



**CITY OF SOUTH PASADENA  
DESIGN REVIEW BOARD**

**AGENDA  
REGULAR MEETING**

**THURSDAY, MAY 5, 2022 AT 6:30 P.M.**

**CITY COUNCIL CHAMBERS  
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

*South Pasadena Design Review Board Statement of Civility*

*As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.*

**NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY**

The South Pasadena Design Review Board Meeting will be conducted in-person from the Council Chambers, Amedee O. “Dick” Richards, Jr. located at 1424 Mission Street, South Pasadena.

Please be advised that pursuant to government code, and to ensure the health and safety of the public, staff, and the Design Review Board, as the Council Chambers will be open to the public for the meeting and members of the public may attend the in-person meeting, all are kindly reminded to follow Los Angeles County Public Health and CDC regulations and guidelines that are in place and may be posted. The in-person hybrid meeting will be conducted live in the City Council Chambers.

The Meeting will be available:

- In Person Hybrid – City Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/89814060953> Meeting ID: 898 1406 0953

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link: <https://us02web.zoom.us/j/89814060953>

**CALL TO ORDER:** Chair Samantha Hill

**ROLL CALL:** Joe Carlson, Brian Nichols, Kay Younger, Melissa Hon Tsai, Vice-Chair, and Samantha Hill, Chair

**STAFF PRESENT:** Angelica Frausto-Lupo, Community Development Director  
Matt Chang, Planning Manager  
Braulio Madrid, Associate Planner  
Sandra Robles, Associate Planner

**APPROVAL OF AGENDA**  
Majority vote of the Board to proceed with Board business.

**DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS**  
Disclosure by Board of site visits and ex-parte contact for items on the agenda.

**PUBLIC COMMENT AND SUGGESTIONS (Public Comments are limited to 3 minutes)**  
The Design Review Board welcomes public input. If you would like to comment on an agenda item, members of the public may participate by means of one of the following options:

Option 1:  
Participate in-person at the City Council Chambers, 1424 Mission Street, South Pasadena

Option 2:  
Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:  
Email public comment(s) to [PlanningComments@southpasadenaca.gov](mailto:PlanningComments@southpasadenaca.gov).  
Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Design Review Board meeting.

NOTE: Pursuant to State law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

**PUBLIC COMMENT**

**1. Public Comment – General (Non-Agenda Items)**

**BUSINESS ITEM**

**2. Design Review Board Reorganization**

**Recommendation**

Select a Chair and Vice-Chair

**PUBLIC HEARING**

**3. 5002 Collis Avenue (APN: 5312-017-022), Project No. 2421-DRX – To allow the construction of a 105-square-foot first-floor addition to the side of an existing 1,570-square-foot single-family dwelling within the Residential Single Family (RS) zone.**

**Recommendation:**

Approve the project, subject to the recommended conditions of approval.

**4. 1016 Palm Avenue (APN: 5313-014-013), Project No. 2442-DRX – To allow the construction of a 280-square-foot first-floor addition; a 158-square-foot front porch; a 295-square-foot covered patio; and a new 777-square-foot second-story addition to an existing 1,355-square-foot single-family dwelling within the Residential Single Family (RS) zone.**

**Recommendation:**

Approve the project, subject to the recommended conditions of approval.

**ADMINISTRATION**

**5. Comments from Board Members**

**6. Comments from Subcommittees**

**7. Comments from Staff**

**ADJOURNMENT**

**8. Adjourn to the regular Design Review Board meeting scheduled for June 2, 2022 at 6:30 p.m.**

**PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS**

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website.

**AGENDA NOTIFICATION SUBSCRIPTION**

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing [CityClerk@southpasadenaca.gov](mailto:CityClerk@southpasadenaca.gov) or calling the City Clerk’s Division at (626) 403-7230.

**ACCOMMODATIONS**



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

*I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.*

4/28/2022                      *Matt Chang*  
Date                                      Matt Chang, Planning Manager



# Design Review Board Agenda Report

ITEM NO. 2

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**DATE:** May 5, 2022  
**TO:** Design Review Board  
**FROM:** Angelica Frausto-Lupo, Community Development Director  
**PREPARED BY:** Matt Chang, Planning Manager  
**SUBJECT:** Design Review Board Reorganization

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## **Recommendation**

Appoint a Chair and Vice-Chair to serve the Design Review Board meetings in 2022.

## **Discussion**

The Design Review Board appoints two board members to serve as the Chair and Vice-Chair annually. Per Chapter 2 Article 4 Boards and Commission – General Provisions Section 2.31 Organization of the South Pasadena Municipal Code, the Chair and Vice-Chair may serve no more than two consecutive one-year terms. Under Section 2.31, Chair and Vice-Chair may continue to serve as Chair and Vice-Chair for 2022.

These appointments are effective immediately after the motions are approved and through the 2022 calendar year.



# Design Review Board Agenda Report

ITEM NO. 3

**DATE:** May 5, 2022

**FROM:** Angelica Frausto-Lupo, Community Development Director  
Matt Chang, Planning Manager

**PREPARED BY:** Braulio M. Madrid, Associate Planner

**SUBJECT:** **Project No. 2421-DRX – A request to allow the construction of a 105-square-foot first floor addition to the side of an existing 1,570-square-foot single-family dwelling unit within the Residential Single Family (RS) zone located at 5002 Collis Avenue (Assessor’s Parcel Number: 5312-017-022)**

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## Recommendation

Staff recommends that the Design Review Board (DRB) approve Project No. 2421-DRX, subject to conditions of approval (**Attachment 1**).

## Background

The existing split-level single-family residence was built in 1941 with an attached garage facing Collis Avenue. The home incorporates elements from various architectural styles such as Tustin, Mediterranean, and Spanish Mission architecture. The existing design includes Spanish tile roofing with exposed wood beams, a bay window facing the front of the property, smooth stucco finish, brown window trim, and the use of ironwork for the outdoor fencing and railings. (**Attachment 2**) The property is not on the City’s Inventory of Historic Resources, and it is not within a historic district.

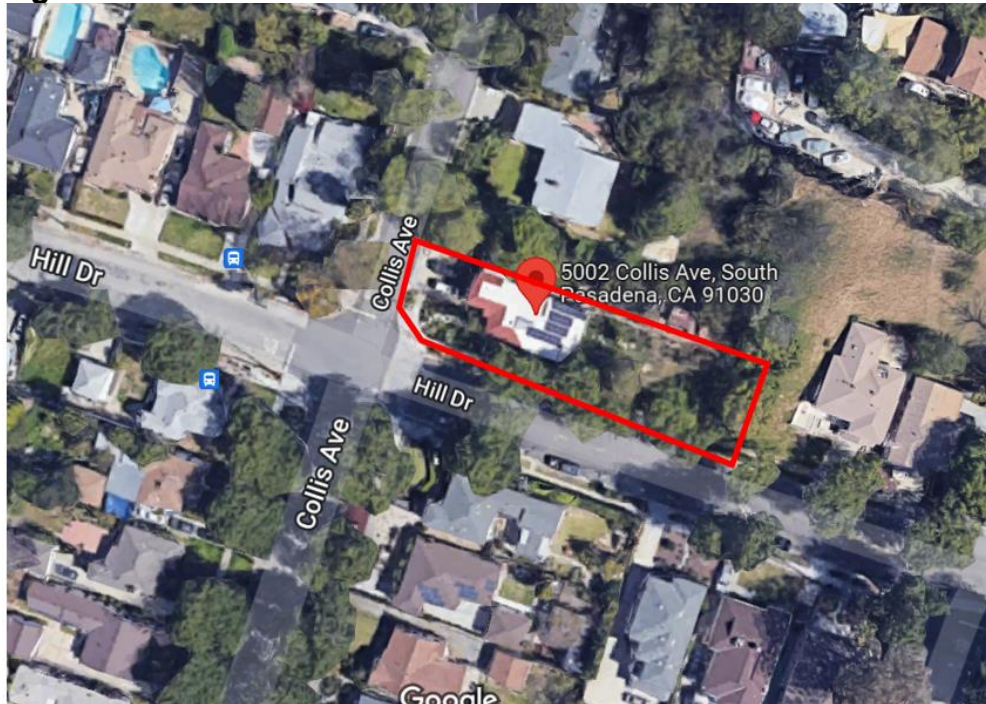
After its original built, the single-family dwelling had; a 96-square-foot service porch constructed in 1958, one non-structural kitchen remodel in 1964 and several plumbing, mechanical, electrical, and reroofing permits. In 2003 the property obtain a building permit for a window change out and a rebuild for termite damage at the rear of the house. The last permit on record is for the construction of a patio cover located at the rear of the home from 2013.

Additionally, there is a 6-foot high unpermitted wood picket fence currently boarder the south corner of an existing patio cover being used for screening. A Condition of Approval (Condition No. P11) has been included, requiring the applicant to legalize any unpermitted structures. If the structures cannot comply with regulations of the South Pasadena Municipal Code (SPMC) and Building Code then the applicant will be required to obtain permits to demolish any unpermitted structures.

### Project Description

The subject property is located at the north-east corner of Collis Avenue and Hill Drive. It is surrounded by single-family homes with a mix of architectural styles. Figure 1 identifies an aerial of the subject property and the surrounding neighborhood, with the project site outlined in red.

**Figure 1: Aerial**



The applicant is requesting the approval of a Design Review Permit for a proposed addition to the existing single-family dwelling along the side yard (north) that totals 105-square-feet. The addition is visible from the public right of way therefore the Design Review process is required pursuant to SPMC Section 36.410.040.

The addition will allow the applicant to increase the size of the existing laundry room by 64-square feet. The existing bedroom and bathroom will also be increased by 40-square-feet total. No new rooms will be added to the footprint of the home as a result of this proposal. Per the project plans, the new addition will include all new windows, new doors, and roofing materials to match the existing character of the home as proposed (**Attachment 3**).

### Project Analysis

#### *General Plan Consistency*

The goal of the Design Review is to ensure that the project meets all development standards of the zoning district, and "Ensures that development complies with all applicable City standards and design guidelines and does not result in an adverse effect on the city aesthetics, architectural, health, and safety-related qualities of adjoining

properties or upon the City in general” and to “retain and strengthen the visual quality of the community.” This process also furthers the General plan goal to maintain zoning consistency of single-family residential zones.

*Design Review*

The proposed project complies with all development standards for residences within the RS zone. The project will also be consistent with the character of the existing single-family residence and neighborhood. Additionally, the request complies with the 2009 South Pasadena Design Guidelines for the purpose of promoting high-quality additions compatible with adjacent properties, as listed below. Material and color board are available to review (**Attachment 4**).

	<b>Guideline</b>	<b>Proposed</b>
<i>Roofs</i>	New roofs should blend with the existing rooflines and be unified material and style	The roof and roof lines of the additions will match the materials and rooflines of the existing roof
<i>Enhanced Exteriors</i>	Elevations to include superior finishes, materials, and color	The addition will be finished with smooth stucco and painted to match existing stucco finish of existing residence. Decorative details will be consistent with the traditional style of the residence
<i>Landscape</i>	For single-family dwellings, the plan shall cover areas of the site visible from the public street	Compliant with existing landscape
<i>Street scape and site design</i>	The orientation of the front of the house should be considered in connection with established patterns in the neighborhood.	The proposed addition will remain consistent with the front of the house and the established pattern of the existing neighborhood.

*Windows*

New windows are consistent with the style of the building. The slope, form, size, and integral with the existing roof, and located so that they are generally inconspicuous. The new window and door schedule may be referenced on the Project Plans on sheet A-1.

*Development Standards*

The subject property is located within the Residential Single-Family (RS) zoning district, which is intended for areas appropriate for development of detached, single-family homes. The purpose of Residential Zoning District General Development Standards



(SPMC, Section 36.220.040) is to ensure that alterations to existing structures are suitable and compatible with the applicable development standards.

**Table 1: RS Zone Standards**

<b>Standards</b>	<b>Requirement</b>	<b>Existing</b>	<b>Proposed</b>
<b>Minimum Lot size</b>	10,000-square-feet	11,530-square-feet	No Change
<b>Lot Coverage</b>	40% maximum	23%	24.2%
<b>Width of property</b>	50' ; 60' for corner lots	60'	No Change
<b>Setback - Front</b>	25% with 25' min. and 35' max.	17'-6" - Existing legal non-conforming setback.	No Change
<b>Setback – Side (North)</b>	10% of lot width, 4' min.	18'-10"	14'-4"
<b>Setback – Street Side (South)</b>	20% of lot width, up 15' max.	10'-8" - Existing non-conforming setback.	No Change
<b>Setback - Rear</b>	25'	78'-7" existing	No Change
<b>Garage</b>	Attached garage shall be a minimum 10 feet from the front of the front of the main structure	Existing garage located in front of existing main structure – Existing legal non-conforming.	No Change
<b>Parking</b>	2 covered parking spaces	2 covered parking spaces	No Change
<b>Floor Area Ratio (FAR)</b>	0.35	0.14	0.15
<b>Height Limit</b>	35'	15'	15'

When completed, the materials, color scheme, and building massing of the renovated home will blend with the overall architectural character of the surrounding area, therefore preserving the residential integrity of the existing single-family neighborhood will not impose any adverse impacts on adjacent properties.

**Environmental Analysis**

This item is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15031, Class 1 – Existing Facilities. Class 1 exemption includes additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet, in which the project site is in an area where all public facilities are available and is not located in an environmentally sensitive area.

**Findings**

*Design Review Required Findings*

In order to approve a Design Review application, the Design Review Board shall first find that the design and layout of the proposed development:

1. *Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);*

The proposed addition to the existing single-family residence complies with all applicable requirements of the General Plan in that the project site has a General Plan land use designation of Low Density Residential. General Plan policies for Low Density Residential specify the development of single-family dwellings. Compliance with SPMC and design guidelines is met including but not limited to lot coverage, setbacks, floor area ratio, parking, exterior finishes and building materials, as conditioned. Additionally, the architectural design, materials, finishes and color scheme will blend with the overall character and color palette of the existing home and is also compatible with the surrounding properties.

2. *Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;*

The project is designed to accommodate the functions and activities related to typical single-family residential properties. As conditioned, the project's mass, scale, bulk, and temporary construction activities would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

3. *Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,*

The site arrangement and improvements will be compatible to the existing and intended character of the neighborhood since the proposed addition is in compliance with the General Plan and the Zoning Code. All building materials, colors and finishes will match the existing house, as conditioned. Furthermore, the proposed addition will enhance the visual integrity of the property and the surrounding area.

4. *Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.*

The proposed project has been designed with the consideration to its occupants and provides adequate indoor and outdoor space. The proposed project uses similar materials and colors to enhance the existing architecture and should remain appealing with a reasonable level of maintenance.

### **Alternatives to Consider**

If the Design Review Board does not agree with Staff's recommendation, the following options are available:

1. The Design Review Board may approve the project with modified/added conditions; or
2. The Design Review Board may continue the project to address comments discussed; or
3. The Design Review Board may deny the project.

### **Public Noticing**

A Public Hearing Notice was published on April 22, 2022 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on April 20, 2022. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

### **Next Steps**

If the Design Review Board approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

### **Attachments**

1. Conditions of Approval
2. Site Images
3. Project Plans
4. Material and Color Board

# **ATTACHMENT 1**

## **Conditions of Approval**

## CONDITIONS OF APPROVAL Design Review

PROJECT NO. 2421-DRX  
5002 Collis Avenue (APN: 5312-017-022)

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**The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on May 5, 2022:**

**Design Review:** for a 105 sq. ft. addition to an existing 1,570 sq. ft. single-family residential unit that is visible from the public right of way that was developed on a 11,325-square-foot lot.

*Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.*

### **PLANNING DIVISION:**

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant shall demonstrate that proposed building materials, and other architectural/site features are rated for appropriate durability and longevity. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Division.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this use.
- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.

- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
  - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
  - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
  - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P9. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, as necessary, prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition.
- P10. A construction sign with contact information for the contractor shall be posted on-site during construction.
- P11. The applicant shall submit a proposal to the Planning Division to legalize any unpermitted structures and fences on site, prior to final building permit issuance. Structures and fence shall comply with the regulations stipulated in the South Pasadena Municipal Code (SPMC) and California Building Code. If the structures or fences cannot comply, the applicant shall obtain a demolition permit to remove the unpermitted structures or fences.

**BUILDING DIVISION:**

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B3. In Plans shall be prepared under the supervision of an architect licensed in the State of California or a civil or structural engineer registered in the State of California. Each sheet of the plans and the cover sheet of the calculations is to be stamped and signed by the person preparing the plans. 5353 and 6730 of the State Business and Professions Code.
- B4. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B5. Project shall comply with the CalGreen Residential mandatory requirements.

**PUBLIC WORKS DEPARTMENT:**

PW1. The All requirements, as deemed necessary by the South Pasadena Public Works Department during the Plan Check process, shall be complied with.

**FIRE DEPARTMENT:**

F1. All requirements, as deemed necessary by the South Pasadena Fire Department during the Plan Check process, shall be complied with.

## **ATTACHMENT 2**

Site Images



Attachment 2:  
**Site Images**

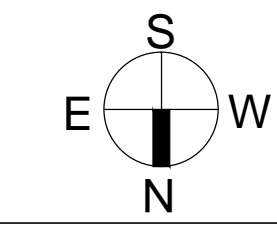
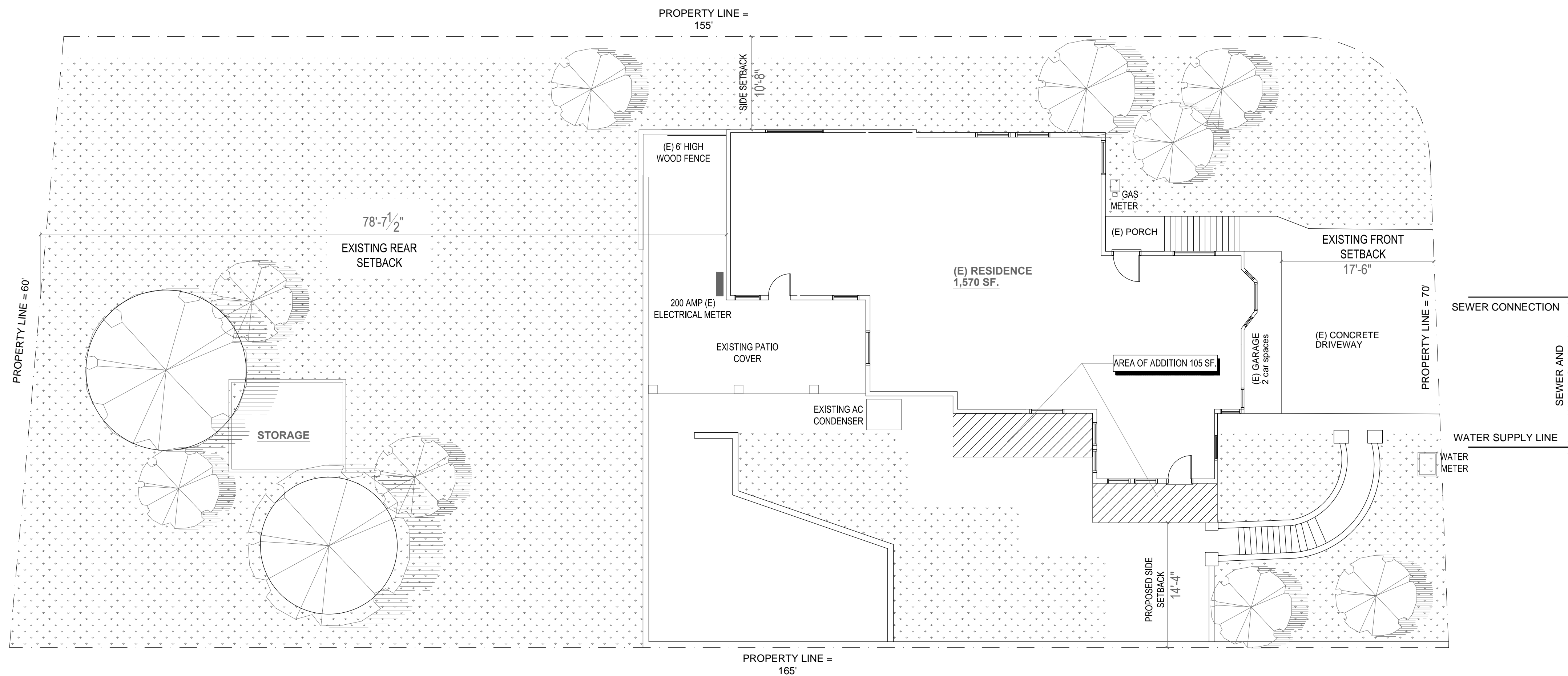




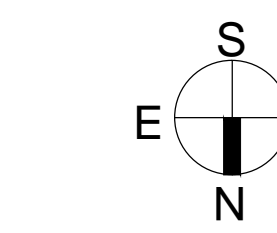
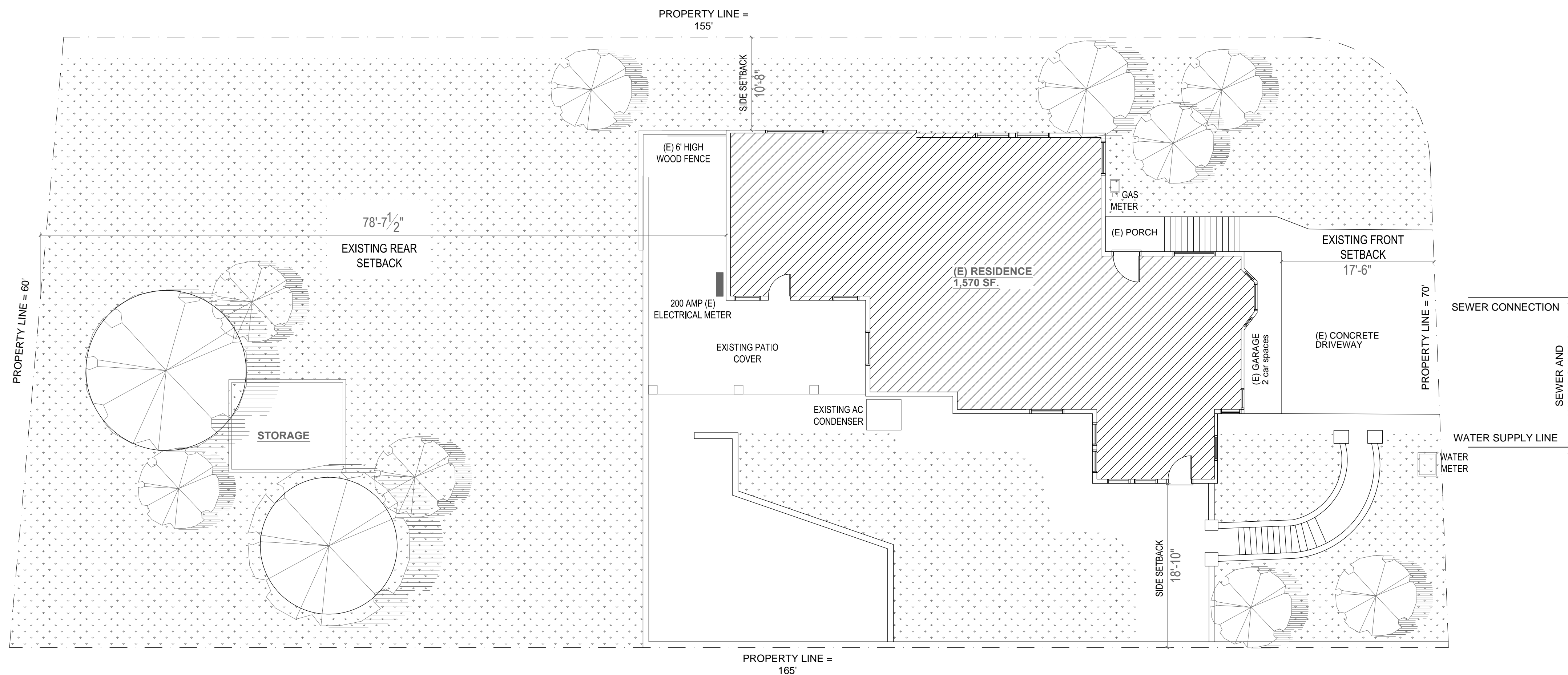


