



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

**AGENDA
REGULAR MEETING
THURSDAY, AUGUST 3, 2023
6:30 P.M.**

**AMEDEE O “DICK” RICHARDS JR. COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

South Pasadena Design Review Board Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Design Review Board Meeting will be conducted in-person from the Amedee O. “Dick” Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – City Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/89814060953> **Meeting ID: 898 1406 0953**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link: <https://us02web.zoom.us/j/89814060953>

CALL TO ORDER: Chair Brian Nichols

ROLL CALL: Chair Brian Nichols
Vice-Chair Melissa Hon Tsai
Board Member Joe Carlson
Board Member Samantha Hill
Board Member Kay Younger

COUNCIL LIAISON: Councilmember Janet Braun

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT AND SUGGESTIONS (Public Comments are limited to 3 minutes)

The Design Review Board welcomes public input. If you would like to comment on an agenda item, members of the public may participate by means of one of the following options:

Option 1:

Participate in-person at the City Council Chambers, 1424 Mission Street, South Pasadena, CA 91030.

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to PlanningComments@southpasadenaca.gov.

Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Design Review Board meeting.

NOTE: Pursuant to State law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT

1. Public Comment – General (Non-Agenda Items)

PUBLIC HEARING

- 2. 2031 Crestlake Avenue (APN: 5319-015-025), Project No. 2506-DRX:** A request for a Design Review Permit (DRX) to add a 134 square-foot, first-floor addition and a 914 square-foot, second story addition to an existing 1,304 square-foot one-story single-family dwelling at 2031 Crestlake Avenue (APN: 5319-015-025). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities).

Recommendation:

Find the project exempt from CEQA pursuant to Section 15301. Approve the project, subject to the recommended conditions of approval.

- 3. 830 Rollin Street (APN: 5314-016-015), Project No. 2564-DRX:** A request for a Design Review Permit (DRX) to add a 95 square-foot first-floor addition, and to enclose a 133 square-foot second-story balcony, at the front of an existing two-story single-family dwelling at 830 Rollin Street (APN: 5314-016-015). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities).

Recommendation:

Find the project exempt from CEQA pursuant to Section 15301. Approve the project, subject to the recommended conditions of approval.

ADMINISTRATION

- 4. Comments from City Council Liaison**
- 5. Comments from Board Members**
- 6. Comments from Subcommittees**
- 7. Comments from Staff**

ADJOURNMENT

- 8. **Adjourn to the Regular Design Review Board meeting scheduled for September 7, 2023 at 6:30 p.m.**

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk’s Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk’s Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.

7/27/2023
Date



Sandra Robles, Associate Planner



Design Review Board Agenda Report

ITEM NO. 2

DATE: August 3, 2023

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Sandra Robles, Associate Planner

SUBJECT: **Project No. 2506-DRX – A request for a Design Review Permit (DRX) to add a 134-square-foot, first-floor addition and a 914-square-foot, second-story addition to an existing 1,304-square-foot one-story, single-family dwelling at 2031 Crestlake Avenue (APN: 5319-015-025). The project also includes a request to convert 74 square feet of living space into garage area; add a new 395-square-foot rear facing first-story patio; a 363-square-foot rear-facing second-story balcony; a 150-square-foot front porch; and, a 912-square-foot subterranean basement. Finding project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301.**

RECOMMENDATION

Staff recommends that the Design Review Board (DRB):

1. Find the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301.
2. Approve Project No. 2506-DRX, subject to Conditions of Approval (**Attachment 1**).

BACKGROUND

The subject site is a rectangular-shaped 6,511-square-foot lot with the dimensions of 63.50 feet in width by 102.40 feet in length. Located north of Alhambra Road, bounded by Empress Avenue to the west and Fremont Avenue to the east, the subject site is within the Residential Single-Family Zoning District, or RS zone, and is surrounded by single-family residential uses to the north, south, east, and west. **Figure 1**, on the following page, is an aerial of the subject property and the surrounding neighborhood with the project site outlined in blue. The surrounding homes are a mix of architectural styles, but are predominantly Ranch and Minimal Traditional style homes (see **Attachment 2** for Site and Neighborhood Images).

The subject site is currently developed with a 1,304-square-foot, one-story Ranch-style single-family residence consisting of three (3) bedrooms, two (2) bathrooms, and a 397-square-foot, attached two-car garage. Originally constructed in 1950, the subject property has not undergone exterior modifications. According to Building Division permit records, a re-roof permit was issued in 1998.

Figure 1: Aerial



PROJECT DESCRIPTION

The applicant is requesting the approval of a Design Review Permit (DRX) to add a 134-square-foot, first-floor addition to the front of the property; a 914-square-foot, second-story addition; to convert 74 square feet living space into garage area; add a new 395-square-foot rear facing first-story patio; a 363-square-foot rear-facing second-story balcony; a 150-square-foot front porch; and, a 912-square-foot subterranean basement. The applicant is proposing to redesign the existing Ranch-style residence into a Modern Farmhouse style architecture. The architectural drawings, plans, and landscape design are included as **Attachment 6**.

A Design Review Permit, specifically Design Review Board process, is required for the proposed request pursuant to Section 36.410.040 of the South Pasadena Municipal Code (SPMC), as:

1. The addition exceeds 500 square feet or more than 25 percent of the existing structure and is visible to the street; and,
2. The modification to the front façade elevation would result in a change of architectural design style.

PROJECT ANALYSIS

General Plan Consistency

The General Plan land use designation of the site is Low Density Residential, which allows for detached single-family units at a density of 3.51 to 6 units per acre. The proposed project does not involve the addition of another dwelling unit; therefore, the project is consistent with the General Plan.

Zoning Code Compliance & Development Standards

The subject property is located within the Residential Single-Family (RS) zoning district, which is intended for areas appropriate for development of detached, single-family homes. The purpose of Residential Zoning District General Development Standards (SPMC, Section 36.220.040) is to ensure that alterations to existing structures are suitable and compatible with the applicable development standards. The subject property is a legal nonconforming parcel, with a lot size of less than 10,000 square feet; as such, **Table 1** below includes standards outlined pursuant to SPMC, Section 36.220.050 – Development of Small Nonconforming Residential Parcels.

Table 1: RS Zone and Small Nonconforming Parcel Standards

Standard	Requirement	Existing	Proposed
Lot Coverage	50% (3,255.5 SF max. allowed)	28.4% (1,851 SF)	36.4% (2,370 SF)
Floor Area Ratio (FAR)	35% (2,278.9 SF max. allowed)	20% (1,304 SF)	35% (2,278 SF)
Building Height	35'	17'-5"	26'-9"
Off-Street Parking	2-Car Garage	2-Car Garage	2-Car Garage
Front Setback	15 ft.(with a front porch)	24'-10"	24'-10"
Side Setbacks	10% of lot width, 6'-3" ft. minimum	5'-11" (N) 6'-0" (S)	5'-11" (N) 6'-0" (S)
Rear Setback	20' (from dwelling) 12' (from balcony)	26'-3" (from dwelling) 18'-3" (from rear patio)	26'-3" (from dwelling) 15'-10" (from balcony)

Design Review

The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City's adopted design standards and guidelines. The City of South Pasadena's Design Guidelines for Enhancing Existing Non-Historic Residences state that:

Roofs (p. 54):

1. Simple gabled or hipped roofs with a pitch similar to the surrounding structures are generally appropriate.
2. Roofing materials should generally have a non-reflective finish.

Porches and Balconies (p. 54)

1. Materials such as wood and metal are appropriate for a new or reconfigured porch or balcony.
2. Detailing, color and materials of new or reconfigured porches or balconies should reflect the architecture of the existing building.

Architectural Details (p. 55):

1. Newly installed details should reflect the architectural character of the residence and architectural vocabulary of the neighborhood.

Façade Treatments (p. 56):

1. Alternative materials should appear similar in scale, proportion, texture and finish to those used historically;
2. Wood lap or shingles, brick, or stone are also appropriate materials, if other buildings in the neighborhood employ these materials.
3. Decorative details should be consistent with the traditional style of the residence.

Additions (p. 58):

1. Additions to residential structures should have a similar mass to the surround buildings. For example, a two-story building is generally not appropriate on a block composed exclusively of one-story houses;
2. Front elevations should appear similar in scale to those seen traditionally in the surrounding neighborhood.

The applicant is proposing to redesign the existing Ranch-style residence into a Modern Farmhouse architectural style within a neighborhood dominated by Ranch-style and Minimal Traditional-style homes. The Modern Farmhouse architectural style embraces simplicity and practicality, and includes architectural features that are shared with both Ranch-style and Minimal Traditional architecture, such as: lap siding, gable roof, asphalt shingles (applicant is proposing laminated shingle, which gives the appearance of an asphalt shingle, but is more durable), and wood post supports for the front patio.

The proposed project will expand the existing one-story structure, which is appropriate for the surrounding neighborhood, as the neighboring properties are a mix of one- and two-story structures. The massing and scale of the project is also compatible with the surrounding structures—while the size of the total project will increase from 1,034 square feet to 3,190 square feet, 912 square feet will be subterranean and not considered part of the total floor area. As such, the total area that apply towards floor area is 2,278 square feet. The property located directly south of the subject property—2035 Crestlake Avenue—is 2,230 square feet, as such, the floor area and massing is compatible with that of the surrounding neighborhood (see **Image 1**).

Image 1: 2035 Crestlake Avenue to the left, with subject property to the right.



ENVIRONMENTAL ANALYSIS

This item is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15031, Class 1 – Existing Facilities. Class 1 exemption includes additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet, in which the project site is in an area where all public facilities are available and is not located in an environmentally sensitive area.

FINDINGS

Design Review Required Findings

In order to approve a Design Review application, the Design Review Board shall first find that the design and layout of the proposed development:

1. *Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);*

The project site has a General Plan land use designation of Low Density Residential. General Plan policies for this land use designation specify this land use category for single-family dwelling uses—there are no additional dwelling proposed, as such, it remains consistent with the General Plan. The proposed

project meets design guidelines adopted by the City, in that it will add a second-story addition in a neighborhood that has a mix of one- to two-story structures; the size of the proposed project is comparable to that of the immediately surrounding neighborhood; the architectural style will change from Ranch-style to Modern Farmhouse, but the materials and simplicity of the design is compatible with the surrounding neighborhood.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;*

The project involves a complete redesign of an existing one-story Ranch-style residence into a two-story Modern Farmhouse-style residence; the use and density are consistent with the neighborhood. The site complies with parking and the project is designed to accommodate the functions and activities related to a single-family residence. As proposed and conditioned, the project would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,*

The project site is surrounded by one- and two-story single-family residential structures of varying architectural styles. The proposed change of architectural design from a Ranch-style to Modern Farmhouse will share similar architectural features and materials from that of the existing neighborhood, such as: lap siding, gable roof, comparable massing, and wood posts for the front porch. As such, the proposed project will remain compatible with the existing character of the surrounding neighborhood.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.*

The proposed project has been designed with the consideration to its occupants and provides adequate indoor and outdoor space. The proposed project uses similar materials and colors to enhance the existing architecture within the neighborhood and should remain appealing with a reasonable level of maintenance.

ALTERNATIVES TO CONSIDER

If the Design Review Board does not agree with Staff's recommendation, the following options are available:

1. The Design Review Board may approve the project with modified/added conditions; or
2. The Design Review Board may continue the project to address comments discussed; or
3. The Design Review Board may deny the project.

PUBLIC NOTICING

Hearing notices were sent to all properties within a 300-foot radius on July 20, 2023. A Public Hearing Notice was published on July 21, 2023 in the South Pasadena Review. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

PUBLIC COMMENTS

At the time of writing this report, staff has not received public comments regarding this project.

NEXT STEPS

If the Design Review Board approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

ATTACHMENTS

1. Conditions of Approval
2. Site and Neighborhood Images
3. Project Narrative
4. Materials Brochures
5. Renderings
6. Project Plans

ATTACHMENT 1

Conditions of Approval

CONDITIONS OF APPROVAL Design Review Permit

PROJECT NO. 2506 – DRX
2031 Crestlake Avenue (APN: 5319-015-025)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on August 3, 2023:

Design Review Permit to add a 134-square-foot, first-floor addition and a 914-square-foot, second-story addition to an existing 1,304-square-foot one-story, single-family dwelling at 2031 Crestlake Avenue. The project also includes a request to convert 74 square feet of living space into garage area; add a new 395-square-foot rear facing first-story patio; a 363-square-foot rear-facing second-story balcony; a 150-square-foot front porch; and, a 912-square-foot subterranean basement.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Design Review Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage,

lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.

- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm, Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P7. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

BUILDING DIVISION:

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior to permit issuance.
- B3. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B4. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. Plans shall be prepared under the supervision of an architect licensed in the State of California or a civil or structural engineer registered in the State of California. Each sheet of the plans and the cover sheet of the calculations is to be stamped and signed by the person preparing the plans. 5353 and 6730 of the State Business and Professions Code

- B8. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B9. A geotechnical and soils investigation report is required. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B10. A grading and drainage plan shall be approved prior to issuance of the building permit.
- B11. Stormwater Planning Program LID Plan Checklist (MS4-1 Form) completed by Engineer of Record shall be copied on the first sheet of Grading Plans. The form can be found at the following link

<https://www.dropbox.com/s/5p4yf08beipzyot/SP%20MS4-1%20LID%20Determination%20Form.pdf?dl=0>
- B12. Foundation inspection will not be made until the excavation has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B13. Project shall comply with the CalGreen Residential mandatory requirements.
- B14. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
- B15. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit. A separate permit is required for Fire Sprinklers.

DEPARTMENT OF PUBLIC WORKS:

- 1) The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- 2) The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee of \$561 for two (2) reviews and an additional fee of \$168 for each additional review and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- 3) The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an

approved project account from which the City shall draw funds to pay for said professional services.

- 4) Crestlake Avenue shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the start of the project and immediately upon completion of the project.
- 5) Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- 6) Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- 7) Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- 8) If applicable, show the location and area of trench sections for any proposed sewer and water lines connection within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
- 9) The applicant shall contact the City of South Pasadena Water Division to verify the existing water meter connection is adequate for the proposed structure/fire sprinkler system. Coordinate the size, location, and associated fee for a new water meter connection, as applicable. Please contact the Water Operations Manager at (626) 460-6393 for additional information.
- 10) If applicable, provide clearance letter from utility companies for any proposed relocation of utility lines that encroach on the properties prior to obtaining permits for the project.
- 11) If applicable, improvement plans for underground utilities (i.e. water, sewer, electrical, telecommunications, etc.) to be placed in the public right-of-way or easement that will be owned and maintained by other entities shall be reviewed by the City prior to Utility Agency approval. The City shall have a place on the title sheet to accept the plans with a statement: "The City's acceptance is limited to the placement of utilities relative to public infrastructure clearances, uses, and future plans within the right-of-way.
- 12) For any proposed work within the public right-of-way, show the existing grade, location, and dimensions of all existing and proposed conditions within public right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- 13) Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.

- 14) Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- 15) The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- 16) Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. At least 48 hours advance notice shall be given to residents for street and lane closures. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm.
- 17) No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- 18) Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- 19) The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- 20) The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

FIRE DEPARTMENT:

- FD1. Required Code References: 2022 South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code and NFPA Standards.
- FD2. Fire Sprinklers are required. Submit a separate plan to City for approval.
- FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD4. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD5. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off.

There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.

- FD6. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD7. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD8. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD9. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD10. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
- 1) An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
 - 2) Any addition to an existing building which has fire sprinklers installed;
 - 3) Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
 - 4) Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
 - 5) An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.
- FD11. Address Identification. New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible

and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.

- FD12. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD13. Exception: Any re-roofing shall provide Class A roof material for the entire roof when the aggregated re-roofing for the same building during any consecutive twelve months exceeds fifty percent of the existing roof. (14.4 SPMC).
- FD14. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - 2) In each room used for sleeping purposes.
 - 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- FD15. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).
- FD16. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD17. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD18. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During

Construction and Demolition” of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:

- 1) At each stairway on all floor levels where combustibles materials have accumulated.
- 2) In every storage and construction shed.
- 3) Where special hazards exist included but not limited to, the storage and use of combustible and flammable liquids.

FD19. For any questions regarding water meter, please contact Public Works at 626-403 7240.

FD20. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 2

Site and Neighborhood Images

project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
0_0_PHOTOS

page description:
NEIGHBORHOOD PHOTO

seal/signature:

sheet no.:

PH3

4/25/2023 12:41:49 PM ARCH D:24:00 x 36:00 inches



19
SCALE: N.T.S.
MAIN HOUSE @ NORTHEAST ELEVATION ALONG SIDE YARD



17
SCALE: N.T.S.
MAIN HOUSE @ NORTHWEST ELEVATION ALONG REAR YARD VIEW

1
SCALE: N.T.S.
NOTES



19
SCALE: N.T.S.
NEIGHBORHOOD PHOTO



17
SCALE: N.T.S.
NEIGHBORHOOD PHOTO

RUBY CONSULTING PARTNERS, LLC

1281 Meadowbrook Road
Altadena, CA 91001
TEL: 626.320.2815
alison.fung@aol.com

COPYRIGHT © 2019 BY
RUBY CONSULTING PARTNERS, LLC
ALL RIGHTS RESERVED.

project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
0_0_PHOTOS

page description:
NEIGHBORHOOD PHOTO

seal/signature:

sheet no.:

PH4

1
SCALE: N.T.S.
NOTES

4/25/2023 12:41:54 PM ARCH D:\24\00 x 36\00 Inches



19
SCALE: N.T.S.
NEIGHBORHOOD PHOTO



17
SCALE: N.T.S.
NEIGHBORHOOD PHOTO

project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
0_0_PHOTOS

page description:
NEIGHBORHOOD PHOTO

seal/signature:

sheet no.:

ATTACHMENT 3

Project Narrative

2031 Crestlake Avenue So Pas. – Narrative Description
Existing Single Family House
Addition and Remodel

The project is located at 2031 Crestlake Avenue, on the west side of Crestlake, just north of W Alhambra Road.

The site is 6,511 square feet, existing one story 1,304 square feet single family in the RS-development non-historical residences zoning with existing two-car 397 square feet garage.

The proposed project is an existing house addition and remodeling to the existing ground floor, new second floor addition and new subterranean basement below proposed a total floor area of 2,278 sf = 2,278 sf max. FAR allowed.

The project work scope shall include newly installed details of Ranch-style exterior sidings, patio wood post supports at the street facing main entry door, rear facing wooden balcony and railing at second floor, and ultra-high definition charcoal gable roof shingles with future solar panel system install.

The proposed project shall include 42" wide main entry door with 18" sidelight glazing window. The window shall be Modern Farmhouse style resilient wood manufactured by "TruStile". The existing garage window shall be replaced with mahogany wood authentic divided lite window manufactured by "Marvin" Bright View with side wood shutters fronting Crestlake Ave. The second floor window shall include architectural feature bay windows overhang to accentuate the ranch gable roof style at street facing and rear facing facade.



The proposed project shall expand the existing one-story house addition and remodeling to become two-story 26'-9" ht. (less than 35'-0" max allowable ht.) to match similar building massing, garage driveway approach orientation, roof element system, and window and door proportional sizes to the south adjacent neighbor property on 2035 Crestlake Ave. The existing front yard landscape shall install new landscape design and irrigation system.

We believe that the project is well designed and is the right project for the site. It will improve the appearance of the Crestlake Avenue frontage with minimal impacts on surrounding properties and will provide a beautiful Ranch-style single family house that fits right into the prestigious neighborhood surroundings.

ATTACHMENT 4

Materials Brochures

GUNMETAL BRONZE

Gunmetal Bronze | DEB001  



ORDER PAINT



ORDER PAINT SAMPLE



ORDER FREE COLOR CHIP





INSTACOLOR ROOM VISUALIZER


GUNMETAL BRONZE PAINT COLOR

Paint colors represented are approximations and are not exact matches. No guarantee is intended and approval or final color selections and color placement are the responsibility of the property owner or the owner's agent. Purchasing 8 oz. Perfect Palette Sampler color is highly recommended and is easily done online or in-stores.


DUNN-EDWARDS ID: DEB001

HEX COLOR CODE: 635C55 

RGB COLOR CODE: 99, 92, 85 

CMYK COLOR CODE: 0, 7, 14, 61 

MUNSELL: HUE=9.6YR | VALUE=3.8 | CHROMA=0.7 

LIGHT REFLECTANCE VALUE: LRV 10 



This website stores cookies on your computer. These cookies are used to improve your website experience and provide more personalized services to you, both on this website and through other media. To find out more about the cookies we use, see our [Privacy Policy](#).

We won't track your information when you visit our site. But in order to comply with your preferences, we'll have to use just one tiny cookie so that you're not asked to make this choice again.

Accept

Decline


WHITE PICKET FENCE

White Picket Fence | DET648  

TRIM

ACCENT

Carrara | DET649 

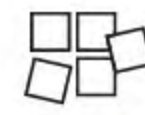
Winter Morn | DET617 



ORDER PAINT



ORDER PAINT SAMPLE



ORDER FREE COLOR CHIP




INSTACOLOR ROOM VISUALIZER


WHAT COLOR IS WHITE PICKET FENCE?

White Picket Fence color is a crisp white with slight warm undertones and part of our Then, Now & Forever® collection. A classic, designer-favorite go-to choice of white for any design style. White Picket Fence works well as both a body color or trim color.


WHITE PICKET FENCE PAINT COLOR


DUNN-EDWARDS ID: DET648 RL#945

HEX COLOR CODE: F0EFEB 

RGB COLOR CODE: 240, 239, 235 

CMYK COLOR CODE: 0, 0, 2, 6 

MUNSELL: HUE=5.4Y | VALUE=9.4 | CHROMA=0.3 

LIGHT REFLECTANCE VALUE: LRV 87 

THEN, NOW & FOREVER®

TRENDING TODAY

James Hardie Plank Fiber Cement Cedarmill Siding 8.25"x144" Arctic White 1pc

[Be the first to review this product](#)

\$19.07

SPECIAL ORDER - NON STOCK

SKU#: FCH8AW

Qty

1

ADD TO CART

ADD TO COMPARE

*This is a special order product- subject to return restrictions. [Shipping and return policy](#)

* Minimum order requirement of 25 pieces for deliveries more than 100 miles from Chicago. Orders placed for under this amount will be canceled and will not be filled.

James Hardie HardiePlank Fiber Cement Cedarmill Siding 8.25"x144" Arctic White 1pc

The HardiePlank Fiber Cement natural cedar look has a soft texture that mimics wood. Sleek and strong, HardiePlank Fiber Cement lap siding is not just James Hardie's best-selling product, it's the most popular brand of siding in America. With a full spectrum of colors and textures, HardiePlank Fiber Cement lap siding sets the standard in exterior cladding.

Build your dream with the very best. This high-performance fiber cement siding comes in styles that suit every home from historic to modern.

See "Related Products" below for more options.



JAMES HARDIE HARDIEPLANK FIBER CEMENT CEDARMILL SIDING 8.25"X144" ARCTIC WHITE 1PC

- Moisture damage resistant
- Designed against cracks, splits, swelling, or rotting.
- Termite/insect resistant
- Highly durable in high wind and hurricane areas
- Resists spreading fires
- Paint a HardiePlank Fiber Cement and coat lasts longer than on wood

Width: 8.25"

Length: 12'

Exposure: 7"

Pcs / Sq (100 sq.ft): 15

This installation video is useful for understanding HardiePlank Fiber Cement in general.





Modern Farmhouse

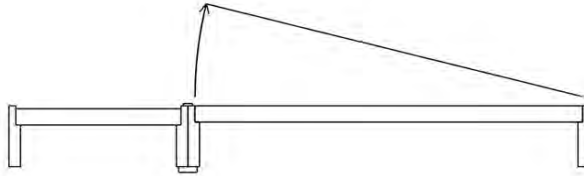
TruStile's Modern Farmhouse Entry Door Collection combines clean lines and open views to bring an understated elegance to your front entry.

[Explore The Entry Systems Design Guide](#)
[Find The Right Material Construction](#)

Featured Entry Systems

[Chat](#)

Entry Door Details



Door Style	Sticking	Panel	Material	Glass / Insert	Product Type
FL451	OS	B	Paint Grade Mahogany	3/4" Insulated Unit	Entry System

- Most configurations delivered pre-hung with a premium prime finish, ready to paint to match your design.
- 10-year limited warranty with reduced and no overhang applications, depending on system design specifications.

Reserve™ Wood Entry System



The Reserve Wood Entry System elevates the refined elegance of your home with the beauty of stained natural wood.

- 10 natural wood species available with an extensive collection of premium factory stain options.
- Premium appearance standards ensure industry-leading grain and color matching.
- Engineered with a laminated veneer lumber (LVL) core and Tricoya® layers to provide exceptional stability and durability.
- 5-year limited warranty with industry standard overhang requirements.

Comparison of Resilient™ and Reserve™ Wood Entry Systems

	Resilient™ Wood Entry Systems	Resilient™ Wood Entry Systems No Overhang Required	Reserve™ Wood Entry S
Door Styles	Over 500 standard door styles	Over 500 standard door styles	Over 500 standard door s
Maximum Door Size	42" × 96" single unit 84" × 96" pair unit (42" leaf)	42" × 96" single unit 72" × 96" pair unit (36" leaf)	42" × 120" single unit 84" × 120" pair (42" leaf)
System Layouts	Most options available	ES101 and ES201 only 72" × 96" pair unit (36" leaf)	All options available
Finish	Painted, user applied	Painted, user applied	Factory prime, stained fin user applied
Overhang Requirements	Reduced overhang requirements*	No overhang requirements*	Standard overhang requirements*
Limited Warranty	10 year**	10 year**	5 year factory primed or finished; 3 year unfinished**
Maintenance	Painted finish should be inspected annually and re-applied as needed	Painted finish should be inspected annually and re-applied as needed	Top coat finish should be inspected annually and re-applied as needed
Dark Finishes / Paint	Warrantied when ordered with factory multi-point lock	Warrantied when ordered with factory multi-point lock	Not warrantied for door movement

	Resilient™ Wood Entry Systems	Resilient™ Wood Entry Systems No Overhang Required	Reserve™ Wood Entry S
Wood Screen / Storm Door	Not available	Not available	Available
Sills	Three different sill options available	Hydrosill™	Five different sill options available
Multipoint Lock	GU-Secury Automatic multipoint lock available	GU-Secury Automatic multipoint lock required for pairs	GU-Secury Automatic multipoint lock available

* Refer to TruStile Resilient limited warranty for overhang requirements

** Additional requirements may apply, please refer to TruStile warranty



Note: Exterior doors not available for commercial projects



[Marvin](#) > [Products](#) > [Door Types](#) > [Sliding Doors](#)



SLIDING GLASS DOORS

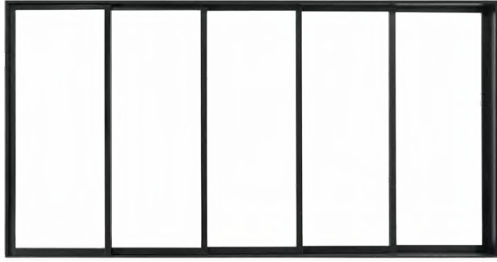
Sliding doors have one or more panels opening on either a sliding track or hanging rollers. They are space saving and help open up a room.

SIGNATURE



Coastline Multi-Slide Door

SIGNATURE



Modern Multi-Slide Door

SIGNATURE



Ultimate Lift and Slide Door

SIGNATURE



Ultimate Multi-Slide Door

SIGNATURE



Ultimate Sliding French Door

SIGNATURE



Ultimate Sliding Patio Door

ELEVATE



Elevate Sliding French Door





DOORS?

... that either glide open on a bottom-
... m above. The different styles of sliding
... arn doors, pocket doors, lift-and-slide doors,
... s door).

... he panel to open, the sliding door's panels
... balconies that may have furniture in the way.
... rge glass panels, earning them the nickname
... ve openings that can open up a room and
... ounding nature. This design is also ideal for
... he backyard or patio during a get-together.

EXPLORE SLIDING DOOR PHOTO GALLERIES



ESSENTIAL

Coastal Living Indoor Outdoor

[View Details →](#)



Essential Sliding Patio Door



[View All Doors →](#)



Find a Dealer →

PRODUCTS

[Our Collections](#)
[All Windows](#)
[All Doors](#)
[Skylights](#)
[Spaces](#)

DESIGN & INSPIRATION

[Product Design Options](#)
[Photo Gallery](#)
[Project Gallery](#)
[Blog](#)

SUPPORT

[Support Center](#)
[Care and Maintenance](#)
[Glossary of Terms](#)
[Owner's Manuals](#)
[Parts Manuals](#)
[Warranty](#)

SOLUTIONS

[Coastal](#)
[Contemporary](#)
[Historic Design](#)
[Replacement](#)
[Well-Being](#)

WHY MARVIN

[Our Story](#)
[Careers](#)
[Energy Efficiency](#)
[In The News](#)
[International](#)
[TruStile](#)
[Marvin Replacement](#)

PROFESSIONALS

[AIA Courses](#)
[Architectural Resources](#)
[Drawing and 3D Models](#)
[Energy Data](#)
[Technical Specifications](#)
[Tours and Training](#)



[FIND A DEALER](#)



[REQUEST LITERATURE](#)



[EMAIL SIGN UP](#)

[Facebook](#) [Instagram](#) [Pinterest](#) [Twitter](#) [Houzz](#) [YouTube](#)

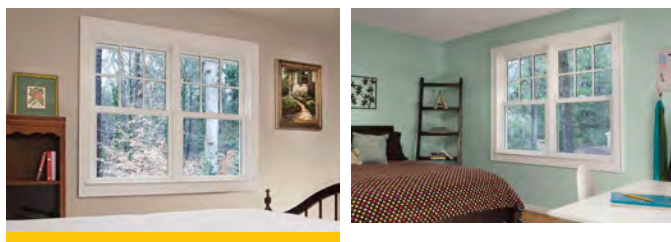
[Architizer](#) [Zillow](#) [LinkedIn](#)

[Privacy Statement](#)

[Terms of Use](#)

[California Users](#)

© 2023 Marvin

[< Marvin Signature® Ultimate](#)

Ultimate Wood Double Hung Insert

The all-wood Marvin Signature® Ultimate Double Hung Insert window's frame-in-frame design is built to fit into your window opening without removing the existing frame or disturbing exterior or interior trim. The window's all-wood construction means it blends seamlessly with historic architectural details, or adds character to a more contemporary design.

Find Marvin products in your area. Connect with a dealer near you to get started.

FIND A DEALER



FEATURES OF THE ULTIMATE WOOD DOUBLE HUNG INSERT WINDOW

- Available in heights up to 6.5 feet or widths up to 3.5 feet
- Multiple exterior woods and finishes available to meet regional historical needs
- Also available as a single hung, stationary transom or picture window
- Tilt or remove for easy cleaning

DESIGN OPTIONS

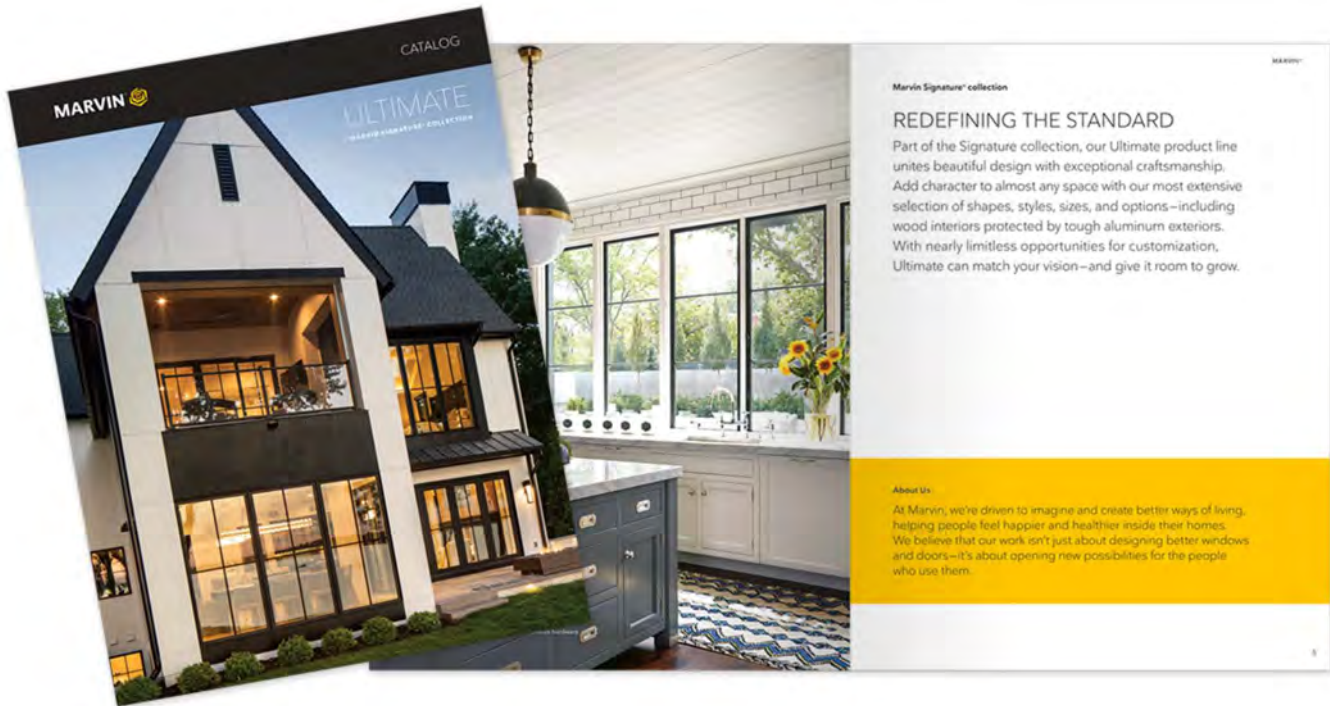
Exterior Finish

+

Interior Finish

+

Sticking Options	+
Hardware	+
Glass	+
Screens	+
Divided Lites	+
Casings	+
Window Opening Control Devices	+



GET THE ULTIMATE CATALOG

Get detailed information on the Ultimate product line including types of windows and doors, color and finish options, sizing, hardware, and other key details.

[DOWNLOAD NOW](#)

SIGNATURE COLLECTION

Marvin Signature Ultimate

Our broadest range of product types, sizes, configurations and design options.

[Learn More →](#)



Materials

Low maintenance extruded aluminum exteriors with your choice of rich wood interior, or wood throughout.

[Learn More](#) →

Energy Efficiency



MOST POPULAR

Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light

14 Reviews

\$139.99

Comparable Value \$209.99

or 4 interest-free payments of **\$35.00** with sezzle ⓘ

FREE SHIPPING & FREE RETURNS*

Ships Today if ordered in the next 5 Hr. 6 Min.

1

ADD TO CART

♡ SAVE

[Check Store Availability](#) | [Question? Ask a Store Associate](#)

Good To Know

Dark Sky



DESIGN CHAT

VIEW IN YOUR ROOM

Product Details

Illuminate a dark outdoor space with this urban barn light from Franklin Iron Works.

Additional Info:

A careful balance of rusticity and elegance, this outdoor wall light is the perfect addition to your patio or balcony. In a classic urban barn style with a curving neck, it invokes a charmingly old-fashioned feel. A smooth black finish gives this fixture a clean, almost contemporary touch. Vertical installation only.

**FRANKLIN
IRON WORKS™**

[Bulbs for Style #42F98](#)

- 12" wide x 10 1/2" high. Extends 14 1/2" from the wall. Backplate is 6 1/4" wide x 3/4" deep. Weighs 2.42 lbs.
- Uses one maximum 100 watt standard-medium base bulb (not included).
- Barn-style outdoor wall light from the Franklin Iron Works™ brand.
- Black finish over aluminum construction. Gooseneck arm.
- Vertical installation only. Distance from mounting point to top of fixture is 6".

SPECIFICATIONS

PRODUCT ATTRIBUTES

Finish	Black
--------	-------

TECHNICAL SPECIFICATIONS

Height	10.50 inches
--------	--------------

Style	Farmhouse
Brand	Franklin Iron Works
Dark Sky	Yes

Width	12.00 inches
Weight	2.42 pounds
Max Wattage	100 watts

More Like This | [View All](#)



Danbury 6 1/4" High Black Dark Sky LED Outdoor Wall Light

\$69.99



Escudilla 11 3/4" High Black Outdoor Wall Light

\$154.95



Midland 9" High Dusk-to-Dawn LED Motion Sensor Light

\$99.99



Fr
Ot
\$9

Questions & Answers

Ask a question



29 Questions

Sort by: **Most Helpful** ▾

Q: I need an indoor light that looks like this any recommendations? Lisa H. Oct 6, 2019



2

A: It can also be used indoors.

Oct 6, 2019

▾ [See 1 Answer](#) [Answer](#)

Q: is it UL listed? A Shopper Jan 18, 2023



1

A: Yes, this wall light is UL listed.

Eric R. STAFF Jan 18, 2023

▾ [See 1 Answer](#) [Answer](#)

Q: What is the dimension of the round base? My Hardie board already has a large circle as most lamps like this don't seem like they would cover it unfortunately. A Shopper Aug 6, 2021



1

A: The round base (backplate) is 6.25" wide.

