



**CITY OF SOUTH PASADENA  
DESIGN REVIEW BOARD  
REGULAR MEETING AGENDA**

**Thursday, March 4, 2021 at 6:30 p.m.**

*South Pasadena Design Review Board Statement of Civility*

*As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.*

**NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY**

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the meeting of the Design Review Board will be conducted remotely and held by video conference. The meeting will be broadcast live on the City's Design Review Board website ([Design Review Board Meeting](#)).

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chambers will not be open for the meeting. Board members will be participating remotely and will not be physically present in the Council Chambers.

The Design Review Board welcomes public input. Members of the public may provide comments to the Design Review Board by emailing: [PlanningComments@southpasadenaca.gov](mailto:PlanningComments@southpasadenaca.gov) or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Thursday, March 4, 2021** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) what agenda item you are submitting public comment on, or if it is a general public comment. All comments/questions received will be distributed to the Board for consideration and will also be posted on the City's website prior to the meeting.

**CALL TO ORDER:**

Chair Mark Smeaton

**ROLL CALL:**

Joe Carlson, Melissa Hon Tsai, Kay Younger, Samantha Hill, Vice-Chair, and Mark Smeaton, Chair

**COUNCIL LIAISON:**

Diana Mahmud, Mayor, Council Liaison

**STAFF PRESENT:**

Kanika Kith, Planning Manager  
Malinda Lim, Associate Planner

**APPROVAL OF AGENDA**

Majority vote of the Board to proceed with Board business.

**DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS**

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

**PUBLIC COMMENTS AND SUGGESTIONS**

Members of the public may provide general public comments the Design Review Board by emailing: [PlanningComments@southpasadenaca.gov](mailto:PlanningComments@southpasadenaca.gov) or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Thursday, March 4, 2021** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) stating it is for general public comments/suggestions.

Pursuant to state law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

**PUBLIC HEARING**

- 1. **Project No. 2343-SGN (Continued) –Sign Permit for an existing grocery store, Pavilions Grocery Store, located at 1213 Fair Oaks Avenue.**

Recommendation

Approve, subject to conditions of approval.

- 2. **Project No. 2326 – DRX/SGN – Design Review for a remodel and new business signs for an existing 1,672 square-foot commercial restaurant building located at 710 Fair Oaks Avenue.**

Recommendation

Approve, subject to conditions of approval.

**CONSENT ITEMS**

None

**PRESENTATIONS**

None

**DISCUSSION ITEMS**

- 3. Phase 2, Accessory Dwelling Units (ADUs) Ordinance Update: Project Introduction – Facilitating ADUs while implementing historic preservation standards.**

**Recommendation**

Receive presentation and provide feedback

**ADMINISTRATION**

- 4. Comments from City Council Liaison**
- 5. Comments from Board Members**
- 6. Comments from Subcommittees**
- 7. Comments from Staff**

**ADJOURNMENT**

- 8. Adjourn to the regular Design Review Board meeting scheduled for April 1, 2021 at 6:30 p.m.**

**PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS**

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website. The meeting will be broadcast live on the City’s website via Zoom, and a recording of the meeting will be available on the website within 48 hours of adjournment.

**AGENDA NOTIFICATION SUBSCRIPTION**

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing [CityClerk@southpasadenaca.gov](mailto:CityClerk@southpasadenaca.gov) or calling the City Clerk’s Division at (626) 403-7230.

**ACCOMMODATIONS**



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

*I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.*

2/25/21

Date

Elaine Serrano,  
Administrative Secretary



## Design Review Board Agenda Report

ITEM NO. 1

**DATE:** March 4, 2021

**TO:** Chair and Members of the Design Review Board

**FROM:** Kanika Kith, Planning Manager

**VIA:** Lisa Krause, Contract Planner  
Malinda Lim, Associate Planner

**SUBJECT:** Project No. 2343-SGN (Continued) – Sign Permit for an existing 33,355 square-foot grocery store (Pavilions Grocery Store) located at 1213 Fair Oaks Avenue (APN No: 5319-002-034).

### Recommendation

Staff recommends that the Design Review Board approve the proposed Sign Permit for the Pavilions grocery store located at 1213 Fair Oaks Avenue, subject to conditions of approval.

### Background

At the February 4, 2021 meeting, the Design Review Board (Board) reviewed the proposed remodel of the Pavilions market with the proposed sign plan (**Attachment 2**). At the meeting, the Board voted to approve the Design Review Permit for the remodel portion and continued the Sign Permit to this meeting. This provided the applicant additional time to revise the sign plans to be in compliance with the City's sign regulations.

### Discussion

Previously, the applicant proposed five wall signs and to reface an existing monument sign. To comply with the City's sign requirements, staff requested that the applicant reduce the number of wall signs on the east elevation (front/facing Fair Oaks Avenue) and reduced the total wall sign area to be at 200 square feet on the primary frontage. However, because the 200 square-foot limit is based on *use* and not frontage, a further reduction is still required.

### *Allowed Sign Types*

For a single tenant (Pavilions), a maximum of three of any combination of permitted sign types are allowed per primary building frontage. The primary building frontage is Fair Oaks Avenue (see **Figure 1** for location reference). Previously, the applicant proposed four (4) new signs on the primary frontage that exceeded the count and size of allowable signage (see **Figure 2**). The applicant now proposes three wall signs along this frontage, two of which contain internally illuminated channel letters and one is an internally illuminated logo disk sign (**Figure 3**).

# ITEM NO. 1

DRB Agenda  
March 4, 2021

1213 Fair Oaks Avenue  
Project No. 2343-SGN

Figure 1: Sign Locations



SIGN SCHEDULE		
ID	DESCRIPTION	SQ FT
A	MAIN ENTRANCE WALL CHANNEL LETTERS	169.5
B	SIDE WALL CHANNEL LETTERS	30.0
C	"PHARMACY" CHANNEL LETTERS	18.0
E	STARBUCKS WALL SIGN	12.5
F	REFACE EXISTING MONUMENT SIGN	17.7

Figure 2: Previously Proposed East Elevation Signs



Figure 3: Proposed East Elevation Signs

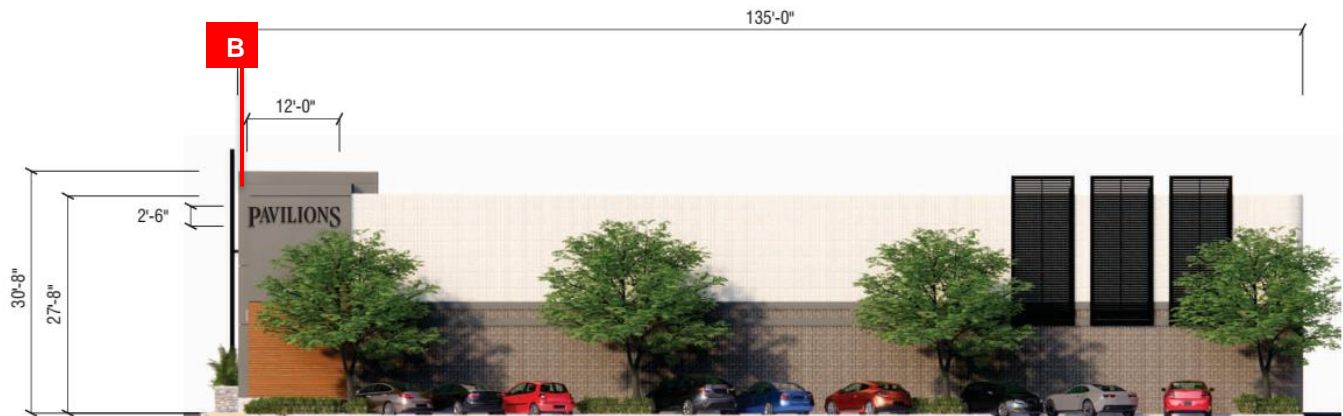


1 FRONT - EAST ELEVATION  
SCALE: 1/16" = 1'-0"

ALLOWED SQUARE FEET = 200.0 SQ FT  
PROPOSED SQUARE FEET = 200.0 SQ FT

For secondary frontages, namely Monterey Road and Lyndon Street, one of any allowed sign types is permitted. The plan proposes two signs, a new wall sign and one monument sign to be refaced, along the Monterey Road frontage (see **Figure 4** and **Figure 6**). The Lyndon Street frontage currently does not have signage and none is being proposed. As such, staff considers this consistent with the intent of the zoning regulations to consolidate the two signs to one secondary frontage road in the area that is more commercial.

**Figure 4: Proposed North Elevation Sign**



### *Sign Size*

The City's zoning regulations currently allows one (1) square-foot of sign area for each linear foot of primary building frontage and 0.5 square feet for each linear foot of secondary frontage. The total area of all signs on a single building frontage cannot exceed the total linear feet of that frontage and no more than 200 square feet is allowed per use. Pavilions' primary building frontage is 237-feet, however, the total area of all signage on site is limited to 200 square feet. The second "Pavilions" wall sign on the north elevation is 30-square feet, provides business signage visibility, and adds interest to the building's horizontal expanse (see **Figure 4**). As proposed, the total sign area on the primary frontage is 200 square feet. The proposed wall and monument signage results in a total signage area of 247.7 square feet; this equates to 47.7 square feet of signage area over the maximum allowed. Condition P11 has been added for the Chair of the Board or their designee to review and approve the plans showing a reduction in the total square footage of all signage on the project site to be within the 200 square-foot requirement prior to submitting a building permit (**Attachment 1**).

With Condition P11, staff finds that the proposed signs are in compliance with the South Pasadena Municipal Code Section 36.320.070 Zoning District Sign Standards. **Table 1** below shows a breakdown of the proposed signs and the sign standards.

# ITEM NO. 1

DRB Agenda  
March 4, 2021

1213 Fair Oaks Avenue  
Project No. 2343-SGN

**Table 1: Sign Development Standards for Wall Signs**

	<b>Allowed</b>	<b>Proposed</b>
Number of Signs Allowed	3 of any combination of allowed sign type per <i>primary</i> building frontage.	Only wall signs are proposed for primary frontage.
	1 of any combination of allowed sign type per <i>secondary</i> building frontage.	1 wall sign and the refacing of an existing monument sign on Monterey Rd.
Maximum Sign Area	<ul style="list-style-type: none"> <li>1 sq. ft. per each linear foot of building frontage</li> </ul> East Elevation Length: 237 feet North Elevation Length: 135 feet <ul style="list-style-type: none"> <li>No more than 200 sq. ft. allowed for each use</li> <li>Not to exceed 7% of the building façade</li> </ul>	Primary frontage sign areas are 169.5 (Pavilions), 18 (Pharmacy), and 12.5 (Starbucks) sq. ft.  Secondary frontage signs are 30 sq. ft. (wall) and 17.7 sq. ft. (monument sign)  The total proposed sign area for this site is 247.7 sq. ft.*  *The signage is conditioned be in compliance with the maximum 200 sq. ft. sign area criteria prior to building permit submittal.
Sign Location	<ul style="list-style-type: none"> <li>Not project above the eave line or the edge of the roof of a building</li> <li>Not to interfere with the operation of a window or door</li> <li>At least 1 foot below the top of the parapet</li> </ul>	Signs meet the sign location criteria.
Sign Projection	Does not project more than 12 inches from the building surface	8 inches
Maximum Logo & Letter Height	No limit if it doesn't exceed the allowable area	Primary frontage letters: 6ft. Secondary frontage letters: 2.5ft. (See maximum sign area row)
Maximum Sign Length	No limit if it doesn't exceed the allowable area	Primary frontage letters: 28ft. 3in. Secondary frontage letters: 12ft. (See maximum sign area row)



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1213 Fair Oaks Avenue  
Project No. 2343-SGN

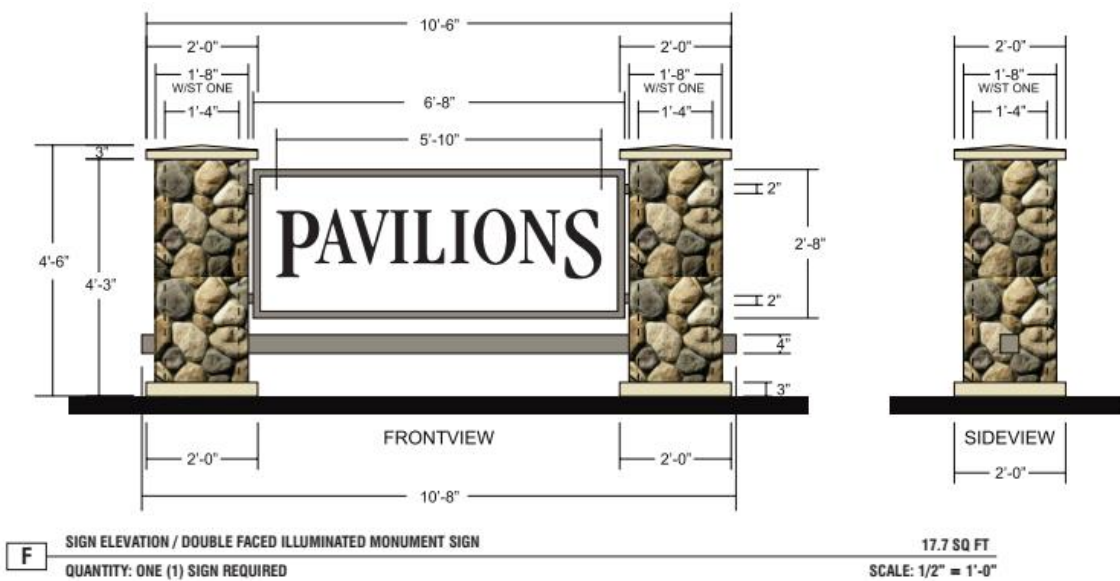
## Monument Sign

The proposed plan includes refacing and repainting the metal portions of the existing monument sign at the southwest corner of Monterey Road and Fair Oaks Avenue (see **Figure 5**). No additional design changes are proposed for the monument sign (see **Figure 6**).

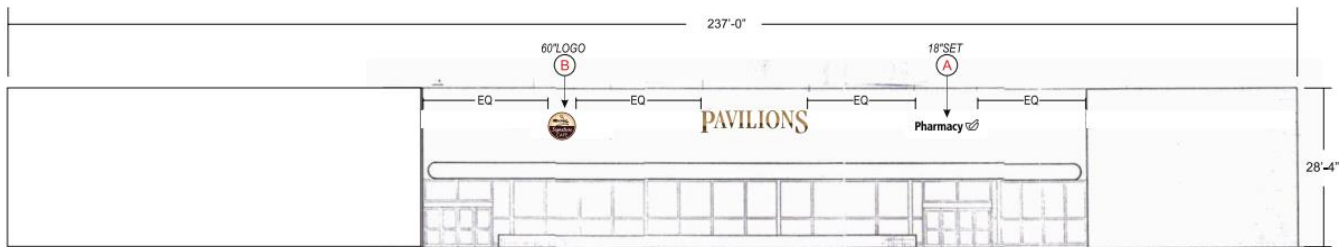
**Figure 5: Existing North Elevation Monument Sign**



**Figure 6: Proposed North Elevation Monument Sign**



**Figure 7: Existing East Elevation Signage**



### **Required Design Review Findings**

To approve a Design Review application, the DRB shall first find that the design and layout of the proposed project complies with South Pasadena Municipal Code (SPMC) Section 36.410.040(I):

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The General Plan land use designation of the site is General Commercial which provides for a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood, and parking facilities. The project is within the Lower-Fair Oaks sub area of the Fair Oaks focus area which is intended to be pedestrian-friendly while remaining auto-oriented with a mixture of uses so that parking may be shared. This project is a proposal for a sign permit and does not change the use, therefore, it is consistent with the General Plan.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project site will continue to be occupied by the existing grocery store, Pavilions. No changes are proposed for the function or activities of the site. The proposed signage will enhance visibility of the business and updates the look of the existing signage, which will be a benefit to the neighborhood and the business.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The existing character of the surrounding neighborhood consists of a variety of single-story commercial buildings and two-story multi-family residential buildings (west and south). The project proposes to replace the existing signage on the north and east elevations with an updated style that complements the proposed remodel. The updated signage will create an attractive, harmonious, and is in keeping with orderly development as contemplated by this Section, and the General Plan.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The project proposes to add updated signage that complements the proposed remodel of the grocery store the Board approved on February 4, 2021. Thus, the new signage will add to a more desirable environment for its clientele, the neighborhood, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

### **Alternatives to Consider**

If the Board does not agree with staff's recommendation, the following options are available:

1. The Design Review Board can Approve with condition(s) added; or
2. The Design Review Board can Continue the project to address comments discussed; or
3. The Design Review Board can Deny the project.

### **Next Steps**

1. If approved, conditionally, or as submitted, the applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
2. If denied, the Design Review Board's decision can be appealed by the applicant to the Planning Commission.

### **Fiscal Impact**

The cost of processing the Sign Permit was covered by the application fee.

### **Environmental Analysis**

This item is exempt from any California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 Existing Facilities. Class 1 exemption includes interior or exterior alterations with no expansion of use.

### **Public Notification of Agenda Item**

The public was made aware that this item was continued to a date certain (March 4, 2021) at the February 4, 2021 DRB hearing. This item was previously included in a legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review*, and individual property mailings to those within 300 feet of the project site.

### **Attachments**

1. Conditions of Approval
2. Staff Report from February 4, 2021 DRB Meeting
3. Proposed Sign Plan

**ITEM NO. 1**

**ATTACHMENT 1**  
Conditions of Approval

**CONDITIONS OF APPROVAL**  
**PROJECT NO. 2343-SGN**  
**1213 Fair Oaks Avenue (APN: 5319-002-034)**

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**DEVELOPMENT REQUIREMENTS**

**PLANNING DIVISION:**

- P1. The following approvals are granted as described below and as shown on the proposed sign plans submitted to and approved by the Design Review Board on March 4, 2021:
- a. **Sign Permit** for new wall signage and refacing of freestanding monument signage.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Design Review Board unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with this approval.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Design Review Board concerning this approval.

**Notes on Construction Plans**

The contractor shall be responsible to implement and monitor compliance with the following conditions:

- P7. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
- P8. The hours of all construction activities shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- P9. During construction, the clearing, grading, earth moving, excavation operations, or transportation of cut or fill materials that cause fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:

## Conditions of Approval

1213 Fair Oaks Ave. | 2343- SGN

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- a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to prevent fugitive dust; and
- b. All material excavated or graded shall be sufficiently watered to prevent dust from leaving the construction area and to create a "crust" after each day's activities ceases. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
- c. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent fugitive dust;
- d. All area of vehicle movement shall be water appropriately to prevent dust from leaving the construction site;
- e. Soil stockpiles for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation;
- f. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
- g. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.

## Prior to issuance of Building Permits

- P10. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P11. The applicant shall submit a revised sign plan for review and approval by the Chair of the Design Review Board or their designee that reduces the total sign area on the project site to be no more than 200 square feet in total. The applicant shall therefore reduce the square footage of sign area by at least 47.7 square feet in compliance with the 200 square foot maximum allowed for total sign area.

## DEPARTMENT OF PUBLIC WORKS:

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee (\$515 for two (2) reviews and an additional fee of \$153 for each additional review) and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. No overnight storage of materials or equipment within the public right-of-way shall be permitted.

## BUILDING AND SAFETY DIVISION:

### General conditions for existing building and proposed addition:

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Structural drawings with supporting calculations prepared under the direction of an architect,

## Conditions of Approval

1213 Fair Oaks Ave. | 2343- SGN

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civil engineer or structural engineer shall be provided for new rooftop equipment anchorage, new openings at existing roof, trash enclosure wall extension, and storefront alteration including canopy modification, parapet extension and screen wall installation.

## **GENERAL COMPLIANCE ITEMS/REQUIREMENTS AND INFORMATION**

The following items are noted for the applicant's information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for South Pasadena and many other agencies, including but not limited to Los Angeles County, and state and federal agencies.

### **Public Works Department**

1. The applicant shall pay for all applicable City and LA County fees including PW plan review and permit fees prior to the issuance of the Building Permits.
2. A copy of a current Title Report (within the last 60 days) shall be provided. The applicant shall show all easements per the Title Report to the satisfaction of the Public Works Department.
3. Any conflict with existing easements resulting in the site being redesigned potentially requires a minor change or amendment approval by the original decision-making body.
4. The applicant shall contact the City Water Division to coordinate size, location, and associated fee for a new water meter connection as applicable. Please contact Water Operation Manager (626) 460-6393 for additional information.
5. Replace all broken, damaged, or out-of-grade sidewalk, curb and gutter fronting the property to current city standard per SPMC Section 31.54.
6. Demonstrate compliance with all requirements of the City of South Pasadena Low Impact Development (LID) Ordinance. The applicant shall include the necessary Best Management Practices (BMP) measures and a Standard Urban Storm Water Mitigation Plan (SUSMP) for construction and post-construction phases as part of the LID plan per SPMC Section 23.14. Provide a copy of the approved plan from the Building & Safety Department.
7. Provide a copy of a will-serve letter and receipt for the sewer connection fee from the Los Angeles County Sanitation District (LACSD). A copy of the receipt for any fees to be paid must be submitted before permit issuance.
8. Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
9. Temporary bins (low boy) will be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
10. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
11. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

## **Building Division**

1. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
2. Park Impact Fee to be paid at the time of permit issuance.
3. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
4. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
5. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
6. Electrical plan check is required.
7. Mechanical plan check is required.
8. Plumbing plan check is required.
9. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
10. Project shall comply with the CalGreen Residential mandatory requirements.
11. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet for dwellings and accessory buildings without automatic residential fire sprinkler protection shall comply with Table R302.1 (1&2)
12. No work or construction materials will be permitted to encroach into adjacent property without written approval from the affected property owner.
13. Demolition permit is required for any existing buildings which are to be demolished.
14. When modification to existing sprinklers is required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe as prescribed by the Fire Code and referenced standards. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit and a separate is required for Fire Sprinklers.

## **Fire Department:**

15. The project shall comply with all current adopted California Building, Fire Codes, NFPA and SPFD standards requirements based on occupancy classification.



# ITEM NO. 1

## **ATTACHMENT 2**

Staff Report from February 4, 2021

Design Review Board Meeting

[\(Click Here\)](#)

**ITEM NO. 1**

**ATTACHMENT 3**  
Proposed Sign Plan

# PAVILIONS



**superior**  
electrical advertising

1700 West Anaheim Street  
Long Beach, California  
90813-1195  
Phone: 562.495.3808  
Facsimile: 562.435.1867  
www.superiorsigns.com

Project:  
**Pavilions #2228**

Address:  
**1213 N. Fair Oaks Ave  
South Pasadena, CA 91030**

Account Manager:  
**Tim Pitts**

Scale: T.A.:  
**AS NOTED 3.50**

Design No.:  
**19-02-5421-09**

Reg. No.:

- Revision History:
- R0 2/6/19 bk New Drawing
  - R1 2/13/19 bk (1.5) revise per comments
  - R2 2/18/19 bk (.25) revise per comments
  - R3 2/19/19 bk add filler
  - R4 7/27/19 bk update elevation
  - R5 7/27/19 bk revise per comments
  - R6 10/1/20 bk add monument & DUG
  - R7 10/2/20 mdm (1.5) changes for city
  - R8 1/11/21 mdm (1.0) changes for city
  - R9 2/11/21 mdm (1.0) changes for city
  - R10 2/24/21 mdm (1.0) changes for city



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**  
Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

Design: \_\_\_\_\_ Date: \_\_\_\_\_

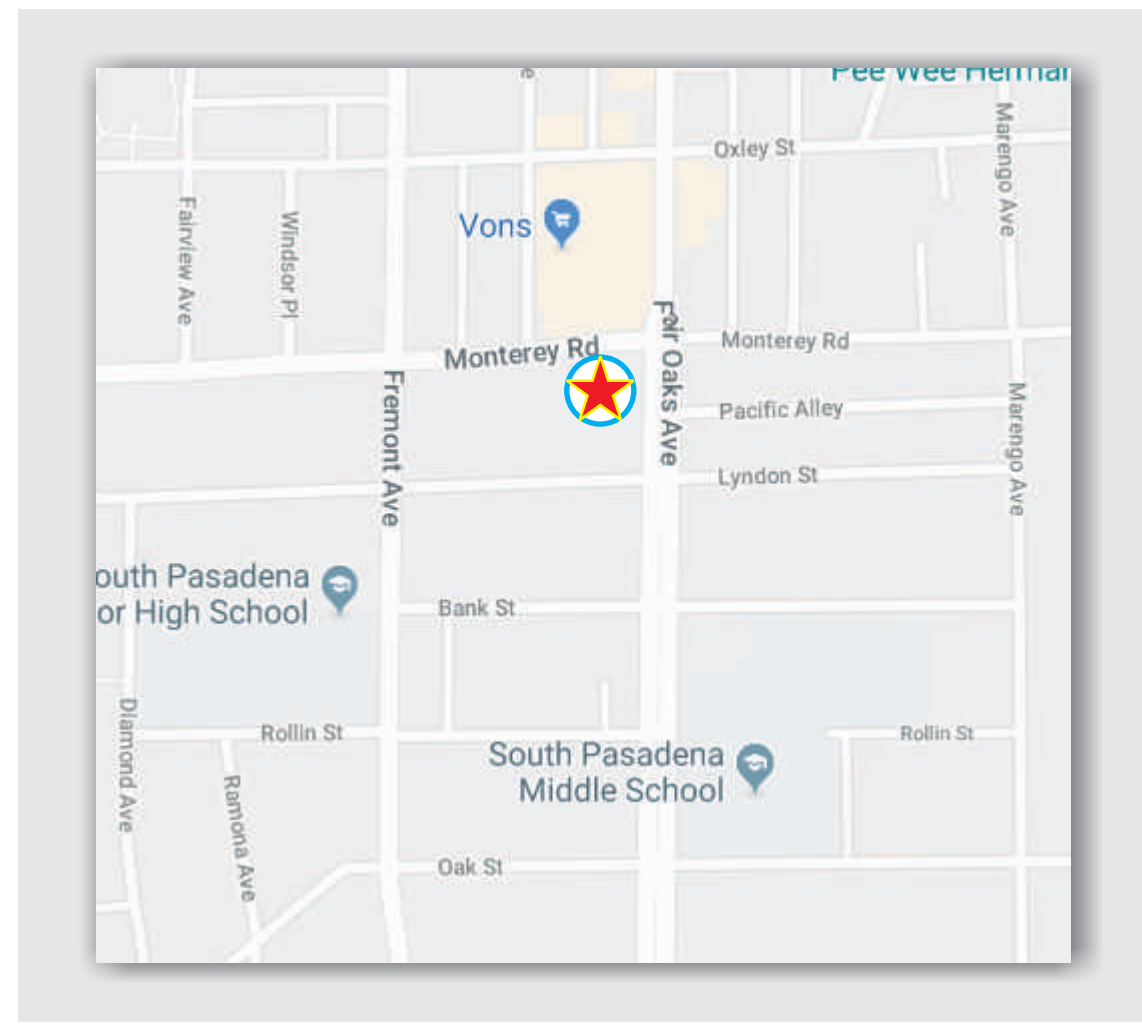
Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

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**1213 N. FAIR OAKS AVE, SOUTH PASADENA CA, 91030**

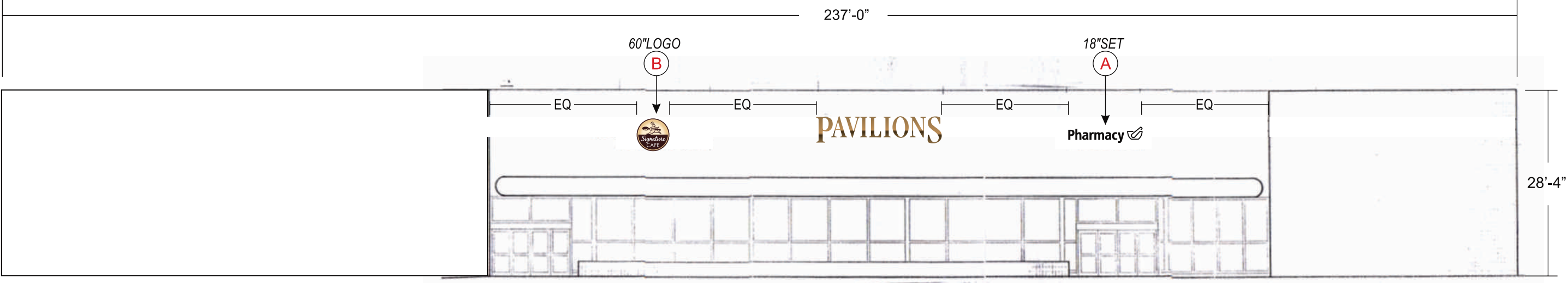


**1** VICINITY MAP  
SCALE: NTS



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90813-1195  
Phone: 562.495.3808  
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Project:  
**Pavilions #2228**

**EXISTING FRONT / EAST ELEVATION CONDITIONS**

SCALE: 1/16"=1'-0"

Address:  
**1213 N. Fair Oaks Ave  
South Pasadena, CA 91030**

Account Manager:  
**Tim Pitts**

Scale: T.A.:  
**AS NOTED 3.50**

Design No.:  
**19-02-5421-09**


Reg. No.:

EXISTING SIGN SQUARE FOOTAGES:	
<b>PER CODE: 1 SQUARE FOOT PER LINEAR FOOT OF BUILDING FRONTAGE = 237.00 SQ. FT.</b>	
<b>FRONT ELEVATION:</b>	
PAVILIONS LETTERS:	= 111.80
PHARMACY	= 16.91
SIGNATURE CAFÉ	= 19.62
<b>TOTAL SQUARE FEET FOR EXISTING SIGNS</b>	<b>= 148.33</b>

- Revision History:
- R0 2/6/19 bk New Drawing
  - R1 2/13/19 bk (1.5) revise per comments
  - R2 2/18/19 bk (.25) revise per comments
  - R3 2/19/19 bk add filler
  - R4 7/27/19 bk update elevation
  - R5 7/27/19 bk revise per comments
  - R6 10/1/20 bk add monument & DUG
  - R7 10/2/20 mdm (1.5) changes for city
  - R8 1/11/21 mdm (1.0) changes for city
  - R9 2/11/21 mdm (1.0) changes for city
  - R10 2/24/21 mdm (1.0) changes for city



PHOTO VIEW OF EXISTING BUILDING SIGNS ON FRONT/ EAST ELEVATION

 **ELECTRIC SIGN**

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**

Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

Page: **2** of **11**

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R5 7/27/19 bk revise per comments  
R6 10/1/20 bk add monument & DUG  
R7 10/2/20 mdm (1.5) changes for city  
R8 1/11/21 mdm (1.0) changes for city  
R9 2/11/21 mdm (1.0) changes for city  
R10 2/24/21 mdm (1.0) changes for city



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**CONSTRUCTION APPROVALS**  
Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

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Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

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SIGN SCHEDULE		
ID	DESCRIPTION	SQ FT
A	MAIN ENTRANCE WALL CHANNEL LETTERS	169.5
B	SIDE WALL CHANNEL LETTERS	30.0
C	"PHARMACY" CHANNEL LETTERS	18.0
E	STARBUCKS WALL SIGN	12.5
F	REFACE EXISTING MONUMENT SIGN	17.7



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Address:  
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Account Manager:  
**Tim Pitts**

Scale: **AS NOTED** T.A.: **3.50**

Design No.: **19-02-5421-09**

Reg. No.:

Revision History:  
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**R1 2/13/19 bk (1.5)** revise per comments  
**R2 2/18/19 bk (.25)** revise per comments  
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**R5 7/27/19 bk** revise per comments  
**R6 10/1/20 bk** add monument & DUG  
**R7 10/2/20 mdm (1.5)** changes for city  
**R8 1/11/21 mdm (1.0)** changes for city  
**R9 2/11/21 mdm (1.0)** changes for city  
**R10 2/24/21 mdm (1.0)** changes for city



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**  
 Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

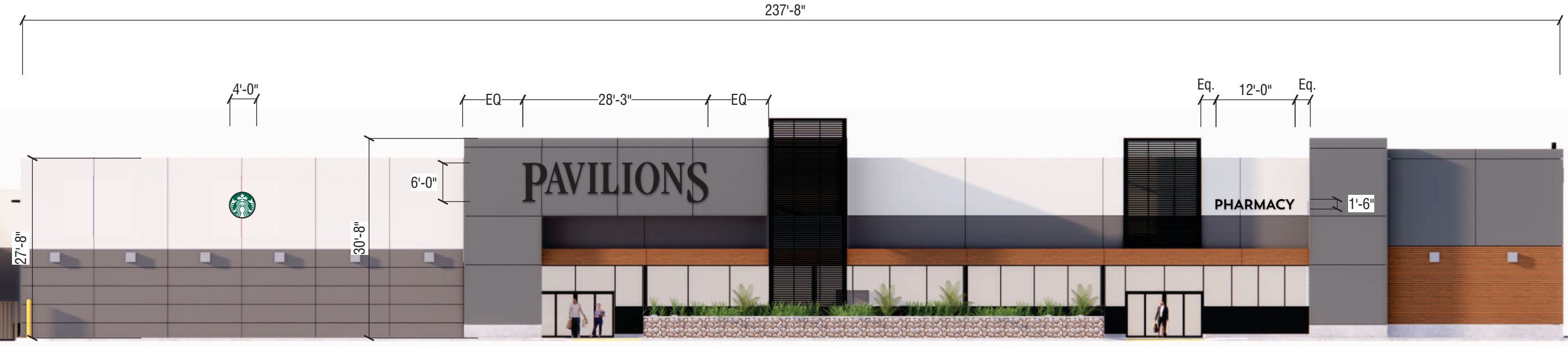
Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

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**1 FRONT - EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"

**ALLOWED SQUARE FEET = 200.0 SQ FT**  
**PROPOSED SQUARE FEET = 200.0 SQ FT**

Commercial and industrial zoning district sign standards. Signs in the commercial and industrial zoning districts established by Section 36.200.020 (Zoning Map and Zoning Districts) shall comply with the requirements in Table 3-9.

**NOTE: New signs square footages determined by Table 3-9 of the Sign Standards for Commercial Zones**

TABLE 3-9. SIGN STANDARDS FOR COMMERCIAL ZONES			
Allowed Sign Types	Maximum Sign Height	Maximum Number of Signs Allowed per Parcel	Maximum Sign Area Allowed per Parcel
<b>Outdoor Signs Visible from a Street</b>			
Awning	Below roof (1)	Single tenant site: 3 of any combination of allowed sign types per primary building frontage. Multi-Tenant Site: For a site or building with 2 or more tenants, 1 of any allowed sign type per business frontage.	Interior and/or corner parcel: 1 sf for each linear ft of primary building frontage (for buildings with multiple frontages, or a corner frontage such as within a shopping center, 1 sf for each linear foot of primary frontage plus 0.5 sf for each foot of one additional secondary frontage (i.e., rear, alley, or driveway frontage)). The total area of all signs on a single building frontage shall not exceed the total linear feet in that frontage. No more than 200 sf is allowed for each use.
Freestanding	3 ft; 6 ft with DRB approval (see Section 36.320.080.C)		
Projecting, Wall	Below roof (1)		
Suspended	Below eave/canopy; with lowest point of sign at least 8 ft above grade.		
Temporary/ Portable	See Sections 36.320.080.E and 36.320.080.H.		

**PROPOSED NEW SIGN SQUARE FOOTAGES:**

**PER CODE: 1 SQUARE FOOT PER LINEAR FOOT OF BUILDING FRONTAGE = 237.00 SQ. FT. NO MORE THAN 200 S.F. ON A SINGLE BUILDING FRONTAGE**

**FRONT - EAST ELEVATION**

PAVILIONS CHANNEL LETTERS = 169.5 SQ FT  
 PHARMACY CHANNEL LETTERS = 18.0 SQ FT  
 STARBUCKS LOGO = 12.5 SQ FT

---

**TOTAL SQUARE FEET FOR NEW SIGNS = 200.0 SQ FT**



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www.superiorsigns.com

Project:  
**Pavilions #2228**

Address:  
**1213 N. Fair Oaks Ave  
South Pasadena, CA 91030**

Account Manager:  
**Tim Pitts**

Scale: T.A.:  
**AS NOTED 3.50**

Design No.:  
**19-02-5421-09**

Reg. No.:

Revision History:  
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**R3 2/19/19 bk** add filler  
**R4 7/27/19 bk** update elevation  
**R5 7/27/19 bk** revise per comments  
**R6 10/1/20 bk** add monument & DUG  
**R7 10/2/20 mdm** (1.5) changes for city  
**R8 1/11/21 mdm** (1.0) changes for city  
**R9 2/11/21 mdm** (1.0) changes for city  
**R10 2/24/21 mdm** (1.0) changes for city



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**

Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

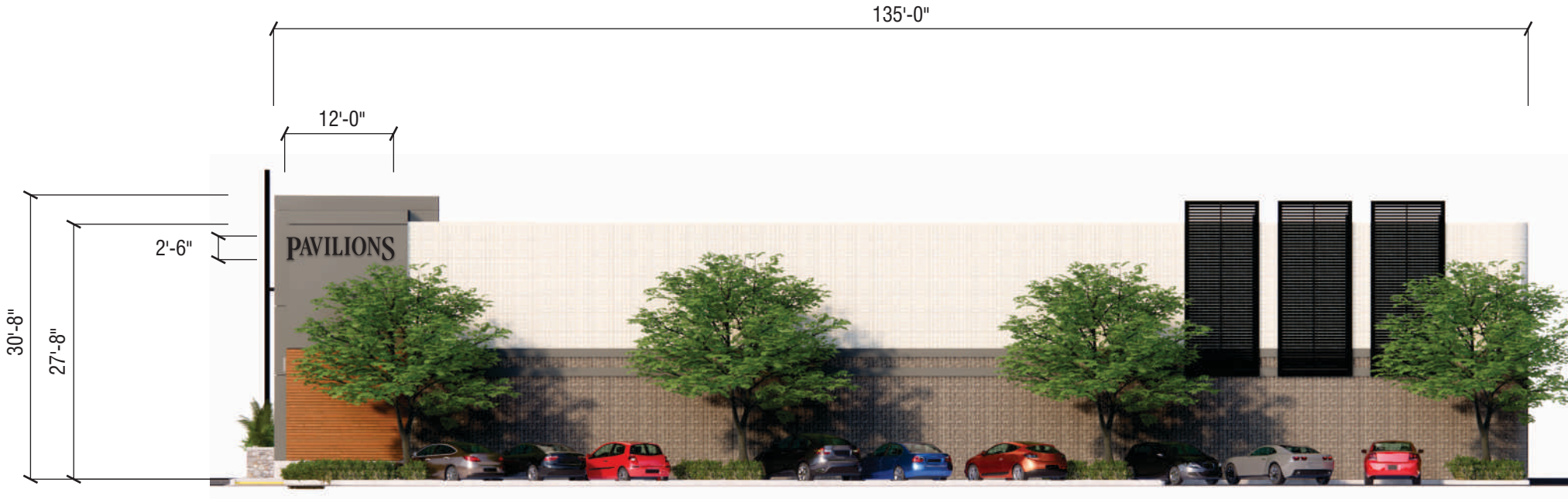
Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

Page: **5** of **11**

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**1** SIDE - NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

**ALLOWED SQUARE FEET = 67.5 SQ FT**  
**PROPOSED SQUARE FEET = 30.0 SQ FT**



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- R3 2/19/19 bk add filler
- R4 7/27/19 bk update elevation
- R5 7/27/19 bk revise per comments
- R6 10/1/20 bk add monument & DUG
- R7 10/2/20 mdm (1.5) changes for city
- R8 1/11/21 mdm (1.0) changes for city
- R9 2/11/21 mdm (1.0) changes for city
- R10 2/24/21 mdm (1.0) changes for city



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**

Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

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**3** EAST ELEVATION  
SCALE: NTS





Project:  
**Pavilions #2228**

Address:  
**1213 N. Fair Oaks Ave  
South Pasadena, CA 91030**

Account Manager:  
**Tim Pitts**

Scale: T.A.:  
**AS NOTED 3.50**

Design No.:  
**19-02-5421-09**

Reg. No.:

Revision History:  
**R0 2/6/19 bk** New Drawing  
**R1 2/13/19 bk** (1.5) revise per comments  
**R2 2/18/19 bk** (.25) revise per comments  
**R3 2/19/19 bk** add filler  
**R4 7/27/19 bk** update elevation  
**R5 7/27/19 bk** revise per comments  
**R6 10/1/20 bk** add monument & DUG  
**R7 10/2/20 mdm** (1.5) changes for city  
**R8 1/11/21 mdm** (1.0) changes for city  
**R9 2/11/21 mdm** (1.0) changes for city  
**R10 2/24/21 mdm** (1.0) changes for city



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**CONSTRUCTION APPROVALS**  
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Design: Date:  
Mfg/QC: Date:

Page: **7** of **11**

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3/8" RIV-NUTS FOR ALL THREAD BOLTS

