-1 of Section 36.300.030(D) such as sills, cornices, roof overhang, eaves, or bay window provides options for architectural detailing on this elevation.
7. Section 36.220.050(A) requires that the proposed project’s exterior colors, forms, and materials to be consistent and visually compatible with adjacent structures and the surrounding neighborhood and must comply with the City’s Residential Design Guidelines. Part III of the Residential Guidelines apply to this property because it is not listed in the City’s Inventory. Please revise so that the proposed additions is consistent with the forms of the existing house.

Please submit revised drawing in one PDF file. If you have any questions, please contact me at (626) 403-7227 or via email at kkith@southpasadenaca.gov.

Sincerely,

Kanika Kith,
Planning Manager



1319 Stratford Incomplete Letter Responses
(Letter dated May 6th, 2020)

(Dahl Architects responses in purple)

- A Historical Resource Evaluation (HRE) is required and is in process.
 - **In process with consultant and staff**
- Site Plan. Separate exhibit depicting both existing site improvements and landscape to make the site plan more visible. Revise the site plan to include the following information:
 - **All landscaping moved to L-1 and L-2**
 - **Separate existing and proposed site plans and landscaping plans created for clarity**
 - Label the proposed deck/covered porch
 - **See 2/A-1A**
 - Provide the dimension of the carport
 - **See 1&2/A-1A**
- Sheet L-1 – Landscape Plan. Sheet L-1 is inconsistent with the Site Plan's depiction of the location and size of existing and proposed structures.
 - **L-2 sheet created to show existing and proposed separately. Hatched area for new addition was intended to show only added hardscape – I realize that was unclear.**
 - Revise L-1 so that the size of the addition and location of the proposed garage is consistent with the Site Plan.
 - **See L-1 and L-2**
 - It is not clear what components of the project were included in the hardscape calculations. Hardscape areas include areas that are occupied by the ground-floor of proposed addition and the portion of the deck above 30 inches. According to the plan's calculations this should total 854 sq. ft.
 - **Calculations revised, see L-1 and L-2**
 - Provide dimensions of the lot as well as structures (similar to the site plan)
 - **See L-1 and L-2**
- Garage and carport relocation. It is our understanding that the existing garage and carport will be demolished and replaced. However, based on the site plan, it appears they will be relocated. If so, please provide a description of the work entailed to relocate the existing garage and photographs of the existing garage and carport on all four sides and interior. If proposing a new garage, please show on site plan and provide floor plan and elevations.
 - **Not sure where this understanding came from – it is described in our scope of work and on the site plan. Let us know if there is anything else we can indicate to make this more clear.**
 - **Entire garage will be picked up and moved to new location. New curb and slab will be created and the existing garage will be moved onto new curb. Once in place and bolted on to new curb, existing curb will be removed where no longer in use. All materials (except parts of curb) to be saved if possible.**
 - **See attached garage and trellis photos**
 - **It was difficult to photograph the rear as that area is currently overgrown with bamboo**
- Public Notification. Please email us the radius map and mailing labels.
 - **Attached with resubmittal package**

- Table 2-3 of Section 36.220.040 of the Zoning Code requires a side setback equivalent to 10% of the lot width in the RS Zone. In addition, Section 36.220.050(B)(2) of the Zoning Code requires the second story to be set back a minimum of three feet from the side of the house. The 52-foot-wide lot would require a minimum setback of 5 feet and 2 inches and 8 feet and 2 inches applied to the second story. The proposed addition facing the north side property line does not meet either setback requirements.
 - **Section 36.220.050(B)(2) goes on to say, “...unless the architectural style requires a zero front or side second story setback, as determined by the Review Authority.”**
 - **We believe the zero second story setback on the side is an important part of the design and affects how the modern addition interacts with the existing home.**
 - The exterior walls of the new addition would have to meet the minimum set back distance. Allowed setback projections if consistent with Table 3-1 of Section 36.300.030(D) such as sills, cornices, roof overhang, eaves, or bay window provides options for architectural detailing on this elevation.
 - **Per SPMC 36.360.090(C) (Alterations or Additions to Nonconforming Structures), “New additions or alterations shall not increase existing nonconformities (e.g., the construction may comply with the existing nonconforming setbacks but shall not propose any further encroachment into the required setbacks).”**
 - **For this project, with an existing non-conforming side setback, the minimum setback for the addition is the same as the existing side setback of the original home.**
- Section 36.220.050(A) requires that the proposed project’s exterior colors, forms, and materials to be consistent and visually compatible with adjacent structures and the surrounding neighborhood and must comply with the City’s Residential Design Guidelines. Part III of the Residential Guidelines apply to this property because it is not listed in the City’s Inventory. Please revise so that the proposed additions is consistent with the forms of the existing house.
 - **We believe the proposed addition is compatible and consistent with the existing home**
 - **See our responses on the design review application regarding the design guidelines for additions to non-historic homes**
 - **However, the referenced code section is not referring to the existing home, it says the project needs “...to be consistent and visually compatible with adjacent structures and the surrounding neighborhood...”**
 - **Adjacent structures and surrounding neighborhood are listed, not the original home**
 - **The surrounding neighborhood has many homes with 2-story rear additions including some with flat roofs. Further, there are other homes with large dormers in the front of the home. The proposed colors, forms, materials, etc. are all found throughout the neighborhood and this project is consistent and compatible with the neighborhood.**
 - **For example, the immediate neighbor to the north (1315 Stratford) has a very large 2-story rear addition with a flat roof and a massive dormer in the front the breaks the plane of the original roof.**



CITY OF SOUTH PASADENA

PLANNING AND BUILDING DEPARTMENT
1414 MISSION, SOUTH PASADENA, CA 91030
TEL: 626.403.7220 • FAX: 626.403-7221
WWW.SOUTHPASADENACA.GOV

INCOMPLETENESS LETTER

March 16, 2020

Applicant: Adrian Dahl
1134 El Centro Street
South Pasadena, CA 91030

Owner: Jack and Mary Ross
1319 Stratford Avenue
South Pasadena, CA 91030

Zoning: RS – Residential Single-Family **General Plan:** LDR- Low Density Residential

RE: Incompleteness Letter for Project No. 2299-DRX for a 712 square-foot first floor addition, a 866 square-foot second floor addition, a 142 square-foot deck, the demolition of 254 deck , and relocation of a trellis and one car garage on a 7,479 square-foot lot at 1319 Stratford Avenue (Assessor's Parcel Number: 5320-025-017)

Dear Adrian Dahl,

DAHL ARCHITECTS COMMENTS IN PURPLE - 3/27/2020

On behalf of the South Pasadena Planning Division, thank you for your submittal on February 13, 2020, for the project referenced above. The City has completed its review of the submittal materials and has deemed the application INCOMPLETE. Please provide the following information:

1. Cut sheets/brochures of all new proposed materials for the exterior of the home.
SEE ATTACHED BROCHURES/CUT SHEETS IN NEW SUBMITTAL PACKAGE
2. Photographs of the site and its surroundings (up to 300 feet) to document the existing conditions and provide a complete understanding of the property and its neighborhood context in color. **PHOTOS OF NEIGHBORHOOD CONTEXT INCLUDED IN NEW SUBMITTAL PACKAGE; MAP OF SURROUNDING PARCELS INCLUDED ON A-1**
3. Provide a 8 ½” x 11” color and materials board. A copy of the color and material board must also be included in the plans set.
COLOR AND MATERIALS BOARD INCLUDED IN SUBMITTAL PACKAGE AND ON A-1
4. The proposed project involves additional floor area of 25% or greater to the home's existing gross floor area on the first floor. This increase in square footage requires a conceptual landscape plan showing compliance with South Pasadena Municipal Code Section 36.330. The landscape plan must show existing and proposed landscape conditions.

LANDSCAPE PLAN ADDED (SHEET L-1); HARDSCAPE/SOFTSCAPE CALCS. ADDED TO A-1

In addition, the landscape plan shall have the calculation of softscape and hardscape percentages.

5. A Historical Resource Evaluation (HRE) is required. Please provide \$400 for the City to start the HRE report.

DUE TO CITY CLOSURE, LET US KNOW HOW TO SUBMIT THIS PAYMENT

The City of South Pasadena is committed in our efforts to work expeditiously with you and your project team during the development review process.

Please submit the documents listed above at your earliest convenience. If you have any questions, please contact me at (626) 403-7229 or via email at agonzalez@southpasadenaca.gov

Thank you,



Aneli Gonzalez
Management Intern
Planning Division, City of South Pasadena

ATTACHMENT 6
Development Plans & Materials Board

SCOPE OF WORK

NEW 1562 SQ. FT. 2-STORY REAR ADDITION WITH 3 NEW BEDROOMS, 2 BATHROOMS, FAMILY ROOM, DINING AREA, BALCONY, AND WOOD/TREX DECK; INTERIOR REMODELING FOR NEW KITCHEN AND LAUNDRY ROOM; NEW DORMER IN NON-HABITABLE ATTIC; MOVING EXISTING GARAGE AND TRELLIS.

PROPERTY OWNER:

JACK AND MARY ROSS
1319 STRATFORD AVE.
SOUTH PASADENA, CA 91030

SHEET INDEX:

- A-1 COVER SHEET, INDEX, STATISTICS, VICINITY MAP
- A-1A SITE PLANS EXISTING AND PROPOSED
- L-1 EXISTING LANDSCAPE PLAN
- L-2 PROPOSED LANDSCAPE PLAN
- A-2 FIRST FLOOR FLOORPLANS (NEW AND EXISTING) DOOR AND WINDOW SCHEDULES
- A-3 SECOND FLOOR FLOORPLAN
- A-4 SOUTH AND WEST ELEVATIONS (NEW AND EXISTING)
- A-5 NORTH AND EAST ELEVATIONS (NEW AND EXISTING)
- A-6 ROOF PLAN

REVISION SUMMARY:

- INC. 3/16/20 INCOMPLETE LETTER FROM PLANNING 3/16/20 PLAN RESUBMITTAL 3/27/20
- INC. 5/6/20 INCOMPLETE LETTER FROM PLANNING 5/6/20 PLAN RESUBMITTAL 5/12/20

STATISTICS:

LOT SIZE: 7480 SQ. FT.
PARCEL #: 5320-025-017
LEGAL DESCRIPTION: TRACT #1348 LOT/SEC 19
ZONE: RS
YEAR CONSTRUCTED: 1945
HISTORIC DESIGNATION: N/A
HISTORIC DISTRICT: N/A
STYLE: TRADITIONAL/MODERN
OCCUPANCY: SINGLE FAMILY 2 STORY HOME: R3
NUMBER OF DWELLING UNITS: ONE
TYPE OF CONSTRUCTION: VB
BUILDING CODE LACO 2020, LACO RESIDENTIAL CODE 2020, LACO ELECTRICAL CODE 2020, LACO PLUMBING CODE 2020, 2019 CALIFORNIA BUILDING, RESIDENTIAL, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY AND GREEN BUILDING STANDARDS CODES.

EXISTING BUILDING MAX HEIGHT: 19'-8"
NEW ADDITION MAX HEIGHT: 22'-6 1/2"
FIRE SPRINKLERS: EXISTING NO; NEW: NOT YET DETERMINED

SQUARE FOOTAGES:

EXISTING:
EXISTING HOME: 910 SQ. FT.
1 CAR GARAGE DETACHED: 244 SQ. FT.
DECK >30" (TO BE DEMO): 254 SQ. FT.

PROPOSED:
REAR ADDITION: 1578 SQ. FT.
ADDITION 1ST FLOOR: 712 SQ. FT.
ADDITION 2ND FLOOR: 866 SQ. FT.
REAR DECK >30": 142 SQ. FT.