Eric R. STAFF Aug 6, 2021

Related Items



Arnett 10 1/2" High Black Dusk-to-Dawn Outdoor Wall Lights Set of 2
\$249.99



Arnett 10 1/2" High Black Outdoor Barn Light Wall Lights Set of 2
\$229.99



Franklin Iron Works Arnett 10 1/2"H Black Outdoor Wall Light
\$99.99

Fr
Ce
\$9

Related Videos



How to Style Modern Farmhouse



Contemporary Style Tips and Ideas



Mid Century Modern Style Tips and Ideas



How to Style Mid Century Modern

[↑ BACK TO TOP](#)

Timberline® UHDZ™ Shingles

Go beyond expectations

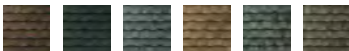
Timberline® UHDZ™ (Ultra High Definition) shingles offer a combination of beauty and benefits that go beyond any other GAF shingle.

★★★★★ (0) [WRITE A REVIEW](#)



ALL COLORS IN YOUR AREA

Color/Finish:



[ABOUT \(HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/SHINGLES/TIMBERLINE/ARCHITECTURAL/TIMBERLINE-UHDZ\)](https://www.gaf.com/en-us/roofing-products/residential-roofing-products/shingles/timberline/architectural/timberline-uhdz)

[SPECS \(HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/SHINGLES/TIMBERLINE/ARCHITECTURAL/TIMBERLINE-UHDZ/SPECIFICATIONS\)](https://www.gaf.com/en-us/roofing-products/residential-roofing-products/shingles/timberline/architectural/timberline-uhdz/specifications)

[DOCS PRODUCTS/SI](#)

[Manage Your Cookie Preferences](#)

We use cookies to operate our website, enhance site navigation and functionality, analyze site usage, and assist in our marketing efforts.

About Timberline® UHDZ™ (Ultra High Definition) Shingles

For homeowners ready to go beyond their expectations, we've introduced Timberline® UHDZ™ Shingles — the premium laminate shingle from GAF. They feature our patent-pending Dual Shadow Line for dramatic sunset shadows all day long, offer the NEW 30-year StainGuard Plus PRO™ Limited Warranty against blue-green algae discoloration¹, and GAF Master Elite® contractors² can offer 30 years of workmanship coverage when they install a qualifying GAF roofing system with Timberline® UHDZ™ shingles and register a Golden Pledge Limited Warranty.³



¹ 30-year StainGuard Plus PRO™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus PRO™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions.

² Contractors enrolled in GAF certification programs are not employees or agents of GAF, and GAF does not control or otherwise supervise these independent businesses. Contractors may receive benefits, such as loyalty rewards points and discounts on marketing tools from GAF for participating in the program and offering GAF enhanced warranties, which require the use of a minimum amount of GAF products.

³ 30-year misapplication coverage term applies only to single-family detached residences owned by individual(s). For all other properties, misapplication coverage term is 25 years. A qualifying GAF roofing system consists of Timberline® UHDZ™ shingles and 5 qualifying GAF accessory products. Qualifying GAF accessory products include: (1) ridge cap shingles; (2) attic ventilation; (3) starter strip shingles; (4) roof deck protection; and (5) leak barrier. See GAF Golden Pledge® Limited Warranty for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

Go beyond beauty with the most advanced Timberline® shingle yet!

Thanks to our patent pending Dual Shadow Line, your new Timberline® UHDZ™ Shingle roof can look its very best from every angle, all day long.

Unrivaled beauty and dimension

Our unique, patented Dual Shadow Line gives the Timberline® UHDZ™ shingle a thicker, ultra-dimensional wood-shake look than our Timberline® HDZ™ shingles, for a deep, rich look unique to our new premium laminate shingle.



Get the Timberline UHDZ™ brochure

Get the whole Timberline® UHDZ™ story when you download our brochure. See all available colors in place on a wide variety of home styles, and learn how Timberline® UHDZ™ shingles play a vital role in creating a complete GAF roofing system.

[GET BROCHURE \(HTTPS://US.GAF.COM/UHDZ-BROCHURE\)](https://us.gaf.com/uhdz-brochure)

We use cookies to operate our website, enhance site navigation and functionality, analyze site usage, and assist in our marketing efforts.

ATTACHMENT 5

Renderings

project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
0_1_RENDERINGS

page description:
DIGITAL RENDERINGS

seal/signature:

sheet no.:

RENDER3

7/17/2023 4:02:42 PM ARCH.D (24.00 x 36.00 inches)



project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
0_1_RENDERINGS

page description:
DIGITAL RENDERINGS

seal/signature:

sheet no.:

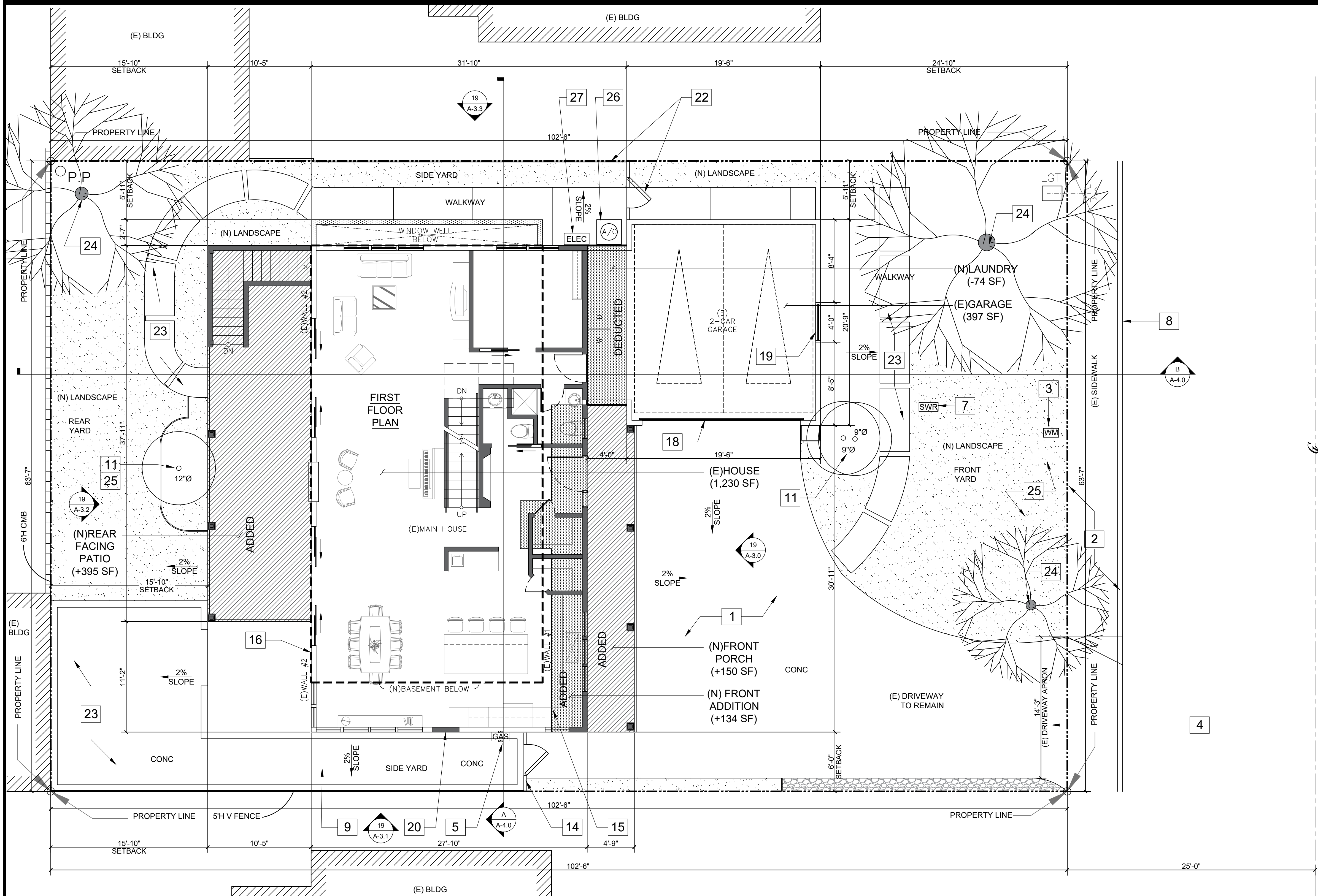
RENDER1

7/17/2023 4:02:44 PM ARCH.D (24.00 x 36.00 inches)



ATTACHMENT 6

Project Plans



18 DETAILED PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"

1 (E) DRIVEWAY TO REMAIN.	16 (E) EXT. WALL #2 TO BE PARTIALLY REMOVED.	NEW ADDITION/ DEDUCTION LIVING AREA HATCH
2 (E) CONCRETE SIDEWALK TO REMAIN.	17 NOT USED	NEW ADDITION PORCH/ PATIO/ BALCONY HATCH
3 (E) WATER METER TO REMAIN.	18 (E) GARAGE DOOR TO BE REPLACED.	(E) WALL TO REMAIN
4 (E) DRIVEWAY APPROACH TO REMAIN.	19 (E) WINDOW TO BE REPLACED.	PROPERTY LINE
5 (E) GAS METER TO REMAIN.	20 (E) DOOR & OPENING TO BE INFILL ENCLOSED.	ABOVE/ BELOW
6 (E) ELECTRICAL PANEL TO RELOCATE.	21 NOT USED	DIMENSION/ SETBACK
7 (E) SEWER VALVE TO REMAIN.	22 NEW 6'-0" HT. VINYL GATE & FENCE	NEW WALL ADDED
8 (E) LINE OF STREET CURB.	23 NEW PAVER. SEE HARDSCAPE PLAN	PROPERTY LINE
9 (E) CONCRETE TO BE REMOVED.	24 NEW TREE. SEE LANDSCAPE PLAN	(E) TO REMAIN
10 (E) A/C UNIT TO BE REMOVED & REPLACED.	25 NEW PLANT. SEE LANDSCAPE PLAN.	(E) TO BE REMOVED
11 (E) TREE TO REMAIN IN PLACE.	26 NEW 5-TON A/C UNIT.	NEW TREE ADDED
12 (E) PLANTER TO BE REMOVED.	27 NEW 200-AMP ELECTRICAL PANEL.	
13 (E) CONCRETE STEPS TO BE REMOVED.	28 NOT USED	
14 (E) 6'-0" HT. VINYL GATE & FENCE TO REMAIN.	29 NOT USED	
15 (E) EXT. ENTRY & WALL #1 TO BE REMOVED.	30 NOT USED	

17 SITE PLAN KEY NOTES AND SYMBOLS
SCALE: N.T.S.

9 APPLICABLE CODES
SCALE: N.T.S.

MUNICIPAL & LOCAL CODES:
 IBC 2020 LACO BLDG CODE
 IRC 2020 LACO RESIDENTIAL CODE
 NEC 2020 LACO ELECTRICAL CODE
 UMC 2020 LACO MECHANICAL CODE
 UPC 2020 LACO PLUMBING CODE
 2019 CALIFORNIA BLDG CODE - TITLE 24, PART 2
 2019 CALIFORNIA RESIDENTIAL CODE - TITLE 24, PART 2.5
 2019 CALIFORNIA ELECTRICAL CODE - TITLE 24, PART 3
 2019 CALIFORNIA MECHANICAL CODE - TITLE 24, PART 4
 2019 CALIFORNIA PLUMBING CODE - TITLE 24, PART 5
 2019 CALIFORNIA ENERGY CODE - TITLE 24, PART 6
 2019 CALIFORNIA GREEN BLDG STANDARDS CODE - TITLE 24, PART 11

A PHOTOVOLTAIC SYSTEM IS REQUIRED PER T-24 ENERGY REPORT. SOLAR PLANS TO BE SUBMITTED AS A DEFERRED SUBMITTAL.

5 SHEET INDEX
SCALE: N.T.S.

2 PROJECT SUMMARY
SCALE: N.T.S.

ARCHITECTURAL
 A-1.0 TITLE SHEET, PROJECT SUMMARY, PROPOSED DETAILED SITE PLAN
 A-1.0B PROPOSED DETAILED SITE PLAN
 A-1.1 DEMOLITION PLAN
 A-1.1B EXISTING SITE PLAN
 A-2.1 PROPOSED FIRST FLOOR PLAN/ EXISTING GROUND FLOOR PLAN
 A-2.2 PROPOSED SECOND FLOOR PLAN
 A-2.3 PROPOSED BASEMENT PLAN
 A-2.4 PROPOSED & EXISTING ROOF PLANS
 A-3.0 PROPOSED & EXISTING EAST ELEVATION
 A-3.1 PROPOSED & EXISTING SOUTH ELEVATION
 A-3.2 PROPOSED & EXISTING WEST ELEVATION
 A-3.3 PROPOSED & EXISTING NORTH ELEVATION
 A-4.0 BLDG SECTIONS
 A-5.0 WINDOW SCHEDULE
 A-5.1 DOOR SCHEDULE

LANDSCAPE
 L-1.1 HARDSCAPE PLAN
 L-1.2 PLANTING PLAN

1 VICINITY MAP
SCALE: N.T.S.

THE REQUEST IS FOR A DESIGN REVIEW PERMIT (DRX) FOR:

1. A PROPOSED 134-SQ-FT FIRST-STORY ADDITION.
2. A NEW 914-SQ-FT SECOND-STORY ADDITION TO AN EXISTING 1,304-SQ-FT, ONE-STORY, SINGLE-FAMILY PROPERTY.

THE PROJECT ALSO INCLUDES A REQUEST TO (SEE SHEET A-1.0B):

3. CONVERT 74-SQ-FT OF LIVING SPACE INTO GARAGE AREA.
4. ADD A NEW 395-SQ-FT REAR FACING FIRST-STORY PATIO WITH A 363-SQ-FT REAR FACING SECOND-STORY BALCONY.
5. ADD A NEW 150-SQ-FT FRONT PORCH.
6. ADD THREE NEW 48-SQ-FT SECOND-STORY ARCHITECTURAL FEATURE BAY WINDOWS OVERHANG.
7. A PROPOSED 912-SQ-FT, SUBTERRANEAN, BASEMENT STORAGE & POWDER ROOM ADDITION.
8. ADD A NEW 246-SQ-FT, SUBTERRANEAN, BASEMENT EXTERIOR STAIR & WINDOW WELL ADDITION.

4 PROJECT DESCRIPTION
SCALE: N.T.S.

OWNER:
HENRY HON VAY
2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030
T: 626.625.5511 | E: hvay@live.com

LANDSCAPE ARCHITECT:
TONY LE-HUYNH
5458 MARSHBURN AVE
ARCADIA, CA 91006
T: 626.215.1655
E: masterplanstudios@gmail.com

DESIGNER:
ATTN: ALISON FUNG
1281 MEADOWBROOK ROAD
ALTA DENA, CA 91001
T: 626.320.2815 | E: alison.fung@aol.com

3 PROJECT CONTACT
SCALE: N.T.S.

ADDRESS: 2031 CRESTLAKE AVE SOUTH PASADENA, CA 91030
 APN: 5319-015-025
 LEGAL DESCRIPTION: TRACT # 16260 LOT 28 | BUILD: 1950
 ZONING: SINGLE FAMILY - RS DEVELOPMENT
 OCCUPANCY: R-3/U
 TYPE OF CONSTRUCTION: V-B, SPRINKLERED
 PARKING DATA: 2 PROV'D = 2 REQ'D

SECTION C: Area Calculation
LOT COVERAGE

Lot Coverage	Existing Floor Area	Proposed Additional	Proposed Total (Existing to remain + new)
1. 1st floor building footprint area, including attached garage	1,691	134	1,825
2. Total footprint area of all attached and detached accessory structures (balconies, porches, decks, etc.)	0	150	150
3. Total square footage (Lines 1+2)	1,691	395	2,370
4. Lot size	6,511	6,511	6,511
5. Total lot coverage (Line 3 / Line 4)	26.0%	10.4%	36.4% < 40.0% MAX

FLOOR AREA RATIO (FAR)

Floor Area Ratio (FAR)	Existing Floor area to remain	Additional Floor area	Proposed Total
1. 1st floor area (excluding garage less than 500 sq. ft.)	1,230	+134	1,364
2. 2nd floor	0	914	914
3. 3rd floor	0	0	0
4. 4th and higher floors (total)	0	0	0
5. Livable basement area	0	0	0
6. Total square footage (Lines 1-5)	1,230	1,048	2,278 < 2,278.85 MAX
7. Lot Size	6,511	6,511	6,511
8. Total FAR (divide Line 6 by Line 7)	18.9%	16.1%	35.0% = 35.0% MAX

SECTION D: Height Calculations

Height (measured from the highest point of existing grade)	# stories	Feet
Existing Development	2	26'-9"
Structure #1		
Structure #2		
Structure #3		
ADD Additional structures as applicable		

Allowable # of Units based on Zoning District: EXISTING 1u < 2u MAX.
 Additional # of Units Requested (SOB): 0

2 PROJECT SUMMARY
SCALE: N.T.S.

1 VICINITY MAP
SCALE: N.T.S.

RUBY CONSULTING PARTNERS, LLC

1281 Meadowbrook Road
Altadena, CA 91001
TEL: 626.320.2815
alison.fung@aol.com

COPYRIGHT © 2019 BY RUBY CONSULTING PARTNERS, LLC ALL RIGHTS RESERVED.

project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
 7/14/22 planning dept
 11/08/22 planning dept 2nd submittal
 4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
1.0a_A-1.0_Site Plan & Notes

page description:
TITLE SHEET, PROJECT SUMMARY, DETAILED PROPOSED SITE PLAN

seal/signature:

sheet no.:
A-1.0

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

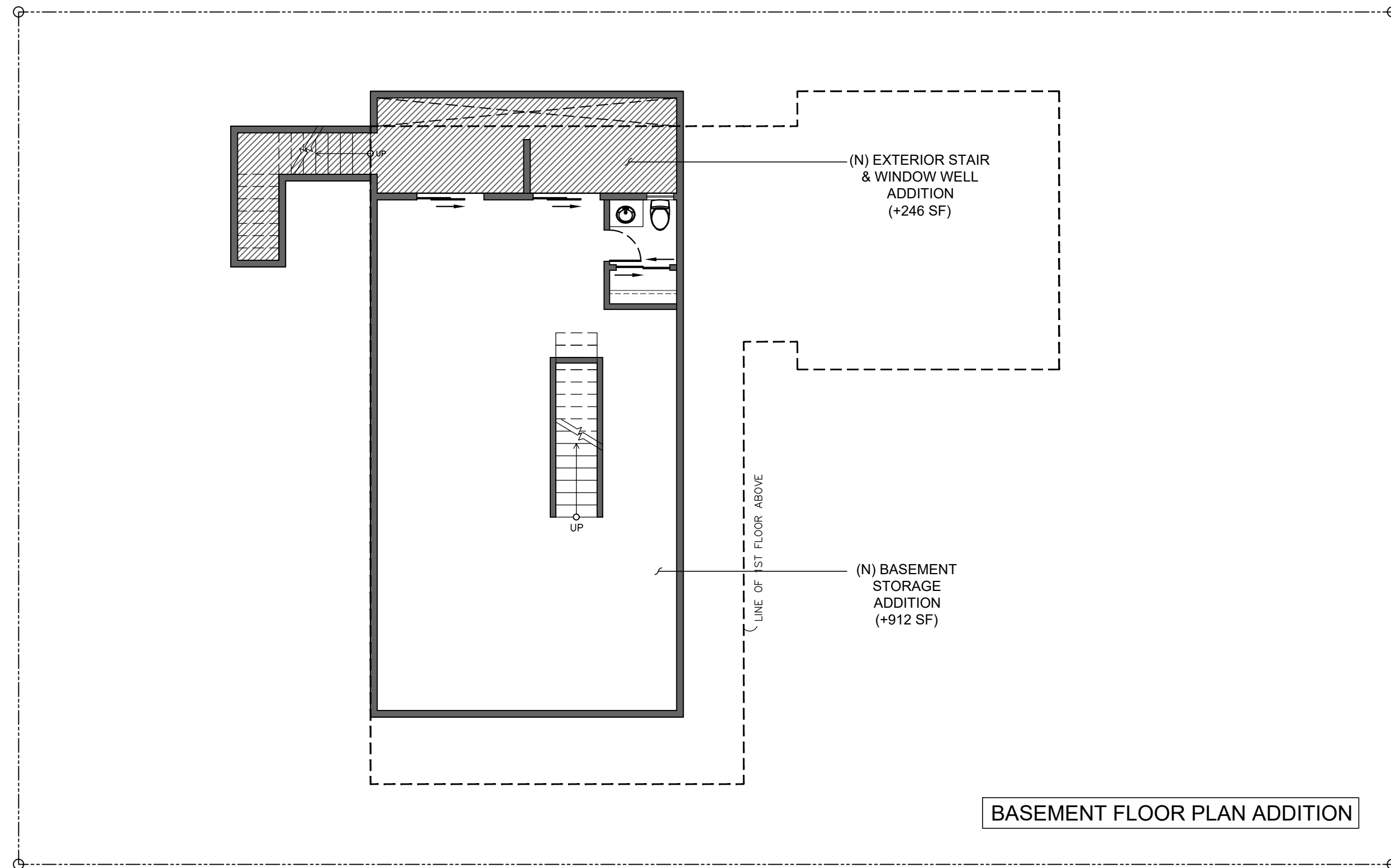
cad file:
1.0a_A-1.0_Site Plan & Notes

page description:
PROPOSED SITE PLAN

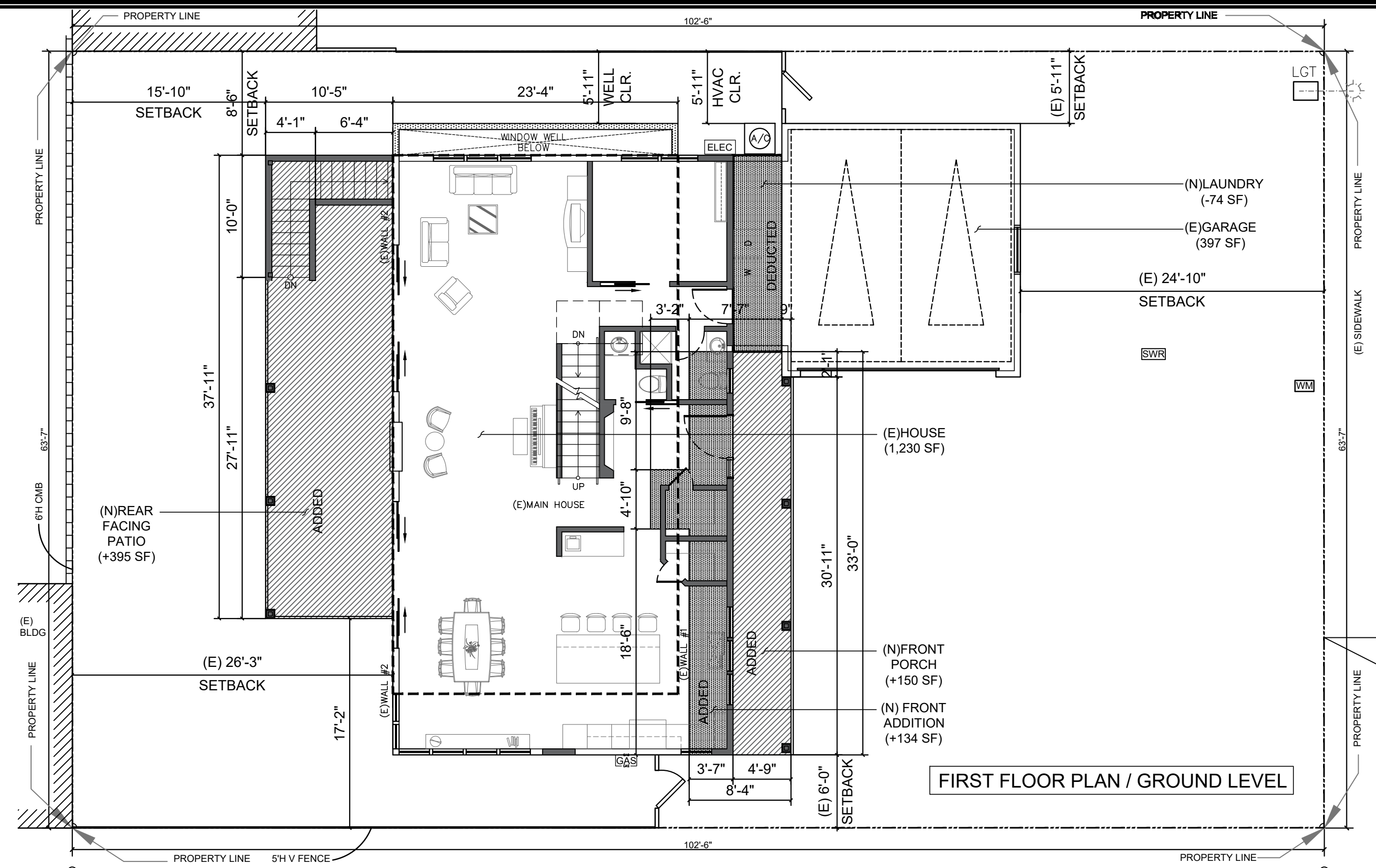
seal/signature:

sheet no.:
A-1.0B

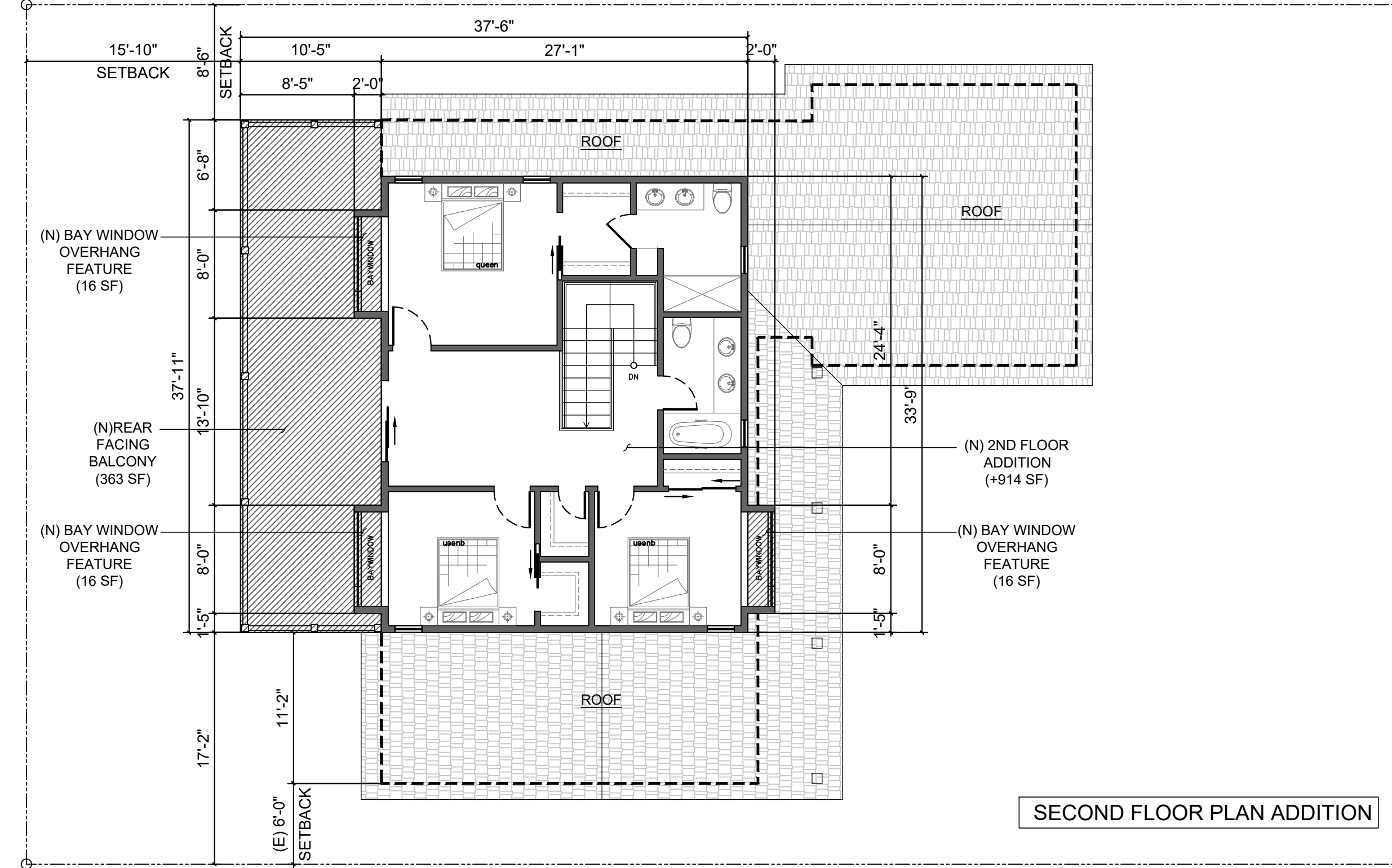
7/12/2023 9:23:10 PM ARCH.D (24.00 x 36.00) inches



BASEMENT FLOOR PLAN ADDITION

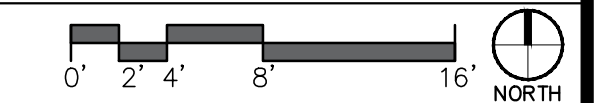


FIRST FLOOR PLAN / GROUND LEVEL



SECOND FLOOR PLAN ADDITION

18 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

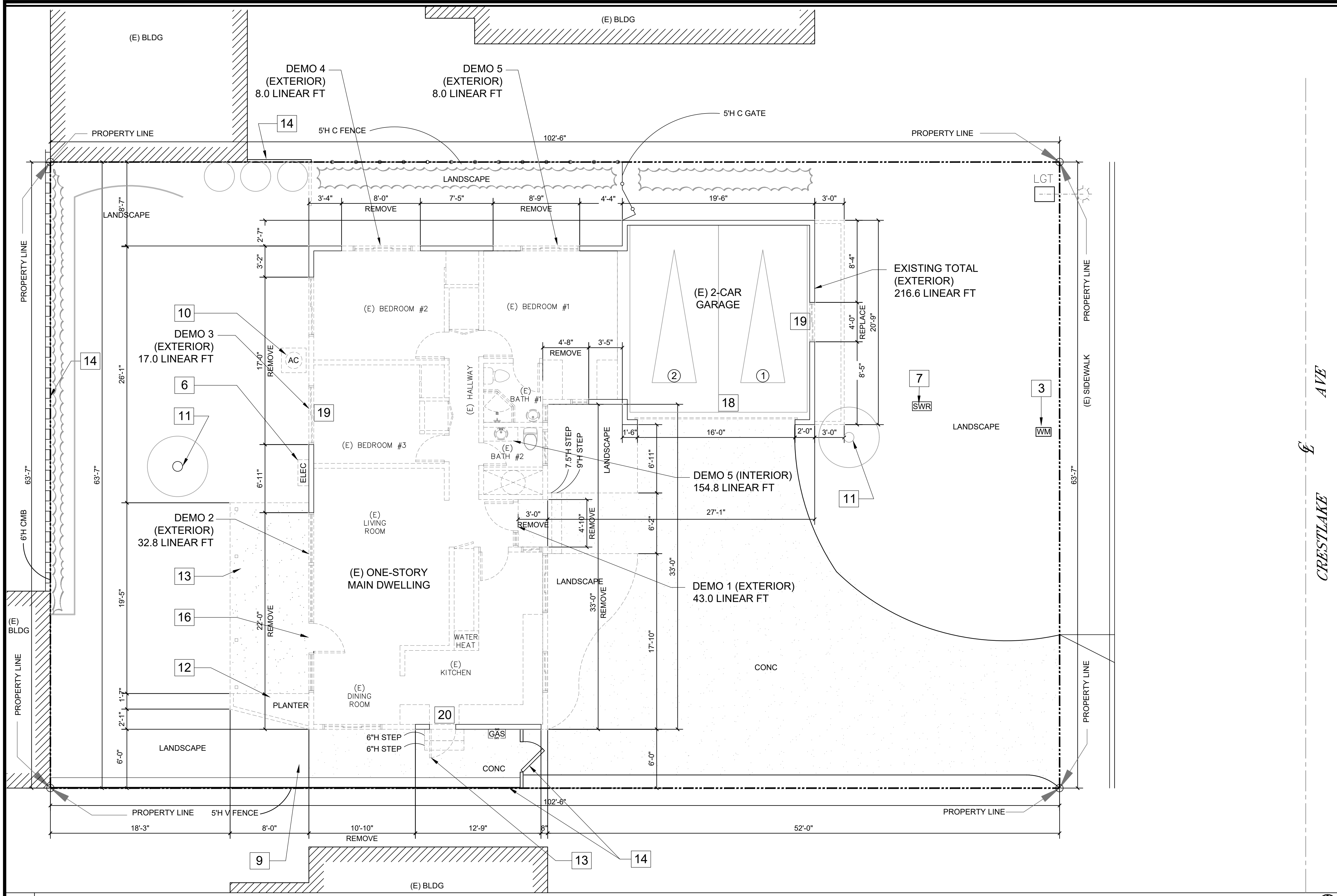


	FLOOR AREA RATIO (FAR):	(E) TO REMAIN	(N) ADD'L AREA	TOTAL (REMAIN+NEW)	LOT COVERAGE (AT SITE/ GRADE LEVEL):	(E) TO REMAIN	(N) PROPOSED	TOTAL (REMAIN+NEW)
1. 1ST FLR AREA (EXCLUDE GARAGE < 500 SF)	(1,304 SF - 74 SF LAUNDRY CONVERSION) = 1,230 SF	1,230 SF	+134 SF	1,364 SF	1. 1ST FLR BLDG FOOTPRINT AREA (W/ ATTACHED GARAGE)	1,691 SF	+134 SF	1,825 SF
2. 2ND FLOOR		0 SF	+914 SF	+914 SF	2. FOOTPRINT AREA OF ALL AREA ATTACHED & DETACHED ACCESSORY STRUCTURES:			
3. 3RD FLOOR		0 SF	0 SF	0 SF	i. FRONT PORCH	0 SF	+150 SF	+150 SF
4. 4TH FLOOR		0 SF	0 SF	0 SF	ii. PATIO	0 SF	+395 SF	+395 SF
5. LIVABLE BASEMENT AREA:		0 SF	0 SF	0 SF	iii. OVERHANG (NON-ROOF EAVE)	0 SF	0 SF	0 SF
6. TOTAL SQ. FT. (LINES 1-5)		1,230 SF	+1,048 SF	2,278 SF < 2,278.85 MAX.	3. TOTAL SQ. FT. (LINES 1 & 2):	1,691 SF	+679 SF	2,370 SF
7. LOT SIZE:		6,511 SF	6,511 SF	6,511 SF	4. LOT SIZE:	6,511 SF	6,511 SF	6,511 SF
8. TOTAL FAR (LINE 6 / 7)		18.9%	16.1%	35.0% = 35.0% MAX	5. TOTAL LOT COVERAGE (LINE 3 / LINE 4)	26.0%	10.4%	36.4% < 40.0% MAX

17 NOT USED
SCALE: 1/8" = 1'-0"

13 FLOOR AREA RATIO (FAR) CALC.
SCALE: N.T.S.

5 LOT COVERAGE CALC.
SCALE: N.T.S.



EXISTING EXTERIOR LENGTH (LINEAR FOOTAGE)	
AS-BUILT:	216.6 LF
EXISTING EXTERIOR WALL DEMOLITION AREA: (LINEAR FOOTAGE)	
DEMO 1:	42.2 LF
DEMO 2:	32.8 LF
DEMO 3:	17.0 LF
DEMO 4:	8.0 LF
DEMO 5:	8.0 LF
TOTAL:	108.0 LF / 216.6 LF = 49.86%
EXISTING INTERIOR LENGTH (LINEAR FOOTAGE)	
AS-BUILT:	154.8 LF
EXISTING INTERIOR WALL DEMOLITION AREA: (LENGTH OF WALL X 5" WALL THICKNESS)	
DEMO 5:	154.8 LF
TOTAL:	154.8 LF / 154.8 LF = 100.00%

4
SCALE: N.T.S.
DEMOLITION CALCULATION

RUBY CONSULTING PARTNERS, LLC
1281 Meadowbrook Road
Altadena, CA 91001
TEL: 626.320.2815
alison.fung@aol.com

COPYRIGHT © 2019 BY RUBY CONSULTING PARTNERS, LLC ALL RIGHTS RESERVED.

project:
VAY RESIDENCE
2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:	
7/14/22	planning dept
11/08/22	planning dept 2nd submittal
4/24/23	planning dept 3rd submittal