**A** SIGN ELEVATION / FACE LIT CHANNEL LETTERS 169.5 SQ FT  
 QUANTITY: ONE (1) SET REQUIRED SCALE: 1/4" = 1'-0"

**SPECIFICATIONS:**

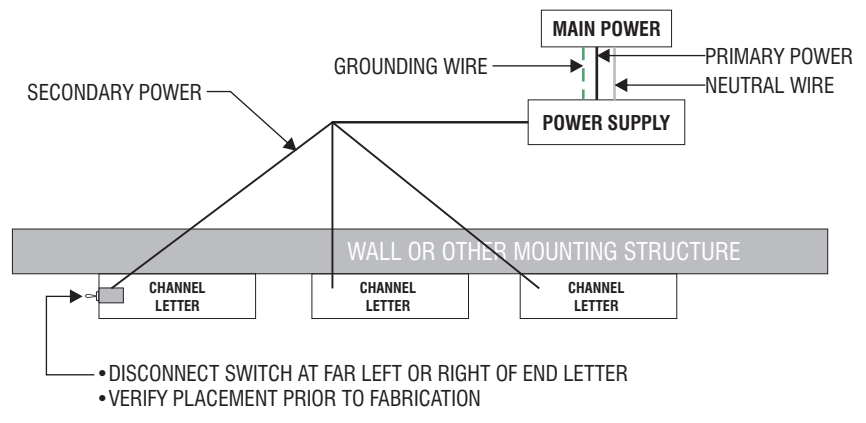
- LETTERS:** INTERNALLY ILLUMINATED CHANNEL LETTERS  
**FACES:** WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF 3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL  
**TRIMCAPS:** 1" BLACK TRIMCAPS  
**RETURNS:** 8" DEEP BLACK PRECOAT RETURNS  
**ILLUMINATION:** WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)

ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

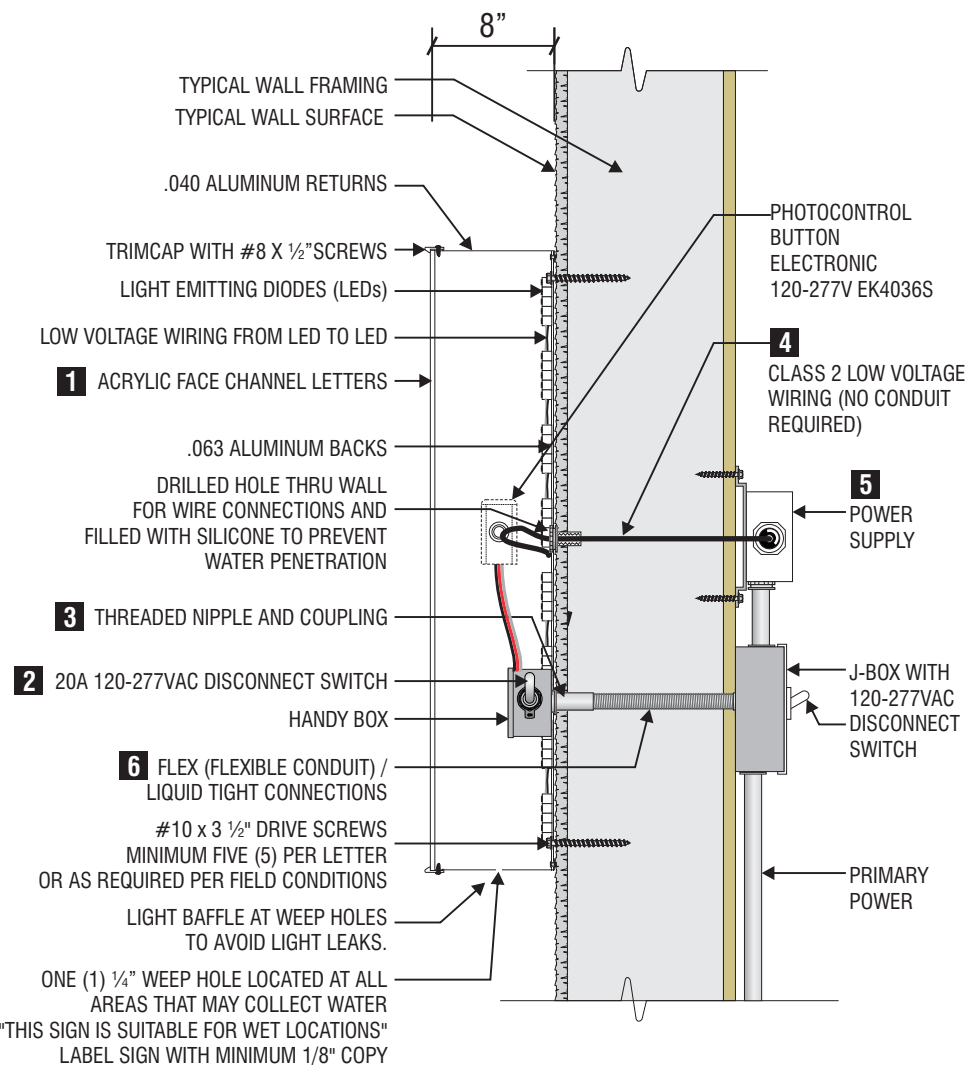
**Note to All Contractors**

**120 Sign Voltage**  
 This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



**2** LETTER LAYOUT - PLAN VIEW  
NOT TO SCALE

**3** SIDE VIEW  
SCALE: 1/2" = 1'-0"



**1** TYPICAL SECTION DETAIL  
SCALE: NTS



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Project:  
**Pavilions #2228**

Address:  
**1213 N. Fair Oaks Ave  
South Pasadena, CA 91030**

Account Manager:  
**Tim Pitts**

Scale: T.A.:  
**AS NOTED 3.50**

Design No.:  
**19-02-5421-09**

Reg. No.:

Revision History:

**R0 2/6/19 bk** New Drawing  
**R1 2/13/19 bk** (1.5) revise per comments  
**R2 2/18/19 bk** (.25) revise per comments  
**R3 2/19/19 bk** add filler  
**R4 7/27/19 bk** update elevation  
**R5 7/27/19 bk** revise per comments  
**R6 10/1/20 bk** add monument & DUG  
**R7 10/2/20 mdm** (1.5) changes for city  
**R8 1/11/21 mdm** (1.0) changes for city  
**R9 2/11/21 mdm** (1.0) changes for city  
**R10 2/24/21 mdm** (1.0) changes for city



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**CONSTRUCTION APPROVALS**  
Acct. Mgr: Date:

Design: Date:  
Mfg/QC: Date:

Page: **8** of **11**

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3/8" RIV-NUTS FOR ALL THREAD BOLTS

**B** SIGN ELEVATION / FACE LIT CHANNEL LETTERS 30.0 SQ FT  
 QUANTITY: ONE (1) SET REQUIRED SCALE: 1/2" = 1'-0"

**SPECIFICATIONS:**

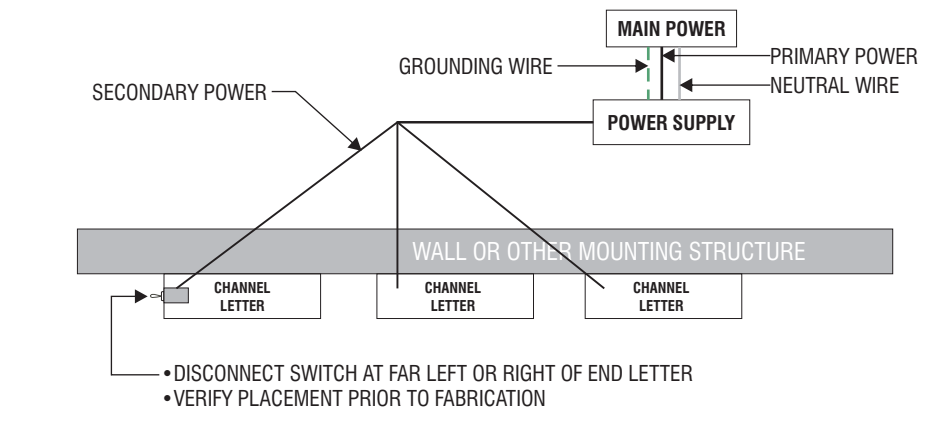
- LETTERS:** INTERNALLY ILLUMINATED CHANNEL LETTERS  
**FACES:** WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF 3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL  
**TRIMCAPS:** 1" BLACK TRIMCAPS  
**RETURNS:** 8" DEEP BLACK PRECOAT RETURNS  
**ILLUMINATION:** WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)

ITEM #	DESCRIPTION
1	CHANNEL LETTERS
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3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

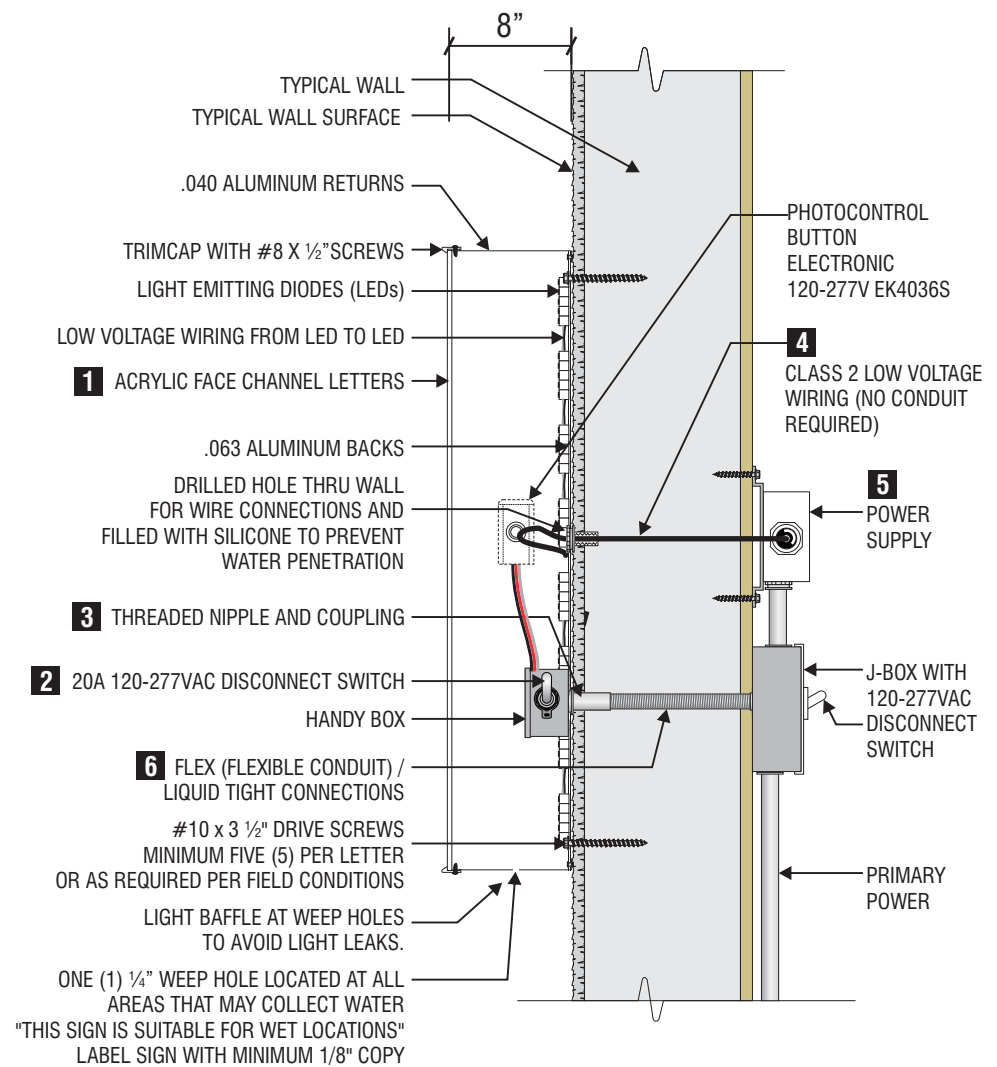
**Note to All Contractors**

**120 Sign Voltage**  
 This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



**2** LETTER LAYOUT - PLAN VIEW  
 NOT TO SCALE

**3** SIDE VIEW  
 SCALE: 1/2" = 1'-0"



**1** TYPICAL SECTION DETAIL  
 SCALE: NTS



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Account Manager:  
**Tim Pitts**

Scale: T.A.:  
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Design No.:  
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**R2 2/18/19 bk (.25)** revise per comments  
**R3 2/19/19 bk** add filler  
**R4 7/27/19 bk** update elevation  
**R5 7/27/19 bk** revise per comments  
**R6 10/1/20 bk** add monument & DUG  
**R7 10/2/20 mdm (1.5)** changes for city  
**R8 1/11/21 mdm (1.0)** changes for city  
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**R10 2/24/21 mdm (1.0)** changes for city



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Acct. Mgr: Date:

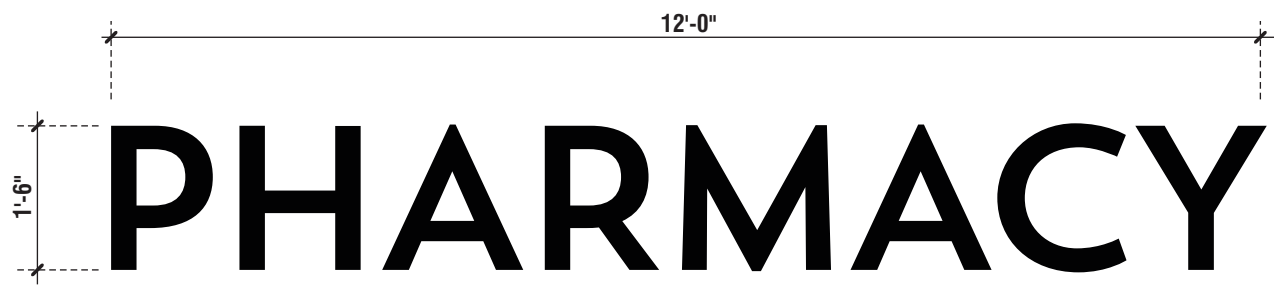
Design: Date:

Mfg/QC: Date:

Page: **9** of **11**

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1/4" RIV-NUTS FOR ALL THREAD BOLTS

**SWY-20PERF-PHAR**

**C** CUSTOM FABRICATED ALUMINUM FACE LIT CHANNEL LETTERS **18.0 SQ. FT.**  
 QUANTITY: ONE (1) REQUIRED **SCALE: 1/2" = 1'-0"**

**SPECIFICATIONS:**

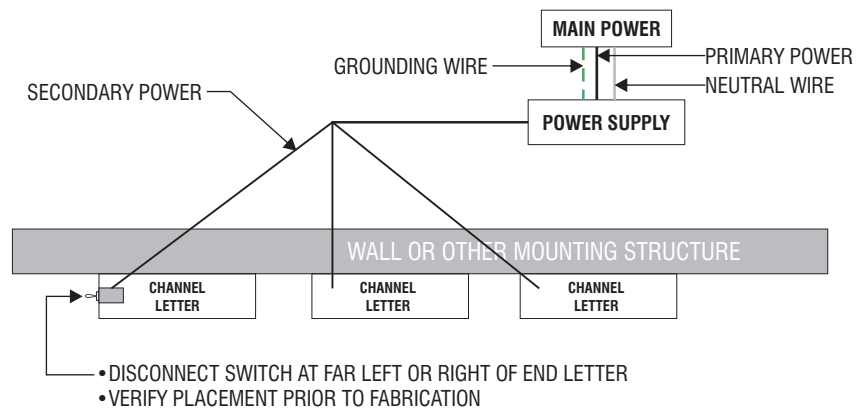
- LETTERS:** INTERNALLY ILLUMINATED CHANNEL LETTERS
- FACES:** WHITE TRANSLUCENT ACRYLIC WITH OVERLAY OF 3M DUAL FILM #3635-222 - PERFORATED BLACK VINYL
- TRIMCAPS:** 1" BLACK TRIMCAPS
- RETURNS:** 5" DEEP BLACK PRECOAT RETURNS
- ILLUMINATION:** WHITE INSEM SS LIGHT KPL LED 6500 OR APPROVED EQUAL ILLUMINATION WITH REMOTE POWER SUPPLIES

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)

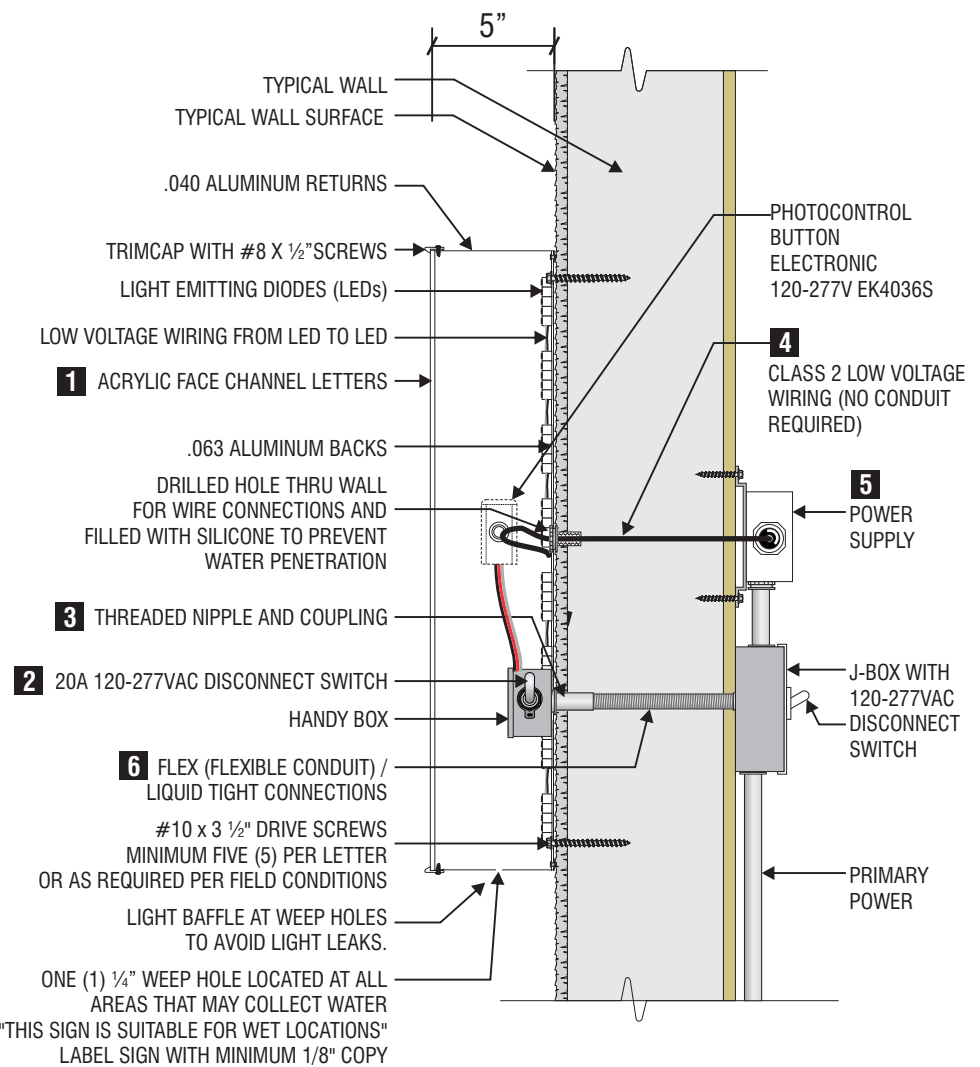
ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

**Note to All Contractors**

**120 Sign Voltage**  
 This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



**2** LETTER LAYOUT - PLAN VIEW  
NOT TO SCALE



**1** TYPICAL SECTION DETAIL  
SCALE: NTS



Project:  
Pavilions #2228

Address:  
1213 N. Fair Oaks Ave  
South Pasadena, CA 91030

Account Manager:  
Tim Pitts

Scale: T.A.:  
AS NOTED 3.50

Design No.:  
19-02-5421-09

Reg. No.:

Revision History:  
R0 2/6/19 bk New Drawing  
R1 2/13/19 bk (1.5) revise per comments  
R2 2/18/19 bk (.25) revise per comments  
R3 2/19/19 bk add filler  
R4 7/27/19 bk update elevation  
R5 7/27/19 bk revise per comments  
R6 10/1/20 bk add monument & DUG  
R7 10/2/20 mdm (1.5) changes for city  
R8 1/11/21 mdm (1.0) changes for city  
R9 2/11/21 mdm (1.0) changes for city  
R10 2/24/21 mdm (1.0) changes for city



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**  
Acct. Mgr. Date:

Design: Date:  
Mfg/QC: Date:

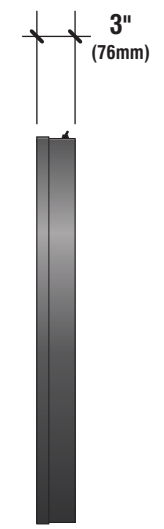
Page: 10 of 11

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COLOR SPECIFICATIONS	
	#7328 WHITE ACRYLIC
	3M # 3630-76 HOLLY GREEN VINYL
	PRE-PAINTED BLACK RETURN ( GLOSSY) BLACK TRIMCAP



**E** SELF-CONTAINED SINGLE FACE ILLUMINATED WALL MOUNT LOGO DISK 12.5 SQ FT  
QUANTITY: ONE (1) REQUIRED SCALE: 3/4" = 1'-0"

**1** SIDE VIEW SCALE: 3/4" = 1'-0"

**Design ID #13163**

**SPECIFICATIONS:**

- Logo: 48" diameter Single faced internally illuminated wall mounted logo disk.
- Cabinet: 3" (76mm) deep, fabricated aluminum returns and back.
- Returns: Painted cabinet black polyurethane.
- Faces: 3/16" (5mm) #7328 white with 3M #3630-76 Holly Green vinyl overlay. Siren to show thru White.
- Trimcap: 1" black trimcap edge
- Illumination: Disk illuminated with White Lumifecient LED's installed to back of disk. Power with self-contained Lumifecient power supply contained with a U.L. enclosure covered in white vinyl film. Fasten to wall with required fasteners.

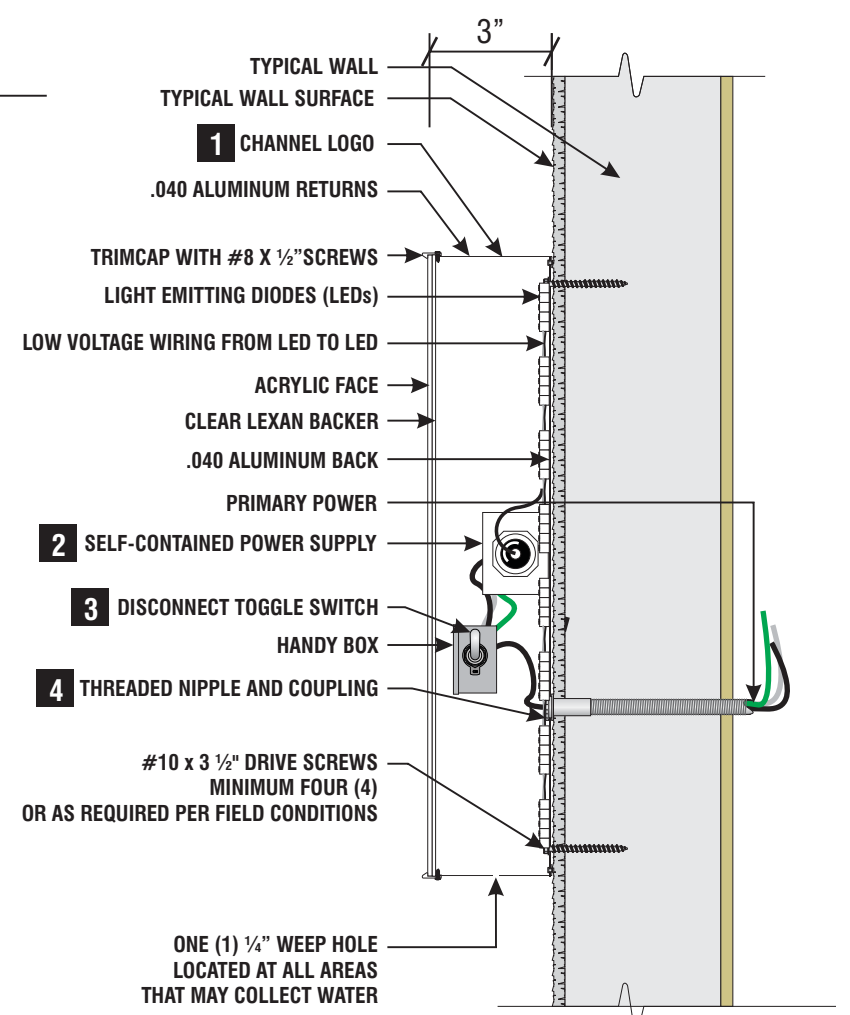
NOTES: Field verify all measurements and conditions prior to any fabrication.

Sign must be approved by the National Electrical Code, Underwriters Laboratory, CUL, and all applicable local codes. Disconnect switch in primary to be within sight of sign (sign includes power supply enclosure) REF: NEC 110-3[B] 600-2, 600-4. Primary electrical source 1/2"(13mm) conduit minimum) REF: NEC 600-6, 600-21(provided by installer).



PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)

ITEM NUMBER	DESCRIPTION
1	CHANNEL LOGO
2	SELF CONTAINED POWER SUPPLY
3	DISCONNECT SWITCH
4	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)



**3** TYPICAL SECTION DETAIL SCALE: NTS

Disk 48in S/F Illuminated wall mount EVOLVED			
Size	Sq.Ft.	Sq.M.	Volts
48" (1219mm)	12.56	1.17	120



**superior**  
electrical advertising  
1700 West Anaheim Street  
Long Beach, California  
90813-1195  
Phone: 562.495.3808  
Facsimile: 562.435.1867  
www.superiorsigns.com

Project:  
**Pavilions #2228**

Address:  
**1213 N. Fair Oaks Ave  
South Pasadena, CA 91030**

Account Manager:  
**Tim Pitts**

Scale: **AS NOTED** T.A.: **3.50**

Design No.:  
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Revision History:  
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R3 2/19/19 bk add filler  
R4 7/27/19 bk update elevation  
R5 7/27/19 bk revise per comments  
R6 10/1/20 bk add monument & DUG  
R7 10/2/20 mdm (1.5) changes for city  
R8 1/11/21 mdm (1.0) changes for city  
R9 2/11/21 mdm (1.0) changes for city  
R10 2/24/21 mdm (1.0) changes for city



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**  
Acct. Mgr. Date:

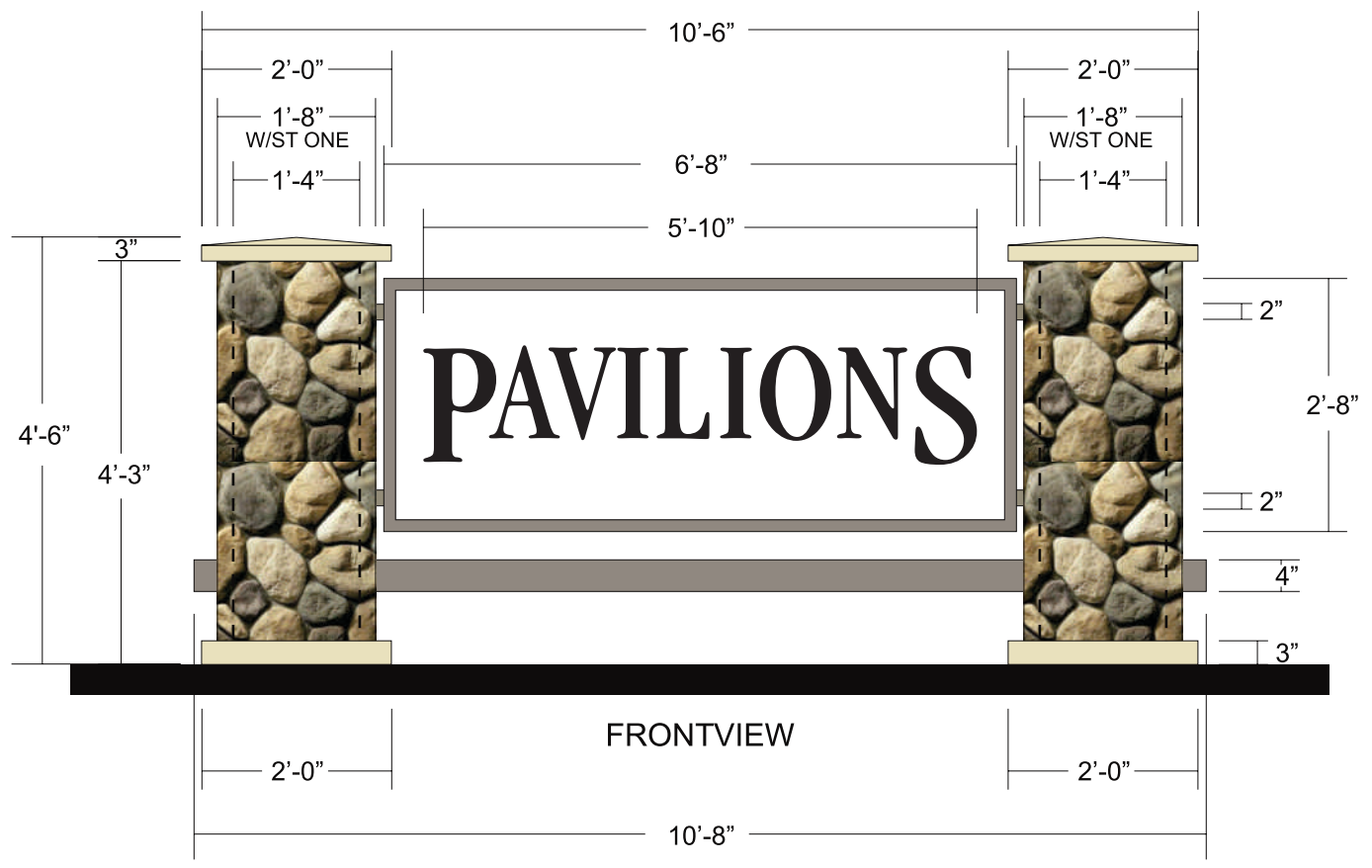
Design: Date:

Mfg/QC: Date:

Page: **11** of **11**

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EXISTING CONDITIONS

**17.7 SQ FT**  
SCALE: 1/2" = 1'-0"

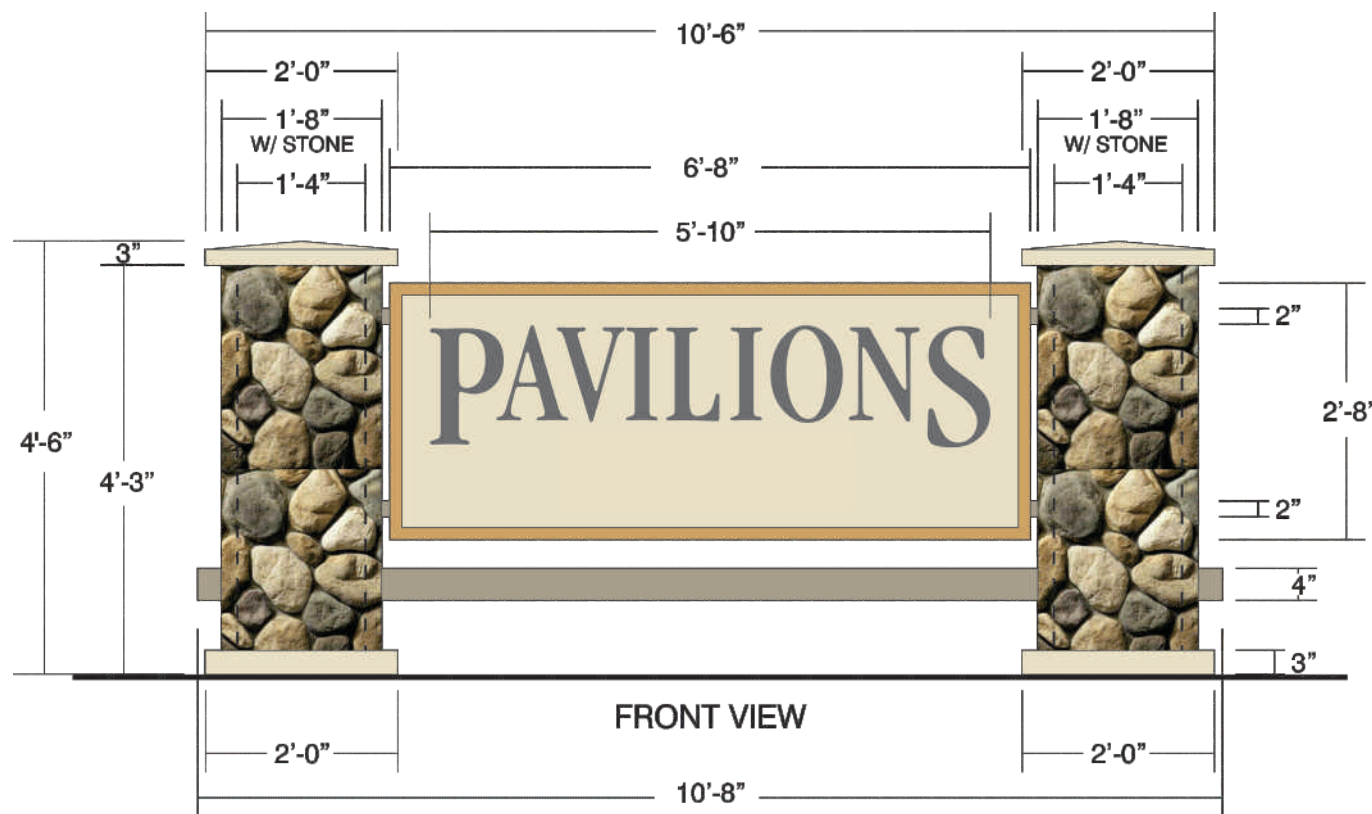
**F**

**SIGN ELEVATION / DOUBLE FACED ILLUMINATED MONUMENT SIGN**

QUANTITY: ONE (1) SIGN REQUIRED

**SPECIFICATIONS:**

- CABINET:** EXISTING TEX-COTE ALUMINUM DOUBLE FACE CABINET TO BE PAINTED GREY TO MATCH BUILDING
- FACE:** ROUTED OUT ALUMINUM PAINTED WHITE (SEMI-GLOSS FINISH) WITH 3/4" PUSH THRU WHITE ACRYLIC COPY WITH BLACK PERFORATED VINYL OVERLAY
- ILLUMINATION:** EXISTING TO REMAIN AS IS
- CORNICE:** EXISTING TO REMAIN AS IS
- BASE:** EXISTING TO REMAIN AS IS
- COLUMN COVER:** EXISTING TO REMAIN AS IS
- HORIZONTAL BEAM:** EXISTING ALUMINUM SQUARE TUBE TO BE PAINTED GREY TO MATCH BUILDING
- NOTE:** FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS PRIOR TO ANY FABRICATION



1 EXISTING CONDITIONS

SCALE: 1-25



## Design Review Board Agenda Report

ITEM NO. 2

**DATE:** March 4, 2021

**TO:** Chair and Members of the Design Review Board

**FROM:** Kanika Kith, Planning Manager

**VIA:** Veronica Ortiz-De Anda, Contract Planner  
Malinda Lim, Associate Planner

**SUBJECT:** Project No. 2326-DRX/SGN – Design Review for a remodel and new business signs for an existing 1,672 square-foot commercial restaurant building located at 710 Fair Oaks Avenue (APN No: 5318-004-020).

### Recommendation

Staff recommends that the Design Review Board **approve** the Design Review for a proposed remodel of an existing 1,672 square-foot commercial building and approve a Sign Permit for new wall signs on property located at 710 Fair Oaks Avenue, subject to conditions of approval.

### Discussion/Analysis

#### Project Description

The applicant is requesting Design Review approval for an exterior remodel of an existing 1,672 square-foot commercial building and wall signage for Krispy Kreme that will be located at 710 Fair Oaks Avenue. The project does not propose new construction nor modification of the building size. Additionally, no trees are proposed for removal. The proposed remodel includes:

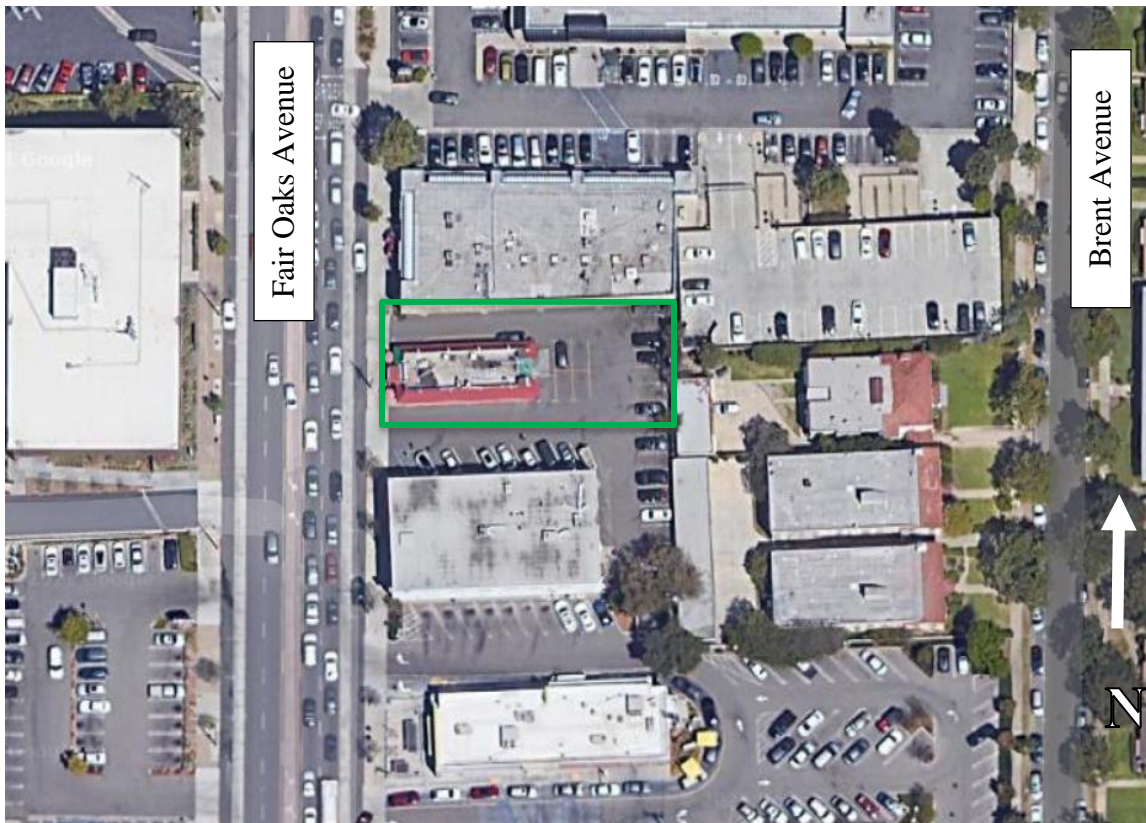
- Modification of the front, side, and rear exterior building elevations, including new materials and paint;
- Installation of new exterior metal window canopies with can recessed lighting underneath;
- Replacement of existing windows with new energy efficient, metal framed windows;
- Relocation of the primary entrance of the building to the south side elevation;
- Construction of a new pedestrian and accessible ramp to the side main entry door;
- Replacement of the patio enclosure with new black metal railing;
- Installation of new bicycle parking;
- Construction of a new curb walkway along the south side of the building extending to the rear;
- Installation of landscape planters at the front (west), north, and south side building elevations; and
- Installation of new wall signs on the front (west) and south side building elevations.

New interior tenant improvements are proposed as well, but are not a part of the Design Review.

The project site is located on the east side of Fair Oaks Avenue between Hope Street and Grevelia Street in the upper Fair Oaks subdistrict of the Fair Oaks Corridor, and is surrounded by commercial uses on all sides except for residential land uses on the east side of the project site.

**Figure 1** is an aerial view of the project site outlined in green and the subject building outlined in green. **Figure 2** are photographs of the existing building.

**Figure 1: Aerial View of Project Site & Building**



**Figure 2: View of Existing – West (Front) and Southwest Elevations**



## **PROJECT ANALYSIS**

### **General Plan Consistency**

The General Plan land use designation of the site is “General Commercial”, which allows for a variety of retail, office, automotive establishments, eateries, and convenience goods and services to residents in the immediate neighborhood. In addition, this category includes “convenience” commercial uses that provide retail goods and services to residents in the immediate neighborhood. Furthermore, the project site is located within the Fair Oaks focus area, specifically the Upper-Fair Oaks sub-area. The Upper-Fair Oaks sub-area of the Fair Oaks Corridor is located south of the Pasadena Freeway, north of Hope Street between Mound Avenue and Brent Avenue. The project proposes an interior and exterior remodel to an existing commercial building previously occupied by a restaurant and does not change the use. Therefore, the proposed use is consistent with the General Plan.

### **Zoning Code Compliance**

The zoning for the project site is “Commercial General” (CG), which allows a wide range of commercial retail, auto oriented services, including offices, restaurants, and fast-food eateries. The existing building was previously occupied by a restaurant with an outdoor dining patio. The proposed use of a doughnut eatery with outdoor dining is consistent with the previous use and is permitted pursuant to Section 36.230.030 Table 2-4 of the South Pasadena Municipal Code (SPMC). The outdoor dining aspect normally requires approval of an Administrative Use Permit, however, the site has historically operated without one as a legal, non-conforming use.

The project does not propose to modify the size of the building; only alterations to the exterior façade and interior tenant improvements are proposed. The existing building height is 17 feet to the top of the parapet, however, staff has included a condition of approval (No. P13), requiring that the parapet be increased by 6 to 12 inches to ensure full screening of the new rooftop equipment from view from the public right-of-way. The maximum building height allowed in the CG zone is 35 feet and therefore, the increase in height would still fall under the maximum allowed. The applicant is not proposing to remove any parking spaces nor to modify the existing parking lot.

A historic resources evaluation was completed and the evaluation concluded that the building is not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a historic landmark; it does not have any historic significance and is not a contributor to a potential historic district.