REMODELED AREA:
ADDITION: 1578 SQ. FT.
REMODEL: 330 SQ. FT.
AREA OF CONSTRUCTION: 1908 SQ. FT.

F.A.R. ALLOWED IS 35% OF 7480 OR
2618 SQ. FT. + 500 SQ (GARAGE/CARPORT EXCEPTION)

EXISTING F.A.R. = 12.2% = 910+(244+500)
PROPOSED F.A.R. = 33.3% = 2488=910+1578+(244+500)

LOT COVERAGE 50% OF 7480 OR
3740 SQ. FT..

EXISTING LOT COVERAGE: 18.8% 910+244+254= 1408 SQ. FT.
PROPOSED LOT COVERAGE: 26.8% 910+712+244+142= 2008 SQ. FT..

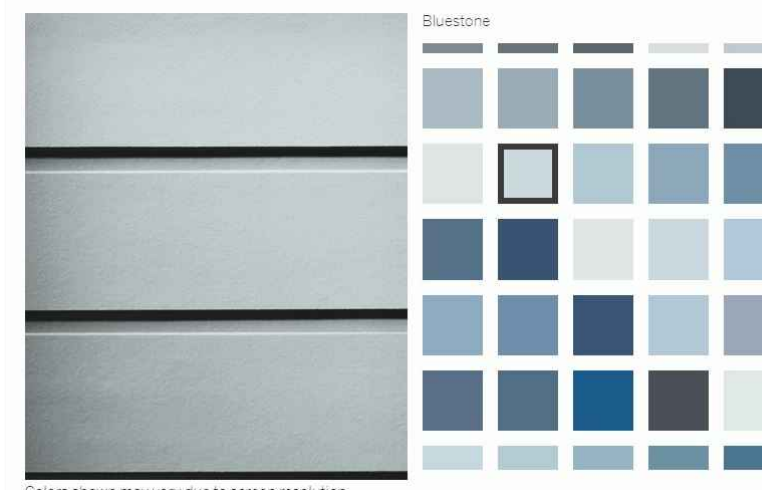
SOFTSCAPE VS. HARDSCAPE:

EXISTING SOFTSCAPE: 4089 SQ. FT. (54% OF LOT AREA)
EXISTING HARDSCAPE: 3411 SQ. FT. (46% OF LOT AREA)

PROPOSED SOFTSCAPE: 3306 SQ. FT. (44% OF LOT AREA)
PROPOSED HARDSCAPE: 4174 SQ. FT. (56% OF LOT AREA)

DAHL ARCHITECTS INC.

**1319 STRATFORD
COLORS AND MATERIALS**



- PROPOSED NEW SIDING**
- HARDIE PLANK LAP SIDING
 - COLONIAL SMOOTH
 - BLUESTONE OR SIMILAR TO MATCH EXISTING COLOR



EXISTING SIDING



- PROPOSED DOORS/WINDOWS**
- PINKY'S IRON DOORS



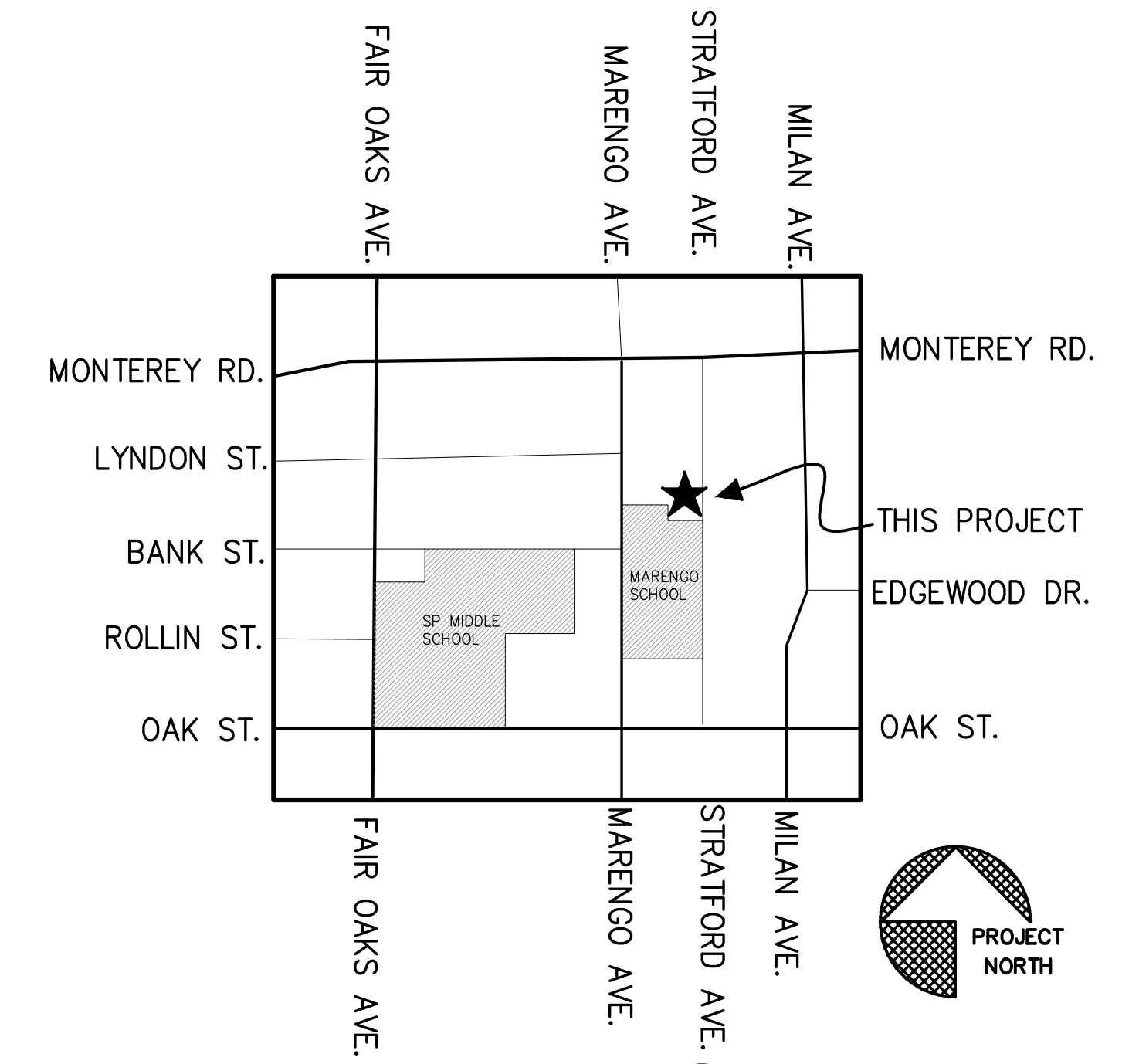
- PROPOSED SHINGLES FOR ROOF "SKIRT"**
- OWENS CORNING SUPREME SHINGLES
 - ESTATE GRAY



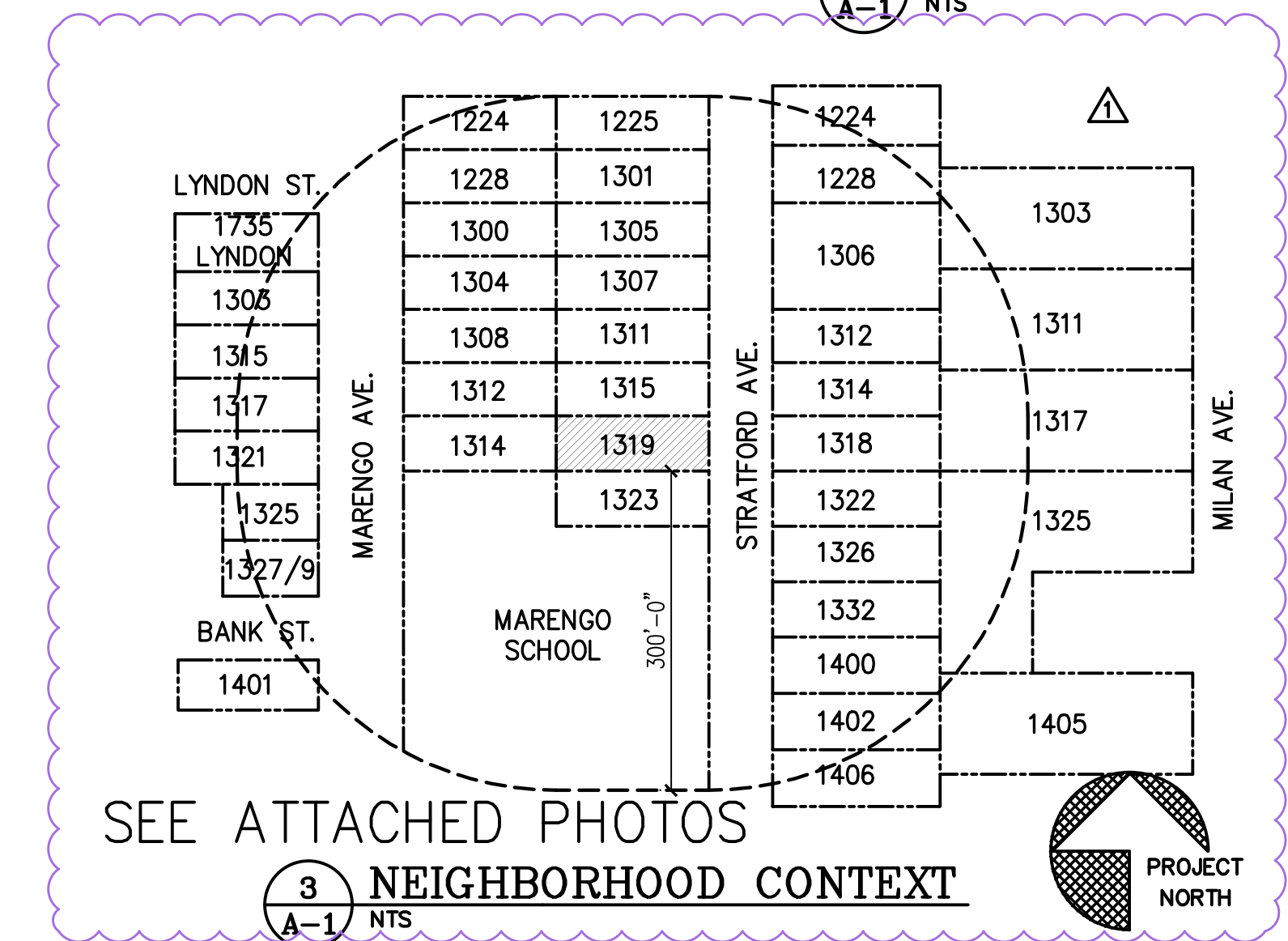
EXISTING SHINGLES

NOTES:

- ACTUAL INSTALLED PRODUCT DEPENDS ON AVAILABILITY, PRICE, ETC.
- PRODUCTS SHOWN *OR SIMILAR/EQUIVALENT* TO BE INSTALLED
- COLOR SELECTION IS NOT PART OF DESIGN REVIEW, COLORS MAY BE CHANGED