# **ATTACHMENT 3**

## Project Plans



PROPOSED SITE PLAN 1/8" = 1'-0" 2



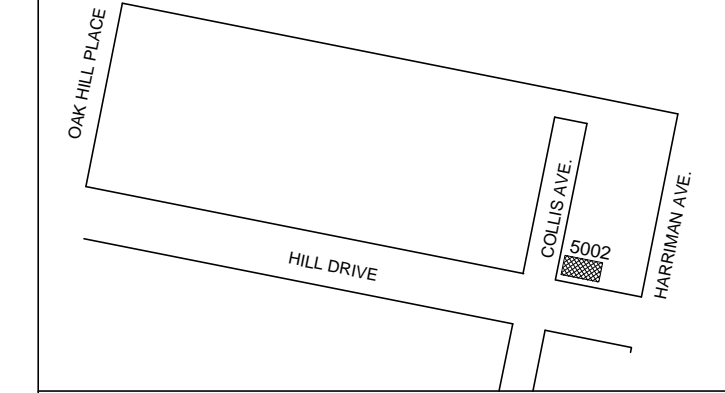
EXISTING SITE PLAN 1/8" = 1'-0" 1

LEGAL DESCRIPTION:  
 APN 5312017022  
 SITE ADDRESS :  
 5002 COLLIS AVE.  
 SOUTH PASADENA  
 OCCUPANCY GROUP: R-1  
 TYPE OF CONSTRUCTION: V-B

FIRE SPRINKLERS NOT REQUIRED  
 NUMBER OF STORIES = 1  
 HEIGHT OF BUILDING +/- 20'

CODES:  
 2017 CALIFORNIA RESIDENTIAL CODE  
 2016 CALIFORNIA ELECTRICAL CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIF. GREEN BUILDING CODE  
 2016 CALIF. ENERGY CODE  
 2016 CALIF. FIRE CODE  
 2016 CALIF. BUILDING CODE  
 2017 LA COUNTY CODE

PROPERTY DATA:  
 YEAR BUILT : 1941



SITE INFORMATION & MAP

FLOOR AREA RATIO:

EXISTING  
 LOT SIZE : 11,325 SF  
 EXISTING HABITABLE SPACE : 1,570 SF  
 EXISTING FAR : 1,570 SF / 11,325 SF = 13.8%

PROPOSED  
 LOT SIZE : 11,325 SF  
 EXISTING 1ST FLOOR : 1,570 SF  
 1ST FLOOR ADDITION : 105 SF

1,570 + 105 = 1,675 SF  
 PROPOSED FAR : 1,675 SF / 11,325 SF = 14.7%  
 MAX ALLOWED 35%

LOT COVERAGE:

EXISTING FOOTPRINT : 2,643 SF  
 LOT SIZE : 11,325 SF  
 = 2,643 SF / 11,325 SF = 23%  
 EXISTING LOT COVERAGE : 23%

PROPOSED FOOTPRINT : 2,748 SF  
 2,643 SF + 105 (ADDITION)  
 = 2,748 SF / 11,325 SF = 24.2%  
 PROPOSED LOT COVERAGE : 24.2%  
 MAX ALLOWED 50%

AREA CALCULATION

ADDITION TO EXPAND EXISTING HOME OFFICE,  
 BATHROOM AND BEDROOM.  
 REMODEL OF EXISTING KITCHEN AND BATHROOM.

SCOPE OF WORK

OWNER:  
 MAUREEN AND DAVID WHITMAN  
 5002 COLLIS AVE.  
 SOUTH PASADENA, CA. 91030  
 TEL: 310-686-0673

ARCHITECT :  
 KYLE IMOTO R.A.  
 RAFU DESIGN BUILD  
 552 JADE TREE DRIVE  
 MONTEREY PARK, CA. 91754  
 TEL: 323 262 3069

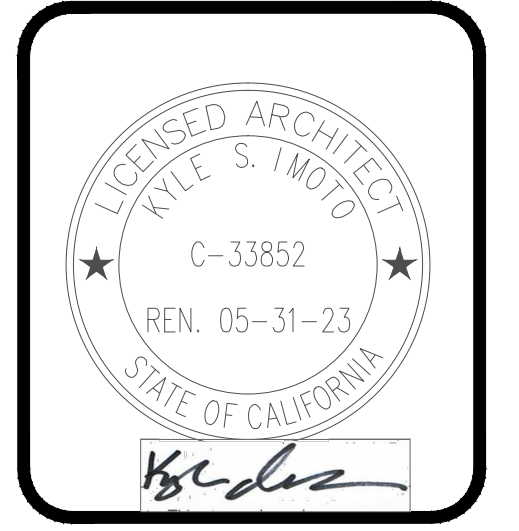
PROJECT TEAM

ARCHITECTURAL SHEETS

A-T TITLE SHEET AND PROJECT INFORMATION  
 A-1 EXISTING AND PROPOSED SITE PLAN  
 A-2 EXISTING AND PROPOSED ROOF PLAN  
 A-3 EXISTING AND PROPOSED ELEVATIONS

SHEET INDEX

NO.	DATE	BY	STATUS
1			PLANNING
2			SUBMITTED
3			APPROVED
4			R.I.C. COMPLETED
5			FINAL CHECK



All plans created by RAFU CONSTRUCTION CO., INC. are made available for ARCHITECTURAL purposes (Cal. Bus. & Prof. Code 8727). All plans created by RAFU do not constitute the determination of any property line, use or such as not constitute land surveying (Cal. Bus. & Prof. Code 8720-8727). In addition, RAFU services are not intended to be used for any purpose of structural analysis or design for any structure or structure element as such engineering (Cal. Bus. & Prof. Code 8720-8727) make every reasonable effort to ensure the accuracy of the information found in our plans. In the event that our plans are used for reasons other than those for which they are specifically intended, RAFU shall not be held liable for any damages or any claims arising out of such use. Furthermore, RAFU shall not be held liable for any damages or claims arising out of the use of our plans unless such damage or claim is caused by our negligence. Measurements should be field confirmed before commencing construction.

**KYLE IMOTO ARCHITECT**  
**RAFU DESIGN BUILD**

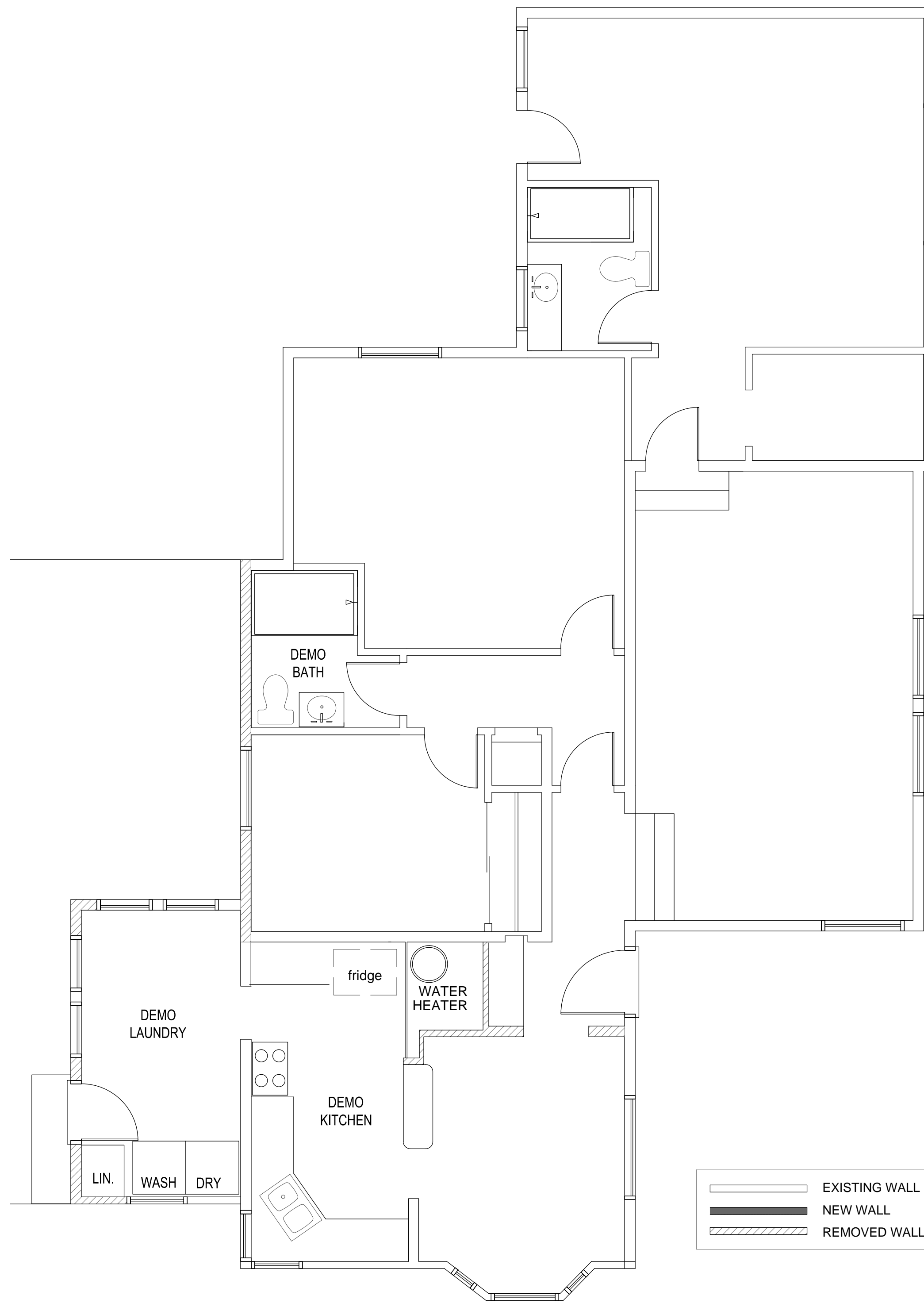
PHONE: (323) 262-3069 FAX: (626) 284-3696  
 THIS DOCUMENT IS THE PROPERTY OF RAFU CONSTRUCTION CO., INC. ANY USE OF THIS DOCUMENT WITHOUT RAFU AUTHORIZATION IS STRICTLY FORBIDDEN.

**PROJECT INFORMATION**

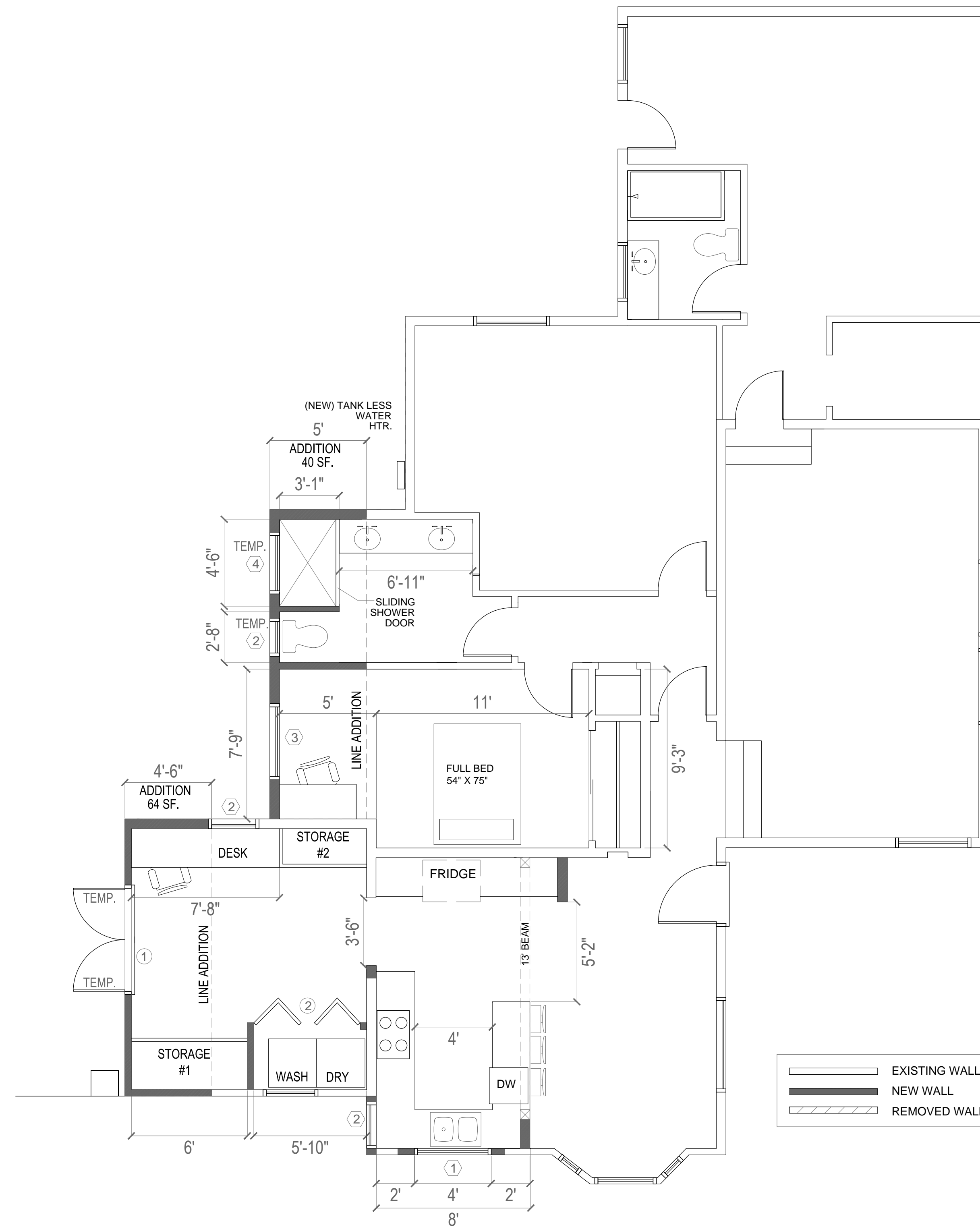
RESIDENTIAL ADDITION  
 5002 COLLIS AVENUE  
 SOUTH PASADENA, CALIF.

**OWNER:**  
 MAUREEN AND DAVID WHITMAN

SCALE
DRAWN BY K. IMOTO
JOB NUMBER
SHEET NUMBER <b>A-T</b>



PROPOSED 2ND FLOOR PLAN 1/4" = 1'-0"



EXISTING WALL  
NEW WALL  
REMOVED WALL

- PLUMBING FIXTURE NOTES:
1. ALL NEW PLUMBING FIXTURES TO BE "LOW FLOW"
  2. ALL EXISTING PLUMBING FIXTURES TO BE RETROFITTED TO "LOW FLOW"
  3. PIPING FOR SERVICE WATER HEATING SYSTEMS SHALL HAVE THE AMOUNT OF INSULATION PER CENIC TABLE 120.3-A
  4. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEAN OUT AT ITS UPPER TERMINAL, AND EACH RUN OF PIPING THAT IS MORE THAN 100' IN TOTAL DEVELOPED LENGTH SHALL BE PROVIDED WITH A CLEAN OUT FOR EACH 100 FEET. AN ADDITIONAL CLEAN OUT SHALL BE PROVIDED IN A DRAINAGE LINE FOR EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135 DEGREES, CPC 707.4
  5. BATHROOM SWITCHES TO HAVE OCCUPANCY SENSOR AND HUMIDISTAT
  6. OUT DOOR LIGHTING SHALL HAVE THE FOLLOWING REQUIREMENTS:  
CONTROLLED BY PHOTOCELL AND MOTION SENSOR.
  7. CLOSET LIGHT TO BE SURFACE MOUNTED LED AT CEILING.
  8. HOT WATER SUPPLIED TO TUBS SHALL BE LIMITED TO A MAX OF 120 DEGREES F BY A WATER TEMP. LIMITING DEVICE.
  9. SHOWER HEADS SHALL HAVE A MAX FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MIN. AT 80 PSI.

SWITCH CONTROLS (DIMMER)	ELECTRICAL OUTLET - AFCI
TELEVISION CABLE OUTLET	GROUND-FAULT CIRCUIT INTERRUPTER OUTLET
WALL MOUNTED LIGHT (HIGH EFFICACY) ON DIMMER	LIGHT & EXHAUST FAN - MINIMUM CAPACITY OF 50 CFM WITH HUMIDISTAT CONTROL. OPERATE SEPARATE FROM LIGHT AND FAN W/ VAPOR SENSOR "ENERGY STAR COMPLIANT"
CEILING MOUNTED DOWN LIGHT (HIGH EFFICACY) ON DIMMER	SMOKE ALARM - SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72
UTILITY ROOMS AND BATHROOMS SHALL BE ON OCCUPANCY SENSOR	
CARBON MONOXIDE ALARM - SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP	

NEW WALLS AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREAT THAN 200, AND A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.

WALLS AT BATHTUB AND SHOWER FLOORS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH NONABSORBENT SURFACE. SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR.

# NEW DOOR SCHEDULE

NUMBER	STYLE	WIDTH	HEIGHT	MATERIAL	FINISH	NOTES
DOOR 1	FRENCH	2'-6"	6'-8"	WOOD	WHITE	EXTERIOR
DOOR 2	BI-FOLD (2)	3'-0"	6'-8"	WOOD	WHITE	INTERIOR

# NEW WINDOW SCHEDULE

#	STYLE	WIDTH	HEIGHT	MATERIAL	FINISH	AREA GLS	U-FACTOR	SHGC
1	SLIDER	3'-6"	3'-0"	FIBERX	PAINT	9.5 SF	.30	0.21
2	CASERMENT	2'-0"	3'-0"	FIBERX	PAINT	6 SF	.30	0.21
3	SLIDER	4'-0"	4'-0"	FIBERX	PAINT	16 SF	.30	0.21
4	SLIDER	3'-0"	2'-0"	FIBERX	PAINT	16 SF	.30	0.21

NOTE : EGRESS WINDOWS BOTTOM CLEAR OPENING NOT GREAT THAN 44" FROM FLOOR

DEMO/EXISTING FLOOR PLAN 1/4" = 1'-0"

PROPOSED 1ST FLOOR PLAN 1/4" = 1'-0"

BY	DATE	STATUS	SUBL
		<input type="checkbox"/> PLANNING	<input type="checkbox"/> SUBMITTED
		<input type="checkbox"/> RESUBMITTED	<input type="checkbox"/> APPROVED
		<input type="checkbox"/> RLC COMPLETED	<input type="checkbox"/> FINAL CHECK



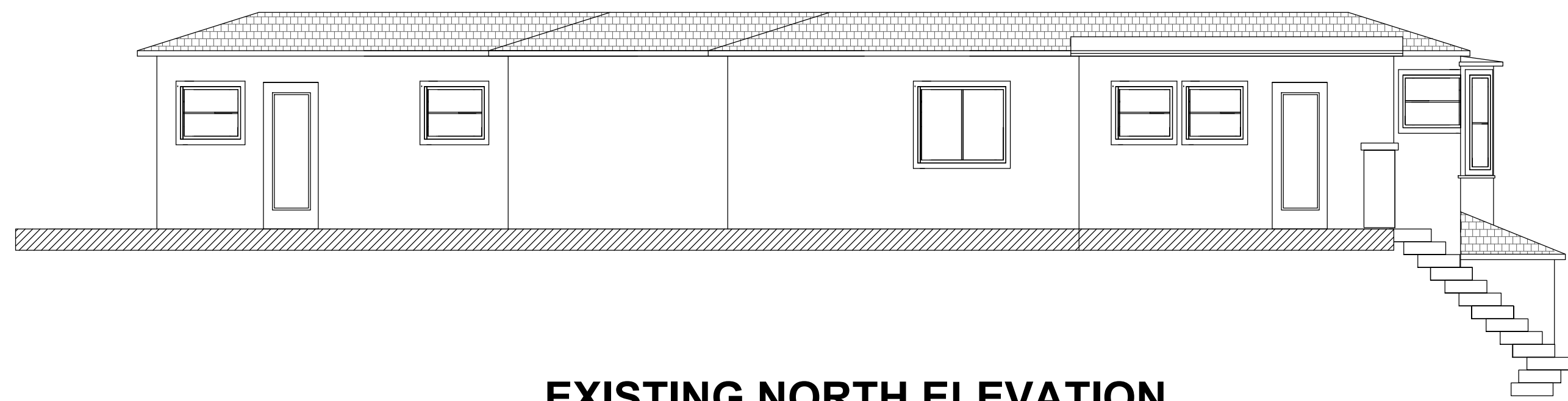
All plans created by RAUF CONSTRUCTION CO., INC. are the property of RAUF CONSTRUCTION CO., INC. and are not to be used for any other project without the written consent of RAUF CONSTRUCTION CO., INC. RAUF CONSTRUCTION CO., INC. shall not be held liable for any damages or any claims arising out of the use of our plans unless such damage or claim is caused by our negligence. Measurements should be field checked before commencing construction.