### **Design Review**

To approve the project, the Design Review Board must find that the proposed project is consistent with City’s Commercial Design Guidelines and must make the findings for approval. As previously stated, the site is in the Fair Oaks Corridor, specifically within the Upper Fair Oaks commercial area, which serves as the initial expansion of the Central Fair Oaks District encouraging “street-wall” development. The City’s Commercial Design Guidelines generally encourage adaptive reuse of existing buildings, the use of awnings at storefront level, display windows at the sidewalk, high quality of construction and materials, and pedestrian oriented signs and walkways.

Based on staff’s review, the project is consistent with South Pasadena’s Design Guidelines for commercial buildings, as outlined below.



## *Façade Changes*

As shown in **Figure 3** below, the existing building has a large mansard roof that curves down and outward. The walls have red brick pillar corners and at intervals along the side wall. The walls are stucco with a thick textured finish and the outdated windows have thick gray metal frames with double glass doors facing the sidewalk. The existing outdoor dining patio is small and divided by a walkway ramp leading to the front entrance.

The applicant is proposing to remove the mansard roof, brick pillars, and the existing stucco throughout the building. Additional alterations to all building elevations are as follows:

### On All Building Elevations

Flat green metal canopies are proposed throughout the building and will have can lights underneath. Details of the canopies can be found in **Attachment 4** to this report.

A white brick veneer on the front of the building wraps around the sides; this will replace the existing stucco. The remainder of the building will be replaced with new stucco with a sanded finish and be painted in light gray. A dark gray band in stucco finish on the lower portion of the wall wraps around the entire building.

A metal roof cap of approximately 6 inches in height and protruding 2 inches will be placed around the entire building to add architectural interest. As mentioned in the “Zoning Code Compliance” discussion above, a condition was added to increase the height of the parapet by 6 to 12 inches to screen the roof top equipment.

The applicant proposes to replace all the windows and glass doors. The new windows throughout the building will be aluminum framed, fixed, double paned, and glazed with “roll a shade” 5% to meet energy efficiency standards.

### West (Front) Elevation

The two glass doors will be replaced with one door that swings inward and has a framed window to replace the second door. The main entrance to the facility will be relocated to the south building elevation (**See Figure 4**). A suspended flat, green metal canopy is proposed above the full width of the windows.

The walkway ramp will be removed, patio will be repaired, and entire patio area will be enclosed. The applicant is providing the Design Review Board with an option to either have the patio fully enclosed with no exit way or provide a gate on the north side of the enclosure for pedestrians to exit the patio (**See Sheet AS3 in Attachment 2**). Two new planters are proposed outside of the patio to soften the building elevation. The main business wall sign is proposed on this elevation as well (**See Figure 3**).

**Figure 3: Existing West Elevation Photo (top) vs Proposed Elevation (bottom)**



# ITEM NO. 2

DRB Agenda  
March 4, 2021

710 Fair Oaks Avenue  
Project No. 2326-DRX

## South (Side) Elevation

To assist in breaking up the approximately 69-foot long wall on the south elevation (facing the angled parking stalls), the applicant proposes to continue the brick veneer in white to about halfway across the wall length. The rear half of this wall will have new stucco with a sanded finish in a light gray color. A green metal canopy will be suspended above the window and above the new double glass door main entryway.

The existing sidewalk along the entire length of this side will be removed and replaced with a new, wider walkway in order to provide access from the City sidewalk to the main entry and the parking area at the rear of the site. Two new planter boxes are proposed at the edge of this sidewalk.

A secondary wall sign is proposed on this elevation with indirect lighting above provided by the goose neck lamps. The sign will feature Krispy Kreme's logo. **Figure 4** below shows the existing and proposed elevation.

**Figure 4: Existing South Elevation Photo (top) vs Proposed Elevation (bottom)**



## East (Rear) Elevation

The existing back door will be replaced with a new metal door and a green metal canopy will be placed above it. The existing bollards protecting the building corners and utility equipment will be repainted.

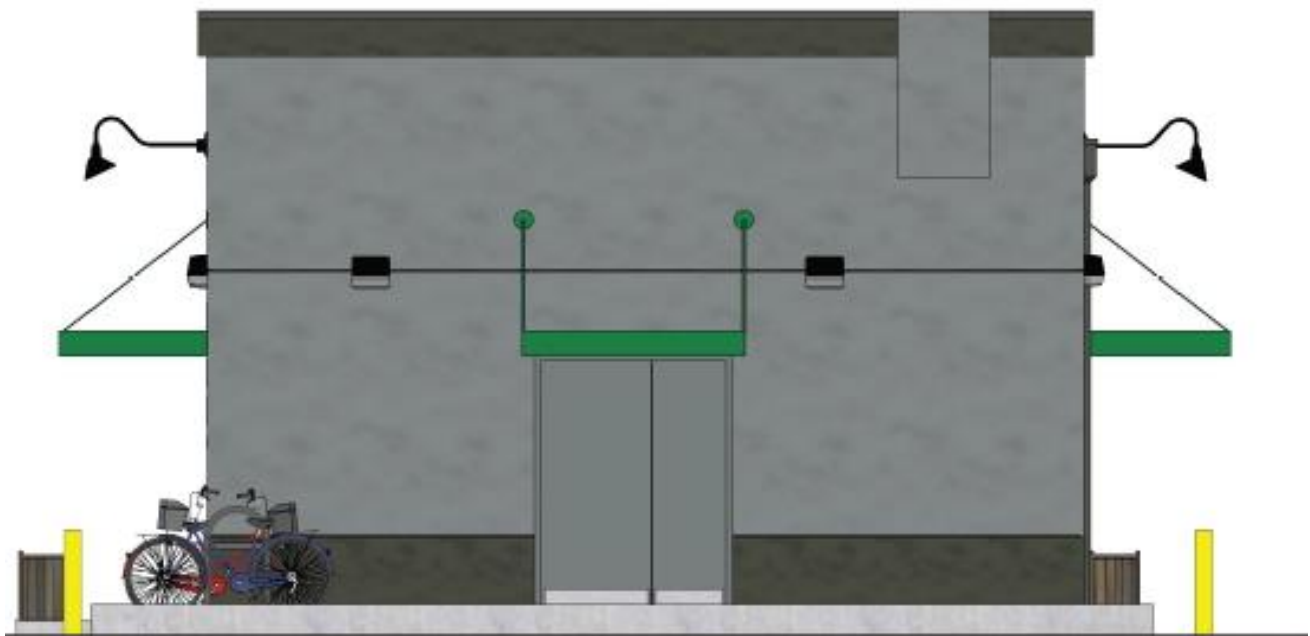
# ITEM NO. 2

DRB Agenda  
March 4, 2021

710 Fair Oaks Avenue  
Project No. 2326-DRX

New wall light fixtures will be installed on this elevation. Roof access will be provided from the interior and therefore, the opening seen in **Figure 5** below will not be designed.

**Figure 5: Existing East Elevation Photo vs. Proposed Elevation**



# ITEM NO. 2

DRB Agenda  
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710 Fair Oaks Avenue  
Project No. 2326-DRX

## North (Side) Elevation

Two landscape planters are proposed to be installed against the building. For roof drainage purposes, two downspouts will be installed on this side and painted in dark gray. A condition of approval (No. P13) has been imposed requiring the wall light fixture shown underneath one of the goose neck lamps to be removed.

As a design element on this wall, the applicant proposes to mount rolling doughnuts in black individual flat metal pieces that are 4 feet in height. These will not be internally illuminated nor animated. Three goose neck lamps above them will provide indirect lighting. Details of this design element can be found in **Attachment 3**.

**Figure 6: Existing North Photo Elevation (top) vs Proposed Elevation (bottom)**



## *Outdoor Lighting*

New lighting fixtures have been added to all the building elevations. These include decorative goose neck lamps and half round wall fixtures. Although not illustrated in the colored elevations, the green canopies will have can lights underneath on the development plans. New pole lights in the parking lot are not proposed.

## *Pedestrian Walkway*

The applicant is proposing to re-stripe the accessible van parking space and stripe a new pedestrian pathway leading to the new main entrance. Additionally, as previously described, the existing southside sidewalk will be removed and replaced with a new wider sidewalk of approximately 5 feet in width. This

# ITEM NO. 2

DRB Agenda  
March 4, 2021

710 Fair Oaks Avenue  
Project No. 2326-DRX

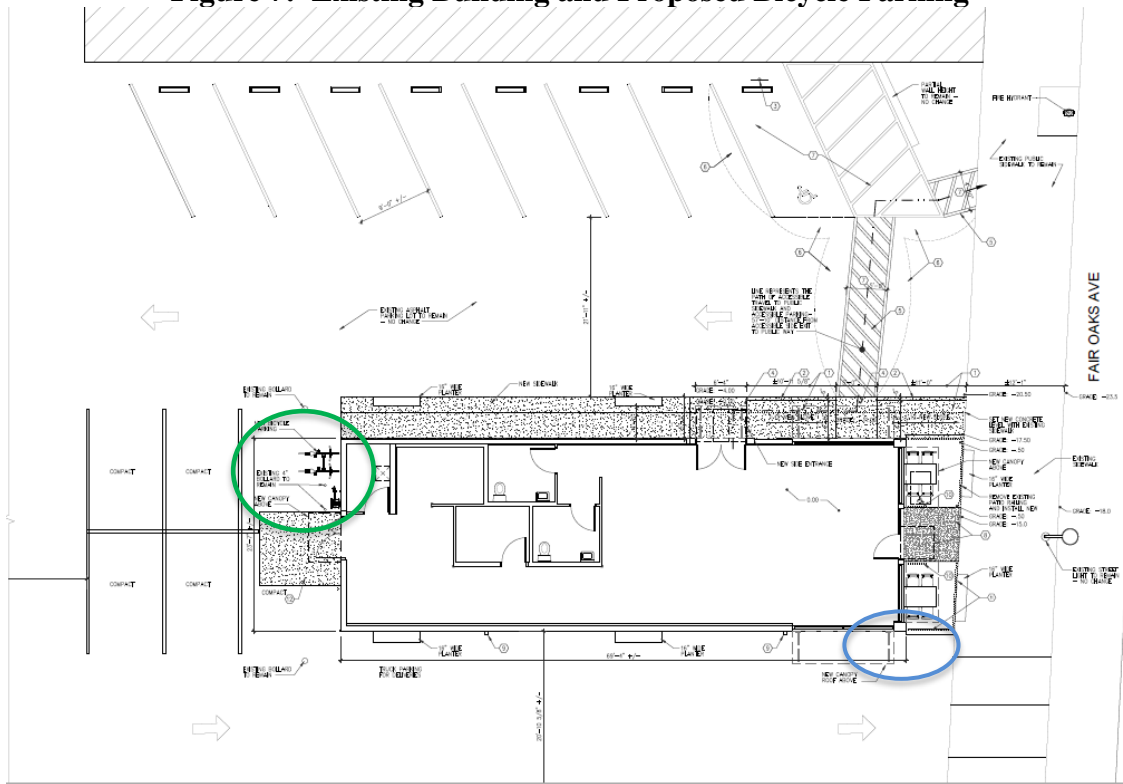
sidewalk will connect from the city sidewalk and run along the length of the building extending to the rear of the building for patrons who park behind the building.

## Vehicle and Bicycle Parking

Currently, the existing parking lot is shared with the building next door addressed 712 and 714 Fair Oaks Avenue. A total of 27 vehicle parking spaces are existing and will remain. New parking lot improvements are not proposed. A condition of approval (No. P13) has been imposed requiring the driveways to be stenciled with directional arrows to assist in directing vehicles.

As for bicycle parking, Section 36.310.100 of the SPMC requires that two bicycle parking spaces be provided or up to five percent of the required vehicle parking. The existing vehicle parking area that is shared with the south building is deemed as existing, non-conforming because the site does not have a city shared parking permit. The applicant is proposing two bicycle parking spaces at the rear of the building near the service door. A condition of approval (No. P13) has been imposed requiring the applicant to provide at least three bicycle parking spaces with bollards and/or a raised curb to protect patrons from on-coming vehicles as they exit the property on the north side driveway near the patio (encircled in blue below). These bollards and/or a raised curb can be used to alert drivers and protect the fixture and bicycles. Construction drawings submitted for plan check must show this bicycle parking on the site plan and details demonstrating that there is enough room to maneuver in/out of the bicycle parking spaces. **Figure 7** below shows the proposed location for the bicycle parking in the rear circled in green and in the front circled in blue.

**Figure 7: Existing Building and Proposed Bicycle Parking**



# ITEM NO. 2

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March 4, 2021

710 Fair Oaks Avenue  
Project No. 2326-DRX

## Landscaping

The project is not subject to compliance with SPMC 36.330 Landscaping Standards as it does not propose a 25 percent or more increase in floor (SPMC 36.330.020) and a change of use is not proposed. To enhance and soften the building elevations, the applicant is proposing to install landscape planters in the west (front), south, and north building elevations.

## Signs

Pursuant to Section 36.320.030 of the SPMC, the Design Review Board is the decision-making body for new commercial signs. The applicant is proposing to install two new wall signs as depicted in **Attachment 3**, the 3-dimensional elevations. Sign details can be found in **Attachment 4**. In accordance with Table 3-9 in SPMC Section 36.320.070(B), the subject building is allowed up to 3 permitted sign types per primary building frontage and 1 permitted sign type for secondary frontage. The subject building has two frontages: facing the street and facing the southern driveway. The primary wall sign (23.4 sq. ft.) is proposed to be an internally illuminated channel letter sign and will be placed above the green canopy facing the street. The secondary sign (32.9sq.ft.) will be flat metal pieces mounted to the wall facing the angled parking spaces. As shown in the table below, the proposed signs comply with the City's Sign Ordinance. The rolling doughnuts on the north elevation are not considered signage.

**Table 1 - Allowed & Proposed Signs for Krispy Kreme**

<b>Signs Allowed &amp; Location</b>	<b>Maximum Sign Area Allowed</b>	<b>Maximum Calculated Sign Area Allowed</b>	<b>Proposed Wall Sign Type &amp; Area - Primary Frontage</b>	<b>Proposed Wall Sign Type &amp; Area - Secondary Frontage</b>
3 allowed sign types per primary building frontage and 1 allowed sign type per secondary frontage	1 square-foot for each linear foot of primary building frontage and 0.5 square-feet for each linear foot of secondary frontage.	23ft, 7in linear feet x 1 sq.ft. = 23.7 sq.ft. max for primary frontage;	Dual Illuminated Channel Letter wall sign: 8ft, 3in x 2ft, 10in = 23.4sq.ft.	Flat Aluminum decals mounted on the wall: 8ft, 6in x 3ft, 10in = 32.9sq.ft.
Wall signs shall not exceed 7% of the area of the building façade on which the sign is mounted (Section 36.320.080 (I)(2))	Total area of all signs on a building frontage not to exceed the total linear feet in that frontage and no more than 200 square feet of sign area is allowed for each use.	69ft, 4in linear feet x 0.5 sq.ft. = 34.4 sq.ft. max allowed for secondary frontage.	7% of the building façade is 29.7sq.ft. *Sign Complies	7% of the building façade is 87.4sq.ft. *Sign Complies

## **Public Art Requirement**

Per South Pasadena Municipal Code (SPMC) Section 36.395.010 Public Art Development, any remodeling project of existing commercial buildings with a valuation exceeding \$250,000 is required to provide public artwork or dedicate funds to support public art. A condition is added for the applicant to provide public art in compliance with SPMC 36.395 if the project meets the minimum valuation to be subjected to the public art requirement prior to issuance of an occupancy permit.

## **Required Design Review Findings**

In order to approve a Design Review application, the DRB shall first find that the design and layout of the proposed project complies with South Pasadena Municipal Code (SPMC) Section 36.410.040(I):

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The General Plan land use designation of the site is General Commercial, which provides for a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood. The project is within the Upper-Fair Oaks sub area of the Fair Oaks focus area, which is intended to encourage “street wall” development, adaptive re-use of existing buildings, and creating a pedestrian-friendly atmosphere. As proposed the project complies with Zoning and the General Plan, because it involves rehabilitation of an existing old commercial building for restaurant use, which is permitted on site. The project will modify the exterior façade of the building and change the interior to accommodate the new eatery and will retain the outdoor dining component of the business. A change of use of the building is not proposed nor is new construction.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project does not propose to change the use previously allowed onsite. The existing parking lot, which is shared with the adjacent building will remain as is providing 27 parking spaces. New bicycle parking will be provided at the rear of the building for patrons and/or employee use. A new curb sidewalk will be provided, which will connect from the City sidewalk to the main entrance and extend to the rear of the building for patrons who park in the rear. Additionally, the applicant will re-stripe the accessible van parking space and provide a new striped pedestrian path. These improvements will enhance pedestrian safety. Furthermore, all city and utility services to the site, including but not limited to refuge, recycling, water, and sewer services, are in place and will adequately serve the site.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The existing character of the surrounding neighborhood consists of a variety of single and two-story commercial buildings of various architectural styles. The project proposes the interior and exterior remodel of an existing restaurant building. The exterior remodel of the building includes new building materials and repainting all facades as well as new building lighting.



These improvements break up the long walls of the building and add architectural interest to the site in accordance with the City's Design Guidelines. Additionally, the proposed signs comply with the City's Sign Ordinance and are a common type in this commercial area of the City. The signs are not expected to negatively impact surrounding businesses.

**4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

Currently, the existing building has a large old and unattractive mansard roof that dominates it aesthetically. The project proposes to remove the roof, replace the windows, doors, and alter the exterior by using new and good quality materials to add architectural interest and provide an aesthetically inviting environment to the public. The proposed exterior materials, which are known for their durability, consists of cement plaster with a sand finish and brick stone veneer material, metal canopies, and new paint colors. Implementation of the project will significantly improve the site and surrounding commercial neighborhood. Additionally, it will deter vandalism as the site is currently unoccupied. Thus, the new project would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

### **Alternatives to Consider**

If the Board does not agree with staff's recommendation, the following options are available:

1. The Design Review Board can Approve with new condition(s) added; or
2. The Design Review Board can Continue the project to address comments discussed; or
3. The Design Review Board can Deny the project.

### **Next Steps**

1. If approved, conditionally, or as submitted, the applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
2. If denied, the Design Review Board's decision can be appealed by the applicant to the Planning Commission.

### **Fiscal Impact**

The cost of processing the Design Review and Sign Permit was covered by the application fee.

### **Environmental Analysis**

As proposed the project is exempt from the California Environmental Quality Act (CEQA) based on State CEQA Guidelines Section 15301, Class 1 Existing Facilities. Class 1 exemption includes interior or exterior alterations with no expansion of use.

The project site is in an urbanized area with no environmentally sensitive habitats or species of concern on the property, there has been no successive effort to intensify land uses in the area, and no unusual circumstances exist that would pose a reasonable possibility of having a significant effect on the environment, and the project does not involve or affect historic resources.

# ITEM NO. 2

DRB Agenda  
March 4, 2021

710 Fair Oaks Avenue  
Project No. 2326-DRX

Based on this analysis, no significant environmental effects would result from this project and the use of a categorical exemption is appropriate.

## **Public Notification of Agenda Item**

The public was made aware that the proposed project was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review*, and individual property mailings to those within 300 feet of the project site.

## **Attachments**

1. Conditions of Approval
2. Project Plans
3. 3-Dimension Elevations
4. Proposed Sign and Canopy Plans
5. Photos of Surrounding Buildings

**ITEM NO. 2**

**ITEM NO. 2**

**ATTACHMENT 1**  
Conditions of Approval

**CONDITIONS OF APPROVAL  
PROJECT NO. 2326-DRX/SGN  
710 Fair Oaks Avenue (APN: 5318-004-020)**

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**PLANNING DIVISION:**

- P1. The following approvals are granted as described below and as shown on the development plans submitted and approved by **the Design Review Board** on March 4, 2021:
- a. **Design Review** to allow for a proposed remodel of an existing 1,672 square-foot restaurant building involving exterior and interior modifications and a **Sign Permit** for the installation of new wall signs.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Design Review Board unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with this approval.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Design Review Board concerning this approval.

**Notes on Construction Plans**

The contractor shall be responsible to implement and monitor compliance with the following conditions:

- P7. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
- P8. The hours of all construction activities shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.

- P9. During construction, the clearing, grading, earth moving, excavation operations, or transportation of cut or fill materials that cause fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to prevent fugitive dust; and
  - b. All material excavated or graded shall be sufficiently watered to prevent dust from leaving the construction area and to create a "crust" after each day's activities ceases. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
  - c. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent fugitive dust;
  - d. All area of vehicle movement shall be water appropriately to prevent dust from leaving the construction site;
  - e. Soil stockpiles for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation;
  - f. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
  - g. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P10. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.

### **Prior to issuance of Building Permits**

- P11. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P12. The applicant shall provide public art in compliance with SPMC 36.395 if the project meets the minimum valuation to be subjected to the public art requirement prior to issuance of an occupancy permit. If the project is subject to the Public Art requirement the applicant shall pay the appropriate fee.
- P13. Construction plans submitted for plan check shall show the following:
- a. The building parapet wall shall be increased by at least 6 inches, but not more than 12 inches to fully screen the new roof equipment from view from the public right-of-way; and
  - b. Driveways with a stenciled arrow to direct traffic. An "Exit Only" sign of 18 inches wide by 24 inches long facing the street must be placed on the building or other conspicuous location alerting drivers that the northside driveway is not a vehicle entrance; and

- c. At least three bicycle parking spaces on the northside driveway near the front patio. This area must be designed to alert drivers exiting the site of the bicycle parking location and protect the bicycle racks, bicycles, and cyclists through use of bollards and/or a raised curb on which the bicycles will be parked; and
- d. Omission of any light fixtures underneath the decorative goose neck lamps.

**DEPARTMENT OF PUBLIC WORKS:**

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee (\$922 for two (2) reviews and an additional fee of \$153 for each additional review) and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services
- PW4. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW5. The applicant shall install a grease interceptor, apply for a FOG (fats, oils, and grease) wastewater discharge permit, and pay all applicable fees to the Public Works Department prior to commencing discharge of wastewater to the sewer system.
- PW6. The applicant shall pay all applicable City sewer and/or water capacity charges per SPMC Section 16B.3.
- PW7. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings fronting the property on Fair Oaks Avenue to the satisfaction of the City Engineer per SPMC Section 31.54. Existing conditions shall be documented and all improvements within the public right-of-way shall be shown on the plans and conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW8. No overnight storage of materials or equipment within the public right-of-way shall be permitted.

**BUILDING AND SAFETY DIVISION:**

**General conditions:**

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board letter. This information shall be incorporated into the plans

- prior to the first submittal for plan check.
- B2. Structural drawings with supporting calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided for new rooftop equipment anchorage, new openings at existing roof, including canopy modification and parapet extension.
  - B3. A grading and/or drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate new construction of accessible path of travel from public way and from accessible parking spaces to the building entrance and show new drainage pattern and new drainage structure location in areas affected by the proposed alteration.
  - B4. All State of California disability access regulations for accessibility shall be complied with.
  - B5. Top curb ramp run along with its ramp flares of perpendicular curb ramps shall have surface slopes that meet at grade breaks be flush per Section 11B-406.5.6 of the California Building Code and not be obstructed by any building elements or planters.
  - B6. Approval is required from the Los Angeles County Health Department for food handling and/or storage.
  - B7. Indoor and outdoor lighting shall comply with mandatory requirements of the California Energy Code.
  - B8. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
  - B9. Project shall comply with the CalGreen Non-Residential mandatory requirements.
  - B10. An electrical, mechanical, plumbing plan check shall be required.
  - B11. Separate plan review and permit is required for each walk-in cooler and/or freezer.
  - B12. When required by the Fire Department, all fire sprinklers hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hanger are design to carry the tributary weight of the water filled pipes plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit and a separate plan is required for fire sprinklers.
  - B13. Handrails are required at both sides of the proposed ramp walkway (not meeting the Code definition of a curb ramp) with slope 1:12 from the start of the bottom landing at elevation -11-inches to the start of the door landing at an elevation of -4-inches per Section 11B-405.8 regardless of elevation differential between the ramp finish surface and that of the adjacent drive aisle. The ramp handrail extension at the top and bottom of the landing shall be provided per Section 11B-505.10.1. The bottom landing of the ramp shall have minimum length of 72-inches in the direction of the ramp run per Section 11B-405.7.3.1.
  - B14. Handrails are required at both sides of the proposed stairs at the outdoor dining areas in both patio option 3 per Section 11B-504.6. Stair handrail extensions at the top and bottom of the landing shall be provided per Section 11B-505.10.2.

- B15. Angled accessible parking and its access aisle shall comply with Section 11B-502.2 and 11B-502.3 (figures 11B-502.2 and 11B-502.3) and be clear from the minimum drive aisle width as required by the Zoning Code.

## **FIRE DEPARTMENT CONDITIONS**

- F1. All construction must comply with all appropriate fire protection installation standards as adopted by South Pasadena Fire Department.
- F2. Project shall comply with all current 2019 adopted California Building Code, California Fire Codes, NFPA and South Pasadena Municipal Code, requirements are based on occupancy classification.
- F3. Fire Sprinkler Required. Submit plans to City for approval.
- F4. Additions and Alterations. All existing buildings and structures, regardless of type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following: 3-within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds 50% of the valuation of the entire building structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were built new today, an automatic sprinkler system would be required by this code.
- F5. Water supply for buildings equipped with an automatic sprinkler system. For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:
- 1.The automatic sprinkler system demand, including hose stream allowance.
  - 2.The required fire flow. B105.3
- F6. Fire Flow The flow rate of a water supply, measured at 20 psi residual pressure, that is available for firefighting. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B. (507.3)
- F7. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provide to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (507.1 CFC)
- F8. Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply test shall be witnessed by the fire code official and approved documentation of the test shall be provided to the fire code official prior to the final approval of the water supply system. (507.4 CFC)
- F9. Fire Alarm required. Submit plans to City for approval (manual and automatic). An approved fire alarm system installed in accordance with the provisions of this code and NFPA 72 shall be provided in new buildings and structures.
- F10. Central Station Service Alarm Systems. Alarm systems used to provide central station service shall comply with the general requirements and the use requirements of Section 26.3 (NFPA 72).



- F11. Hood System. Submit plans to City for approval.
- F12. Exits. Exits shall comply with Sections 1022 through 1027 and the applicable requirements of Sections 1003 through 1015. An exit shall not be used for any purpose that interferes with its function as a mean of egress. Once a given level of exit protection is achieved, shall level of protection shall not be reduced until arrival at the exit discharge. Exit shall be continuous from the point of entry into the exit to the exit discharge.
- F13. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
- F14. Knox Box required. Where access to or within a structure or an area is restricted because of secure openings or where immediate access is necessary for life-saving or fire-fighting purposes, the Fire Code Official is authorized to required a key box to be installed in an approved location ( 506.1 CFC).
- F15. Portables Fire extinguishers. Structures under construction, alteration or demolition shall be provide with no less one approved portable fire extinguisher in accordance with Section 905 and sized for not less than ordinary hazard as follows:
3. At each stairway on all floor levels where combustible materials have accumulated.
  4. In every storage and construction shed.
  5. Where special hazards exist including but not limited to storage and use of combustible and flammable liquids (3315.1 CFC)
- F16. Where required. Portables fire extinguishers shall be installed in all of the following locations: In new and existing Group A, B, E, F, H, I, L, M, R-1, R-2, R-2.1, R-3.1, R-4 and S occupancies (906.1 CFC).
- F17. Fire Alarm and Detection Systems required. This section covers the application, installation, performance and maintenance of fire alarm systems and their components in new and existing buildings and structures. The requirements of Section 907.2 are applicable to new buildings and structures (CFC 907.1).
- F18. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class 'A' roof material (SPMC 14.1.1).
- F19. For water related questions, please refer to public works.

## GENERAL COMPLIANCE ITEMS/REQUIREMENTS AND INFORMATION

The following items are noted for the applicant's information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for South Pasadena and many other agencies, including but not limited to Los Angeles County, and state and federal agencies.

## **Public Works Department**

1. The applicant shall pay for all applicable City and LA County fees including PW plan review and permit fees prior to the issuance of the Building Permits.
2. A copy of a current Title Report (within the last 60 days) shall be provided. The applicant shall show all easements per the Title Report to the satisfaction of the Public Works Department. Any conflict with existing easements resulting in the site being redesigned potentially requires a minor change or amendment approval by the original decision-making body.
3. The applicant shall contact the City Water Division to coordinate size, location, and associated fee for a new water meter connection as applicable. Please contact Water Operation Manager (626) 460-6393 for additional information.
4. Replace all broken, damaged, or out-of-grade sidewalk, curb and gutter fronting the property to current city standard per SPMC Section 31.54.
5. Demonstrate compliance with all requirements of the City of South Pasadena Low Impact Development (LID) Ordinance. The applicant shall include the necessary Best Management Practices (BMP) measures and a Standard Urban Storm Water Mitigation Plan (SUSMP) for construction and post-construction phases as part of the LID plan per SPMC Section 23.14. Provide a copy of the approved plan from the Building & Safety Department.
6. Provide a copy of a will-serve letter and receipt for the sewer connection fee from the Los Angeles County Sanitation District (LACSD). A copy of the receipt for any fees to be paid must be submitted before permit issuance.
7. Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
8. Temporary bins (low boy) will be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
9. The applicant shall obtain oversized/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
10. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

## **Building Division**

1. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
2. Park Impact Fee to be paid at the time of permit issuance.

3. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
4. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
5. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
6. Electrical plan check is required.
7. Mechanical plan check is required.
8. Plumbing plan check is required.
9. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
10. Project shall comply with the CalGreen Residential mandatory requirements.
11. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet for dwellings and accessory buildings without automatic residential fire sprinkler protection shall comply with Table R302.1(1&2)
12. No work or construction materials will be permitted to encroach into adjacent property without written approval from the affected property owner.
13. Demolition permit is required for any existing buildings which are to be demolished.
14. When modification to existing sprinklers is required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe as prescribed by the Fire Code and referenced standards. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit and a separate is required for Fire Sprinklers.

**Fire Department:**

15. The project shall comply with all current adopted California Building, Fire Codes, NFPA and SPFD standards requirements based on occupancy classification.

**ITEM NO. 2**

**ITEM NO. 2**

**ATTACHMENT 2**  
Project Plans

**DRAWING INDEX**

SHT. #	SHEET NAME	REVISIONS
T1	TITLE SHEET	▲▲▲▲▲▲▲▲▲▲▲▲▲▲▲▲
<b>ARCHITECTURAL</b>		
AS1.1	EXISTING SURVEY	
AS1	ARCHITECTURAL SITE PLAN	
AS3	ARCHITECTURAL SITE PLAN PATIO OPTIONS	
D1	DEMOLITION FLOOR PLAN	
D2	DEMOLITION EXTERIOR ELEVATIONS	
A1	FLOOR PLAN	
A5	ROOF PLAN	
A6	EXTERIOR ELEVATIONS	
A7	DOOR AND WINDOW DETAILS	
<b>EQUIPMENT</b>		
EQ1	EQUIPMENT PLAN	

**NRD** national restaurant designers  
**ARCHITECTS & ENGINEERS**  
 3005 Carrington Mill Blvd., Morrisville, NC 27560  
 ph: 919 544 7251 fax: 919 544 9399  
 A Division of LMHT Associates

**PRELIMINARY NOT FOR CONSTRUCTION**

Revisions

No.	Description

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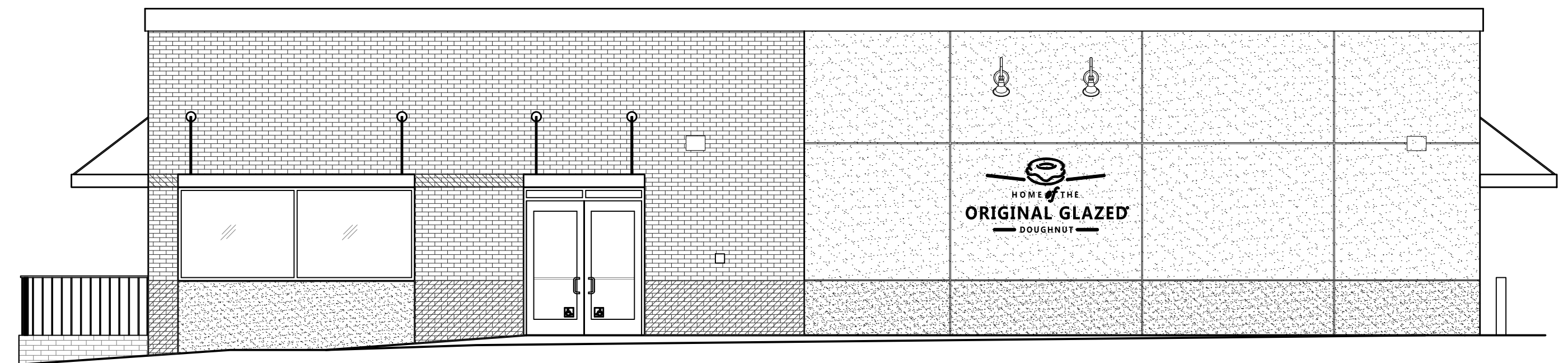
**AWESOME DOUGHNUT, LLC**  
**BDA KRISPY KREME DOUGHNUTS**  
 4760 E LOS COYOTES DIAGONAL  
 LONG BEACH, CA 90815  
 ROGER GLICKMAN - OFFICE: 213-489-2340x107  
 Project location  
**710 FAIR OAKS AVENUE**  
**SOUTH PASADENA, CA 91030**

**Krispy Kreme**  
**DOUGHNUTS**  
 SHEET DATA  
**TITLE SHEET**

Date: 01/29/2021  
 Drawn By: MTP  
 Checked by: TD  
 Sheet No.: T1



**1,640 SQ. FT. FRESH SHOP CONVERSION  
 SHOP # 910**



**710 FAIR OAKS AVENUE  
 SOUTH PASADENA, CA 91030**

**Owner:**  
 AWESOME DOUGHNUT, LLC  
 BDA KRISPY KREME DOUGHNUTS  
 ROGER GLICKMAN  
 4760 E LOS COYOTES DIAGONAL  
 LONG BEACH, CA 90815  
 OFFICE: 213-489-2340x107

**Architect / Engineer:**  
 NATIONAL RESTAURANT DESIGNERS  
 3005 CARRINGTON MILL BLVD. SUITE 150  
 MORRISVILLE, NORTH CAROLINA 27560  
 (919) 544-0087 FAX: (919) 544-9399

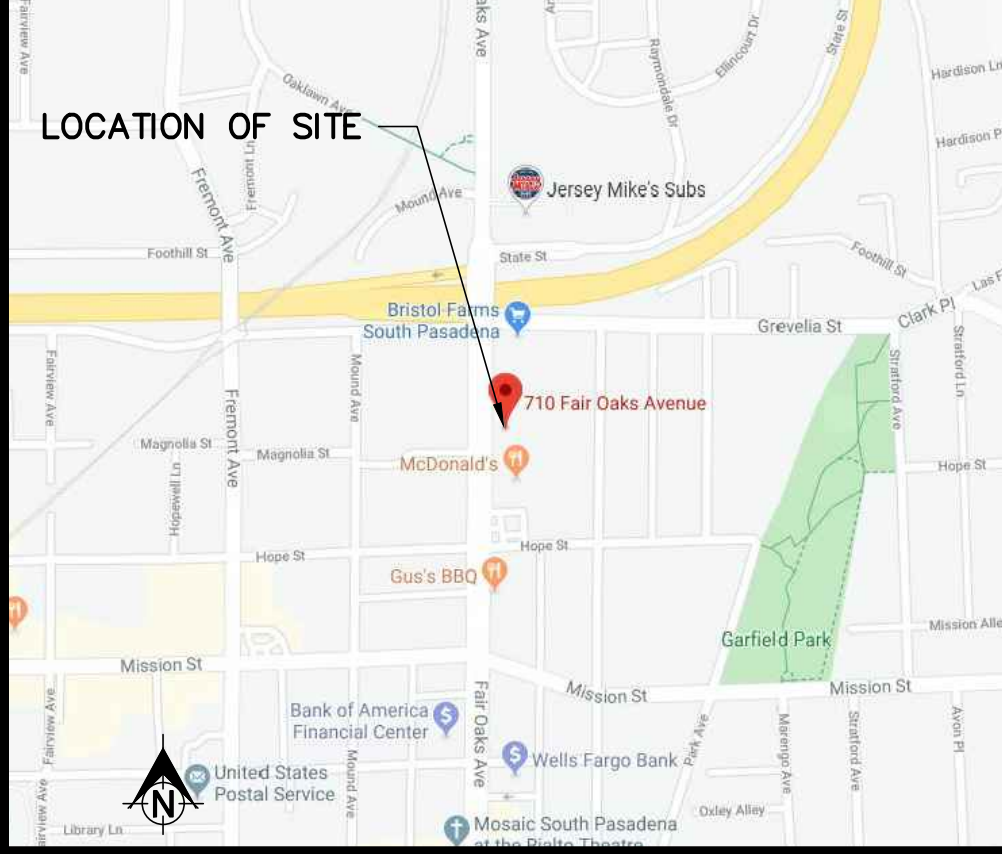
**UTILITY DATA**

LIGHTING:	TOTAL LIGHTS	2.4 KVA
ELECTRIC:	TOTAL CONNECTED LOAD	59.25 KVA
	TOTAL DEMAND LOAD	59.25 KVA
PLUMBING:	FIXTURE UNITS SERVED	28.0
	FIXTURE DEMAND	22.58
GAS:	TOTAL GAS DEMAND	188.00 MBH

**BASIC INFORMATION**

BUILDING SQUARE FOOTAGE:	1,640 S.F.
SEAT COUNT:	20 INTERIOR
ELECTRICAL SERVICE:	400 AMP, 240Y/120V - 1Ø
WATER SERVICE:	EXISTING 1"
WATER METER SIZE:	EXISTING TO REMAIN
GREASE INTERCEPTOR SIZE:	50 GPM HYDROMECHANICAL
RTU TOTAL TONNAGE:	8.5 TONS

**VICINITY MAP**



**SCOPE OF WORK:** 1,640 SQUARE FOOT NEW KRISPY KREME FRESH SHOP IN A EXISTING SHELL BUILDING - CLASSIFIED AS RESTAURANT WITH SALES COUNTER AND INTERIOR SEATING FOR 20 TOTAL.