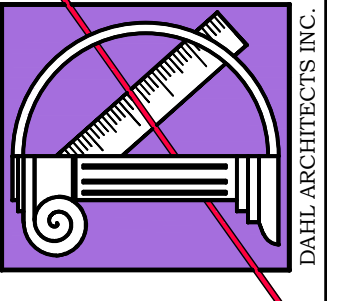
2 VICINITY MAP
A-1 NTS



SEE ATTACHED PHOTOS
3 NEIGHBORHOOD CONTEXT
A-1 NTS

REV.	DATE
1	INC. 3/16/20
2	INC. 5/6/20

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 admin@dahlarchitects.com



ROSS RESIDENCE
1319 STRATFORD AVE.
SOUTH PASADENA CA 91030

COVER SHEET, COLORS AND VICINITY MAP, COLORS AND MATERIALS BOARD, INFO

Date	5/12/2020
Scale	AS NOTED
Drawn	APD
Job	
Sheet	

REV.	DATE
1	INC. 3/16/20
2	INC. 5/6/20

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 adahl@dahlarchitects.com



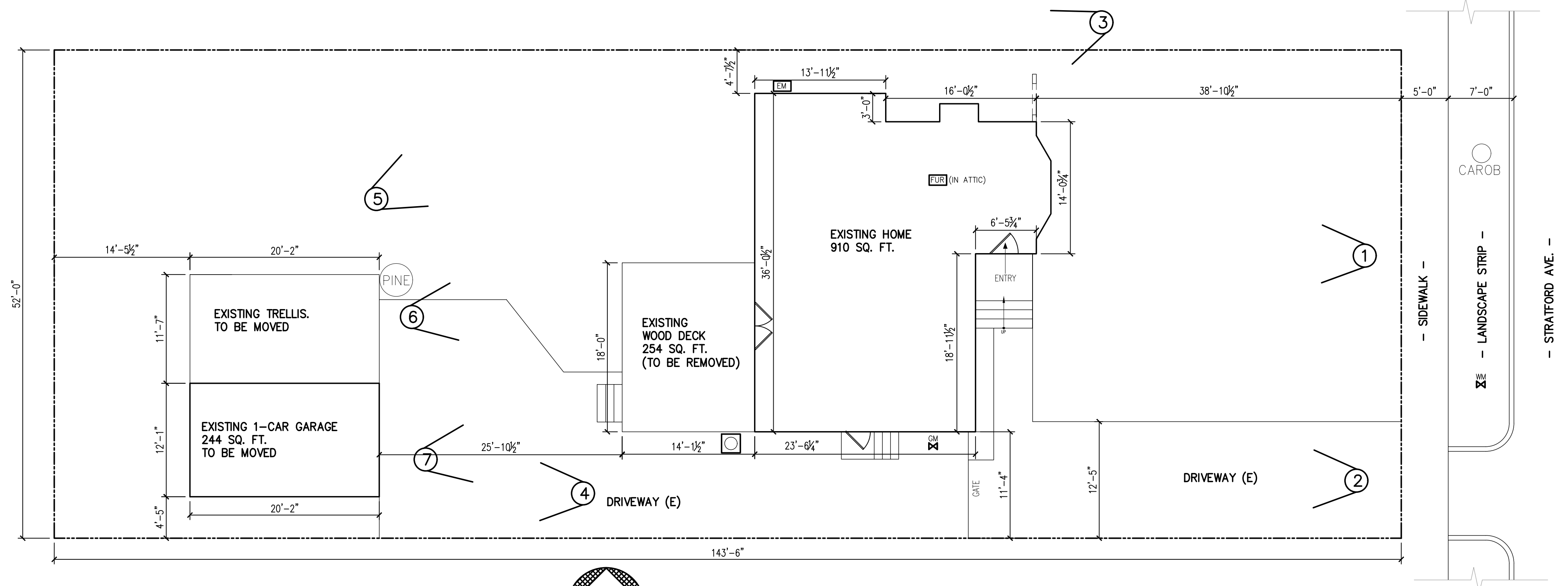
ROSS RESIDENCE
 1319 STRATFORD AVE.
 SOUTH PASADENA CA 91030

SITE PLAN
 EXISTING AND PROPOSED

Date	5/12/2020
Scale	1/8"=1'-0"
Drawn	APD
Job	
Sheet	

A-1A

ENTIRE GARAGE AND TRELLIS TO BE LIFTED AND MOVED WEST 9'-5 1/2" ONTO NEW CURB AND NEW SLAB. EXISTING CURB THAT IS NO LONGER WITHIN GARAGE WILL BE REMOVED ONCE GARAGE IS MOVED AND BOLTED INTO CURB.



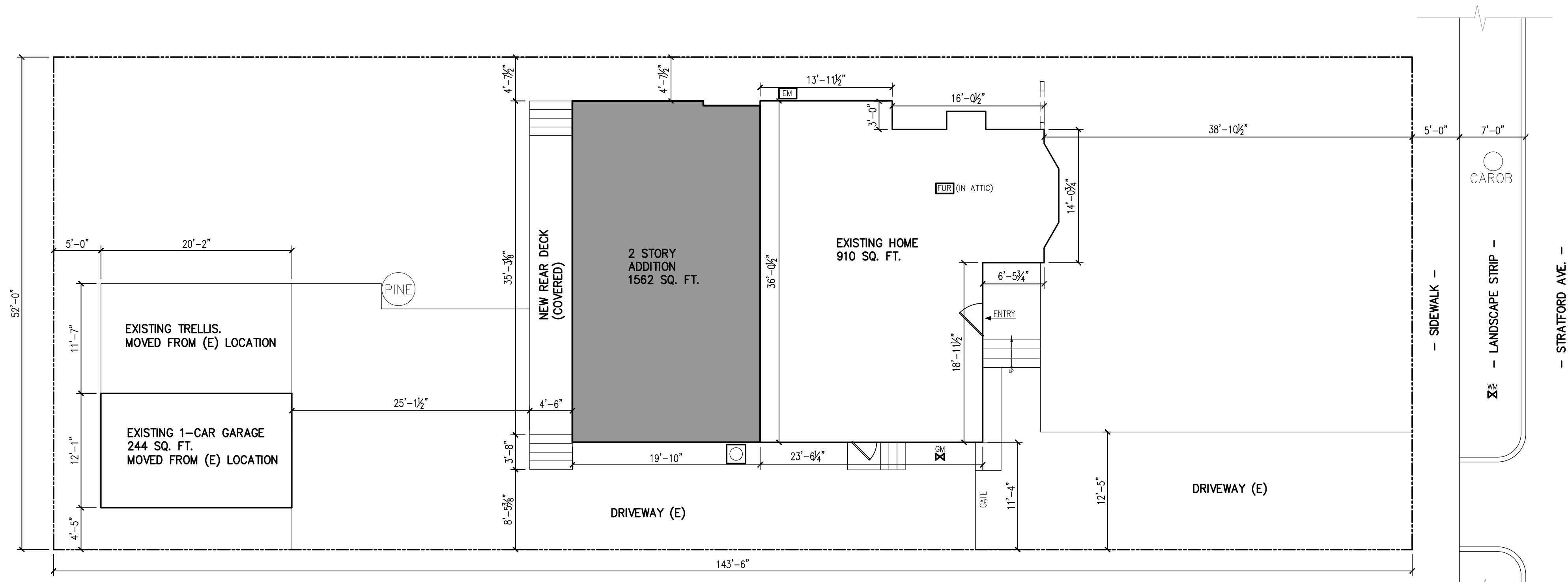
1 EXISTING SITE PLAN
 PROJECT NORTH
 A-1A 1/8" = 1'-0"

SEE L-1 AND L-2 FOR LANDSCAPE AND HARDSCAPE/SOFTSCAPE INFORMATION

NO TREES TO BE REMOVED OR TRIMMED AS PART OF THIS PROJECT

CORRESPONDS TO ATTACHED PHOTOS

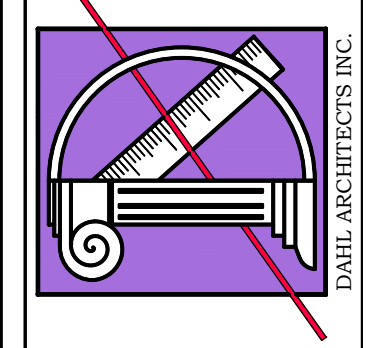
- AC CONDENSER (N)
 - WATER HEATER
 - GAS METER
 - WATER METER
 - ELECTRICAL METER AND SERVICE PANEL
 - FURNACE (N)
- * ALL EXISTING UNLESS NOTED



2 PROPOSED SITE PLAN
 PROJECT NORTH
 A-1A 1/8" = 1'-0"

REV.	DATE
1	INC. 3/16/20
2	INC. 5/6/20

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 dahl@dahlarchitects.com

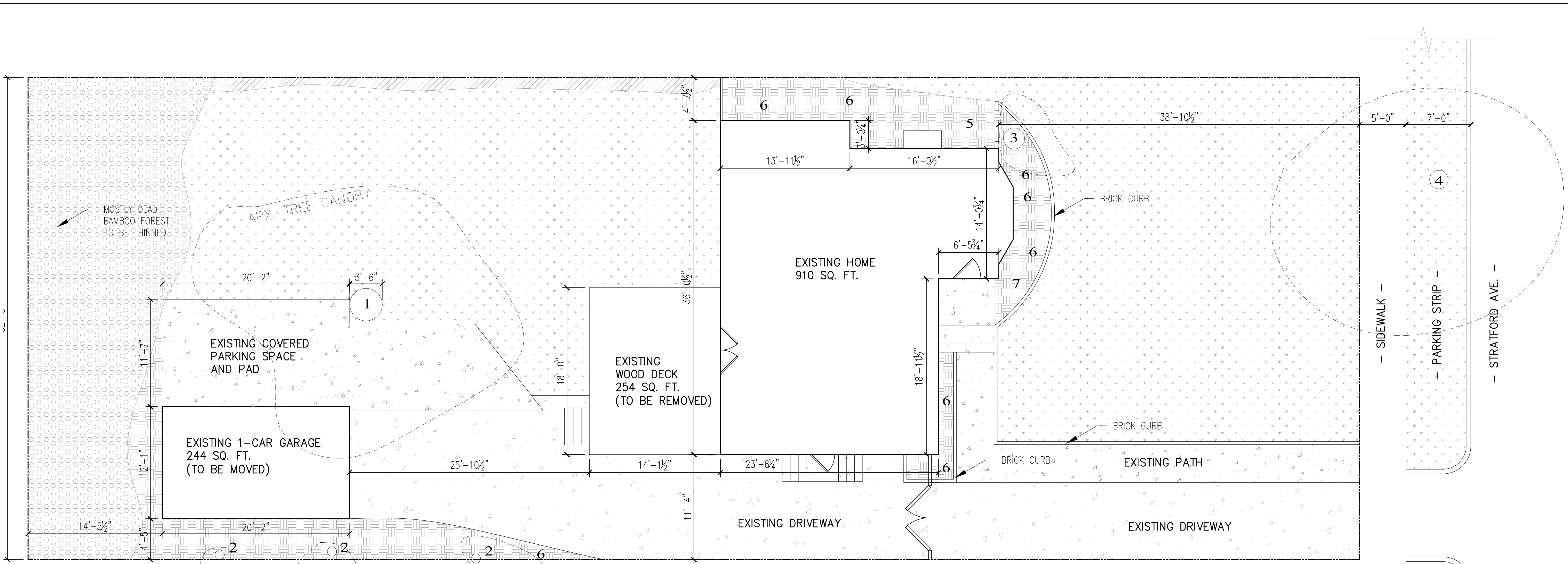


ROSS RESIDENCE
 1319 STRATFORD AVE.
 SOUTH PASADENA CA 91030

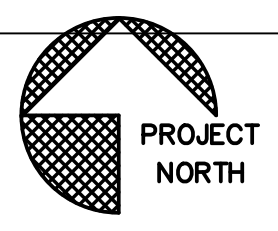
EXISTING LANDSCAPE
 PLAN

Date	5/12/2020
Scale	3/16"=1'-0"
Drawn	APD
Job	
Sheet	

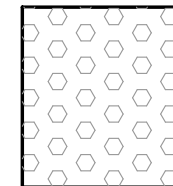
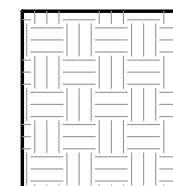
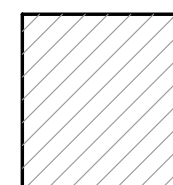
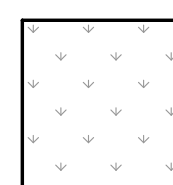
L-1


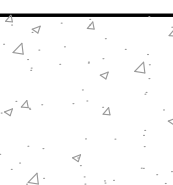



1 LANDSCAPE PLAN
 3/16" = 1'-0"



ALL TREES AND PLANTS TO REMAIN
 UNLESS OTHERWISE NOTED

-  BAMBOO
-  DIRT AND PLANTING AREAS
-  HEDGE
-  GRASS

-  BUILDING AREAS
-  CONCRETE
-  ASPHALT AND PAVERS

1. PINE TREE
2. OAK TREE
3. DECIDUOUS MAGNOLIA
4. CAROB TREE
5. JADE PLANT
6. VARIOUS SMALL SHRUBS
7. ROSE BUSH

TOTAL EXISTING SOFTSCAPE: 4069 SQ. FT.