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 PHONE: (323) 262-3068 FAX: (626) 284-3896  
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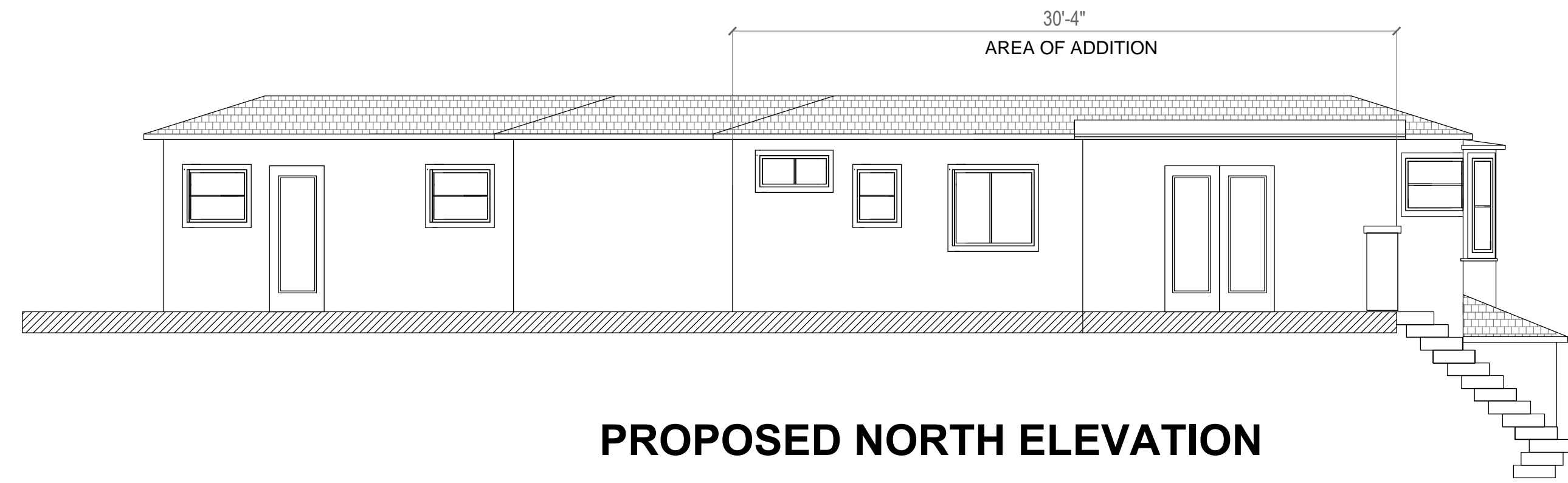
**PROJECT INFORMATION**  
 RESIDENTIAL ADDITION  
 5002 COLLIS AVENUE  
 SOUTH PASADENA, CALIF.  
 OWNER :  
 MAUREEN AND DAVID WHITMAN

SCALE
DRAWN BY K. IMOTO
JOB NUMBER
SHEET NUMBER <b>A-1</b>





**EXISTING NORTH ELEVATION**



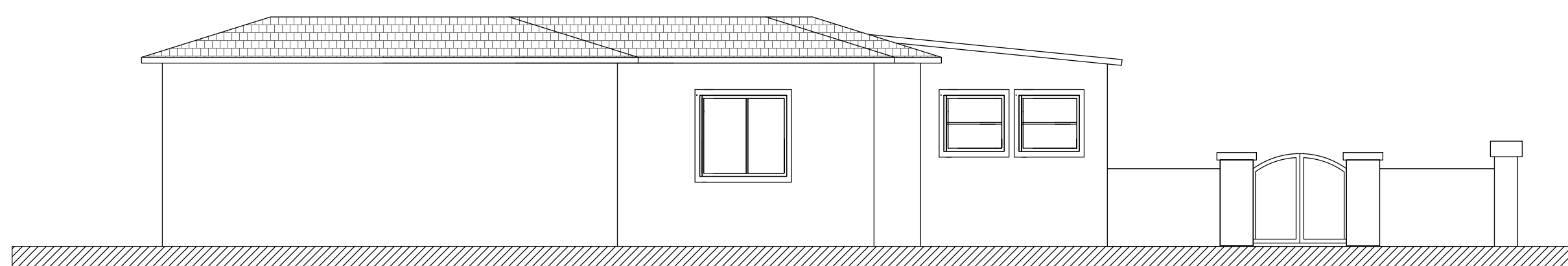
**PROPOSED NORTH ELEVATION**



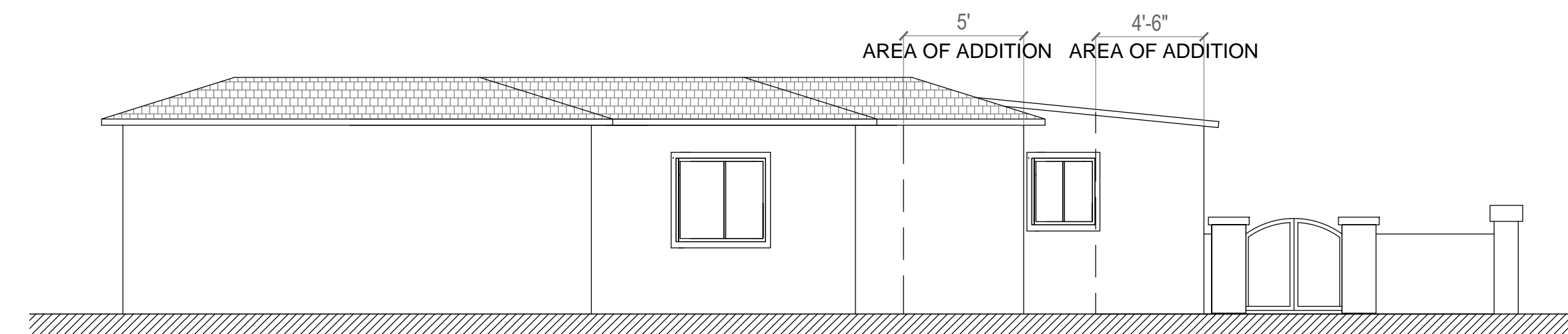
**EXISTING WEST ELEVATION**



**PROPOSED WEST ELEVATION**



**EXISTING EAST ELEVATION**

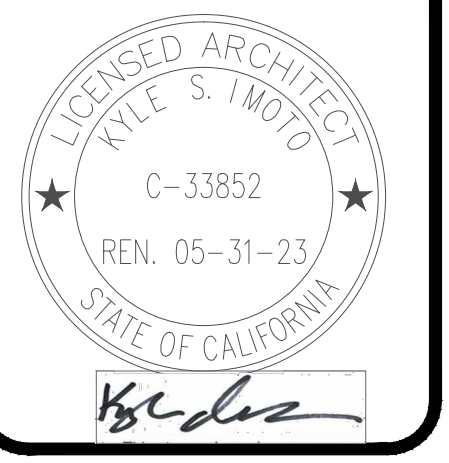


**PROPOSED EAST ELEVATION**

**KEY DESIGN NOTES**

1. - ROOF MATERIALS AND COLOR TO MATCH EXISTING.
2. - ROOF EAVES AND TERMINATION OF ROOF TO MATCH EXISTING.
3. - ROOF RAFTER TAILS TO MATCH EXISTING 3" X 4"
4. - SEE WINDOW DETAILS TO MATCH EXISTING.
5. - STUCCO TEXTURE AND COLOR TO MATCH EXISTING.

BY	DATE	STATUS
		PLANNING SUBMITTED
		RESUBMITTED
		APPROVED
		RLC COMPLETED
		FINAL CHECK



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**PROJECT INFORMATION**  
 RESIDENTIAL ADDITION  
 5002 COLLIS AVENUE  
 SOUTH PASADENA, CALIF.  
 OWNER :  
 MAUREEN AND DAVID WHITMAN

SCALE
DRAWN BY K. IMOTO
JOB NUMBER
SHEET NUMBER
<b>A-3</b>



**ATTACHMENT 4**

Material and Color Board

Maureen and David Whitman  
5002 Collis ave.  
South Pasadena 91030  
Materials and color board



Con. lic. # B-343622  
552 Jade Tree Drive  
Monterey Park, CA 91754  
T - (323) 262-3069



Clay - US tile by Boral  
ClayLite - Java Blend  
SKU:2UNDU3250  
The beauty of kiln-fired clay and the efficiency-advantage of one-piece



Facia and window trim color  
paint by Sherwin williams sw2924 "Woody Brown"



Base stucco color  
paint by Sherwin williams sw1661 "Silent Yellow"



100 Series single-hung windows allow ventilation through a single operable lower sash that slides up and down. Made with our sustainable composite Fibrex® material

Made with our sustainable composite Fibrex® material which is twice as strong as vinyl  
Clean corners for a refined look  
Standard sizes up to to 4' wide and 7'6" high. Custom sizes available.



Andersen® 200 Series hinged patio doors give you traditional French styling with the convenience and durability of fiberglass door panels.  
Opens into the room to maximize patio space  
Wood protected by fiberglass and aluminum exterior  
Our value hinged patio door  
Available in standard sizes as single panel and 2-panel configurations.



Featured in the decorative Crowell collection  
Uses one A19 medium 60-Watt light bulb  
Highlighted with creme parchment glass shade  
Easily converts to LED with optional replacement lamps  
Meets Title 24 energy efficiency standards  
Title 24 compliant



# Design Review Board Agenda Report

ITEM NO. 4

**DATE:** May 5, 2022

**FROM:** Angelica Frausto-Lupo, Community Development Director  
Matt Chang, Planning Manager

**PREPARED BY:** Sandra Robles, Associate Planner

**SUBJECT:** **Project No. 2442-DRX – A request for a Design Review Permit (DRX) for a 280-square-foot first-floor addition; a 158-square-foot front porch; a 295-square-foot covered patio; and, a new 777-square-foot second-story addition to an existing 1,355-square-foot single-family dwelling on a 7,500-square-foot lot within the Residential Single Family (RS) zone at 1016 Palm Avenue (Assessor’s Parcel Number: 5313-014-013).**

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## Recommendation

Staff recommends that the Design Review Board (DRB) approve Project No. 2442-DRX, subject to conditions of approval (**Attachment 1**).

## Background

The subject site is a level, rectangular-shaped 7,500-square-foot lot with the dimensions of 50 feet in width by 150 feet in length. Located on the east side of Palm Avenue, between El Centro Street and Hawthorne Street, the subject site is within the Residential Single-Family Zoning District, or RS zone, and is surrounded by single-family residential uses to the north, south, east, and west. The subject site is currently developed with a 1,355-square-foot, single-story single-family residence and a 621-square-foot two-car garage. The existing residence consists of three bedrooms and two bathrooms.

Originally constructed in 1908, the subject property has undergone multiple alterations, including the addition of a bathroom, bedroom, partial porch enclosure, and a kitchen enlargement. The aforementioned permit was issued in 1962 and did not provide square footage calculations. In 1968, a permit was issued to demolish the original garage and to reconstruct a 616-square-foot garage. The garage was clad with stucco and included a roof with asphalt shingles. In 1988, a permit was issued to add vinyl siding to the exterior of the property (**see Attachment 2 for Building Records**).

The subject property, as it appears today, still has the original architectural features indicative of a Craftsman-style bungalow—a side gable roof with a centered dormer, a

large front porch under the existing roof, and wood posts atop brick columns. However, having undergone multiple alterations, the integrity of the original architectural style has been compromised—the exterior is clad with stucco, original windows have been replaced, and the front porch has been partially enclosed—as such, the subject property is not on the Inventory of Historic Resources and is not considered a contributor within a designated district. Additionally, there are currently two unpermitted structures at the subject property—a 194-square-foot patio to the rear of the home and a trellis at the front property line. As part of this application process, the applicant is proposing to remove both unpermitted structures.

### Project Description

The subject property is located south of El Centro Street, north of Hawthorne Street on the east side of Palm Avenue and is surrounded by single-family homes with a mix of architectural styles, but consisting predominantly of Craftsman- or Mediterranean-style homes. **Figure 1** is an aerial of the subject property and the surrounding neighborhood, with the project site outlined in blue.

**Figure 1: Aerial**



The applicant is requesting the approval of a Design Review Permit (DRX) for a proposed 94-square-foot addition to the front of the property, resulting in the full enclosure of the existing front porch. The addition will allow the applicant to increase the size of the living room. A new 158-square-foot front porch will be added and will extend the full width of the house. The rear of the property will include a 186-square-foot first-floor addition to relocate the master bedroom and create a new powder room. A new stair case will be placed within the existing dining room area to grant access to the proposed 777-square-foot second-story addition. The new second floor will have a master suite and lounge/office with a closet tucked into the existing attic space along with the new laundry room.

The unpermitted 194-square-foot patio, with nonconforming setbacks, will be removed and replaced with a new 295-square-foot covered patio. The unpermitted trellis at the front of the property will be removed and will not be replaced, as structures exceeding 36 inches in height are not permitted within the front yard setback, per the South Pasadena Municipal Code (SPMC). The project includes all new windows, doors, and roofing materials. The garage will also be updated to match the Craftsman-style architecture of the single-family home.

## **Project Analysis**

### *General Plan Consistency*

The General Plan land use designation of the site is Low Density Residential, which allows for detached single-family units at a density of 3.51 to 6 units per acre. The proposed project does not involve the addition of another dwelling unit; therefore, the project is consistent with the General Plan.

With implementation of the project as proposed and compliance with the conditions of approval, the project will support the Goals and Policies of the General Plan as follows:

#### Neighborhood Protection

Goal 10: To preserve the scale, architectural character, infrastructure and landscape assets of South Pasadena's established residential neighborhoods.

Policy 10.1: Prevent mansionization. Ensure that the remodeling or infill development in established residential neighborhoods is harmonious in scale and building form with its context and that "mansionization" is both avoided and prevented.

The proposed second-story addition is setback from the front façade, thereby, minimizing mass and bulk, which are both attributes of mansionization. Therefore, the project is consistent with the General Plan.

*Development Standards*

The subject property is located within the Residential Single-Family (RS) zoning district, which is intended for areas appropriate for development of detached, single-family homes. The purpose of Residential Zoning District General Development Standards (SPMC, Section 36.220.040) is to ensure that alterations to existing structures are suitable and compatible with the applicable development standards. The subject property is legal nonconforming parcel, with a lot size of less than 10,000 square feet; as such, the following table also includes standards outlined per SPMC, Section 36.220.050 – Development of Small Nonconforming Residential Parcels.

**Table 1: RS Zone and Small Nonconforming Parcel Standards**

<b>Standard</b>	<b>Requirement</b>	<b>Existing</b>	<b>Proposed</b>
Lot Coverage	50% (3,750 SF max. allowed)	30.2% (2,264 SF)	37.1% (2,784 SF)
Floor Area Ratio (FAR)	35% (2,625 SF max. allowed)	19.7% (1,476 SF)	33.8% (2,533 SF)
Building Height	35'	20'-3"	25'
Off-Street Parking	2-Car Garage	2-Car Garage	2-Car Garage
Front Setback	25' ft.	33'-4"	27'-4"
Side Setbacks	10% of lot width, 5 ft. minimum	11'-2" 12'-2"	11'-2" 6'-8"
Rear Setback	25'	49'	39'-8"

*Design Review*

The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s adopted design standards and guidelines. The Design Guidelines for Enhancing Existing Non-Historic Residences applies to the subject property as it is a single-family residence that has been materially impaired with inappropriate alterations. For properties that have been altered and have lost their integrity, the City’s guidelines do not require that a property be restored to its original appearance nor do they require that it imitate the appearance of the surrounding properties. Instead, the guidelines recommend treatments that will encourage compatible alterations that will not impair the visual cohesiveness of the surrounding neighborhood.

The applicant is proposing a design that is compatible with the surrounding neighborhood by incorporating a simple gabled roof with a pitch similar to the

surrounding structures. A new porch is being constructed, as the previous porch has been significantly altered and has lost its integrity. The new porch is designed to be consistent with Craftsman-style architecture and will incorporate wood material and lap siding. The porch rooflines are also compatible with the main roof forms of the existing residence and reflect the architecture of the existing building.

The second-story addition has a similar mass to the surrounding buildings and the front elevation appears similar in scale to those seen in the surrounding neighborhood. The mass and bulk of the second-story addition are minimized by place the second story to the rear of the property, making it less visible at street level.

### **Environmental Analysis**

This item is exempt from any California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15031, Class 1 – Existing Facilities. Class 1 exemption includes additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet, in which the project site is in an area where all public facilities are available and is not located in an environmentally sensitive area.

### **Findings**

#### *Design Review Required Findings*

In order to approve a Design Review application, the Design Review Board shall first find that the design and layout of the proposed development:

1. *Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);*

The project site has a General Plan land use designation of Low Density Residential. General Plan policies for this land use designation specify this land use category for single-family dwelling uses—there are no additional dwelling proposed, as such, it remains consistent with the General Plan. The proposed project meets design guidelines adopted by the City, in that it places a second-story addition to the rear of the property, thereby reducing mass and scale. The design, Craftsman, is also compatible with the surrounding properties

2. *Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;*

The project involves a 280-square-foot addition to the existing residence and a new 777-square-foot second-story addition; the use and density are consistent with the neighborhood. The site complies with parking and the project is design

to accommodate the functions and activities related to a single-family residence. As conditioned, the project's mass, scale, bulk, and temporary construction activities would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,*

The project site is surrounded by one- and two-story single-family residential structures of varying architectural styles, but predominantly Craftsman- and Mediterranean-style homes. The existing structure was subject to a number of alternations resulting in a loss of its original Craftsman-style architectural features. The proposed project includes additions to the existing property and the design seeks to restore the property into Craftsman-style home.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.*

The proposed project has been designed with the consideration to its occupants and provides adequate indoor and outdoor space. The proposed project uses similar materials and colors to enhance the existing architecture and should remain appealing with a reasonable level of maintenance.

### **Alternatives to Consider**

If the Design Review Board does not agree with Staff's recommendation, the following options are available:

1. The Design Review Board may approve the project with modified/added conditions; or
2. The Design Review Board may continue the project to address comments discussed; or
3. The Design Review Board may deny the project.

### **Public Noticing**

A Public Hearing Notice was published on April 22, 2022 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on April 20, 2022. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.



### **Public Comments**

- April 25, 2022: Letter received from neighboring property owner at 1020 Palm Drive. The concerns include: the scale of the project in relation to the neighboring residences, the potential of having to demolish due to structural concerns, the air conditioner, and construction timeframe. Please refer to **Attachment 4**.

### **Next Steps**

If the Design Review Board approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

### **Attachments**

1. Conditions of Approval
2. Building Records
3. Site Images
4. Public Comment
5. Brochures/Materials
6. Project Plans

# **ATTACHMENT 1**

## **Conditions of Approval**

## CONDITIONS OF APPROVAL Design Review

PROJECT NO. 2442 – DRX  
1016 Palm Avenue (APN: 5313-014-013)

---

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on May 5, 2022:

**Design Review** for a 280-square-foot first floor addition; a 158-square-foot front porch; a 295-square-foot covered patio; and, a new 777-square-foot second-story addition to an existing 1,355-square-foot single-family dwelling on a 7,500-square-foot lot at 1016 Palm Avenue.

*Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.*

### **PLANNING DIVISION:**

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this use.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- P7. During construction, the clearing, grading, earth moving, or excavation operations that cause

excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:

- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
  - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
  - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
  - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

**BUILDING DIVISION:**

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B3. Park Impact Fee to be paid at the time of permit issuance.
- B4. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B5. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B6. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B7. Project shall comply with the CalGreen Residential mandatory requirements.

**DEPARTMENT OF PUBLIC WORKS:**

- PW1 The applicant shall comply with all requirements deemed necessary by the Department of Public Works.

**Fire Department**

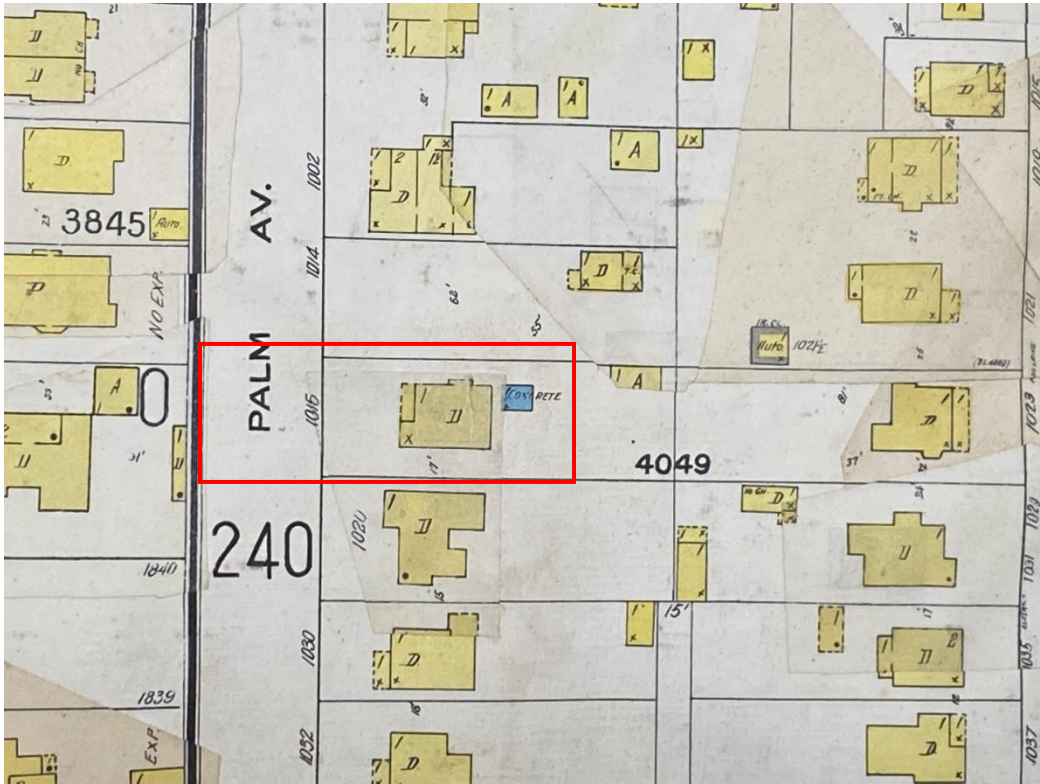
- F1. All construction must comply with all appropriate fire protection installation standards as adopted by the South Pasadena Fire Department.

- F2. Shall comply with all current 2019 adopted California Building Code, Fire Codes, NFPA and South Pasadena Municipal Code, requirements are based on occupancy classification.
- F3. Fire Sprinkler Required. Approved automatic sprinkler systems in new buildings and shall be provided in the locations described in Sections 903.2.1 through 903.2.12. An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code.
- F4. Water supply for buildings equipped with an automatic sprinkler system. For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:
- 1- The automatic sprinkler system demand, including hose stream allowance.
  - 2- The required fire flow. B105.3
- F5. Required Water Flow Test from City of South Pasadena Water Department.
- F6. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
- F7. Portables Fire extinguishers. Structures under construction, alteration or demolition shall be provided with no less than one approved portable fire extinguisher in accordance with Section 905 and sized for not less than ordinary hazard as follows:
1. At each stairway on all floor levels where combustible materials have accumulated.
  2. In every storage and construction shed.
  3. Where special hazards exist including but not limited to and the storage and use of combustible and flammable liquids (3315.1 CFC).
- F8. Smoke Detectors Groups R-2, R-2.1, R-3, R-3.1 and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
1. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
  2. In each room used for sleeping purposes.
  3. In each story within a dwelling unit, including basement but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- F9. Interconnection. Where more than one smoke alarm is require to be install within an individual dwelling unit or sleeping unit, the smoke alarm shall be interconnected.
- F10. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material (14.1.1 SPMC).

- F11. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

## **ATTACHMENT 2**

### Building Records



CITY OF SOUTH PASADENA			BUILDING PERMIT			
JOB ADDRESS 1016 Palm Ave			OWNER Edgar Stowe			
USE add bath, bedrm, ser. porch			ADDRESS on lot			
VALUATION \$2490. enlarge kitchen			CITY SY <sub>PH</sub> 9-7380			
GEN. CONT. Ludlow Bros.		PH. MU 2-1388	PER. # 49675 7/17/62			
ELEC. CONT. Builders Electric		PH.	PER. # 49871 8/10/62			
PLUMB CONT. Ben C. Johnson		PH.	PER. # 49760 7/30/62			
#1224	ITEM	DATE	INSPECTOR	ITEM	DATE	INSPECTOR
	FOUNDATION & SETBACK	7-25	Nelson	GAS TEST		
	REINFORCING & CELLS			FINAL PLUMBING	11/9/62	Lombard
	GROUND LINES & SUB. FR.	8-1-62	Nelson	FINAL ELECTRICAL	11/9/62	Lombard
	FURNACE & VENTS			FINAL BUILDING	11/9/62	Lombard
	ROUGH PLMG & SHOWER PAN			PARKING & ZONING		
	ROUGH ELECTRIC	9-7-62	Nelson	FIRE DEPT		
	FRAMING (over)	9-21-62	Nelson	SUB. LIST	11-7-62	Nelson
	EXTERIOR LATH	10/1/62	Lombard	EDISON NOTIFIED	9-7-62	SKINNER
	INTERIOR LATH	10/1/62	Lombard	GAS CO. NOTIFIED		
	SEWER					



NUMBER 3  
STREET 1016 PALM AVE

JOB ADDRESS

APPLICATION FOR A  
BUILDING PERMIT  
BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA  
TELEPHONE 799-9101 • 682-2175

CONTRACTOR  
George W. Barton Inc ST. LIC. NO. 196615  
MAIL ADDRESS 417 Mission St PHONE 799-4191  
ARCHITECT ENGINEER ST. LIC. NO.