**BUILDING CODE SUMMARY**

2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA ELECTRIC CODE  
 2019 CALIFORNIA ENERGY CODE

**TENANT DATA**

OCCUPANCY: MIXED OCCUPANCY?  YES  NO  
 A2 RESTAURANT  
 OCCUPANT LOAD: 44  
 REFER TO DRAWING T4 FOR OCCUPANT PLAN  
 CONSTRUCTION TYPE: VB  
 SPRINKLED?  YES  NO  
 FIRE DISTRICT?  YES  NO  
 NUMBER OF STORIES: 1  
 MEZZANINE:  YES  NO  
 BUILDING AREA:  
 EXISTING TOTAL BUILDING GROUND FLOOR: 1,640 S.F.  
 AREA INCREASE?  YES  NO

**LIFE SAFETY SYSTEM**

EMERGENCY LIGHTING:  YES  NO  
 EXIT SIGNS:  YES  NO  
 FIRE ALARM SYSTEM:  YES  NO  
 SMOKE DETECTION SYSTEM:  YES  NO  
 PANIC HARDWARE:  YES  NO

**EXIT REQUIREMENTS**

DEAD END LIMIT - MAX.CONDITION: 6'-6" (20 FEET ALLOWED)  
 TRAVEL DISTANCE TO EXIT - MAX. CONDITION: 54'-3" (75 FEET ALLOWED)  
 NUMBER OF EXITS REQUIRED: 1  
 NUMBER OF EXITS PROVIDED: 2  
 EXIT WIDTH REQUIRED:  
 TABLE 1005.1, 0.2" PER PERSON PRODUCTION (1) 56"-56"  
 0.2" (44) = 8.8"  
 50% THRU FRONT=4.4"  
 DINING (1) 68"=68"  
 THRU FRONT = 68"

**STRUCTURAL DESIGN LOADS**

REFER TO STRUCTURAL DRAWINGS

**SPECIAL INSPECTIONS**

NONE REQUIRED

**FIRE RESISTANCE RATINGS**

30 FEET CLEAR ACCESS AROUND BUILDING

ASSEMBLY	REQUIRED	PROVIDED
PARTY / FIREWALL	N/A	N/A
EXTERIOR BEARING WALL		
FRONT	0 HR	0 HR
RIGHT SIDE	0 HR	0 HR
REAR	0 HR	0 HR
LEFT SIDE	0 HR	0 HR
EXTERIOR NON-BEARING WALLS		
FRONT	N/A	N/A
RIGHT SIDE	N/A	N/A
REAR	N/A	N/A
LEFT SIDE	N/A	N/A
INTERIOR WALLS BEARING		
NON-BEARING	N/A	N/A
TENANT SEPARATION	0 HR	0 HR
CEILING/FLOOR ASSEMBLY	N/A	N/A
BEAMS	0 HR	0 HR
COLUMNS	0 HR	0 HR
CEILING/ROOF ASSEMBLY	0 HR	0 HR
VERTICAL SHAFTS	N/A	-
CHASES	N/A	-
MIXED OCCUPANCY SEPARATION	N/A	-
TENANT SEPARATION	N/A	-

**TOILET FACILITIES**

RESTAURANT = 44 PEOPLE 22 MALE, 22 FEMALE

PER PLUMBING TABLE 403.1	REQUIRED	WC	URINALS	LAV
MALES	1	-	1	
FEMALES	1	-	1	
PROVIDED:	WC	URINALS	LAV	
MALES	1	-	1	
FEMALES	1	-	1	

**PARKING SPACES**

EXISTING TO REMAIN - NO CHANGE

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

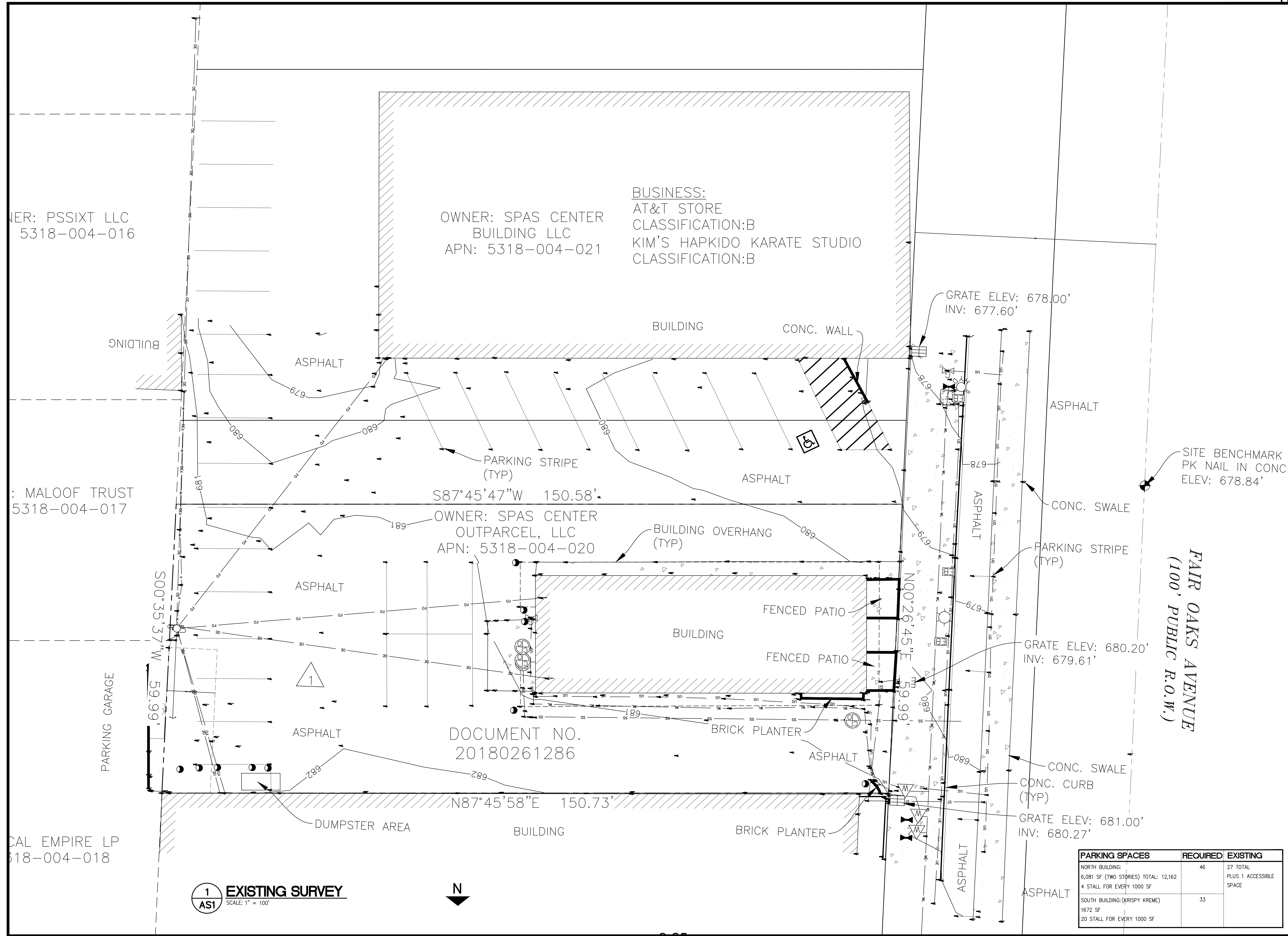
Revisions

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**AWESOME DOUGHNUT, LLC**  
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 Project location  
**70 FAIR OAKS AVENUE**  
 SOUTH PASADENA, CA 91030

**Krispy Kreme**  
 DOUGHNUTS  
 SHEET DATA  
 EXISTING SURVEY

Date 01/29/2021  
 Drawn By MTP  
 Checked by GFL  
 Sheet No. AS11



PARKING SPACES	REQUIRED	EXISTING
NORTH BUILDING: 6,081 SF (TWO STORIES) TOTAL: 12,162 4 STALL FOR EVERY 1000 SF	46	27 TOTAL PLUS 1 ACCESSIBLE SPACE
SOUTH BUILDING: (KRISPY KREME) 1672 SF 20 STALL FOR EVERY 1000 SF	33	

**CONSTRUCTION NOTES**

- 1 REMOVE EXISTING SIDEWALK AND INSTALL NEW CONCRETE CURB CUT, SLOPED TO 1 IN 12 MAX., LENGTH TO BE DETERMINED IN FIELD. INSTALL GROOVES IN CONC.; PAINT REFLECTIVE YELLOW. REFER TO DETAIL 3/AS2.
- 2 INSTALL 6" WIDE CONC. SIDE CURB.
- 3 REMOVE EXISTING ACCESSIBLE PARKING SIGN AND INSTALL NEW VAN ACCESSIBLE PARKING SIGN. SEE DETAIL 1/AS2.
- 4 NEW CONCRETE SIDEWALKS FOR ACCESSIBLE ROUTE TO BOTH ENTRANCE. SHALL BE MAX 2% CROSS SLOPE AND MAX 5% CROSS SLOPE. MAKE SURE SITE STILL DRAINS.
- 5 NEW 4" WIDE STRIPES ON PAVEMENT PER LOCAL REQUIREMENTS.
- 6 REGRADE PAVEMENT ADJACENT TO NEW "FLAT" STALL & ACCESS AISLE TO AS REQ'D - PROVIDE MAX 1:8 SLOPE DOWN TO EXISTING PAVEMENT & BASE TO MATCH EXIST. MAKE SURE SITE STILL DRAINS.
- 7 ACCESSIBLE STALL AND ADJACENT ACCESS AISLE SHALL BE MAX 2% SLOPE IN ANY DIRECTION - REGRADE AS REQUIRED & INSTALL NEW PAVEMENT & BASE TO MATCH EXIST.
- 8 REMOVE EXISTING RAMP AT FRONT DOOR AND INSTALL NEW CONCRETE FLUSH WITH PATIO CONCRETE SLAB. SHALL BE MAX 2% CROSS SLOPE AND MAX 5% CROSS SLOPE. MAKE SURE SITE STILL DRAINS.
- 9 NEW ROOF DOWNSPOUTS SHALL SHEET FEED ONTO PARKING LOT.
- 10 REMOVE EXISTING RAILING AND PATCH CONCRETE AS REQUIRED.
- 11 REMOVE EXISTING PATIO RAILING AND INSTALL NEW.
- 12 REMOVE EXISTING CRACKED/DAMAGED CONCRETE AND INSTALL NEW.

**PARKING NOTES**

- 15- EXISTING REGULAR PARKING SPACES TO REMAIN
- 6- EXISTING COMPACT PARKING SPACED TO REMAIN
- 1- ACCESSIBLE PARKING SPACE TO REMAIN

**GENERAL NOTES**

1. EXISTING BUILDING FOOTPRINT TO REMAIN.
2. EXISTING PARKING LOT TO REMAIN. NO CHANGES TO PERVIOUS OR IMPERVIOUS SURFACES.
3. THERE ARE CURRENTLY NO TREES OR LANDSCAPE ON EXISTING SITE.

**NRD** national restaurant designers  
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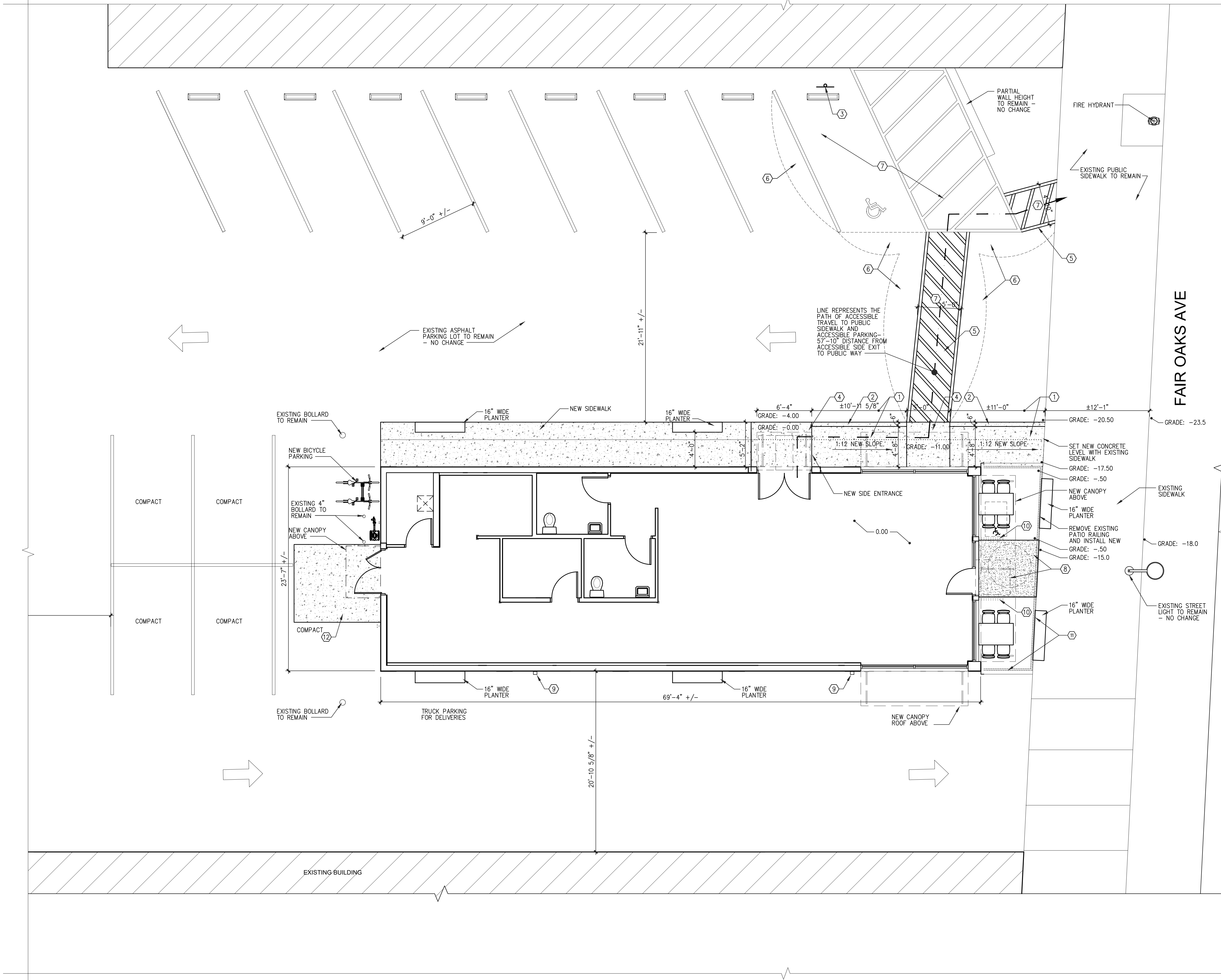
Revisions

AWESOME DOUGHNUT, LLC  
 BDA KRISPY KREME DOUGHNUTS  
 4760 E LOS COYOTES DIAGONAL  
 LONG BEACH, CA 90815  
 Project location: 70 FAIR OAKS AVENUE SOUTH PASADENA, CA 91030  
 Project No: SHOP 910  
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**Krispy Kreme**  
 DOUGHNUTS  
 SHEET DATA  
 ARCHITECTURAL SITE PLAN

Date: 01/29/2021  
 Drawn By: MTP  
 Checked by: GFL  
 Sheet No: ASI

PARKING SPACES	EXISTING	PROPOSED
REGULAR	7	7
COMPACT	6	6
ACCESSIBLE	1	1



**1** ARCHITECTURAL SITE PLAN  
 SCALE: 3/16" = 1'-0"  
 N

Revisions

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Project location:  
**70 FAIR OAKS AVENUE**  
**SOUTH PASADENA, CA 91030**

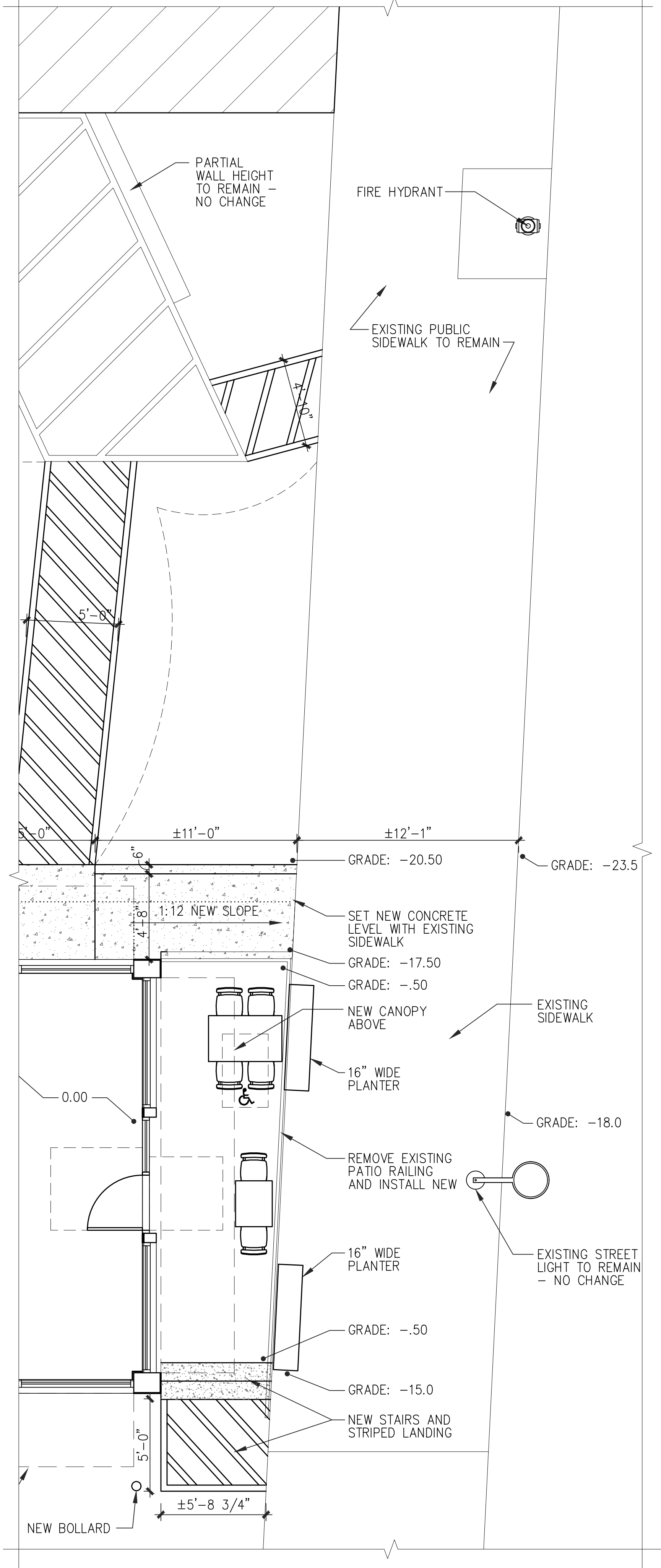
**Krispy Kreme**  
**DOUGHNUTS**  
SHEET DATA  
**ARCHITECTURAL SITE PLAN**

Date: 01/29/2021

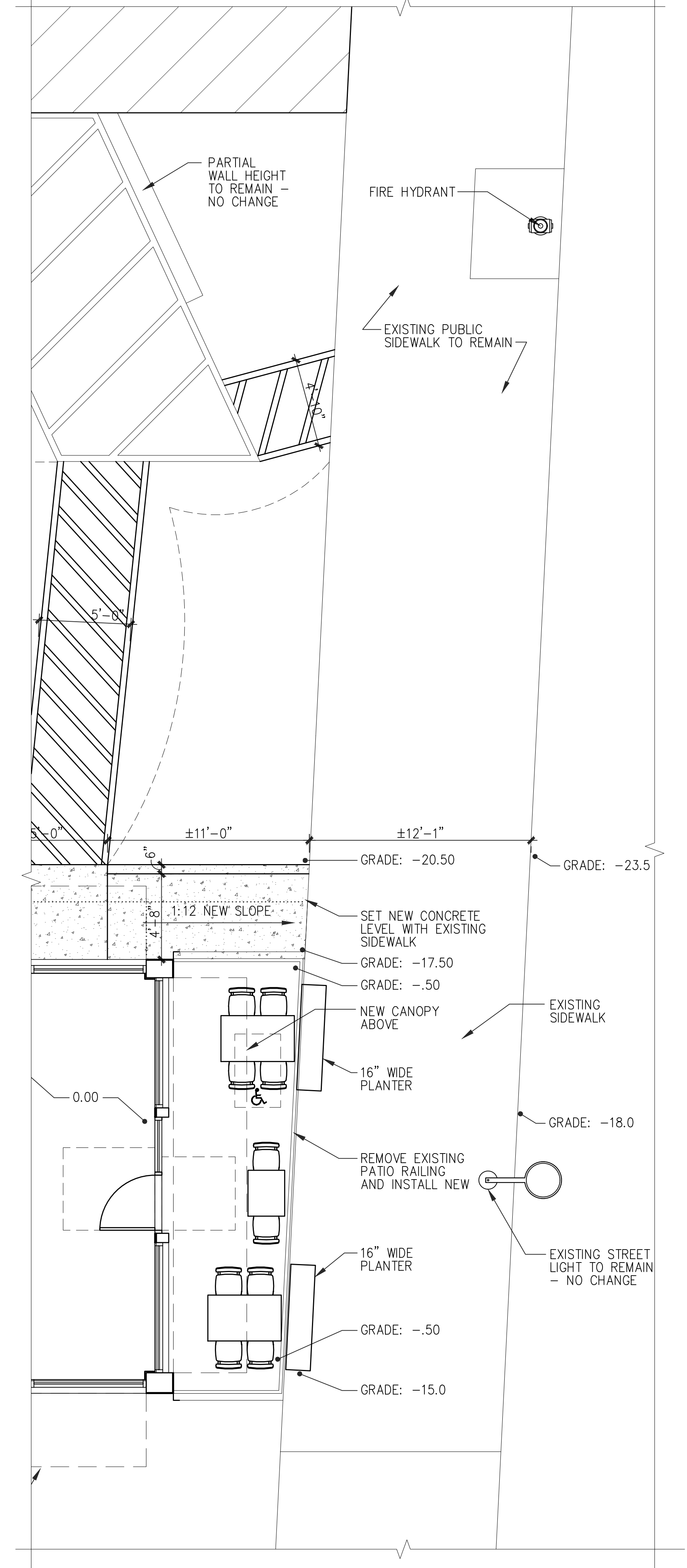
Drawn By: MTP

Checked by: TMD

Sheet No. AS3



**3** **OPTIONAL PATIO PLAN**  
SCALE: 3/16" = 1'-0"  
N



**1** **PROPOSED PATIO PLAN**  
SCALE: 3/16" = 1'-0"  
N



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Revisions

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SOUTH PASADENA, CA 91030

SHOP 910

**Krispy Kreme**  
DOUGHNUTS  
SHEET DATA  
DEMOLITION FLOOR PLAN

Date 01/29/2021

Drawn By MTP

Checked by GFL

Sheet No. D1

### WALL TYPE LEGEND

- EXISTING CMU EXTERIOR WALLS - REMOVE EXISTING INTERIOR AND EXTERIOR FINISHES/SUBSTRATE AND INSTALL NEW
- 16 GA METAL STUDS FRAMING @ 16" O.C.
- SOUND ATTENUATION
- EXISTING WALL TO BE REMOVED- PATCH AND REPAIR ADJACENT WALLS AS REQUIRED

### DIMENSION NOTES:

- ↑ 3'-0" TO FACE OF STUD
- ↑ 3'-0" MIN. MINIMUM DIMENSION ALLOWED (MAY BE MORE)
- ↑ 3'-0" MAX. MAXIMUM DIMENSION ALLOWED (MAY BE LESS)
- ↑ 3'-0" CLR. EXACT DISTANCE BETWEEN FINAL FINISHED SURFACES (ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED)
- ↑ 3'-0" VERIFY TARGET DIMENSION WHICH MAY NOT BE ACHIEVED IN FIELD - BE AWARE OF POSSIBLE CHANGE
- ↑ ALIGN ALIGN THESE FINISH SURFACES

### GENERAL NOTES

1. CONTRACTOR SHALL CALL ALL LOCAL UTILITY COMPANIES AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
2. CONTRACTOR SHALL DEMOLISH, RE-ROUTE, AND RE-WORK ALL EXISTING UTILITIES AS REQUIRED.
3. CONTRACTOR SHALL DISPOSE OF ALL CONSTRUCTION DEBRIS IN ACCORDANCE WITH MUNICIPALITY REGULATIONS.
4. GENERAL CONTRACTOR TO SHORE AND BRACE EXISTING STRUCTURE AS REQUIRED.
5. REMOVE AND REINSTALL EXISTING CONCRETE SLAB AS REQUIRED FOR ANY NEW UNDERGROUND UTILITY WORK. FILL OPENING WITH NEW COMPACTED FILL, VAPOR BARRIER AND SLAB TO MATCH EXISTING FLUSH AND SMOOTH WITH ADJACENT EXISTING SLAB. COORDINATE WITH BUILDING ENGINEER AS REQUIRED.
6. NOTE: EXISTING BUILDING IS NOT SPRINKLED.

### DEMOLITION NOTES

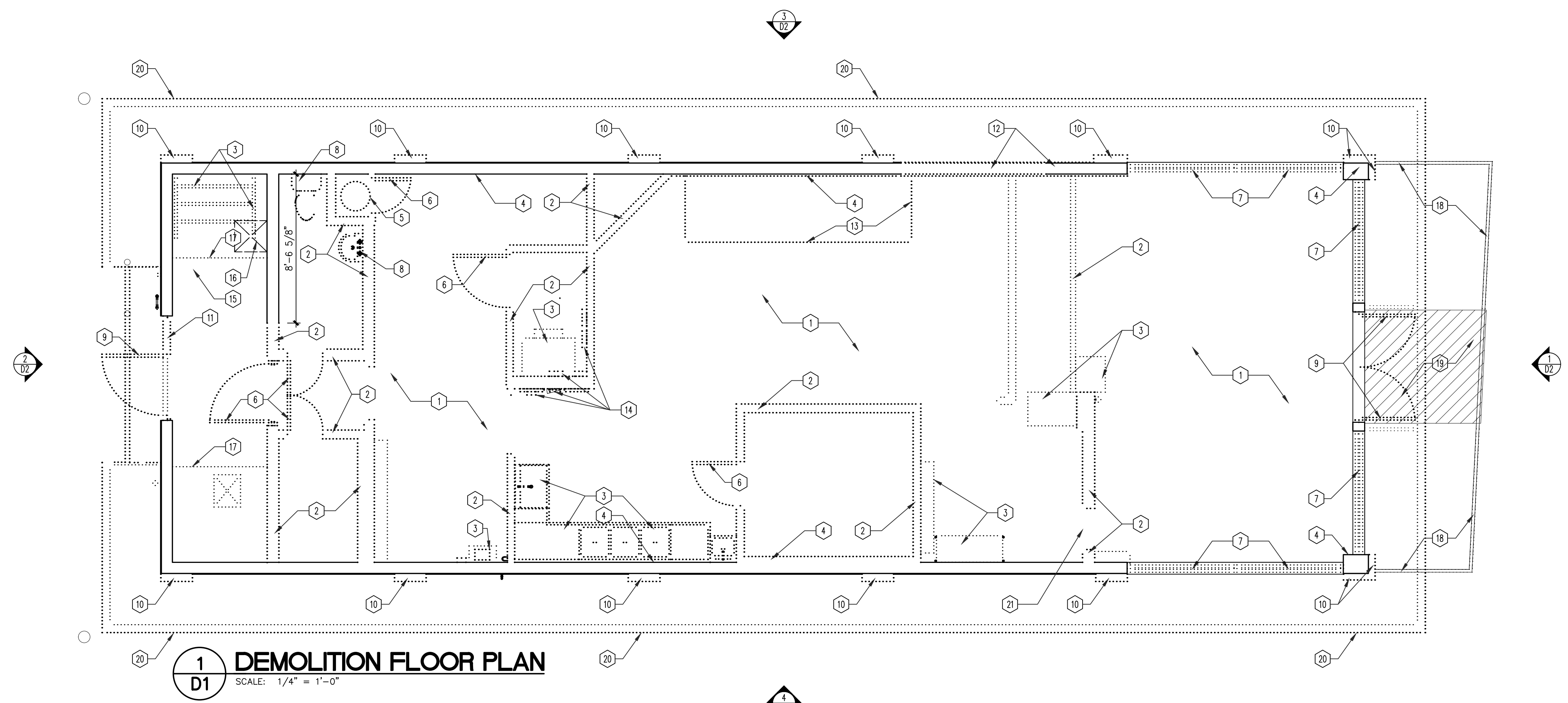
- 1 REMOVE EXISTING FLOORING AND BASE THROUGHOUT ENTIRE SPACE - PREPARE EXISTING CONCRETE SLAB FOR NEW FLOOR FINISHES. SEE SHEET FINISHED FLOOR PLAN FOR LIMITS. LEVEL CONCRETE AS REQUIRED. G.C. TO INSPECT ALL CRACKED CONCRETE AND REPAIR AS REQUIRED.
- 2 REMOVE EXISTING WALL OR LOW WALL AS INDICATED. REMOVE OR RELOCATE ALL EXISTING PLUMBING, ELECTRICAL AS REQUIRED, CAP ALL EXISTING UNUSED UTILITIES, BELOW SLAB, ABOVE CEILING OR INSIDE WALLS TO REMAIN. PATCH SLAB OR WALL TO MATCH EXISTING. EXISTING STEEL COLUMNS AND/OR BEAMS AND ROOF STRUCTURE TO REMAIN. SHORE AND BRACE ANY STRUCTURE ABOVE UNTIL NEW STRUCTURAL ITEMS ARE PERMANENTLY INSTALLED.
- 3 REMOVE ALL EXISTING CABINETRY OR EQUIPMENT AND DISCARD. REMOVE OR RELOCATE PLUMBING, ELECTRICAL AS REQUIRED. CAP ALL EXISTING UNUSED UTILITIES, BELOW SLAB, ABOVE OR INSIDE WALLS TO REMAIN. PATCH SLAB OR WALL AS REQUIRED TO ACCEPT NEW FINISHES.
- 4 REMOVE ALL EXISTING INTERIOR WALL FINISHES AND FURRING TO EXPOSE EXISTING CMU WALLS. G.C. TO INSPECT ALL EXISTING CMU AND REPAIR AS REQUIRED.
- 5 REMOVE EXISTING WATER HEATER AND SAVE FOR REUSE.
- 6 REMOVE EXISTING DOOR AND FRAME AND DISCARD.
- 7 REMOVE EXISTING EXTERIOR STOREFRONT WINDOWS AND DISCARD - EXISTING STRUCTURE TO REMAIN ABOVE. PREPARE OPENING TO ACCEPT NEW STOREFRONT.
- 8 REMOVE ALL EXISTING RESTROOM FIXTURES AND ACCESSORIES AND DISCARD. REMOVE OR RELOCATE ALL EXISTING PLUMBING, ELECTRICAL AS REQUIRED, CAP ALL EXISTING UNUSED UTILITIES, BELOW SLAB, ABOVE CEILING OR INSIDE WALLS TO REMAIN.
- 9 REMOVE EXISTING EXTERIOR DOORS AND DISCARD.
- 10 REMOVE EXISTING BRICK PILLARS ON EXTERIOR OF THE BUILDING AND DISCARD.
- 11 REMOVE EXISTING FRAMING AROUND REAR DOOR AND INSTALL NEW CMU TO MATCH ADJACENT SURFACES AROUND NEW LARGER REAR DOOR.
- 12 REMOVE EXISTING CMU EXTERIOR WALL AT NEW DOUBLE SIDE ENTRANCE DOORS.
- 13 REMOVE EXISTING HOOD AND DISCARD.
- 14 REMOVE EXISTING ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL DRAWINGS.
- 15 EXISTING GAS METER TO BE REMOVED AND RELOCATED TO THE EXTERIOR OF THE BUILDING - REFER TO PLUMBING DRAWINGS.
- 16 REMOVE EXISTING ROOF LADDER AND DISCARD.
- 17 REMOVE EXISTING WOODEN PLATFORM AND DISCARD.
- 18 REMOVE EXISTING PATIO RAILING AND INSTALL NEW.
- 19 REMOVE EXISTING CONCRETE RAMP AT THE FRONT ENTRANCE DOORS.
- 20 REMOVE EXISTING OVERHANG AND EXISTING TRUSSES - REFER TO WALL SECTIONS.
- 21 GC SHALL DETERMINE EXTEND OF CHANGE IN FLOOR ELEVATION BETWEEN PUBLIC AND KITCHEN SPACE. GC SHALL LEVEL FLOOR TO ALLOW SMOOTH TRANSITION OF FINISHES AND NO STEPS IN FLOOR.

### DEMO CEILING NOTES

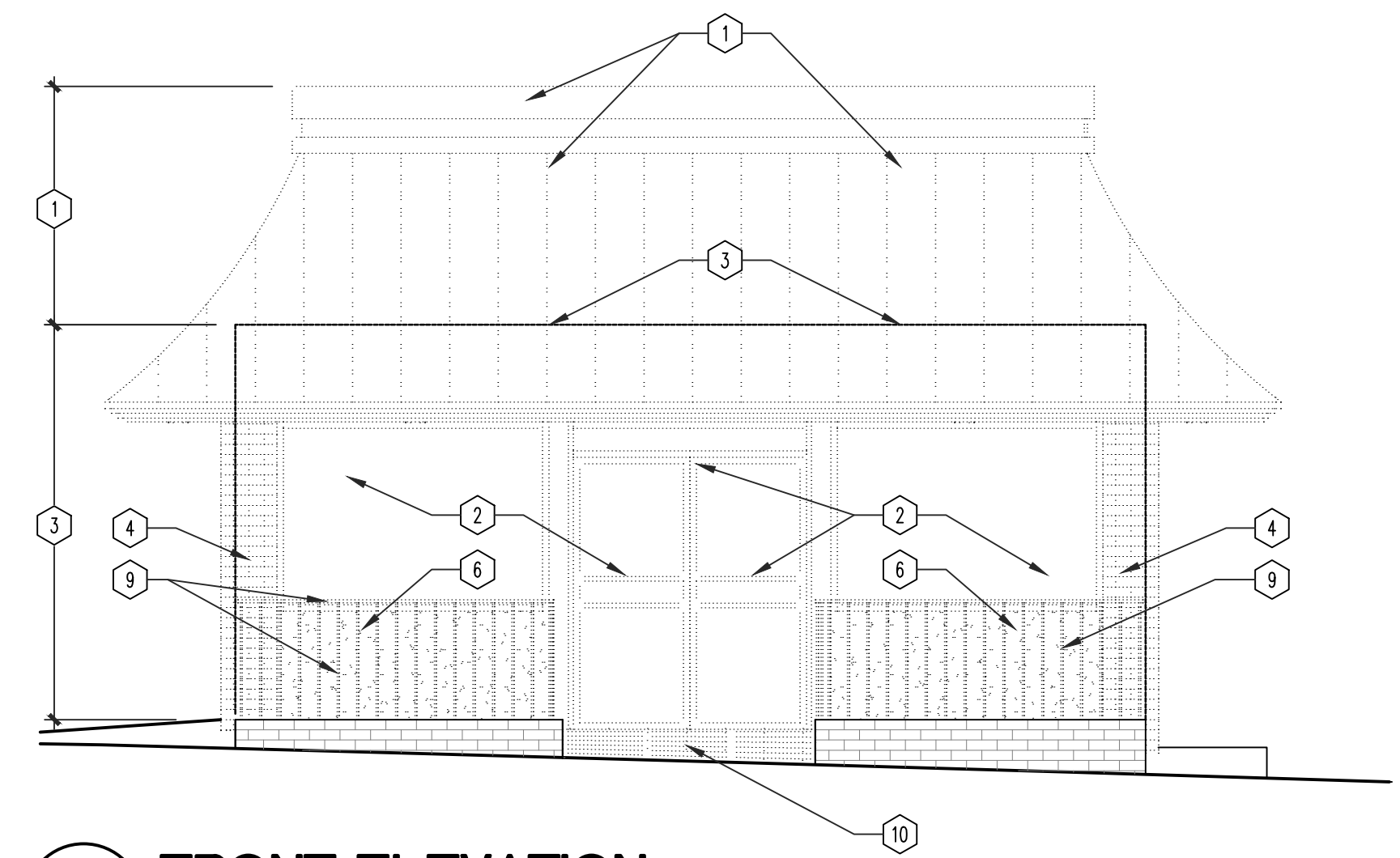
NOTE: REMOVE ALL EXISTING GRID, TILES, DIFFUSERS, RETURNS, BAFFLES, HOODS AND LIGHTS IN ENTIRE STORE.

### DEMO ROOF/STRUCTURE NOTES

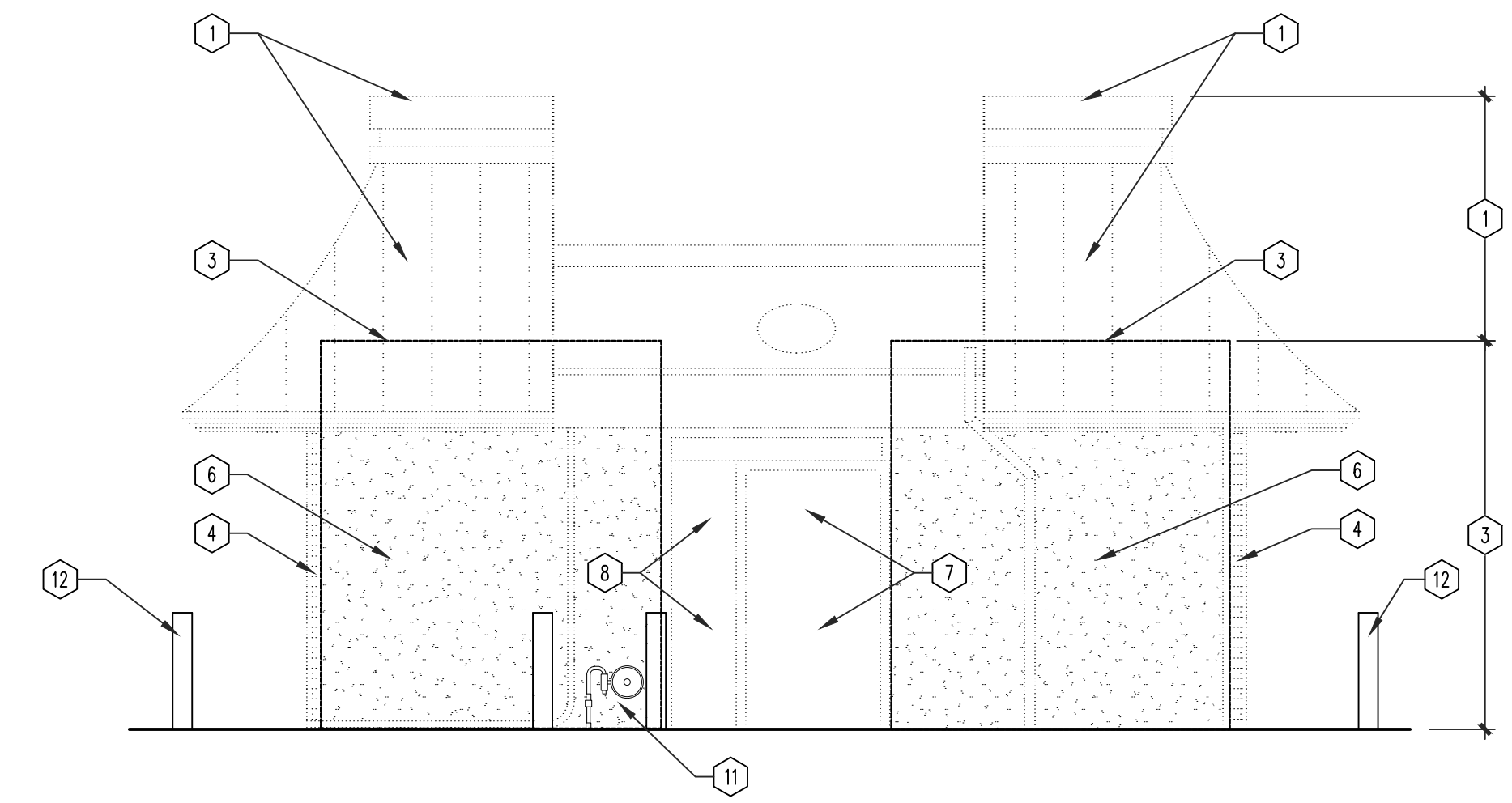
NOTE: REMOVE ALL EXISTING ROOF EQUIPMENT AND DISCARD. REMOVE EXISTING ROOF, INSULATION, ROOF DECK AND ROOF TRUSSES - EXISTING CMU BELOW TO REMAIN. REFER TO WALL SECTIONS FOR MORE DETAILS.



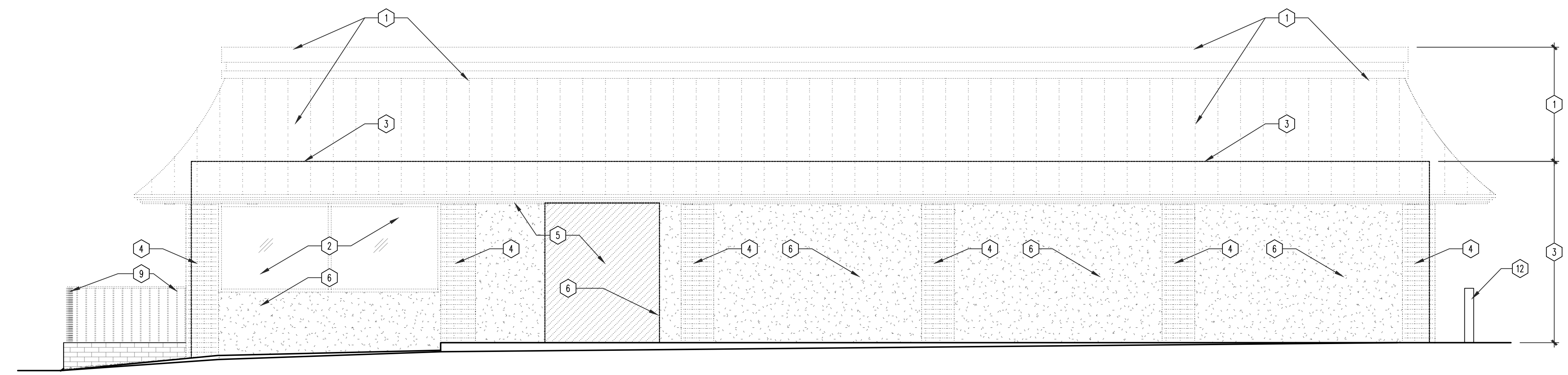
**1 DEMOLITION FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



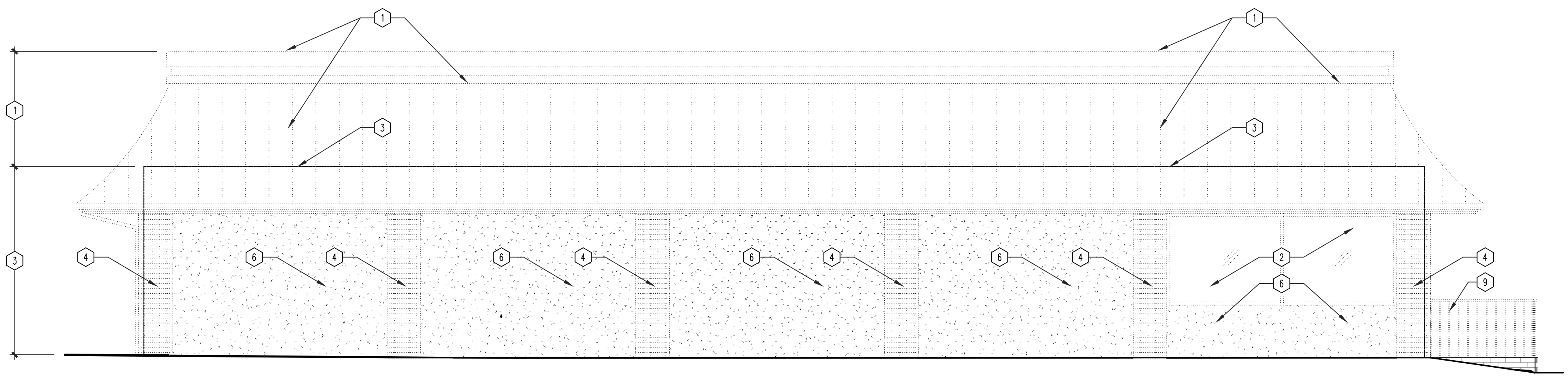
**1 FRONT ELEVATION**  
D2 SCALE: 1/4" = 1'-0"



**2 REAR ELEVATION**  
D2 SCALE: 1/4" = 1'-0"



**3 RIGHT ELEVATION**  
D2 SCALE: 1/4" = 1'-0"



**4 LEFT ELEVATION**  
D2 SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

- 1 REMOVE EXISTING MANSARD ROOFING, FRAMING INCLUDING ALL EQUIPMENT AND UTILITIES. ALL UTILITIES SHALL BE TERMINATED AS REQUIRED AND COORDINATED WITH NEW WORK - SEE TO WALL SECTIONS.
- 2 REMOVE EXISTING STOREFRONT DOORS AND/OR WINDOWS, EXISTING STRUCTURAL HEADER ABOVE TO REMAIN. PREPARE OPENING FOR NEW STOREFRONT/ DOORS.
- 3 LINE OF EXISTING CMU WALLS TO REMAIN - REFER TO WALL SECTIONS.
- 4 REMOVE EXISTING BRICK PILLARS ON EXTERIOR OF THE BUILDING AND DISCARD.
- 5 REMOVE EXISTING CMU EXTERIOR WALL AT NEW DOUBLE SIDE ENTRANCE DOORS.
- 6 EXISTING STUCCO TO BE REMOVED - PREPARE CMU FOR NEW STUCCO.
- 7 REMOVE EXISTING REAR DOOR AND DISCARD.
- 8 REMOVE EXISTING WOOD FRAMING AND INSTALL NEW CMU AND DOUBLE DOORS. INSTALL NEW STRUCTURAL HEADER.
- 9 REMOVE EXISTING PATIO RAILING AND INSTALL NEW.
- 10 REMOVE EXISTING CONCRETE RAMP AT THE FRONT ENTRANCE DOORS
- 11 EXISTING GAS EQUIPMENT - REFER TO PLUMBING DRAWINGS.
- 12 EXISTING BOLLARDS TO REMAIN - REPAINT.