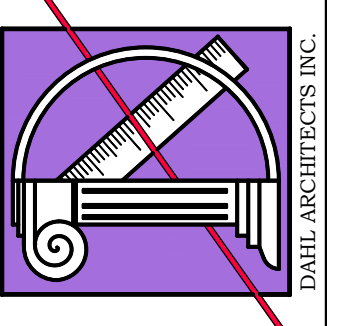
TOTAL EXISTING HARDSCAPE: 3411 SQ. FT.

- EXISTING HOME: 910 SQ. FT.
- EXISTING GARAGE: 244 SQ. FT.
- EXISTING DECK: 254 SQ. FT.
- EXISTING DRIVEWAY, CONCRETE PATH, TRELLIS SLAB, ETC: 2003 SQ. FT.



REV.	DATE
INC.	3/16/20
INC.	5/6/20

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 adrian@dahlarchitects.com

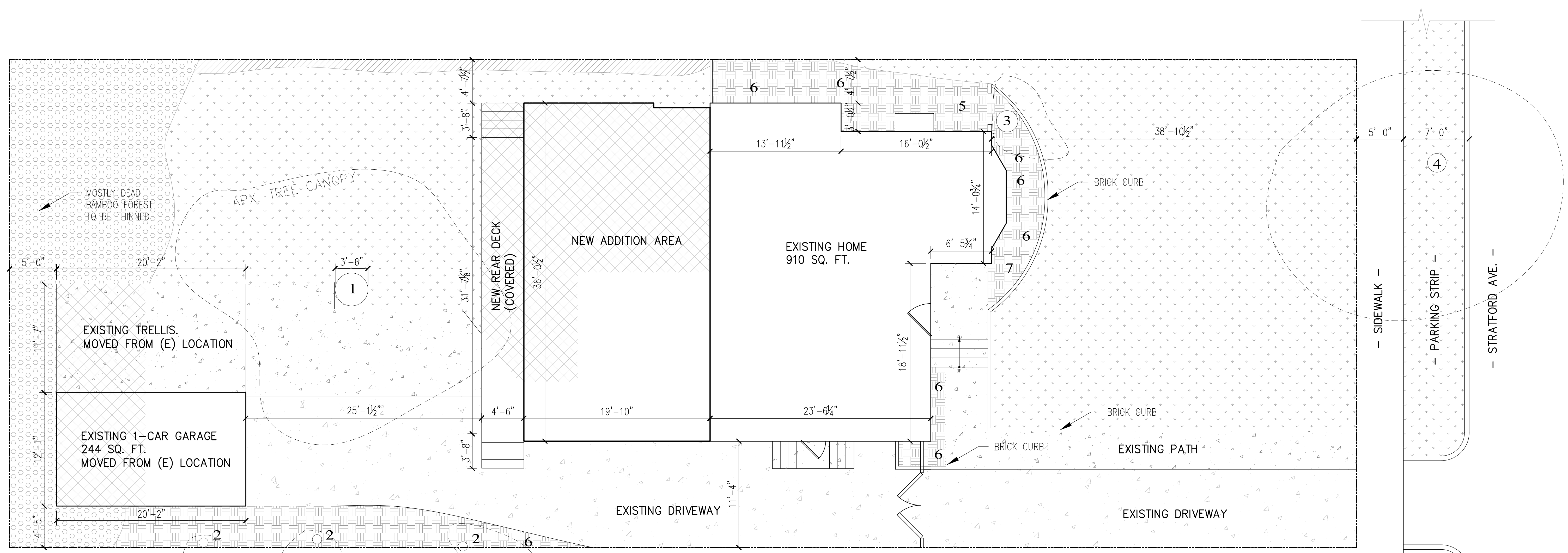


ROSS RESIDENCE
 1319 STRATFORD AVE.
 SOUTH PASADENA CA 91030

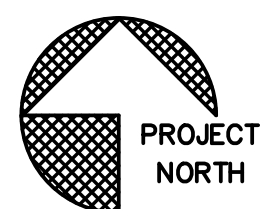
PROPOSED LANDSCAPE
 PLAN

Date	5/12/2020
Scale	3/16"=1'-0"
Drawn	APD
Job	
Sheet	

L-2



1 LANDSCAPE PLAN
 3/16" = 1'-0"



ALL TREES AND PLANTS TO REMAIN
 UNLESS OTHERWISE NOTED

- | | | | |
|--|-------------------------|--|--------------------|
| | BAMBOO | | BUILDING AREAS |
| | DIRT AND PLANTING AREAS | | CONCRETE |
| | HEDGE | | ASPHALT AND PAVERS |
| | GRASS | | |

1. PINE TREE
2. OAK TREE
3. DECIDUOUS MAGNOLIA
4. CAROB TREE
5. JADE PLANT
6. VARIOUS SMALL SHRUBS
7. ROSE BUSH

TOTAL EXISTING SOFTSCAPE: 4069 SQ. FT.

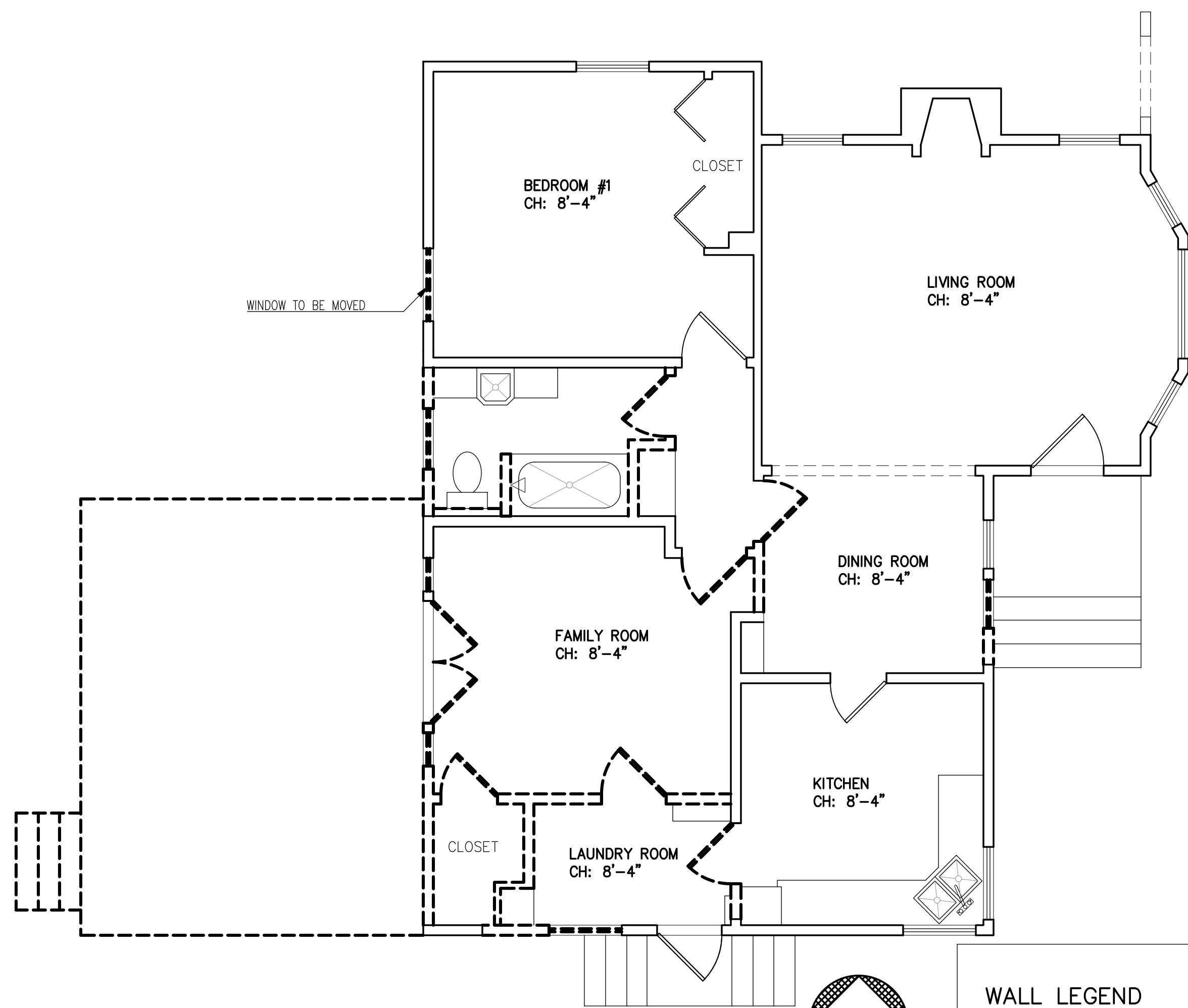
TOTAL EXISTING HARDSCAPE: 3411 SQ. FT.
 • EXISTING HOME: 910 SQ. FT.
 • EXISTING GARAGE: 244 SQ. FT.
 • EXISTING DECK: 254 SQ. FT.
 • EXISTING DRIVEWAY, CONCRETE PATH, TRELLIS SLAB, ETC: 2003 SQ. FT.

PROPOSED NEW HARDSCAPE
 763 SQ. FT.