MAIL ADDRESS PHONE

OWNER  
EDGAR STONE PHONE  
MAIL ADDRESS

1016 PALM

DESCRIPTION OF WORK  
NEW  ADDITION  ALTERATION  REPAIR  DEMOLISH   
FLOOR AREA (SQ. FT.) 616 NO. OF STORIES 1 NO. OF DWELLING UNITS 1

PRESENT BLDG. USE GARAGE PROPOSED BLDG. USE GARAGE

DESCRIBE WORK TO BE DONE DEMOLISH GARAGE

2 BUILD NEW

NOTE: PROVIDE PLOT PLAN ON BACK OF ORIGINAL COPY

EXTERIOR WALL MATERIAL STUCCO ROOFING MATERIAL COMPO

LOT WIDTH 50 LOT DEPTH 150 LOT AREA 7500

VALUATION: NOTES: INCLUDE ALL LABOR, MAT., WIRING, PLMG., HEAT, ETC. \$ 2464.00

PLAN CHECK FEE & VALIDATION

5601213 L 11.50 TL

BUILDING DEPARTMENT USE ONLY					
LOT	BLOCK	TRACT			
<u>10</u>	<u>2</u>	<u>MALABAR</u>			
USE ZONE	FIRE ZONE	OCC.	TYPE BUILD.		
<u>R-1</u>	<u>III</u>	<u>J</u>	<u>V</u>		
REQUIRED SET BACKS	FRONT	SIDE	SIDE	REAR	
ENG. DEPT. APPROVAL	ZONING APPROVAL <u>OK</u>				
PERMIT FEE	<u>\$ 23.00</u>				
APPROVED W/OUT PLANS	PERMANENT PLAN	CHECKER'S APPROVAL <u>OK</u>			

WHEN PROPERLY VALIDATED BELOW, THIS FORM CONSTITUTES A PERMIT FOR THE WORK DESCRIBED HEREON.

5601213 L 23.00 80

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the laws and Ordinances governing building construction will be complied with unless specified herein or not. No person shall be employed in violation of the labor code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

George W. Barton  
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT  
PERMANENT

BUSINESS SYSTEMS INCORPORATED

INSPECTION RECORD

	DATE	APPROVED
TEMP POWER		
FORMS, FOOTING & SETBACKS	<u>8-19-68</u>	<u>Smith</u>
REINFORCING & CELLS		
SUBFRAME		
ROOFING		
FIREPLACE		
FRAME	<u>9-4-68</u>	<u>Smith</u>
VENEER		
EXT. LATH		
INT. LATH		
PARKING REQ'S		
ZONING REQ'S		
FIRE DEPT.		
PARTIAL OR MISC. INSPECTIONS		

FINAL BUILDING SET BACKS: FRONT SIDE SIDE FRONT

9-26-68 Smith



STREET

**SMOKE DETECTORS REQUIRED**

# CITY OF SOUTH PASADENA BUILDING PERMIT

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101  
PLANNING & BUILDING DIVISION

Building Address: <b>1016 Palm Av</b>		U.S.C. Edition: <b>85</b>	Type Const.:	Occ. Load:	Occ. Group: <b>R-3</b>
Lot No.:	Tract:	USE ZONE: <b>R-1</b>	Variance Required:	Appr.:	
Owner: <b>Edgar Stowe</b>		Lot Size:			
Mailing Address: <b>same</b>					
City: <b>South Pasadena</b>	Zip: <b>91030</b>	Tel: <b>878 799-7380</b>	VALUATION: \$ <b>8000.00</b>		
Contractor: <b>AMRE</b>		BUILDING FEE: <b>88.00</b>			
Address: <b>620 N. Eckhoff St</b>		S.M.I. FEE SOUTH PASADENA: <b>57</b>			
City: <b>Orange</b>	Zip: <b>92668</b>	Tel: <b>714 937 0101</b>	F PLAN-CHECKING FEE: <b>FINAL</b>		
State Lic. & Classif.: <b>B-47304</b>	City Lic. No.: <b>29315</b>	E Energy Const. Fee: <b>FINAL</b>			
Arch. Engr. Designer:	S Penalty: <b>BUILDING &amp; SAFETY</b>				
Address:	DATE: <b>11/1/88</b>				
City:	Zip:	State Lic. No.:	SPECIAL INSP.:		
Proposed Construction: <b>Vinyl Siding on Exterior</b>		PERMIT NO.: <b>007120</b>	WORKERS COMP. EXP.:	PROCESSED BY: <b>687</b>	
IC 130 # <b>3667</b>		<b>10-1-88</b>	Date: <b>9-27-88</b>		
Sq. Ft. Size:	No. Stories:	No. Units:	LICENSED CONTRACTOR'S DECLARATION		
New <input type="checkbox"/>	Add. <input type="checkbox"/>	Alter. <input type="checkbox"/>	I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.		
Repairs <input type="checkbox"/>	Demolition <input type="checkbox"/>	Exp. Date: <b>5/31/89</b> Signature of Contractor: <i>[Signature]</i>			
<p><b>WORKER'S COMPENSATION DECLARATION</b></p> <p>I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab.C.).</p> <p>Policy No. <b>49105321087</b> Company <b>Lib Mutual</b></p> <p><b>CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE</b></p> <p>I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.</p> <p>Date: _____ Applicant: _____</p> <p><b>NOTICE TO APPLICANT:</b> If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.</p> <p><b>CONSTRUCTION LENDING AGENCY</b></p> <p>I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)</p> <p>Lender's Name: _____</p> <p>Lender's Address: _____</p> <p>I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this office to enter upon the above-mentioned property for inspection purposes.</p> <p>Signature of Applicant: <i>[Signature]</i> Date: <b>9-27-88</b></p> <p>Mailing Address: <b>620 N. Eckhoff St</b></p> <p>City, State, Zip: <b>Orange CA 92668</b></p>					
<p><b>OWNER-BUILDER DECLARATION</b></p> <p>I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).</p> <p><input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)</p> <p><input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)</p> <p><input type="checkbox"/> I am exempt under Sec. _____ B.P.C. for this project.</p>					
Date: <b>9-27-88</b>		<p>Amount: <b>670.00</b> + <b>88.57</b> = <b>758.57</b> CHECK</p> <p>Date: <b>9-27-88</b></p>			

CONST. HRS. 8 AM-7 PM ONLY

This is a building permit when properly filled out, signed and submitted.

## **ATTACHMENT 3**

Site Images





# **ATTACHMENT 4**

## **Public Comments**

To: Design Review Board, City of South Pasadena

From: Christopher W. Cockroft, Owner, 1020 Palm Drive.

Date: 4/25/22

Subject: Comments for Project Number 2442-DRX (1016 Palm Avenue)

RECEIVED

APR 25 2022

CITY OF SOUTH PASADENA  
PLANNING & BUILDING DEPT.

Thank you for this chance to comment.

I call your attention to the current General Plan for the City of South Pasadena, notably to Section 2.5E "Preservation of the 'Built' Environment." Under the heading "Neighborhood Protection" Goal 10 is: "To preserve the scale, architectural character, infrastructure and landscape assets of South Pasadena's established residential neighborhoods." "Policies (Sec. 10.1)," states:

" Prevent mansionization. Ensure that remodeling or infill developments in established residential neighborhoods is **harmonious in scale** and building form with its context and that **"mansionization" is both avoided and prevented.**" (bold added for emphasis by me)

The current single-story home at 1016 is 1,355 square feet. The proposed addition will add 1215 square feet--1510 square feet if the covered patio is included. This will double its size. Thus, this remodeling plan qualifies as "mansionization" of an existing structure. It will overwhelm the lot.

As far as evaluating the requirement that it be "...harmonious in scale...with its context," one needs to look at the stock of housing currently standing on Palm Avenue. There are 18 lots on the street. 13 of the lots (72.21%) are single story. 5 lots (27.77%) are two story. This means about three quarters of the lots are single story and about one quarter are two story. This proposed two story remodel is not "harmonious in scale" with 72.5% of the current suburban single-story structures on Palm Avenue.

Additionally, if this remodel gets permitted, and I feel it should not, it will mean demolishing the smaller, older cozy house that has been standing at 1016 Palm for a hundred years, and replacing it with a new one that occupies the maximum amount of lot space possible under RS zoning. The new house will loom over the neighboring home at 1020 Palm, where I reside, changing the single-story suburban home into an overdeveloped urban mansion with little open yard space. It will also permanently close off three of my house's bedrooms and a bath from light and air, ruining the comfort and privacy of the suburban ambiance I have enjoyed for the past 37 years.

I ask your staff to calculate the total square footage of the new footprint of the proposed addition, the proposed covered patio of 295 square feet, the new 158 square foot front porch, and the 616 square foot garage, as they may well cover more than 40% of the lot allowed by the residential Zoning Regulations of the City of South Pasadena. To me, it looks as though they will. When I looked at the drawings of the proposed project at the Building Department on Monday, April 25, 2022, I found no lines with written dimensions written on the blueprints of the main house (the garage had them) so I had no way of calculating it myself. It's an important part of the discussion making process. It should be there.

On another subject: at the time of its last sale to the current owners, I saw an inspector coming out of a crawl hole after taking a look at the foundation. I asked him how it looked. He told me the current

foundation was the original brick, and the mortar was old. There is a good chance it will have to be completely demolished to make way for a modern footing strong enough to support the heavy weight of two stories. Likewise, the framing is likely insufficient, too. After all, the house was constructed in the 1920's. If this proves true, there will be major demolition necessary (all the walls downstairs) to create a tenable frame supporting two stories. Given how wasteful such demolition is, it could create a significant waste stream. This also should be weighed in any discussion before moving forward.

The current air conditioner is a 16 seer, 55 decibel unit, if I remember correctly. It will need to be replaced with a much larger sized unit to handle double the load. Where is it going? It wasn't on any drawing that I saw at the Planning Department, either. It needs to be. Type and brand should be called out on the drawings. A modern, low seer quiet inverter replacement unit on the roof, so as not to disturb the neighbors at night, should be de rigueur, as the current one has done to me and my guests for several years now. It's ghastly.

Lastly, I would like the Design Review Board to set a specific time limit by which completion will be accomplished. 1030 Palm (next door to me, on the west side) dragged on for three years, and only finished this March. I, and my fellow residents on Palm, do not want a repeat of the shriek of tools, the loud voices of workers, and the ever-present dust and grime, this time around.

Thank you for this chance to respond.



# **ATTACHMENT 5**

Brochures/Materials

## For your peace of mind

We have engineered Centor doors and windows so you will be delighted with them now and for years to come. The hardware, frame and panel assemblies are warranted for 10 years against material and manufacturing defects, while the integrated screens and shades are warranted for 5 years.

Visit [centor.com](http://centor.com) for full warranty details.





405 Integrated Folding Door  
County Durham, England  
Builder: Potton  
Dealer: Livingwood Windows & Doors

## Door finishes

### Wood

Our European Oak is sourced from managed forests and is available in a range of finished and unfinished options.



Fully finished - clear



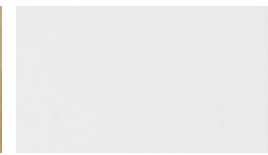
Fully finished - mid



Fully finished - dark



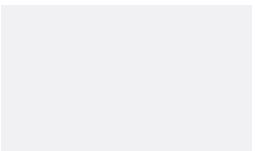
Unfinished



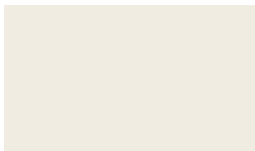
Primed

### Aluminium

Select a colour from our popular range, or specify other colours from the RAL range. Sills are either painted to match the frame and panels or anodised in Natural finish.



Traffic white | RAL9016



Pure white | RAL9010



Light ivory | RAL 1015



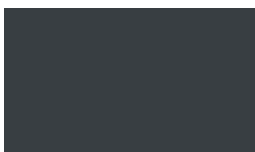
Light grey | RAL7035



Pebble grey | RAL7032



Dusty grey | RAL7037



Anthracite grey | RAL7016



Jet black | RAL9005



White aluminium | RAL9006



Grey aluminium | RAL9007



# LANDMARK® TL COLOR PALETTE



Platinum



Country Gray



Shenandoah



Max Def Black Walnut



Max Def Moiré Black



Scan code for more information

# LANDMARK® TL **Solaris®** CoolRoof COLOR PALETTE



Solaris Country Gray  
CRRC Product ID 0668-0149



Solaris Moiré Black  
CRRC Product ID 0668-0148



Solaris Platinum  
CRRC Product ID 0668-0147



Scan code for more information



*Shown in Moiré Black*

# The Ultimate Power Shake

- Three-piece laminated fiber glass construction
- Rustic appearance of hand-split wood shakes

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

**Fire Resistance:**

- UL Class A
- UL certified to meet ASTM D3018 Type 1

**Wind Resistance:**

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

**Tear Resistance:**

- UL certified to meet ASTM D3462
- CSA standard A123.5

**Wind Driven Rain Resistance:**

- Miami-Dade Product Control Acceptance:  
Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.

**Quality Standards:**

- ICC-ES-ESR-1389

**WARRANTY**

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- 15-year **StreakFighter**<sup>®</sup> algae-resistance warranty (where available)
- 10-year SureStart<sup>™</sup> protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

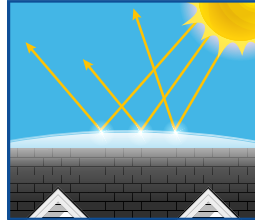
*See actual warranty for specific details and limitations.*

# The Ultimate in Protection

## Solaris® CoolRoof

### Solar Reflectivity

Solaris® Cool Roof is a sustainable shingle granule technology that applies energy-saving cool roof performance to CertainTeed's most popular shingle brands. Available in rich and authentic colors, including dark hues and tones, Solaris Cool Roof can lower roof temperatures and allow homeowners to reduce cooling costs without sacrificing beauty, quality, or color.

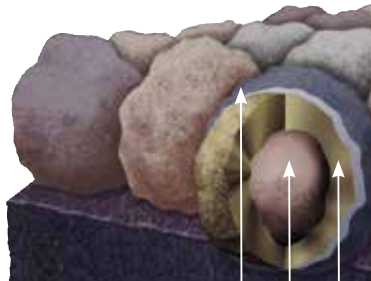


## StreakFighter®

### Algae Resistance

The ultimate in stain protection. Those streaks you see on other roofs in your neighborhood? That's algae, and it's a common eyesore on roofing throughout North America. CertainTeed's **StreakFighter** technology uses the power of science to repel algae before it can take hold and spread. **StreakFighter's** granular blend includes naturally algae-resistant copper, helping your roof maintain its curb appeal and look beautiful for years to come.

### Granule with StreakFighter Technology



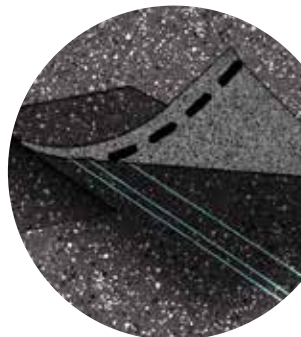
Ceramic coating  
Mineral core  
Copper layer

Diagram for illustrative purposes only.

## CertaSeal™

### Uplift Protection

**CertaSeal™** is a fast-activating modified asphalt sealant with a 20-year record of proven performance. Designed to seal shingles together upon installation, it protects roofs from wind uplift and shingle blow-off so that homes stay safe and dry. It's also engineered to remain flexible after installation, unlike harder sealants that can dry out and crack over time.



## Add a Little Accent to Your Roof.



CertainTeed offers Mountain Ridge®, an accessory product used for capping hips and ridges. UL 2218 Class 4 Impact Resistant, it is the perfect finishing touch for your roof, offering blended color and high-profile design.

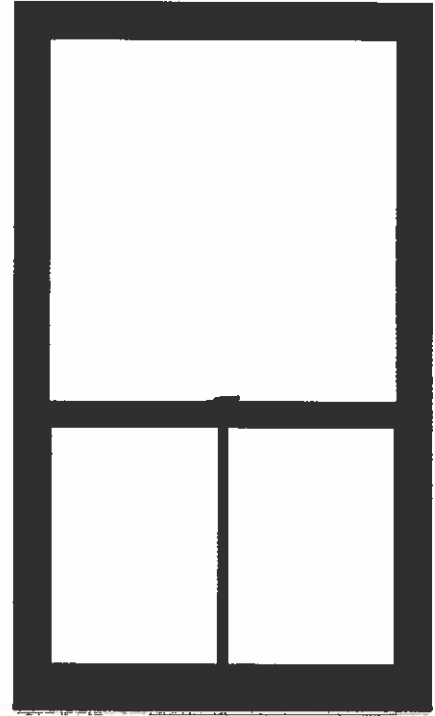


# WHY MATERIALS MATTER

## THE MARVIN MATERIALS DIFFERENCE: ULTREX FIBERGLASS

Choosing the right materials for windows and doors is important when it comes to long-term appearance and performance. Ultrex®, an innovative fiberglass material pioneered by Marvin over 20 years ago, was one of the first premium composites on the market. However, not all composites are created equal.

- Some companies use materials like sawdust and vinyl to produce a composite material with fundamentally different properties and performance values. But Ultrex is different. Its material makeup contains a high density of woven fibers bound by a thermally-set resin that makes it more resistant to pressure and temperature than vinyl-based composites.
- With such different materials grouped in the composites category, it becomes important to know what sets them apart.



## STRENGTH AND STABILITY OF ULTREX

Ultrex fiberglass is highly impact resistant and more rigid than vinyl and vinyl/wood composites. Issues of instability and less-than-perfect alignment that can complicate installation—and long-term performance—are not a concern with Elevate collection windows and doors.

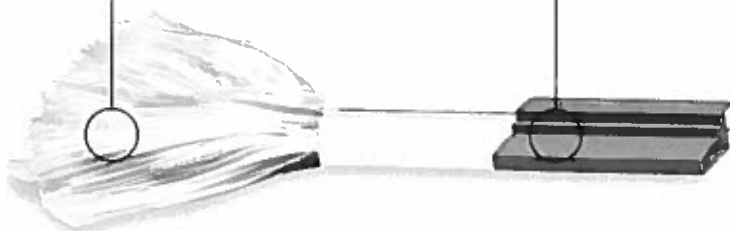
The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true, year after year.

### PULTRUDED FIBERGLASS

Thin strands of strong glass cables, saturated with compounded resins create a durable material

### PATENTED FINISH

The patented finishing process applies an impermeable and AAMA 624 verified factory finish



# WHY MATERIALS MATTER

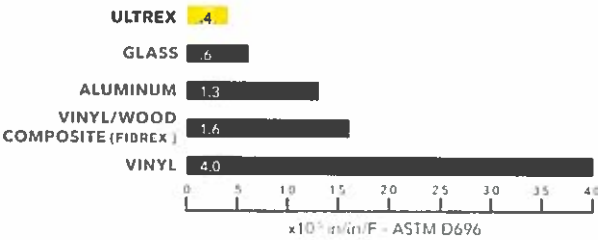
## TEMPERATURES MAY FLUCTUATE, BUT ULTREX WON'T

Ultrax® expands and contracts at virtually the same rate as glass so it works with glass rather than against it. This means seals aren't as prone to leaking and windows aren't subjected to sagging issues like other composites.

This is especially true when compared to vinyl, which can distort in extreme heat and crack in fluctuating temperatures. Ultrax resists distortion even at temperatures up to 285°F. Rapid temperature change doesn't faze Ultrax. From -30°F to 70°F, a 6 foot stile changes less than 1/32 inch in length.

### EXPANSION MEASUREMENT

Ultrax expands and contracts at virtually the same rate as glass

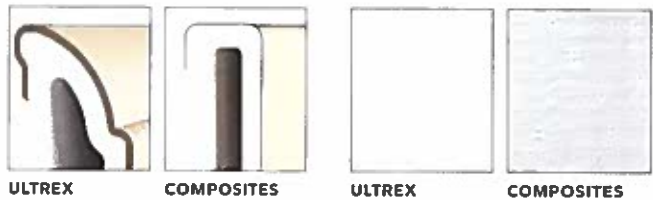


## INDUSTRY'S BEST FIBERGLASS FINISH FOR LASTING BEAUTY

Ultrax is the first and only fiberglass finish to be verified to AAMA's 624 voluntary finish specifications for fiber reinforced thermoset profiles (fiberglass).

Windows and doors made with Ultrax resist scratches, dings, and marring more than vinyl. Our patented, mechanically bonded acrylic finish is up to three times thicker than painted competitive finishes, and it resists UV degradation up to five times longer than vinyl—even on dark colors.

### PATENTED ACRYLIC CAP



ULTRAX

COMPOSITES

ULTRAX

COMPOSITES



Casement and Double Hung windows in Bronze

# COOLER IN SUMMER, WARMER IN WINTER

## TOP RATED ENERGY EFFICIENCY

The National Fenestration Rating Council (NFRC) defines energy performance ratings for the entire window and door industry. It rates:

- **U-factor:** How well a window keeps heat inside a building.
- **Solar heat gain:** A window's ability to block warming caused by sunlight.
- **Visible light transmittance:** How much light gets through a product.
- **Air leakage:** Heat loss and gain by air infiltration through cracks in the window assembly.

Ultrex® fiberglass is 500 times less conductive than roll-form aluminum and is similar to wood and PVC. It provides an insulated barrier against extreme weather temperatures, keeping homes comfortable, and reducing heating and cooling costs.

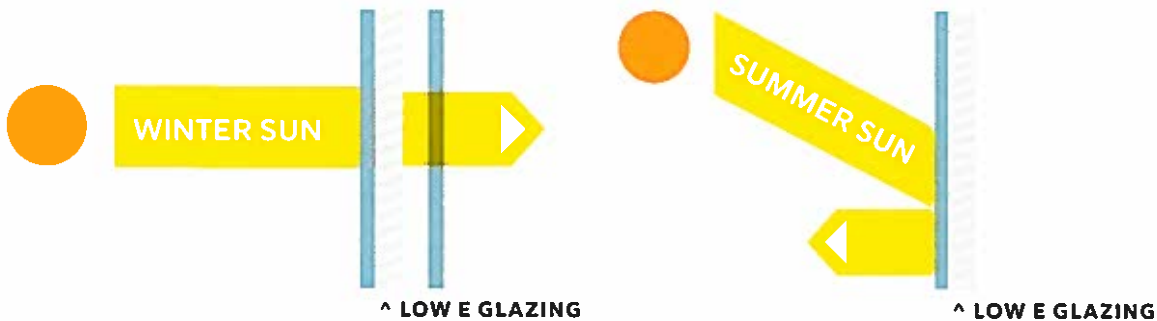
## ENERGY COST SAVINGS

Marvin was the first major window and door manufacturer to offer energy-efficient Low E2 glass and ENERGY STAR® certified performance on all of our standard windows and doors. Compared to non-certified products, ENERGY STAR certified windows and doors cut heating and cooling costs by 12%.\*

The Elevate collection offers Triple-pane, Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas, which has thermal conductivity 30% lower than that of air. It adds improved solar and thermal protection by distinguishing between visible light, damaging UV, and near-infrared rays to offer the ultimate glass performance, and provides a selection of energy-efficient solutions depending on your climate and needs.

## LOW E GLASS COATING

The Low E coating is specially designed to take advantage of the angle of the winter and summer sun. Winter sun is absorbed and conducted indoors. Summer sun is filtered and reflected back outdoors.

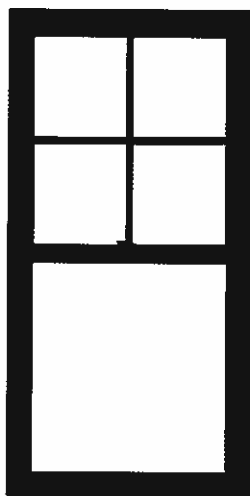




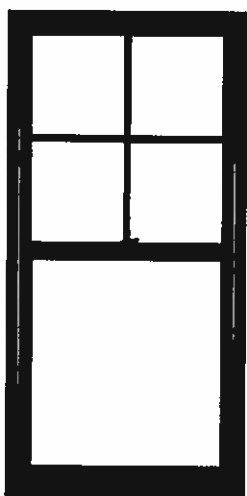
Double Hung windows with Window Opening Control Devices

## DOUBLE HUNG

- Equipped with a standard full screen; optional half screen is available.
- Tilt latches are ergonomically designed and easy to operate making tilting and cleaning effortless
- Sash lock provides a positive detent, reassuring user that the window is either locked or unlocked.
- Up to PG50 performance rating.
- Equal, Cottage, and Reverse Cottage sash provide a variety of looks and checkrail heights.
- Available in standard and special sizes up to 4 feet 6 inches wide by 7 feet high.
- Coordinating Picture and Transom windows also available.
- Double Hung Insert option features  $\frac{3}{4}$  inch insert replacement frame with through jamb installation and up to PG40 performance rating.