18
SCALE: 3/16" = 1'-0"
DEMOLITION PLAN

- | | | |
|--|--|--|
| 1 (E) DRIVEWAY TO REMAIN. | 16 (E) EXT. WALL #2 TO BE PARTIALLY REMOVED. | NEW ADDITION PORCH/PATIO/BALCONY HATCH |
| 2 (E) CONCRETE SIDEWALK TO REMAIN. | 17 NOT USED | (E) WALL TO REMAIN |
| 3 (E) WATER METER TO REMAIN. | 18 (E) GARAGE DOOR TO BE REPLACED. | (E) WALL/ MISC ELEMENTS TO BE REMOVED |
| 4 (E) DRIVEWAY APPROACH TO REMAIN. | 19 (E) WINDOW TO BE REPLACED. | PROPERTY LINE |
| 5 (E) GAS METER TO REMAIN. | 20 (E) DOOR & OPENING TO BE INFILL ENCLOSED. | DIM SETBACK DIMENSION/ SETBACK |
| 6 (E) ELECTRICAL PANEL TO RELOCATE. | 21 NOT USED | (E) TO REMAIN |
| 7 (E) SEWER VALVE TO REMAIN. | 22 NEW 6'-0" HT. VINYL GATE & FENCE | (E) TO BE REMOVED |
| 8 (E) LINE OF STREET CURB. | 23 NEW PAVER. SEE HARDSCAPE PLAN | NEW TREE ADDED |
| 9 (E) CONCRETE TO BE REMOVED. | 24 NEW TREE. SEE LANDSCAPE PLAN | |
| 10 (E) A/C UNIT TO BE REMOVED & REPLACED. | 25 NEW PLANT. SEE LANDSCAPE PLAN. | |
| 11 (E) TREE TO REMAIN IN PLACE. | 26 NEW 5-TON A/C UNIT. | |
| 12 (E) PLANTER TO BE REMOVED. | 27 NEW 200-AMP ELECTRICAL PANEL. | |
| 13 (E) CONCRETE STEPS TO BE REMOVED. | 28 NOT USED | |
| 14 (E) 6'-0" HT. VINYL GATE & FENCE TO REMAIN. | 29 NOT USED | |
| 15 (E) EXT. ENTRY & WALL #1 TO BE REMOVED. | 30 NOT USED | |

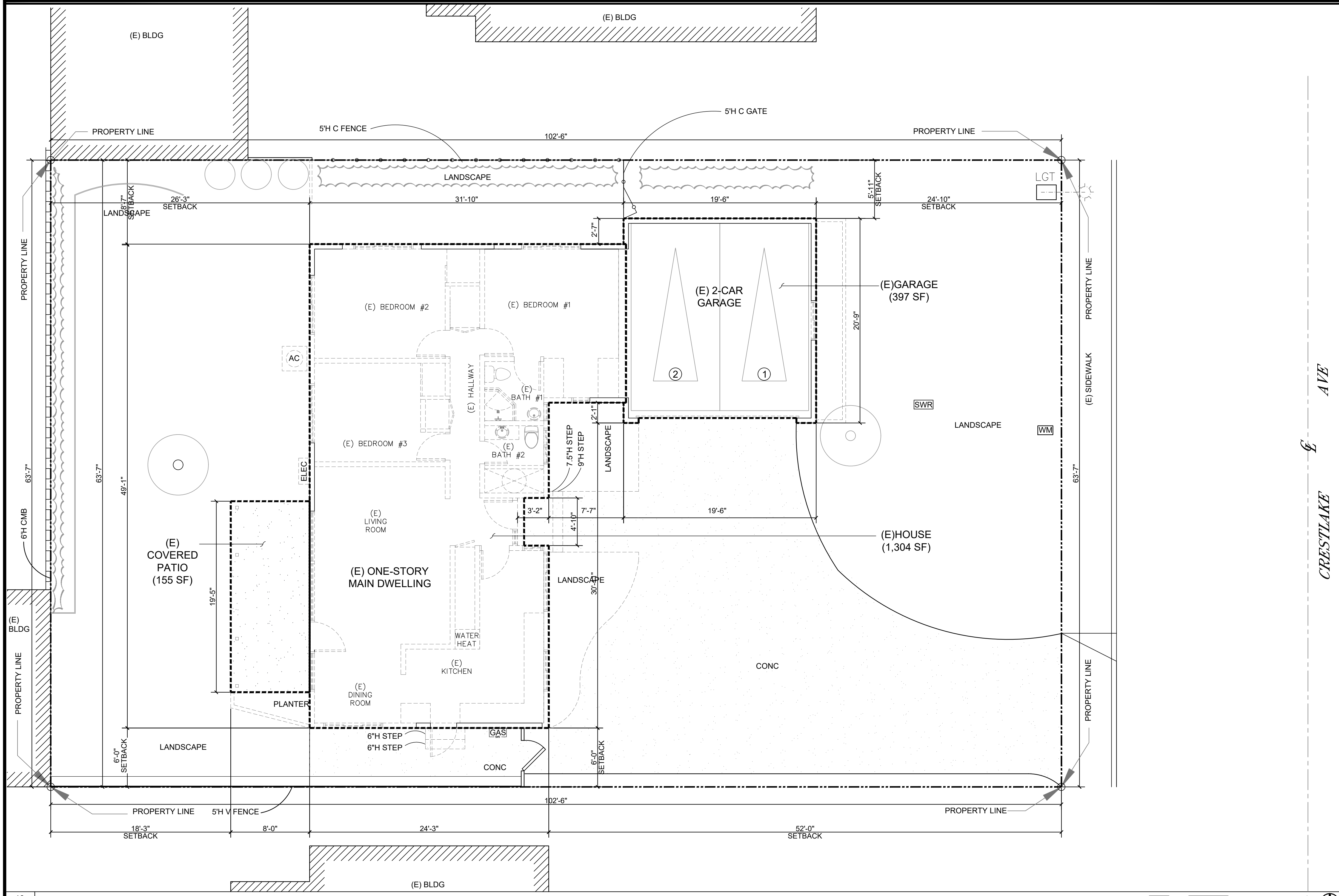
17
SCALE: N.T.S.
SITE PLAN KEY NOTES AND SYMBOLS

9
SCALE: N.T.S.
NOT USED

1
SCALE: N.T.S.
NOT USED

sheet no.:
A-1.1

7/26/2023 7:13:09 PM ARCH.D (24.00 x 36.00 inches)



EXISTING AS-BUILT AREAS (PER LACO ASSESSOR):
 (E) HOUSE: 1,304 SF
 (E) GARAGE: 397 SF
 (E) COVERED PATIO: 155 SF

4
 SCALE: N.T.S.
 EXISTING BUILDING CALCULATION

RUBY CONSULTING PARTNERS, LLC
 1281 Meadowbrook Road
 Altadena, CA 91001
 TEL: 626 320 2815
 alison.fung@aol.com

COPYRIGHT © 2019 BY RUBY CONSULTING PARTNERS, LLC ALL RIGHTS RESERVED.

project:
 VAY RESIDENCE
 2031 CRESTLAKE AVE
 SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

18
 SCALE: N.T.S.
 EXISTING SITE PLAN



scale:
 SEE PLAN
 job number:
 220427
 cad file:
 1.0a_A-1.1_Site Plan & Notes
 page description:
 EXISTING SITE PLAN
 seal/signature:

17
 SCALE: N.T.S.
 NOT USED

1
 SCALE: N.T.S.
 NOT USED

sheet no.:
 A-1.1B

7/12/2023 4:02:35 PM ARCH.D (24.00 x 36.00) inches

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

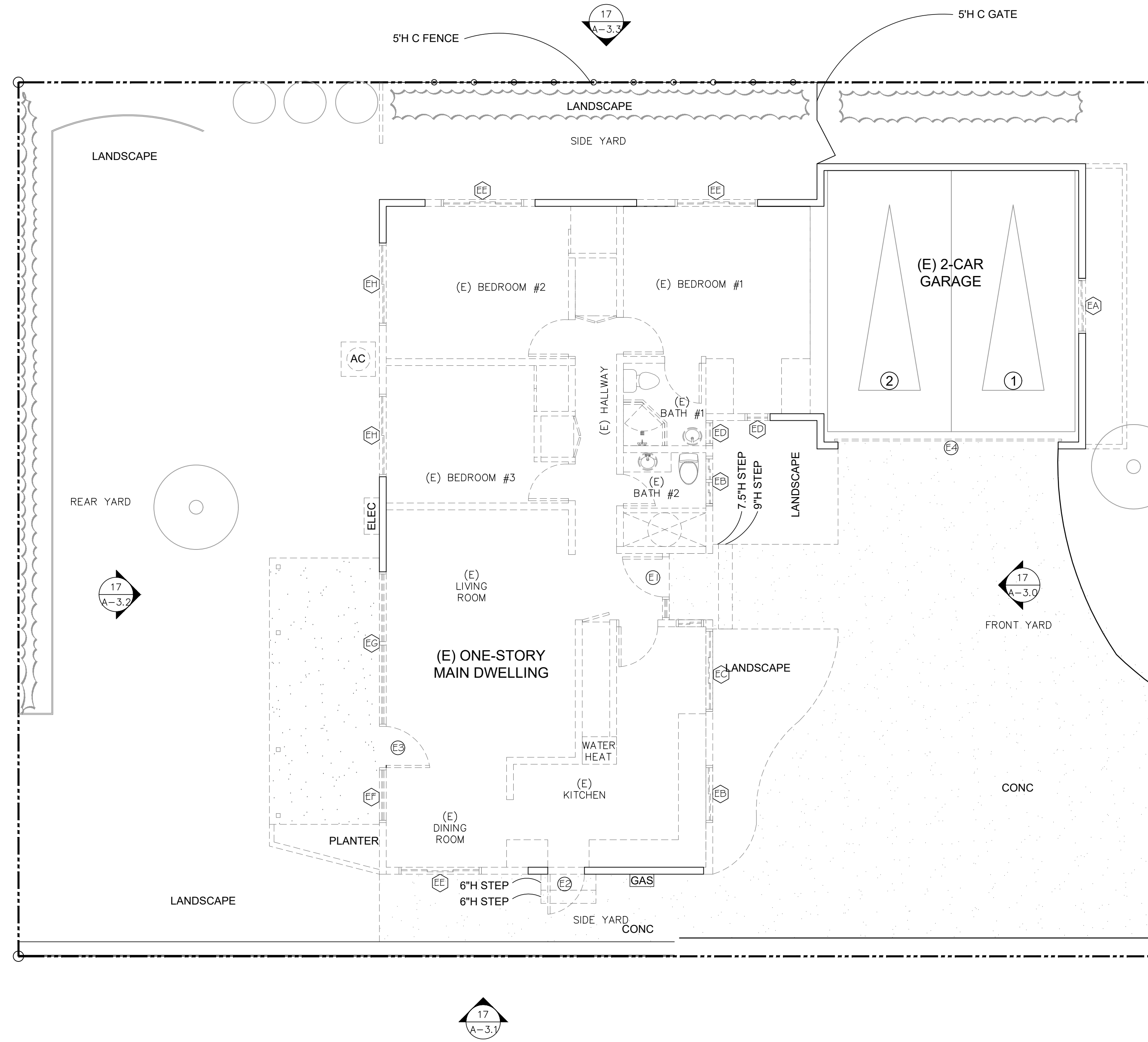
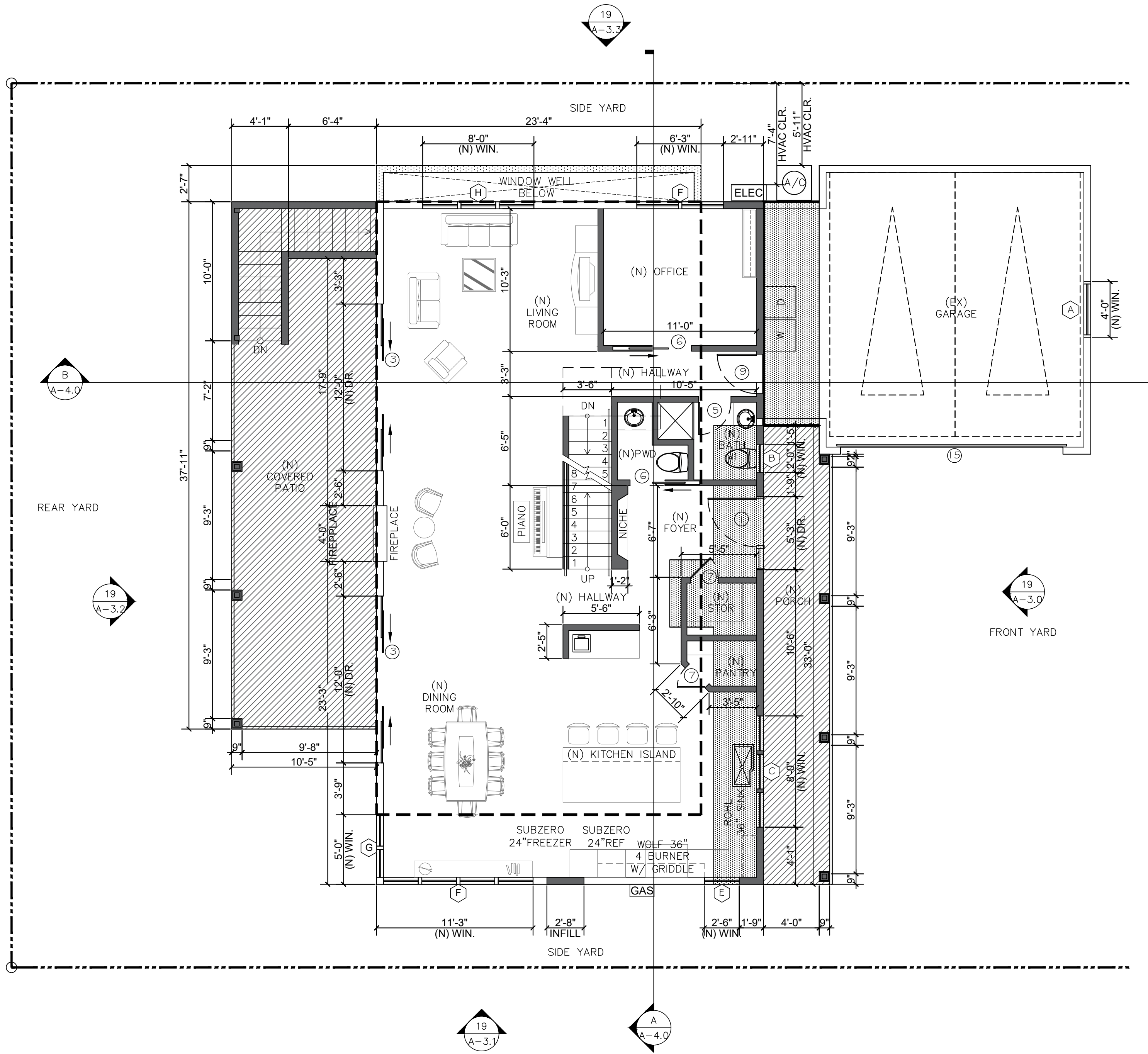
cad file:
2.0_Floor Plans

page description:
PROPOSED FIRST FLOOR PLAN/
EXISTING GROUND FLOOR PLAN

seal/signature:

sheet no.:

A-2.1



18 PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

6 EXISTING GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

	NEW ADDITION LIVING AREA HATCH		REFER TO DOOR SCHEDULE
	NEW ADDITION PORCH/ PATIO/ BALCONY HATCH		REFER TO WINDOW SCHEDULE
	(E) WALL TO REMAIN		SECTION/ DETAIL CALL-OUTS
	(E) WALL/ MISC ELEMENTS TO BE REMOVED		BLDG ELEVATION CALL-OUT
	NEW WALL ADDED		KEYNOTE TAG
	PROPERTY LINE		
	ABOVE/ BELOW		
	DIM. SETBACK		
	DIMENSION/ SETBACK		

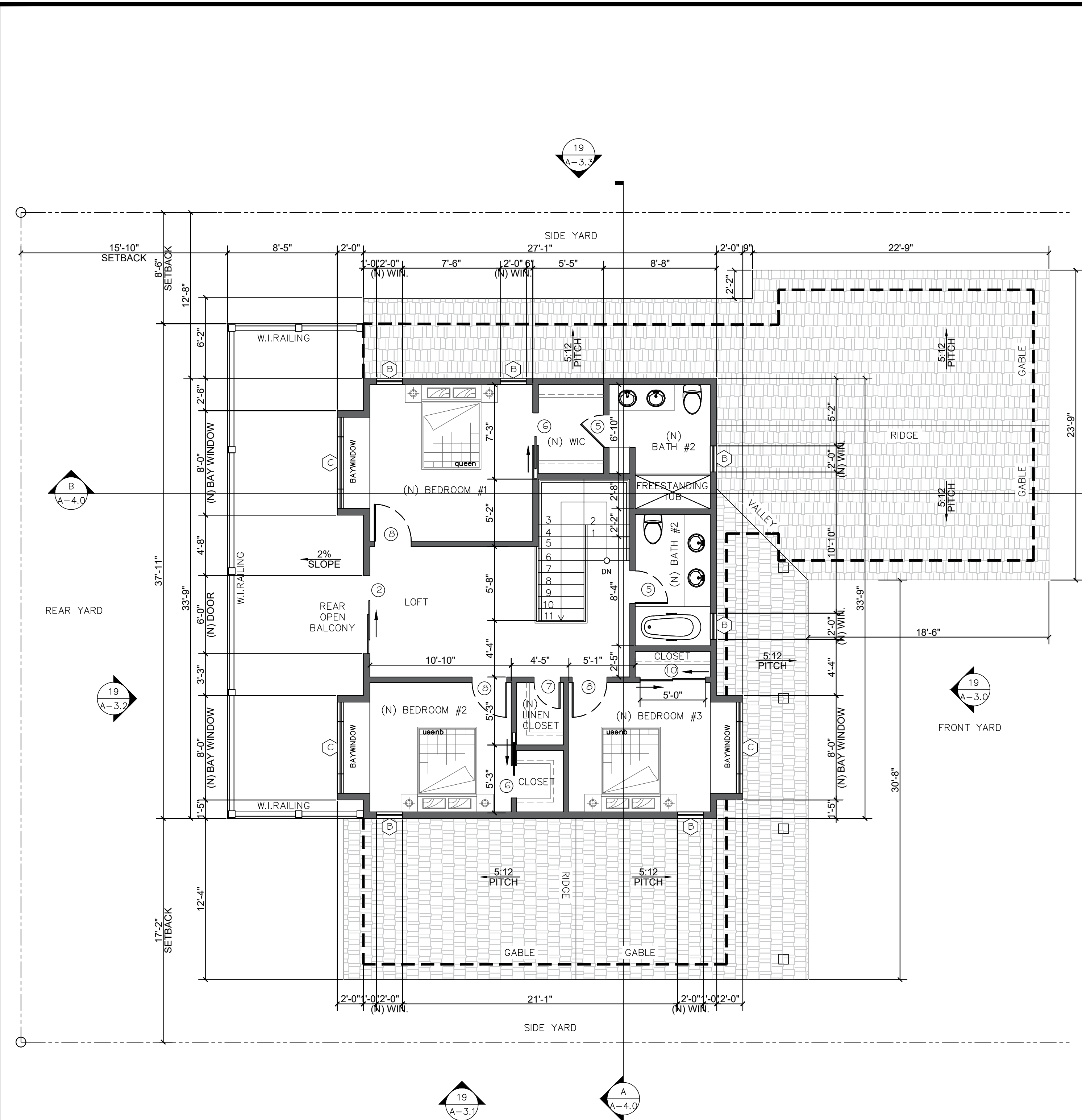
1 SYMBOLS

17 NOT USED

SCALE: N.T.S.

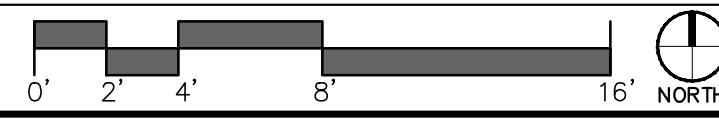
7/12/2023 4:03:01 PM ARCH.D (24.00 x 36.00) inches

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal



18 PROPOSED SECOND FLOOR PLAN / LOWER ROOF PLAN

SCALE: 3/16" = 1'-0"



6 NOT USED

SCALE: 3/16" = 1'-0"



	NEW ADDITION LIVING AREA HATCH		REFER TO DOOR SCHEDULE
	NEW ADDITION PORCH/ PATIO/ BALCONY HATCH		REFER TO WINDOW SCHEDULE
	(E) WALL TO REMAIN		SECTION/ DETAIL CALL-OUTS
	(E) WALL/ MISC ELEMENTS TO BE REMOVED		BLDG ELEVATION CALL-OUT
	NEW WALL ADDED		KEYNOTE TAG
	PROPERTY LINE		
	ABOVE/ BELOW		
	DIM. SETBACK		
	DIMENSION/ SETBACK		

17 NOT USED

SCALE: N.T.S.

1 SYMBOLS

SCALE: N.T.S.

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

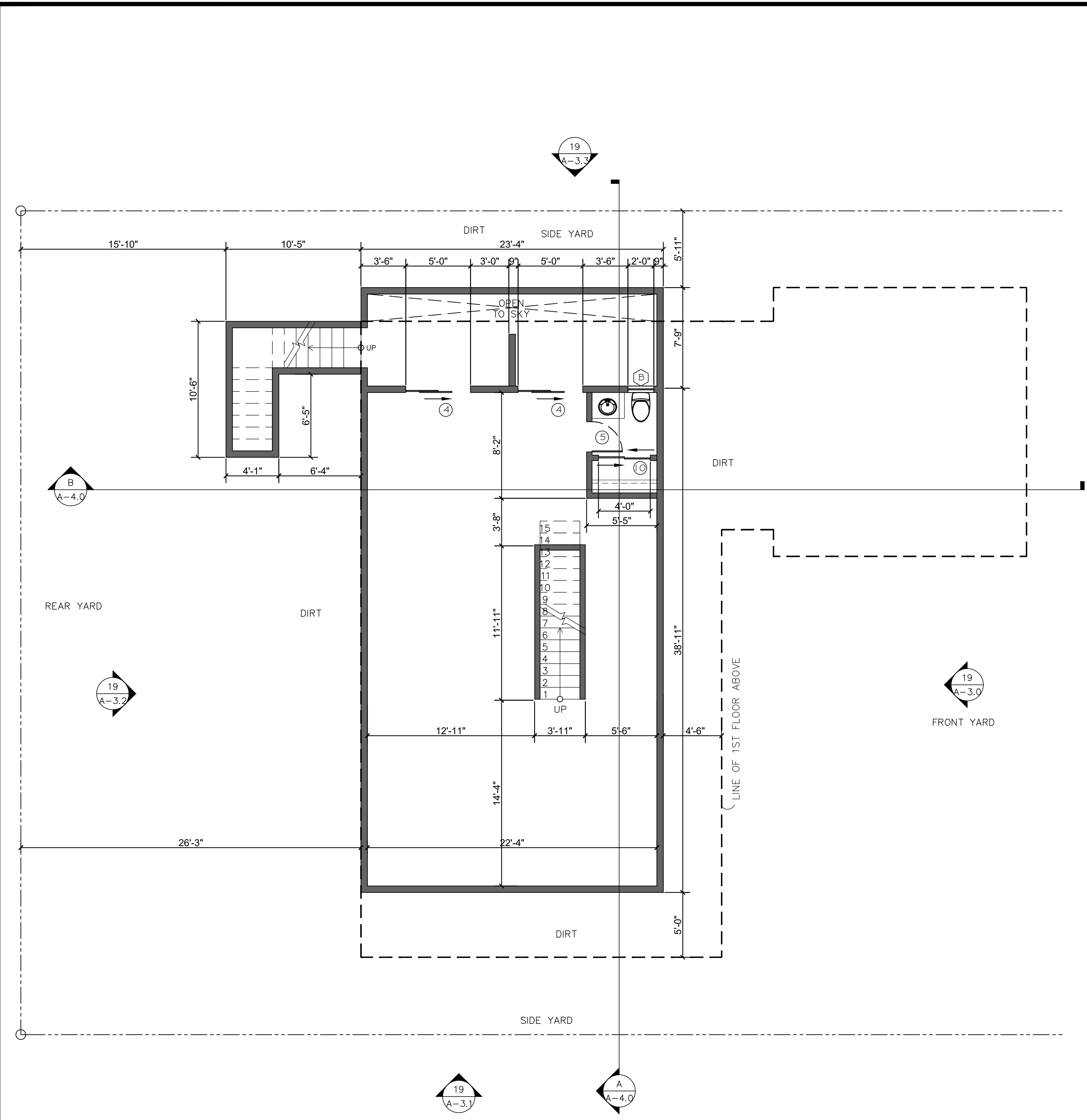
cad file:
2_0_Floor Plans

page description:
PROPOSED
BASEMENT PLAN

seal/signature:

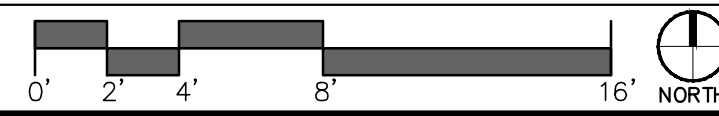
sheet no.:

A-2.3



18 PROPOSED BASEMENT PLAN

SCALE: 3/16" = 1'-0"



6 NOT USED

SCALE: 3/16" = 1'-0"



	NEW ADDITION LIVING AREA HATCH		REFER TO DOOR SCHEDULE
	NEW ADDITION PORCH/ PATIO/ BALCONY HATCH		REFER TO WINDOW SCHEDULE
	(E) WALL TO REMAIN		SECTION/ DETAIL CALL-OUTS
	(E) WALL/ MISC ELEMENTS TO BE REMOVED		BLDG ELEVATION CALL-OUT
	NEW WALL ADDED		KEYNOTE TAG
	PROPERTY LINE		
	ABOVE/ BELOW		
	DIM. SETBACK		
	DIMENSION/ SETBACK		

17 NOT USED

SCALE: N.T.S.

1 SYMBOLS

SCALE: N.T.S.

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
2.0_Floor Plans

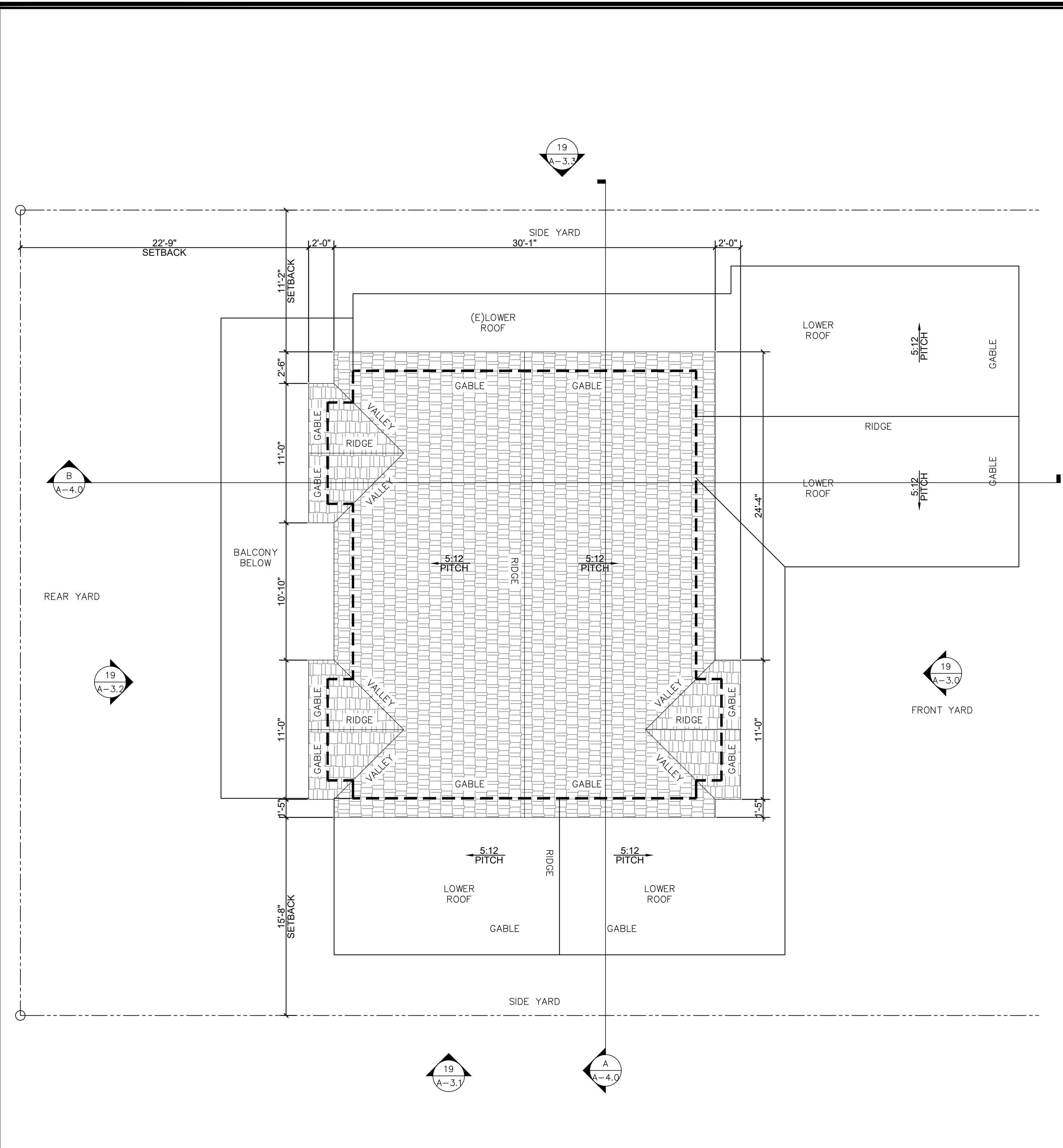
page description:
PROPOSED & EXISTING
ROOF PLAN

seal/signature:

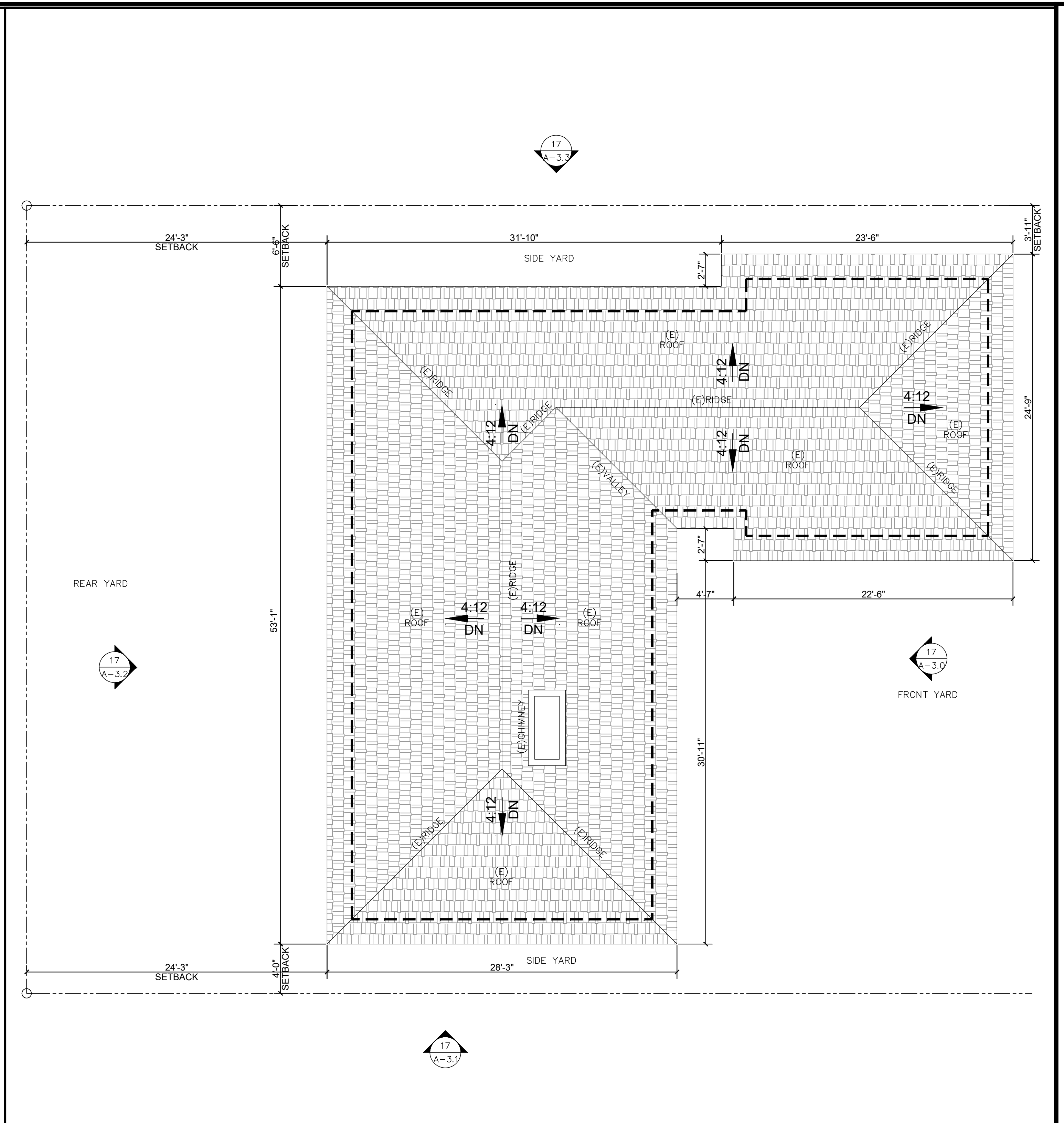
sheet no.:

A-2.4

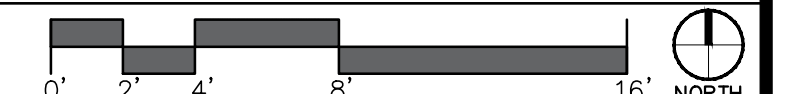
7/12/2023 4:03:39 PM ARCH.D (24.00 x 36.00) inches



18
SCALE: 3/16" = 1'-0"
PROPOSED ROOF PLAN



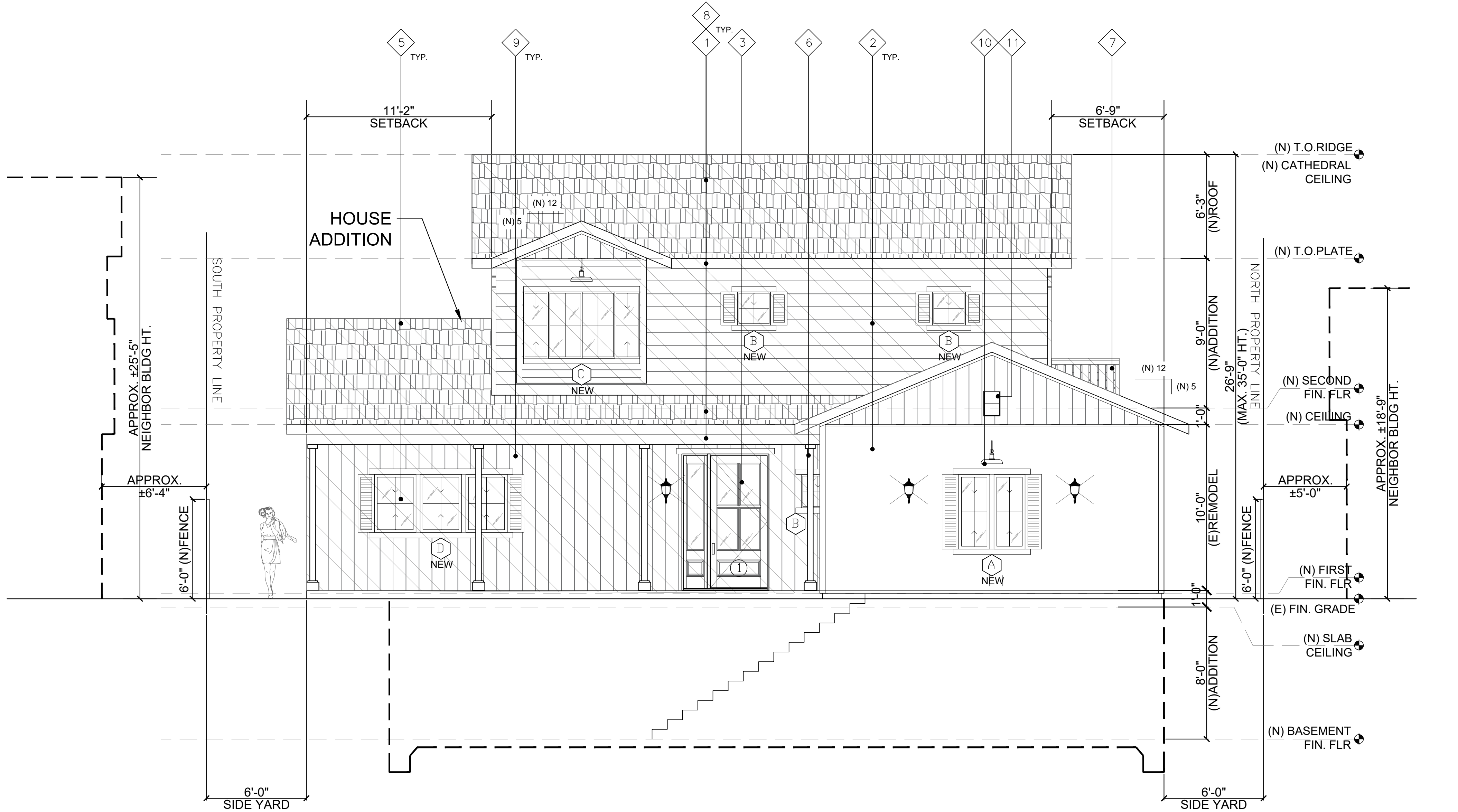
6
SCALE: 3/16" = 1'-0"
EXISTING ROOF PLAN



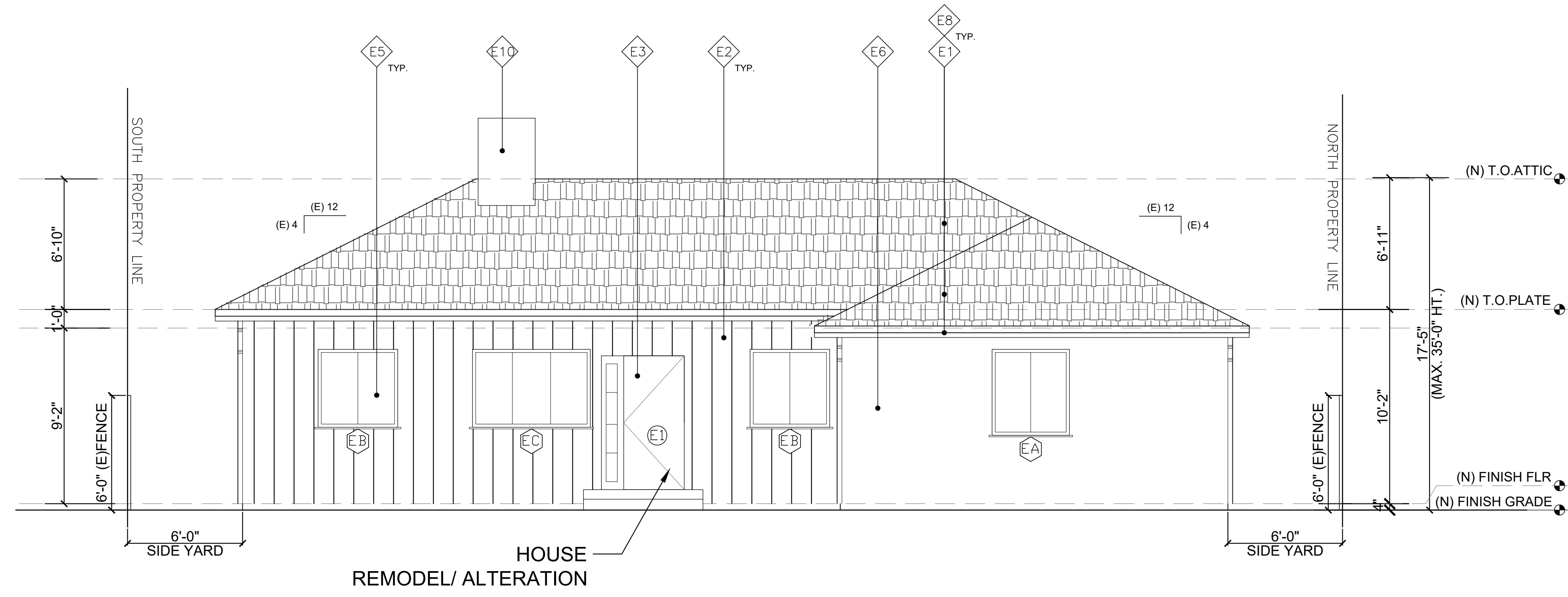
17
SCALE: N.T.S.
NOT USED

SYM #	MATERIAL	FINISH		
		COLOR	MANUFACTURE	
1	ROOF SHINGLES	ULTRA HIGH DEFINITION UHZ	CHARCOAL	GAF TIMBERLINE OR APPROVED EQ.
2	HARDIEPLANK LAP SIDING	BEADED CEDARMILL	DE7648 WHITE PICKET FENCE	JAMES HARDIE OR APPROVED EQ.
3	CUSTOM ENTRY DOOR	MODERN FARMHOUSE ENTRY DOORS	DEB001 GUNMETAL BRONZE	TRUSTILE OR APPROVED EQ.
4	EXTERIOR DOOR	SCENIC DOOR ULTIMATE SLIDING SCREEN & AUTOMATION	DEB001 GUNMETAL BRONZE	MARVIN OR APPROVED EQ.
5	EXTERIOR WINDOW	WOOD, BRIGHT VIEW & SASH	MAHOGANY	MARVIN OR APPROVED EQ.
6	BALCONY POST	WOOD POST	DE7648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
7	RAILING	W.I. RAILING	DE7648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
8	TRIM FACIA/ GUTTER/ DOWNSPOUT	WOOD FACIA/ METAL GUTTER	DE7648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
9	ARCHL FEATURE	BAY WINDOW	-	-
10	OUTDOOR LANTERN	--	--	OR APPROVED EQ.
11	GABLE VENT	LOUVERED W/ DIVIDED TRIM	DE7648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.