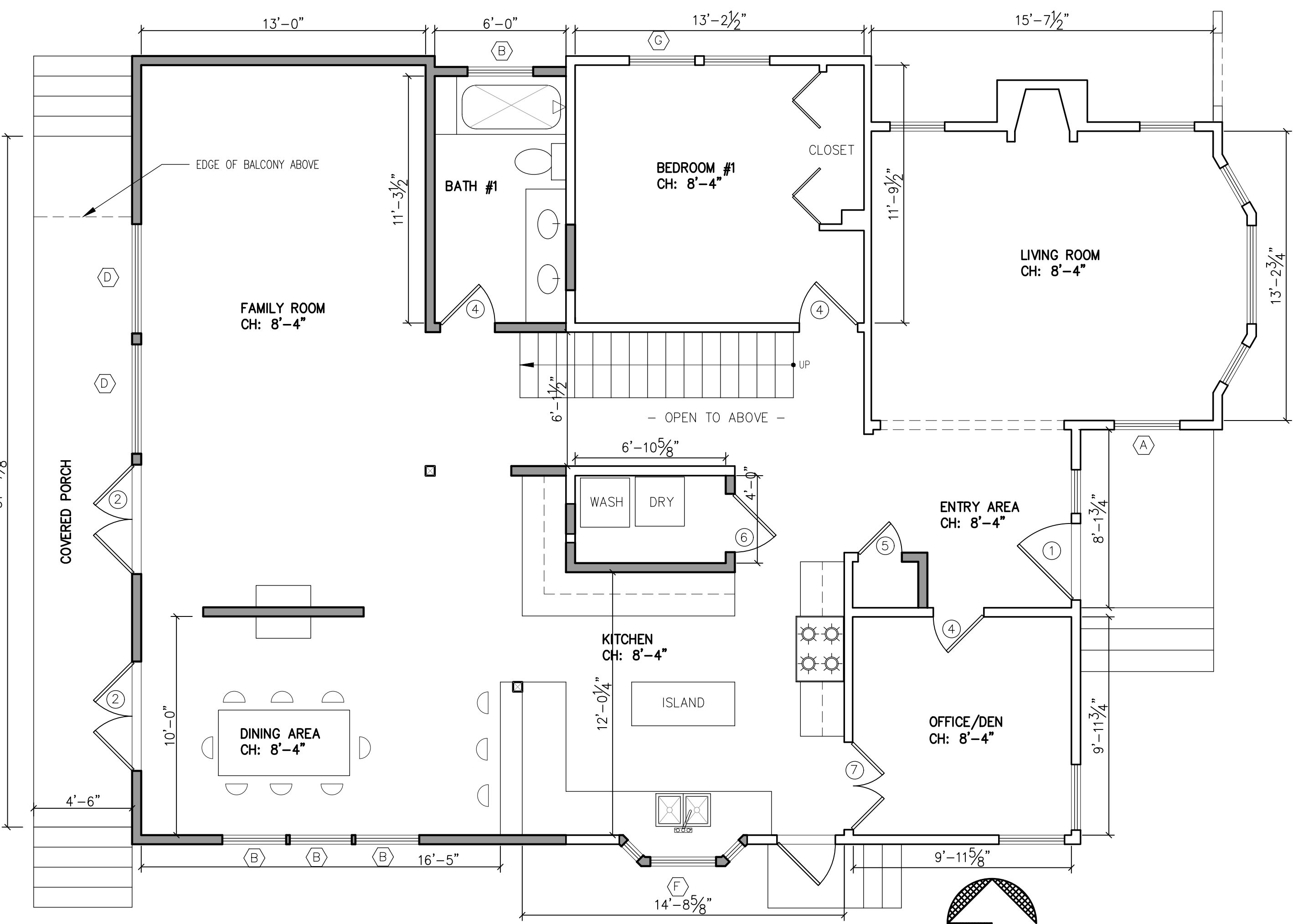
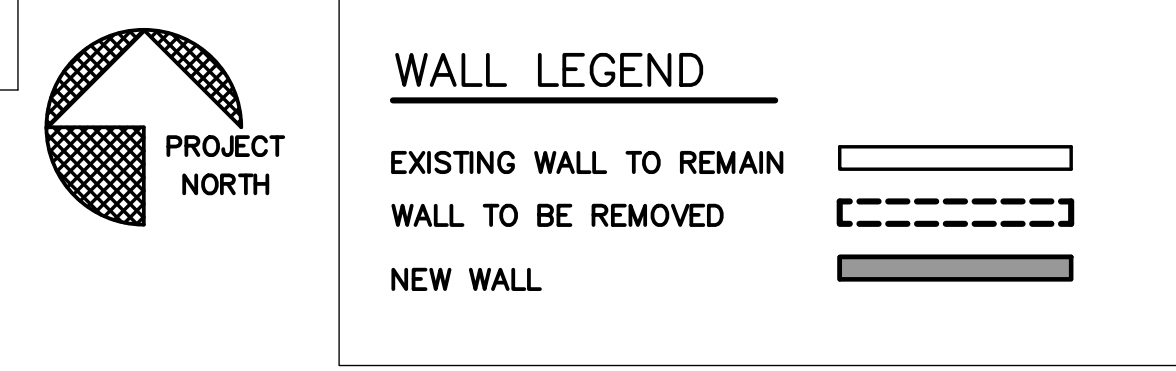
TOTAL PROPOSED HARDSCAPE: 4174 SQ. FT.
 • EXISTING HARDSCAPE: 3411 SQ. FT.
 • PROPOSED 1ST FLOOR ADDITION: 712 SQ. FT.
 • PROPOSED REAR DECK: 142 SQ. FT.
 • PROPOSED SLAB FOR GARAGE/TRELLIS: 224 SQ. FT.
 • REMOVED REAR DECK: -254 SQ. FT.
 • REMOVED PAVING AREA FOR ADDITION: -61 SQ. FT.

TOTAL PROPOSED SOFTSCAPE: 3306 SQ. FT.

EXISTING SOFTSCAPE VS. HARDSCAPE: 54%/46%
 PROPOSED SOFTSCAPE VS. HARDSCAPE: 44%/56%



1 EXISTING FLOORPLAN
A-2 1/4" = 1'-0"



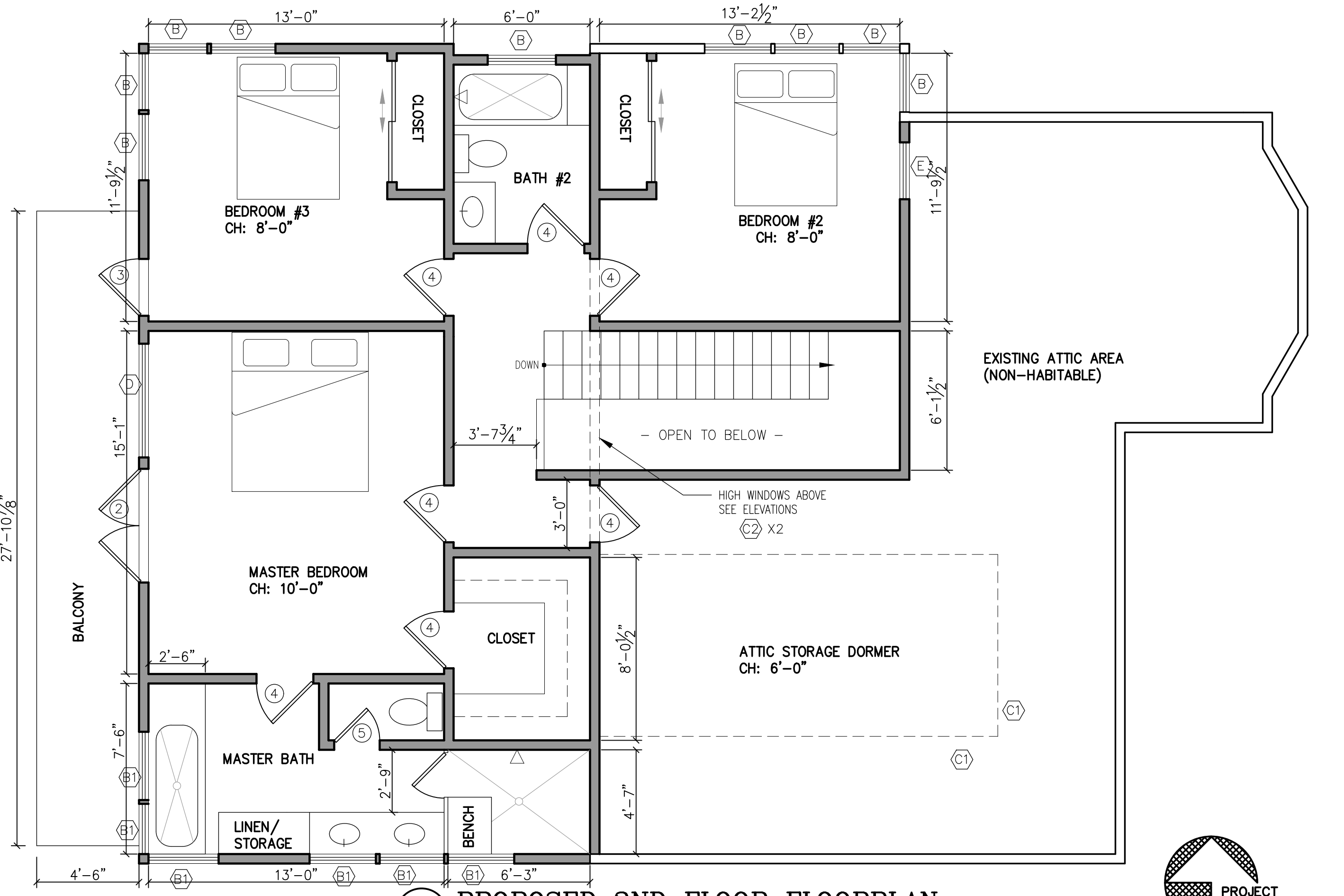
2 PROPOSED 1ST FLOOR FLOORPLAN
A-2 1/4" = 1'-0"

DOOR SCHEDULE (REVISED)								
NO.	DOOR SIZE	DOOR FACE	MATERIAL	TYPE	DOOR FINISH	QUANTITY	NEW OR EXISTING	REMARKS
1	3'-6" X 6'-8"	PANEL	WOOD	SWING	STAINED/PAINTED	1	NEW	NEW FRONT DOOR
2	5'-0" X 6'-8"	FRENCH	STEEL/IRON	SWING	PAINTED	3 SETS	NEW	NEW PAIRS FRENCH DOORS; TWO HORIZONTAL DIVIDES
3	2'-6" X 6'-8"	FRENCH	STEEL/IRON	SWING	PAINTED	1	NEW	NEW SINGLE FRENCH DOOR; TWO HORIZONTAL DIVIDES
4	2'-6" X 6'-8"	FLUSH	WOOD/CORE	SWING	PAINTED	10	NEW	INTERIOR FLUSH DOORS
5	2'-0" X 6'-8"	FLUSH	WOOD/CORE	SWING	PAINTED	2	NEW	SMALL INTERIOR FLUSH DOORS
6	2'-8" X 6'-8"	FLUSH	WOOD/CORE	SWING	PAINTED	1	NEW	LAUNDRY ROOM DOOR; WITH LOUVERED OPENING
7	4'-0" X 6'-8"	FLUSH	WOOD/CORE	SWING	PAINTED	1	NEW	INTERIOR PAIR SWING DOORS

NOTE: (E) DOORS TO REMAIN NOT SHOWN IN SCHEDULE
STEEL/IRON DOORS TO BE PINKY'S IRON DOORS "AIR 4" DOUBLE (#2) AND SINGLE (#3) OR SIMILAR EQUIVALENT

WINDOW SCHEDULE (REVISED)									
NO.	WINDOW SIZE	TYPE	GLAZING	FRAME	KIND	SILL HEIGHT	QUANTITY	NEW OR EXISTING	REMARKS
(A)	3'-0"W X 4'-6"H	DOUBLE HUNG	DOUBLE	WOOD/CLAD	SINGLE PANE	2'-2"	1	NEW	NEW FRONT WINDOW TO MATCH G
(B)	3'-0"W X 2'-0"H	FIXED	DOUBLE	STEEL/IRON	SINGLE PANE	4'-8"	13	NEW	NEW HIGH WINDOWS
(B)	3'-0"W X 2'-0"H	FIXED	DOUBLE	STEEL/IRON	SINGLE PANE	6'-8"	6	NEW	EXTRA HIGH MASTER BATH WINDOWS
(C)	3'-0"W X 1'-6"H	FIXED	DOUBLE	STEEL/IRON	SINGLE PANE	4'-4"	2	NEW	DORMER WINDOWS
(C)	3'-0"W X 1'-6"H	FIXED	DOUBLE	STEEL/IRON	SINGLE PANE	8'-0"	2	NEW	2ND FLOOR HALLWAY WINDOWS
(D)	5'-0"W X 6'-8"H	FIXED	DOUBLE	STEEL/IRON	DIVIDED LITE	0'-0"	3	NEW	2 HORIZONTAL DIVIDES
(E)	3'-0"W X 4'-6"H	DOUBLE HUNG	DOUBLE	STEEL/IRON	DIVIDED LITE	2'-2"	1	NEW	ONE DIVIDE PER SASH
(F)	6'-0"W X 3'-0"H	BAY	DOUBLE	WOOD/CLAD	SINGLE PANE	3'-8"	1	NEW	FIXED MIDDLE W/ DOUBLE HUNG SIDES
(G)	3'-0"W X 4'-6"H	DOUBLE HUNG	SINGLE	WOOD	SINGLE PANE	3'-8"	1	EXISTING	MOVED TO NEW LOCATION