DOUBLE HUNG



DOUBLE HUNG INSERT



Available with IZ3  
(Excludes insert option)

# **ATTACHMENT 6**

## **Project Plans**

1016 PALM AVE.

VonCANNON RESIDENCE

e-mail: vonwang1@gmail.com  
PH: 310 283-1499

ARCHITECT: DAHL ARCHITECTS, INC.

1134 EL CENTRO ST.  
SOUTH PASADENA, CA 91030  
PH: 626 564-0011, FAX: 626 564-1591  
e-mail: tammie@dahlarchitects.com  
steve@dahlarchitects.com

DESIGN REVIEW BOARD

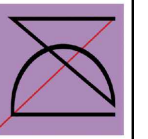
ALTERATIONS AND ADDITION TO A HOME IN THE  
EL CENTRO/INDIANA/PALM DISTRICT ADDITION  
1016 PALM AVE. IS IN THIS DISTRICT BUT  
NOT A CONTRIBUTING HOME

SHEET INDEX

- A-1 COVER SHEET / SITE PLAN / STATISTICS
- A-1.5 PHOTO KEY / SITE PHOTOS
- A-2 EXISTING FLOOR PLAN / CALGREEN NOTES
- A-3 NEW FLOOR PLANS/ DOOR & WINDOW SCHEDULES
- A-3.5 EXISTING & NEW GARAGE PLAN / NEW GARAGE ELEVATIONS
- A-4 EXISTING & NEW ROOF PLANS / EXISTING LANDSCAPE DIAGRAM
- A-5 EXISTING & NEW EXTERIOR ELEVATIONS / DETAILS
- A-6 EXISTING & NEW EXTERIOR ELEVATIONS
- A-7 EXISTING & NEW EXTERIOR ELEVATIONS / ANGLED PLANE
- A-8 LONGITUDINAL & CROSS SECTIONS

REVISIONS	DATE

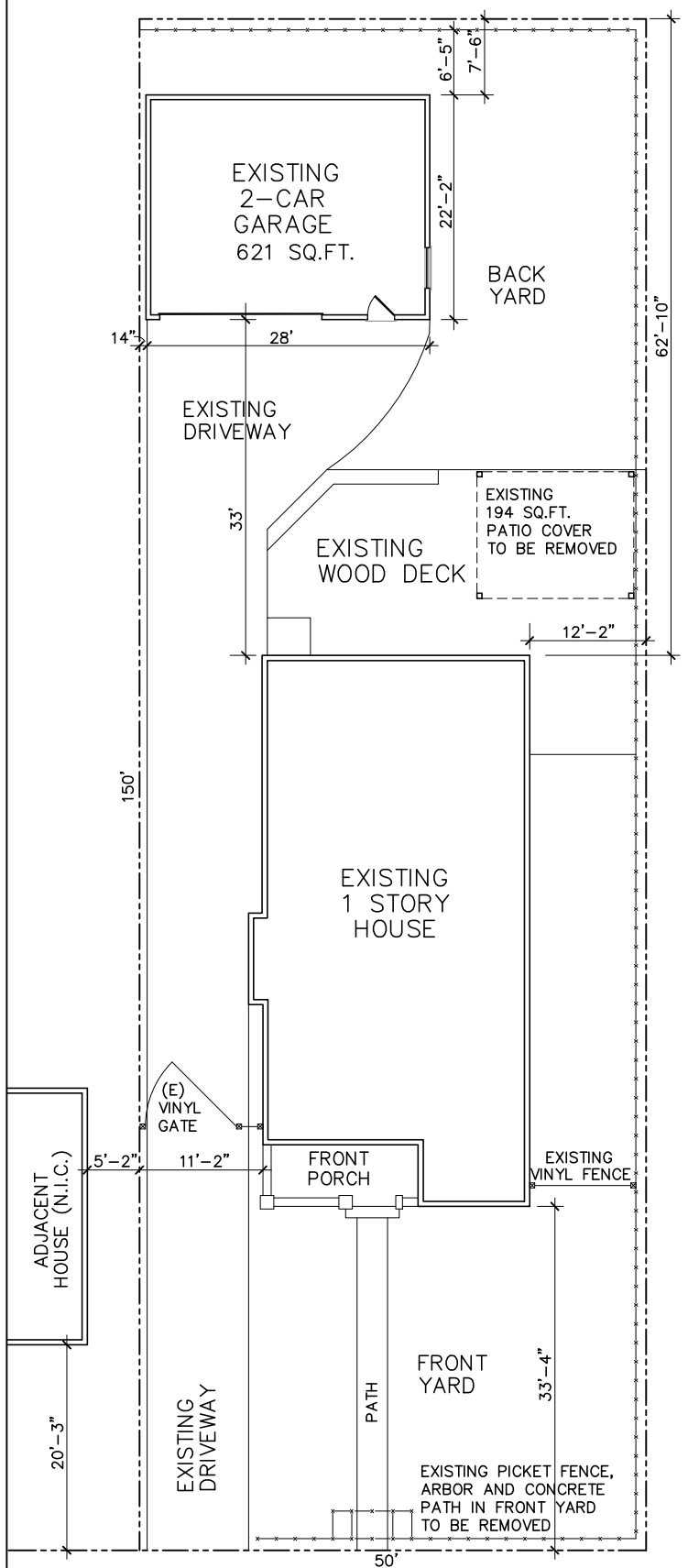
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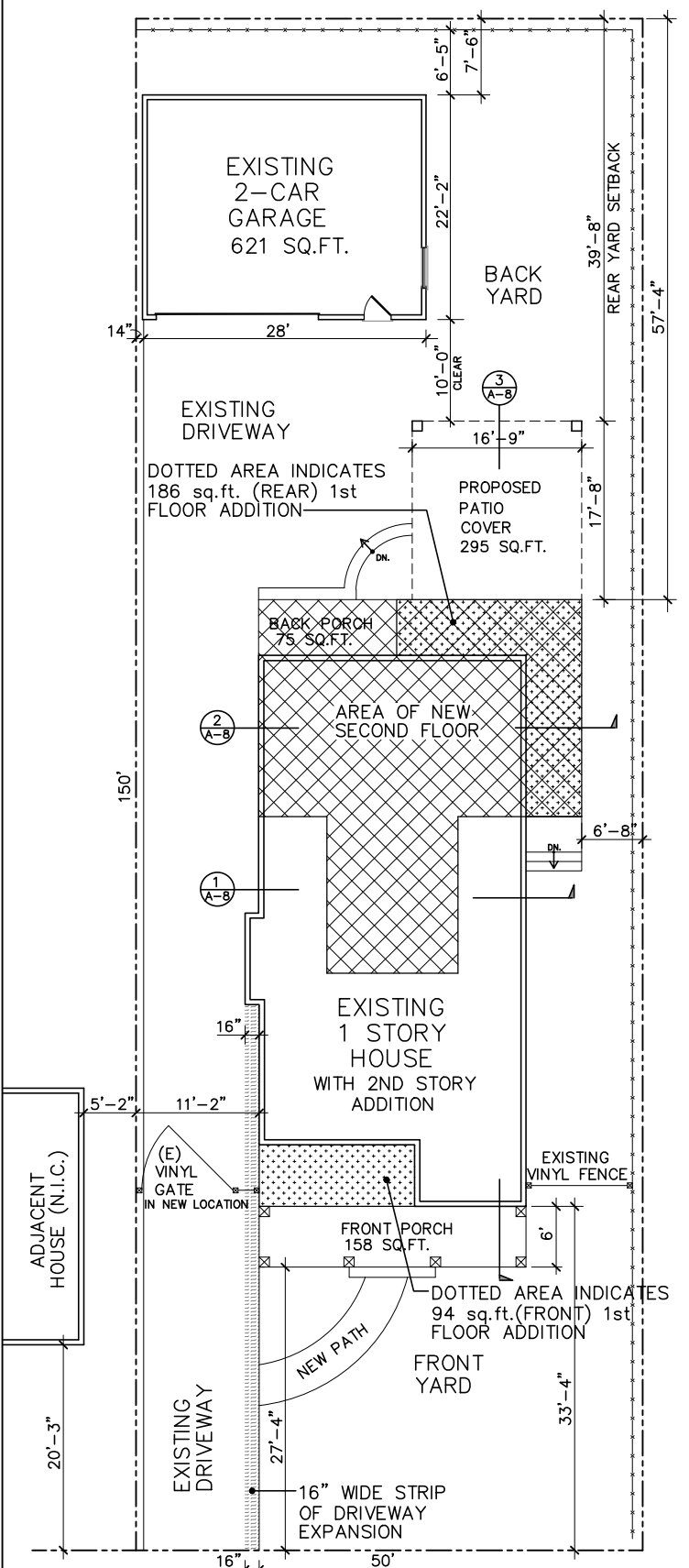
VonCANNON RESIDENCE  
1016 PALM AVE.  
SOUTH PASADENA, CA 91030

Cover SHEET/  
SITE PLANS  
ROOF PLAN

Date MAR 2022  
Scale AS NOTED  
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Job VONCANNON  
sheet 1  
**A-1**  
of 10 sheets



1 EXISTING SITE PLAN  
1/8" = 1'-0"



2 PROPOSED SITE PLAN  
1/8" = 10'-0"

THIS PROJECT COMPLIES WITH THE FOLLOWING CODES:

CBC 2019	CPC 2019	2019 ENS
CEC 2019	CRC 2019	2019 TITLE 24 CALIFORNIA
CMC 2019	2019 CGBC	ENERGY CODE

SCOPE OF WORK:

WE ARE ADDING 94 SQ.FT. TO THE FRONT OF THE HOUSE TO INCREASE THE SIZE OF THE LIVING ROOM AND ALSO SQUARE OFF THE FRONT OF THE HOUSE AND CREATE A NEW FRONT PORCH ACROSS THE ENTIRE HOUSE. THE BACK OF THE HOUSE WILL EXPAND 186 SQ.FT. AND RELOCATE THE MASTER BEDROOM AND CREATE A NEW POWDER ROOM. THERE WILL BE A NEW STAIR ACCESS OFF OF THE RELOCATED DINING ROOM TO A NEW 777 SQ.FT. SECOND FLOOR. THE NEW SECOND FLOOR WILL HAVE A MASTER SUITE AND A LOUNGE/OFFICE WITH A CLOSET TO BE TUCKED INTO THE EXISTING ATTIC WHERE THE NEW LAUNDRY WILL BE. THERE WILL BE A NEW PATIO COVER OFF OF THE DINING ROOM TO REPLACE THE FREE-STANDING PATIO PATIO COVER WHICH WILL BE REMOVED. ALL NEW WINDOWS, DOORS AND ROOFING MATERIALS WILL MATCH THE EXISTING CRAFTSMAN STYLE. LAP SIDING WILL ALSO BE ADDED TO ENHANCE THE CRAFTSMAN CHARACTERISTICS OF THE EXISTING HOME. IMPROVEMENTS TO THE GARAGE INCLUDE NEW ROOF, SIDING, ATTIC VENTING TO MATCH THE HOUSE AND NEW DOORS.

1016 PALM AVE.

LEGAL DESCRIPTION:

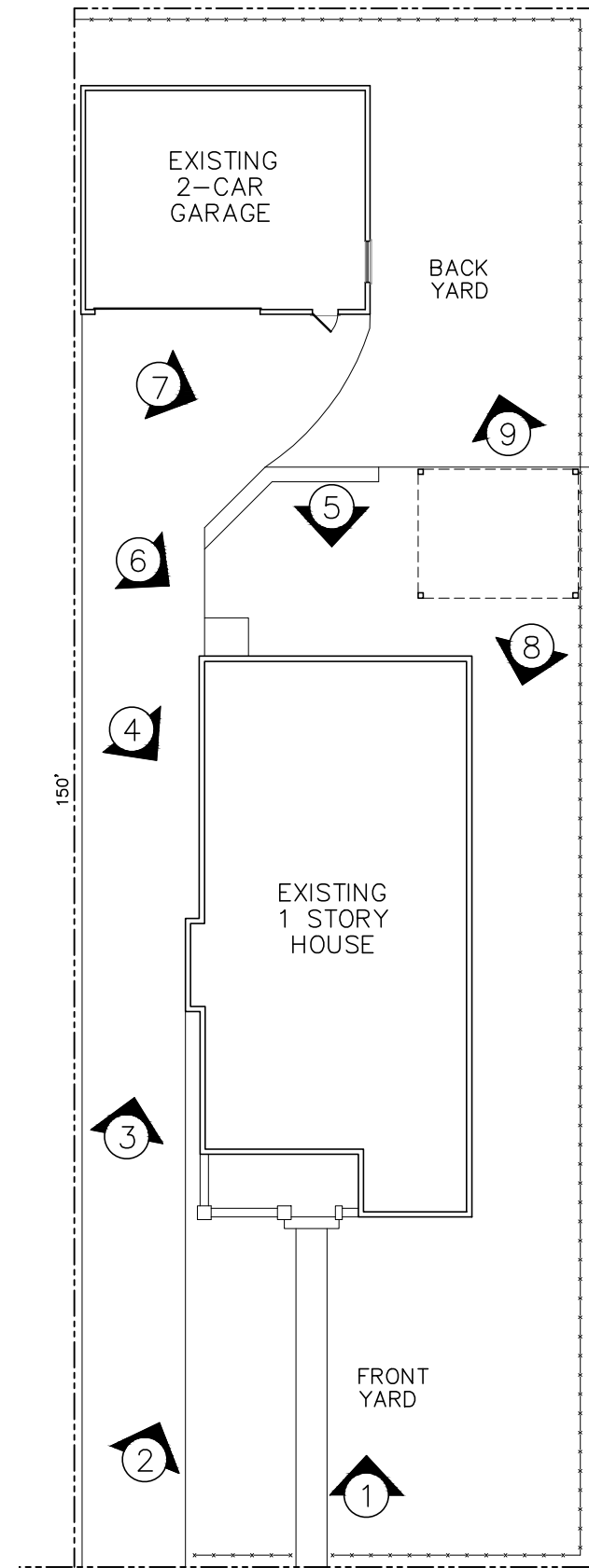
YEAR BUILT: 1908/30 MAP BOOK, PAGE AND PARCEL: 5313 014 013  
RAISED FLOOR, STUCCO & WOOD SHINGLE EXTERIOR, ASPHALT COMPOSITION ROOF  
SUBDIVISION: MALABAR TRACT  
OCCUPANCY GROUP: SFR CONSTRUCTION TYPE: V-B (EXISTING NOT SPRINKLERED)  
PROPOSED HOUSE AND NEW ADDITION TO BE SPRINKLERED UNDER SEPARATE PERMIT

STATISTICS:

PARCEL AREA:	7,500 SQ.FT.
EXISTING LIVABLE AREA:	1,355 SQ.FT.
EXISTING GARAGE: 22'-2" X 28'-25"	621 SQ.FT.
PROPOSED ADDITION to the 1st FLOOR:	280 SQ.FT.
PROPOSED 2nd FLOOR:	777 SQ.FT.
* TOTAL PROPOSED LIVABLE AREA:	2,412 SQ.FT.
EXISTING F.A.R.: (FIRST FLOOR & GARAGE {-500})	1,476 SQ.FT.
PROPOSED F.A.R.: (FIRST & SECOND FLOOR & GARAGE {-500})	2,533 SQ.FT.
ALLOWABLE F.A.R.: (35% of LOT)	2,625 SQ.FT.
EXISTING FREESTANDING PATIO COVER: (TO BE REMOVED)	-194 SQ.FT.
NEW PATIO COVER:	295 SQ.FT.
EXISTING LOT COVERAGE: (1st FLOOR, GARAGE & PATIO COVER AND FRONT PORCH)	2,264 SQ.FT.
PROPOSED LOT COVERAGE: (1st FLOOR, GARAGE & NEW PATIO COVER FRONT PORCH AND BACK PORCH)	2,784 SQ.FT.
ALLOWABLE LOT COVERAGE: (40%)	3,000 SQ.FT.

EXISTING BEDROOMS: 3, PROPOSED BEDROOMS: 3  
FRONT YARD SET BACK: 33'-4" REAR YARD SET BACK: 39'-8"  
RIGHT YARD SET BACK: 6'-8" LEFT YARD SET BACK: 11'-2"

\* LIVABLE AREA CALCULATIONS INCLUDE EXTERIOR WALLS



1016 PALM AVE.

1 PHOTO KEY PLAN  
A-2 1/8" = 1'-0"



1014 PALM AVE.



1016 PALM AVE.

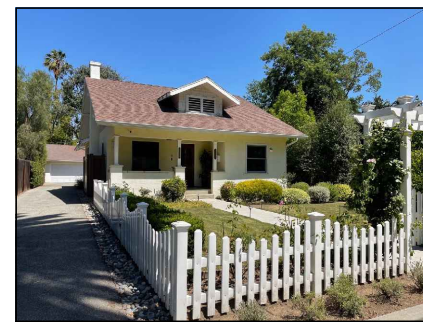


1020 PALM AVE.

1 2 PALM AVE. STREETSCAPE  
A-2 N.T.S.



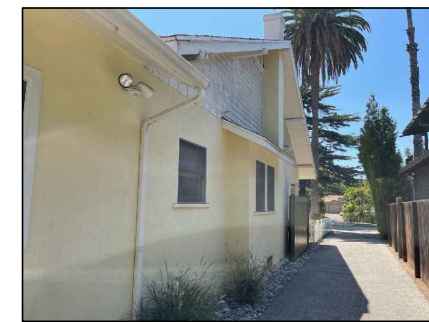
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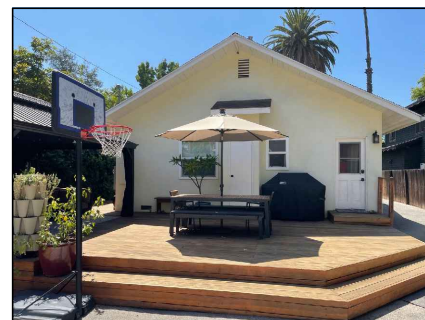
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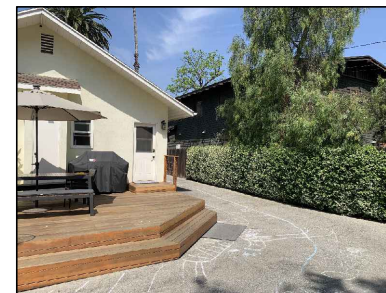
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7



8



9



1014 PALM AVE.



1014 PALM AVE.



1013 PALM AVE.



1020 PALM AVE.



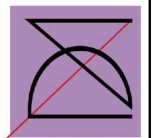
1030 PALM AVE.



1025 PALM AVE.

REVISIONS	DATE
1	2/2022

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PHOTO KEY  
SITE PHOTOS  
Date FEB 2022  
Scale AS NOTED  
Drawn TDK  
Job VONCANNON  
sheet 2  
A-1.5  
of 9 sheets

2019 CALGreen NOTES: SEE TITLE 24.2 FOR 2019 MANDATORY MEASURES

- 1.) A TRAINING PROGRAM MANUAL SHALL BE COMPLETED AND INCLUDED IN THE COMMISSIONING REPORT. THE MANUAL SHALL INCLUDE:
  - a. SYSTEM/EQUIPMENT OVERVIEW.
  - b. REVIEW AND DEMONSTRATION OF SERVICING/PREVENTIVE MAINTENANCE.
  - c. REVIEW OF THE INFO. IN THE SYSTEMS MANUAL.
  - d. REVIEW OF THE RECORD DRAWINGS ON THE SYSTEM/EQUIPMENT.
- A COMMISSIONING REPORT SHALL BE COMPLETED AND PROVIDED TO THE OWNER per 5.410.2.6.
- 2.) ALL DUCTS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR OTHER ACCEPTABLE MATERIAL AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE AND UNTIL FINAL STARTUP.
- 3.) ADHESIVES, SEALANTS AND CAULKS SHALL MEET THE LOCAL OR REGIONAL AIR POLLUTION CONTROL OR SOUTH COAST AQMD RULE 1168 VOC AND STATEWIDE VOC STANDARDS.
- 4.) PAINTS AND COATINGS SHALL COMPLY WITH THE VOC LIMITS per TABLE 5.504.4.3.
- 5.) AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC per TABLE 5.504.4.3.1.
- 6.) INTERIOR OR EXTERIOR USE OF HARDWOOD, PLYWOOD, PARTICLE-BOARD AND MEDIUM DENSITY FIBERBOARD, COMPOSITE WOOD PRODUCTS SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120).
- 7.) SEPARATE METERS OR SUBMETERS FOR INDOOR AND OUTDOOR POTABLE WATER USE TO BE INSTALLED. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE INSTALLED AND SHALL BE WEATHER OR SOIL-MOISTURE BASED OR WEATHER BASED WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS AND HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR.
- 8.) EXTERIOR WALL AND FOUNDATION ENVELOPE MUST BE WEATHER RESISTIVE. LANDSCAPE IRRIGATION SYSTEM SHALL BE INSTALLED TO PREVENT SPRAY ON STRUCTURES. ENTRIES AND OPENINGS SUBJECT TO FOOT TRAFFIC MUST BE DESIGNED TO PREVENT WATER INTRUSION INTO THE BUILDING. 100% OF TREES STUMPS, ROCKS AND ASSOCIATED VEGETATION & SOILS SHALL BE REUSED OR RECYCLED. READILY ACCESSIBLE AREA TO BE PROVIDED FOR RECYCLING.

CONSTRUCTION SITE MANAGEMENT:

- 1.) UNDER THE U.S. ENVIRONMENTAL PROTECTION AGENCY, THE BEST MANAGEMENT PRACTICES SHALL BE USED.
- 2.) DURING CONSTRUCTION WATER RUNOFF WILL BE CURBED WITH THE USE OF SWALES (IF NECESSARY) AND WATER COLLECTED IN BASINS UNDER RATTLE PLATES OVER GRAVEL TO PREVENT STORM WATER DRAINAGE, FLOODING AN ADJACENT PROPERTY OR EROSION IN ORDER TO RETAIN SOIL RUNOFF ON THE SITE. CGBC 4.106.3.
- 3.) STORM DRAINS MUST BE PROTECTED AT ALL TIMES WITH PERIMETER CONTROLS, SUCH AS GRAVEL BAGS (SAND BAGS ARE TYPICALLY NOT USED FOR INLET PROTECTION BECAUSE THEY DO NOT PERMIT FLOW-THROUGH). GRAVEL BAGS SHOULD CONTAIN ONLY CLEAN GRAVEL THAT IS FREE OF FINE MATERIALS. RUPTURED OR DAMAGED BAGS WILL BE REPLACED AND THE DEBRIS REMOVED FROM THE RIGHT-OF-WAY IMMEDIATELY. STORM DRAIN PROTECTION SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
- 4.) ALL STUCCO AND PAINT MATERIALS ON SITE SHALL BE CONTAINED AND COVERED. IT IS ILLEGAL TO WASH OUT PAINT BRUSHES IN THE STREET OR DUMP ANY RESIDUES IN THE SEWER OR THE STORM DRAIN.
- 5.) GRAVEL BAGS AND SILT FENCES ARE ACCEPTABLE PERIMETER CONTROLS. KEEP EXTRA ABSORBENT MATERIALS AND/OR A WET-DRY VACUUM ON SITE TO QUICKLY PICK-UP UNINTENDED SPILLS.
- 6.) STOCKPILES DIRT AND GRAVEL SHOULD BE MANAGED FOR DUST CONTROL BY SPRAYING WITH WATER OR COVERING. STABILIZE BARE SLOPES WITH EROSION CONTROL BLANKETS AND HAVE A WEATHER TRIGGERED ACTION PLAN PRIOR TO A RAIN EVENT. SITES MUST HAVE ADEQUATE MEASURES AT CONSTRUCTION EXISTS SUCH AS GRAVEL AND RATTLE PLATES TO REDUCE TRACKING OF DIRT FROM THE SITE ONTO CITY STREETS.
- 7.) EROSION TO BE PREVENTED AS LISTED ABOVE AND ONLY CLEAN WATER IS ALLOWED TO BE DISCHARGED INTO THE PUBLIC RIGHT-OF-WAY.