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Project location  
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**SOUTH PASADENA, CA 91030**  
SHOP 910

**Krispy Kreme**  
**DOUGHNUTS**  
SHEET DATA  
**DEMOLITION EXTERIOR ELEVATIONS**

Date 01/29/2021  
Drawn By MTP  
Checked by TD  
Sheet No. D2

**WALL TYPE LEGEND**

- EXISTING CMU EXTERIOR WALLS - REMOVE EXISTING INTERIOR AND EXTERIOR FINISHES/SUBSTRATE AND INSTALL NEW
- 16 GA METAL STUDS FRAMING @ 16" O.C.
- SOUND ATTENUATION

**DIMENSION NOTES:**

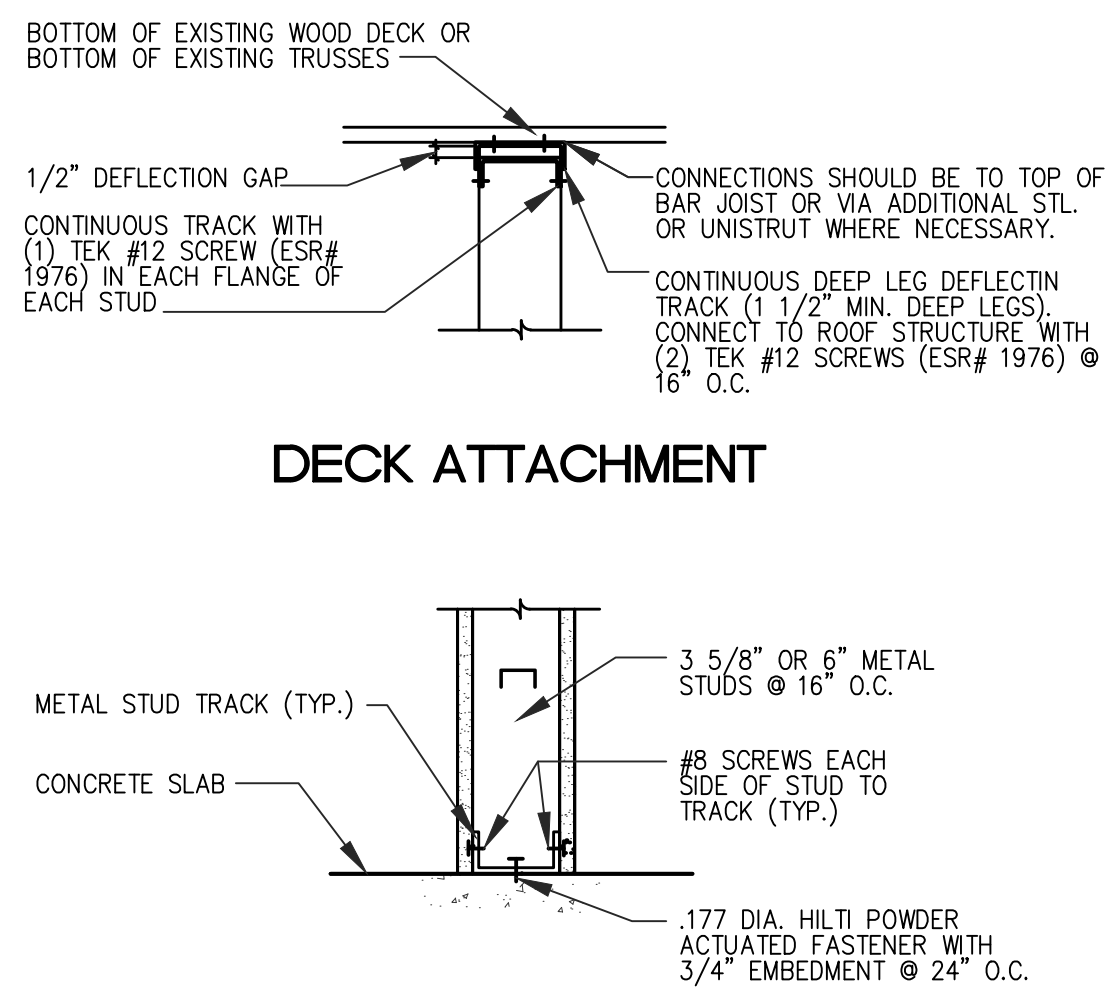
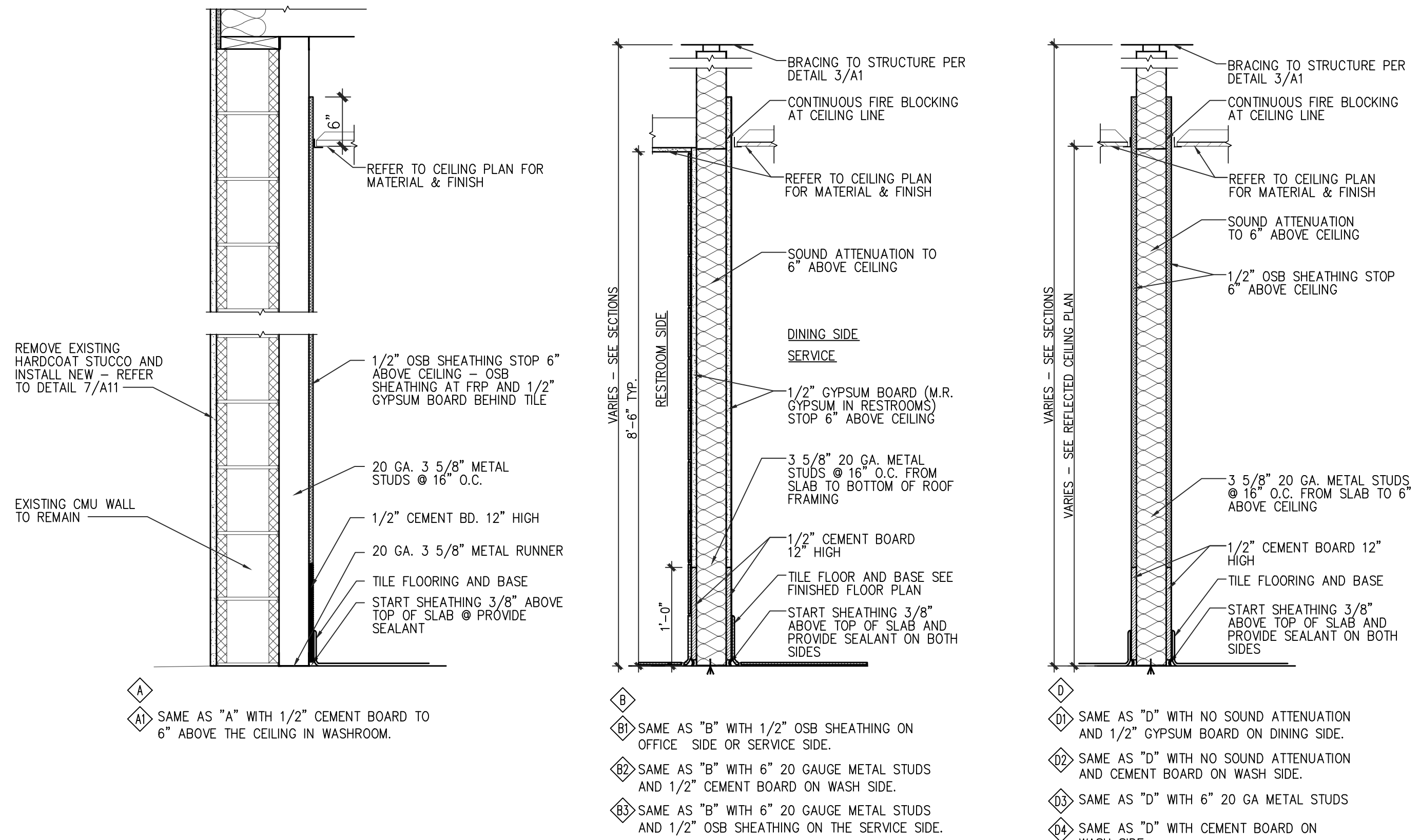
- $\pm 3'-0"$  TO FACE OF STUD
- $\pm 3'-0"$  MIN. MINIMUM DIMENSION ALLOWED (MAY BE MORE)
- $\pm 3'-0"$  MAX. MAXIMUM DIMENSION ALLOWED (MAY BE LESS)
- $\pm 3'-0"$  CL. EXACT DISTANCE BETWEEN FINAL FINISHED SURFACES (ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED)
- $\pm 3'-0"$  VERIFY TARGET DIMENSION WHICH MAY NOT BE ACHIEVED IN FIELD - BE AWARE OF POSSIBLE CHANGE
- ALIGN ALIGN THESE FINISH SURFACES

**GENERAL NOTES**

1. FOR REFLECTED CEILING PLAN SEE DWGS A2 & A3.
2. FOR DOOR & WINDOW SCHEDULE SEE DWG A7.
3. FOR EQUIPMENT SEE DRAWING E01.
4. ALL SERVICE/ PRODUCTION AREAS TO RECEIVE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS.
5. NEW WALL COVERING GRAPHICS BY OWNER'S VENDOR. G.C. SHALL PREPARE WALLS AS REQUIRED TO A SMOOTH SURFACE AND PRIME PER MANUFACTURER'S SPEC'S.
6. ALL INTERIOR WALLS ARE NON-BEARING.

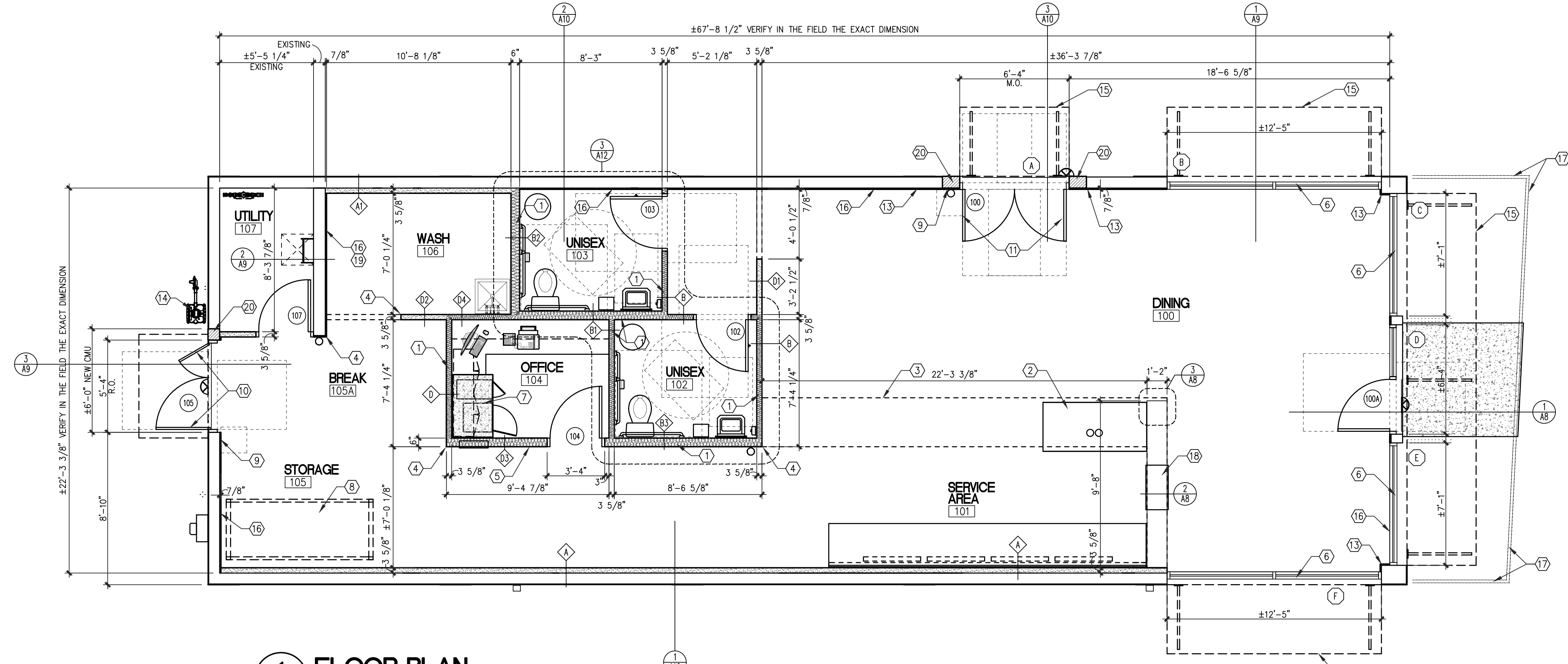
**CONSTRUCTION NOTES**

1. INSTALL SOUND ATTENUATION BATT. INSULATION FULL DEPTH OF WALLS FROM FLOOR TO 6" ABOVE HIGHEST CEILING.
2. SALES COUNTER PROVIDED BY VENDOR. METAL FRAMED CURB SHALL BE PROVIDED BY GC AND COORDINATED WITH VENDOR - SEE EQUIPMENT DRAWING E01 FOR MORE DETAIL AND LOCATIONS.
3. LINE OF Baffle ABOVE - RE: SHEETS A2&3
4. CONTINUOUS STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE CORNERS. PROVIDED AND INSTALLED BY G.C. - SEE DETAIL 6/A4.
5. ELECTRICAL PANELS - SEE ELEC. DWGS.
6. ROLL-A-SHADE SHALL BE PROVIDED AND INSTALLED BY OWNER NATIONAL VENDOR.
7. PROVIDE 6" HIGH CONCRETE CURB UNDER SAFE - FLUSH WITH INTERIOR WALL FINISH. SEE FINISH FLOOR PLAN FOR DIMENSIONS.
8. CUSTOM PALLET STORAGE RACKING PROVIDED BY OWNER AND INSTALLED BY GC PER MANUFACTURER SPECIFICATIONS. INSTALL 6" FROM WALL AND BOLT TO SLAB.
9. TACTILE EXIT SIGN - REFER TO DRAWING A12.
10. NEW REAR DOUBLE DOORS IN NEW MODIFIED OPENING. PROVIDE NEW STRUCTURE - REFER TO STRUCTURAL DRAWINGS.
11. INSTALL NEW DOUBLE DOOR STOREFRONT IN NEW OPENING - REFER TO STRUCTURAL DRAWINGS.
12. NEW EXTERIOR ROOF LADDER - REFER TO DETAIL 4/A8 AND WALL SECTION 2/A9.
13. G.C. TO INSTALL ALL NEW 1/2" GYPSUM BOARD ON ALL THE INTERIOR SIDE OF THE EXTERIOR WALLS.
14. GAS METER - REFER TO PLUMBING DRAWINGS
15. NEW CANOPY WITH LIGHTS ON THE UNDER SIDE BY NATIONAL VENDOR - UNDER SEPARATE CONTRACT AND PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR LAYOUT OF LIGHTS.
16. INSTALL NEW 20 GA. 7/8" METAL FURRING @ 16" O.C.
17. REMOVE EXISTING HANDRAIL AND INSTALL NEW IN SAME LOCATION - RAILING TO BE A MIN. OF 36" HIGH AND BE POWDER COATED BLACK.
18. NEW LOW WALL - REFER TO DETAIL 2 AND 3/A8.
19. PROVIDE FULL HEIGHT CEMENT BOARD.
20. NEW LINTELS SHALL BEAR ON A MIN. OF 8" SOLID MASONRY.



**2 WALL TYPES** SEE SHEET A4 FOR WALL FINISHES, SEE WALL SECTIONS FOR EXTERIOR WALLS  
SCALE: 1" = 1'-0"

**3 BRACING DETAILS**  
SCALE: 1 1/2" = 1'-0"



**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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**SHOP 910**

**Krispy Kreme**  
DOUGHNUTS  
SHEET DATA  
ROOF PLAN

Date 01/29/2021

Drawn By MTP

Checked by TD

Sheet No.

**A5**

**WALL TYPE LEGEND**

- EXISTING CMU EXTERIOR WALLS - REMOVE EXISTING INTERIOR AND EXTERIOR FINISHES/SUBSTRATE AND INSTALL NEW
- 16 GA METAL STUDS FRAMING @ 16" O.C.
- SOUND ATTENUATION

**DIMENSION NOTES:**

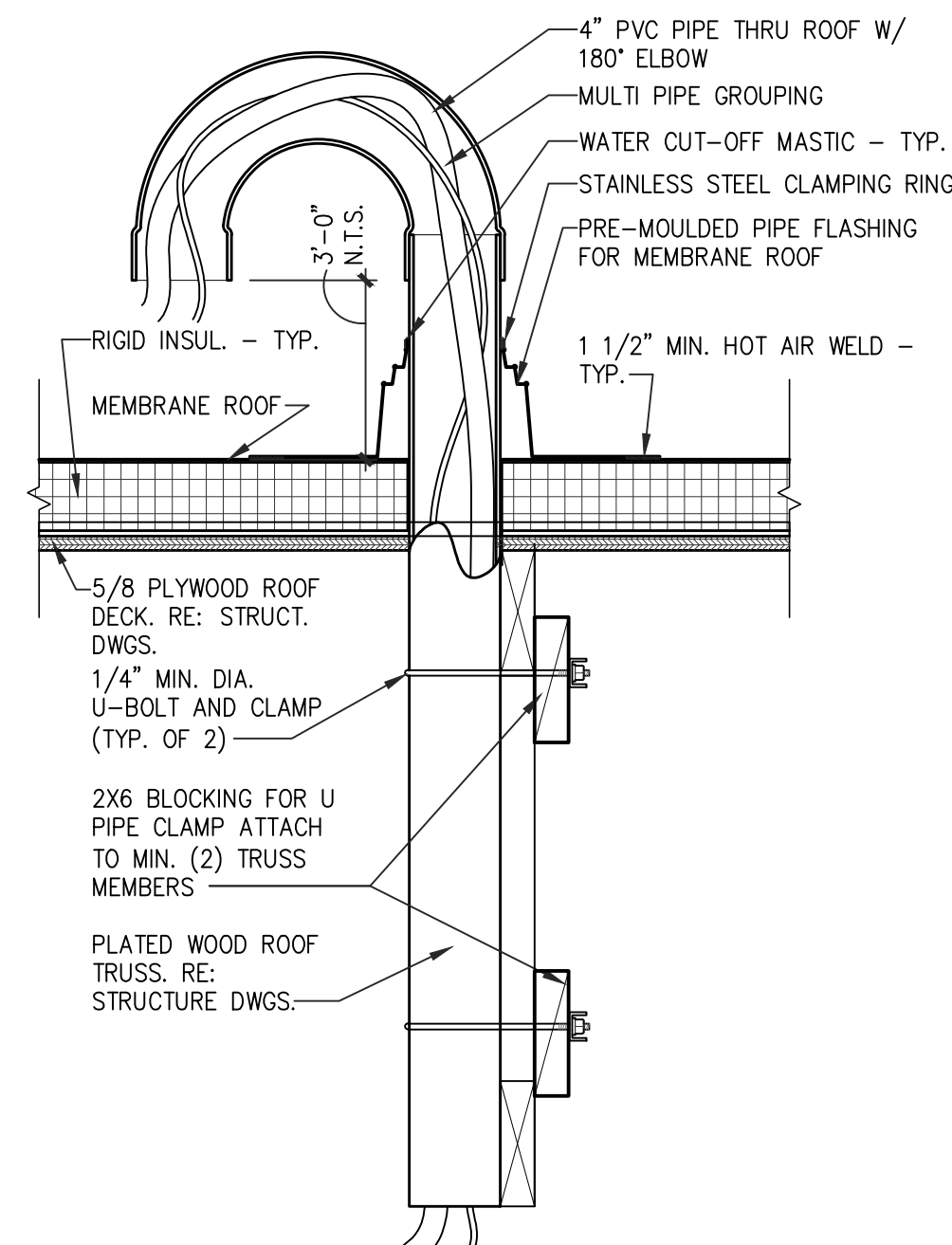
- 3'-0" TO FACE OF STUD
- 3'-0" MIN. MINIMUM DIMENSION ALLOWED (MAY BE MORE)
- 3'-0" MAX. MAXIMUM DIMENSION ALLOWED (MAY BE LESS)
- 3'-0" CL. EXACT DISTANCE BETWEEN FINAL FINISHED SURFACES (ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED)
- 3'-0" VERIFY TARGET DIMENSION WHICH MAY NOT BE ACHIEVED IN FIELD - BE AWARE OF POSSIBLE CHANGE
- ALIGN ALIGN THESE FINISH SURFACES

**CONSTRUCTION NOTES**

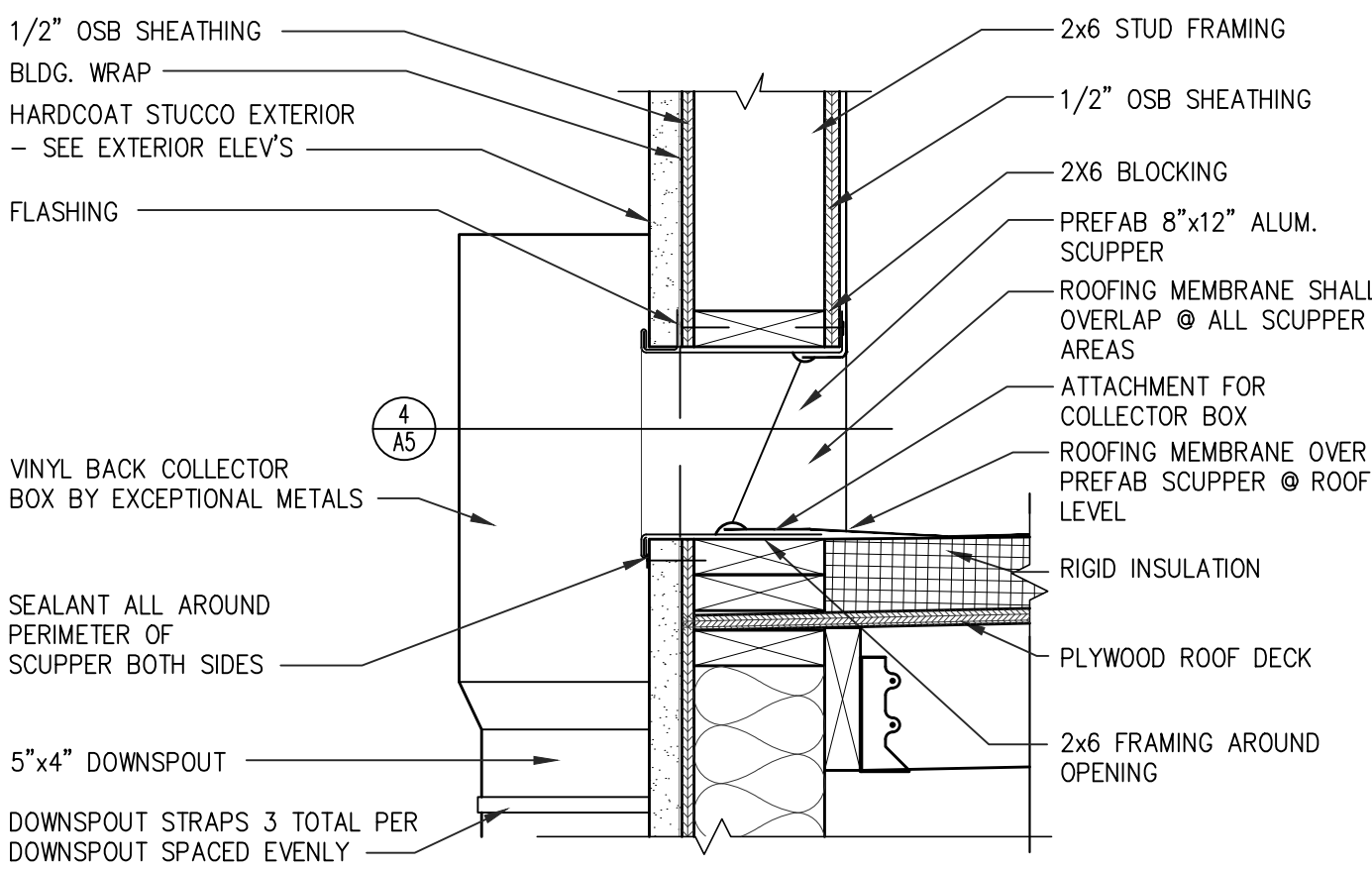
- 1 NEW MECHANICAL HVAC UNIT- RE: MECH DWGS. FOR EXACT LOCATION
- 2 NEW PLUMBING VENT- RE: PLUMBING DWGS
- 3 NEW EXTERIOR WALL SIGNAGE TO BE PROVIDED & INSTALLED BY OWNERS NATIONAL SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE ELECTRICAL SUPPLY AT SIGN LOCATIONS AS REQUIRED. SEE ELEC. FOR J-BOX LOCATIONS.
- 4 NEW METAL SNAP-ON COMPRESSION EDGE PROVIDED AND INSTALLED BY G.C. BY ROOFING CONTRACTOR. GC RESPONSIBLE FOR COORDINATION OF CONSTRUCTION SCHEDULE. SEE SHEET A11 FOR DETAILS.
- 5 NEW LINE OF CANOPY BELOW - PROVIDED AND INSTALLED BY SIGNAGE NATIONAL VENDOR UNDER SEPARATE PERMIT. G.C. TO INSTALL ALL REQUIRED BLOCKING PER SIGNAGE DRAWINGS.
- 6 ROOFTOP ACCESS LADDER REFER TO DETAIL 2/A9.
- 7 NEW METAL SCUPPER AND DOWNSPOUT PROVIDED AND INSTALLED BY G.C. SEE DETAIL 3 AND 4/A5.
- 8 METAL OVERFLOW SCUPPER WITH 2" DECORATIVE FLANGE PROVIDED AND INSTALLED BY EXCEPTIONAL METALS. SEE DETAIL 5/A5.
- 9 NEW ROOFING VENDOR TO PROVIDE SINGLE PLY REPAIR KIT MOUNTED TO SIDE OF PARAPET WALL FOR FUTURE USE.
- 10 REMOVE EXISTING ROOF SYSTEM AND ROOF STRUCTURAL AND INSTALL NEW. INSTALL NEW TPO SINGLE PLY ROOF MEMBRANE.
- 11 NEW WALK MATS PROVIDED & INSTALLED BY NATIONAL ROOFING VENDOR.
- 12 NEW EXHAUST FAN - REFER TO MECHANICAL DRAWINGS
- 13 G.C. SHALL PROVIDE CONDUIT PENETRATION FOR SATELLITE PER DETAIL 2/A5 OVER OFFICE BELOW.
- 14 REMOVE EXISTING RIGID ROOF INSULATION AND INSTALL NEW AS REQUIRED PER LOCAL ENERGY CODE - SEE ENERGY CODE SUMMARY FURTHER INFORMATION.
- 15 "BOWTIE" TOWER INSTALLED BY SIGNAGE VENDOR AND PROVIDED UNDER SEPARATE PERMIT. G.C. TO INSTALL NEW BLOCKING FOR COLUMN SUPPORTS PER SIGNAGE DRAWINGS.
- 16 NEW CRICKET FOR POSITIVE DRAINAGE W/ TAPERED RIGID INSUL. - SLOPE 1/4" PER FOOT MIN.
- 17 NEW BRACE - REFER TO STRUCTURAL DRAWINGS

**GENERAL DEMO NOTES**

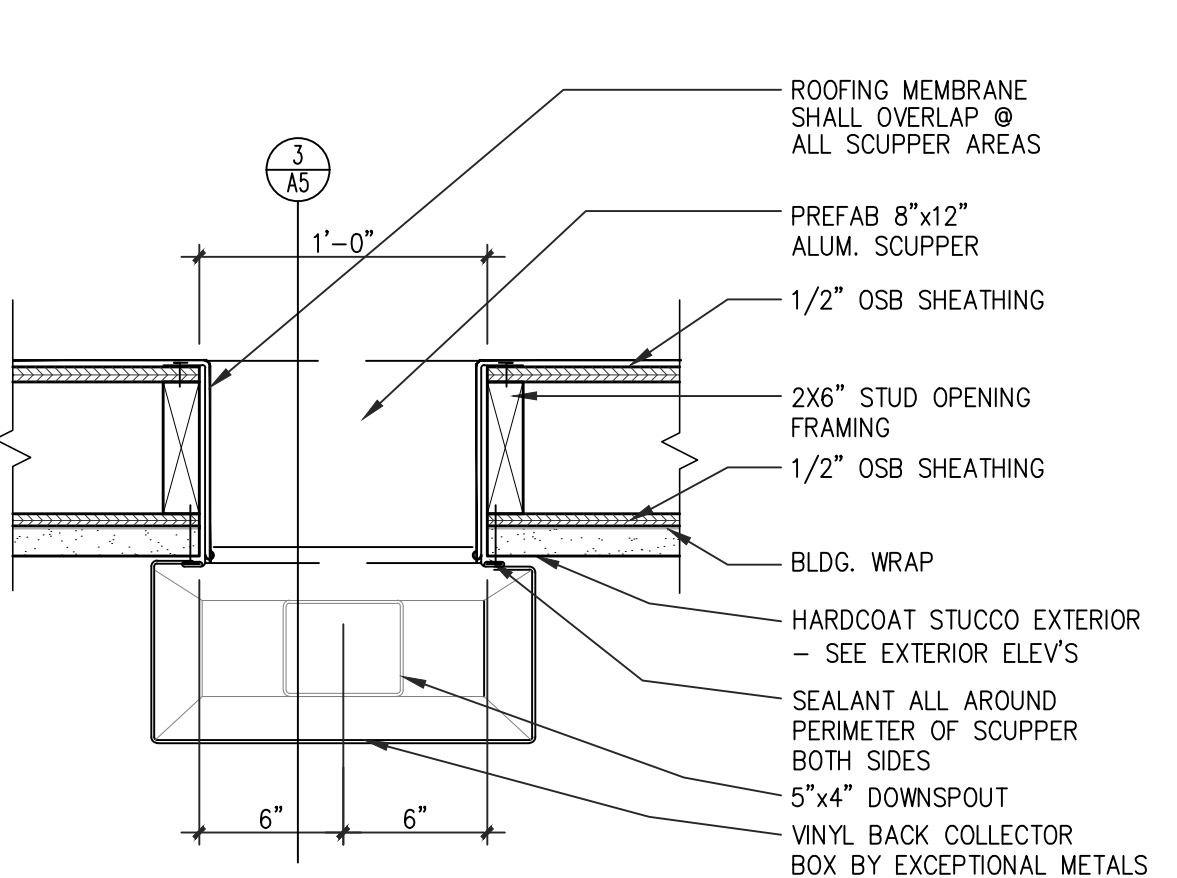
ALL EXISTING ROOF STRUCTURE, ROOF DECK, MANSARD, ROOF EQUIPMENT AND ROOFING SYSTEM IS TO BE REMOVED AND NEW INSTALLED.



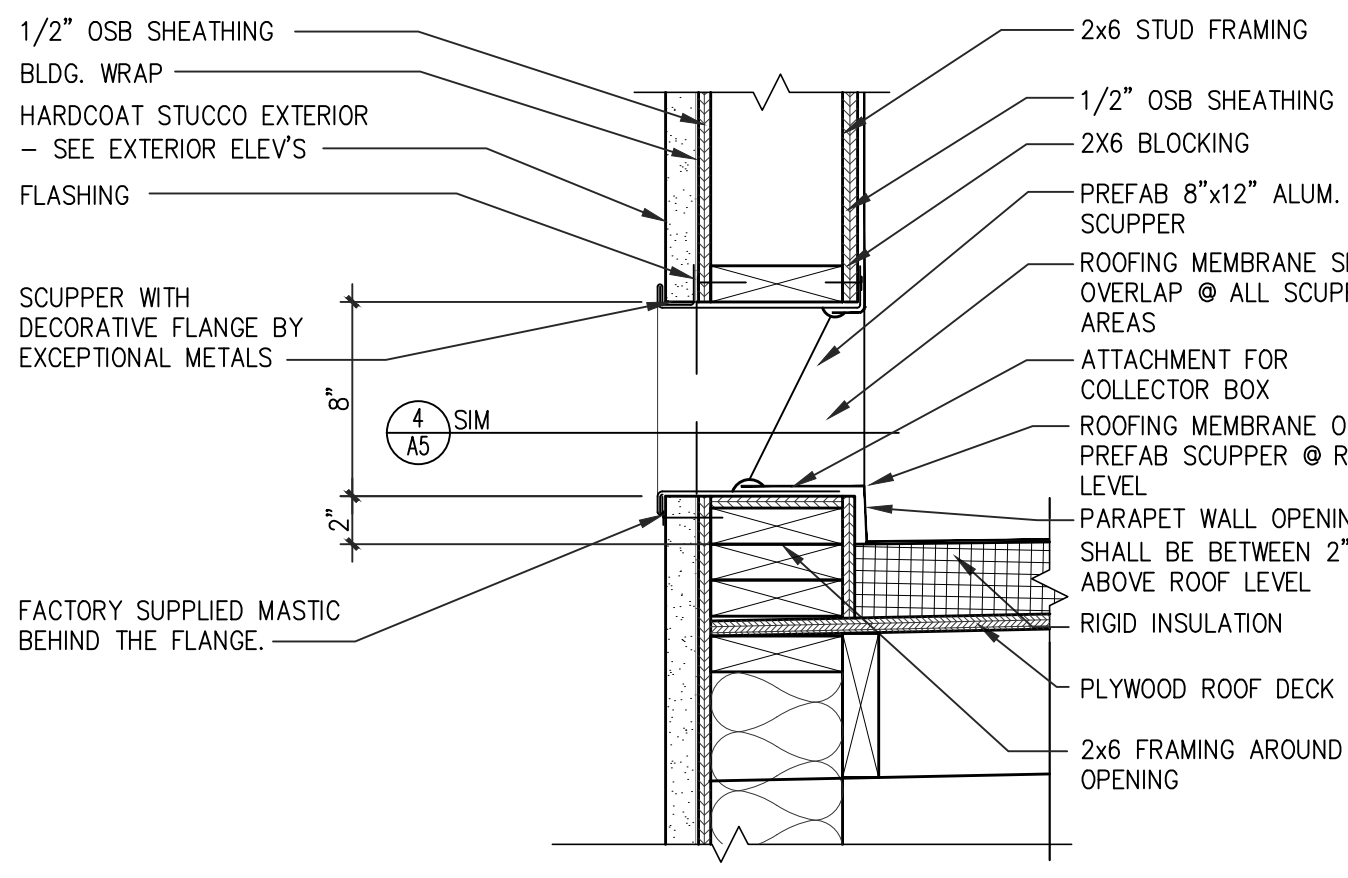
**2 CONDUIT PENETRATION DETAIL**  
SCALE: 1 1/2" = 1'-0"



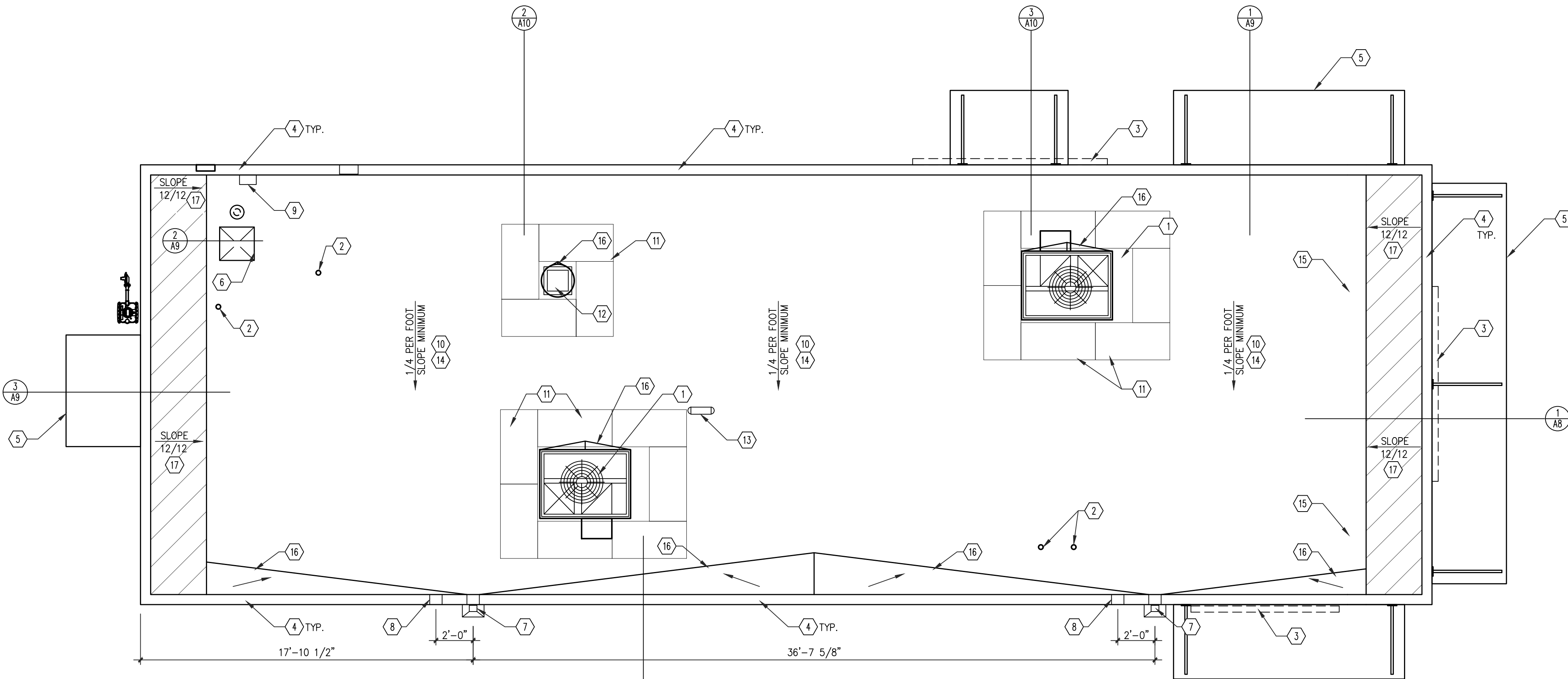
**3 SECTION THRU SCUPPER/COLLECTOR**  
SCALE: 1 1/2" = 1'-0"



**4 SCUPPER/COLLECTOR PLAN**  
SCALE: 1 1/2" = 1'-0"



**5 SECTION THRU OVERFLOW SCUPPER**  
SCALE: 1 1/2" = 1'-0"



**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



Revisions

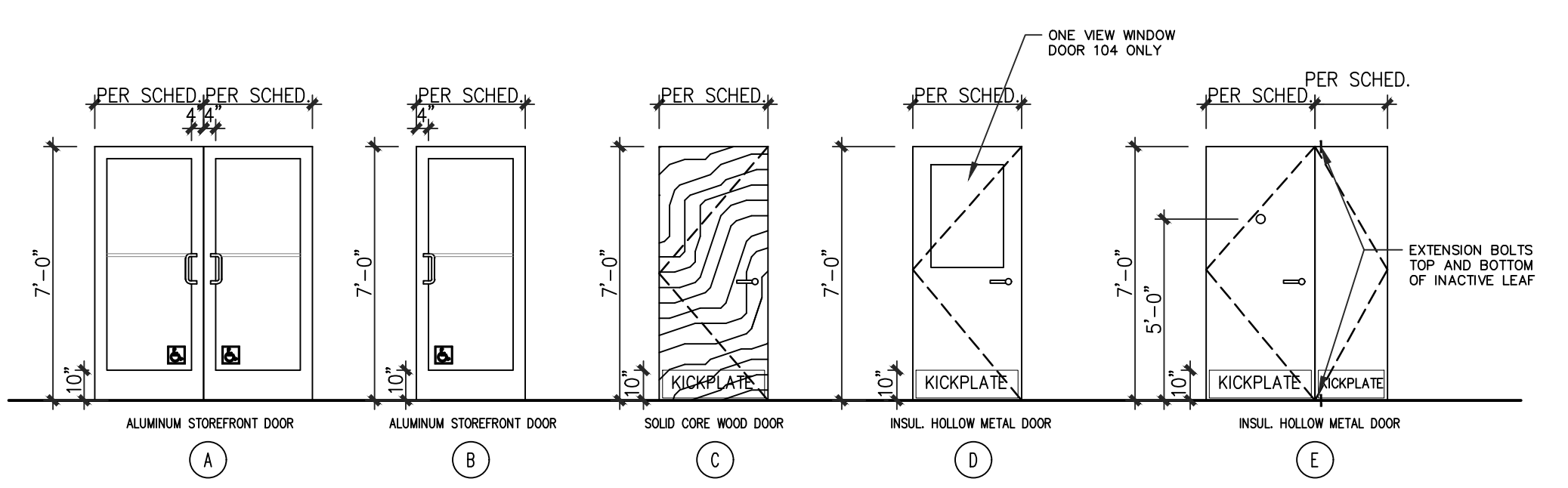
NO.	DESCRIPTION

AWESOME DOUGHNUT, LLC  
 BDA KRISPY KREME DOUGHNUTS  
 4760 E LOS COYOTES DIAGONAL  
 LONG BEACH, CA 90815  
 ROGER GLOCKMAN - OFFICE: 213-489-2340x107  
 Project location  
**70 FAIR OAKS AVENUE**  
**SOUTH PASADENA, CA 91030**  
 SHOP 910