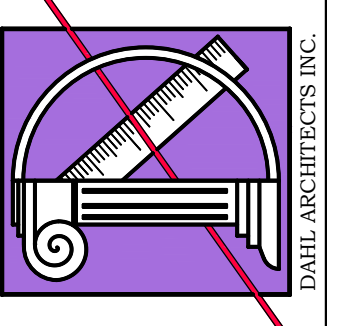
NOTE: (E) WINDOWS TO REMAIN NOT SHOWN IN SCHEDULE
STEEL/IRON WINDOWS TO BE CUSTOM PINKY'S IRON DOORS OR SIMILAR EQUIVALENT
BAY WINDOW (F) TO BE MANUFACTURED "PLANT-ON" BAY WINDOW WITH METAL ROOF



3 PROPOSED 2ND FLOOR FLOORPLAN
A-2 1/4" = 1'-0"

REV.	DATE
1	INC. 3/16/20
2	INC. 5/6/20

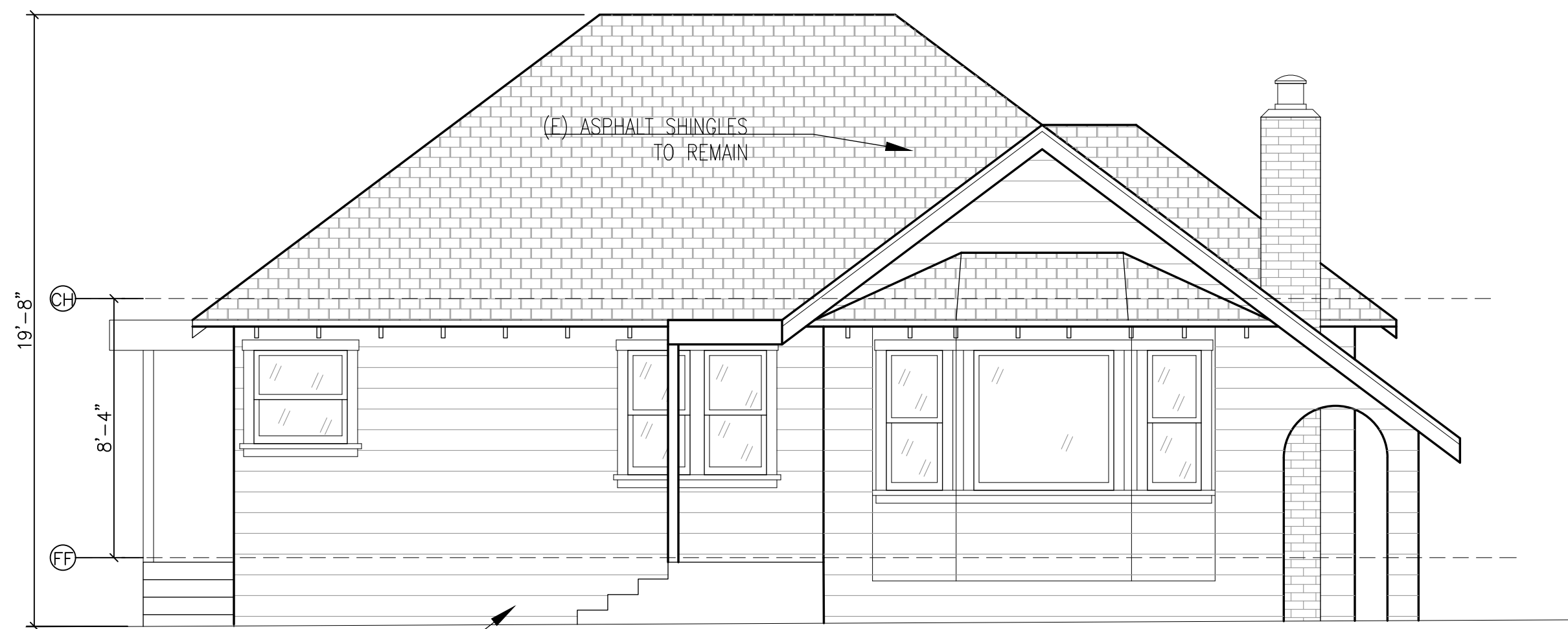
DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adahl@dahlarchitects.com



ROSS RESIDENCE
1319 STRATFORD AVE.
SOUTH PASADENA CA 91030

EXISTING AND PROPOSED
FLOORPLANS; DOOR AND
WINDOW SCHEDULES

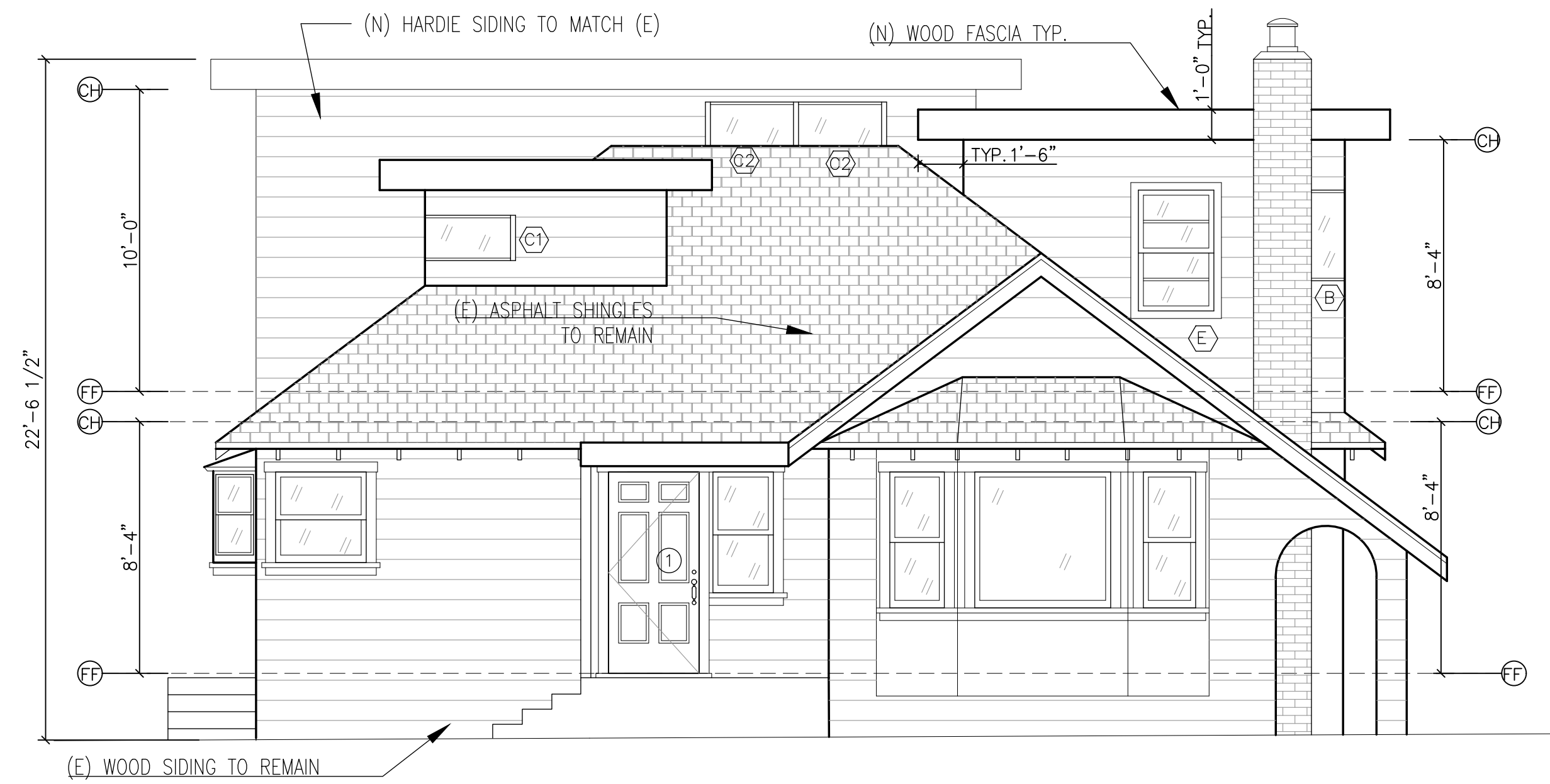
Date	5/12/2020
Scale	1/4" = 1'-0"
Drawn	APD
Job	
Sheet	



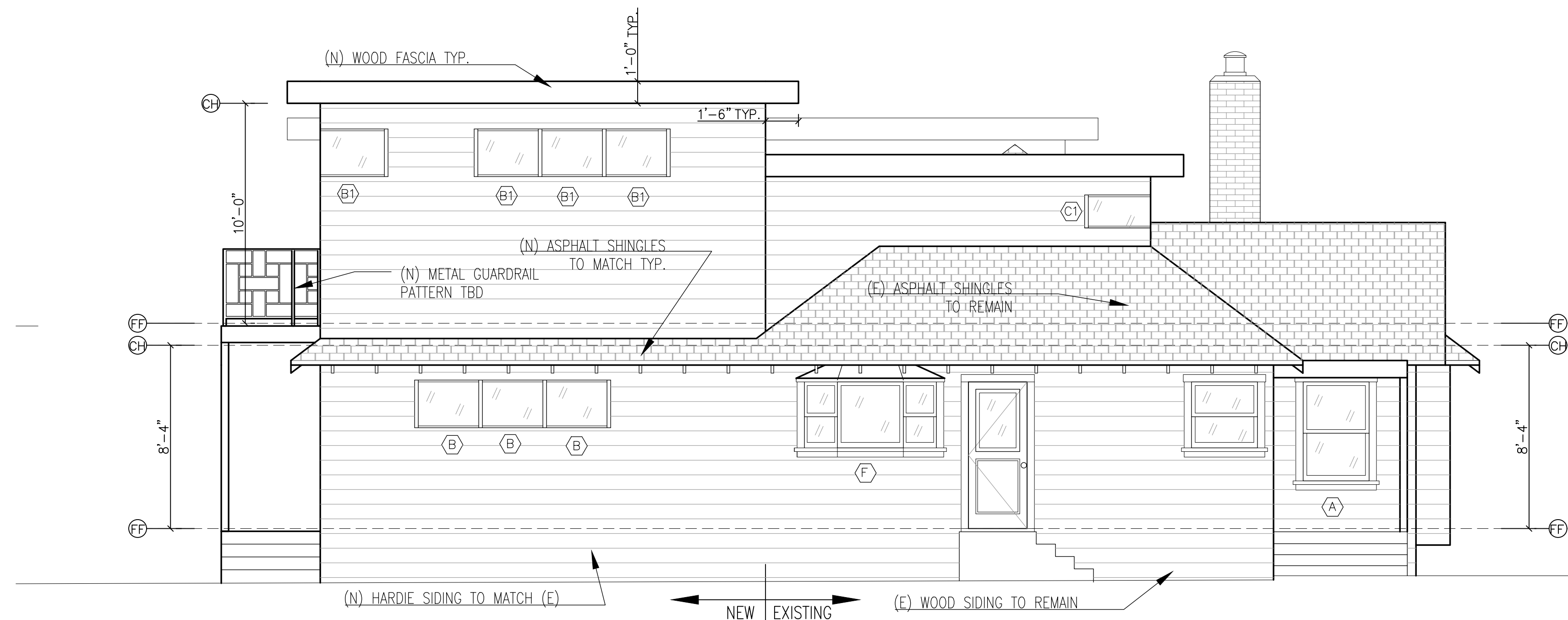
1 EXISTING EAST ELEVATION
A-3 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION
A-3 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION
A-3 1/4" = 1'-0"