SITE WATER MAINTENANCE:

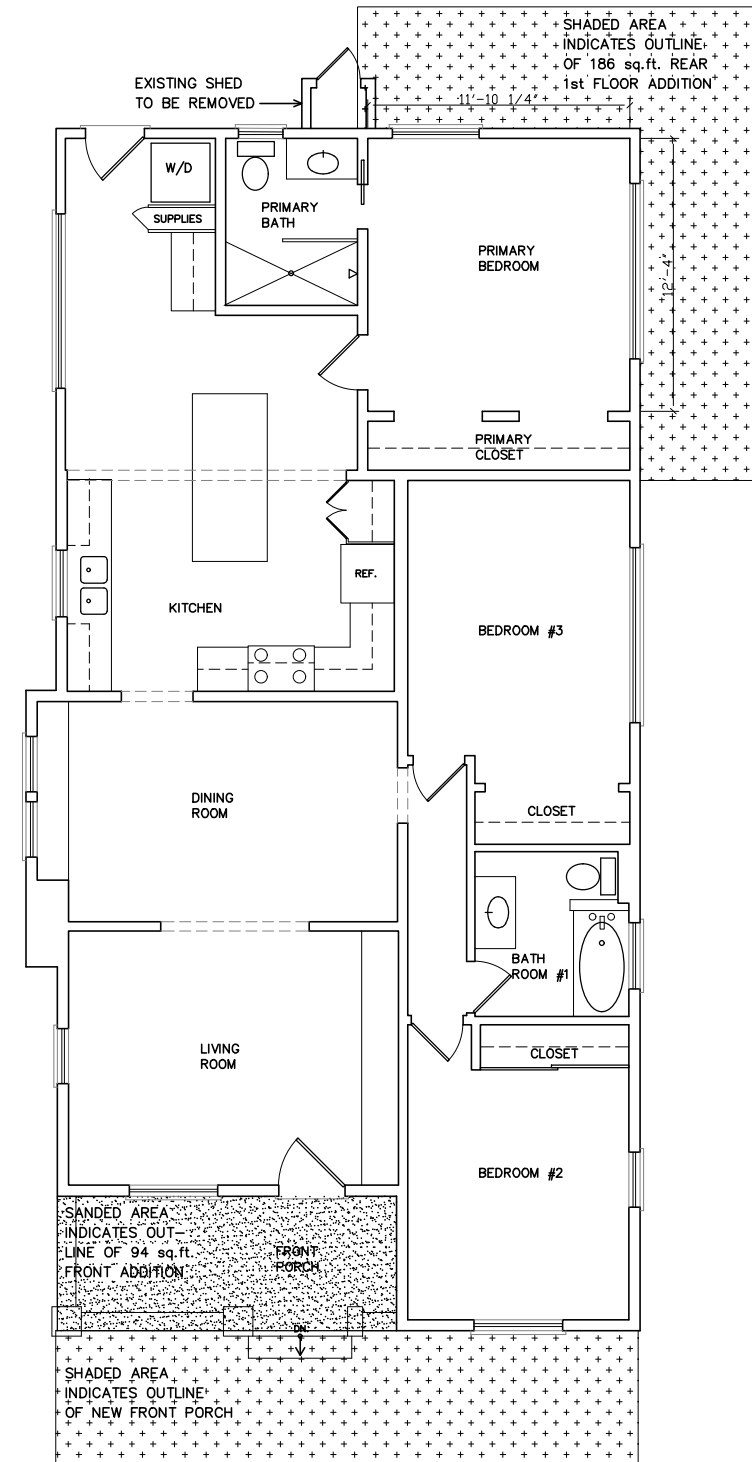
- 1.) DOWN SPOUTS ON HOUSE AND GARAGE SHALL DISCONNECT 6 INCHES FROM FINISHED GRADE, HAVE AN ELBOW ATTACHMENT DIRECTED TO A CONCRETE SPLASH PAD TO DIVERT THE RUNOFF WATER AT LEAST 5'-0" FROM FOUNDATIONS, 5'-0" FROM ANY PROPERTY LINE AND 3'-0" FROM PUBLIC SIDEWALK. THE DIRECTION OF THE FLOW SHALL FILTRATE TO THE GROUND OR GARDEN AND PREVENT EROSION.
- 2.) THE LANDSCAPED AREA WHERE THE DOWN SPOUT IS DIRECTED MUST BE AT LEAST 10% OF THE AREA OF THE ROOF AREA THAT DRAINS TO THE DISCONNECTED DOWN SPOUT.
- 3.) GUTTERS AND DOWN SPOUTS SHALL BE CLEANED OUT AND FREED OF ALL DEBRIS AT LEAST TWICE A YEAR, AND MORE OFTEN WITH OVERHANGING TREES. ELBOWS AND BENDS OF DOWN SPOUTS SHALL BE CLEAR TO PREVENT CLOGGING AND ALL PART SHALL BE SECURELY FASTENED TOGETHER WITH SHEET METAL SCREWS.
- 4.) THE GROUND SHOULD SLOPE AWAY FROM ALL STRUCTURES, BE FREE OF BUILD-UP OF SOIL, BARK, WOODPILES OR OTHER DEBRIS. ELBOWS AND BENDS OF DOWN SPOUTS SHALL BE CLEAR TO PREVENT CLOGGING AND ALL PART SHALL BE SECURELY FASTENED TOGETHER WITH SHEET METAL SCREWS.
- 5.) ALL LANDSCAPING AND DRAINAGE MAINTENANCE SHALL COMPLY WITH CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES IN CHAPTER 4.

2019 CALGreen NOTES CONTINUED:

- 9.) AT LEAST 50% OF RESILIENT FLOORING SYSTEMS INSTALLED SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - a. VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS LOW-EMITTING MATERIALS LISTS.
  - b. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE FLOOR SCORE PROGRAM.
- 10.) AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 SHALL BE PROVIDED FOR REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY.
- 11.) THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.5 GAL. PER MIN. AT 60 PSI. WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTIONS.
- 12.) ALTERNATE NONPOTABLE WATER SOURCES ARE USED FOR INDOOR POTABLE WATER REDUCTION. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CPC.
- 13.) NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH ONE OF THE FOLLOWING:
  - TIER 1: AT LEAST A 65% REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.
  - TIER 2: AT LEAST A 75% REDUCTION WITH A THIRD-PARTY VERIFICATION AS REQUIRED FOR TIER 1.
 EXCEPTIONS: 1. EQUIVALENT OR ALTERNATIVE WASTE REDUCTION METHODS ARE DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSIONS OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST.  
 2. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.  
 DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH THIS SECTION. DOCUMENTATION SHALL BE IN ACCORDANCE WITH SECTION 4.408.5.

STATE & CITY REQUIREMENTS:

1. APPROVAL IS REQUIRED FROM THE CITY PLANNING DEPT. PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
2. APPROVAL IS REQUIRED FROM THE CITY FIRE DEPT. PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
3. AT THE TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS' COMPENSATION INSURANCE CERTIFICATE. ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. STOCKPILES OF EARTH OR OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY FORCES OF WIND OR WATER. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO START OF ANY DEMOLITION, ADDITION, AND/OR REMODEL WORK. THE SCAQMD OFFICE IS LOCATED AT 21865 COLLEY DR IN DIAMOND BAR, PHONE NO: (909) 396-2000. BE ADVISED, SCAQMD MAY REQUIRE A 10 DAY WAIT PERIOD PRIOR TO START OF WORK.
5. DUE TO THE POSSIBLE PRESENCE OF LEAD-BASED PAINT, LEAD-SAFE WORK PRACTICES ARE REQUIRED FOR ALL REPAIRS THAT DISTURB PAINT IN PRE-1979 BUILDINGS. FAILURE TO DO SO COULD CREATE LEAD HAZARDS THAT VIOLATE CALIFORNIA HEALTH & SAFETY CODE, SECTIONS 17920.10 AND 105265 WITH POTENTIAL FINES FOR VIOLATIONS UP TO \$5,000 (SECTION (4) AMENDED) OR IMPRISONMENT FOR NOT MORE THAN 6 MONTHS IN THE COUNTY JAIL OR BOTH.

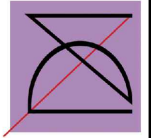


1 EXISTING FLOOR PLAN  
A-2 1/4" = 1'-0"



REVISIONS	DATE

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**VONCANNON RESIDENCE**  
**1016 PALM AVE.**  
**SOUTH PASADENA, CA 91030**

EXISTING & DEMO  
 FLOOR PLANS  
 CALGREEN NOTES

Date JAN 2022  
 Scale 1/4" = 1'-0"  
 Drawn TDK  
 Job VONCANNON  
 sheet 3



**DOOR SCHEDULE**

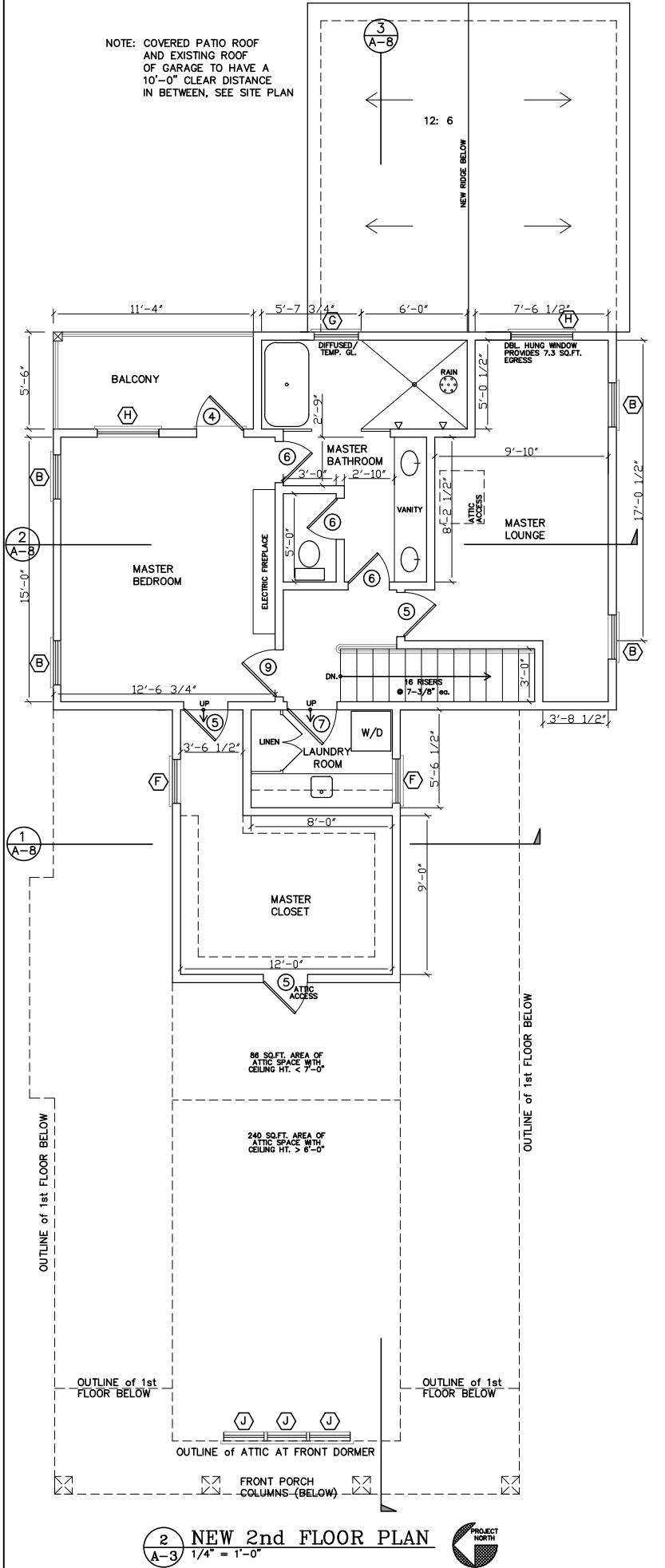
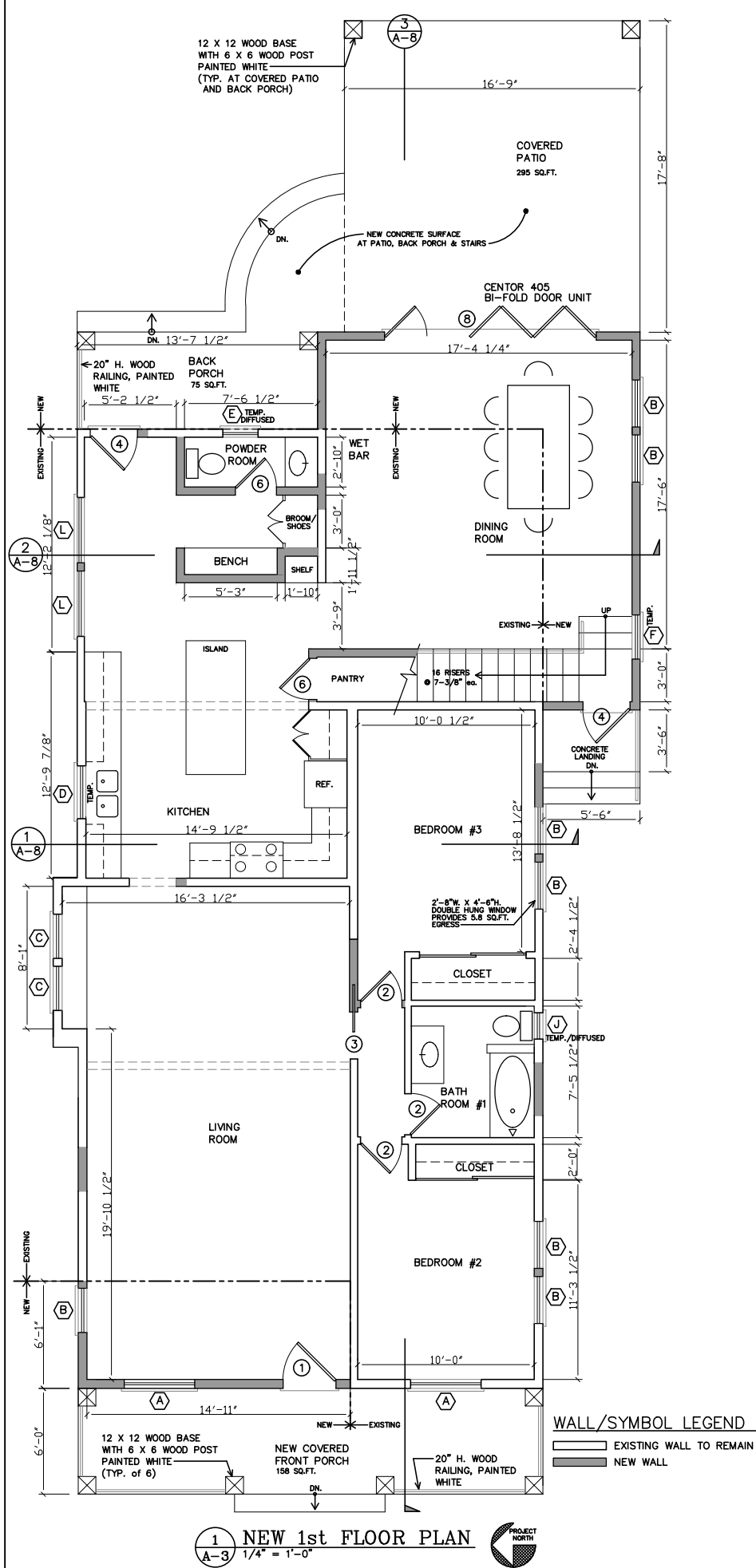
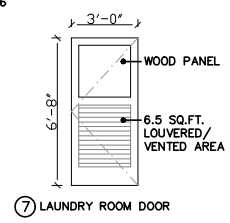
NO.	DOOR SIZE	THICK-NESS	DOOR FACE	MATERIAL	TYPE	DOOR FINISH	QUANTITY	REMARKS
①	3'-0" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	1	CUSTOM WOOD CRAFTSMAN STYLE
②	VARIABLES	1 3/4"	PANEL	WOOD	SWING	PAINTED		EXISTING DOOR TO REMAIN
③	2'-8" X 6'-8"	1 3/4"	PANEL	WOOD	POCKET	PAINTED	1	
④	2'-8" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	3	TEMP. GLASS, LOCKABLE MARVIN COASTLINE
⑤	2'-6" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	2	
⑥	2'-4" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	5	
⑦	3'-0" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	1	LOUVERED/VENTED SEE DETAIL BELOW
⑧	12'-0" X 6'-8"	1 3/4"	PANEL	CLAD	SWING/BI-FOLD	FACTORY	1	TEMP. GLASS, LOCKABLE CENTOR 405
⑨	2'-8" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	1	LOCKABLE
⑩	2'-8" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	1	LOCKABLE
⑪	2'-2'-6" X 6'-8"	1 3/4"	PANEL	WOOD	SWING	PAINTED	1	LOCKABLE

**WINDOW SCHEDULE**

NO.	WINDOW SIZE	TYPE	GLAZING	FRAME	FINISH	SILL HEIGHT	QUANT.	REMARKS	MANUFACTURER	COMMENT
A	4'-0"W. X 4'-6"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	2'-2"	2		MARVIN ELEVATE WOOD/CLAD	
B	2'-8"W. X 4'-6"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	2'-2"	11	TEMP. WHERE NOTED	MARVIN ELEVATE WOOD/CLAD	
C	2'-8"W. X 3'-6"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	3'-2"	2		MARVIN ELEVATE WOOD/CLAD	
D	3'-0"W. X 3'-3"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	3'-5"	2	TEMP.	MARVIN ELEVATE WOOD/CLAD	KITCHEN & GARAGE
E	2'-0"W. X 3'-2"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	3'-6"	1	TEMP.	MARVIN ELEVATE WOOD/CLAD	DIFFUSED GLASS IN BATHROOM
F	2'-6"W. X 3'-2"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	3'-6"	3	TEMP. WHERE NOTED	MARVIN ELEVATE WOOD/CLAD	
G	2'-8"W. X 3'-2"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	3'-6"	1	TEMP.		DIFFUSED GLASS IN BATHROOM
H	3'-6"W. X 4'-6"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	2'-7"	2		MARVIN ELEVATE WOOD/CLAD	
J	2'-2"W. X 2'-2"H.	FIXED	DOUBLE	CLAD	FACTORY	2'-7"	3	ATTIC	MARVIN ELEVATE WOOD/CLAD	DIFFUSED GLASS IN BATHROOM
K	NO. NOT USED									
L	3'-8"W. X 4'-6"H.	DBL.HUNG	DOUBLE	CLAD	FACTORY	2'-2"	2		MARVIN ELEVATE WOOD/CLAD	

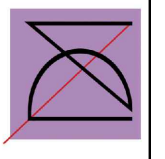
CONTRACTOR TO VERIFY WITH OWNER FOR ALL DOORS AND WINDOWS TYPES  
 CONTRACTOR TO VERIFY WITH OWNER FOR ALL DOOR AND WINDOW ELEVATIONS  
 ALL GLAZING ADJACENT TO BATHTUBS AND WITHIN 5 FT. FROM TUB SHALL BE TEMPERED GLASS.  
 ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION.  
 DOORS & WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES ARE MANUFACTURED TO LIMIT AIR LEAKAGE.  
 PENETRATION PRODUCTS HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION THAT MEETS THE REQUIREMENTS OF §10-111(c).  
 EXTERIOR DOORS & WINDOWS ARE WEATHER-STRIPPED; ALL JOINTS & PENETRATION ARE CAULKED AND SEALED.  
 INSULATION SPECIFIED OR INSTALLED MEETS STANDARDS FOR INSULATING MATERIAL. MINIMUM R-19 INSULATION IN WOOD FRAMED CEILING OR EQUIVALENT U-FACTOR. MINIMUM R-15 INSULATION IN WOOD FRAMED WALL AND FLOOR OR EQUIVALENT U-FACTOR. LOOSE FILL INSULATION SHALL CONFORM WITH MANUFACTURER'S INSTALLED DESIGN LABELED R-VALUE.