SYM #	MATERIAL	FINISH		
		COLOR	MANUFACTURE	
E1	ROOF SHINGLES	LAMINATE SHINGLES	ESTATE AMBER	EXISTING
E2	LAP SIDING	WOOD SIDING PATTERN	FARMHOUSE RED	EXISTING
E3	ENTRY DOOR	SOLID WOOD DOOR W/ SIDELITE	WHITE	EXISTING
E4	EXTERIOR DOOR	W/ GLAZING OR SCREENED	WHITE	EXISTING
E5	EXTERIOR WINDOW	DUAL GLAZING	WHITE	EXISTING
E6	STUCCO	CEMENT PLASTER	TAN	EXISTING
E7				
E8	TRIM FACIA	WOOD	WHITE	EXISTING
E9				
E10	FIREPLACE	BRICK	BRICK	EXISTING
E11				

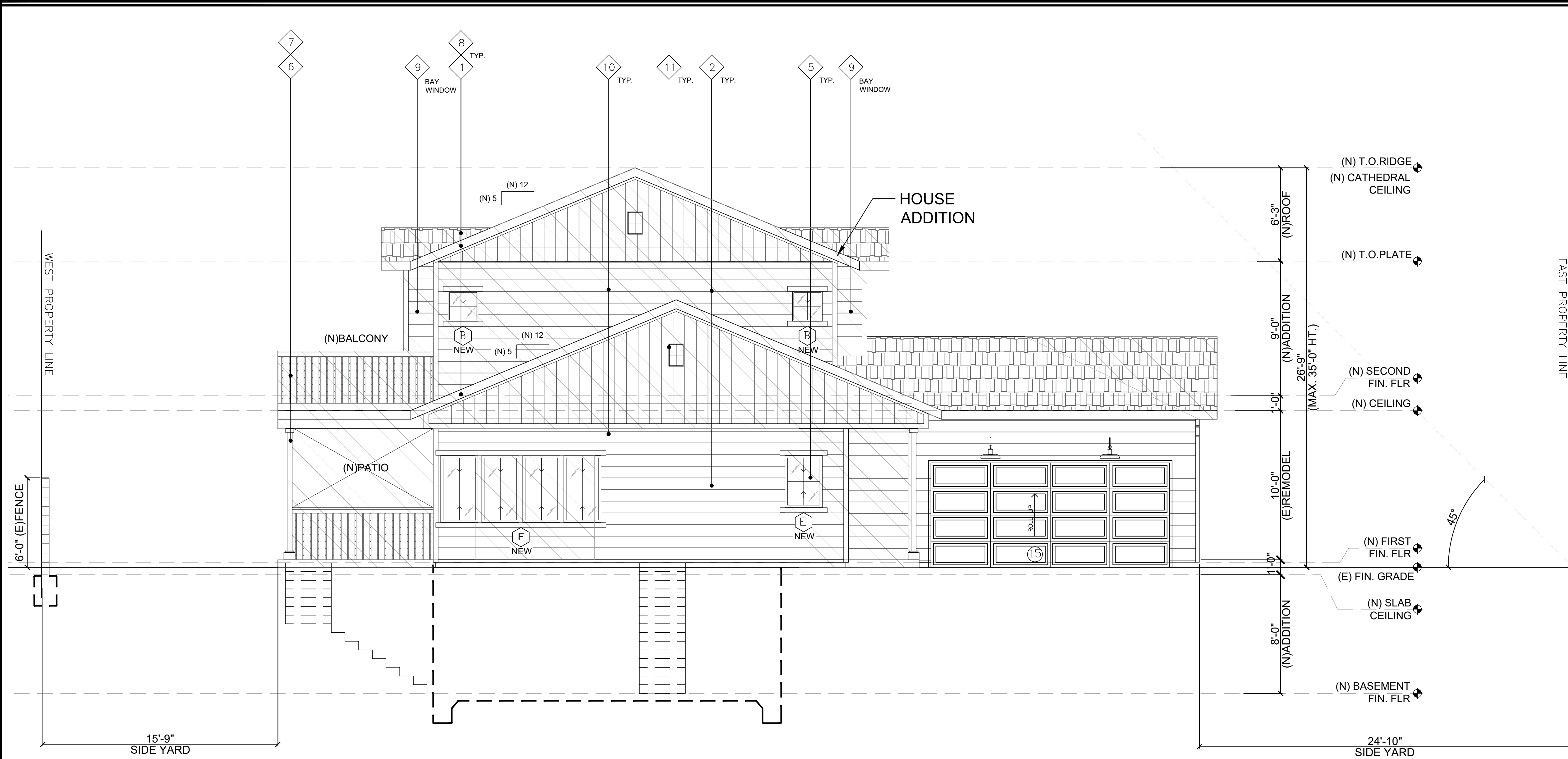


19 PROPOSED EAST ELEVATION @ CRESTLAKE AVE
SCALE: 1/4" = 1'-0"



17 EXISTING EAST ELEVATION @ CRESTLAKE AVE
SCALE: 1/4" = 1'-0"

1 EXISTING EXT. FINISH SCHEDULE
SCALE: N.T.S.



19 PROPOSED SOUTH ELEVATION @ SIDE YARD
SCALE: 1/4" = 1'-0"

SYM #	MATERIAL	FINISH		
		COLOR	MANUFACTURE	
1	ROOF SHINGLES	ULTRA HIGH DEFINITION UHDX	CHARCOAL	GAF TIMBERLINE OR APPROVED EQ.
2	HARDIE PLANK LAP SIDING	BEADED CEDARMILL	DET648 WHITE PICKET FENCE	JAMES HARDIE OR APPROVED EQ.
3	CUSTOM ENTRY DOOR	MODERN FARMHOUSE ENTRY DOORS	DEB001 GUNMETAL BRONZE	TRUSTILE OR APPROVED EQ.
4	EXTERIOR DOOR	SCENIC DOOR ULTIMATE SLIDING SCREEN & AUTOMATION	DEB001 GUNMETAL BRONZE	MARVIN OR APPROVED EQ.
5	EXTERIOR WINDOW	WOOD, BRIGHT VIEW & SASH	MAHOGANY	MARVIN OR APPROVED EQ.
6	BALCONY POST	WOOD POST	DET648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
7	RAILING	W.I. RAILING	DET648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
8	TRIM FACIA/ GUTTER/ DOWNSPOUT	WOOD FACIA/ METAL GUTTER	DET648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
9	ARCH'L FEATURE	BAY WINDOW	--	--
10	OUTDOOR LANTERN	--	--	OR APPROVED EQ.
11	GABLE VENT	LOUVERED W/ DIVIDED TRIM	DET648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.

RUBY CONSULTING PARTNERS, LLC

1281 Meadowbrook Road
Altadena, CA 91001
TEL: 626.320.2815
alison.fung@aol.com

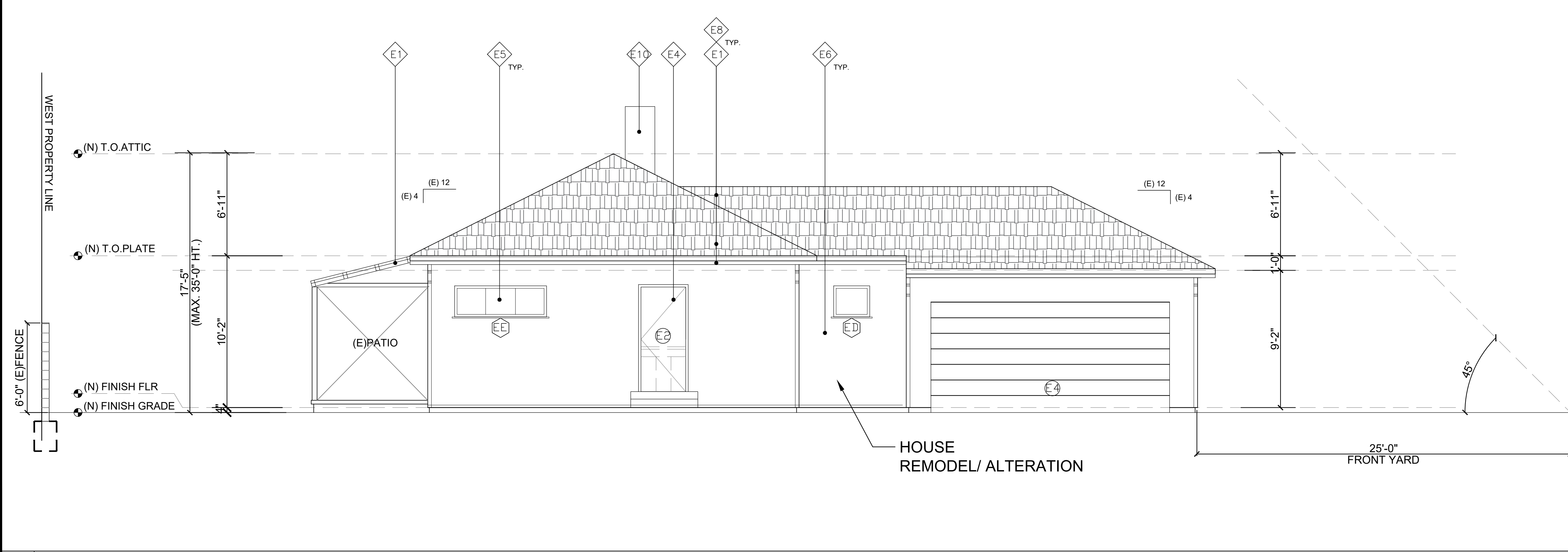
COPYRIGHT © 2019 BY RUBY CONSULTING PARTNERS, LLC ALL RIGHTS RESERVED.

project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal



17 EXISTING SOUTH ELEVATION @ SIDE YARD
SCALE: 1/4" = 1'-0"

3 EXTERIOR FINISH SCHEDULE
SCALE: N.T.S.

SYM #	MATERIAL	FINISH		
		COLOR	MANUFACTURE	
E1	ROOF SHINGLES	LAMINATE SHINGLES	ESTATE AMBER	EXISTING
E2	LAP SIDING	WOOD SIDING PATTERN	FARMHOUSE RED	EXISTING
E3	ENTRY DOOR	SOLID WOOD DOOR W/ SIDELITE	WHITE	EXISTING
E4	EXTERIOR DOOR	W/ GLAZING OR SCREENED	WHITE	EXISTING
E5	EXTERIOR WINDOW	DUAL GLAZING	WHITE	EXISTING
E6	STUCCO	CEMENT PLASTER	TAN	EXISTING
E7				
E8	TRIM FACIA	WOOD	WHITE	EXISTING
E9				
E10	FIREPLACE	BRICK	BRICK	EXISTING
E11				

scale:
SEE PLAN

job number:
220427

cad file:
3.0a_A-3.0_BLDG ELEVATION

page description:
PROPOSED & EXISTING SOUTH ELEVATIONS

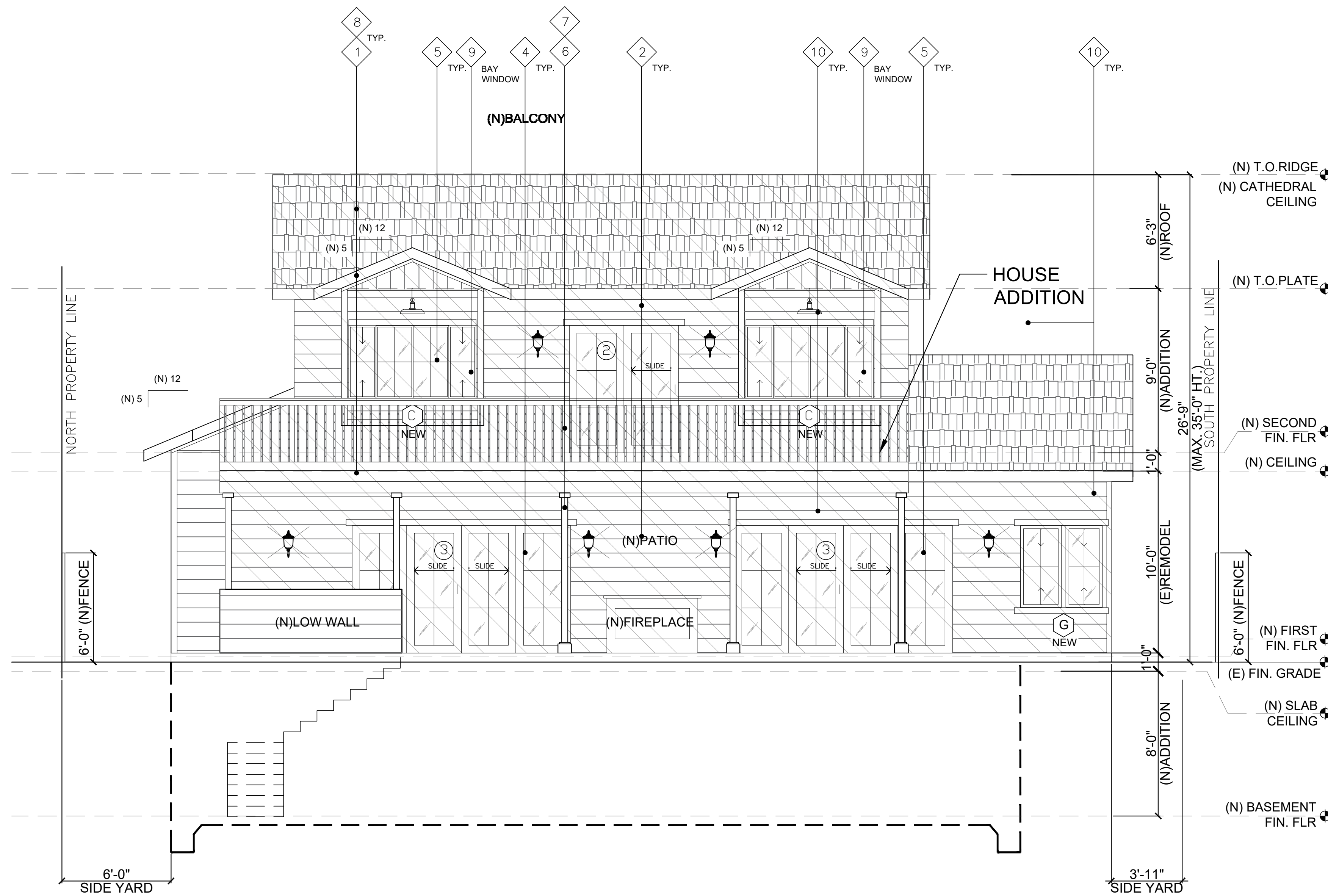
seal/signature:

sheet no.:

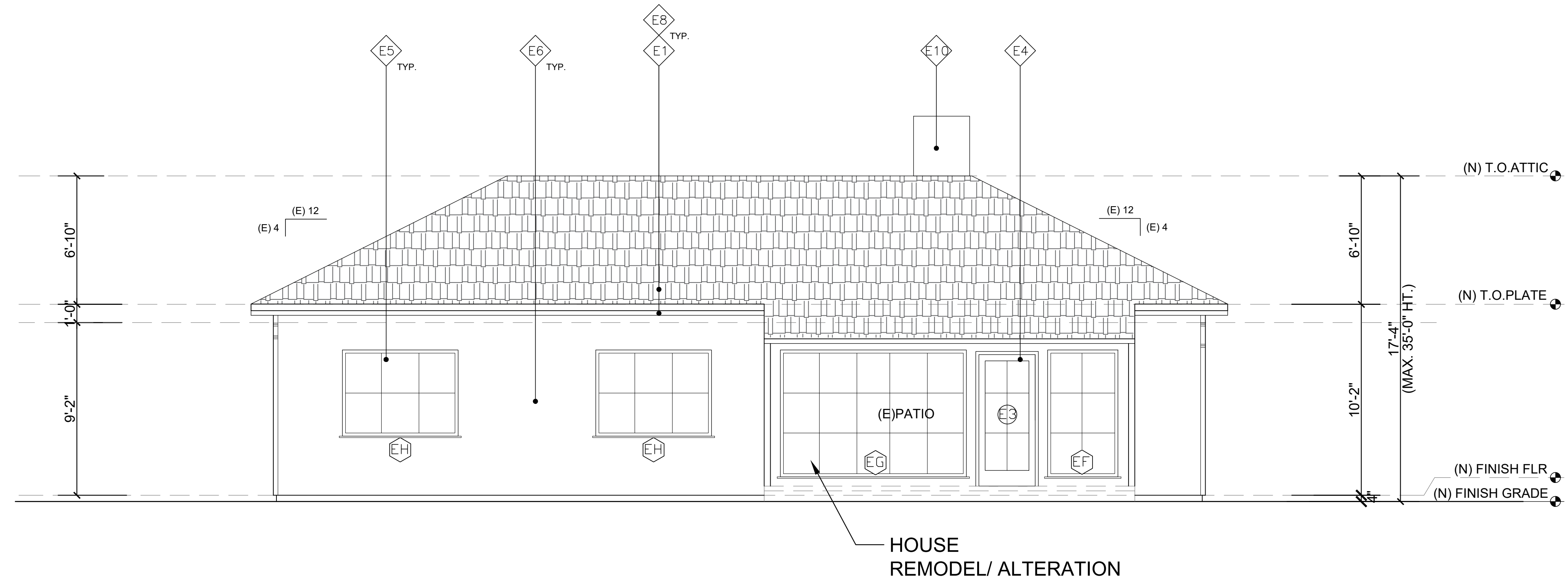
1 NOT USED
SCALE: N.T.S.

A-3.1

7/12/2023 4:03:51 PM ARCH.D (24.00 x 36.00) inches



19
SCALE: 1/4" = 1'-0"
PROPOSED WEST ELEVATION @ REAR YARD



17
SCALE: 1/4" = 1'-0"
EXISTING WEST ELEVATION @ REAR YARD

SYM #	MATERIAL DESCRIPTION	FINISH	
		COLOR	MANUFACTURE
1	ROOF SHINGLES	CHARCOAL	GAF TIMBERLINE OR APPROVED EQ.
2	HARDIE PLANK LAP SIDING	DE7648 WHITE CEDARMILL	JAMES HARDIE OR APPROVED EQ.
3	CUSTOM ENTRY DOOR	DE8001 GUNMETAL BRONZE	TRUSTILE OR APPROVED EQ.
4	EXTERIOR DOOR	DE8001 GUNMETAL BRONZE	MARVIN OR APPROVED EQ.
5	EXTERIOR WINDOW	WOOD, BRIGHT VIEW & SASH	MAHOGANY MARVIN OR APPROVED EQ.
6	BALCONY POST	WOOD POST	DE7648 WHITE PICKET FENCE DUNN-EDWARDS OR APPROVED EQ.
7	RAILING	W.I. RAILING	DE7648 WHITE PICKET FENCE DUNN-EDWARDS OR APPROVED EQ.
8	TRIM FACIA/GUTTER/DOWNSPOUT	WOOD FACIA/METAL GUTTER	DE7648 WHITE PICKET FENCE DUNN-EDWARDS OR APPROVED EQ.
9	ARCHL FEATURE	BAY WINDOW	--
10	OUTDOOR LANTERN	--	-- OR APPROVED EQ.
11	GABLE VENT	LOUVERED W/ DIVIDED TRIM	DE7648 WHITE PICKET FENCE DUNN-EDWARDS OR APPROVED EQ.

3
SCALE: N.T.S.

EXTERIOR FINISH SCHEDULE

SYM #	MATERIAL DESCRIPTION	FINISH	
		COLOR	MANUFACTURE
E1	ROOF SHINGLES	LAMINATE SHINGLES	ESTATE AMBER EXISTING
E2	LAP SIDING	WOOD SIDING PATTERN	FARMHOUSE RED EXISTING
E3	ENTRY DOOR	SOLID WOOD DOOR W/ SIDELITE	WHITE EXISTING
E4	EXTERIOR DOOR	W/ GLAZING OR SCREENED	WHITE EXISTING
E5	EXTERIOR WINDOW	DUAL GLAZING	WHITE EXISTING
E6	STUCCO	CEMENT PLASTER	TAN EXISTING
E7			
E8	TRIM FACIA	WOOD	WHITE EXISTING
E9			
E10	FIREPLACE	BRICK	BRICK EXISTING
E11			

1
SCALE: N.T.S.

NOT USED

RUBY CONSULTING PARTNERS, LLC

1281 Meadowbrook Road
Altadena, CA 91001
TEL: 626 329 2815
alison.fung@aol.com

COPYRIGHT © 2019 BY
RUBY CONSULTING PARTNERS, LLC
ALL RIGHTS RESERVED.

project:
VAY RESIDENCE

2031 CRESTLAKE AVE
SOUTH PASADENA, CA 91030

HOUSE ADDITION

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
3.0a_A-3.0_BLDG ELEVATION

page description:
PROPOSED & EXISTING
WEST ELEVATIONS

seal/signature:

sheet no.:
A-3.2

7/12/2023 4:03:55 PM ARCH.D (24.00 x 36.00) inches

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
3.0a_A-3.0_BLDG ELEVATION

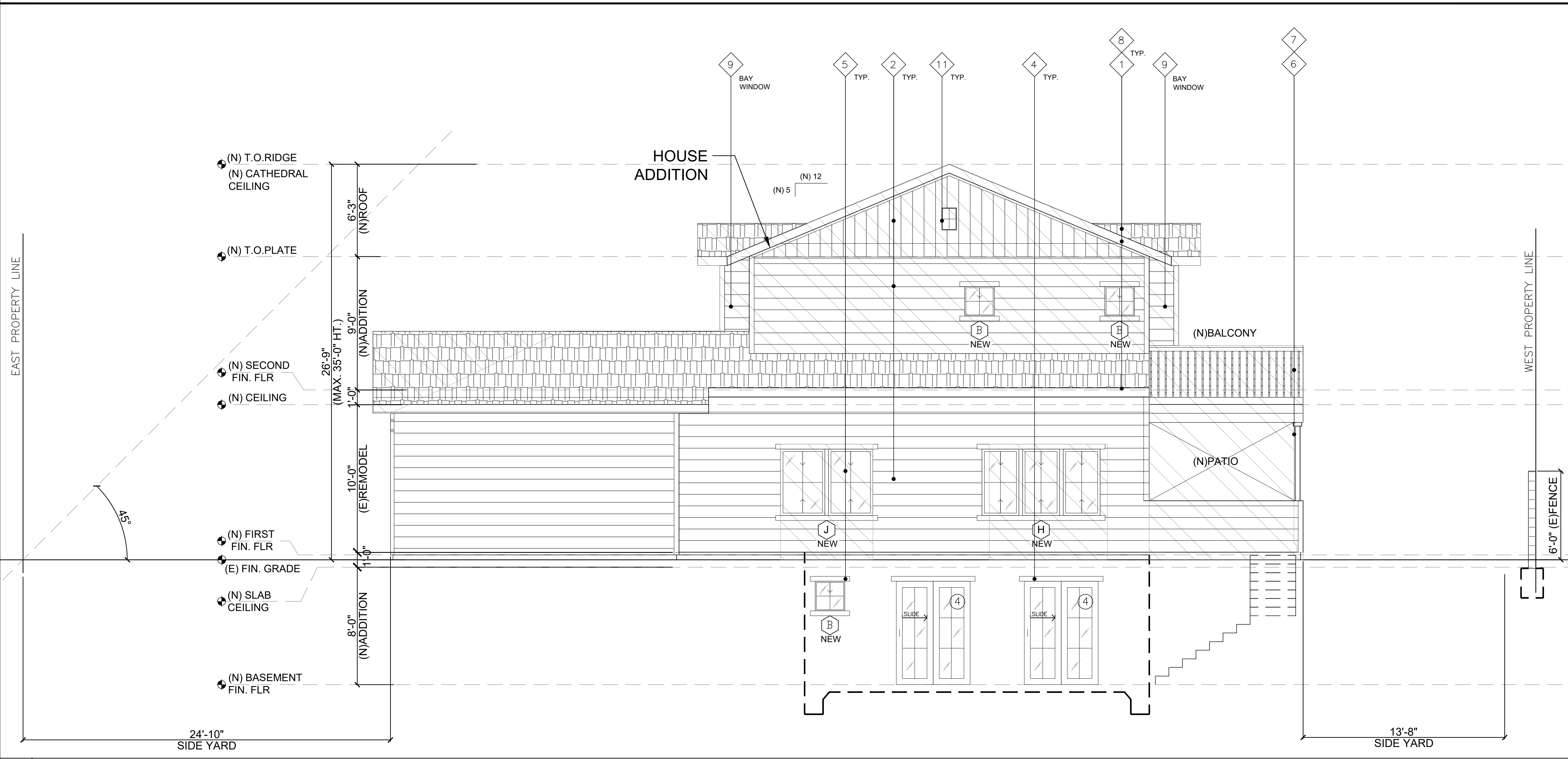
page description:
PROPOSED & EXISTING
NORTH ELEVATIONS

seal/signature:

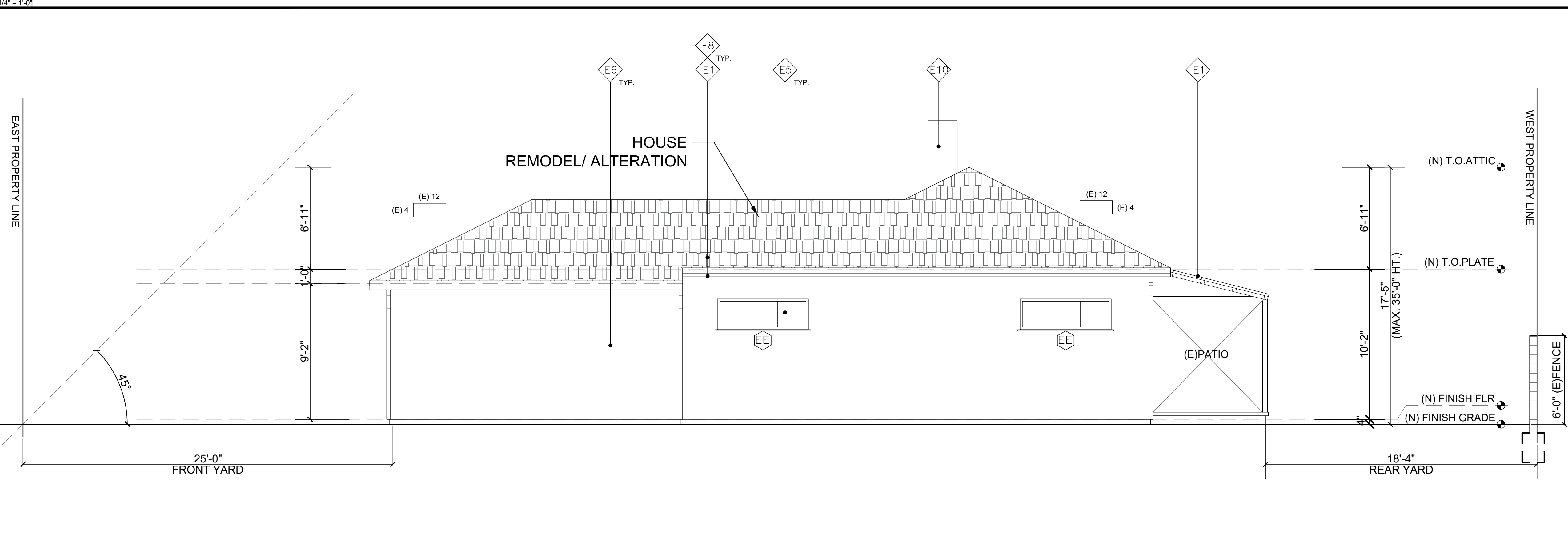
SYM #	MATERIAL DESCRIPTION	FINISH	
		COLOR	MANUFACTURE
1	ROOF SHINGLES	CHARCOAL	GAF TIMBERLINE OR APPROVED EQ.
2	HARDIEPLANK LAP SIDING	DET648 WHITE PICKET FENCE	JAMES HARDIE OR APPROVED EQ.
3	CUSTOM ENTRY DOOR	DEB001 GUNMETAL BRONZE	TRUSTILE OR APPROVED EQ.
4	EXTERIOR DOOR	DEB001 GUNMETAL BRONZE	MARVIN OR APPROVED EQ.
5	EXTERIOR WINDOW	MAHOGANY	MARVIN OR APPROVED EQ.
6	BALCONY POST	DET648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
7	RAILING	DET648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
8	TRIM FACIA/ GUTTER/ DOWNSPOUT	DET648 WHITE PICKET FENCE	DUNN-EDWARDS OR APPROVED EQ.
9	ARCH'L FEATURE	BAY WINDOW	--
10	OUTDOOR LANTERN	--	OR APPROVED EQ.
11	GABLE VENT	LOUVERED W/ DIVIDED TRIM	DET648 WHITE PICKET FENCE

EXTERIOR FINISH SCHEDULE			
SYM #	MATERIAL DESCRIPTION	COLOR	FINISH MANUFACTURE
E1	ROOF SHINGLES	ESTATE AMBER	EXISTING
E2	LAP SIDING	FARMHOUSE RED	EXISTING
E3	ENTRY DOOR	WHITE	EXISTING
E4	EXTERIOR DOOR	WHITE	EXISTING
E5	EXTERIOR WINDOW	WHITE	EXISTING
E6	STUCCO	TAN	EXISTING
E7			
E8	TRIM FACIA	WHITE	EXISTING
E9			
E10	FIREPLACE	BRICK	EXISTING
E11			

1 NOT USED



19 PROPOSED NORTH ELEVATION @ SIDE YARD
SCALE: 1/4" = 1'-0"



17 EXISTING NORTH ELEVATION @ SIDE YARD
SCALE: 1/4" = 1'-0"

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
4.0a_A-4.0_BLDG SECTIONS

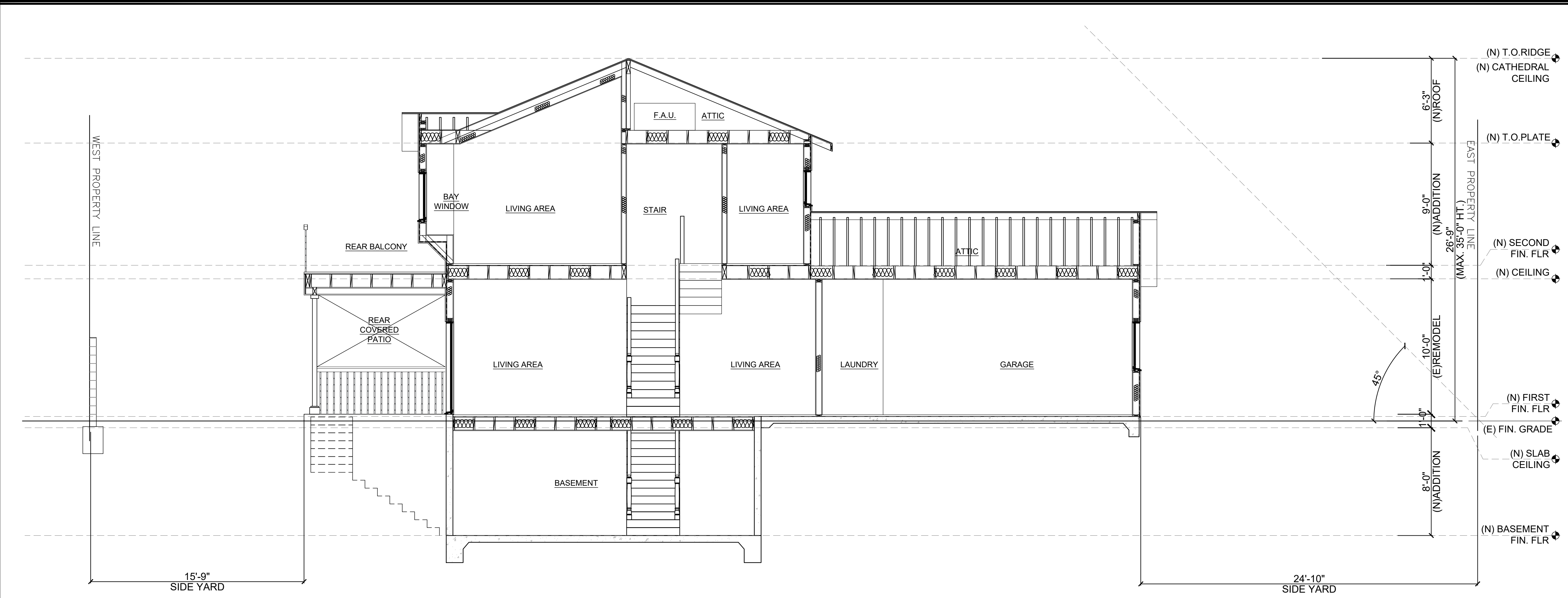
page description:
SECTIONS

seal/signature:

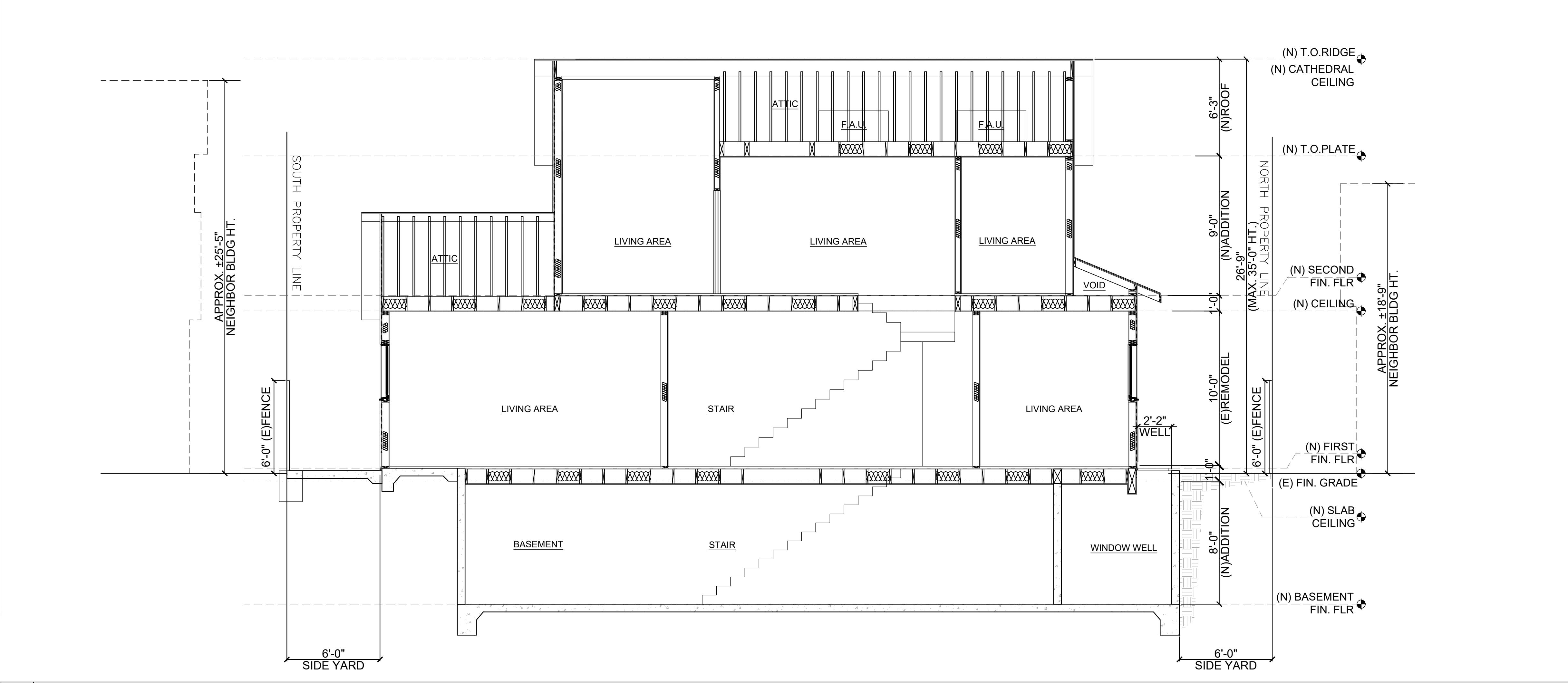
sheet no.:

A-4.0

7/12/2023 4:04:05 PM ARCH.D (24.00 x 36.00) inches



19
SCALE: 1/4" = 1'-0"
BLDG SECTION B-B



17
SCALE: 1/4" = 1'-0"
BLDG SECTION A-A

1
SCALE: N.T.S.
NOT USED

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:
220427

cad file:
5.0a_A-5.0_Win. Door Schedule

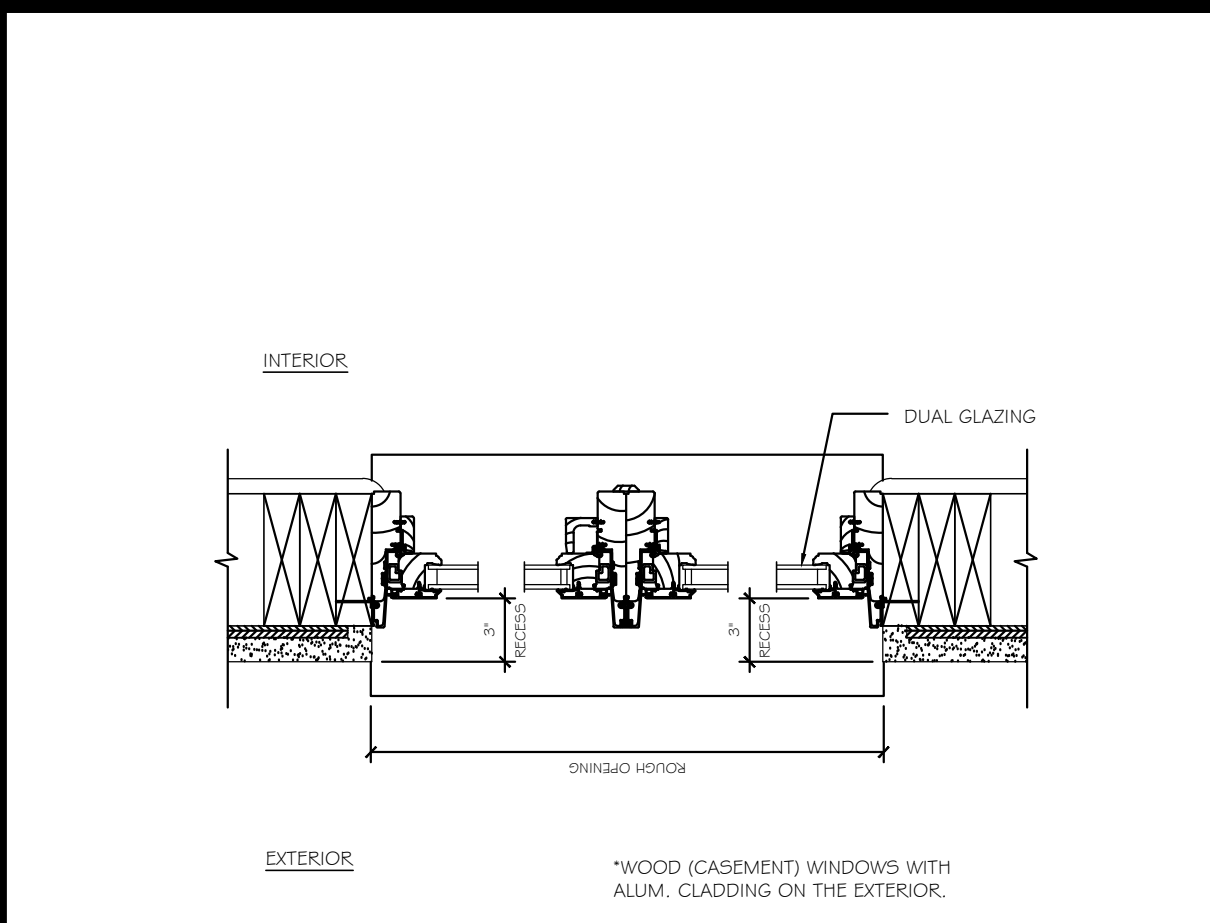
page description:
WINDOW SCHEDULE

seal/signature:

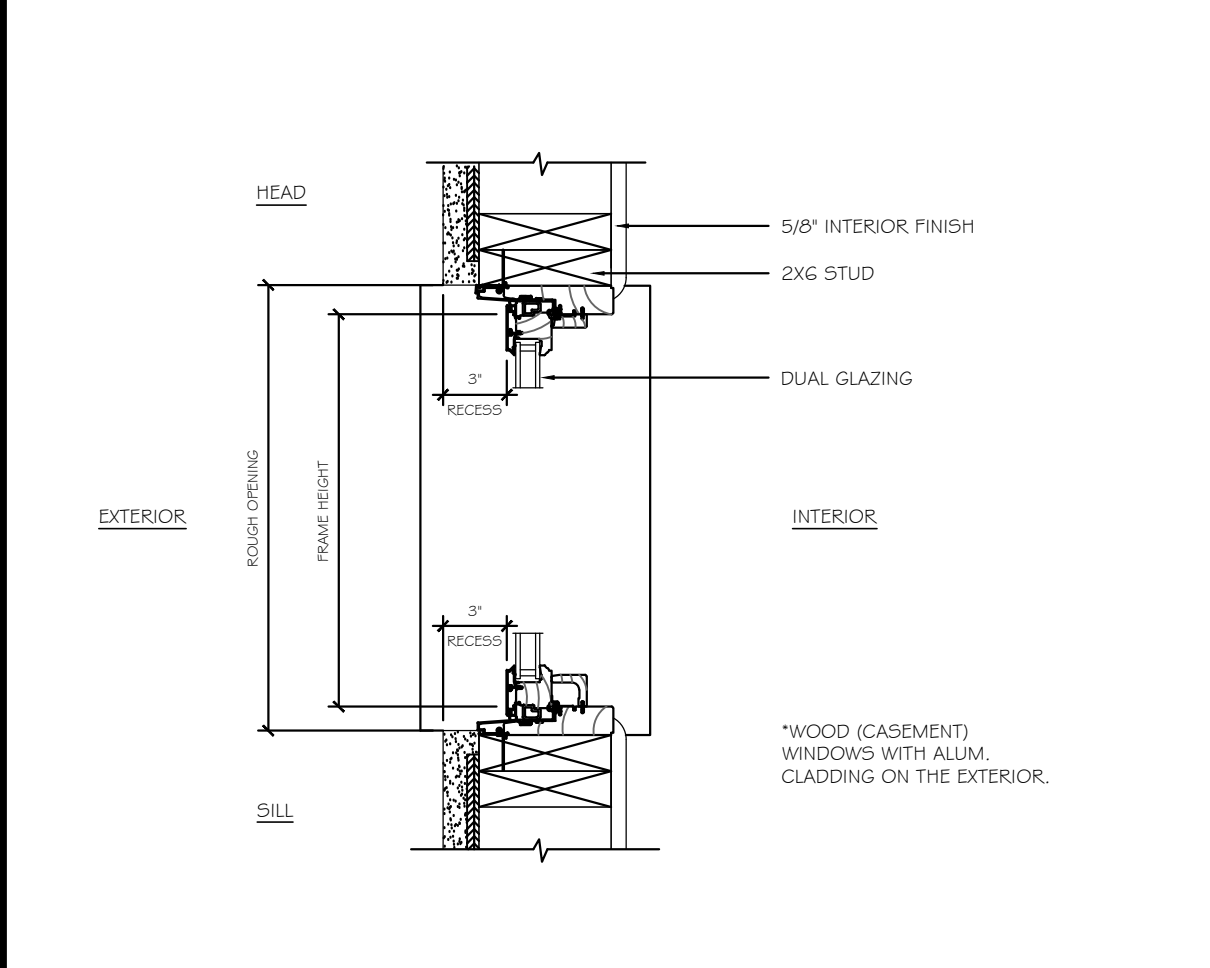
sheet no.:

A-5.0

7/12/2023 9:32:15 PM ARCH.D (24.00x36.00 inches)



20 SCALE: 1/16" = 1'-0"
CASEMENT WIN. JAMB



19 SCALE: 1/16" = 1'-0"
CASEMENT WIN. HEAD/SILL

EXISTING WINDOW LEGEND	WINDOW MARK	EA	EB	EC	ED	EE	EF	EG	EH	
	SIZE	WIDTH	4'-0"	4'-0"	(3)2'-0"	2'-6"	(3)2'-0"	3'-9"	10'-0"	6'-0"
		HEIGHT	4'-6"	4'-0"	4'-0"	2'-0"	2'-0"	6'-9"	6'-9"	4'-0"
	QUANTITY	1	2	1	1	3	1	1	2	
	ELEVATION									
	OPERATION	CASEMENT	CASEMENT	CASEMENT /FIXED	FIXED	CASEMENT /FIXED	CASEMENT /FIXED	CASEMENT /FIXED	CASEMENT /FIXED	
	FRAME TYPE	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	
	MATERIAL	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	
	PANE TYPE	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	
	LITES	--	--	--	--	--	--	--	--	
SIMULATED LITES	--	--	--	--	--	--	--	--		
EXTERIOR FINISH	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE		
VISIBLE TO STREET	YES	YES	YES	NO	NO	NO	NO	NO		
KEEP (E)ROUGH OPENING	YES	NO	NO	NO	NO	NO	NO	NO		
WEATHERING	YES	YES	YES	YES	YES	YES	YES	YES		
MANUFACTURER/	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING		
BEDROOM?	NO	NO	NO	NO	NO	NO	NO	NO		
ENERGY EFFICIENT?	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING		
TEMPERED GLASS?	NO	NO	NO	NO	NO	NO	NO	NO		
WINDOW W/IN 18" OF FLR / 40" OF DOOR?	NO	NO	NO	NO	NO	NO	NO	NO		

13 SCALE: 3/16" = 1'-0"
EXISTING WINDOW SCHEDULE

NEW WINDOW LEGEND	WINDOW MARK	A	B	C	D	E	F	G	H	J	
	SIZE	WIDTH	4'-0"	2'-0"	7'-0"	8'-0"	2'-6"	10'-9"	4'-6"	8'-0"	6'-3"
		HEIGHT	4'-6"	2'-0"	4'-0"	3'-6"	3'-6"	4'-6"	4'-6"	4'-6"	4'-6"
	QUANTITY	1	1	2	1	2	2	2	2	2	1
	ELEVATION										
	OPERATION	DOUBLE HUNG	FIXED	DOUBLE HUNG / FIXED	DOUBLE HUNG	DOUBLE HUNG	DOUBLE HUNG	DOUBLE HUNG	DOUBLE HUNG	DOUBLE HUNG	
	FRAME TYPE	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	EXT / INT. OIL RUBBED BRONZE W/ SASH LOCK	
	NEW MATERIAL	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	MAHOGANY WOOD W/ FULL SCREEN ALUM. SURROUND	
	PANE TYPE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	
	LITES	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	AUTHENTIC DIVIDED LITE, MATCH TO ENTRY DR	
SIMULATED LITES	YES	YES	YES	YES	YES	YES	YES	YES	YES		
EXTERIOR FINISH	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE		
VISIBLE TO STREET	NO	NO	NO	NO	NO	NO	NO	NO	NO		
KEEP (E)ROUGH OPENING	NO	NO	NO	NO	NO	NO	NO	NO	NO		
WEATHERING	YES	YES	YES	YES	YES	YES	YES	YES	YES		
MANUFACTURER	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL		
BEDROOM?	NO	NO	YES	NO	NO	NO	NO	NO	NO		
ENERGY EFFICIENT?	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E		
TEMPERED GLASS?	YES	YES	YES	YES	YES	YES	YES	YES	YES		
WINDOW W/IN 18" OF FLR / 40" OF DOOR?	YES	YES	YES	YES	YES	YES	YES	YES	YES		

15 SCALE: 3/16" = 1'-0"
NEW WINDOW SCHEDULE

EXISTING WINDOW LEGEND	WINDOW MARK	EA	EB	EC	ED	EE	EF	EG	EH	
	SIZE	WIDTH	4'-0"	4'-0"	(3)2'-0"	2'-6"	(3)2'-0"	3'-9"	10'-0"	6'-0"
		HEIGHT	4'-6"	4'-0"	4'-0"	2'-0"	2'-0"	6'-9"	6'-9"	4'-0"
	QUANTITY	1	2	1	1	3	1	1	2	
	ELEVATION									
	OPERATION	CASEMENT	CASEMENT	CASEMENT /FIXED	FIXED	CASEMENT /FIXED	CASEMENT /FIXED	CASEMENT /FIXED	CASEMENT /FIXED	
	FRAME TYPE	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	
	MATERIAL	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD	
	PANE TYPE	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	CLR DUAL	
	LITES	--	--	--	--	--	--	--	--	
SIMULATED LITES	--	--	--	--	--	--	--	--		
EXTERIOR FINISH	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE		
VISIBLE TO STREET	YES	YES	YES	NO	NO	NO	NO	NO		
KEEP (E)ROUGH OPENING	YES	NO	NO	NO	NO	NO	NO	NO		
WEATHERING	YES	YES	YES	YES	YES	YES	YES	YES		
MANUFACTURER/	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING		
BEDROOM?	NO	NO	NO	NO	NO	NO	NO	NO		
ENERGY EFFICIENT?	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING		
TEMPERED GLASS?	NO	NO	NO	NO	NO	NO	NO	NO		
WINDOW W/IN 18" OF FLR / 40" OF DOOR?	NO	NO	NO	NO	NO	NO	NO	NO		

13 SCALE: 3/16" = 1'-0"
EXISTING WINDOW SCHEDULE

HAZARDOUS LOCATIONS
ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL (PERMANENT IF TEMPERED) AS SAFETY GLAZING. NOTE AND SHOW ALL REQUIRED LOCATIONS ON PLANS. HAZARDOUS LOCATIONS ARE IDENTIFIED AS FOLLOWS:

- GLAZING IN ALL DOORS.
- GLAZING IN BATH AND SHOWER ENCLOSURES.
- GLAZING WITHIN A 24" ARC OF A DOOR EDGE.
- PANELS OVER 9 SQUARE FEET HAVING THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- ALL GLAZING IN GUARDRAILS.
- GLAZING 5'-0" FROM TOP OR BOTTOM OF STAIRWAYS WITH BOTTOM EDGE LESS THAN 60" ABOVE WALKING SURFACE.
- WARDROBE DOORS.

NOTES
1. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300.
2. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. CRC R308.1.

revision date & description:
7/14/22 planning dept
11/08/22 planning dept 2nd submittal
4/24/23 planning dept 3rd submittal

scale:
SEE PLAN

job number:

220427

cad file:

5.0a_A-5.0_Win. Door Schedule

page description:

DOOR SCHEDULE

seal/signature:

EXISTING

NO

LOW-E

NO

NO

A-5.1

WINDOW MARK	①	②	③	④	⑤	⑥	⑦	⑧	⑨	⑩	⑮
	SIZE	WIDTH: 5'-1" HEIGHT: 8'-0"	WIDTH: 6'-0" HEIGHT: 7'-0"	WIDTH: 12'-0" HEIGHT: 7'-0"	WIDTH: 5'-0" HEIGHT: 7'-0"	WIDTH: 2'-4" HEIGHT: 6'-8"	WIDTH: 2'-6" HEIGHT: 6'-8"	WIDTH: 2'-0" HEIGHT: 6'-8"	WIDTH: 2'-8" HEIGHT: 6'-8"	WIDTH: 2'-10" HEIGHT: 6'-8"	VARIES HEIGHT: 6'-8"
QUANTITY	1	1	2	2	4	4	3	3	1	2	1
ELEVATION	EXTERIOR DOOR 	EXTERIOR DOOR 	EXTERIOR DOOR 	EXTERIOR DOOR 	INTERIOR DOOR 	INTERIOR DOOR 	INTERIOR DOOR 	INTERIOR DOOR 	RATED DOOR 	INTERIOR DOOR 	GARAGE DOOR
OPERATION	SWING/ FIX	SLIDING/ FIXED	SLIDING/ FIXED	SLIDING/ FIXED	SWING	POCKET	SWING	SWING	SWING	SLIDING	ROLL-UP
FRAME TYPE	RESILIENT WOOD ENTRY SYSTEMS	EXT./ INT. OIL RUBBED BRONZE PVD FINISH	EXT./ INT. OIL RUBBED BRONZE PVD FINISH	EXT./ INT. OIL RUBBED BRONZE PVD FINISH	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR TRACK
NEW MATERIAL	GU-SECURY AUTOMATIC MULTIPOINT LOCK	SOLID WOOD W/ GREYSON CASINGS	SOLID WOOD W/ GREYSON CASINGS	SOLID WOOD W/ GREYSON CASINGS	HOLLOW WOOD CORE	HOLLOW WOOD CORE	HOLLOW WOOD CORE	HOLLOW WOOD CORE	SOLID WOOD CORE	HOLLOW WOOD CORE	METAL
PANE TYPE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	INTERIOR GLAZING OGEE PROFILE	--	--	--	--	--	--	--
THICKNESS	DIVIDED - SIMULATED 7/8" PROFILE	DIVIDED - SIMULATED 7/8" PROFILE	DIVIDED - SIMULATED 7/8" PROFILE	DIVIDED - SIMULATED 7/8" PROFILE	1-3/4"	1-3/4"	1-3/4"	1-3/4"	1-3/4"	1-3/4"	--
SIMULATED LITES	YES	YES	YES	YES	--	--	--	--	--	--	--
EXTERIOR FINISH	PAINTED DEB001 GUNMETAL BRONZE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED DEB001 GUNMETAL BRONZE W/ INT. PRIMED WHITE	PAINTED	PAINTED	PAINTED	PAINTED	ALUM./COATED	PAINTED	PAINTED GUNMETAL BRONZE
VISIBLE TO STREET	YES	NO	NO	NO	NO	NO	NO	NO	NO	NO	YES
KEEP (E)ROUGH OPENING	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	YES
WEATHERING	YES	YES	YES	YES	NO	NO	NO	NO	NO	NO	YES
MANUFACTURER	"TRUSTILE" OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" BRIGHT VIEW OR APPROVED EQUAL	"MARVIN" OR APPROVED EQ.	"MARVIN" OR APPROVED EQ.	"MARVIN" OR APPROVED EQ.	"MARVIN" OR APPROVED EQ.	"MASONITE" OR APPROVED EQ.	"MARVIN" OR APPROVED EQ.	--
BEDROOM?	NO	NO	NO	NO	NO	NO	NO	NO	GARAGE DOOR: INTEGRATED SMOKE & DRAFT PROOF TIGHT FITTING GASKET SELF-CLOSING / LATCHING W/ DEADBOLT	YES	NO
ENERGY EFFICIENT?	LOW-E	LOW-E	LOW-E	LOW-E	NO	NO	NO	NO	NO	NO	NO
TEMPERED GLASS?	YES	YES	YES	YES	NO	NO	NO	NO	NO	NO	NO
WINDOW W/IN 18" OF FLR / 40" OF DOOR?	NO	YES	YES	YES	NO	NO	NO	NO	NO	NO	NO

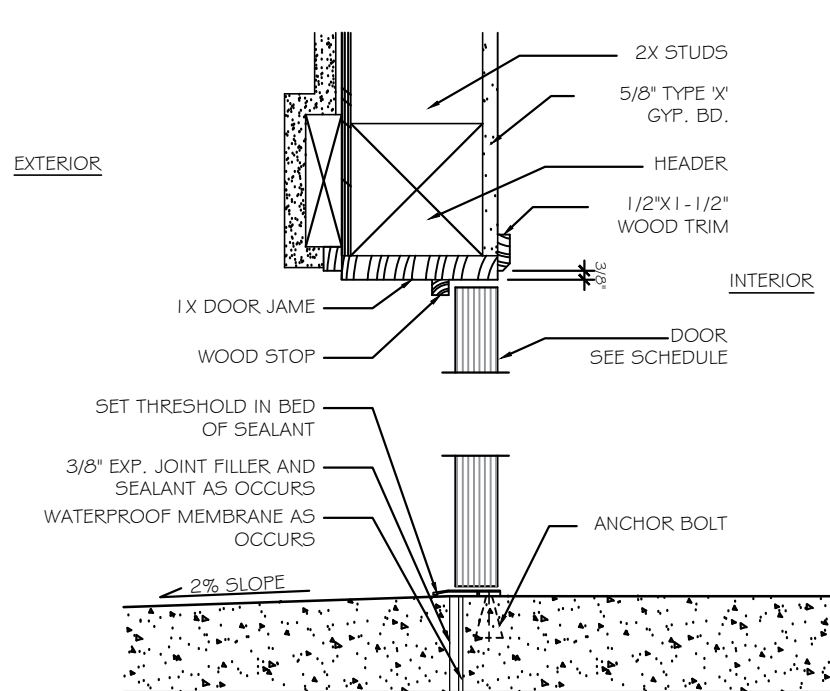
NEW WINDOW LEGEND

15
SCALE: 1/8" = 1'-0"
NEW DOOR SCHEDULE

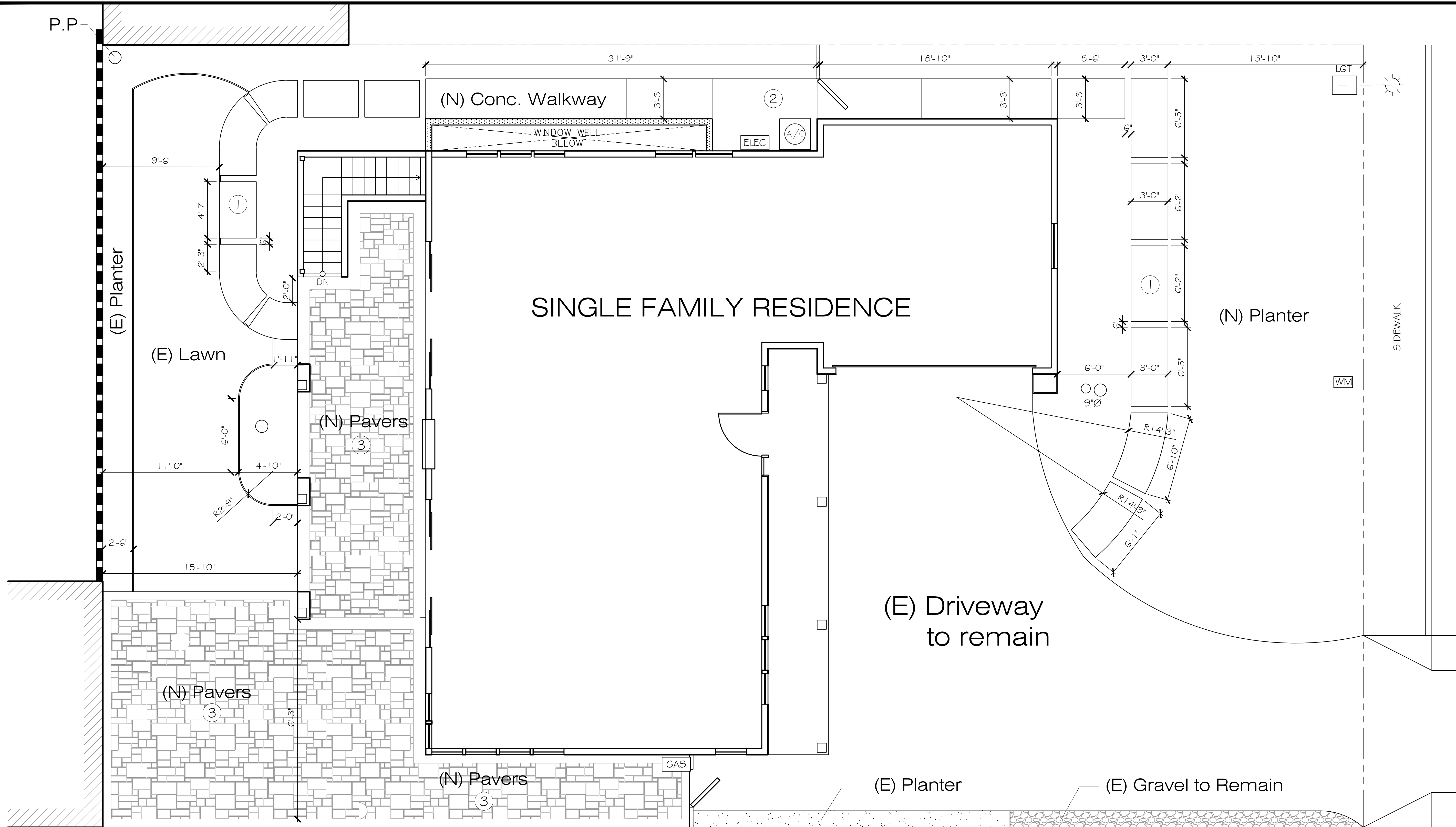
WINDOW MARK	Ⓔ	Ⓕ	Ⓖ	Ⓔ
	SIZE	WIDTH: 3'-0" HEIGHT: 7'-0"	WIDTH: 3'-0" HEIGHT: 7'-0"	WIDTH: 3'-0" HEIGHT: 7'-0"
QUANTITY	1	1	1	1
ELEVATION				
OPERATION	SWING/ SIDE LITE	SWING	SWING	ROLL-UP
FRAME TYPE	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL	INTERIOR NAIL
MATERIAL	WOOD	WOOD	WOOD	ALUMINUM
PANE TYPE	CLR DUAL	CLR DUAL	CLR DUAL	PANELS
LITES	DIVIDED - SIMULATED 7/8" PROFILE	SCREEN	DIVIDED - SIMULATED 7/8" PROFILE	N/A
SIMULATED LITES	YES	YES	YES	NO
EXTERIOR FINISH	WHITE	WHITE	WHITE	WHITE
VISIBLE TO STREET	YES	YES	YES	YES
KEEP (E)ROUGH OPENING	YES	YES	YES	YES
WEATHERING	YES	YES	YES	YES
MANUFACTURER/	EXISTING	EXISTING	EXISTING	EXISTING
BEDROOM?	NO	NO	NO	NO
ENERGY EFFICIENT?	LOW-E	LOW-E	LOW-E	LOW-E
TEMPERED GLASS?	NO	NO	NO	NO
WINDOW W/IN 18" OF FLR / 40" OF DOOR?	NO	NO	NO	NO

EXISTING WINDOW LEGEND

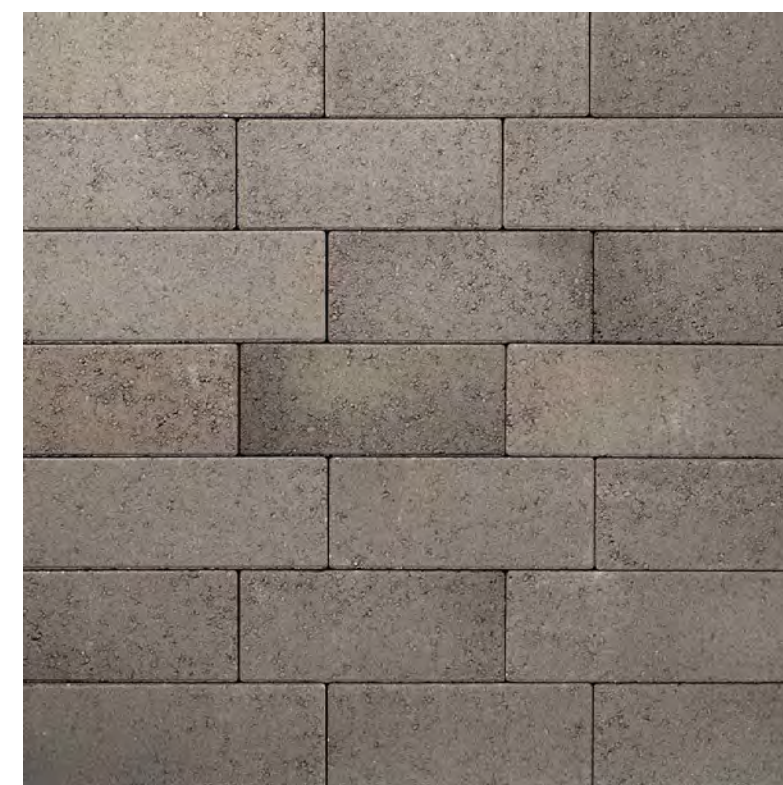
13
SCALE: 3/8" = 1'-0"
EXISTING DOOR SCHEDULE



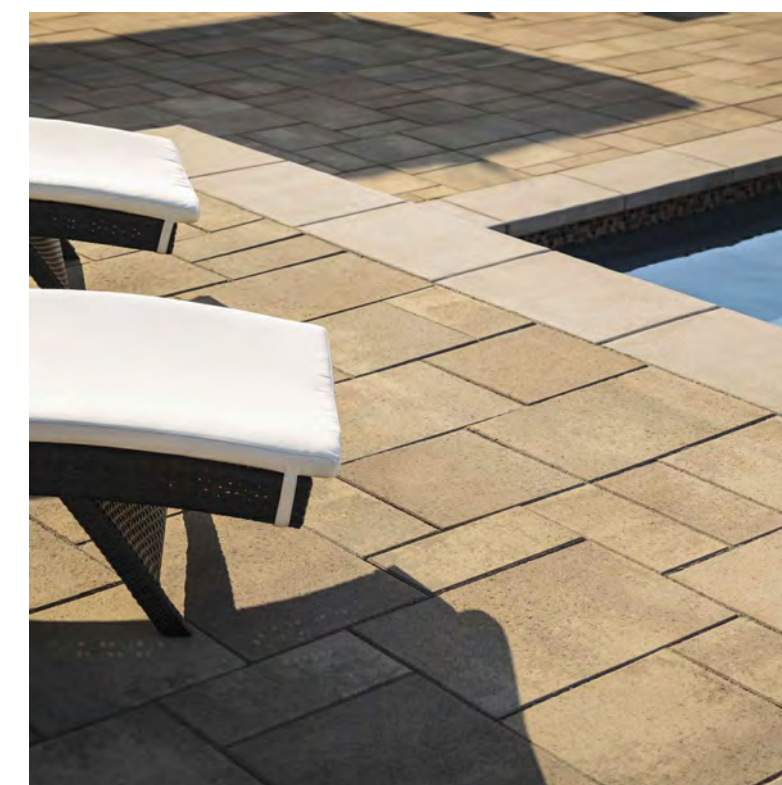
18
SCALE: 1/16\"/>



Concrete Pads with Groundcover



Belgard Melville Plank Graphite



Belgard La Fitt Slab Montecito

MATERIALS LEGEND

- ① POURED EXPANDED CONCRETE PADS, SIZE AND LOCATION AS SHOWN PER PLAN. CONCRETE COLOR (FIELD) - FAWN, WASHED FINISH
- ② POURED CONCRETE WALKWAY, CONCRETE TO BE SCORED AS SHOWN ON PLAN - TOOLED JOINTS, CONCRETE COLOR TO BE FAWN - WASHED FINISH
- ③ RAISED PATIO PER ARCHITECT PLAN. PAVER (FIELD) - BELGARD LAFITT GRANA SLAB, STYLE (FIELD) - 3-PIECE COMBO COLOR (FIELD) - MONTECITO PAVER (BAND) - BELGARD MELVILLE PLANK, STYLE (BAND) - 7-1/2 x 11-1/3/1/6 PLANK COLOR (BAND) - GRAPHITE

DESIGN BY: TLH

SCALE: AS SHOWN

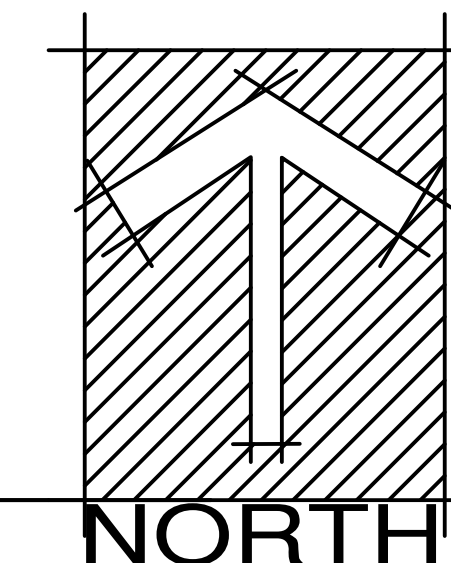
REVISION:

-
-
-
-
-
-
-

SHEET:

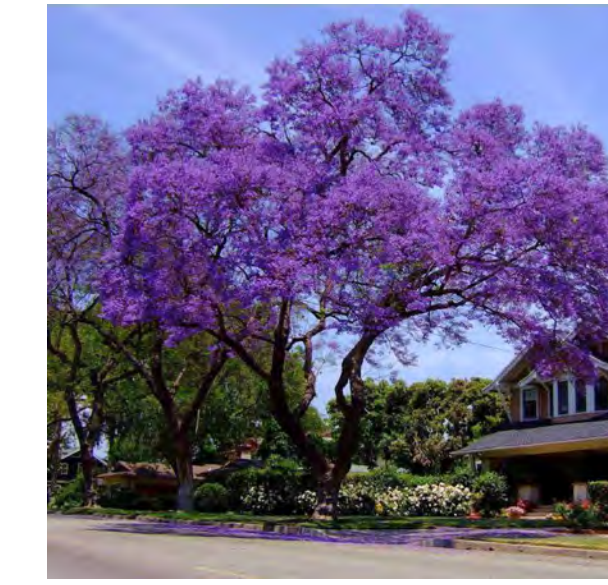
11.1

HARDSCAPE PLAN
SCALE 1/4" = 1'-0"