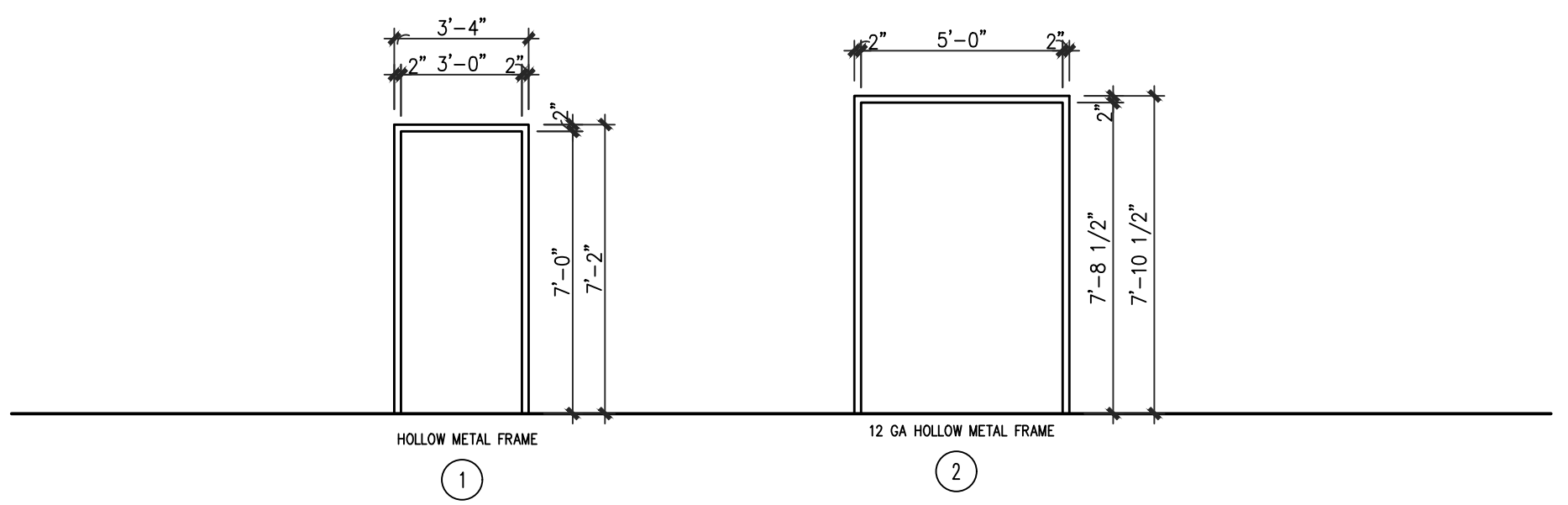
**Krispy Kreme**  
 DOUGHNUTS  
 SHEET DATA  
**DOOR + WINDOW DETAILS**

Date: 01/29/2021  
 Drawn By: AY/LW  
 Checked by: TD  
 Sheet No.: A7

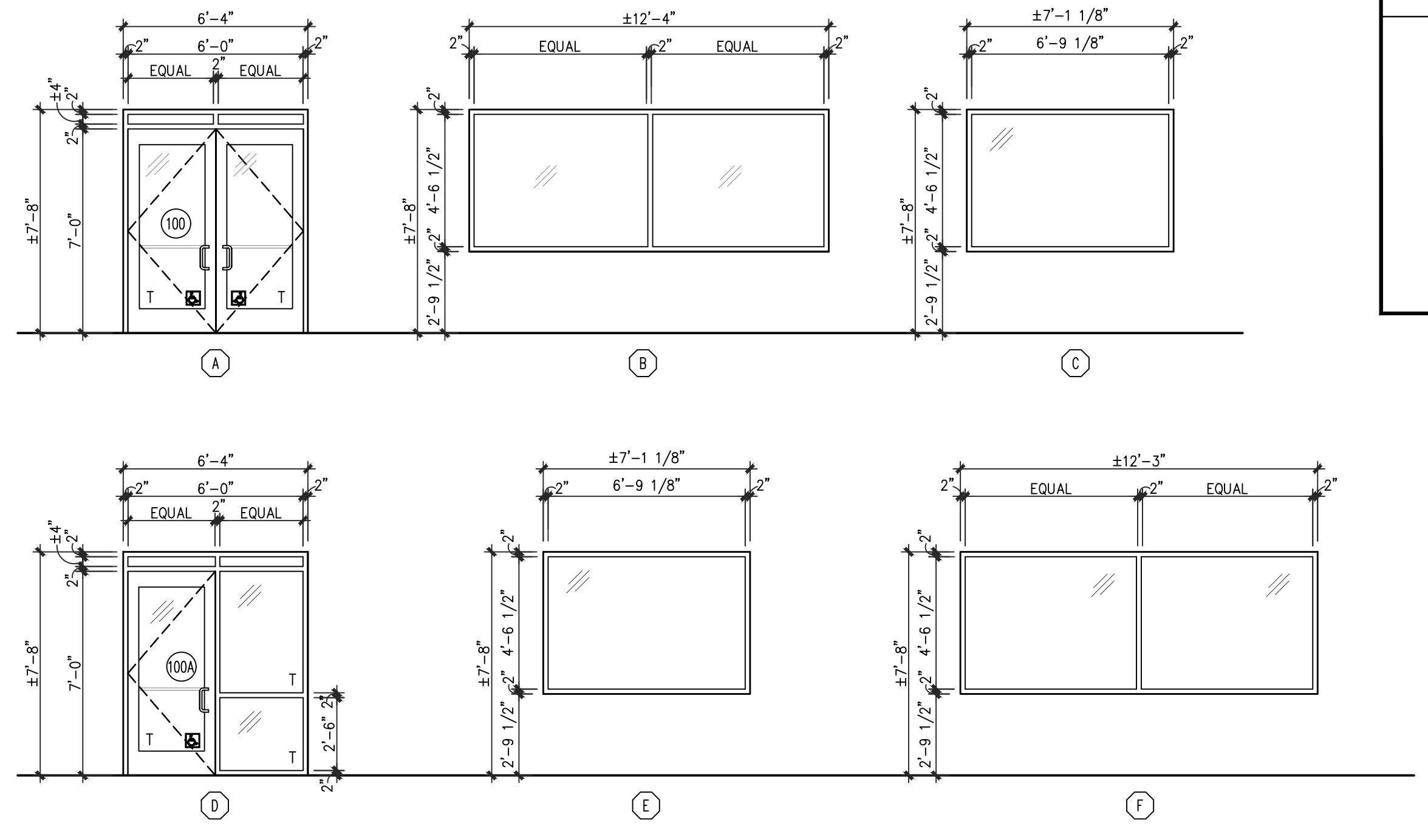
**DOOR TYPES**



**DOOR FRAMES**



**WINDOW FRAMES** VIEW FROM OUTSIDE



**DOOR AND FRAME SCHEDULE**

NUMBER	LOCATION	D O O R			F R A M E			D E T A I L S			HARDWARE SET	REMARKS
		SIZE	TYPE	MATERIAL FINISH	MATERIAL TYPE FINISH	HEAD JAMB SILL						
100	ENTRY	(2)3'-0" x 7'-0"	A	ALUM. DK BRONZE	ALUM A DK BRONZE	3/A10 -	2/A7	1	1	NEW STOREFRONT IN NEW OPENING		
100A	ENTRY	3'-0" x 7'-0"	B	ALUM. DK BRONZE	ALUM D DK BRONZE	1/A8 -	2/A7	1	1	REMOVE EXISTING SF. AND INSTALL NEW		
102	RESTROOM	3'-0" x 7'-0" X 1-3/4"	C	S.C.WOOD WF-4	HM 1 PT-1	3/A7 3/A7	-	2	2	W/ KICKPLATE ON PUSH SIDE		
103	RESTROOM	3'-0" x 7'-0" X 1-3/4"	C	S.C.WOOD WF-4	HM 1 PT-1	3/A7 3/A7	-	2	2	W/ KICKPLATE ON PUSH SIDE		
104	OFFICE	3'-0" x 7'-0" X 1-3/4"	D	H.M. PT-1	HM 1 PT-1	3/A7 3/A7	-	3	3	W/ KICKPLATE ON PUSH SIDE AND ONE WAY VIEWING WINDOW UNDERCUT DOOR 1"		
105	STORAGE	(1) 3'-0" x 7'-0" (1) 2'-0" x 7'-0"	E	H.M. PT-1	HM 2 PT-1	3/A9 -	1/A7	5	5			
107	UTILITY	3'-0" x 7'-0" X 1-3/4"	D	H.M. PT-1	HM 1 PT-1	3/A7 3/A7	-	3	3	W/ KICKPLATE ON PUSH SIDE UNDERCUT DOOR 1"		

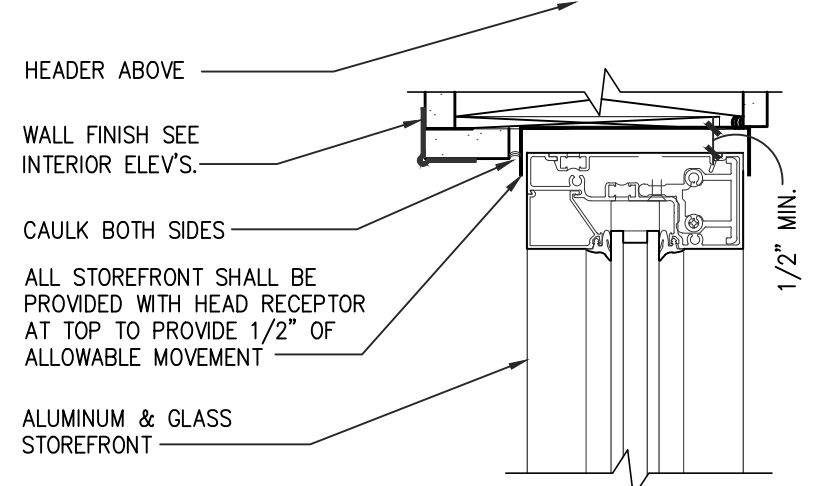
PL = PLASTIC LAMINATE PROVIDE PANIC EXIT DEVICE FOR DOORS  
 S.S. = STAINLESS STEEL  
 MFR = MANUFACTURER  
 \* = CONFIRM EXIST. HARDWARE SIM TO THAT SPECIFIED. IF NOT, REPLACE W/NEW.

**HARDWARE SCHEDULE**

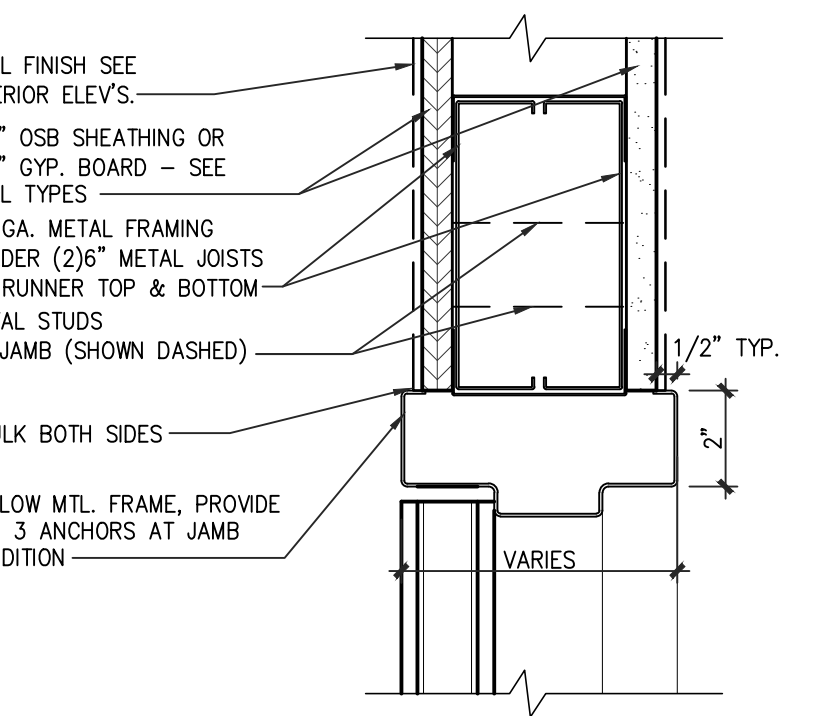
FINISHES: SATIN CHROME 260 (626), STAINLESS STEEL 320 (630), ALUMINUM AL, BRONZE 313AN (710)

SET	LOCKSET	CLOSER	THRESHOLD	PUSH	PULL	DOOR SWEEP	FINISH
SET 1: STOREFRONT	LOCKSET: STOREFRONT VENDOR, STANDARD LOCKS.	NORTON 1601BF	NATIONAL GUARD 896 - 36"			NATIONAL GUARD 97V - 36"	710
							710
							710
							710
							710
SET 2: RESTROOMS	LOCKSET: SCHLAGE ND40S SPARTA	STANLEY FBB179 4-1/2 X 4-1/2	1601-BF				626
							260
							AL
							320
							320
SET 3: OFFICE	LOCKSET: SCHLAGE ND70PD SPARTA	STANLEY FBB179 4-1/2 X 4-1/2	1601-BF				626
							260
							AL
							320
							320
SET 5: REAR EXIT	HINGES: STANLEY FBB179 4-1/2 X 4-1/2	PANIC BAR: VON DUPRIN 99NLX3X99ALK	LEVER: VON DUPRIN 98L-NL	CLOSER: NORTON UNI 1605BC-H	KICKPLATE: ROCKWOOD .050 X 10 X 36	SILENCERS: GLYNN JOHNSON GJ-64	260
							28
							AL
							320
							AL
						AL	
						AL	
						BLACK	

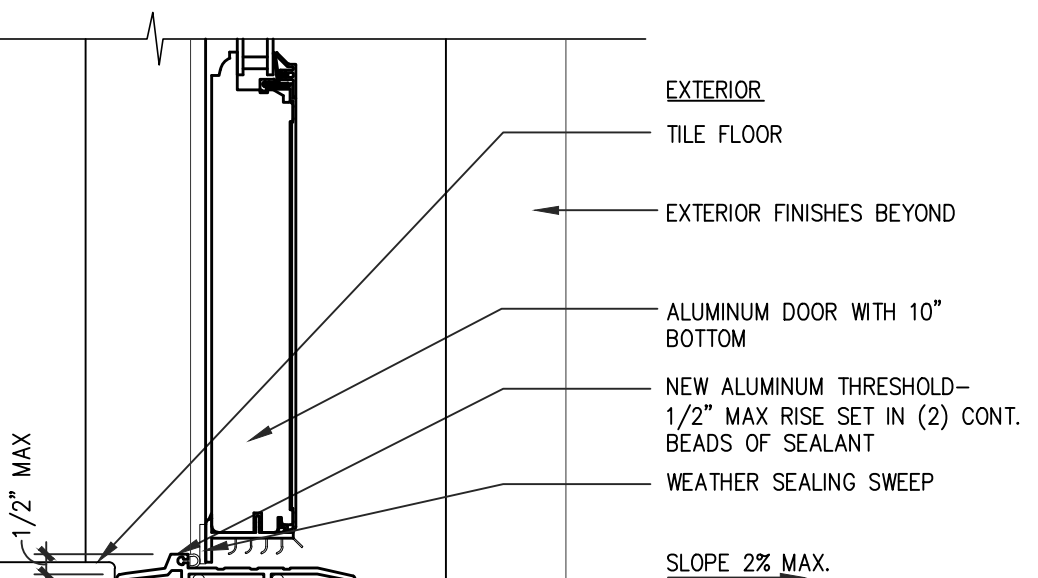
**7 HEAD RECEPTOR DETAIL**  
 A7 SCALE: 3" = 1'-0"



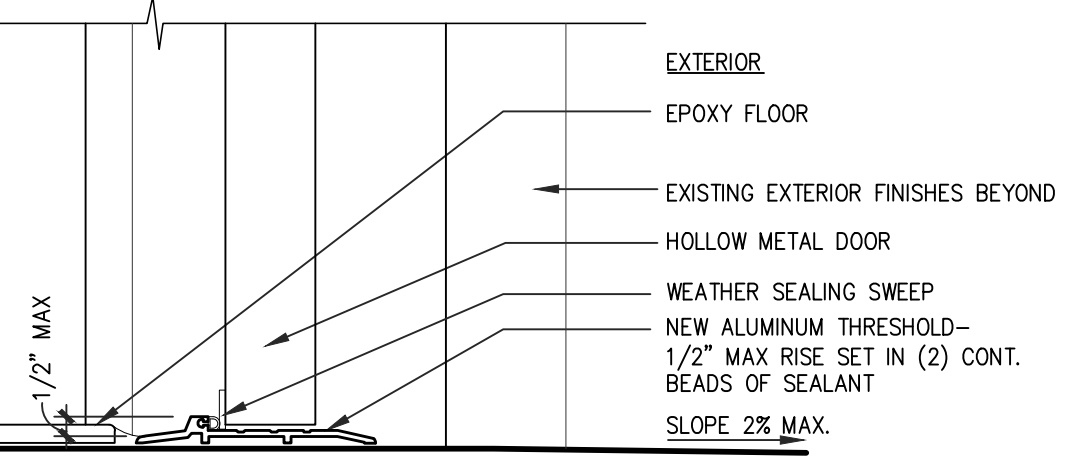
**3 INTERIOR HEAD/JAMB DETAIL**  
 A7 SCALE: 3" = 1'-0"



**2 ALUMINUM DOOR THRESHOLD DETAIL**  
 A7 SCALE: 3" = 1'-0"



**1 HOLLOW METAL DOOR THRESHOLD DETAIL**  
 A7 SCALE: 3" = 1'-0"



**GENERAL NOTES**

- DOORS SHALL SWING INTO THE FULLY OPEN POSITION WHEN AN OPENING FORCE NOT TO EXCEED 8.5 POUNDS ON INTERIOR DOORS, 5 POUNDS ON INTERIOR DOORS, AND 15 POUNDS ON FIRE DOORS IS APPLIED TO THE LATCH SIDE.
- ALL DOORS TO BE PROVIDED WITH THE BOTTOM 10" WITH A SMOOTH, UNINTERRUPTED SURFACE THAT ALLOWS DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- CONTRACTOR RESPONSIBLE SUPPLYING, RECEIVING, UNCRATING, INSTALLATION, & CLEAN-UP.
- ALL DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
- FIELD VERIFY ALL ROUGH IN DIMENSIONS FOR WINDOWS AND DOORS PRIOR TO ORDERING.

"T" DENOTES TEMPERED SAFETY GLASS

NOTE: AS INDICATED ON PLANS OWNER SHALL PROVIDE AND INSTALL ROLL-A-SHADE FOR FULL HEIGHT OF GLAZING - 4000 GREYSTONE- 5% - NATIONAL VENDOR LISTED ON DRAWING T2.

NOTE: ALL STOREFRONT SHALL BE PROVIDED W/ HEAD RECEPTOR AT TOP TO PROVIDE 1/2" OF ALLOWABLE MOVEMENT

**NEW WINDOW SCHEDULE**

NUMBER	QUANTITY	MATERIAL FRAME TYPE	OPERATION	PANE TYPE	LITES SIMULATED LITES	EXTERIOR FINISH	VISIBLE FROM STREET	KEEP EXISTING SILL & FRAME?	ENERGY EFFICIENT	TEMPERED GLASS	WINDOW WITHIN 18" OF FLOOR/ 40" OF DOOR?
B	1	ALUMINUM	FIXED	DOUBLE	NO	ALUMINUM	YES	NO	YES	NO	NO
C	1	ALUMINUM	FIXED	DOUBLE	NO	ALUMINUM	YES	NO	YES	NO	NO
D	1	ALUMINUM	FIXED	DOUBLE	NO	ALUMINUM	YES	NO	YES	YES	YES
E	1	ALUMINUM	FIXED	DOUBLE	NO	ALUMINUM	YES	NO	YES	NO	NO
F	1	ALUMINUM	FIXED	DOUBLE	NO	ALUMINUM	YES	NO	YES	NO	NO

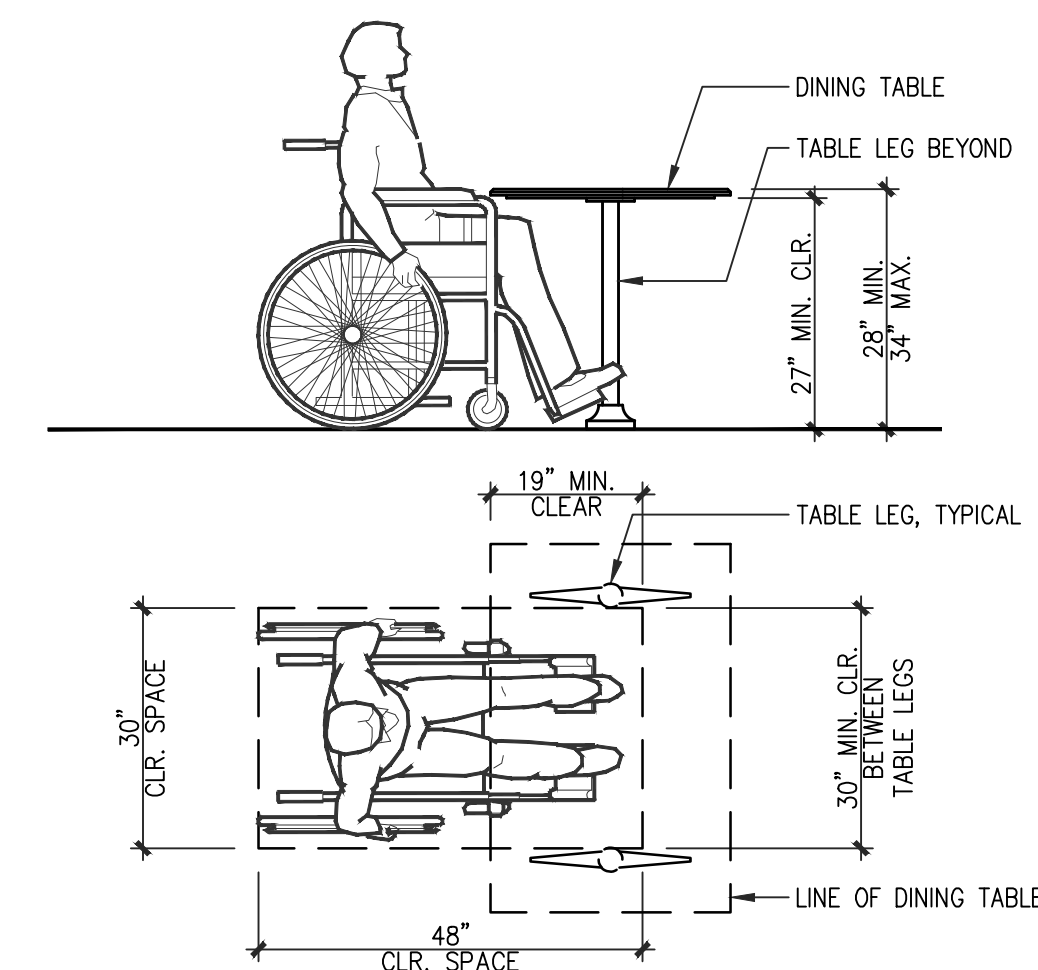
**EQUIPMENT INSTALLATION NOTES**

WASHROOM—  
 KKDC/KRISPY KREME FRANCHISEE WILL PROVIDE 3 COMPARTMENT SINK. GENERAL CONTRACTOR WILL UNLOAD, SET IN PLACE, ASSEMBLE, AND PROVIDE VENTING, PLUMBING, AND ELECTRICAL CONNECTIONS.

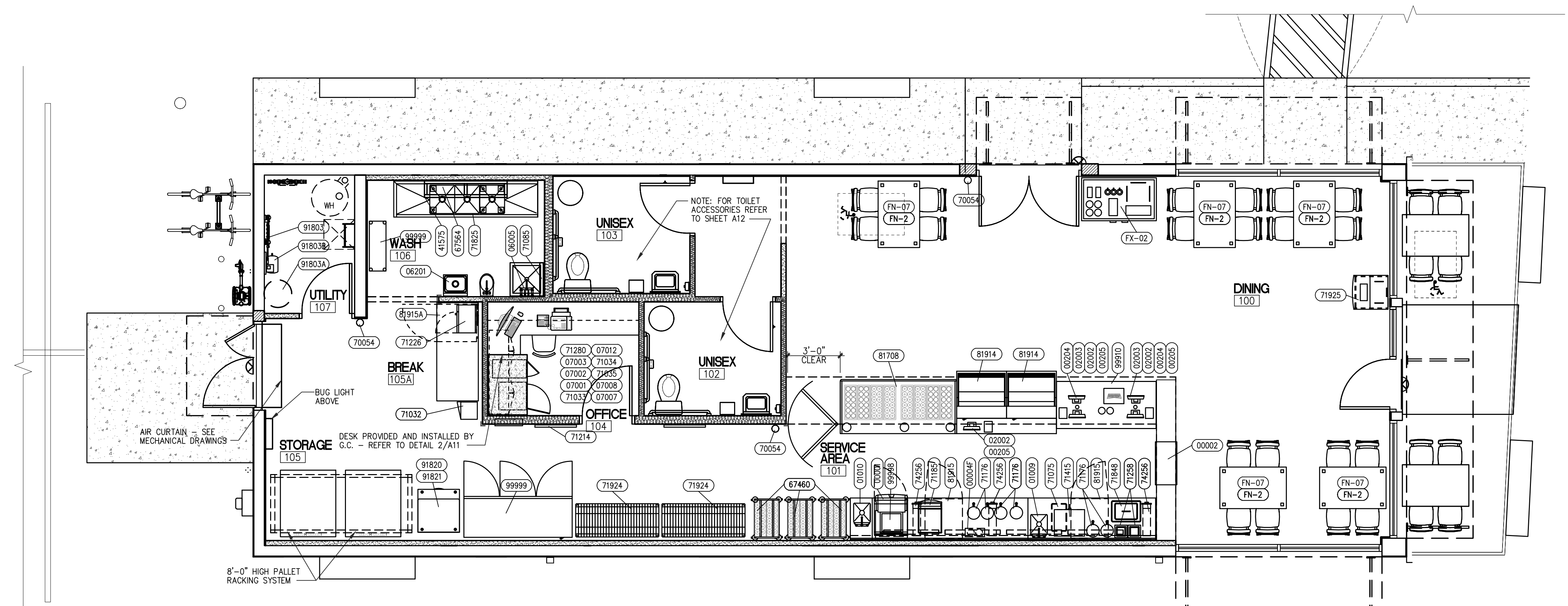
**FURNITURE / MISC. EQUIPMENT**

ITEM	QTY.	ITEM / DESCRIPTION	REMARKS
FN-07	5	30"x48" ACCESSIBLE TABLE	GRANDS RAPIDS CHAIR COMPANY
FN-2	20	EMECO BROOM STACKING CHAIR (GREEN)	
FX-02	1	4'-6" CONDIMENT STAND	CABINETRY

ITEM	QTY.	DESCRIPTION
00001	1	ICE CADDY
00002	1	ONLINE ORDER PICK-UP STATION
00004F	1	ESPRESSO MACHINE FILTER
00204	2	BATTERY BACK-UP
00205	3	PRINTER
01009	1	DUMP SINK W/ FAUCET
01010	1	HAND SINK W/ FAUCET
02002	3	POS MONITOR
02003	2	INTERACTIVE CUSTOMER DISPLAY
06005	1	MOP SINK FAUCET
06201	1	HANDSINK,FAUCET
07001	1	BACK OFFICE PC UNIT
07002	1	DESKTOP MONITOR
07003	1	WORK DESK
07007	1	INEGRATED AMPLIFIER
07008	1	SECURITY SYSTEM
07012	1	WALL MOUNTED TV/VCR
41575	1	WALL MOUNTED POT RACK
67460	3	DOUGHNUT CARTS- SIDE LOAD
67564	1	PURITAN/CHURCHHILL SOAP DISP.
70054	3	FIRE EXTINGUISHER
71032	2	EMPLOYEE LOCKERS
71033	1	FILING CABINET
71034	1	COPIER-FAX MACHINE
71035	1	SAFE
71075	1	TRASH CAN
71085	1	MOP HANGER
71176	5	COFFEE URNS
71185	1	ESPRESSO MACHINE
71214	1	36" WIDE BULLETIN BOARD
71226	1	MICROWAVE
71258	2	ON THE COUNTER BLENDER
71280	1	MUSIC PLAYBACK PLAYER
71415	1	DOUBLE COFFEE BREWER
71825	1	THREE COMPARTMENT SINK
71848	1	DROP IN ICE BIN
71924	2	24"x 60" X 74 5/8" SHELVING UNIT
71925	1	TRASH & TRAY HOLDER
74256	4	CUP DISPENSER
81708	1	DOUGHNUT DISPLAY CASE
81914	2	COOLER-REACH IN
81915	2	UNDER COUNTER REFRIGERATOR
81915A	1	GLASS MERCHANDISER
91803	1	WATER FILTER SYSTEM
91803A	1	20 GAL WATER FILTER SYSTEM TANK
91803B	1	BOOSTER PUMP
91820	1	ICE MACHINE
91821	1	ICE BIN
99910	1	CUSTOM CABINETRY
99998	1	GLASS MERCHANDISER
99999	2	REACH-IN REFRIGERATOR 3 DOOR



**2 WHEELCHAIR @DIN. TABLE**  
 EQ1 SCALE: 1/2" = 1'-0"



**1 EQUIPMENT PLAN**  
 EQ1 SCALE: 1/4" = 1'-0"

**PRELIMINARY NOT FOR CONSTRUCTION**

Revisions

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 LONG BEACH, CA 90815  
 ROGER GLOCKMAN - OFFICE: 213-489-2340x107  
**SHOP 910**  
 70 FAIR OAKS AVENUE  
 SOUTH PASADENA, CA 91030

**Krispy kreme**  
 DOUGHNUTS  
 SHEET DATA  
**EQUIPMENT PLAN**

Date 01/29/2021  
 Drawn By MTP  
 Checked by TD  
 Sheet No. EQ1

**ITEM NO. 2**

**ITEM NO. 2**

**ATTACHMENT 3**  
3-Dimensional Elevations

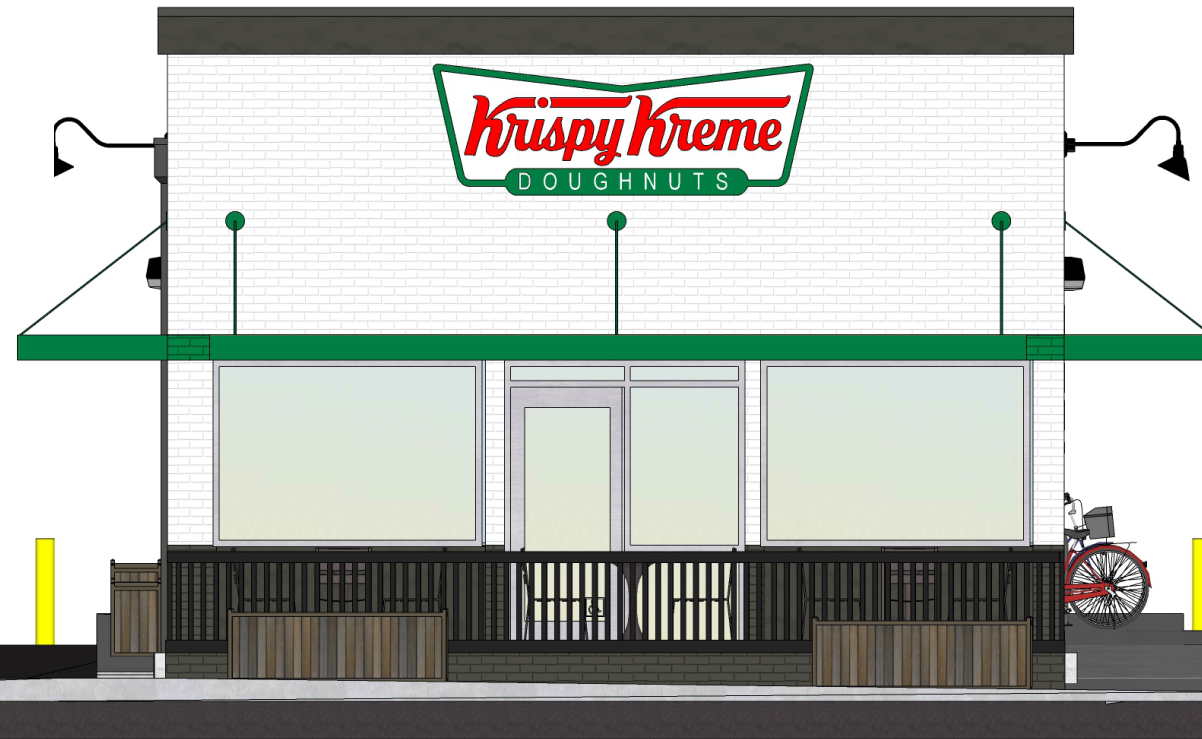




		KRISPY KREME SOUTH PASEDNA, CA		<b>EXTERIOR FACADE ::</b>  EXTERIOR CONCEPT ::
		NRD-19268	1.28.21	







PROPOSED FRONT ELEVATION



EXISTING FRONT ELEVATION

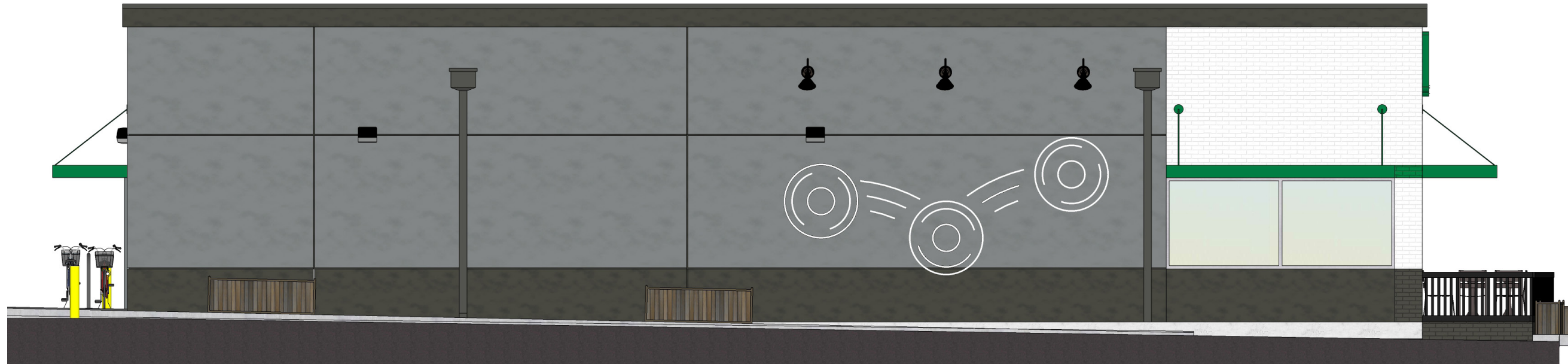


PROPOSED RIGHT ELEVATION



EXISTING RIGHT ELEVATION

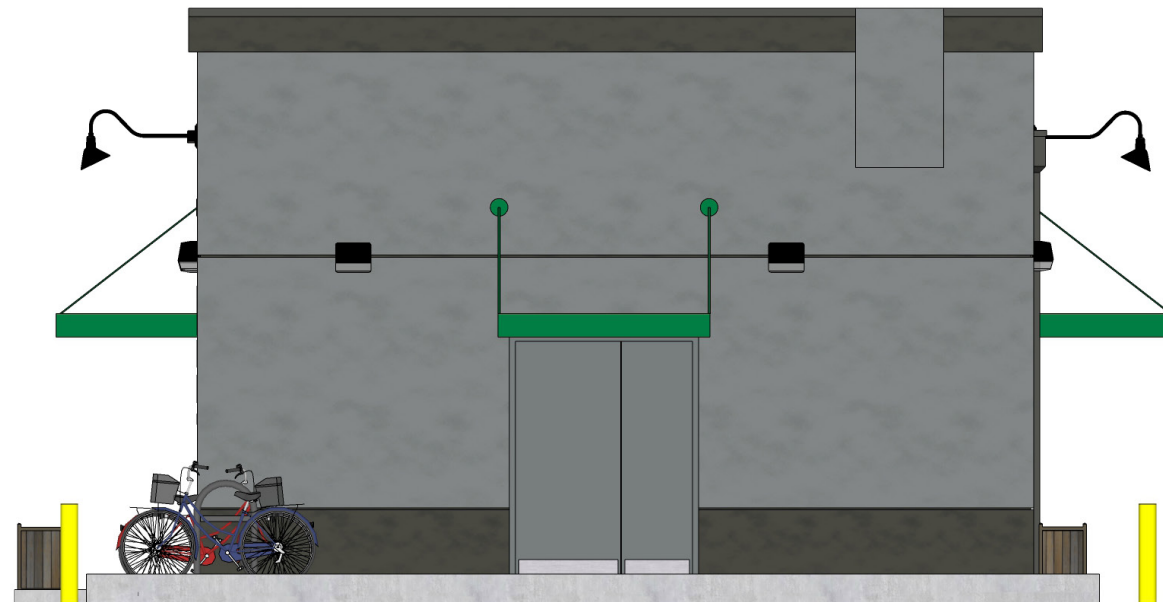
		KRISPY KREME SOUTH PASEDNA, CA		<p><b>EXTERIOR FACADE ::</b></p>
		NRD-19268	1.28.21	



PROPOSED LEFT ELEVATION



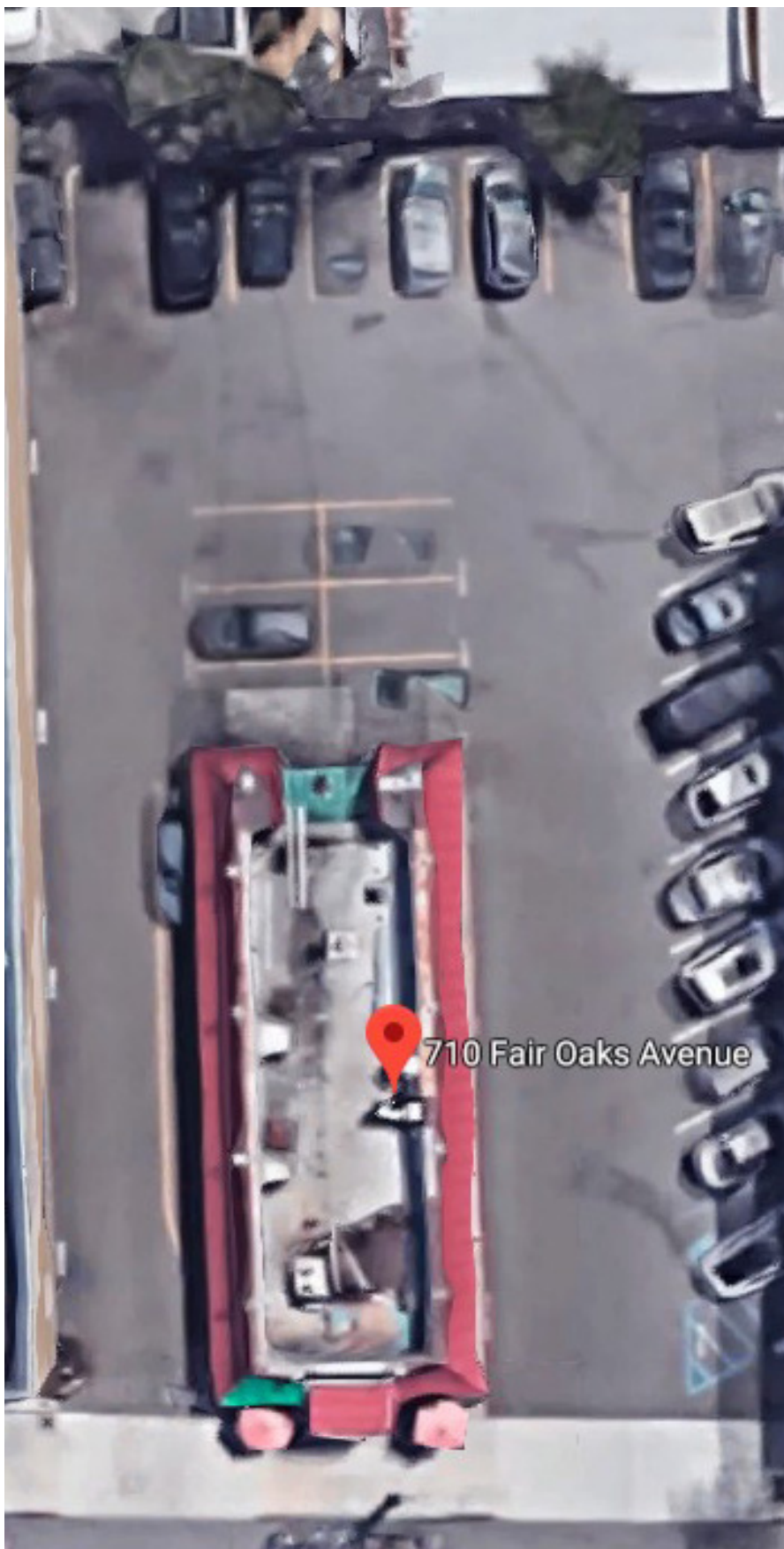
EXISTING LEFT ELEVATION



PROPOSED REAR ELEVATION



EXISTING REAR ELEVATION





**ITEM NO. 2**

**ITEM NO. 2**

**ATTACHMENT 4**  
Signs and Canopy Plans




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Long Beach, California  
90813-1195  
Phone: 562.495.3808  
Facsimile: 562.435.1867  
[www.superiorsigns.com](http://www.superiorsigns.com)