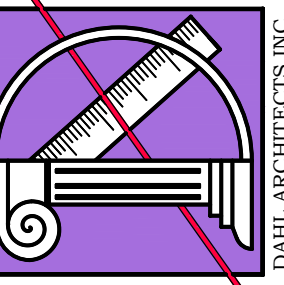
4 PROPOSED SOUTH ELEVATION
A-3 1/4" = 1'-0"

REV. DATE

INC. 3/16/20

INC. 5/6/20

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adahl@dahlarchitects.com



ROSS RESIDENCE
1319 STRATFORD AVE.
SOUTH PASADENA CA 91030

EXISTING AND PROPOSED
SOUTH & EAST ELEVATIONS

Date 5/12/2020

Scale 1/4" = 1'-0"

Drawn APD

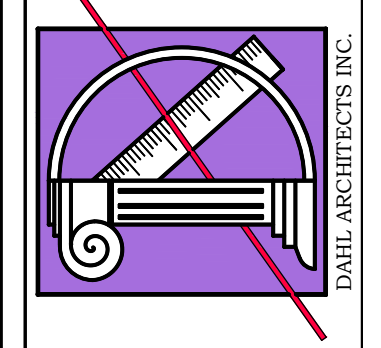
Job

Sheet

A-3

REV.	DATE
1	INC. 3/16/20
2	INC. 5/6/20

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 adahl@dahlarchitects.com



ROSS RESIDENCE
 1319 STRATFORD AVE.
 SOUTH PASADENA CA 91030

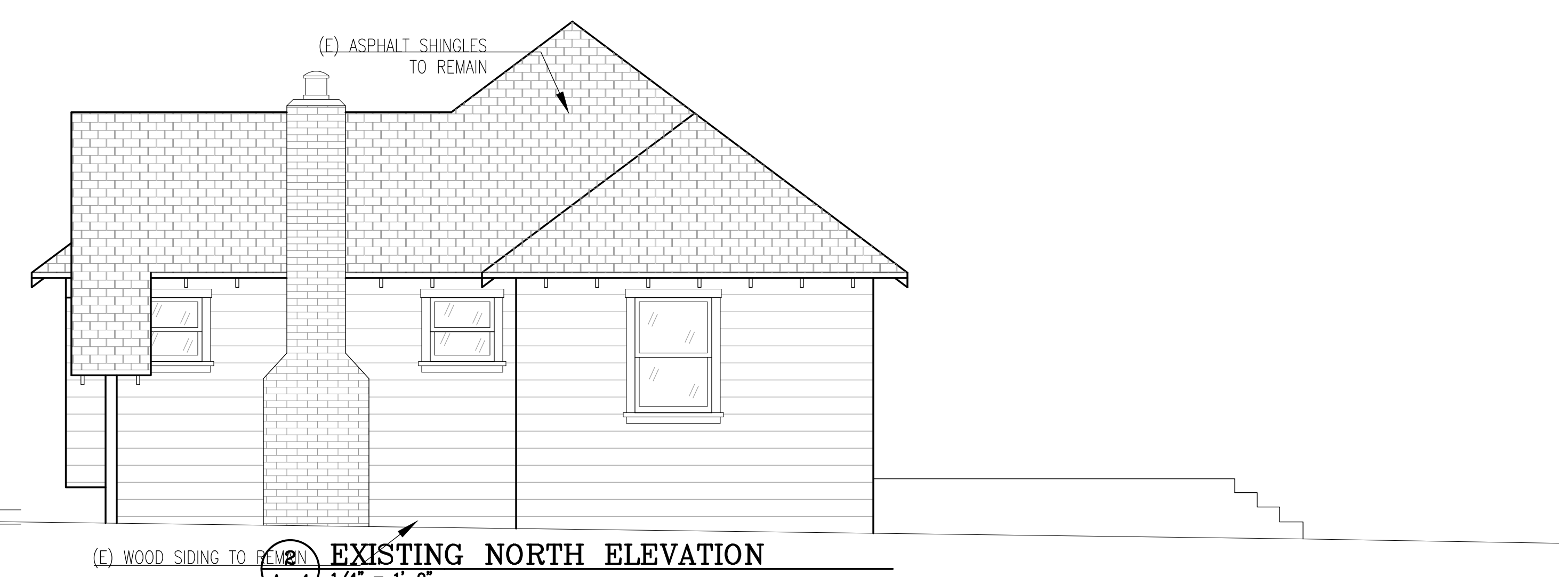
EXISTING AND PROPOSED
 NORTH & WEST ELEVATIONS

Date	5/12/2020
Scale	1/4" = 1'-0"
Drawn	APD
Job	
Sheet	

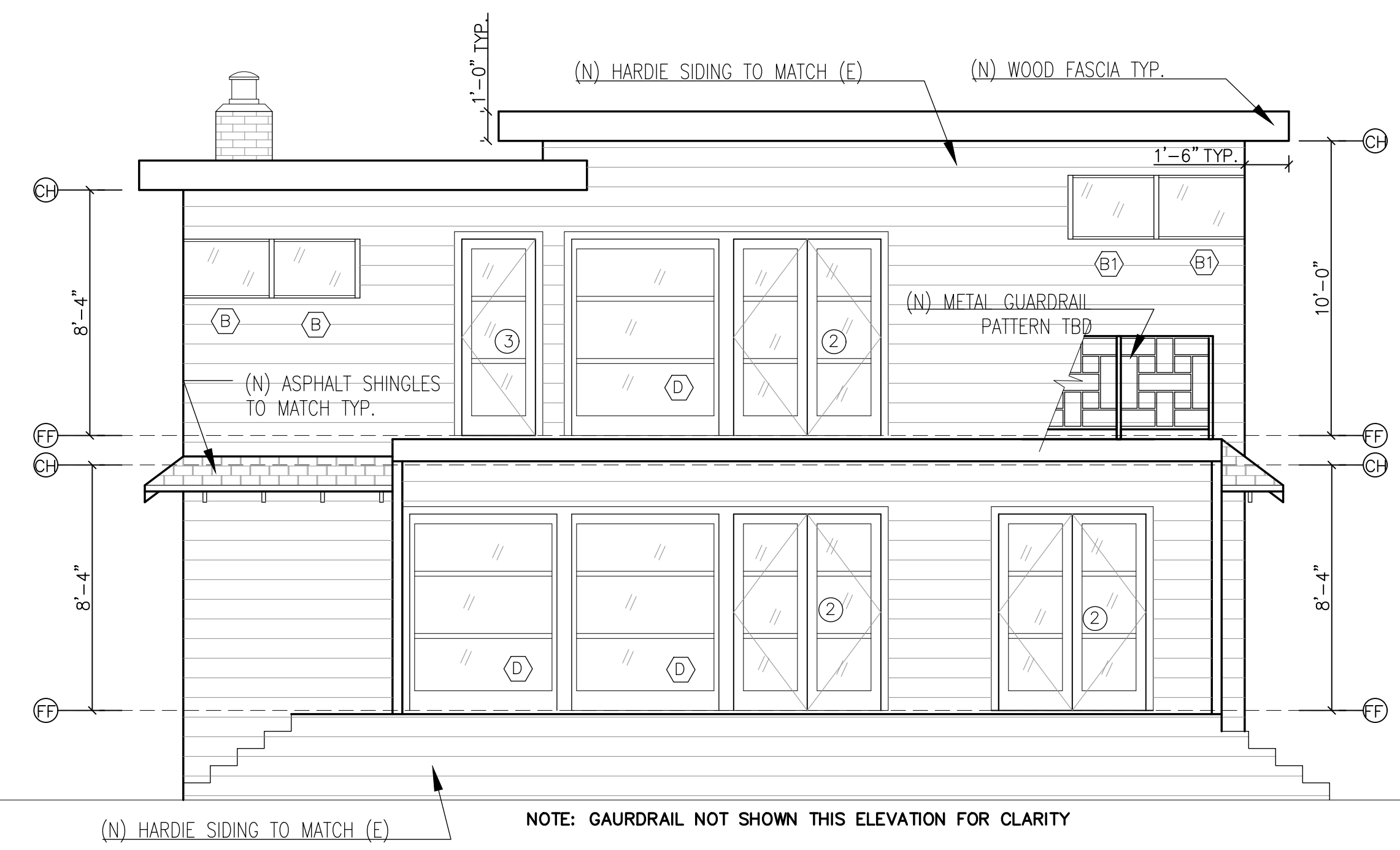
A-4



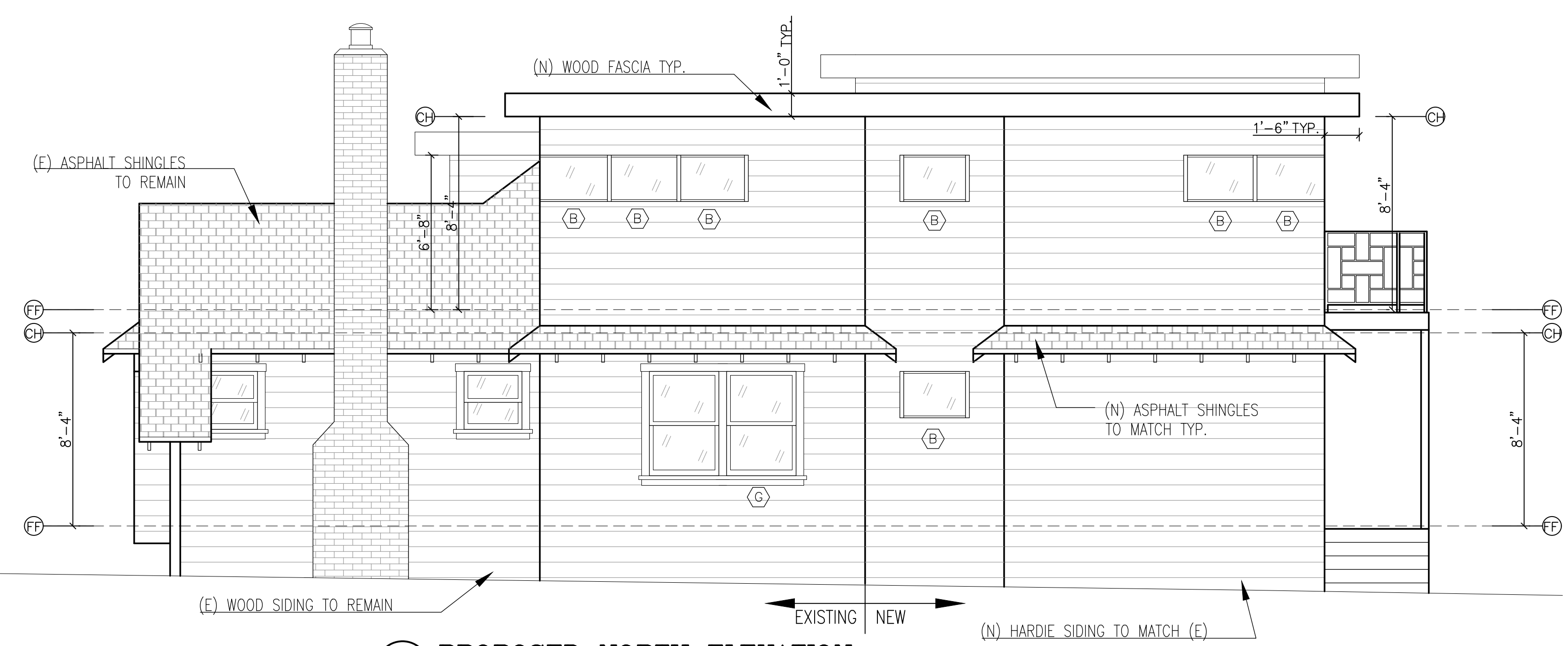
1
A-4 **EXISTING WEST ELEVATION**
 1/4" = 1'-0"