PLANTING SYMBOL LEGEND

SHRUB	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
	Jacaranda mimosifolia	Jacaranda	1.5 GAL	1
	Olea europea 'Swan Hill - Fruitless'	Fruitless Swan Hill Olive	1.5 GAL	1
	Acer palmatum	Green Japanese Maple	1.5 GAL	1
	Eugenia myrtilifolia	Australian Brush Cherry	1.5 GAL	11
	Lavendula stoechas 'Otto Quast'	Otto Quast Spanish Lavender	5 GAL	12
	Daniella tasmanica 'Variegata'	Variegated Flax Lily	1 GAL	15
	Salvia microphylla 'Hot Lips'	Hot Lips Sage	5 GAL	3
	Hemerocallis x 'Ruby Spider'	Ruby Spider Daylily	1 GAL	18
	Lavandula angustifolia 'Thumbelina Leigh'	Thumbelina Leigh English Lavender	1 GAL	5
	Limonium perezii	Sea Lavender	1 GAL	3
	Aeonium 'Sunburst'	Sunburst Aeonium	1 GAL	11
	Aeonium arboreum 'Insh Rose'	Insh Rose Aeonium	1 GAL	15
	Agave attenuata 'Ray of Light'	Ray of Light Agave	5 GAL	6
	Yucca filamentosa 'Bright Edge'	Bright Edge Yucca	1 GAL	3
	Anigozanthos 'Bush Pearl'	Dwarf Pink Kangaroo Paw	1 GAL	8
	Agave 'Blue Flame'	Blue Flame Agave	1 GAL	3
	Festuca arundinacea 'Watersaver Blend'	Watersaving Tall Fescue	SOD	384 SF
	Dymondia margaretae	Silver Carpet	PLUGS	330 SF



Jacaranda



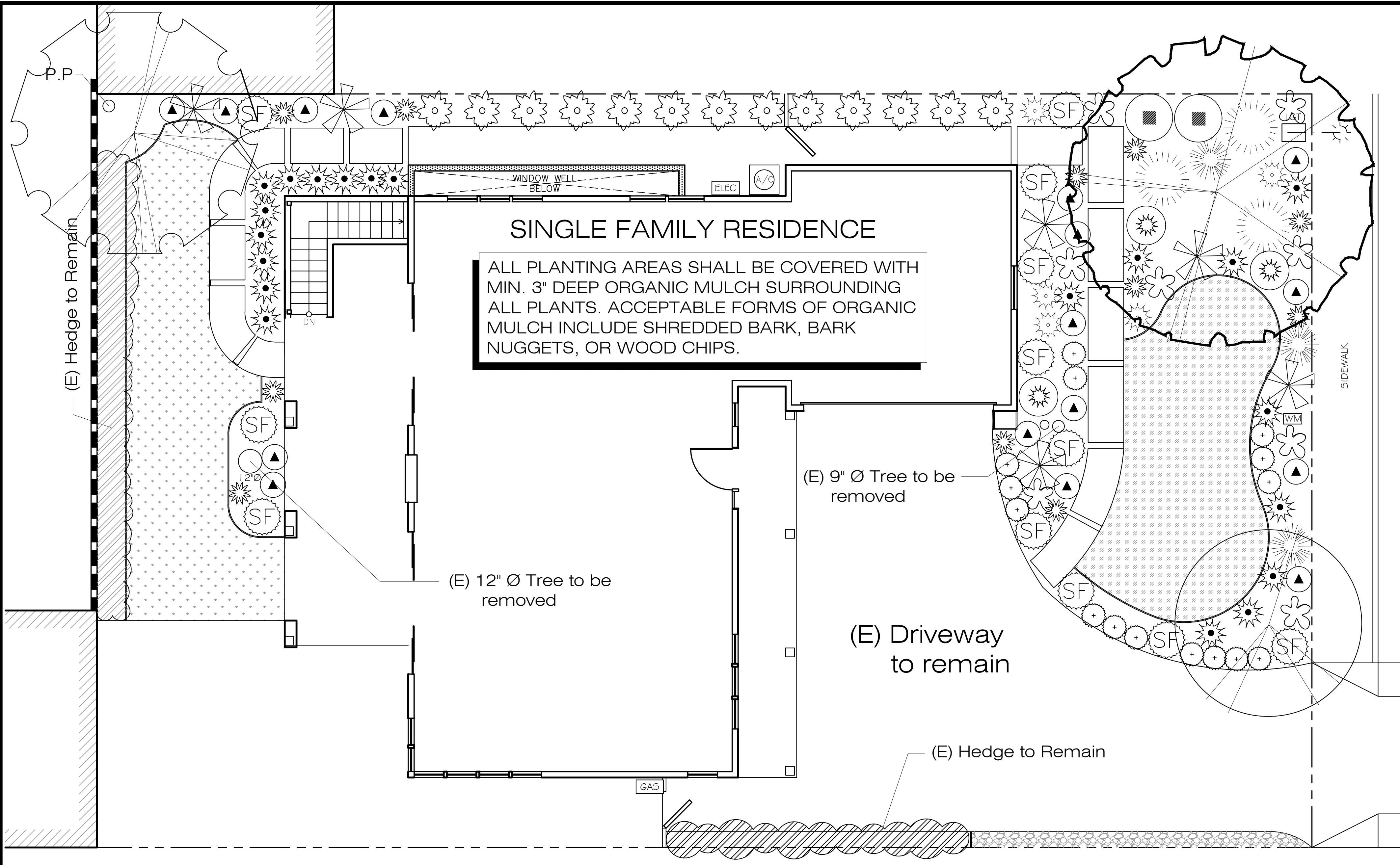
Japanese Maple



Swan Hill Fruitless Olive

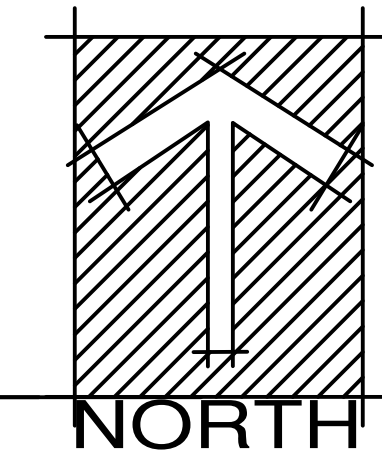


Aust. Brush Cherry



SINGLE FAMILY RESIDENCE
ALL PLANTING AREAS SHALL BE COVERED WITH MIN. 3" DEEP ORGANIC MULCH SURROUNDING ALL PLANTS. ACCEPTABLE FORMS OF ORGANIC MULCH INCLUDE SHREDDED BARK, BARK NUGGETS, OR WOOD CHIPS.

PLANTING PLAN
SCALE 1/8" = 1'-0"



Dymondia



Blue Flame Agave



Insh Rose Aeonium



Ruby Spider Daylily



Hot Lips Sage



Variegated Flax Lily



Otto Quast Spanish Lavender



Bright Edge Yucca



Ray of Light Agave



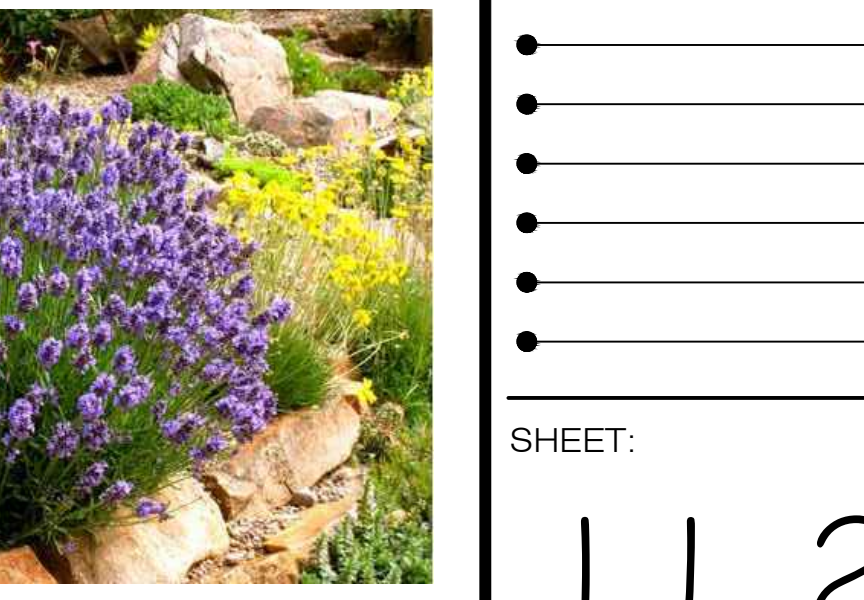
Sunburst Aeonium



Sea Lavender



Bush Pearl Kangaroo Paw



Thumbelina English Lavender

DESIGN BY: TLH
SCALE: AS SHOWN
REVISION:
●
●
●
●
●
●
SHEET:



Design Review Board Agenda Report

ITEM NO. 3

DATE: August 3, 2023

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Mackenzie Goldberg, Assistant Planner

SUBJECT: **Project No. 2564-DRX – A request for a Design Review Permit to add a 95 square-foot first-floor addition, and to enclose a 133 square-foot second-story balcony, at the front of an existing two-story single-family dwelling at 830 Rollin Street (APN: 5314-016-015); finding project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301.**

RECOMMENDATION

Staff recommends that the Design Review Board (DRB):

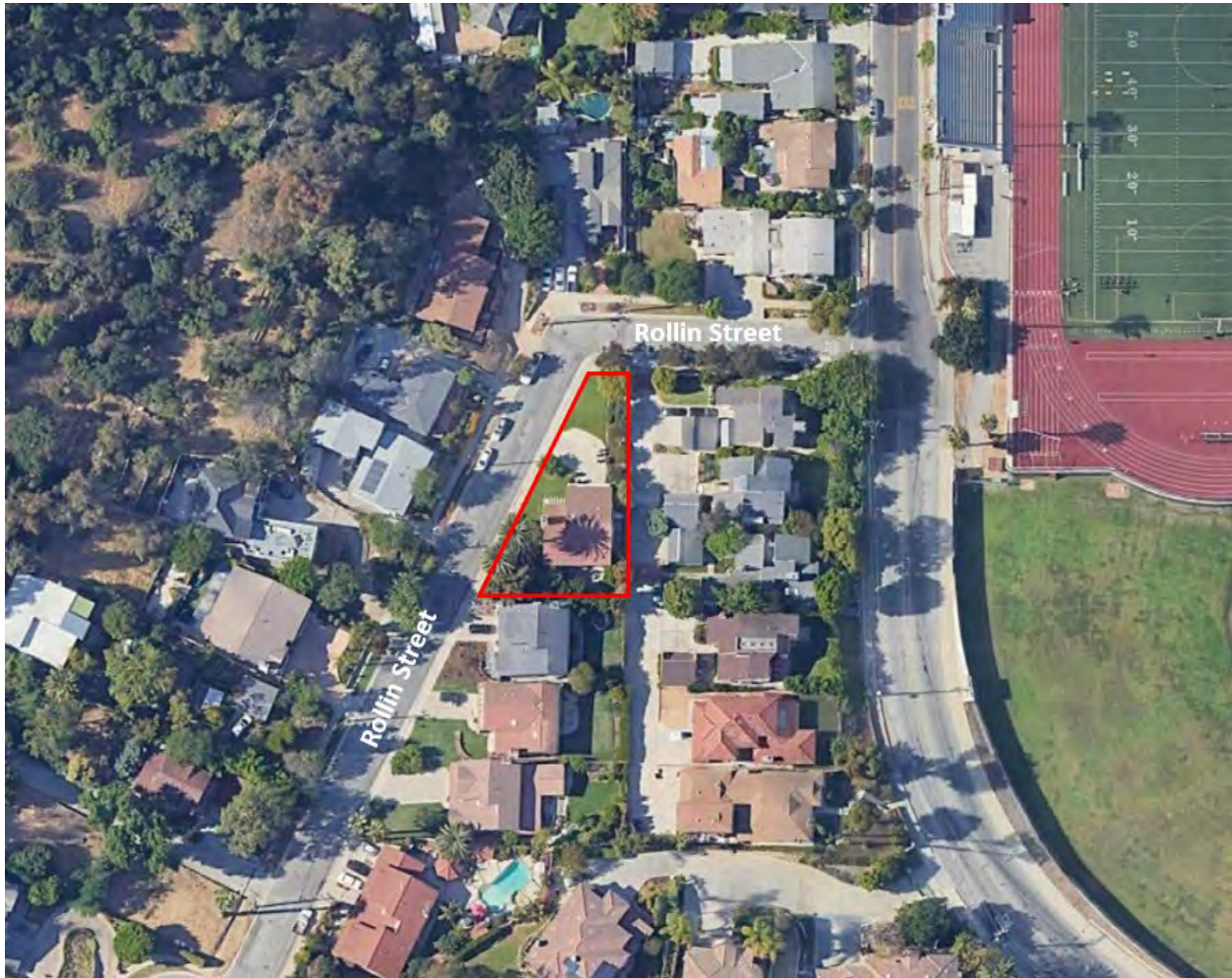
1. Find the project exempt from the California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1 (Existing Facilities).
2. Approve Project No. 2564-DRX subject to the conditions of approval (**Attachment 1**)

BACKGROUND

The subject site at 830 Rollin Street is an irregular shaped corner lot measuring approximately 9,150 square feet. The subject site is located on the southeastern side of Rollin Street. The subject site is located within the Residential Single Family, or RS, zone and is surrounded by one-story and split-level single-family residences. Site and Neighborhood Images are included in the Project Plans as **Attachment 2. Figure 1**, on the following page, is an aerial of the subject property and the surrounding neighborhood, with the project site outlined in red.

The subject site is currently developed with a 2,543 square-foot, two-story single-family residence and a 477 square-foot attached garage, built in 1983. The subject property is not on the City's Inventory of Historic Resources, and it is not considered a contributor within a designated historic district. Permit history identifies that a building permit for the demolition of a single-family house and metal storage building was issued in 1983, with another building permit for a new single-family residence issued that same year.

Figure 1: Aerial



PROJECT DESCRIPTION

The applicant is requesting the approval of a Design Review Permit for a proposed 95 square-foot first floor addition at the front of an existing single-family dwelling under the overhang of the existing roof eaves and to enclose a 133 square-foot second story balcony. The applicant is also proposing to change the existing architectural style and modify the exterior with Craftsman-style details such as hardie board siding, new dormers, and wood trellis eave vents. In addition, the applicant is proposing an interior remodel that includes expanding a second story landing by 44 square-feet and converting 17 square-feet of the garage to part of a new mudroom. The architectural drawings, plans, and elevations are included as **Attachment 2**.

The Design Review Board is the Review Authority of this project since the property is not subject to the provisions of Chapter 2.65 (Cultural Heritage Ordinance) of the South Pasadena Municipal Code (SPMC). The property is not a historic resource as it is not

listed in the City’s Inventory of Cultural Resources. Pursuant to SPMC, Section 36.410.040, a Design Review Permit is required as the proposed project is visible to the street and involves exterior modification which change the architectural design style of the existing structure.

PROJECT ANALYSIS

General Plan Consistency

The General Plan land use designation of the site is Low Density Residential, which allows for detached single-family units at a density of 3.51 to 6 units per acre. The proposed project does not involve the subdivision of the existing lot, only the construction of an addition to a dwelling. Therefore, the project is consistent with the General Plan.

Zoning Code Compliance & Development Standards

The subject property is located within the Residential Single Family (RS) Zoning District, which is intended for areas appropriate for the development of detached, single-family homes. The purpose of Residential Zoning District General Development Standards (South Pasadena Municipal Code or SPMC Section 36.220.040) is to ensure all alterations to existing structures are suitable and compatible with the applicable development standards. Pursuant to Section 36.220.050 Development of Small Nonconforming Residential Parcels, the subject lot is deemed nonconforming because it is less than 10,000 square feet in size. Residential Development Standards from SPMC Sections 36.220.040 and 36.220.050 were applied to the proposed project.

Table 1: RS Zone and Small Nonconforming Parcel Standards

Standard	Requirement	Existing	Proposed
Lot Coverage	50% (4,575 SF max. allowed)	19.7% 1,806 SF	20.5% 1,873 SF
Floor Area Ratio (FAR)	35% (3,202 SF max. allowed)	27.8% 2,543 SF	30.9% 2,832 SF
Building Height	35 feet	28 feet 6 inches	No Change
Off-Street Parking (SPMC 36.310.040)	2-Covered Spaces	2-Covered Spaces within a Garage	No Change
Front Setback (SPMC 36.220.050)	20 feet, 15 w/ a porch	67 feet 3½ inches	No Change

Street Side Setback (West)	12 feet 3 inches (20% of lot width)	10 feet 9 inches	No Change
Side Setback (East)	6 feet 1½ inches (10% of lot width)	10 feet	No Change
Rear Setback	25 feet	32 feet 9 inches	No Change

Design Review

The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City's adopted design standards and guidelines. The City of South Pasadena's Design Guidelines for Enhancing Existing Non-Historic Residences state that:

Architectural Details (p. 55):

1. Architectural details of the existing residence, such as railings, brackets, grilles, chimneys, attic vents, balustrades, quoins, decorative tiles, and hardware, etc., can be removed or altered, unless their removal would compromise the overall design qualities of the property;
2. Newly installed details should reflect the architectural character of the residence and architectural vocabulary of the neighborhood.

Windows and Doors (p. 55):

1. The number of different window styles should be limited;
2. New dormer windows should be consistent with the style of the building. The slope, form, size, and location of new dormers should all be integral with the existing roof, and located so that they are generally inconspicuous.

Façade Treatments (p. 56):

1. Use building materials that are of traditional dimensions;
2. Alternative materials should appear similar in scale, proportion, texture and finish to those used historically;
3. Wood lap or shingles, brick, or stone are also appropriate materials, if other buildings in the neighborhood employ these materials.

The applicant is proposing to redesign the existing 1980s stucco, tract house into a Craftsman-style home. The new first floor addition will expand under the existing rafter tails and the new second floor addition will enclose the existing balcony. One (1) new dormer will be added to the first floor and two (2) new dormers will be added to the second-floor at the front elevation to break up the massing and add new Craftsman-style detailing with wood trellised venting and new casement windows. The existing stone veneer on the first floor will be removed, the stucco column at the front entry will be replaced with a wood post, and a new carriage style garage door will be installed to create a Craftsman-style frontage. Further, the existing stucco will be replaced with

Hardie Board siding and trim and a belly band at the height of the first floor; and the existing roofing material will be replaced with asphalt composition tiles.

Image 1: Subject Property Front Elevation



ENVIRONMENTAL ANALYSIS

This item is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 – Existing Facilities. Class 1 exemption includes additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet, in which the project site is in an area where all public facilities are available and is not located in an environmentally sensitive area.

FINDINGS

Design Review Required Findings

In order to approve a Design Review application, the Design Review Board shall first find that the design and layout of the proposed development:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The project site has a General Plan land use designation of Low Density Residential. General Plan policies for this land use designation specify this land use category for single-family dwelling uses—there are no additional dwelling proposed, as such, it remains consistent with the General Plan. The proposed project meets design guidelines adopted by the City, in that the modern architectural design has been established in the neighborhood.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project is designed to accommodate the functions and activities related to typical single-family residential properties; the use and density are consistent with the neighborhood. As conditioned, the project's mass, scale, bulk, and temporary construction activities would not unreasonably interfere with the use and enjoyment of the neighboring, existing or future, developments and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,**

The project site is surrounded by one- and two-story single-family residential structures of varying architectural styles. The proposed change of architectural design from a 1980s stucco residence to a Craftsman-style residence will enhance the property and is compatible with the varied architectural styles of its surroundings. Further, the site arrangement and improvements will be compatible to the existing and intended character of the neighborhood since the proposed addition is in compliance with the General Plan and Zoning Code.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The proposed project has been designed with the consideration to its residents of the home and provides adequate indoor and outdoor space. The proposed project uses materials and colors to enhance the architecture style and will remain appealing with a reasonable level of maintenance.

ALTERNATIVES

If the Design Review Board does not agree with Staff's recommendation, the following options are available:

1. The Design Review Board may Approve the project with modified/added conditions; or
2. The Design Review Board may Continue the project to address comments discussed; or
3. The Design Review Board may Deny the project if it finds that the project does not meet the City's requirements.

PUBLIC NOTICING

A Public Hearing Notice was published on July 21, 2023 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on July 20, 2023. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

NEXT STEPS

If the Design Review Board approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

ATTACHMENTS

1. Conditions of Approval
2. Project Plans

ATTACHMENT 1

Conditions of Approval

CONDITIONS OF APPROVAL Design Review Permit

PROJECT NO. 2564 – DRX
830 Rollin Street (APN: 5314-016-015)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on August 3, 2023:

Design Review Permit (DRX) for the construction of a 95 square-foot first floor addition, and to enclose a 133 square-foot second-story balcony at the front of an existing two-story single-family dwelling at 830 Rollin Street.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission/Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday

through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.

- P7. A construction sign with contact information for the contractor shall be posted on-site during construction.

BUILDING DIVISION:

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Design Review Board Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior to permit issuance.
- B3. If applicable, Park Impact Fee to be paid at the time of permit issuance.
- B4. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B5. Plans shall be prepared under the supervision of an architect licensed in the State of California or a civil or structural engineer registered in the State of California. Each sheet of the plans and the cover sheet of the calculations is to be stamped and signed by the person preparing the plans. 5353 and 6730 of the State Business and Professions Code
- B6. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B7. A drainage plan shall be approved prior to issuance of the building permit. The drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B8. Project shall comply with the CalGreen Residential mandatory requirements.
- B9. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit. A separate permit is required for Fire Sprinklers.

PUBLIC WORKS DEPARTMENT:

- PW1 The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. This includes all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW2 The applicant shall obtain City approval for any modifications or revisions to the approval of this project.

- PW3 The applicant shall provide a copy of a current Title Report (effective date shall be within the last 60 days). The applicant shall show all easements (if any) per the Title Report to the satisfaction of the Public Works Department. The applicant shall identify all on-site existing City easements. Any conflict with and/or presence of existing easements must be addressed.
- PW4 All sheets shall be stamped, if necessary, and signed by the appropriate persons in responsible control of plans, specifications, and instruments of service per Business and Professions Code Section 5536.2.
- PW5 If applicable, the applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- PW6 If applicable, the applicant shall provide a covenant for unconditional and indefinite maintenance of any private improvements within the public right-of-way. This covenant shall be reviewed and approved by the Public Works Department and the City Attorney and a fully executed covenant, in recordable form, shall be provided to the City prior to obtaining a permit.
- PW7 Rollin Street shall be videotaped before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The applicant will be responsible to restore the road to its original condition before the start of construction. These video tapes shall be submitted to the City before the start of the project and immediately upon completion of the project.
- PW8 The applicant shall be responsible for posting project signs at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of weather-resistant durable material. The applicant shall provide a 24-hour emergency contact number for a designated person who will be responsible for maintaining the public right-of-way during all stages of construction until the project is complete.
- PW9 The applicant shall provide a Construction Management Plan to the Public Works Department for review and approval prior to issuance of permits. The Construction Management Plan shall include, but not be limited to, types of proposed construction activities, an on-site staging plan, haul route, construction schedule, and shall indicate a contractor parking location. All vehicles including workers' vehicles shall not be parked on the streets or public right-of-way. An offsite parking with a shuttle service should be provided if necessary.
- PW10 The applicant shall provide a construction schedule for each stage of any major activities (i.e. demolition, grading, material delivery, etc.) and the timing of special access if necessary, as it relates to site staging, traffic, and access. If there are any changes to the construction schedule, the applicant shall submit a revised schedule to the Public Works Department.
- PW11 Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. At least 48 hours advance notice shall be given to all impacted businesses and residents for street and lane closures. All street closures will require an

- encroachment permit from the Public Works Department. Street closures are only allowed within the time limits specified in SPMC Chapter 19A. Approved street closures require Portable Changeable Message Signs (PCMS) to be placed in advance of the project site.
- PW12 The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- PW13 The applicant shall post temporary "No Parking " signs along the entire perimeter of the property prior to the start of any construction. The temporary "No Parking" signs shall be covered at the end of each working day and uncovered at the start of the following working day prior to any construction activity.
- PW14 If applicable, prior to issuance of a grading permit, the applicant shall provide an erosion control plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, use of appropriate BMPs, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas.
- PW15 The applicant shall provide a detailed drainage plan signed and stamped by a CA licensed civil engineer. Cross lot drainage is not permitted. Provide a copy of the approved plan from the Building & Safety Department.
- PW16 Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain a dumpster permit from the Public Works Department.
- PW17 No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW18 The applicant shall show all existing and proposed trees, including size and species, and indicate their disposition. If any trees are to be removed, the applicant shall apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on the site, the applicant shall note on the plans "no trees to be removed" and provide methods of protecting existing trees during construction.
- PW19 The applicant shall show the existing grade, location, and dimensions of all existing and proposed conditions within the public-right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- PW20 The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings along the perimeter of the property to the

satisfaction of the City Engineer. In addition, existing sidewalk and driveway approaches that are below current City standards shall be replaced regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).

- PW21 If applicable, the applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department depending on the condition of the existing concrete pavement adjacent to the property.
- PW22 The applicant shall provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- PW23 The applicant shall show all utility poles adjacent to the properties and note to protect-in-place.
- PW24 The applicant shall show the location of all existing utilities (i.e. sewer lateral and water utility service lines) on adjacent street(s), as well as location and size of all existing or proposed utility service lines serving the property. Show all utility points of connection (POC).

FIRE DEPARTMENT:

- F1. Required Code References: Current South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code and NFPA standards.
- F2. Fire Sprinklers are required. Submit plans to City for approval.
- F3. Fire Sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning work.
- F4. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- F5. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for the fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.

- F6. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- F7. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- F8. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
- Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
- An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.
- F9. Address identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building can not be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
- F10. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- F11. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;

- 2) In each room used for sleeping purposes.
 - 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- F12. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- F13. Buildings under construction shall meet the condition of 'Chapter 33 Fire Safety During Construction and Demolition' of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustible materials have accumulated.
 - 2) In every storage and construction shed.
 - 3) Where special hazards exist included but not limited to, storage and use of combustible and flammable liquids.
- F14. A set of plans must remain on the job site at all time. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7302.
- F15. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.
- F16. For water meter inquiries, please contact South Pasadena Water Department at 626-460-6393.

ATTACHMENT 2

Project Plans

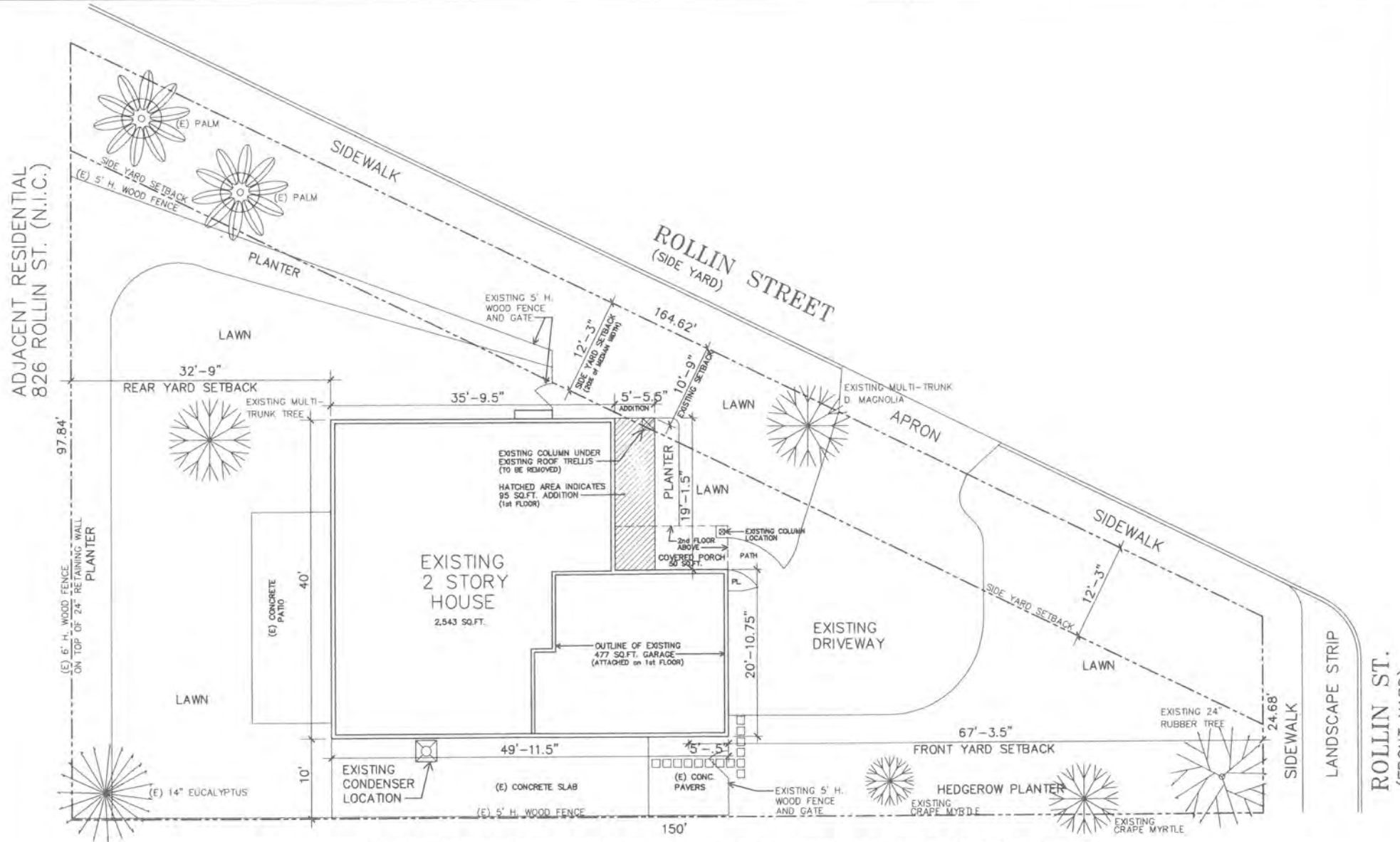
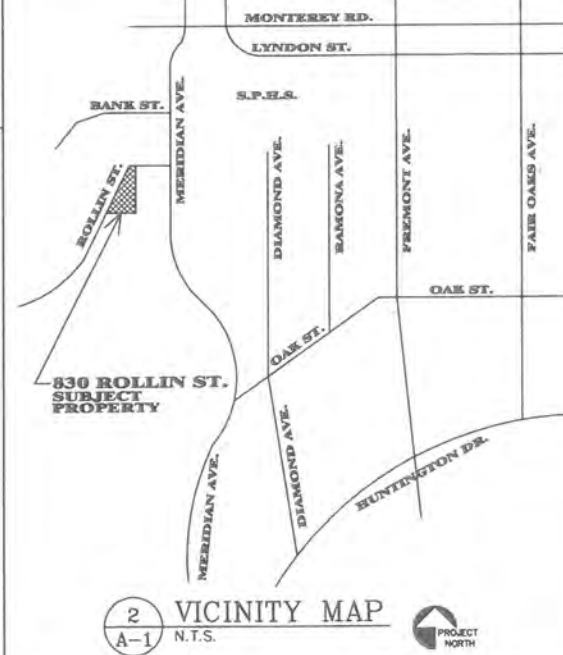
830 ROLLIN STREET

KWONG RESIDENCE
 e-mail: tiff.kwong@gmail.com
 PH: 626 202-8433

ARCHITECT: DAHL ARCHITECTS, INC.
 1134 EL CENTRO ST.
 SOUTH PASADENA, CA 91030
 PH: 626 564-0011, FAX: 626 564-1591
 e-mail: tammie@dahlarchitects.com
 steve@dahlarchitects.com

SHEET INDEX

- A-1 COVER SHEET / SITE PLAN / STATISTICS
- A-1.5 NEIGHBORHOOD PHOTO SCAPE
- A-2 EXISTING 1st & 2nd FLOOR PLANS
- A-3 NEW 1st & 2nd FLOOR PLANS/ DOOR & WINDOW SCHEDULES
- A-4 EXISTING & NEW ROOF PLANS
- A-5 EXISTING & NEW EXTERIOR ELEVATIONS
- A-6 EXISTING & NEW EXTERIOR ELEVATIONS



SCOPE OF WORK:

WE ARE ADDING 95 SQ.FT. TO THE FRONT OF THE HOUSE TO INCREASE THE SIZE OF THE FAMILY ROOM. THIS ADDITION WILL BE UNDER THE OVERHANG OF THE EXISTING ROOF EAVES. ALSO ON THE FRONT, THE EXISTING 2nd FLOOR BALCONY WILL BE INFILLED WITH THE EXTENSION ON THE 2 FRONT BEDROOMS. THE KITCHEN WILL EXPAND AND BE REMODELED, THE BATH ROOM ON THE 1st FLOOR WILL BE REMODELED AND BECOME A GUEST BATH FOR THE NEW GUEST BEDROOM. THE DINING ROOM WILL RELOCATE AND THERE WILL BE NEW WINDOWS AND ACCESS DOOR TO THE BACK YARD. THE 2nd FLOOR WILL ALSO EXPAND SLIGHTLY, INCREASING THE LANDING. THE EXISTING BATHROOM WILL EXPAND, A NEW BATHROOM WILL BE ADDED FOR BED ROOM #2. THE LAUNDRY WILL RELOCATE TO THE 2nd FLOOR, AND THE MASTER BATH ROOM WILL BE REMODELED. THE EXTERIOR WILL BE MODIFIED WITH CRAFTSMAN ELEMENTS AND THE STUCCO EXTERIOR WILL BE REPLACED WITH HARDIE BOARD SIDING. THE ROOF EXTENSION AND NEW DORMERS WILL BE ROOFED WITH COMPOSITION ASPHALT SHINGLES. THE ENTIRE ROOF WILL CHANGED FROM LIGHT WEIGHT CONCRETE TILES TO CERTAINTED PRESIDENTIAL TL ASPHALT TILES.

**830 ROLLIN STREET
 LEGAL DESCRIPTION:**

YEAR BUILT: 1983 MAP BOOK, PAGE AND PARCEL: 5314 016 015
 RAISED FLOOR, STUCCO & STONE VENEER EXTERIOR,
 LIGHT WEIGHT CONCRETE TILE ROOF
 ZONING: RS LOW DENSITY
 SUBDIVISION: HUNT TRACT
 OCCUPANCY GROUP: SFR CONSTRUCTION TYPE: V-B (EXISTING NOT SPRINKLERED)
 PROPOSED HOUSE AND NEW ADDITION TO BE SPRINKLERED UNDER SEPARATE PERMIT

STATISTICS:

PARCEL AREA:	9,150 SQ.FT.
EXISTING 1st FLOOR AREA:	1,251 SQ.FT.
PROPOSED ADDITION to the 1st FLOOR: (95 SQ.FT. AT FRONT, 17 SQ.FT. IN GARAGE)	112 SQ.FT.
EXISTING 2nd FLOOR AREA:	1,292 SQ.FT.
PROPOSED ADDITION to the 2nd FLOOR: (133 SQ.FT. @ BALCONY, 44 SQ.FT. AT LANDING)	177 SQ.FT.
EXISTING LIVABLE AREA:	2,543 SQ.FT.
TOTAL NEW LIVABLE AREA:	289 SQ.FT.
* TOTAL PROPOSED LIVABLE AREA:	2,832 SQ.FT.
EXISTING ATTACHED GARAGE: 20'-25" x 21'-2"	477 SQ.FT.
PROPOSED ATTACHED GARAGE: (W/ REDUCED STORAGE AREA)	460 SQ.FT.
EXISTING COVERED PORCH: (@ FRONT ENTRY)	78 SQ.FT.
PROPOSED COVERED PORCH: (@ FRONT ENTRY)	50 SQ.FT.
EXISTING F.A.R.: (1st & 2nd FLOOR)	2,543 SQ.FT.
PROPOSED F.A.R.: (1st & 2nd FLOOR W/ 289 SQ.FT. ADDITIONS)	2,832 SQ.FT.
ALLOWABLE F.A.R.: (35% of LOT)	3,202 SQ.FT.
EXISTING LOT COVERAGE: (1st FLOOR, GARAGE & FRONT PORCH)	1,806 SQ.FT.
PROPOSED LOT COVERAGE: (1st FLOOR, GARAGE & 1st FLOOR ADDITION)	1,873 SQ.FT.
ALLOWABLE LOT COVERAGE: (50%)	4,575 SQ.FT.

EXISTING BEDROOMS: 3, PROPOSED BEDROOMS: 4
 FRONT YARD SET BACK: 67'-3.5" REAR YARD SET BACK: 32'-9"
 RIGHT YARD SET BACK: 12'-3" LEFT YARD SET BACK: 10'-0"

* LIVABLE AREA CALCULATIONS INCLUDE EXTERIOR WALLS

DRIVEWAY ACCESS TO 1521, 1517, 1513, 1505 and 1501 MERIDIAN AVE.