- NOTES:**
- 1.) PROVIDE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE IN EVERY ROOM USED FOR SLEEPING PURPOSES. WINDOWS, WHEN USED, SHALL PROVIDE A MIN. CLEAR OPEN AREA OF 5.7 SQ. FT. A MIN. CLEAR HEIGHT OF 24", A MIN. CLEAR WIDTH OF 20" AND A MAX. FINISHED SILL HEIGHT OF 44" ABOVE FIN. FLOOR. ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL HAVE A WINDOW WELL. SEE BEDROOM WINDOWS ON PLAN FOR SILL HT., CLEAR OPEN AREA AND CLEAR WIDTH.
  - 2.) BATH ROOM MIN. WINDOW AREA TO BE 1-1/2 SQ.FT. OPENABLE, OR PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR.
  - 3.) INSULATION FOR WALLS TO BE R-15, CEILINGS TO BE R-30, AND RAISED FLOOR TO BE R-19, IN COMPLIANCE WITH CEC 150.
  - 4.) ALL NEW WINDOWS TO BE WOOD/CLAD MARVIN ELEVATE FIXED OR DOUBLE HUNG FACTORY PAINTED DESIGNER BLACK. NEW EXTERIOR DOORS TO BE MARVIN COASTLINE FACTORY PAINTED BLACK KYNAR. BI-FOLD DOORS TO BE CENTOR 405 FACTORY PAINTED BLACK.
  - 5.) GLAZING WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE SAFETY GLAZED.
  - 6.) GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS SHALL BE SAFETY GLAZED.
  - 7.) GLAZING IN SHOWER AND BATHTUB AREAS SHALL BE TEMPERED GLASS WHERE OCCURS. CBC 2406



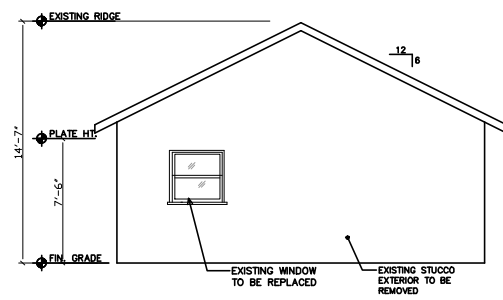
REVISIONS	DATE

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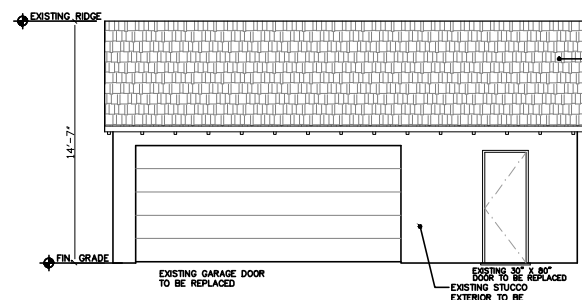


**VONCANNON RESIDENCE**  
 1016 PALM AVE.  
 SOUTH PASADENA, CA 91030

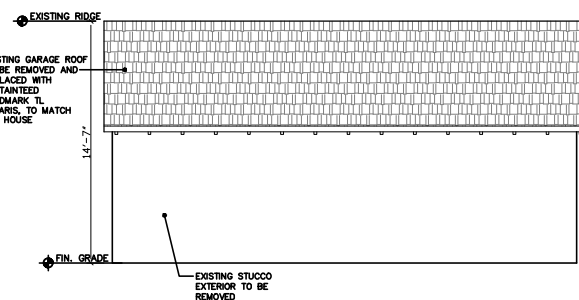
Title: **NEW 1st & 2nd FLOOR PLANS SCHEDULES**  
 Date: FEB 2022  
 Scale: 1/4" = 1'-0"  
 Drawn: TDK  
 Job: VONCANNON  
 sheet 4  
**A-3**  
 of 10 sheets



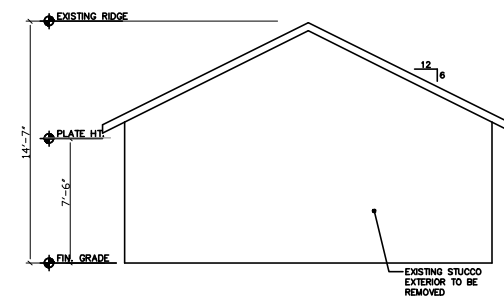
7 EXISTING SOUTH ELEVATION  
A-3.5 3/16" = 1'-0"



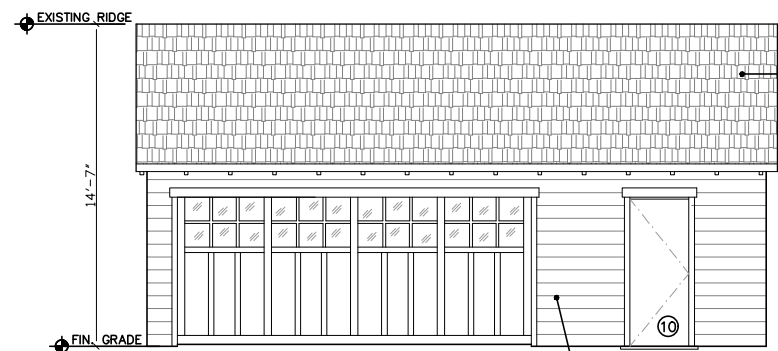
8 EXISTING WEST ELEVATION  
A-3.5 3/16" = 1'-0"



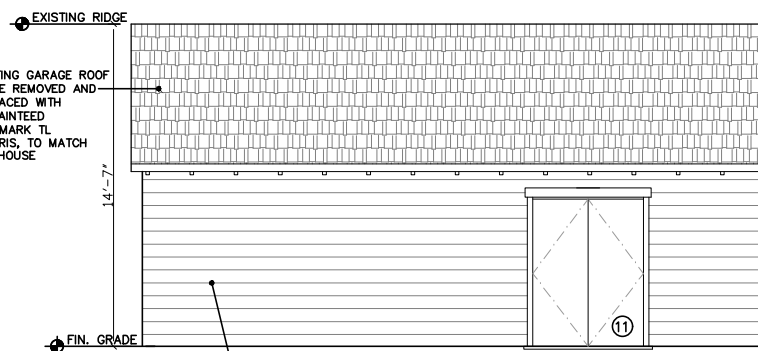
9 EXISTING EAST ELEVATION  
A-3.5 3/16" = 1'-0"



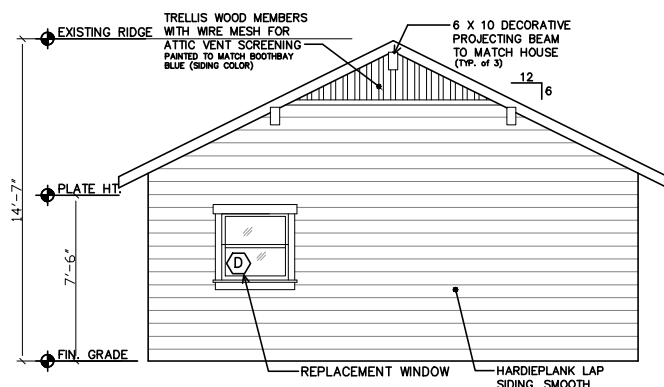
10 EXISTING NORTH ELEVATION  
A-3.5 3/16" = 1'-0"



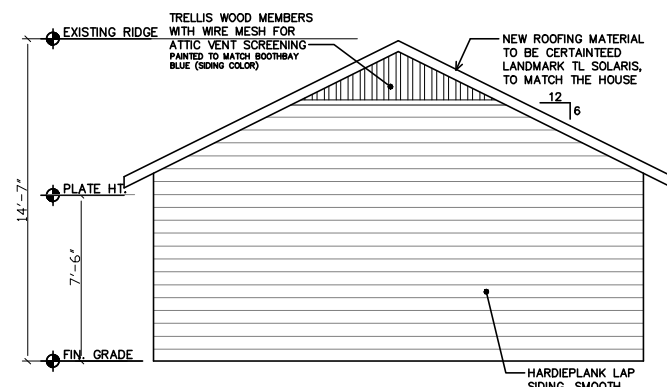
6 NEW WEST ELEVATION  
A-3.5 1/4" = 1'-0"



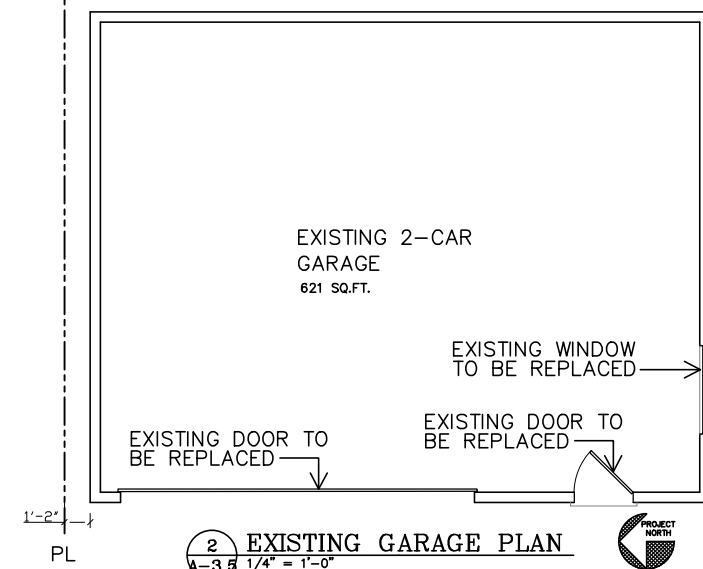
5 NEW EAST ELEVATION  
A-3.5 1/4" = 1'-0"



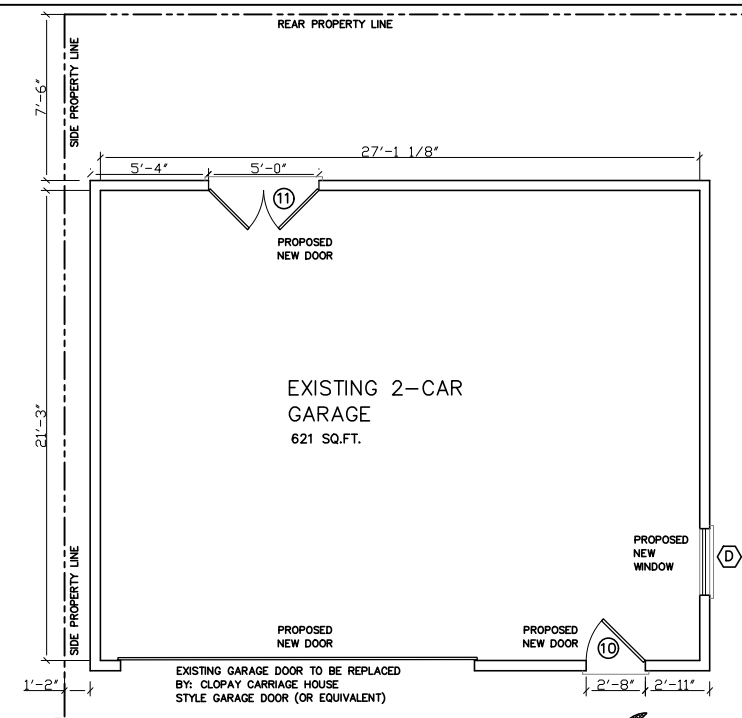
4 NEW SOUTH ELEVATION  
A-3.5 1/4" = 1'-0"



3 NEW NORTH ELEVATION  
A-3.5 1/4" = 1'-0"



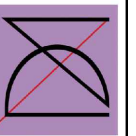
2 EXISTING GARAGE PLAN  
A-3.5 1/4" = 1'-0"



1 NEW GARAGE PLAN  
A-3.5 1/4" = 1'-0"

REVISIONS	DATE

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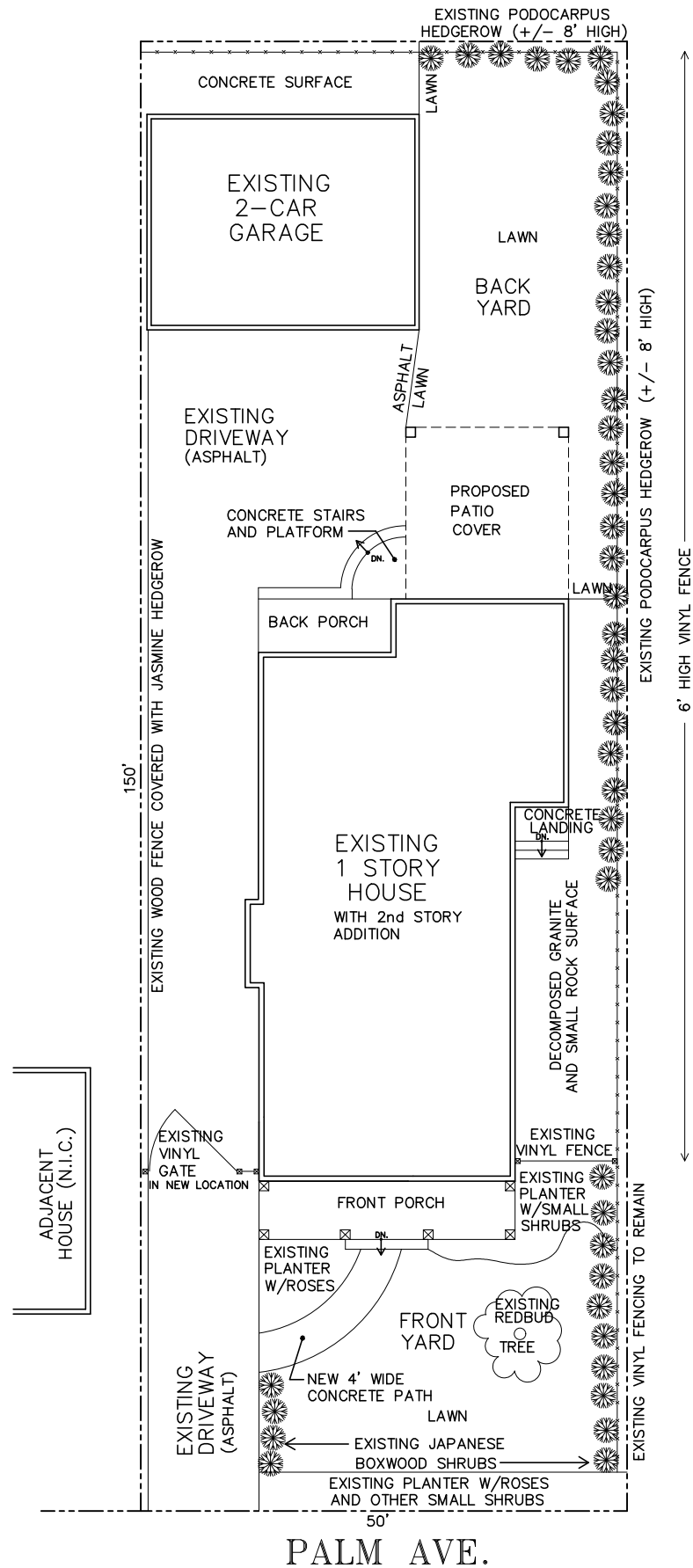


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1016 PALM AVE.  
SOUTH PASADENA, CA 91030

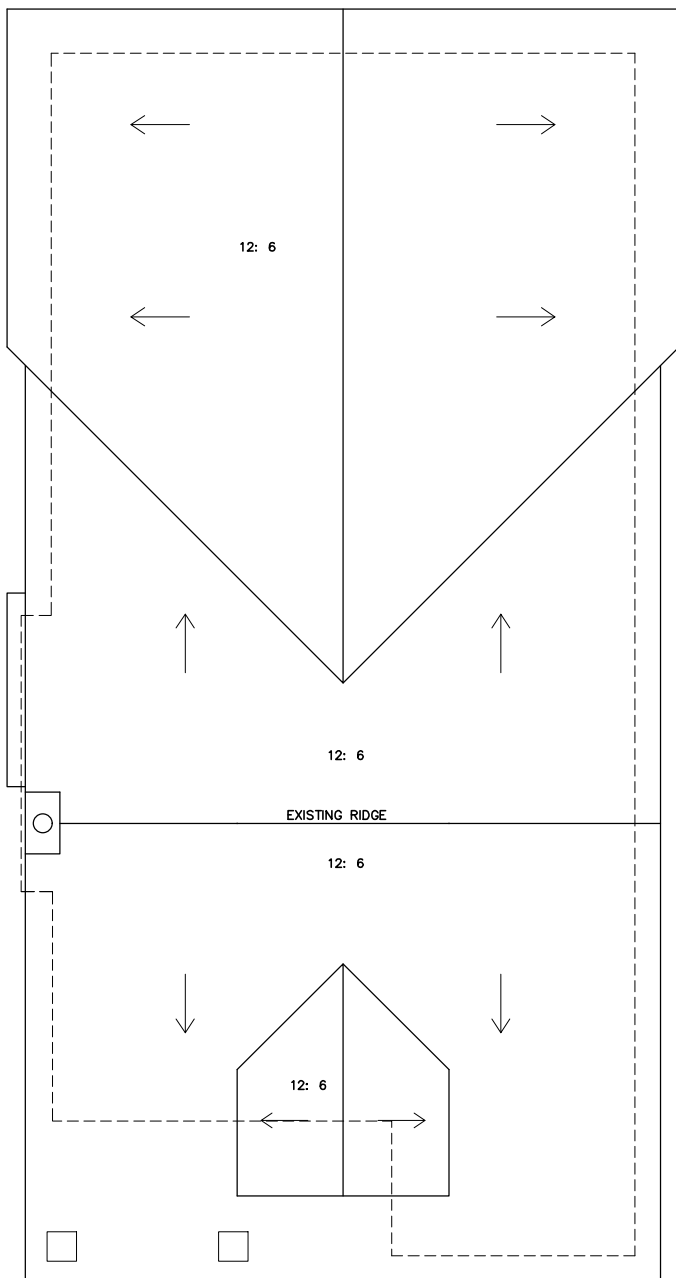
Title  
EXISTING & NEW  
GARAGE PLANS  
NEW EXTERIOR  
ELEVATIONS

Date JAN 2022  
Scale AS NOTED  
Drawn T D K  
Job VONCANNON  
sheet 5

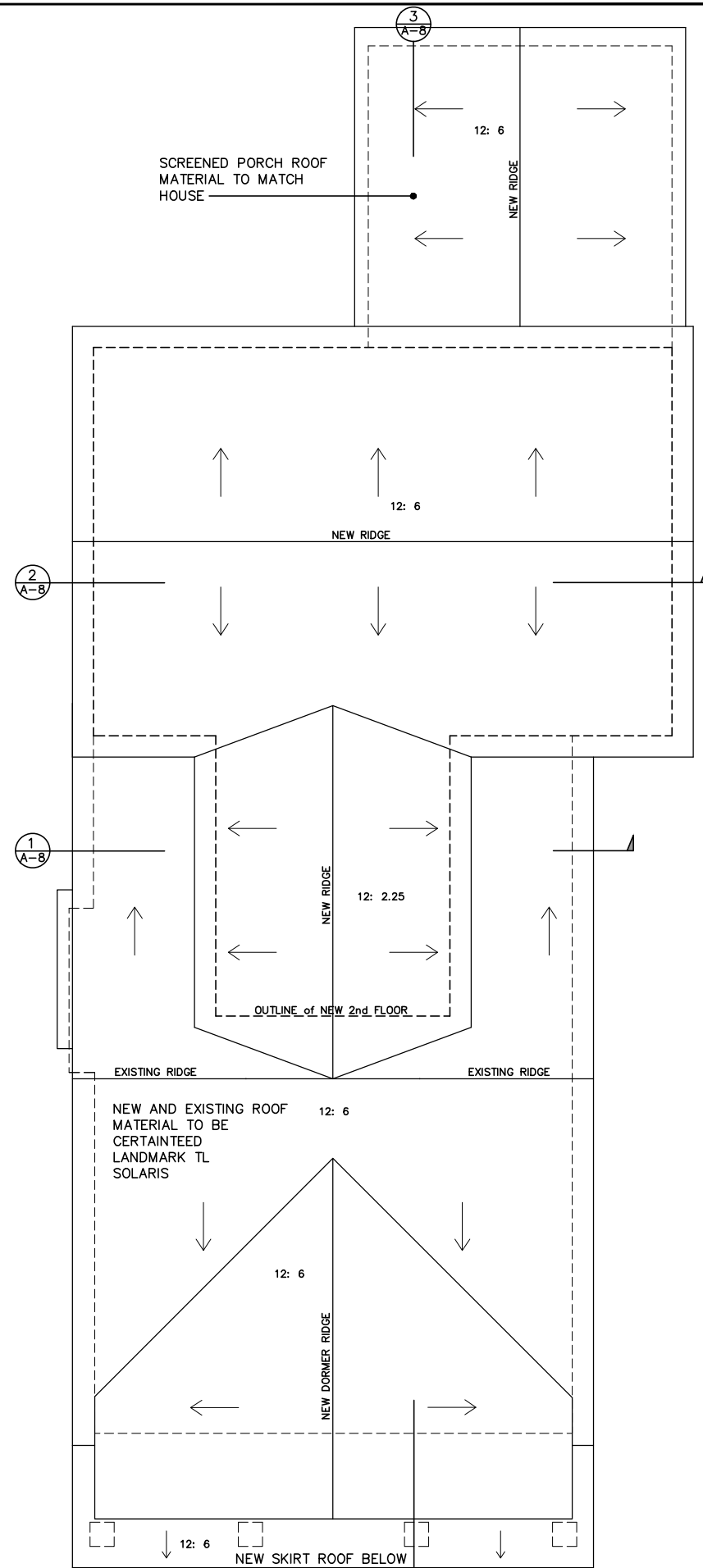
A-3.5  
of 9 sheets



3  
A-4  
1" = 10'-0"



1  
A-4  
1/4" = 1'-0"

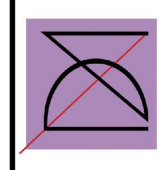


2  
A-4  
1/4" = 1'-0"



REVISIONS	DATE

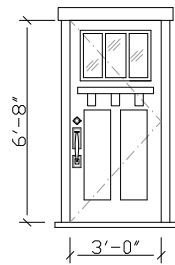
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 SOUTH PASADENA, CA 91030

This  
 EXISTING & NEW  
 ROOF PLANS  
 EXISTING  
 LANDSCAPE DIAGRAM

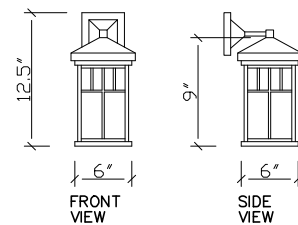
Date FEB 2022  
 Scale AS NOTED  
 Drawn T D K  
 Job VONCANNON  
 sheet 6  
**A-4**  
 of 10 sheets



CUSTOM MADE SOLID WOOD FRONT DOOR WITH 3 RECTANGULAR LITES, STAINED WALNUT

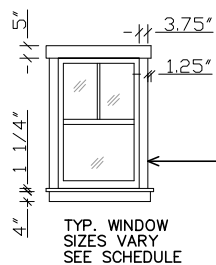
FOR TRIM DETAIL, SEE #7 DETAIL BELOW

5 FRONT DOOR DETAIL  
A-5 N.T.S.



WESTINGHOUSE BURNHAM WALL SCONCE, OIL RUBBED BRONZE FINISH, OPAQUE LINEN GLASS

6 EXTERIOR SCONCE DETAIL  
A-5 N.T.S.

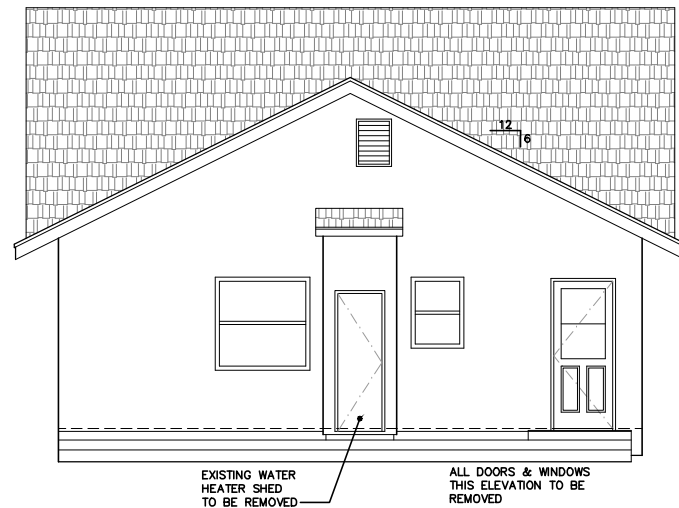


ALL NEW WINDOWS TO BE WOOD/CLAD MARVIN ELEVATE FIXED OR DOUBLE HUNG FACTORY PAINTED DESIGNER BLACK.

DECORATIVE WOOD TRIM TO BE AT ALL WINDOWS AND EXTERIOR DOORS, PAINTED WHITE, SIZED AS INDICATED.

TYP. WINDOW SIZES VARY SEE SCHEDULE

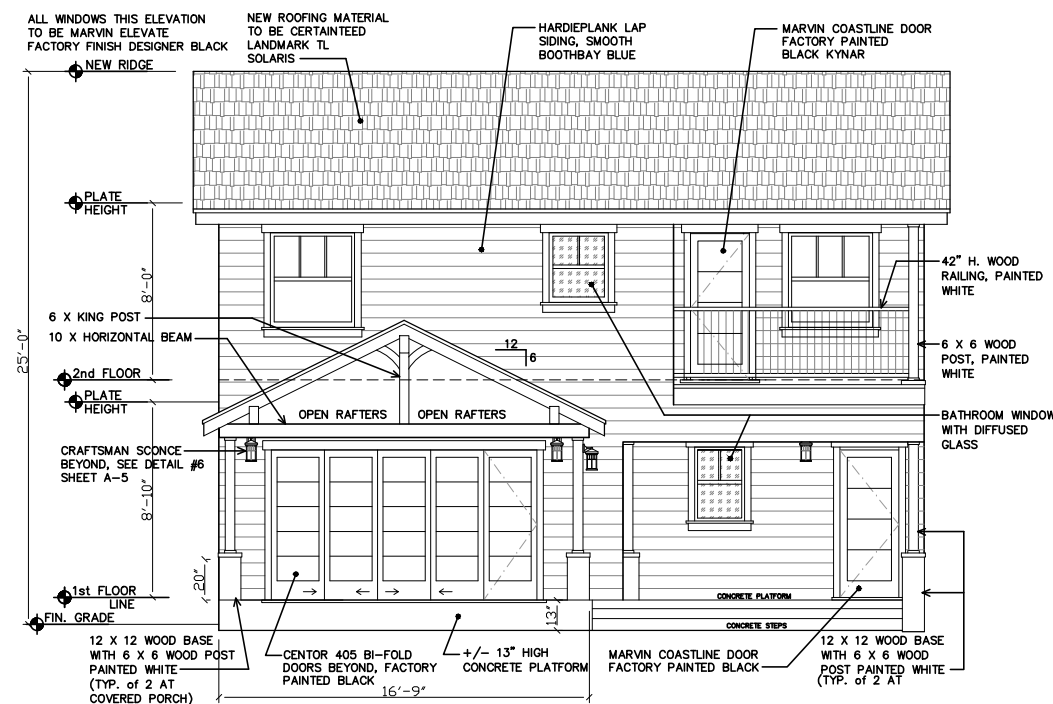
7 WOOD TRIM DETAIL  
A-5 N.T.S.