Project:  
**Krispy Kreme**

Address:  
**710 Fair Oaks Avenue  
South Pasadena, CA 91030**

Account Manager:  
**Gregg Grandon**

Scale: T.A.:  
**As Noted 14.00**

Design No.:  
**20-06-6658-05**

Reg. No.:

Revision History:  
**R0 6/15/20 pl** New Drawing  
**R1 6/17/20 pl** remove window signs (.50)  
**R2 6/24/20 CV** Sign A1(F) reduced to 23.43 sq ft (.50)  
**R3 12/1/20 pl** rev. per E-mail (8.00)  
**R4 12/30/20 LR** Del. north & south sign, add public art sign to south (2)  
**R5 1/28/21 mdm** (1.5) corrections for city permits

**710 Fair Oaks Avenue, South Pasadena, CA 91030**



**1** VICINITY MAP  
SCALE: NTS



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**

Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

Page: **1** of **13**

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Acct. Mgr. Date:

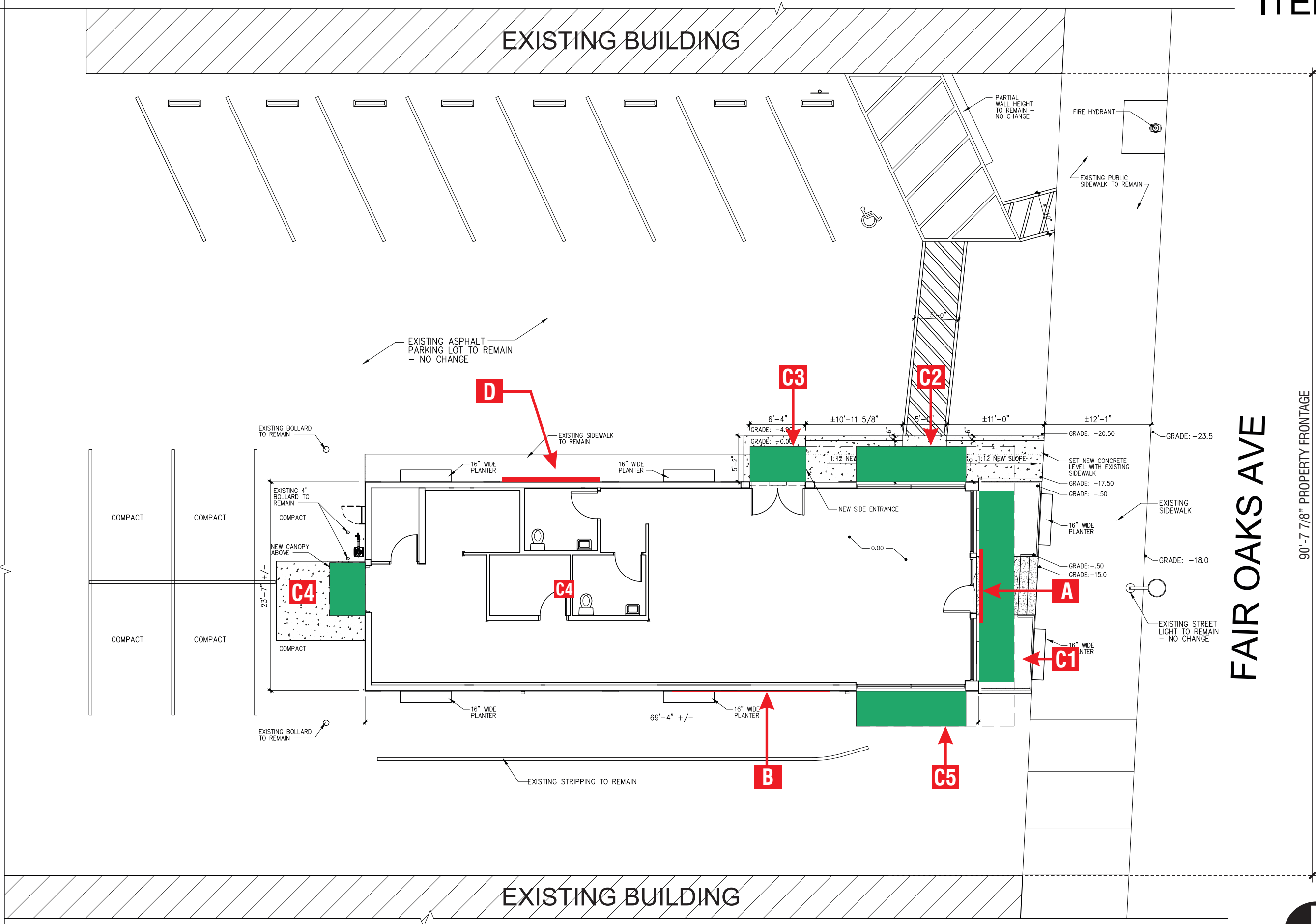
Design: Date:

Mfg/QC: Date:

Page: **2** of **13**

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FAIR OAKS AVE

90'-7 7/8" PROPERTY FRONTAGE



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Acct. Mgr. Date:

Design: Date:

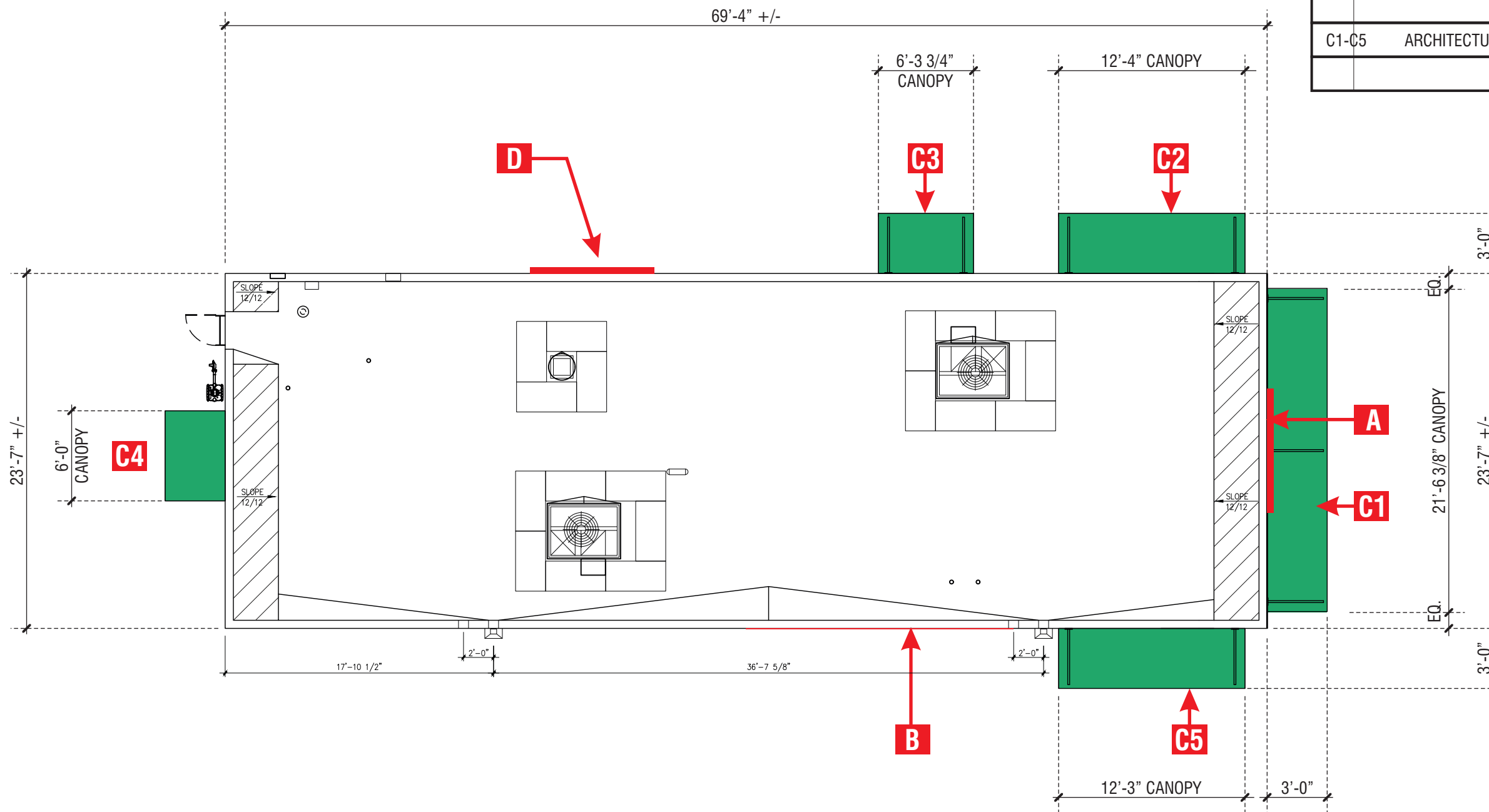
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Page: **3** of **13**

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SIGN SCHEDULE		
ID	DESCRIPTION	SQ FT
A	SINGLE FACE ILLUM. WALL SIGN	23.43
B	CUSTOM GRAPHIC PANEL	128.8
D	CUSTOM GRAPHIC PANEL	32.9
C1-C5	ARCHITECTURAL CANOPY	N/A



**1** ROOF PLAN  
SCALE: 1/8" = 1'-0"





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Acct. Mgr. Date:

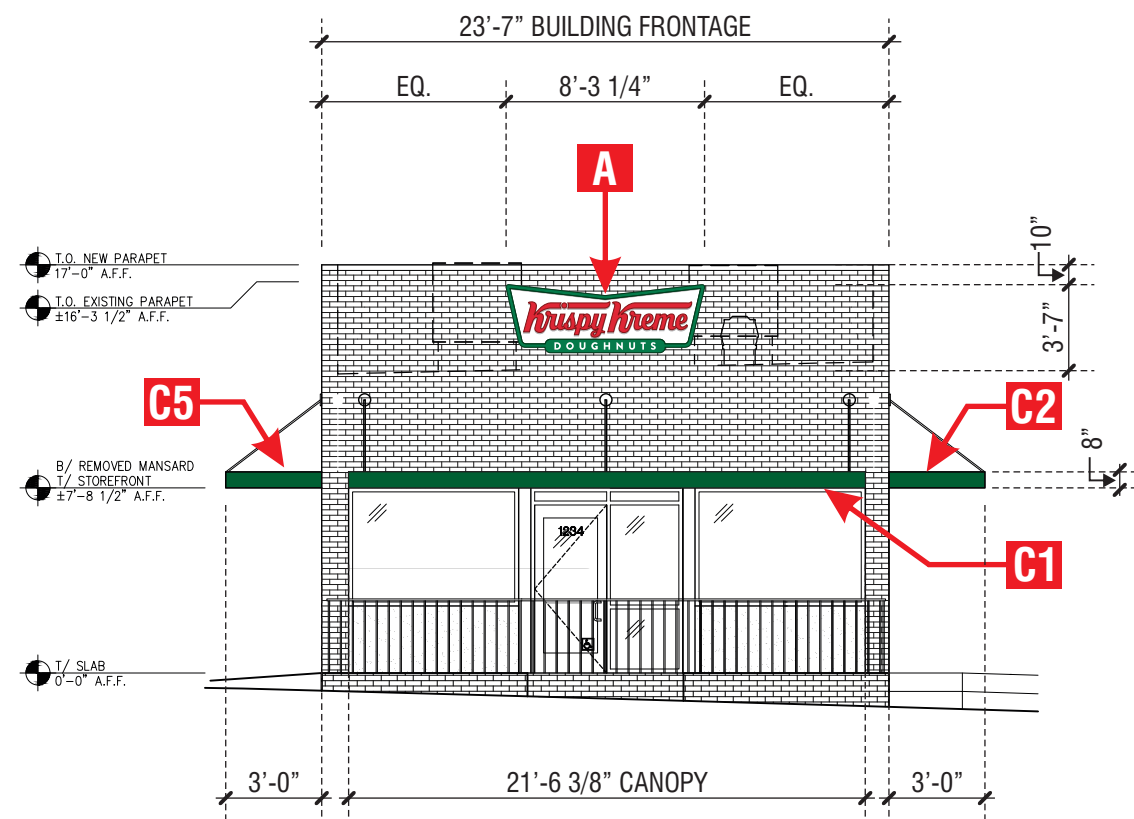
Design: Date:

Mfg/QC: Date:

Page: **4** of **13**

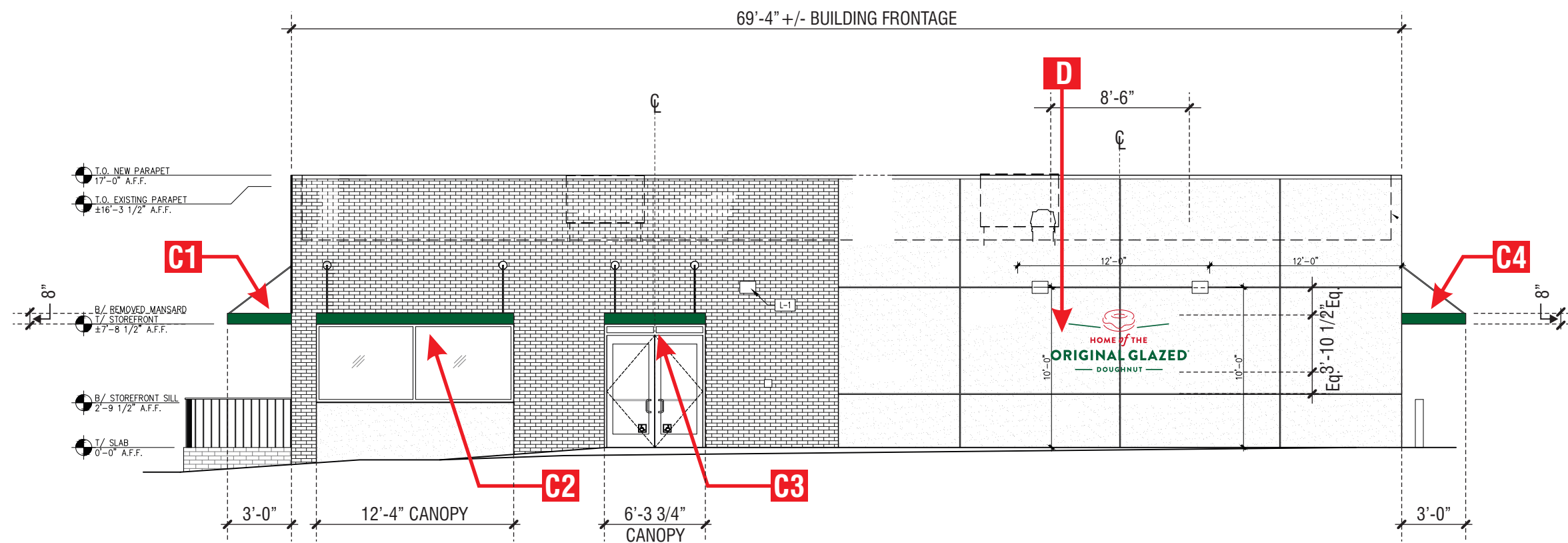
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**BUILDING AREA = 402 SQUARE FEET  
7% OF 402 SQUARE FEET = 28.14  
TOTAL SIGN AREA = 23.43 SQUARE FEET**

**1** FRONT (WEST) ELEVATION  
SCALE: 1/8" = 1'-0"



**2** RIGHT SIDE (SOUTH) ELEVATION  
SCALE: 1/8" = 1'-0"



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**CONSTRUCTION APPROVALS**

Acct. Mgr. Date:

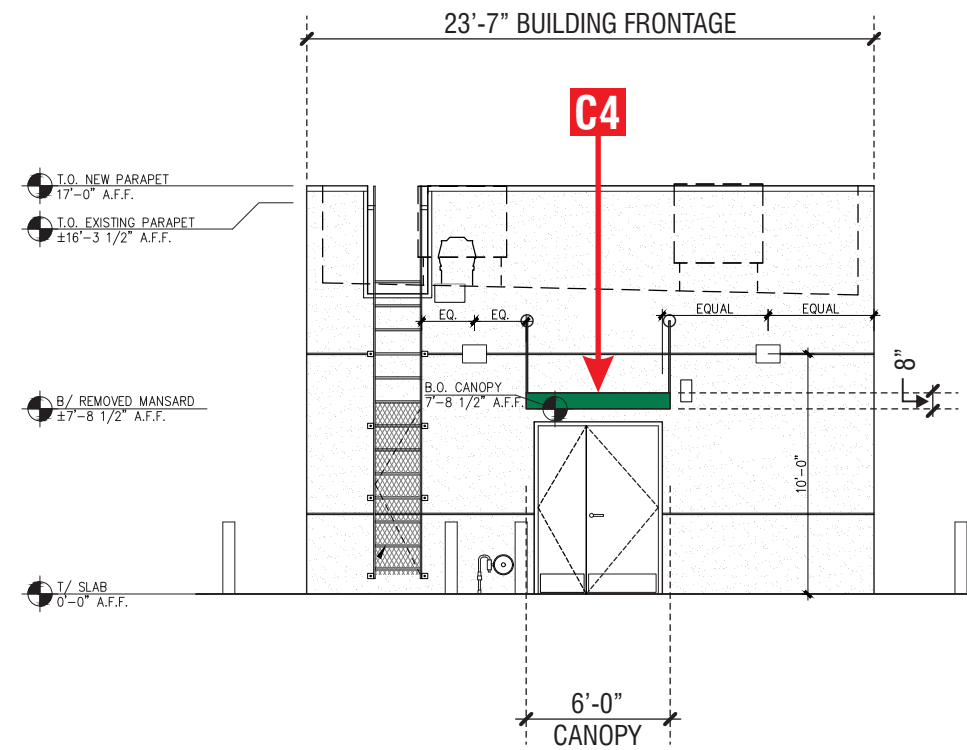
Design: Date:

Mfg/QC: Date:

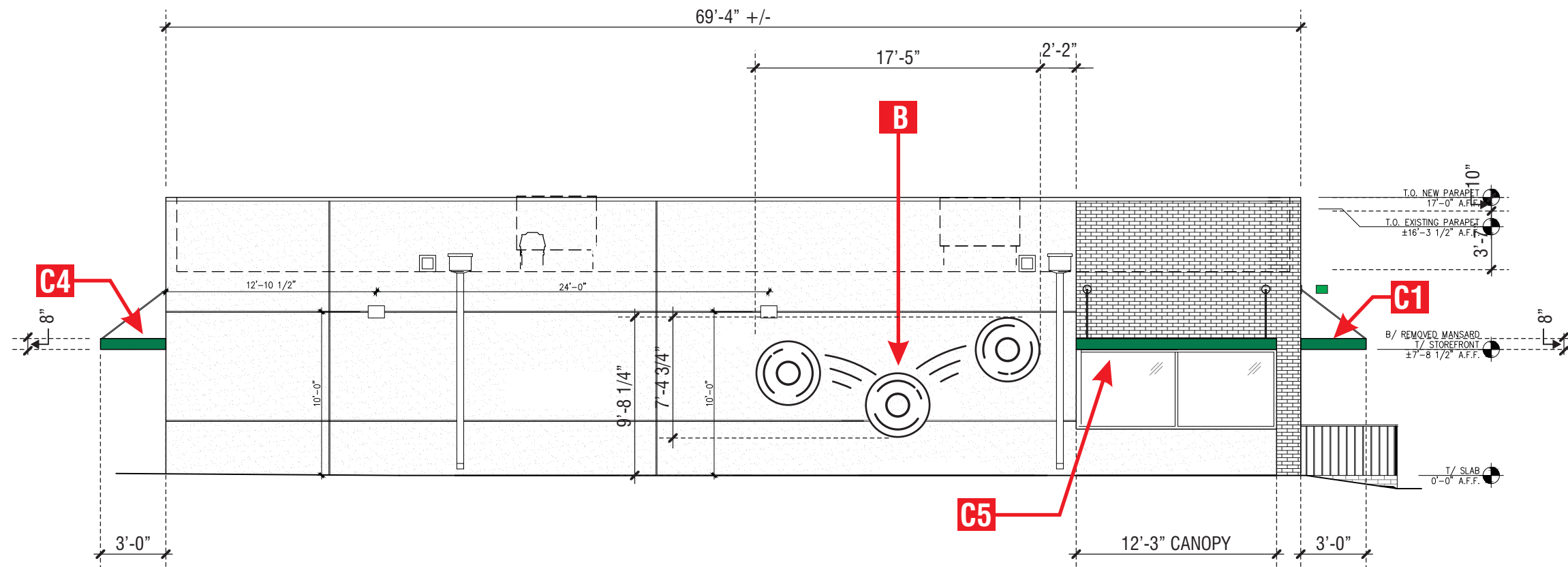
Page: **5** of **13**

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**3** REAR (EAST) ELEVATION  
SCALE: 1/8" = 1'-0"



**4** LEFT SIDE (NORTH) ELEVATION  
SCALE: 1/8" = 1'-0"



Project:  
**Krispy Kreme**

Address:  
**710 Fair Oaks Avenue  
South Pasadena, CA 91030**

Account Manager:  
**Gregg Grandon**

Scale: T.A.:  
**As Noted 14.00**

Design No.:  
**20-06-6658-05**

Reg. No.:

Revision History:  
**R0 6/15/20 pl** New Drawing  
**R1 6/17/20 pl** remove window signs (.50)  
**R2 6/24/20 CV** Sign A1(F) reduced to 23.43 sq ft (.50)  
**R3 12/1/20 pl** rev. per E-mail (8.00)  
**R4 12/30/20 LR** Del. north & south sign, add public art sign to south (2)  
**R5 1/28/21 mdm** (1.5) corrections for city permits



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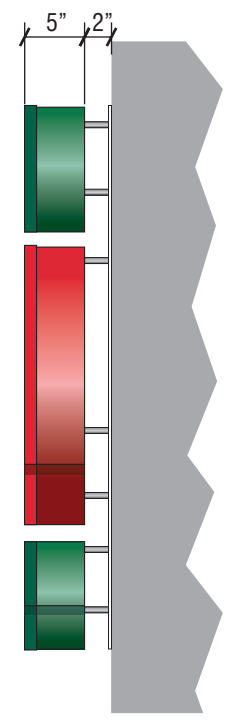
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Acct. Mgr. Date:

Design: Date:  
Mfg/QC: Date:

Page: **6** of **13**

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**CALIFORNIA TITLE 24 REQUIREMENT**

NOTE: THIS SIGN TO BE CONTROLLED BY A PHOTO CELL SUPPLIED AND INSTALLED BY S.E.A. PRIMARY ELECTRICAL COMING TO THE SIGN TO BE CONTROLLED BY AN AUTOMATIC TIME-SWITCH OR AN ASTRONOMICAL TIME-SWITCH CONTROL. THESE SWITCHES SHALL BE INSTALLED BY OTHERS BEFORE SIGN IS INSTALLED.

NOTE: ALL SIGNAGE REQUIRED DISCONNECT SWITCH TO COMPLY WITH ARTICLE 600.6(A)(1) OF THE NATIONAL ELECTRICAL CODE

**A** CUSTOM FABRICATED - DUAL ILLUMINATED CHANNEL LETTERS AND BORDER MOUNTED TO ALUMINUM BACKER SQUARE FEET = 23.43  
 QUANTITY: ONE (1) UNIT REQUIRED SCALE: 1" = 1'-0"

**SPECIFICATIONS:**

- 5" DEEP ALUMINUM DUAL-ILLUMINATED CHANNEL "DOUGHNUTS" BORDER. FACES TO BE #7328 WHITE ACRYLIC WITH GREEN VINYL OVERLAY - DOUGHNUTS LETTERS CUT OUT TO SHOW THROUGH WHITE. 1" GREEN TRIM CAP EDGE PAINTED TO MATCH RETURNS. ALUMINUM RETURNS PAINTED GREEN. ILLUMINATION TO BE WHITE LED MODULES WITH REMOTE POWER SUPPLIES. BACKS TO BE CLEAR LEXAN FOR WHITE HALO ILLUMINATION. 2" SPACERS PAINTED WHITE.
- 5" DEEP ALUMINUM DUAL-ILLUMINATED CHANNEL LETTERS. FACES TO BE #7328 WHITE ACRYLIC WITH RED VINYL OVERLAY. 1" RED TRIM CAP EDGE PAINTED TO MATCH RETURNS. ALUMINUM RETURNS PAINTED RED. ILLUMINATION TO BE WHITE LED MODULES WITH REMOTE POWER SUPPLIES. BACKS TO BE CLEAR LEXAN FOR WHITE HALO ILLUMINATION. 2" SPACERS PAINTED WHITE.
- .125" ALUMINUM BACKER PANEL PAINTED WHITE WITH SATIN FINISH

**COLOR SPECIFICATIONS**

- WHITE (DOUGHNUTS)
- PAINTED SATIN WHITE (BACKER PANEL)
- 2620-76 HOLLY GREEN VINYL - PMS 349C GREEN (BOWTIE)
- 3630-53 CARDINAL RED VINYL - PMS 200 RED (KRISPY KREME)

PLEASE REFER TO THE NUMBERED ITEMS BELOW FOR INCORPORATED INSTALL INSTRUCTIONS. LISTED INSTRUCTIONS TO BE FOUND WITH ACTUAL SIGNAGE (NUMBERED ITEMS CORRESPOND TO SECTION DETAIL)

ITEM #	DESCRIPTION
1	CHANNEL LETTERS
2	DISCONNECT SWITCH
3	THREADED NIPPLE AND COUPLING (FLEX CONNECTOR)
4	CLASS 2 LOW VOLTAGE WIRING (NO CONDUIT REQUIRED)
5	POWER SUPPLY
6	FLEX (FLEXIBLE CONDUIT) / LIQUID TIGHT CONNECTIONS

NOTE: FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS PRIOR TO ANY FABRICATION

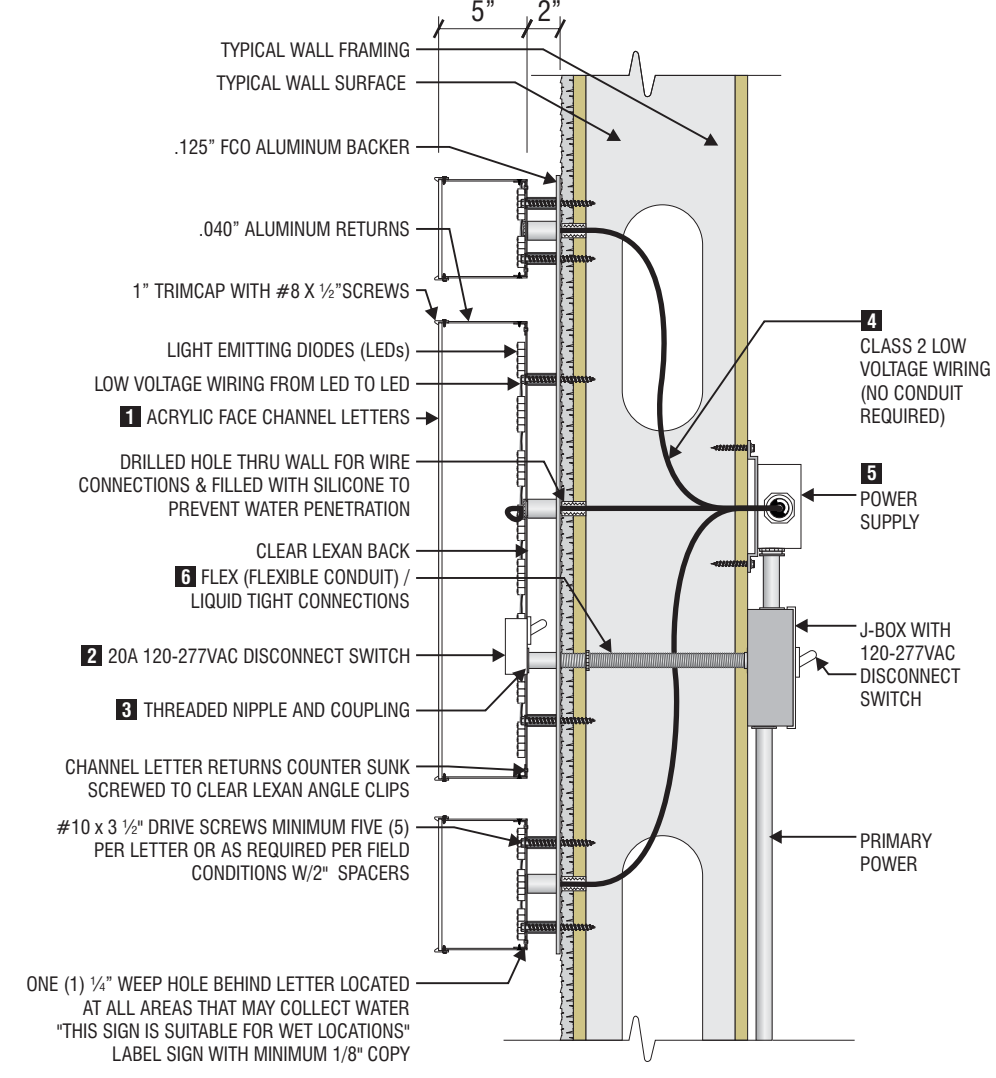
**NOTE TO ALL CONTRACTORS: SIGN VOLTAGE 120**

ALL WALL PENETRATIONS TO BE SEALED WITH UL LISTED SILICONE SEALANT. IN ACCORDANCE WITH NEC AND UL GUIDELINES, IT IS REQUIRED THAT PRIMARY CIRCUITS TO EACH SIGN MUST HAVE DEDICATED CIRCUIT WITH PROPER GROUND FROM MAIN PANEL AND MUST BE BONDED.



**2** ISOMETRIC DETAIL / DUAL-VIEW WALL SIGN  
Scale: NTS 2-50

**1** SIDE VIEW  
Scale: 1" = 1'-0"



**1** SECTION DETAIL / DUAL-VIEW CHANNEL LETTERS ON BACKER PANEL  
Scale: NTS



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Account Manager:  
**Gregg Grandon**

Scale: T.A.:  
**As Noted 14.00**

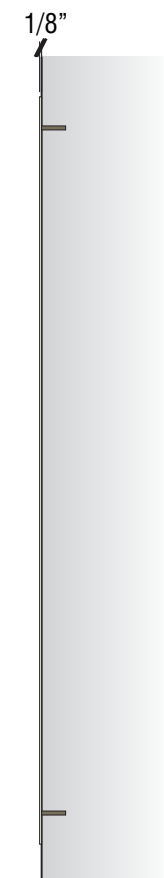
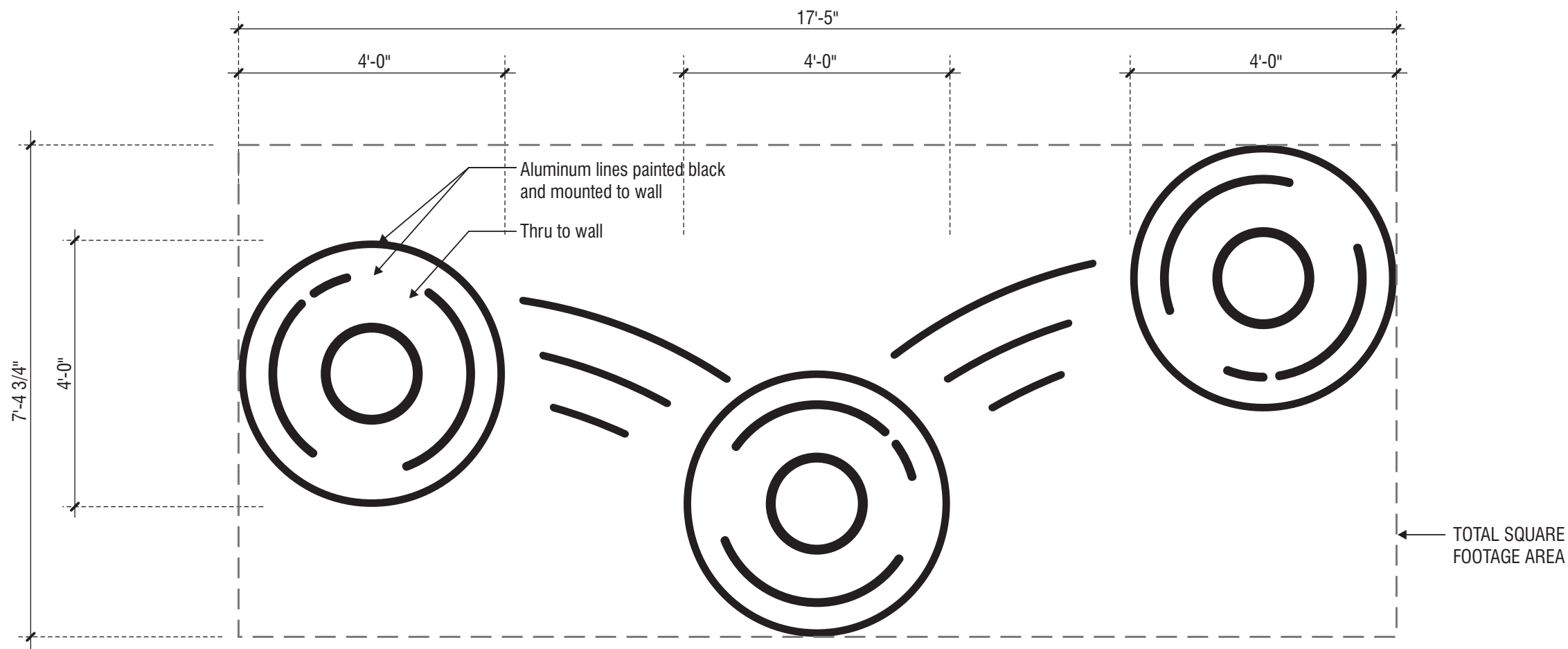
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Reg. No.:

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TOTAL SQUARE FOOTAGE AREA

**B CUSTOM GRAPHIC PANELS**  
Quantity: Make One (1) of each

**SQUARE FEET = 128.8**  
Scale: 1/2" = 1'-0"

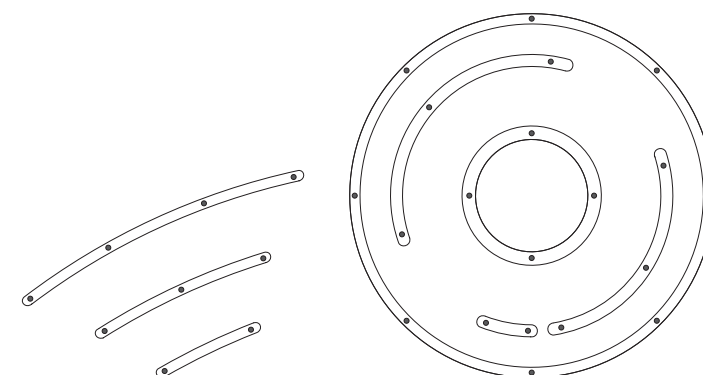
**1 SIDE VIEW**  
Scale: 1" = 1'-0"

**SPECIFICATIONS:**

DONUTS: ROUTED OUT .125" THICK ALUMINUM LINES PAINTED BLACK  
BOUNCE LINES: ROUTED OUT .125" THICK ALUMINUM PANEL PAINTED BLACK  
ILLUMINATION: NON-ILLUMINATED

**NOTE: SIGN IS STUD MOUNTED TO WALL SURFACE USING HIGH EPOXY INDUSTRIAL GLUE AROUND EDGES AND IN PRE-DRILLED HOLES AS REQUIRED**

**NOTE: FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS PRIOR TO ANY FABRICATION**



PROPOSED PAD ATTACHMENT LOCATIONS

2-51



Plate with stud adhered to back of plastic



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**CONSTRUCTION APPROVALS**

Acct. Mgr. Date:

Design: Date:

Mfg/QC: Date:

Page: 7 of 13

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**D CUSTOM GRAPHICS PANEL**  
**Quantity: Make One (1) display**

**SQUARE FEET=32.9**  
**Scale: 3/4" = 1'-0"**

**SPECIFICATIONS:**

- DONUT: ROUTED OUT .125" THICK ALUMINUM LINES PAINTED RED
- LINES: ROUTED OUT .125" THICK ALUMINUM PANEL PAINTED GREEN
- HOME OF THE: ROUTED OUT .125" THICK ALUMINUM LINES PAINTED RED
- OGD COPY: ROUTED OUT .125" THICK ALUMINUM PANEL PAINTED GREEN
- ILLUMINATION: NON-ILLUMINATED

**NOTE: SIGN IS STUD MOUNTED TO WALL SURFACE USING HIGH EPOXY INDUSTRIAL GLUE AROUND EDGES AND IN PRE-DRILLED HOLES AS REQUIRED**



**Plate with stud adhered to back of plastic**



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 Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

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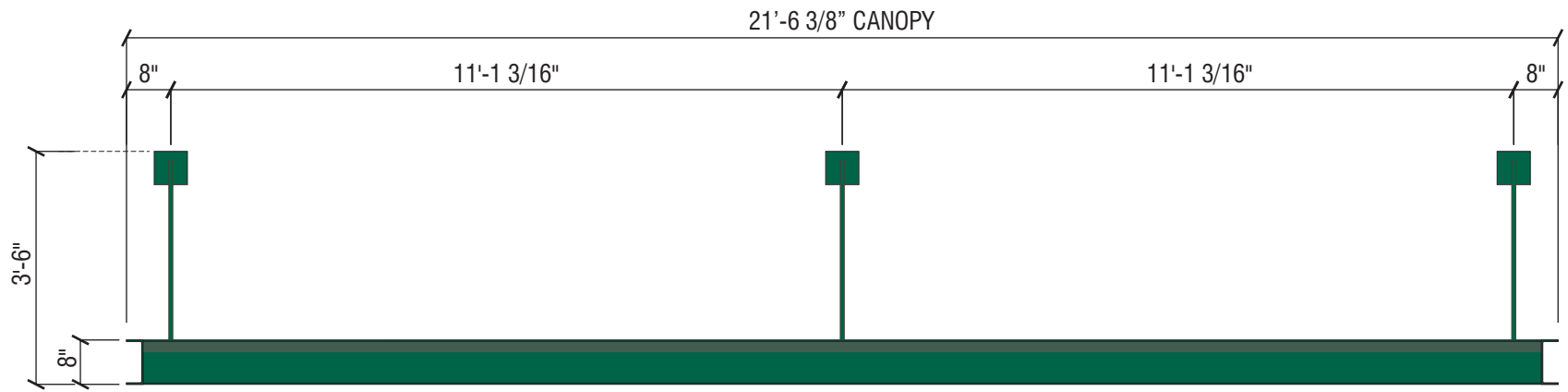
Account Manager:  
**Gregg Grandon**

Scale: T.A.:  
**As Noted 14.00**

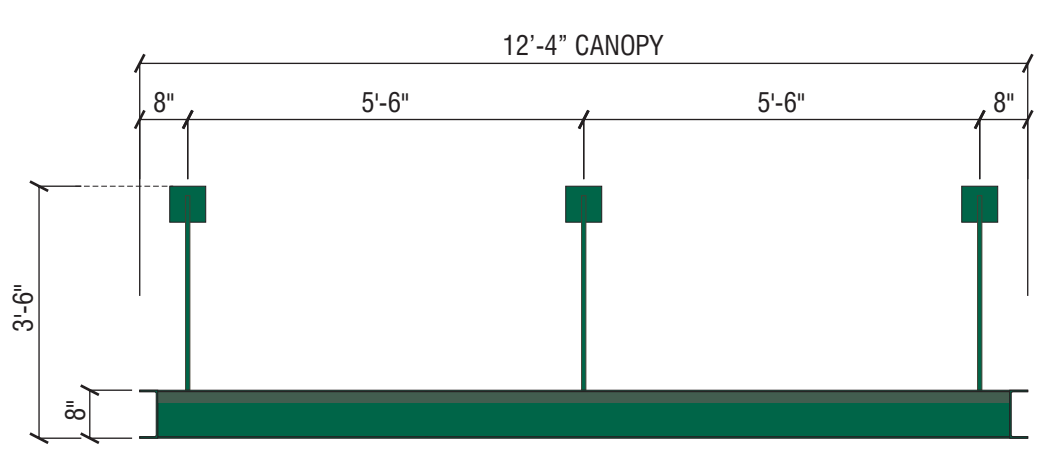
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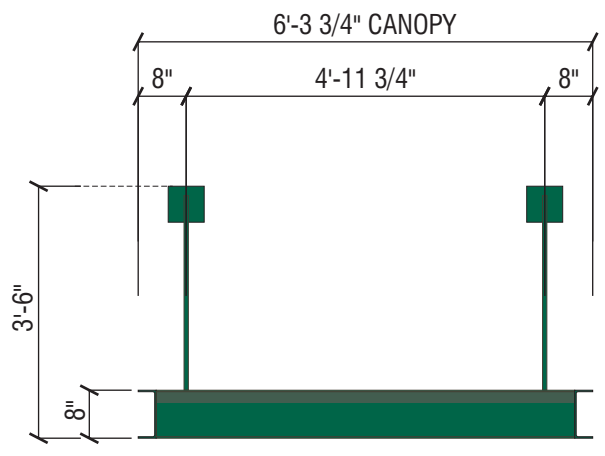
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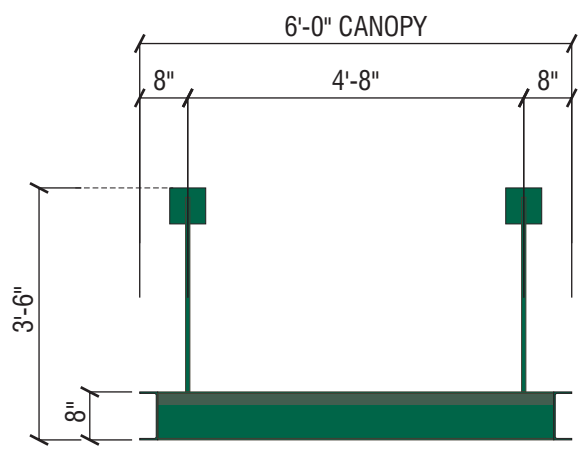
**C1** FABRICATED ALUMINUM BUILDING CANOPY WITH DOWN LIGHTING  
 QUANTITY: ONE (1) REQUIRED SCALE: 3/8" = 1'-0"