1 PROPOSED SITE PLAN
 A-1 1/8" = 1'-0"

REVISIONS	DATE

DAHL ARCHITECTS
 1134 EL CENTRO ST. SOUTH PASADENA, CA 91030
 OFFICE PHONE: 626 564-0011 FAX: 626 564-1591



KWONG RESIDENCE
830 ROLLIN ST.
SOUTH PASADENA, CA 91030

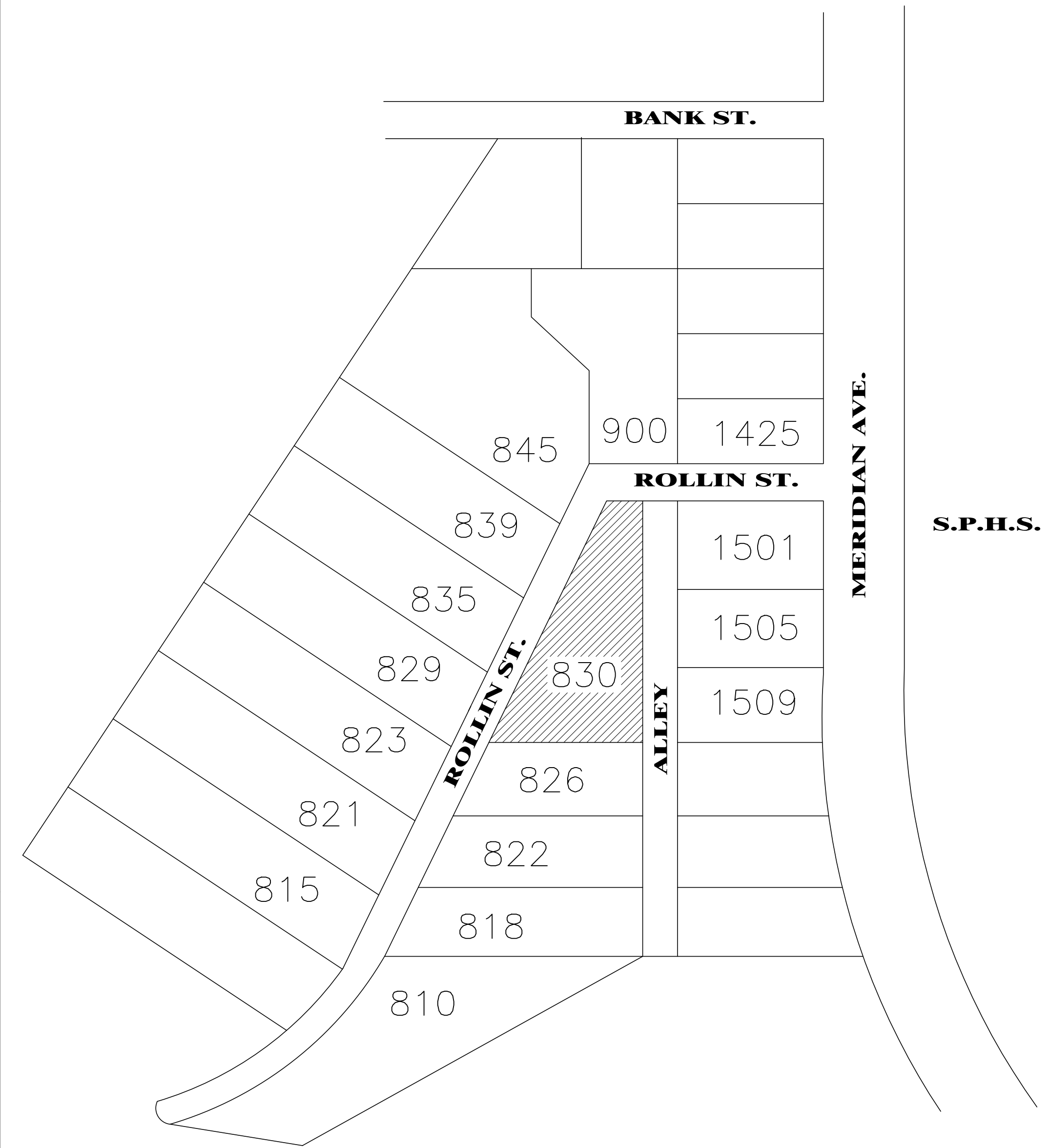
Title
 COVER SHEET /
 SITE PLANS
 ROOF PLAN



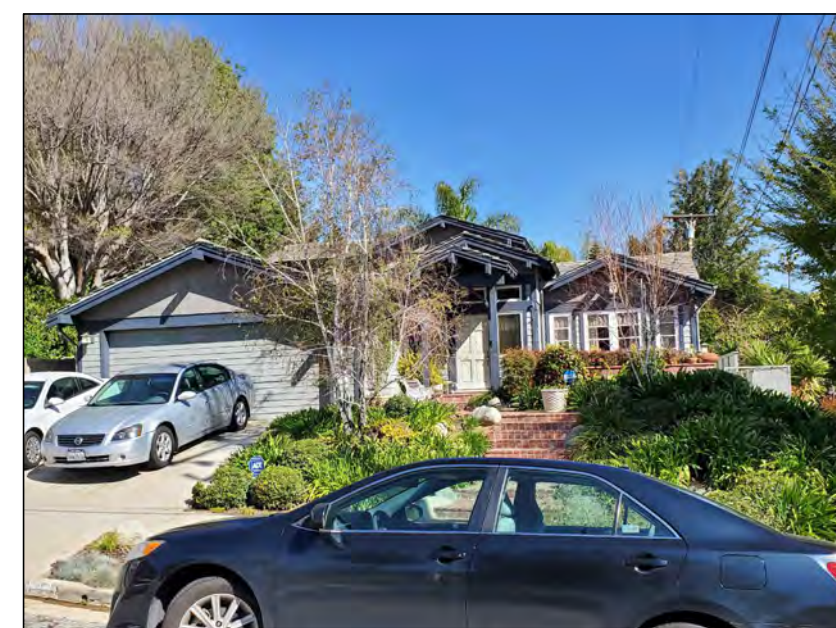
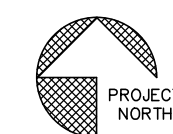
830 ROLLIN ST.
SUBJECT PROPERTY
SHOWN FROM NORTH



830 ROLLIN ST.
SUBJECT PROPERTY
SHOWN FROM WEST



1 PHOTO KEY/VICINITY MAP
A-1.5 N.T.S.



900 ROLLIN ST.



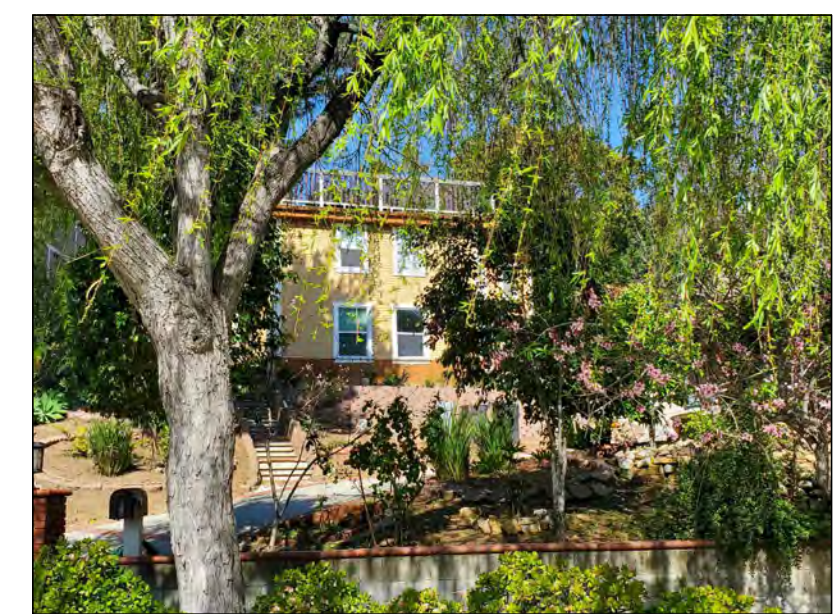
845 ROLLIN ST.



839 ROLLIN ST.



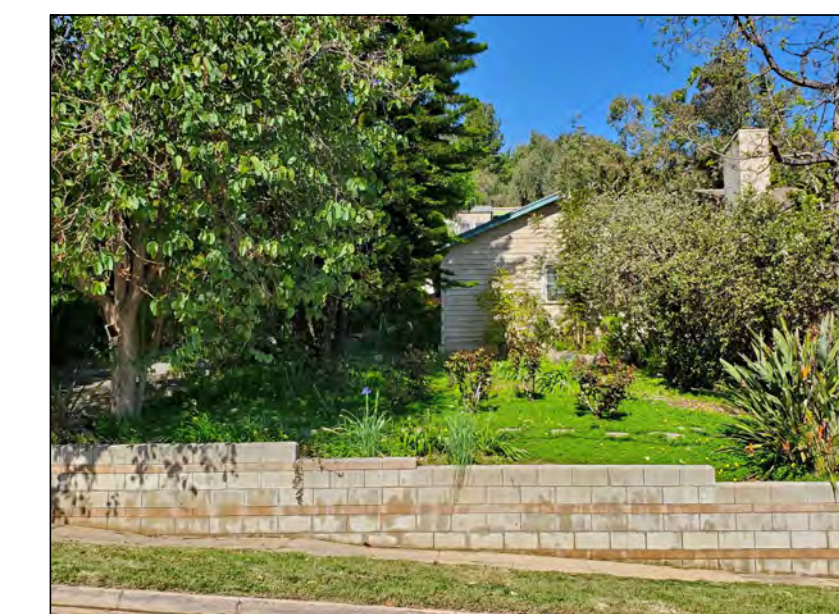
835 ROLLIN ST.



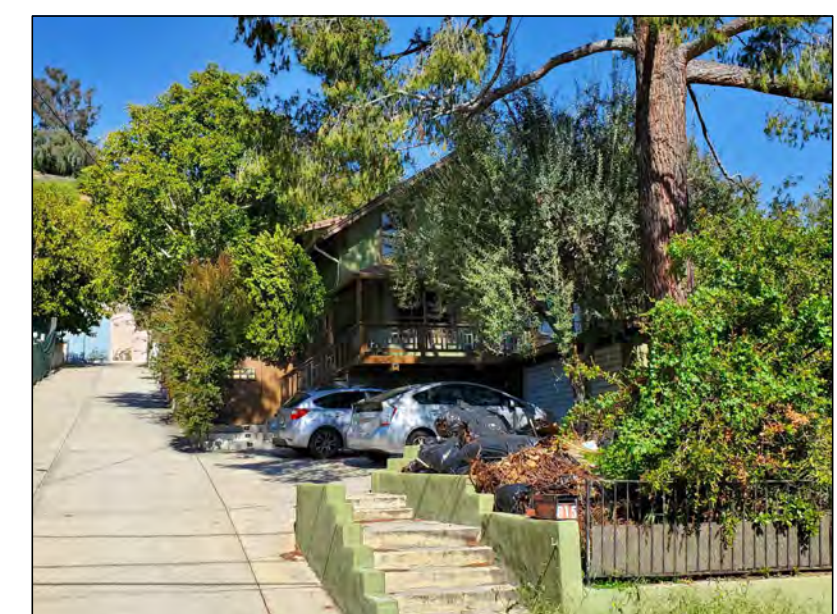
829 ROLLIN ST.



823 ROLLIN ST.



821 ROLLIN ST.



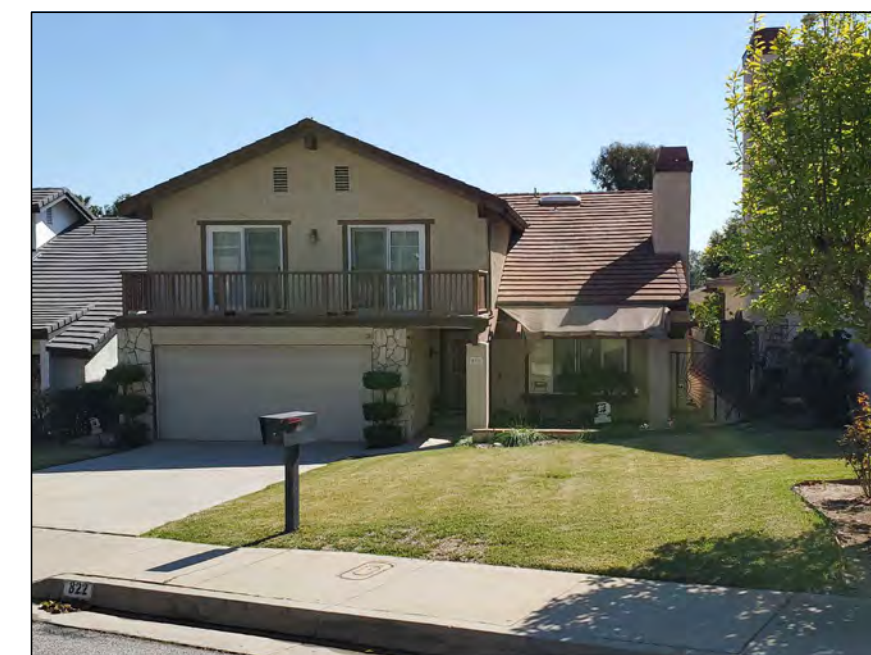
815 ROLLIN ST.



810 ROLLIN ST.



818 ROLLIN ST.



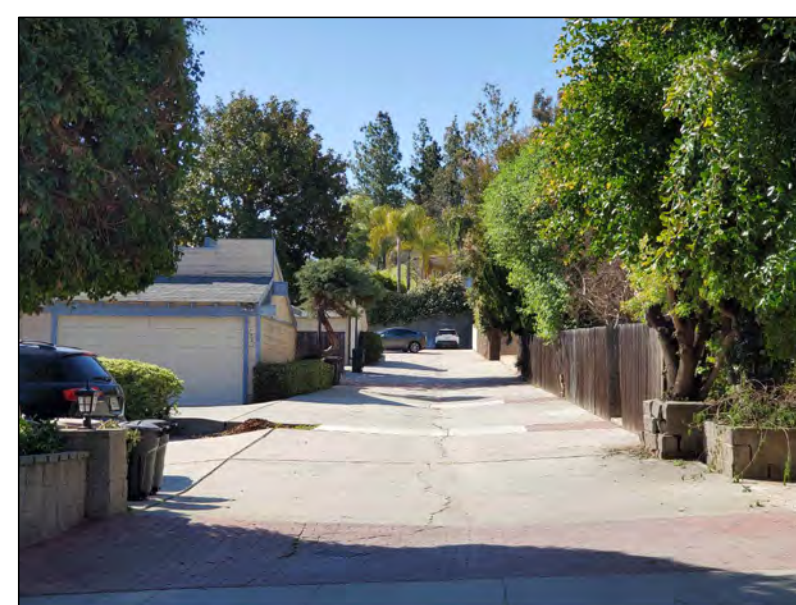
822 ROLLIN ST.



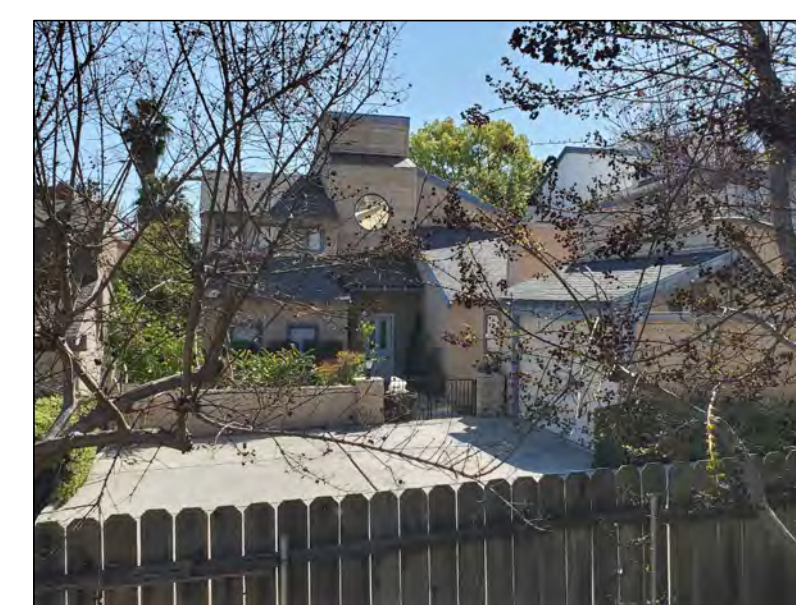
826 ROLLIN ST.



1425 MERIDIAN AVE
VIEW FROM ROLLIN ST. LOOKING NORTH



ALLEY BETWEEN ROLLIN
AND MERIDIAN LOOKING SOUTH
SUBJECT PROPERTY IS ON THE RIGHT



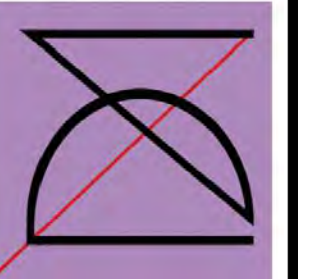
1501 MERIDIAN AVE
VIEW FROM SUBJECT PROPERTY LOOKING EAST



1505 MERIDIAN AVE
VIEW FROM SUBJECT PROPERTY LOOKING EAST

REVISIONS	DATE

DAHL ARCHITECTS
1134 EL CENTRO ST. SOUTH PASADENA, CA 91030
OFFICE PHONE: 626 564-0011 FAX: 626 564-1591



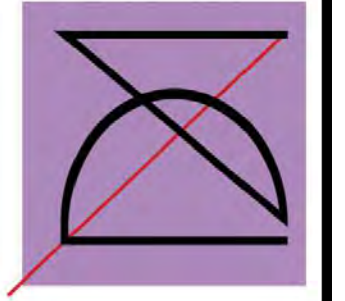
KWONG RESIDENCE
830 ROLLIN ST.
SOUTH PASADENA,
CA 91030

NEIGHBORHOOD
PHOTO SCOPE

Title	
Date	MAR 2023
Scale	N.T.S.
Drawn	T D K
Job	Kwong on Rollin
sheet	2

REVISIONS	DATE

DAHL ARCHITECTS
 1134 EL CENTRO ST. SOUTH PASADENA, CA 91030
 OFFICE PHONE: 626 564-0011 FAX: 626 564-1591



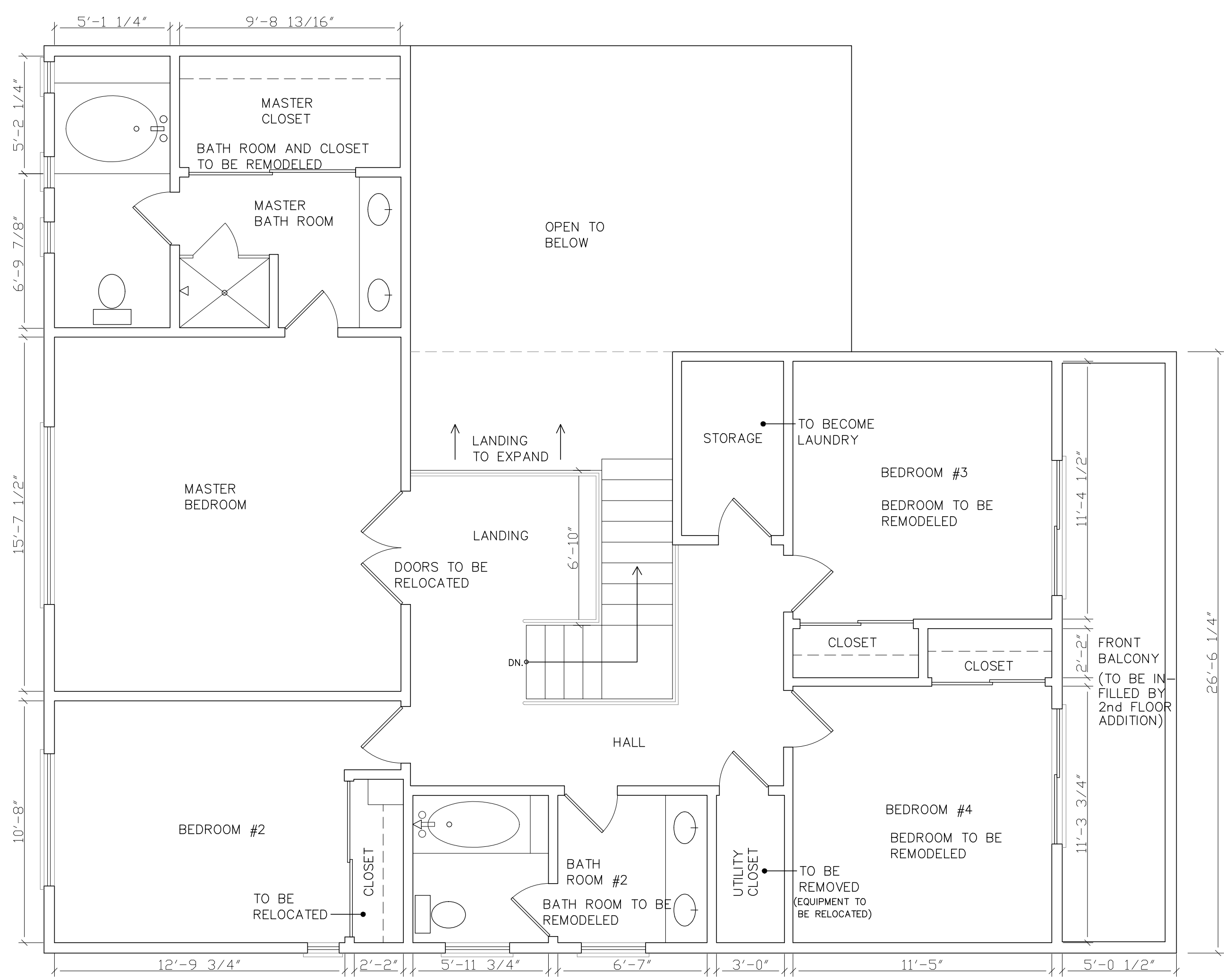
KWONG RESIDENCE
830 ROLLIN ST.
SOUTH PASADENA,
CA 91030

Title
 EXISTING 1st & 2nd
 FLOOR PLANS

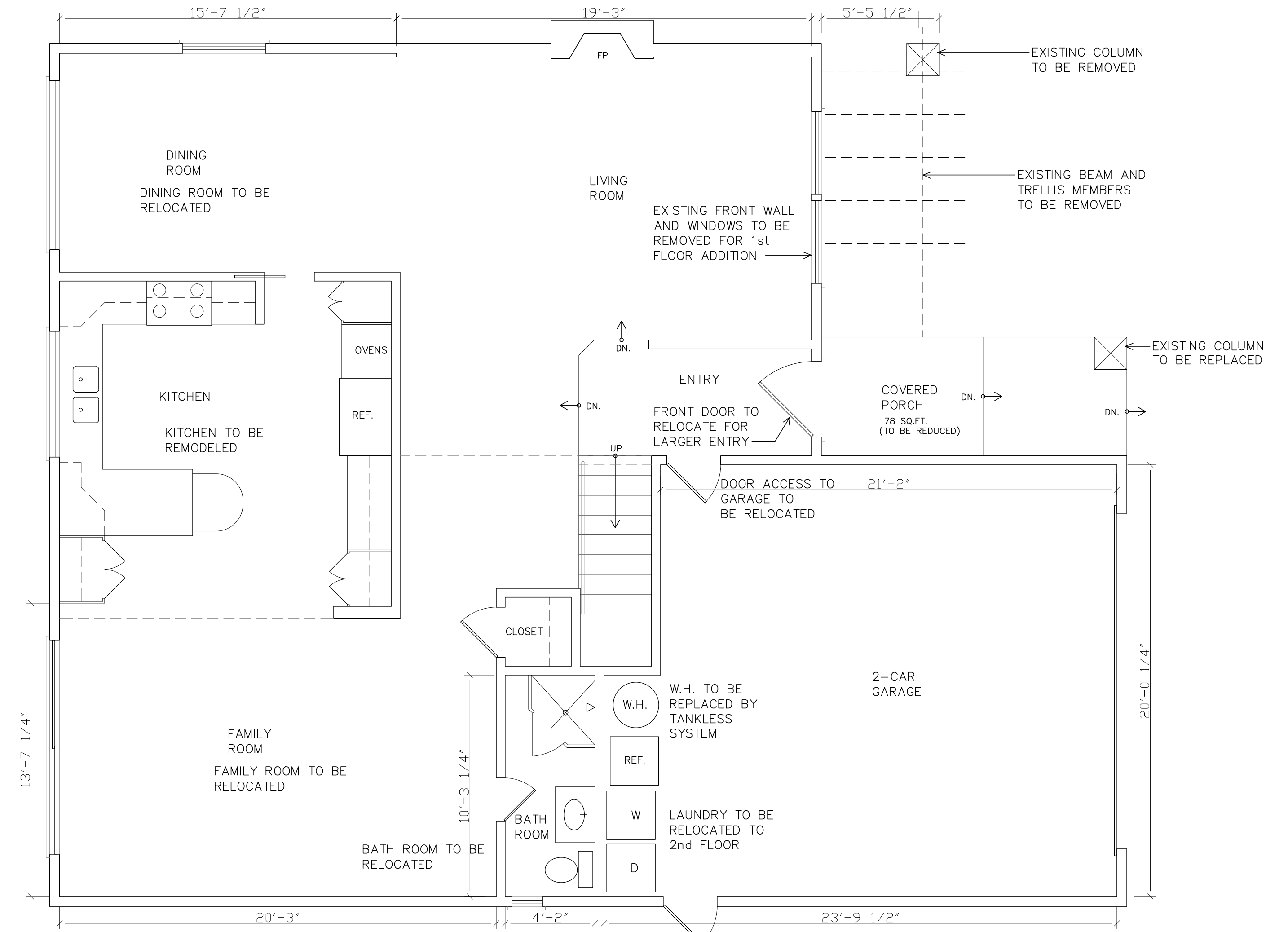
Date **MAR 2023**
 Scale **1/4" = 1'-0"**
 Drawn **T D K**
 Job **Kwong on Rollin**
 sheet **2**

A-2
 of 9 sheets

CALGREEN NOTES



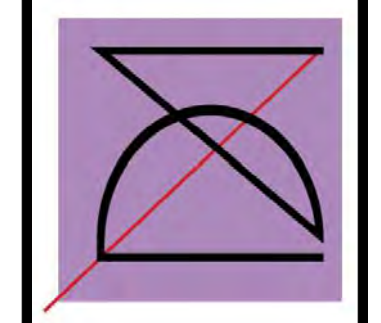
2 EXISTING 2nd FLOOR PLAN
 A-2 1/4" = 1'-0" PROJECT NORTH



1 EXISTING 1st FLOOR PLAN
 A-2 1/4" = 1'-0" PROJECT NORTH

REVISIONS	DATE

DAHL ARCHITECTS
 1134 EL CENTRO ST. SOUTH PASADENA, CA 91030
 OFFICE PHONE: 626-564-0011 FAX: 626-564-1591



KWONG RESIDENCE
830 ROLLIN ST.
SOUTH PASADENA,
CA 91030

Title: **NEW 1st & 2nd FLOOR PLANS SCHEDULES**
 Date: **MAR 2023**
 Scale: **1/4" = 1'-0"**
 Drawn: **T D K**
 Job: **Kwong on Rollin**
 sheet 3

A-3
 of 9 sheets

DOOR SCHEDULE								
NO.	DOOR SIZE	THICK-NESS	DOOR FACE	MATERIAL	TYPE	DOOR FINISH	QUANTITY	REMARKS
①	3'-0" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	1	NEW FRONT DOOR CRAFTSMAN STYLE
②	2'-3'-0" X 6'-8"	1 3/4"	PANEL	WOOD	FRENCH	PAINTED	1	STORAGE CLOSET
③	2'-8" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	6	
④	2'-8" X 6'-8"	1 3/4"	PANEL	WOOD	POCKET	PAINTED	2	
⑤	2'-8" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	1	20 MIN. RATED GASKETED
⑥	6'-0" X 6'-8"	1 3/4"	GLAZING	WOOD	SLIDER	PAINTED	1	SLIDING GLASS DOOR TEMP. GLASS, LOCKABLE
⑦	2'-6" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	6	
⑧	3'-0" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	FACTORY	1	LAUNDRY ROOM
⑨	2'-8" X 6'-8"	1 3/4"	3-LITE	WOOD	SWING	FACTORY	1	EXTERIOR, LOCKABLE

WINDOW SCHEDULE											
NO.	WINDOW SIZE	TYPE	GLAZING	FRAME	FINISH	SILL HEIGHT	QUANT.	REMARKS	MANUFACTURER	COMMENT	
Ⓐ	3'-10"W. X 6'-0"H.	CASEMENT	DOUBLE	CLAD	FACTORY	1'-8"	2		JELD WEN SITELINE SERIES	7'-8" PL. HT.	
Ⓑ	5'-0"W. X 3'-8"H.	DBL. CASEMENT	DOUBLE	CLAD	FACTORY	3'-0"	1	TEMP.	JELD WEN SITELINE SERIES	KITCHEN	
Ⓒ	5'-0"W. X 5'-0"H.	DBL. CASEMENT	DOUBLE	CLAD	FACTORY	1'-8"	1		JELD WEN SITELINE SERIES	BEDRM.	
* Ⓓ	1'-4"W. X 4'-8"H.	DBL. HUNG	DOUBLE	CLAD	FACTORY	2'-0"	1	(E) WINDOW REPLACE W/ TEMP. GL.		BATHRM.	
* Ⓔ	3'-0"W. X 1'-8"H.	AWNING	DOUBLE	CLAD	FACTORY	5'-0"	1	TEMP.	JELD WEN SITELINE SERIES	LAUNDRY ROOM	
* Ⓕ	1'-4"W. X 4'-5"H.	DBL. HUNG	DOUBLE	CLAD	FACTORY	3'-6"	4	(E) WINDOW REPLACE W/ TEMP. GL.		BATHRM.	
* Ⓖ	1'-4"W. X 3'-6"H.	DBL. HUNG	DOUBLE	CLAD	FACTORY	3'-2"	2	(E) WINDOW REPLACE W/ TEMP. GL.			
Ⓗ	3'-0"W. X 5'-0"H.	CASEMENT	DOUBLE	CLAD	FACTORY	1'-8"	4		JELD WEN SITELINE SERIES	BEDRM.	

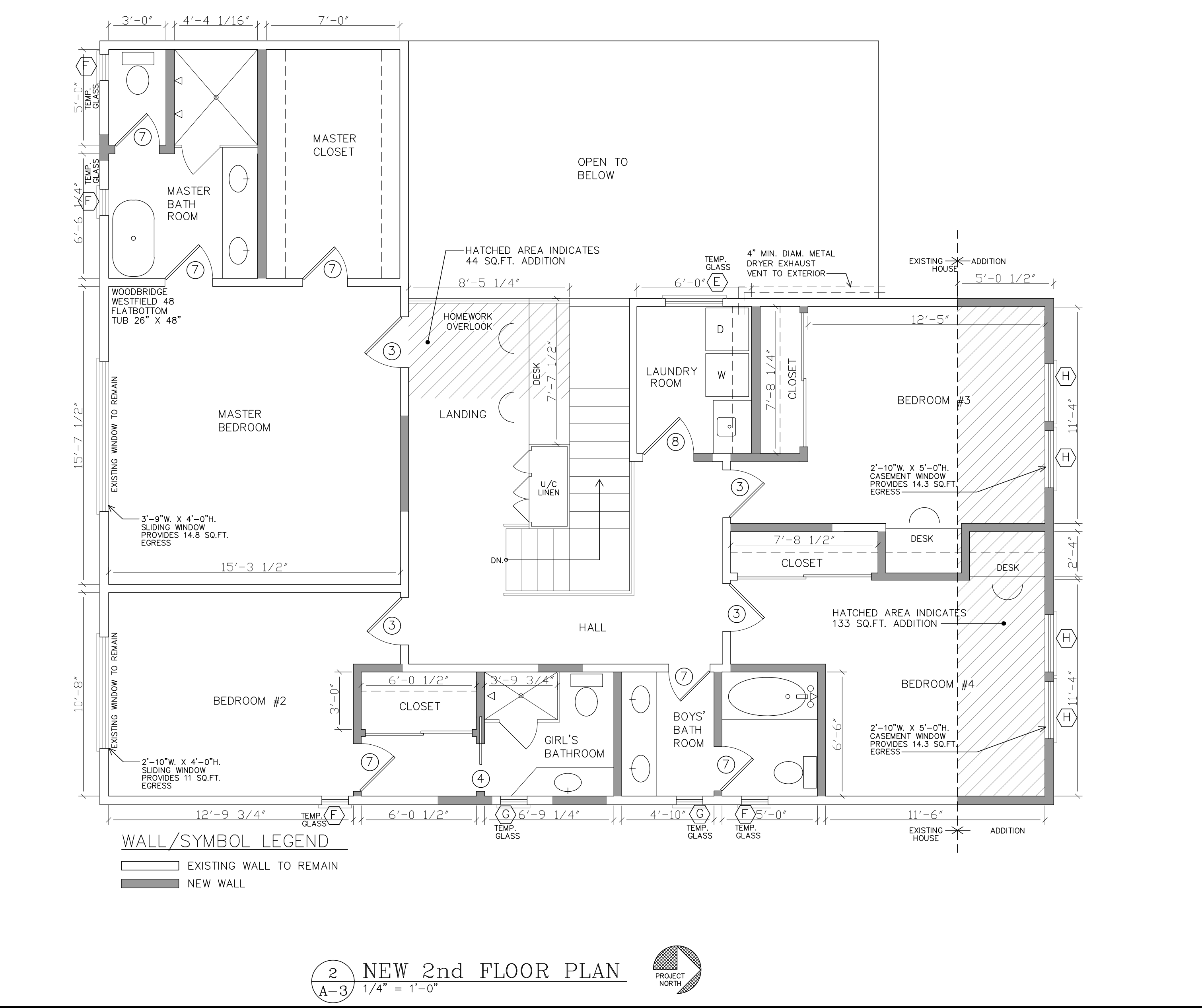
* DENOTES EXISTING WINDOW TO HAVE EXISTING GLAZING REPLACED WITH TEMPERED GLASS

- NOTES:**
- 1) PROVIDE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE IN EVERY ROOM USED FOR SLEEPING PURPOSES. WINDOWS, WHEN USED, SHALL PROVIDE A MIN. CLEAR OPEN AREA OF 5.7 sq.ft., A MIN. CLEAR HEIGHT OF 24", AND A MIN. CLEAR WIDTH OF 20" AND A MAX. FINISHED SILL HEIGHT OF 44" ABOVE FIN. FLOOR. ESCAPE AND RESCUE WINDOWS WITH A FIN. SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL HAVE A WINDOW WELL. SEE BEDROOM WINDOWS ON PLAN FOR SILL HT., CLEAR OPEN AREA AND CLEAR WIDTH.
 - 2) BATH ROOM MIN. WINDOW AREA TO BE 1-1/2 SQ.FT. OPENABLE, OR PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR.
 - 3) INSULATION FOR WALLS TO BE R-15, CEILING TO BE R-30, AND RAISED FLOOR TO BE R-19, IN COMPLIANCE WITH IBC 510.
 - 4) ALL NEW WINDOWS TO BE WOOD/CLAD MARVIN ELEVATE FIXED OR DOUBLE HUNG FACTORY PAINTED DESIGNER BLACK. NEW EXTERIOR DOORS TO BE MARVIN COASTLINE FACTORY PAINTED.
 - 5) GLAZING WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE SAFETY GLAZED.
 - 6) GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS SHALL BE SAFETY GLAZED.
 - 7) GLAZING IN SHOWER AND BATHTUB AREAS SHALL BE TEMPERED GLASS WHERE OCCURS. CBC 2406

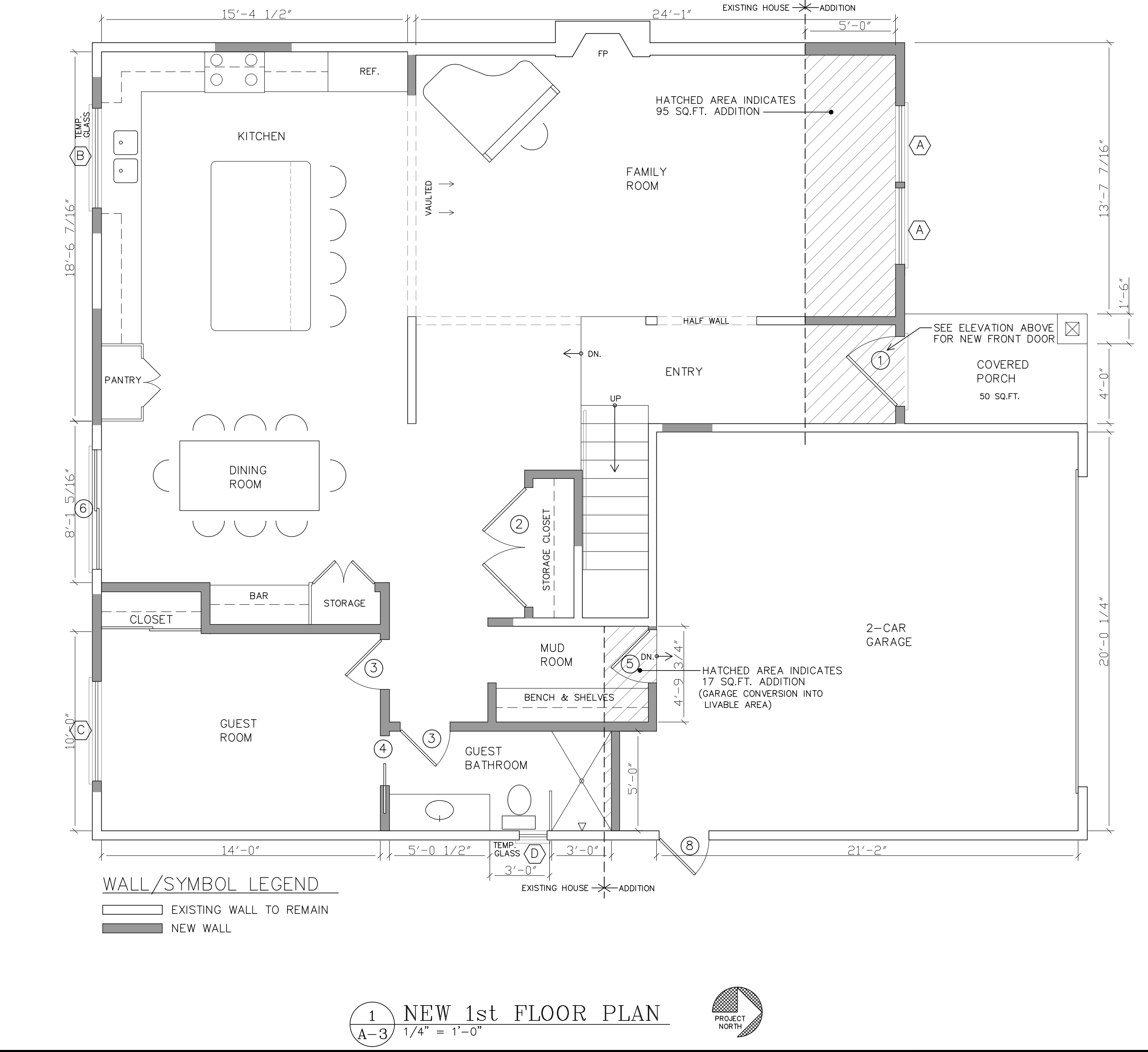


FRONT DOOR
 JELD-WEN CARBON GRAY FINISHED FIBERGLASS DOOR WITH CRAFTSMAN STYLE STAINED GLASS

CONTRACTOR TO VERIFY WITH OWNER FOR ALL DOORS AND WINDOWS TYPES
 CONTRACTOR TO VERIFY WITH OWNER FOR ALL DOOR AND WINDOW ELEVATIONS
 ALL GLAZING ADJACENT TO BATHTUBS AND WITHIN 5 FT. FROM TUB SHALL BE TEMPERED GLASS.
 ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION.
 DOORS & WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES ARE MANUFACTURED TO LIMIT AIR LEAKAGE.
 FENESTRATION PRODUCTS HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION THAT MEETS THE REQUIREMENTS OF §10-111(g).
 EXTERIOR DOORS & WINDOWS ARE WEATHER-STRIPPED; ALL JOINTS & PENETRATION ARE CAULKED AND SEALED.
 INSULATION SPECIFIED OR INSTALLED MEETS STANDARDS FOR INSULATING MATERIAL. MINIMUM R-19 INSULATION IN WOOD FRAMED CEILING OR EQUIVALENT U-FACTOR. MINIMUM R-15 INSULATION IN WOOD FRAMED WALL AND FLOOR OR EQUIVALENT U-FACTOR. LOOSE FILL INSULATION SHALL CONFORM WITH MANUFACTURER'S INSTALLED DESIGN LABELED R-VALUE.