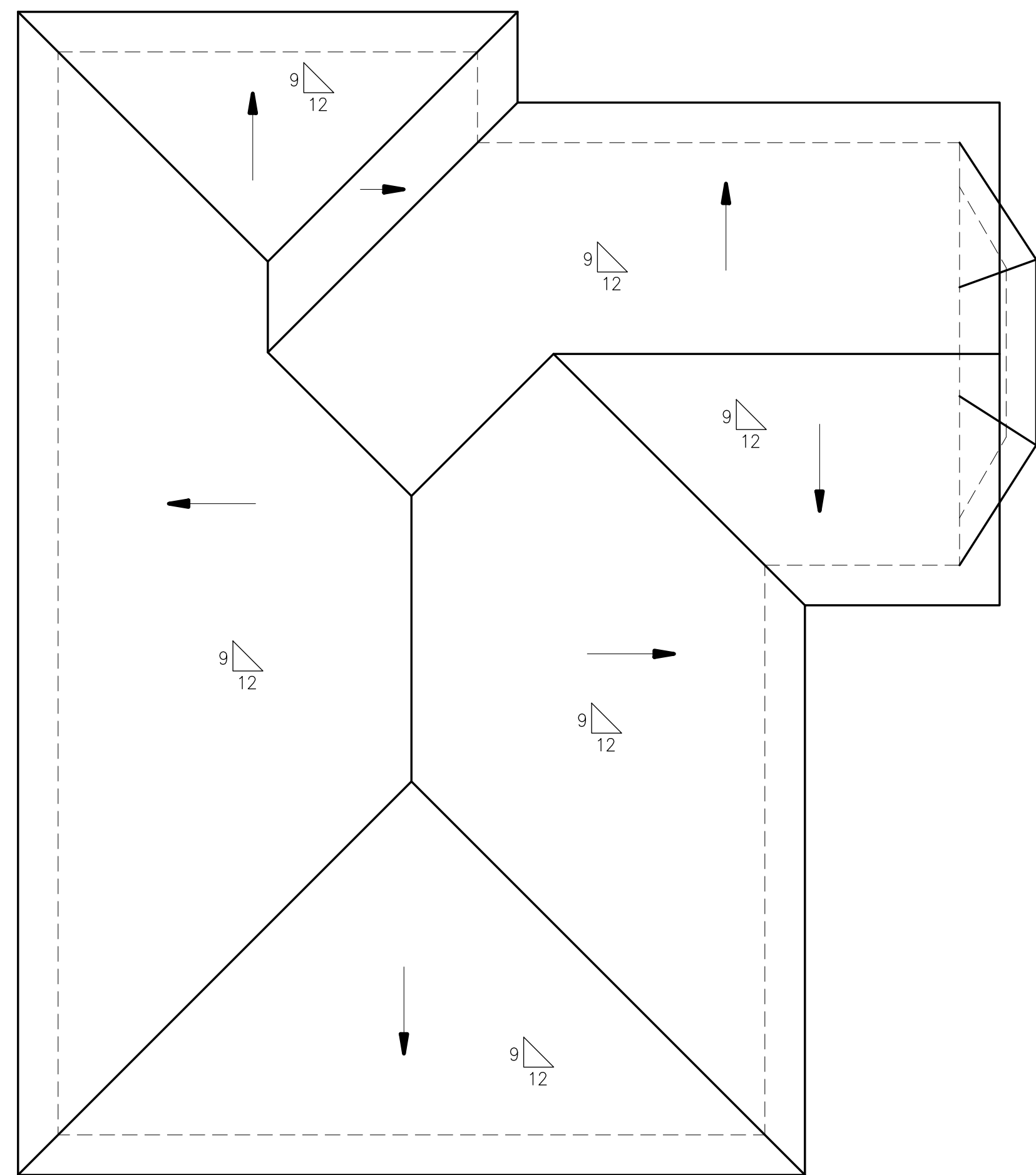
2
A-4 **EXISTING NORTH ELEVATION**
 1/4" = 1'-0"



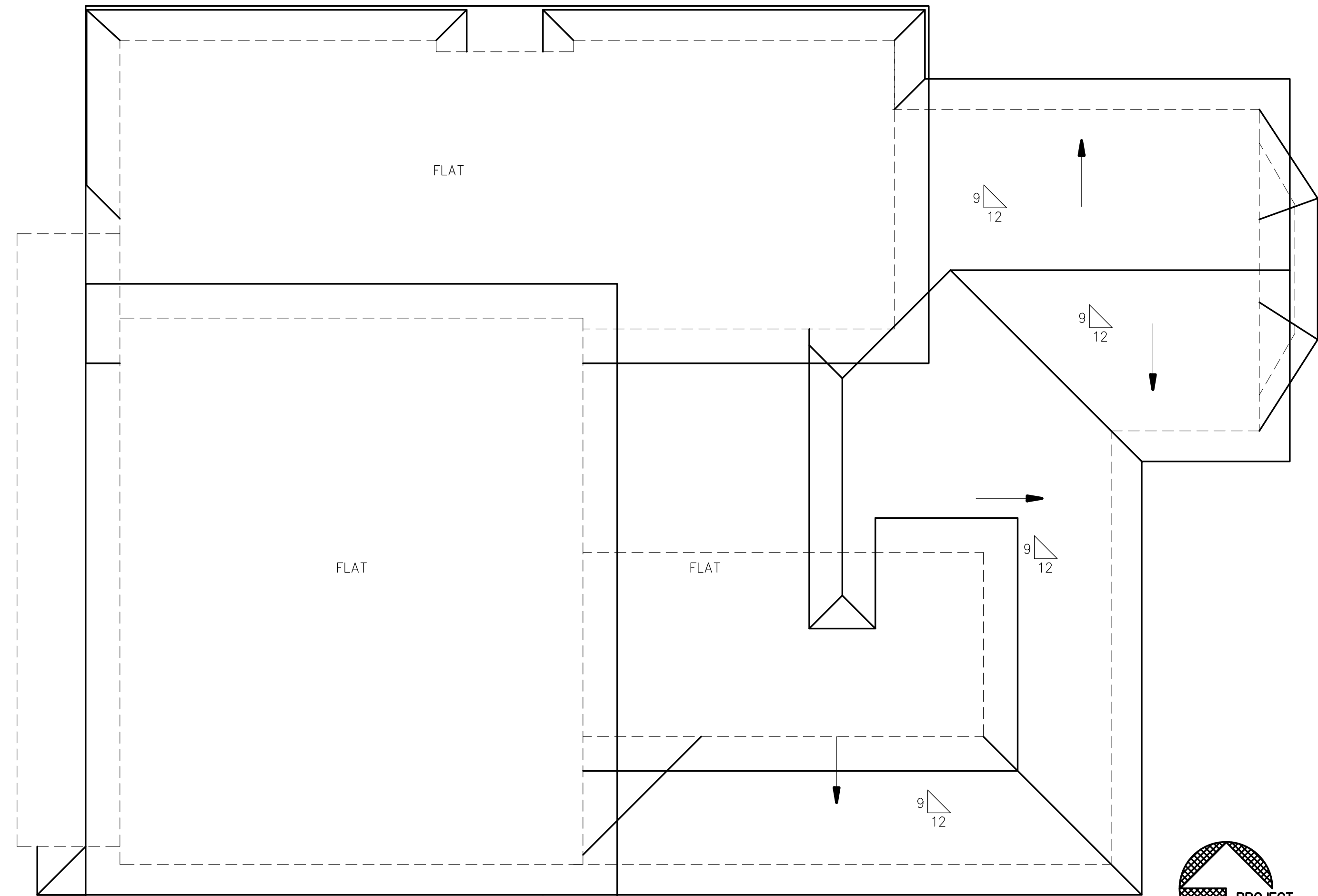
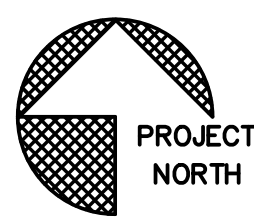
3
A-4 **PROPOSED WEST ELEVATION**
 1/4" = 1'-0"



4
A-4 **PROPOSED NORTH ELEVATION**
 1/4" = 1'-0"



1 EXISTING ROOF PLAN
A-5 1/4" = 1'-0"

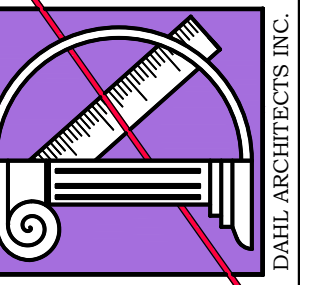


2 PROPOSED ROOF PLAN
A-5 1/4" = 1'-0"



REV.	DATE
1	INC. 3/16/20
2	INC. 5/6/20

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adahl@dahlarchitects.com



ROSS RESIDENCE
1319 STRATFORD AVE.
SOUTH PASADENA CA 91030

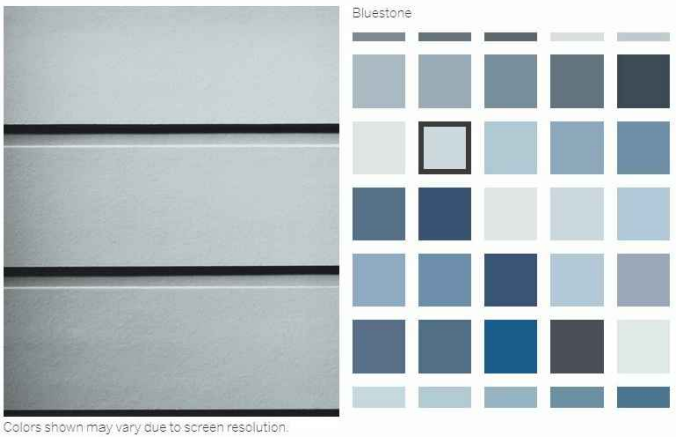
EXISTING AND PROPOSED
ROOF PLANS

Date	5/12/2020
Scale	1/4" = 1'-0"
Drawn	APD
Job	
Sheet	

A-5

DAHL ARCHITECTS INC.

1319 STRATFORD COLORS AND MATERIALS



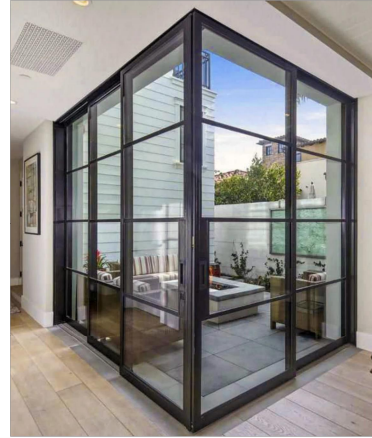
Colors shown may vary due to screen resolution.

PROPOSED NEW SIDING

- HARDIE PLANK LAP SIDING
- COLONIAL SMOOTH
- BLUESTONE OR SIMILAR TO MATCH EXISTING COLOR



EXISTING SIDING



PROPOSED DOORS/WINDOWS

- PINKY'S IRON DOORS



Estate Gray†

PROPOSED SHINGLES FOR ROOF "SKIRT"

- OWENS CORNING SUPREME SHINGLES
- ESTATE GRAY



EXISTING SHINGLES

NOTES:

- ACTUAL INSTALLED PRODUCT DEPENDS ON AVAILABILITY, PRICE, ETC.
- PRODUCTS SHOWN *OR SIMILAR/EQUIVALENT* TO BE INSTALLED
- COLOR SELECTION IS NOT PART OF DESIGN REVIEW, COLORS MAY BE CHANGED