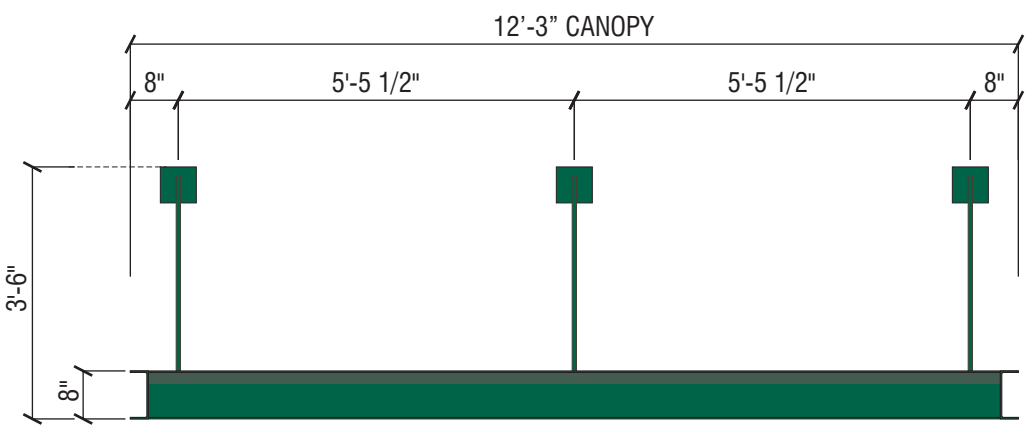
**C2** FABRICATED ALUMINUM BUILDING CANOPY WITH DOWN LIGHTING  
 QUANTITY: ONE (1) REQUIRED SCALE: 3/8" = 1'-0"



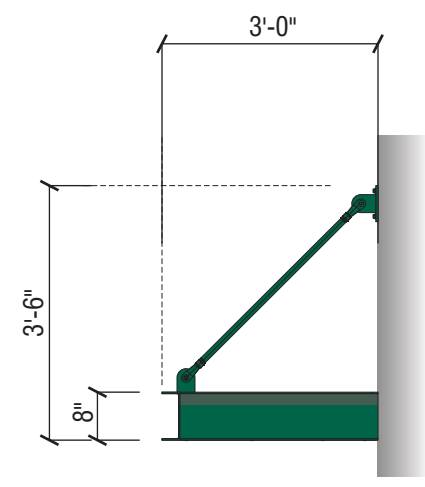
**C3** FABRICATED ALUMINUM BUILDING CANOPY WITH DOWN LIGHTING  
 QUANTITY: ONE (1) REQUIRED SCALE: 3/8" = 1'-0"



**C4** FABRICATED ALUMINUM BUILDING CANOPY WITH DOWN LIGHTING  
 QUANTITY: ONE (1) REQUIRED SCALE: 3/8" = 1'-0"



**C5** FABRICATED ALUMINUM BUILDING CANOPY WITH DOWN LIGHTING  
 QUANTITY: ONE (1) REQUIRED SCALE: 3/8" = 1'-0"



**1** SIDE VIEW  
 SCALE: 3/8" = 1'-0"



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**CONSTRUCTION APPROVALS**  
 Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

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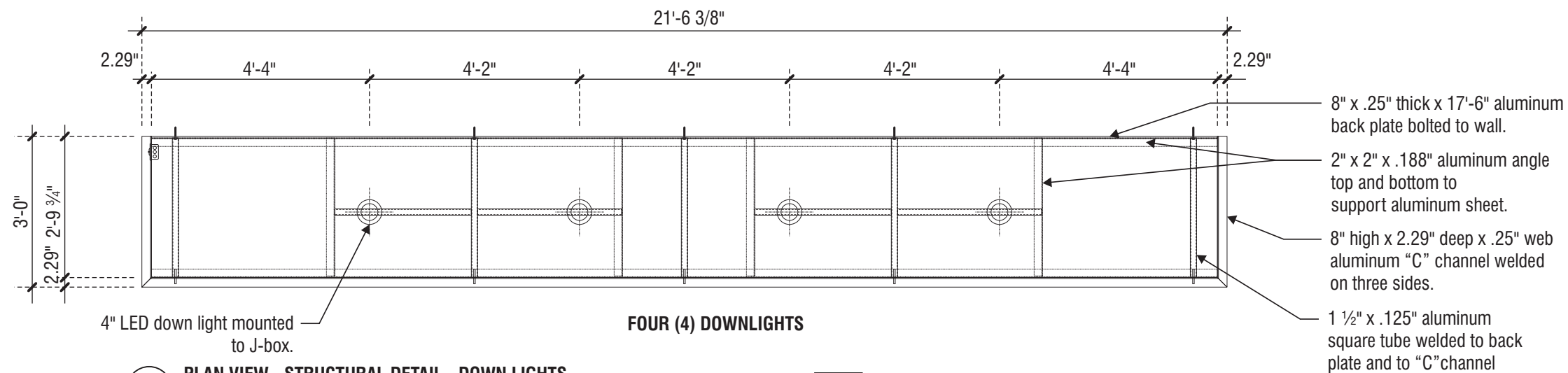
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Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

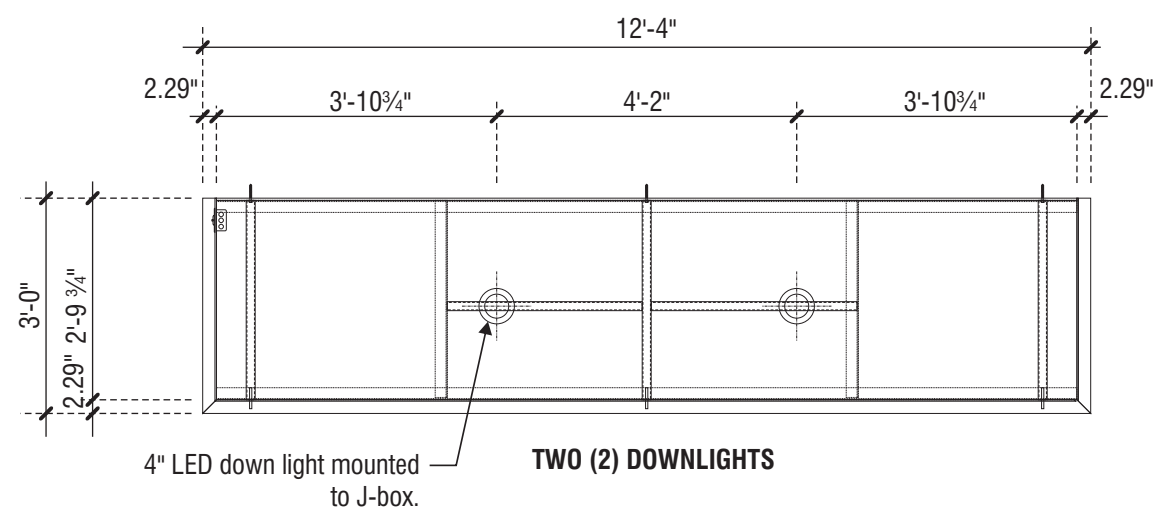
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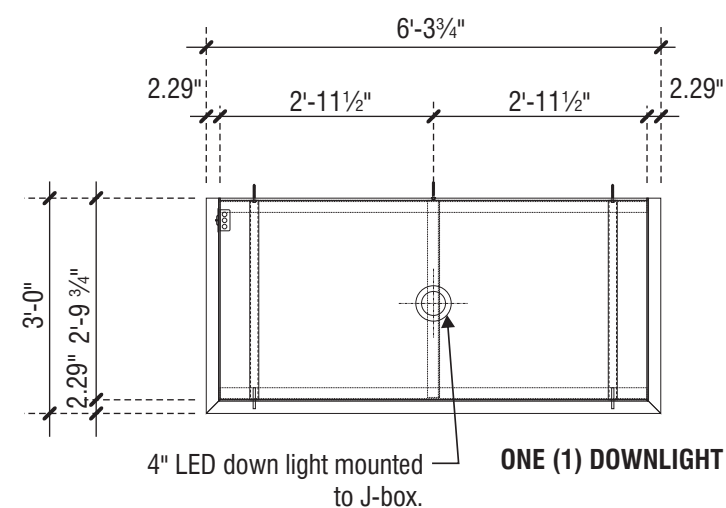
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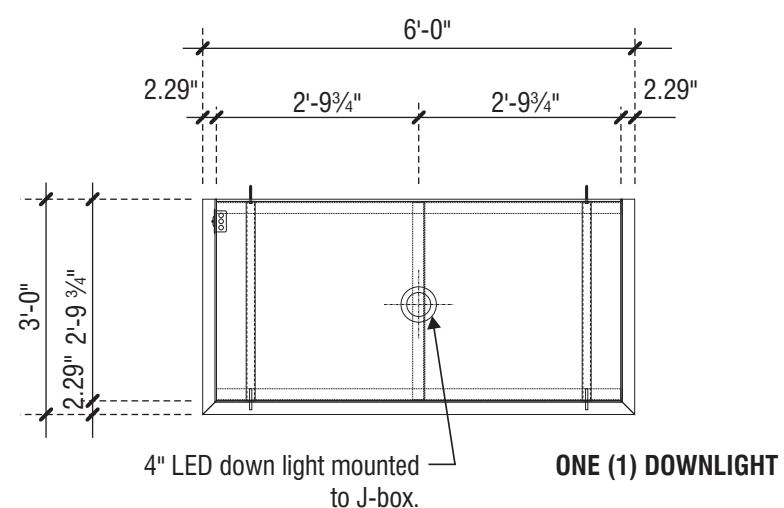
**1** PLAN VIEW - STRUCTURAL DETAIL - DOWN LIGHTS  
SCALE: 3/8" = 1'-0" **C1**



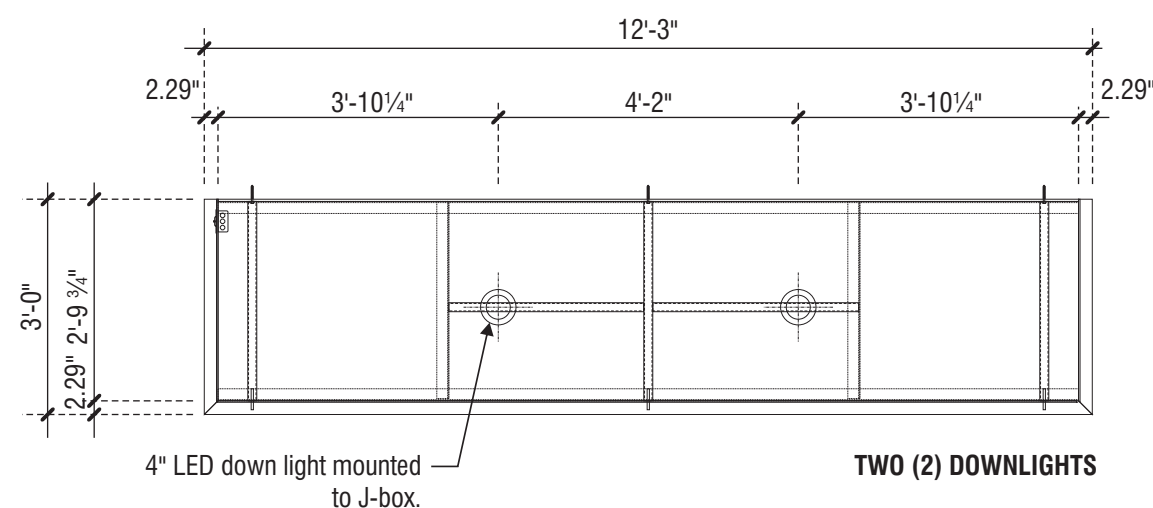
**2** PLAN VIEW - STRUCTURAL DETAIL - DOWN LIGHTS  
SCALE: 3/8" = 1'-0" **C2**



**3** PLAN VIEW - STRUCTURAL DETAIL - DOWN LIGHTS  
SCALE: 3/8" = 1'-0" **C3**



**4** PLAN VIEW - STRUCTURAL DETAIL - DOWN LIGHTS  
SCALE: 3/8" = 1'-0" **C4**



**5** PLAN VIEW - STRUCTURAL DETAIL - DOWN LIGHTS  
SCALE: 3/8" = 1'-0" **C5**



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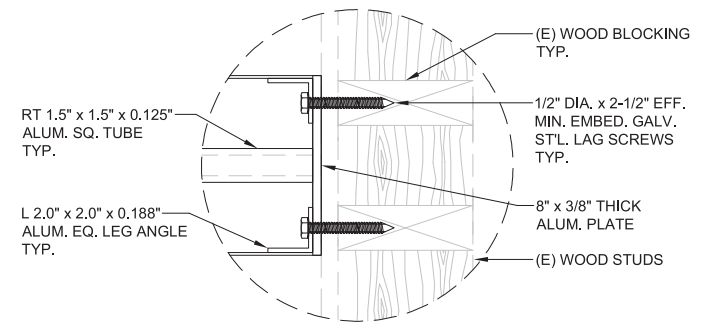
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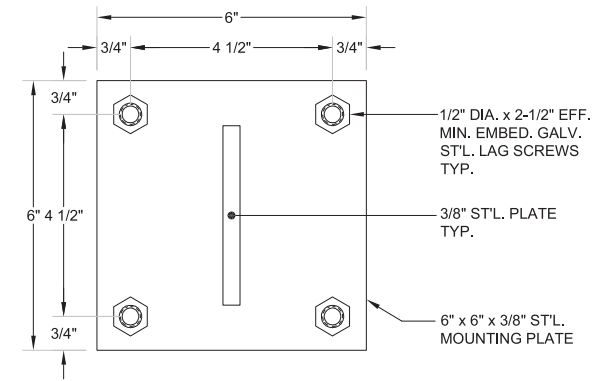
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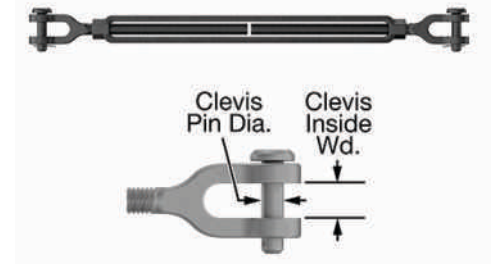


**1 SECTION DETAIL - WALL CONNECTION**  
SCALE: NTS



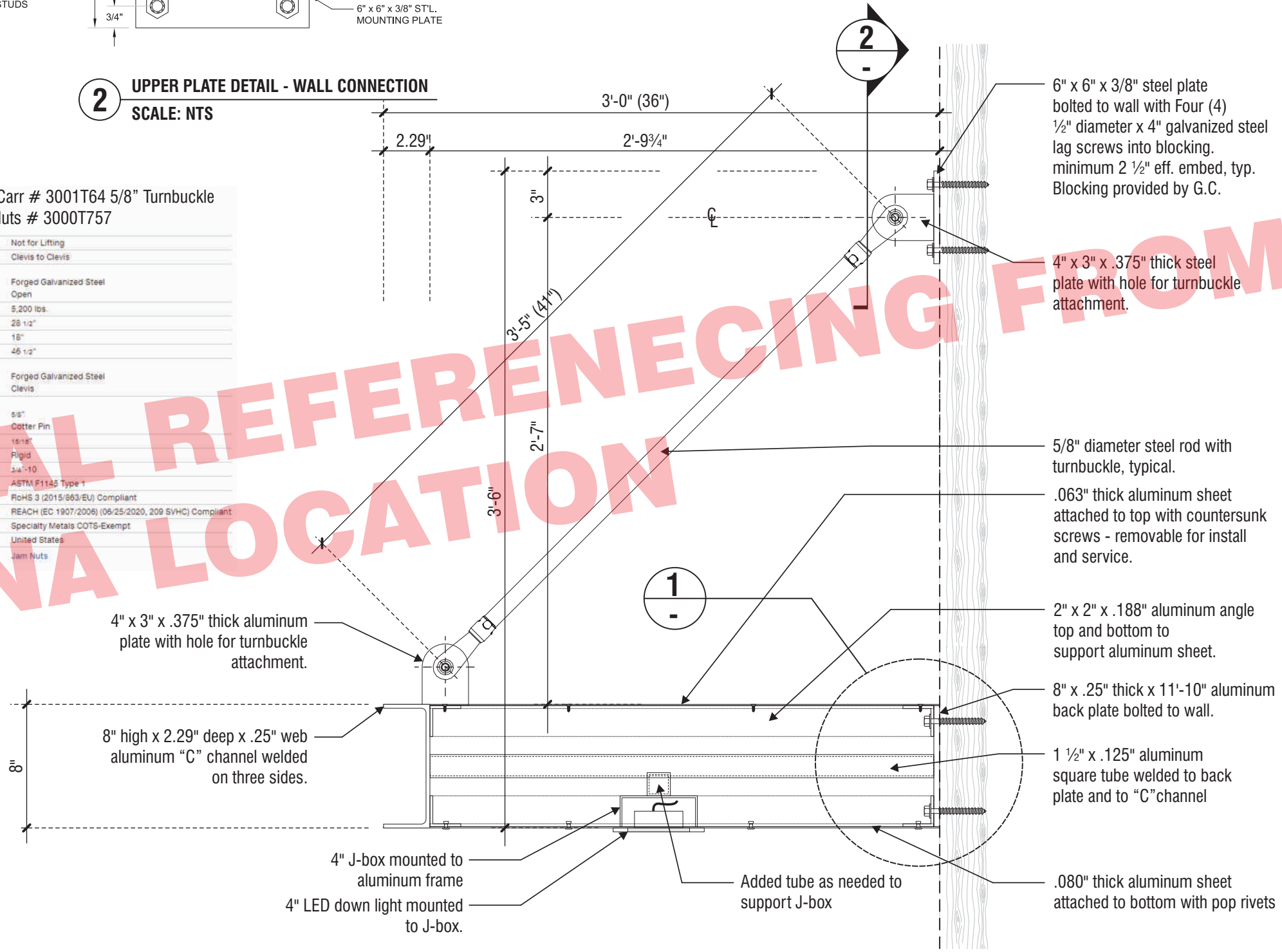
**2 UPPER PLATE DETAIL - WALL CONNECTION**  
SCALE: NTS

**Forged Galvanized Steel Turnbuckle-Not for Lifting**  
Clevis-to-Clevis, 5200 lb. Capacity, 28.5" Retracted Length



McMasters Carr # 3001T64 5/8" Turnbuckle with 2 jam Nuts # 3000T757

Application	Not for Lifting
Turnbuckle Type	Clevis to Clevis
Body	
Material	Forged Galvanized Steel
Style	Open
Capacity	5,200 lbs.
Retracted Length	28 1/2"
Maximum Adjustment	18"
Extended Length	46 1/2"
End Fitting	
Material	Forged Galvanized Steel
Type	Clevis
Clevis Pin	
Diameter	5/8"
Closure Type	Cotter Pin
Clevis Inside Width	1 1/4"
Clevis Movement	Rigid
Thread Size	1/4"-10
Specifications Met	ASTM F1135 Type 1
RoHS	RoHS 3 (2015/863/EU) Compliant
REACH	REACH (EC 1907/2006) (06/25/2020, 209 SVHC) Compliant
DFARS	Specialty Metals COTS-Exempt
Country of Origin	United States
Related Product	Jam Nuts



**3 SIDE VIEW SECTION - STRUCTURAL DETAIL**  
SCALE: 1 1/2" = 1'-0"

MATERIAL REFERENCING FROM GARDENA LOCATION



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**CONSTRUCTION APPROVALS**

Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

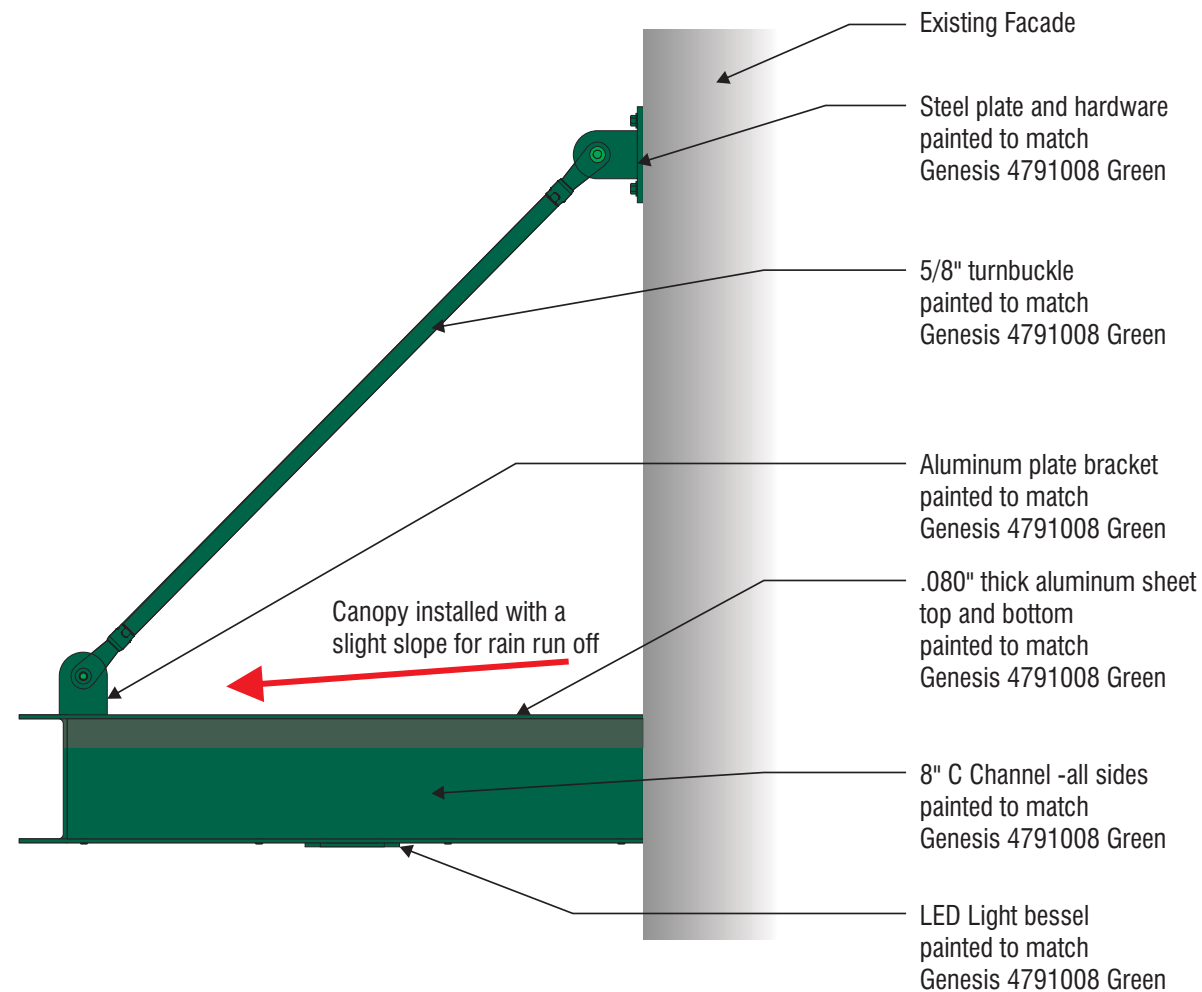
Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

Page: **12** of **13**

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**1** SIDE VIEW - COLOR  
SCALE: 1" = 1'-0"

**General Notes:**

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer\*  
\*For multiple signs, a disconnect is permitted but not required for each section



**Texas Fluorescents  
Reinvented**

**Mounting Detail**

**4 inch or 6 inch Surface Mount**





## Micro LED CTC

### LED Surface Mounts For Bright, General Illumination From A Small, Sleek Style. Indoor or Outdoor with 75% Energy Savings and Lasts 40 Times Longer.

Finally, a fresh, modern approach to the old fashioned close-to-ceiling surface mount lights ideal for circulation spaces, living spaces and wet locations. This Contemporary Micro LED Close-to-Ceiling fixture with a matte white body and a translucent white acrylic diffuser mounts simply to a standard 4 inch J-box and is less than 2" deep in a crisp, flat edged style that provides a sophisticated look. Rethinking Lighting in the LED Revolution allows a large amount of light for general illumination from small unobtrusive sizes that will beautifully blend in to every application, indoor or outdoors. A warm, modern white 3000K color temperature is under 15 watts and illuminates like the output of 50W Par 20 and 75W BR30. Retrofit to an existing recessed 4" or 6" white can with a simple Recessed Accessory.

These Micro LED Close-to-Ceiling fixtures are particularly a good solution in wet location applications where normally a much larger and usually simple utilitarian look is used like in outdoor breezeways and showers/bathroom applications. They are also stylish substitutes for recessed downlights especially where ceiling obstructions or codes make a surface mount a good solution. It is ideal for applications that require expensive fire rated boxes for recessed fixtures since these mount simply to a surface mounted junction box.

#### Specifications

Heavy gauge metal housing powder coated white houses 120V LED array and 20W Driver. Driver is dimmable with standard incandescent dimmers.\* Led are comfortably di"used with Translucent White Opal Acrylic di"user to provide a glare free light.

#### LED Engine

SMC 6 inch 36 LED arrays providing 1060 lumens with the di"user and 15 watts with 3000K color. SMC 4 inch has one led with 20 Watt driver providing 900 lumens and 12 watts.

#### Ideal Application

##### Outdoor Breezeways



Since the SMC Series are wet location rated and less than 15 watt, they are ideal for long, outdoor breezeways.

##### Replace Expensive Downlights



**Fire Rated Recessed Housing**  
Avoid expensive Fire Rated Recessed housing by using the SMC series in a standard 4" Junction-box with bright, comfortable lighting at budget pricing.

##### Showers / Wet Locations



Add less than 15 watts to your shower or tub but lots of light that will make a big difference in how good you look.

## SMC series

### Micro LED CTC



#### Listing

ETL Wet Location

#### Warranty

5 Year Limited Warranty



#### Recessed Accessory Kit

Order separately a Recessed Accessory Kit to easily adapt the SMC series to 4" and 6" white cans. Save over 75% energy from incandescent equivalent fixtures and lasts 40 times longer.



4" Accessory Kit



6" Accessory Kit

#### Mounting

Surface mounts to standard 4 inch Junction-box with two screws. Mounts to most 4" and 6" white cans with a Recessed Accessory Kit.

#### Ordering Information

##### Triac Dimming

SMC Series dims to 10% with standard dimmers\*

\* Triac Based (forward phase control or leading edge dimmers).

Item No.	Description	Dimensions
<b>SMC4L12W900L30KWH (or BZ)</b>	Micro LED CTC 4" (5.9" OD) White (or Bronze), 12W 876 lumens, CRI ≥80, 3000K, 120V, with 20W Dimmable Driver. Surface Mount.	5.9"OD x 1.20"H
<b>SMC4L12W900L30KBN</b>	Micro LED CTC 4" (5.9" OD) Brushed Nickel, 12W 876 lumens, CRI ≥80, 3000K, 120V, with 20W Dimmable Driver. Surface Mount.	5.9"OD x 1.20"H
<b>SMC6L15W1100L30KWH (or BZ)</b>	Micro LED CTC 6" (7.4" OD) White (or Bronze), 15W 1095 lumens, CRI ≥80, 3000K, 120V, with 20W Dimmable Driver. Surface Mount.	7.4"OD x 1.26"H
<b>SMC6L15W1100L30KBN</b>	Micro LED CTC 6" (7.4" OD) Brushed Nickel, 15W 1095 lumens, CRI ≥80, 3000K, 120V, with 20W Dimmable Driver. Surface Mount.	7.4"OD x 1.26"H
<b>SMC4RECACC</b>	Recessed Accessory Kit to Retrofit SMC4L Series into 4" Recessed White Can Housings	
<b>SMC6RECACC</b>	Recessed Accessory Kit to Retrofit SMC6L Series into 6" Recessed White Can Housings	
<b>SMC9L30W2100L30KWH</b>	Micro LED CTC 9" (9.5" OD) White, 26W 1700 lumens, 3000K, 120V, with 26W Dimmable Driver. Surface Mount.	9.5"OD x 1.4"H

Consult for other finishes.

##### 0-10V Dimming

Dims to 10% with standard dimmers\*

<b>SMC11L28W1700LD12030KWH (or BN)</b>	Micro LED CTC 11" (11.5" OD) White (or Brush Nickel), 28W 1700 lumens, 3000K, 120V, with 28W 0-10V Dimmable Driver. Surface Mount.	11.5"OD x 1.4" H
<b>SMC15L40W2500LD12030KWH (or BN)</b>	Micro LED CTC 15" (15.5" OD) White (or Brush Nickel), 40W 2500 lumens, 3000K, 120V, with 40W 0-10V Dimmable Driver. Surface Mount.	15.5"OD x 1.4" H

##### SMC Emergency and 277V Version



<b>SMC6L15W1100L30KWH-277</b>	Surface Disc in 277V 15W, 1100L, 30K in White
<b>SMC6L15W1100L30KWH-EM</b>	Surface Disc with Integral Emergency Back-Up in recessed junction Box. Emergency version comes with junction box. 15Watt, 1095Lm, 6Watt EM at 400Lm, 30K in White.

Saylite  
2055 Luna Rd. Suite 142 Carrollton, TX 75006  
Phone: 972-247-3171 Fax: 972-247-0200  
www.saylite.com email: sales@saylite.com

Catalog Number: \_\_\_\_\_  
Notes: \_\_\_\_\_



**superior**  
electrical advertising

1700 West Anaheim Street  
Long Beach, California  
90813-1195  
Phone: 562.495.3808  
Facsimile: 562.435.1867

www.superiorsigns.com

Project:  
**Krispy Kreme**

Address:  
**710 Fair Oaks Avenue  
South Pasadena, CA 91030**

Account Manager:  
**Gregg Grandon**

Scale: T.A.:  
**As Noted 14.00**

Design No.:  
**20-06-6658-05**

Reg. No.:

#### Revision History:

**R0 6/15/20 pl** New Drawing  
**R1 6/17/20 pl** remove window signs (.50)  
**R2 6/24/20 CV** Sign A1(F) reduced to 23.43 sq ft (.50)  
**R3 12/1/20 pl** rev. per E-mail (8.00)  
**R4 12/30/20 LR** Del. north & south sign, add public art sign to south (2)  
**R5 1/28/21 mdm** (1.5) corrections for city permits



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

#### CONSTRUCTION APPROVALS

Acct. Mgr: \_\_\_\_\_ Date: \_\_\_\_\_

Design: \_\_\_\_\_ Date: \_\_\_\_\_

Mfg/QC: \_\_\_\_\_ Date: \_\_\_\_\_

Page: **13** of **13**

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Saylite  
2055 Luna Rd. Suite 142 Carrollton, TX 75006  
Phone: 972-247-3171 Fax: 972-247-0200  
www.saylite.com email: sales@saylite.com

Catalog Number: \_\_\_\_\_  
Notes: \_\_\_\_\_

**ITEM NO. 2**

**ITEM NO. 2**

**ATTACHMENT 5**

Photos of Surrounding Buildings

**NRD** national restaurant designers  
ARCHITECTS & ENGINEERS  
3005 Carrington Mill Blvd., Morrisville, NC 27560  
ph: 919 544 7251 fax: 919 544 9399  
A Division of LMHT Associates

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Revisions

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BDA KRISPY KREME DOUGHNUTS  
4760 E LOS COYOTES DIAGONAL  
LONG BEACH, CA 90815  
ROGER GLOCKMAN - OFFICE: 213-489-2340x107  
Project location  
**70 FAIR OAKS AVENUE**  
**SOUTH PASADENA, CA 91030**  
SHOP 910

**Krispy Kreme**  
DOUGHNUTS  
SHEET DATA  
STREET PHOTOS

Date 12/28/2020  
Drawn By MTP  
Checked by TD  
Sheet No. A101



**5 NORTH PHOTO - D**  
A101 SCALE: NOT TO SCALE



**4 NORTH PHOTO - C**  
A101 SCALE: NOT TO SCALE



**3 NORTH PHOTO - B**  
A101 SCALE: NOT TO SCALE



**2 NORTH PHOTO - A**  
A101 SCALE: NOT TO SCALE



**9 SOUTH PHOTO - H**  
A101 SCALE: NOT TO SCALE



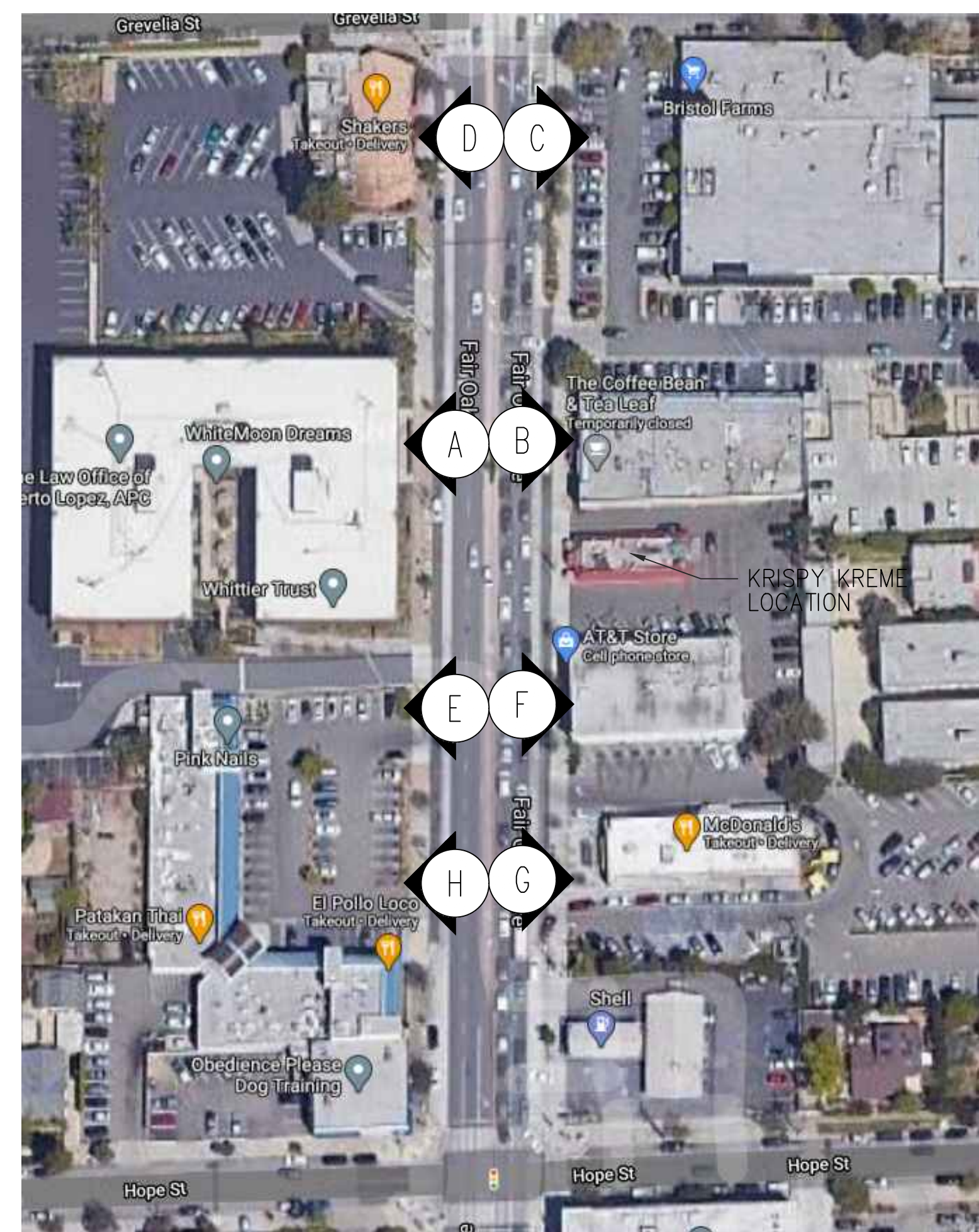
**7 SOUTH PHOTO - F**  
A101 SCALE: NOT TO SCALE



**8 SOUTH PHOTO - G**  
A101 SCALE: NOT TO SCALE



**6 SOUTH PHOTO - E**  
A101 SCALE: NOT TO SCALE



**1 KEY MAP**  
A101 SCALE: NOT TO SCALE





## Design Review Board Agenda Report

ITEM NO. 3

**DATE:** March 4, 2021

**TO:** Chair and Members of the Design Review Board

**FROM:** Joanna Hankamer, Planning and Community Development Director

**PREPARED BY:** Kanika Kith, Planning Manager

**SUBJECT:** **Phase 2 Accessory Dwelling Units (ADUs) Ordinance Update:** Project Introduction – Facilitating ADUs while implementing historic preservation standards.

---

### **Recommendation**

Receive presentation and provide feedback.

### **Discussion/Analysis**

In 2020, the Planning Division successfully applied for a \$40,000 Certified Local Government (CLG) Grant from the State of California Office of Historic Preservation (OHP) to update the Accessory Dwelling Units (ADUs) ordinance to include objective design standards for historic properties. The project is a priority because interest in and demand for ADUs has grown exponentially. Without an updated ADU ordinance that includes objective design standards for historic properties and districts, an influx of ADUs could erode the integrity of South Pasadena's historic character. The City of South Pasadena is fully committed to encouraging and facilitating the development of ADUs as a source of additional affordable housing units in a manner that is compatible with community character and historic preservation goals.

In order not to delay other Code amendments that are awaited by the community, the ADUs ordinance update process has been broken down into two phases:

- Phase 1 – develop objective design standards and procedure for ADUs on non-historic properties
- Phase 2 – develop objective design standards, guidelines, and procedures for ADUs on historic properties or within historic districts.

The CLG grant is funding Phase 2 of the ADUs ordinance update for facilitation of ADU production while implementing historic preservation standards. Architectural Resources Group (ARG), a specialized historic preservation firm, was selected to work with staff on this phase.

A special meeting with the Cultural Heritage Commission (CHC) was held with a study session and community workshop to introduce Phase 2 on February 18, 2021. The purpose of this

meeting was to explain the scope of the project and gather initial input from the community and CHC. The same presentation given to the CHC was presented to the Planning Commission at their February 23, 2021 special meeting and will be presented to the Board, in order to hear thoughts from the Board members and public on the project's scope and considerations as the consultants begin their work.

## **Background**

On December 16, 2020, the City Council unanimously approved acceptance of the CLG grant funds; and on January 20, 2021, the City Council approved a Professional Services Agreement (PSA) with Architectural Resources Group, Inc. (ARG) to assist the City with the scope of work outlined in the CLG Agreement with OHP.

ARG was selected following a Request for Proposals (RFP) process, evaluation and interviews. The selection panel was comprised of City staff and the Chair and Vice Chair of the Cultural Heritage Commission. The following proposal evaluation guidance was approved by OPH and utilized by the Committee:

1. Education, training, and experience of project personnel with similar scope of services. Demonstrated understanding of the City's needs and solicitation requirements, including:
  - a. The approach to the project is presented in a concise and logical manner; and
  - b. Availability to perform all work within the project timeline stated in this RFP and required by the federal CLG grant is demonstrated.
2. Proposed use of technology, methodologies, and quality control are well-defined.
3. Reasonableness of cost and competitiveness with other rates submitted.

ARG was selected due to the firm's impressive qualifications and extensive experience with historic architecture, historic preservation, public outreach, planning policy, and for their in-house design capabilities, including experience with designing and evaluating accessory dwelling units. The Committee determined that ARG's proposal and experience would best meet the City's needs and the requirements of the CLG grant.

## **Kick-off Meeting**

On January 21, 2021, City staff and members of the Cultural Heritage Commission met with ARG to review and discuss project goals, scope, timeline, communication methodology and key deliverables. ARG is now in the process of reviewing existing background materials, including the City's current ADUs Ordinance, Historic Context Statement, Residential Design Guidelines and other historic preservation policies to become familiar with the range of architectural styles and design features to be addressed in the project. Best practices from other cities are also being considered to help inform the general content and format of the South Pasadena Design Standards and Guidelines for ADUs on historic properties.

### **Fiscal Impact**

ARG has proposed a project budget of \$40,000. No General Funds will be used for the contract, other than in-kind staff costs. The \$40,000 in CGL grant funds are available for this expense. The consultant costs will be budgeted in the Planning Department's Professional Services Account (276-7010-7011-8170-000).

### **Public Notification of Agenda Item**

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.