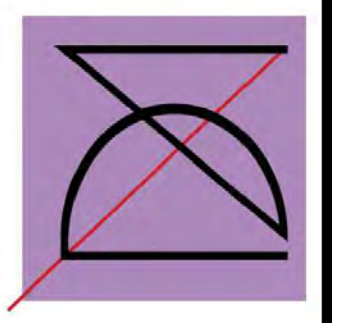
2 NEW 2nd FLOOR PLAN
 1/4" = 1'-0"



1 NEW 1st FLOOR PLAN
 1/4" = 1'-0"

REVISIONS	DATE

DAHL ARCHITECTS
 1134 EL CENTRO ST., SOUTH PASADENA, CA 91030
 OFFICE PHONE: 626 564-0011 FAX: 626 564-1591

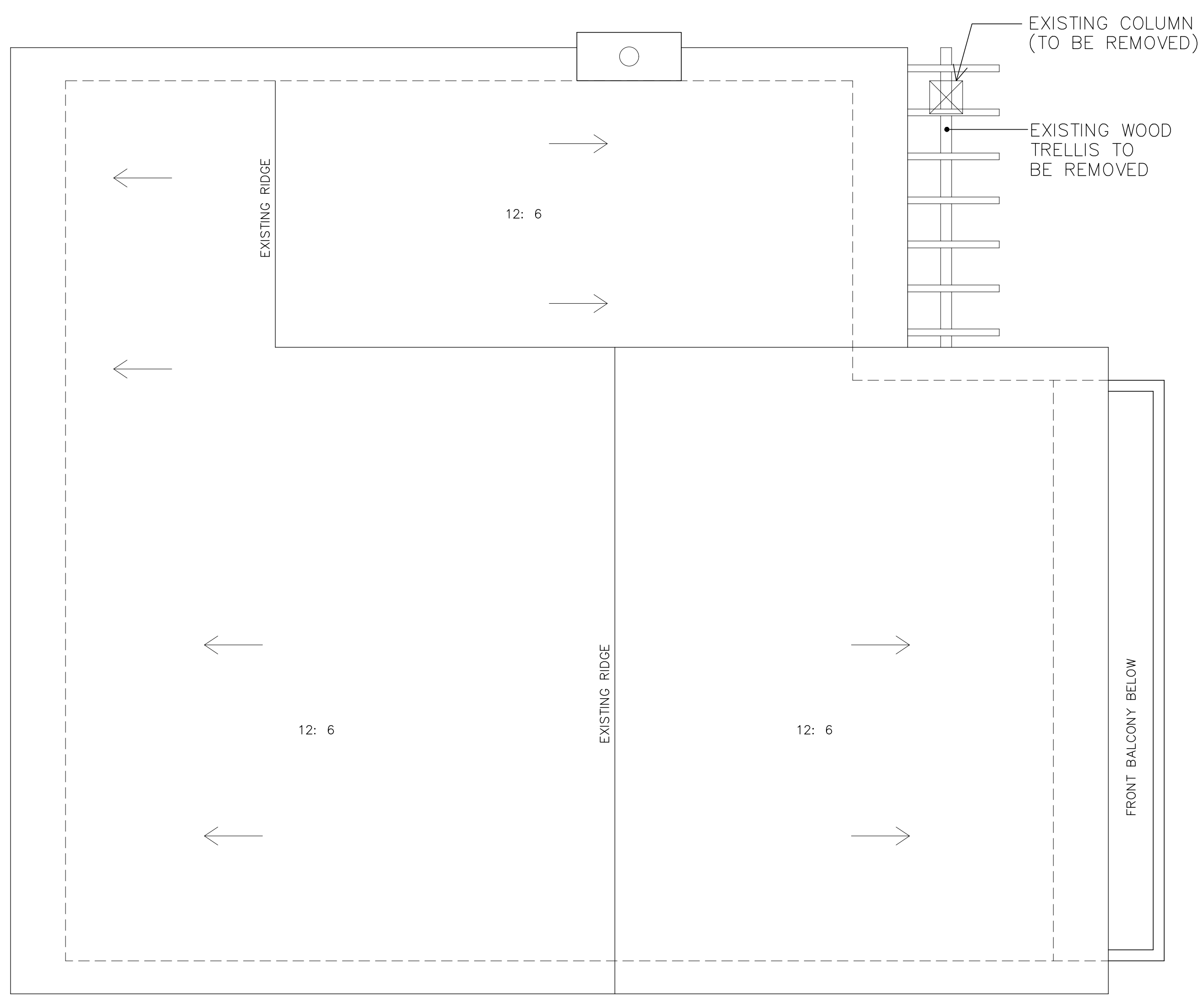


KWONG RESIDENCE
830 ROLLIN ST.
SOUTH PASADENA, CA 91030

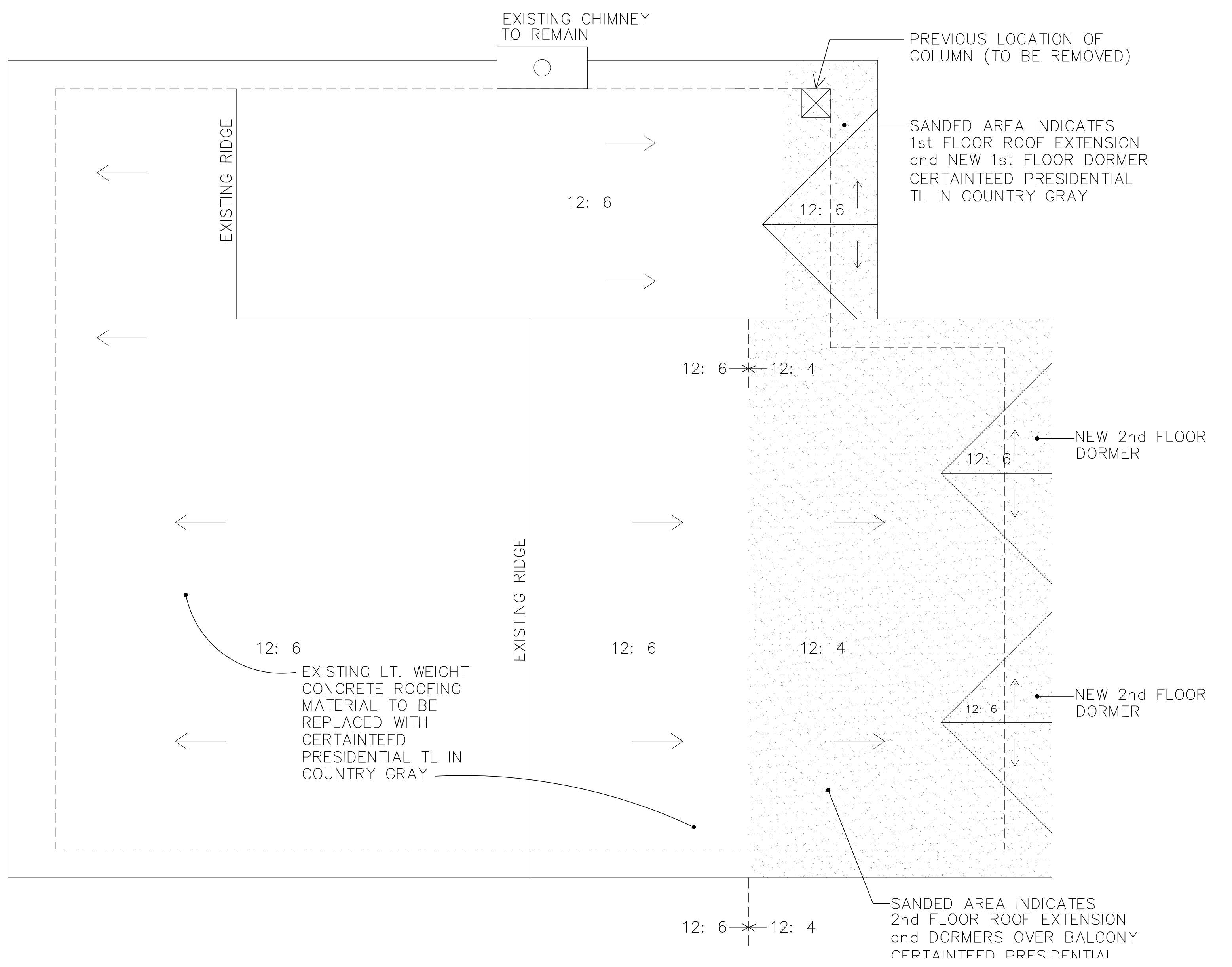
Title
 EXISTING & NEW
 ROOF PLANS

Date **MAR 2023**
 Scale **AS NOTED**
 Drawn **T D K**
 Job **Kwong on Rollin**
 sheet **4**

A-4
 of 9 sheets



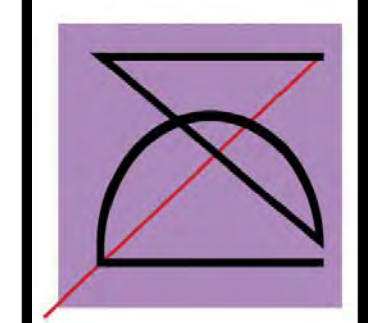
1 EXISTING ROOF PLAN
 A-4 1/4" = 1'-0" PROJECT NORTH



2 NEW ROOF PLAN
 A-4 1/4" = 1'-0" PROJECT NORTH

REVISIONS	DATE

DAHL ARCHITECTS
 1134 EL CENTRO ST. SOUTH PASADENA, CA 91030
 OFFICE PHONE: 626 564-0011 FAX: 626 564-1591

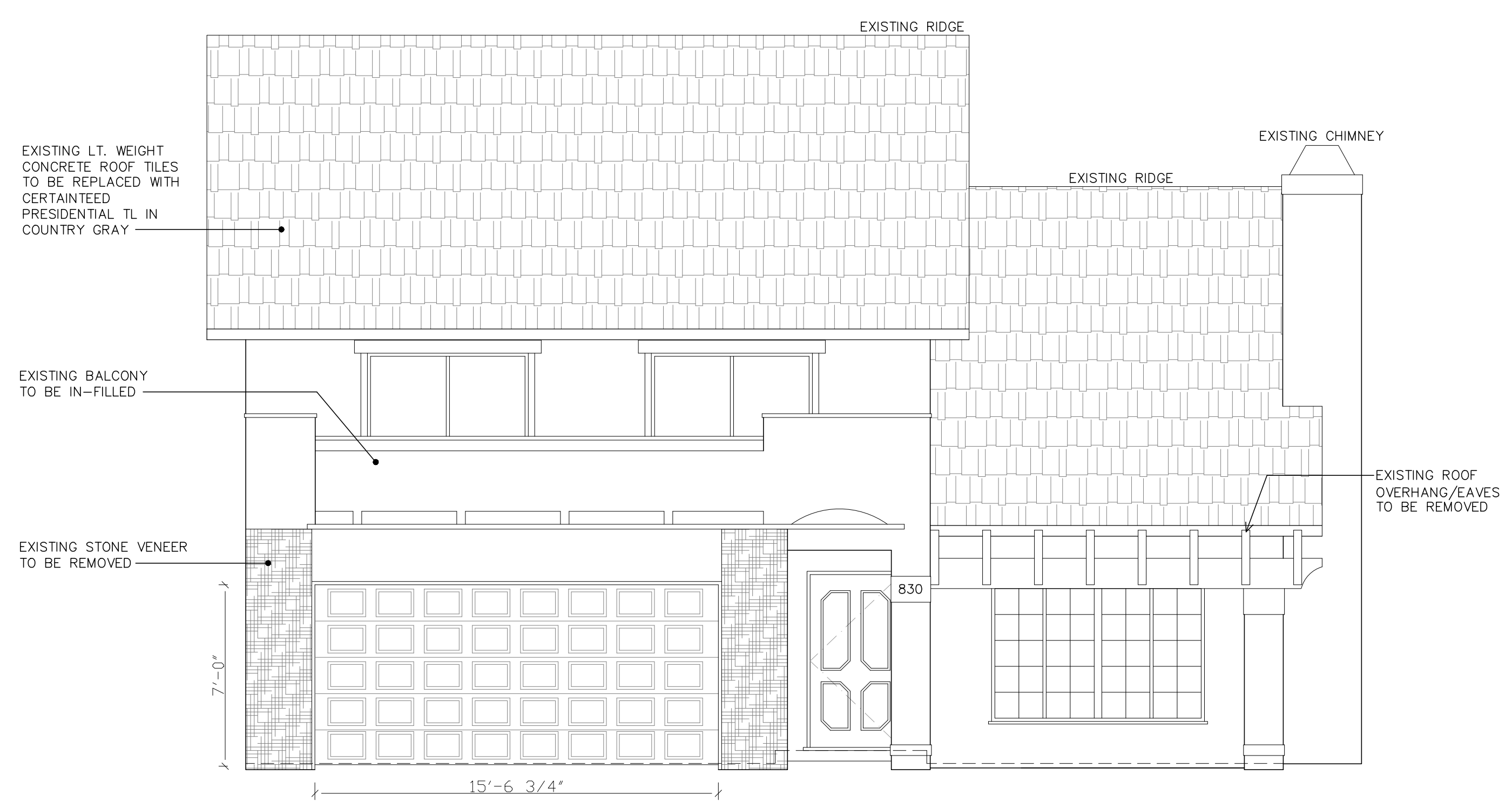


KWONG RESIDENCE
830 ROLLIN ST.
SOUTH PASADENA,
CA 91030

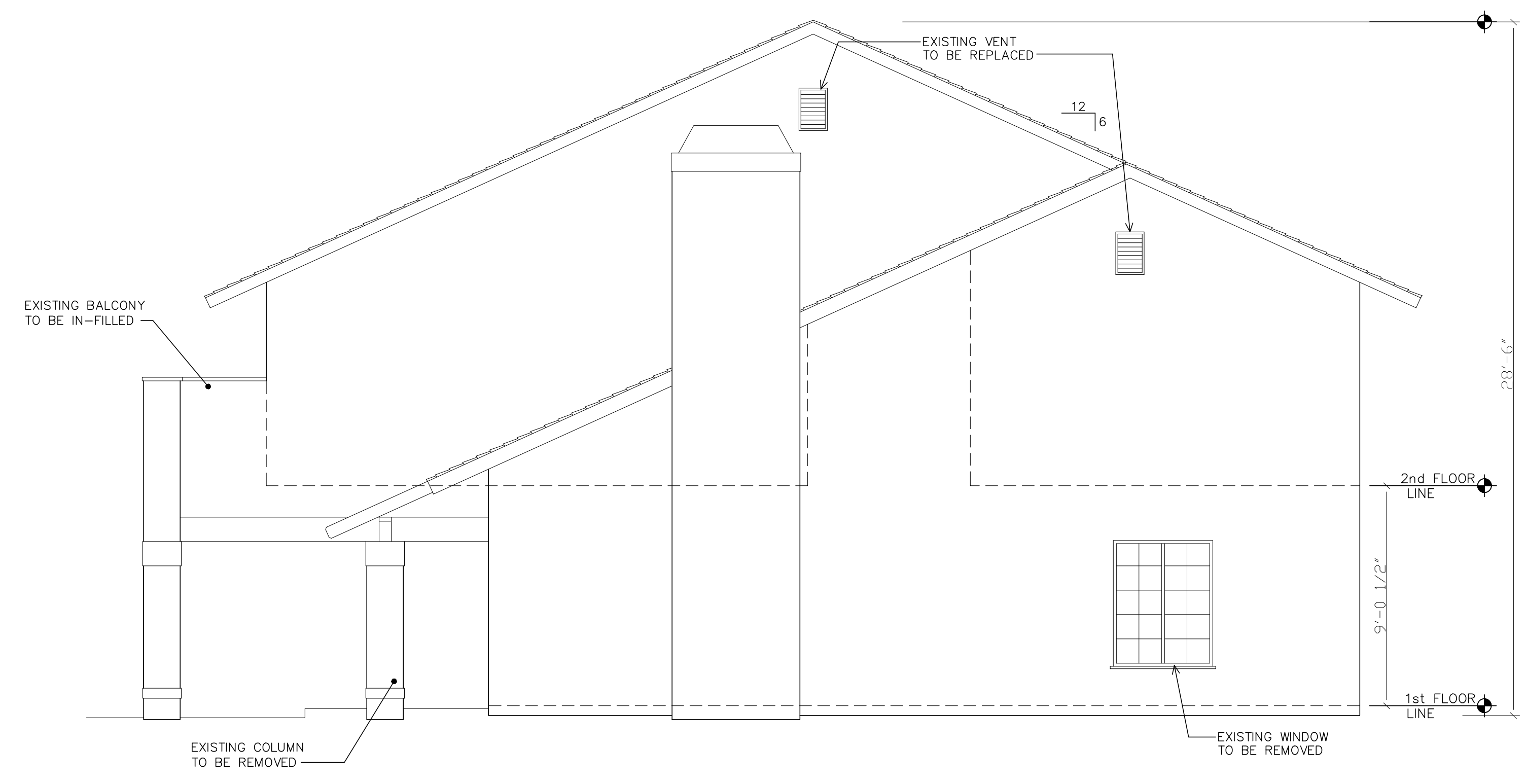
Title
 EXISTING EXTERIOR
 ELEVATIONS/
 ARCH DETAILS

Date **MAR 2023**
 Scale **AS NOTED**
 Drawn **T D K**
 Job **Kwong on Rollin**
 sheet 5

A-5
 of 9 sheets



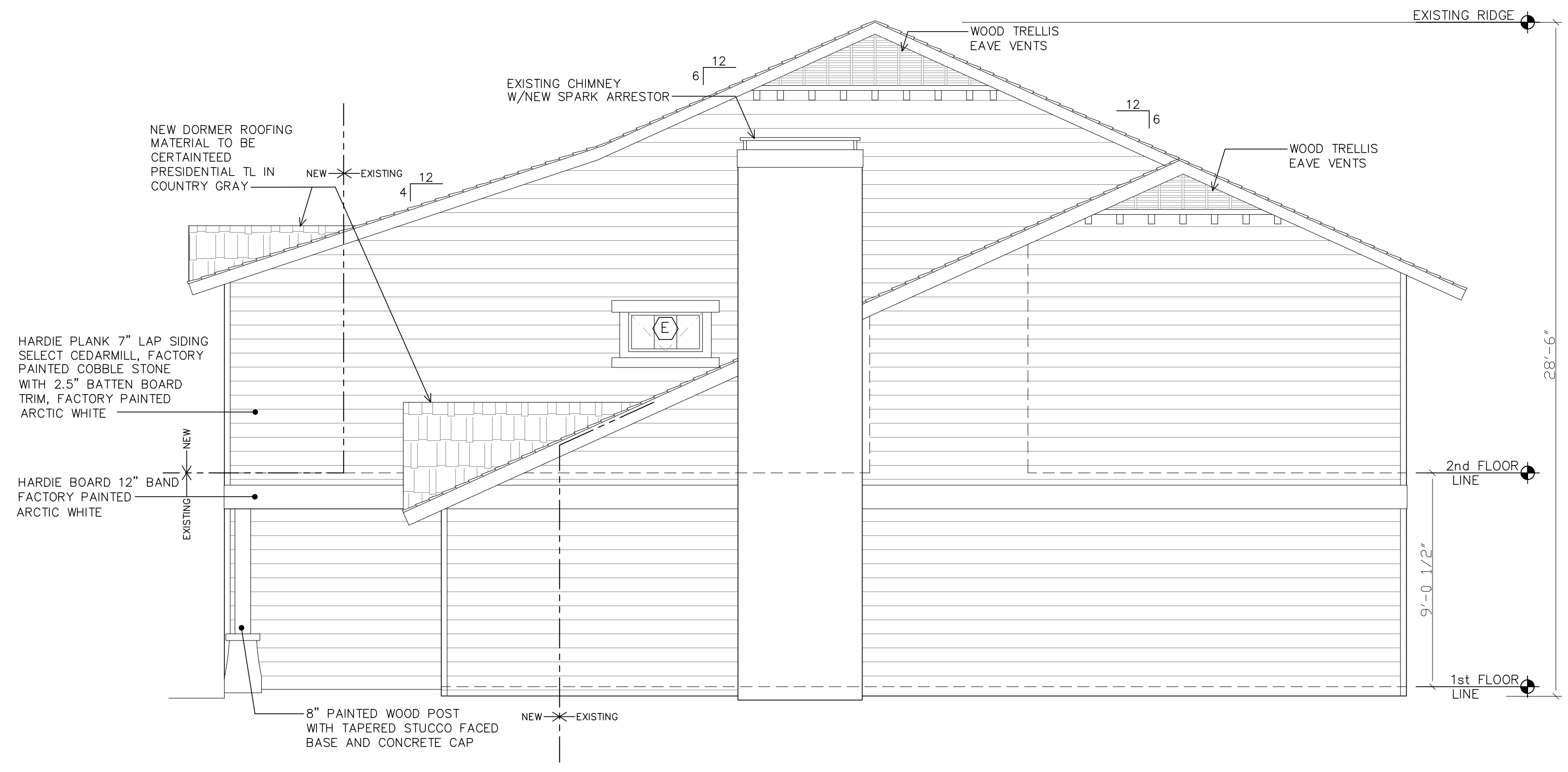
4
A-5 1/4" = 1'-0"
EXISTING NORTH ELEVATION
 (FRONT)



3
A-5 1/4" = 1'-0"
EXISTING WEST ELEVATION
 ROLLIN ST. (SIDE)



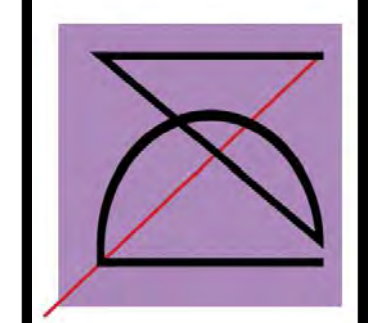
2
A-5 1/4" = 1'-0"
NEW NORTH ELEVATION



1
A-5 1/4" = 1'-0"
NEW WEST ELEVATION

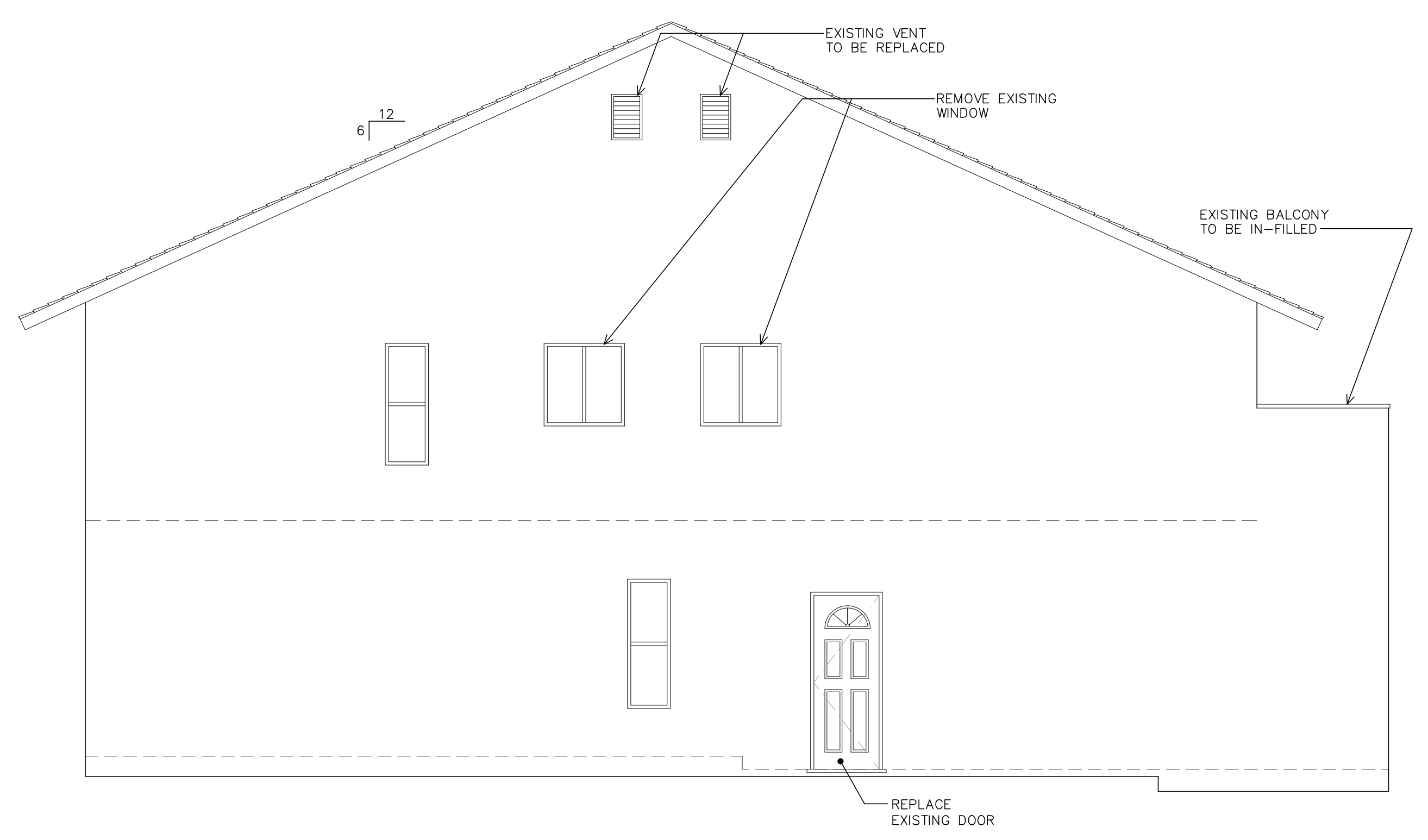
REVISIONS	DATE

DAHL ARCHITECTS
 1134 EL CENTRO ST. SOUTH PASADENA, CA 91030
 OFFICE PHONE: 626 564-0011 FAX: 626 564-1591

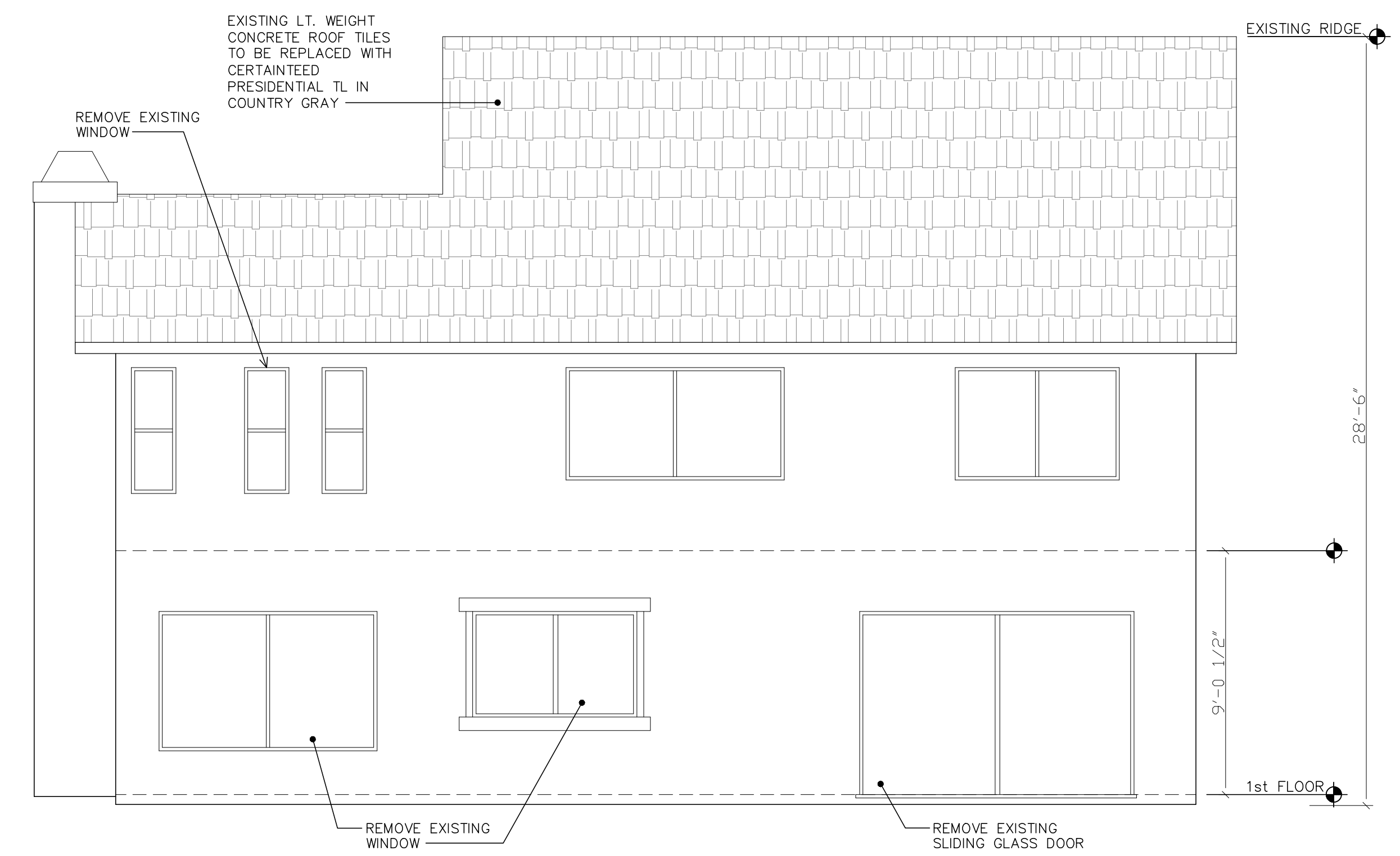


KWONG RESIDENCE
830 ROLLIN ST.
SOUTH PASADENA,
CA 91030

Title: **EXISTING EXTERIOR ELEVATIONS/ ARCH DETAILS**
 Date: **MAR 2023**
 Scale: **AS NOTED**
 Drawn: **T D K**
 Job: **Kwong on Rollin**
 sheet 5
A-6
 of 9 sheets



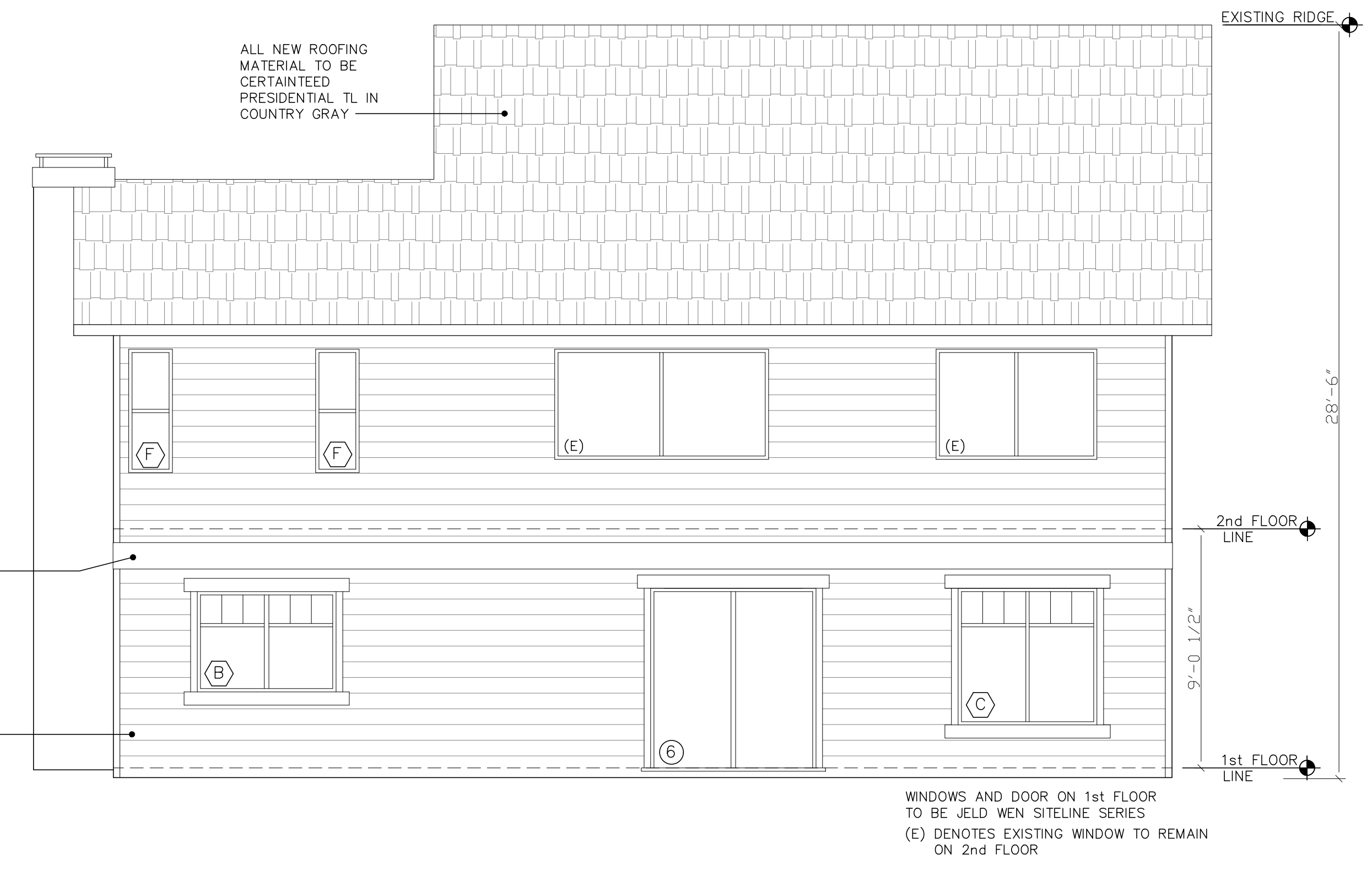
4
A-6 1/4" = 1'-0"
EXISTING EAST ELEVATION
 (REAR)



3
A-6 1/4" = 1'-0"
EXISTING SOUTH ELEVATION
 (SIDE)



2
A-6 1/4" = 1'-0"
NEW EAST ELEVATION



1
A-6 1/4" = 1'-0"
NEW SOUTH ELEVATION

WINDOWS AND DOOR ON 1st FLOOR TO BE JELD WEN SITELINE SERIES
 (E) DENOTES EXISTING WINDOW TO REMAIN ON 2nd FLOOR