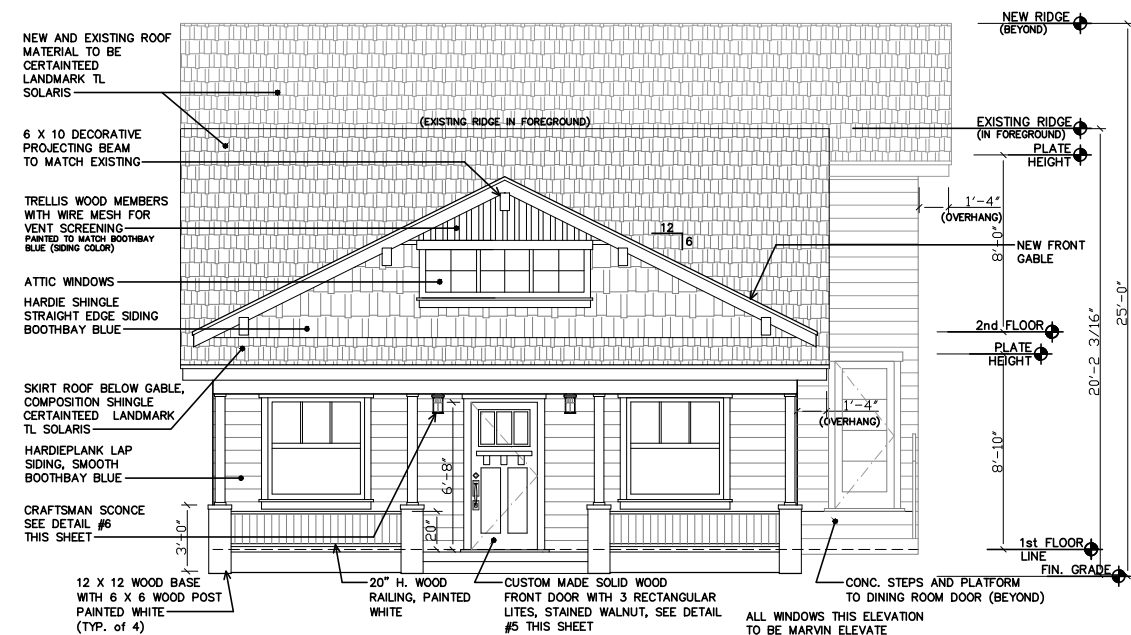
4 EXISTING EAST ELEVATION  
A-5 1/4" = 1'-0" BACK YARD (REAR)



3 EXISTING WEST ELEVATION  
A-5 1/4" = 1'-0" PALM AVE. (FRONT)



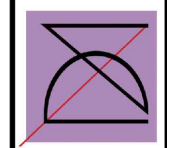
2 NEW EAST ELEVATION  
A-5 1/4" = 1'-0" BACK YARD (REAR)



1 NEW WEST ELEVATION  
A-5 1/4" = 1'-0" PALM AVE. (FRONT)

REVISIONS	DATE

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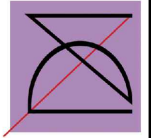


**VONCANNON RESIDENCE**  
**1016 PALM AVE.**  
**SOUTH PASADENA, CA 91030**

Title: EXISTING EXTERIOR ELEVATIONS/ ARCH DETAILS  
Date: FEB 2022  
Scale: AS NOTED  
Drawn: T D K  
Job: VONCANNON  
sheet 7  
**A-5**  
of 10 sheets

REVISIONS	DATE

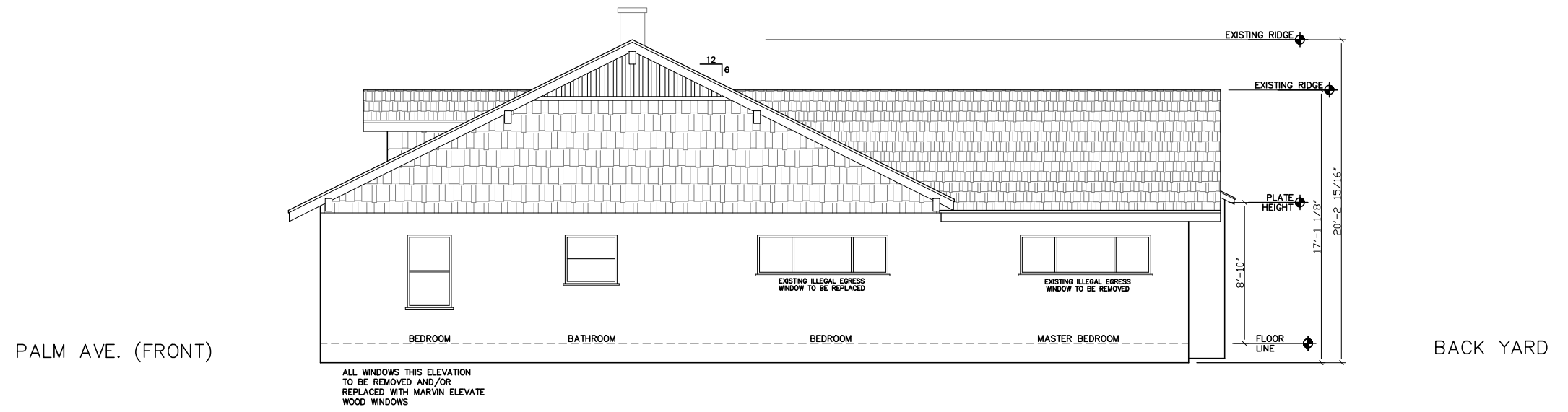
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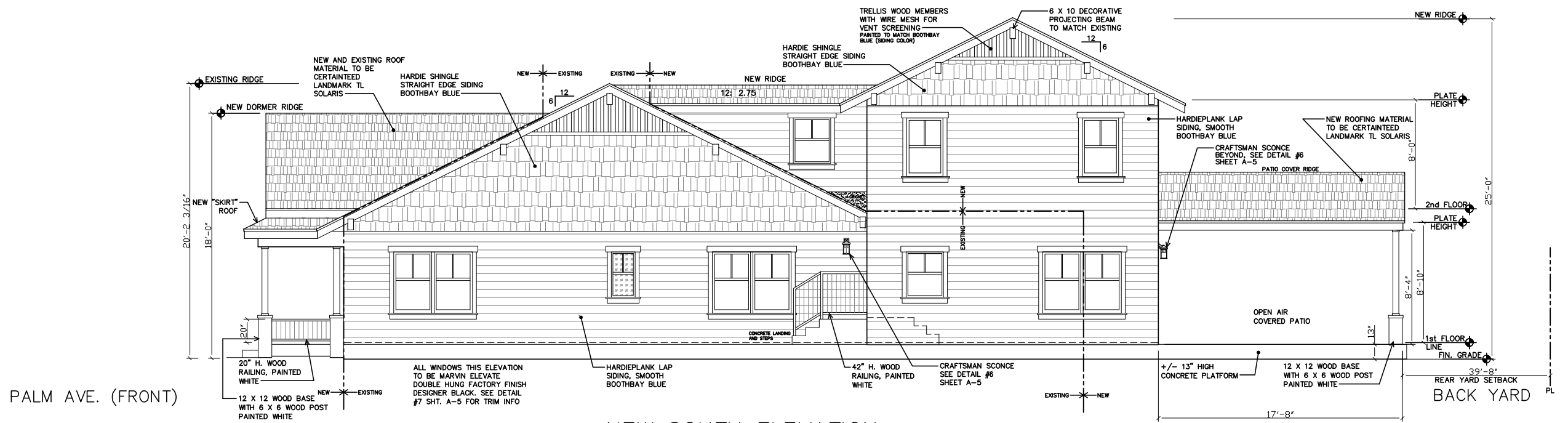
**VONCANNON RESIDENCE**  
**1016 PALM AVE.**  
**SOUTH PASADENA, CA 91030**

Title  
 EXISTING and NEW  
 EXTERIOR  
 ELEVATIONS

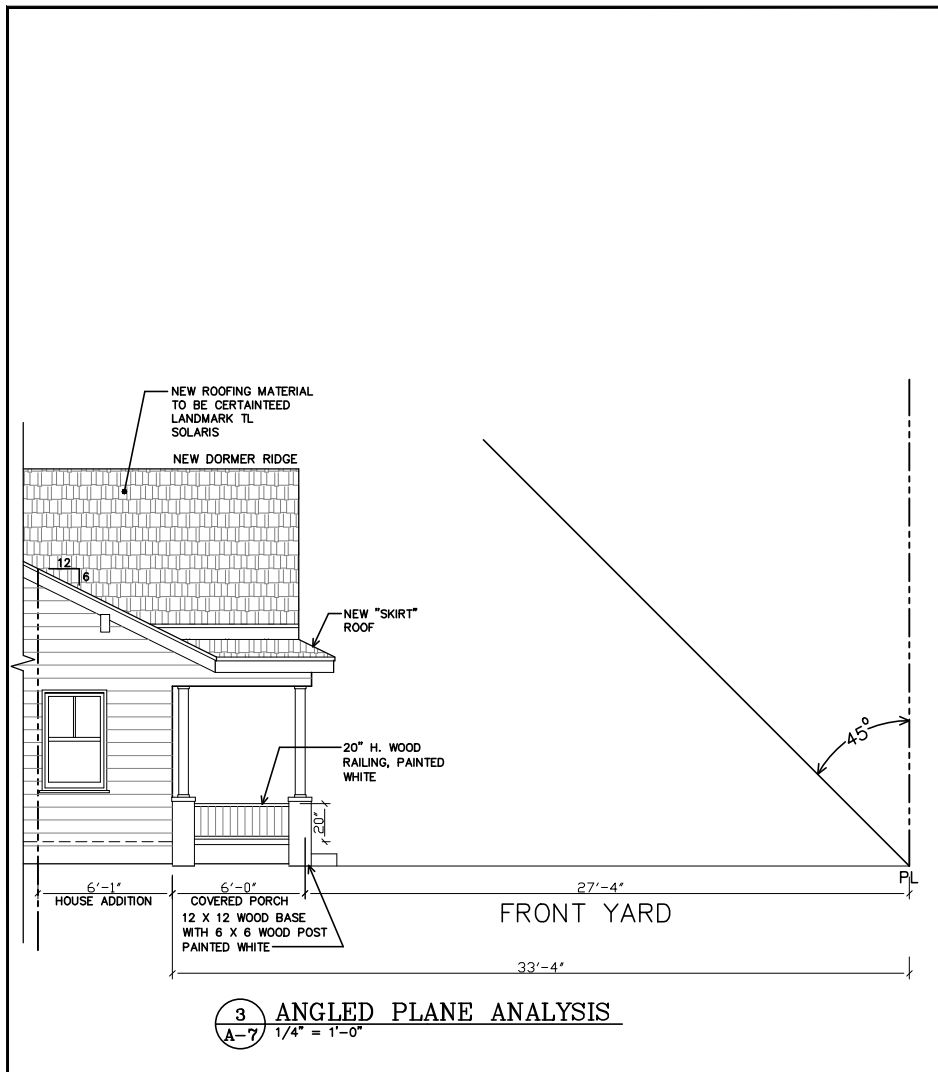
Date FEB 2022  
 Scale 1/4" = 1'-0"  
 Drawn TDK  
 Job VONCANNON  
 sheet 8  
**A-6**  
 of 10 sheets



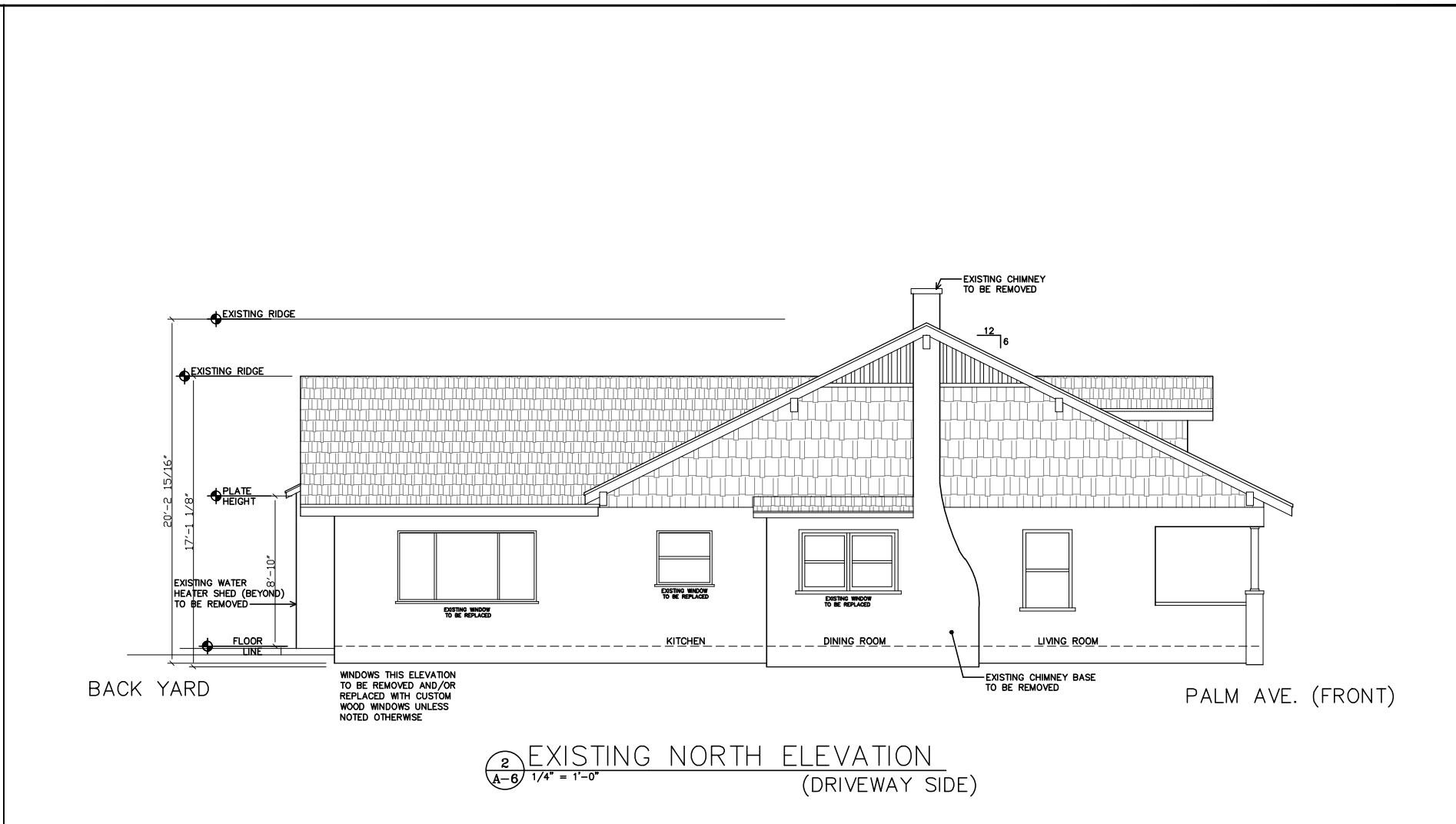
**2**  
**A-6** EXISTING SOUTH ELEVATION  
 1/4" = 1'-0"



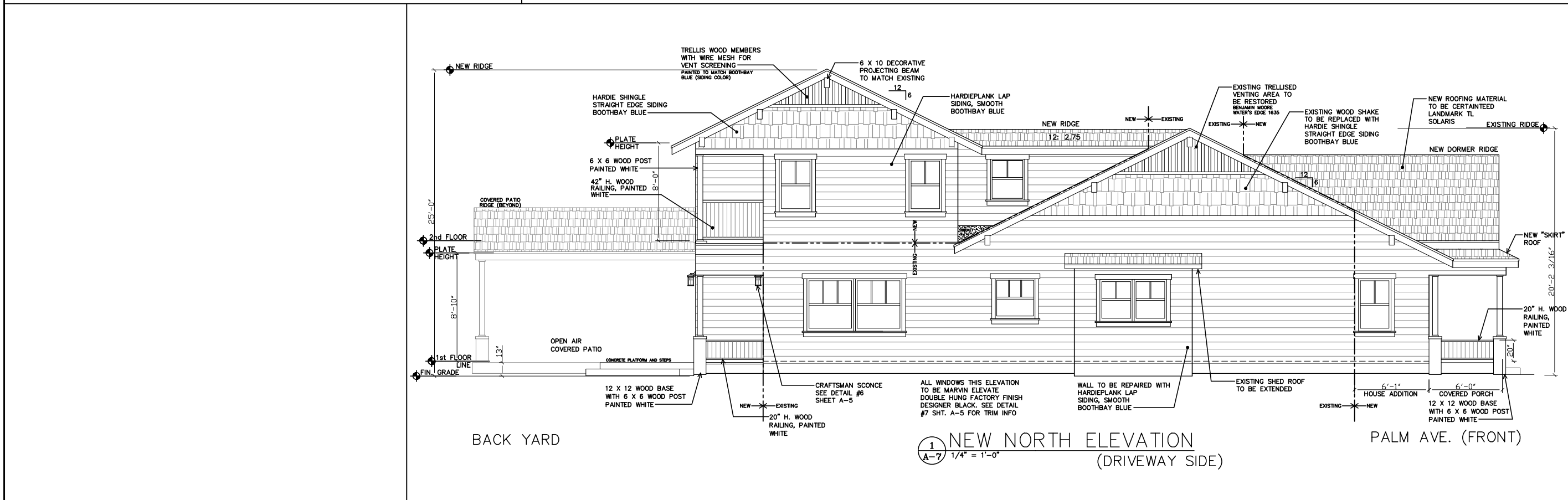
**1**  
**A-6** NEW SOUTH ELEVATION  
 1/4" = 1'-0"



3 ANGLED PLANE ANALYSIS  
A-7 1/4" = 1'-0"



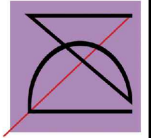
2 EXISTING NORTH ELEVATION  
A-6 1/4" = 1'-0"  
(DRIVEWAY SIDE)



1 NEW NORTH ELEVATION  
A-7 1/4" = 1'-0"  
(DRIVEWAY SIDE)

REVISIONS	DATE

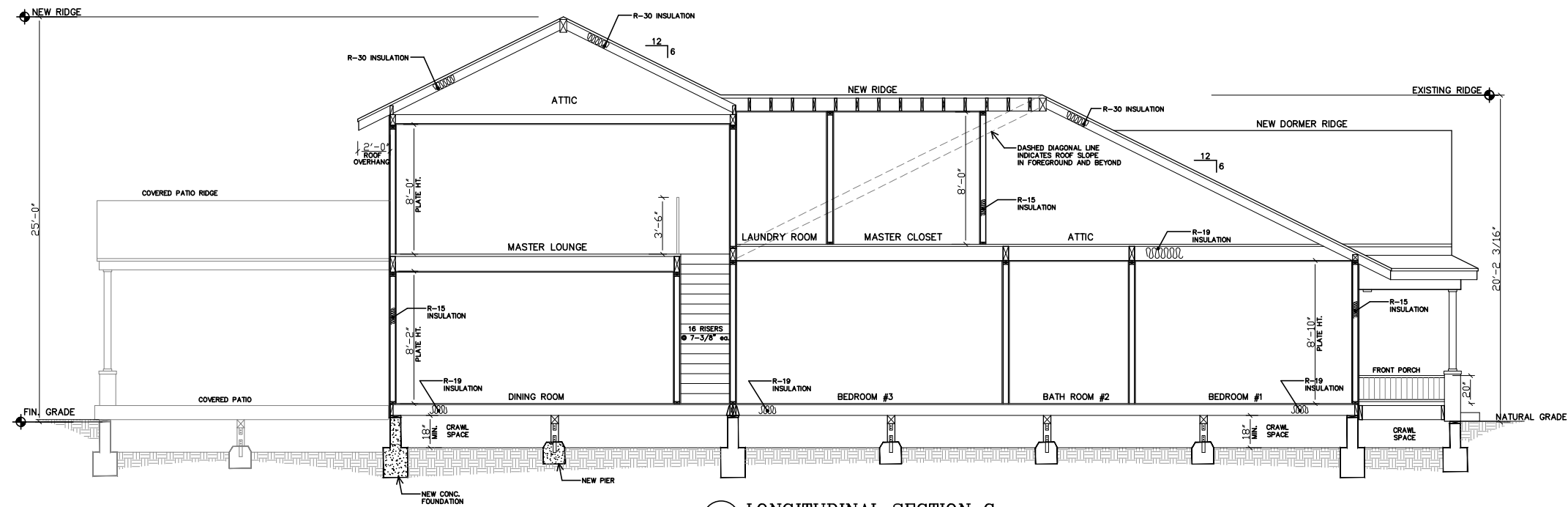
DAHL ARCHITECTS  
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OFFICE PHONE: 626 564-0011 FAX: 626 564-1591



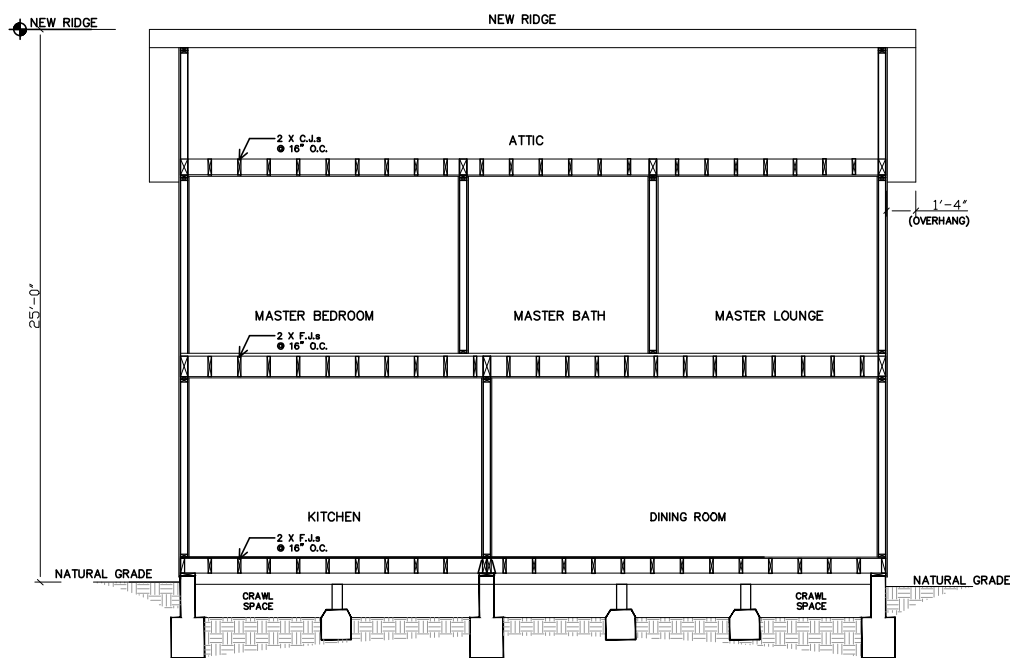
VOUCANNON RESIDENCE  
1016 PALM AVE.  
SOUTH PASADENA, CA 91030

THIS EXISTING and NEW  
EXTERIOR  
ELEVATIONS  
ANGLED PLANE

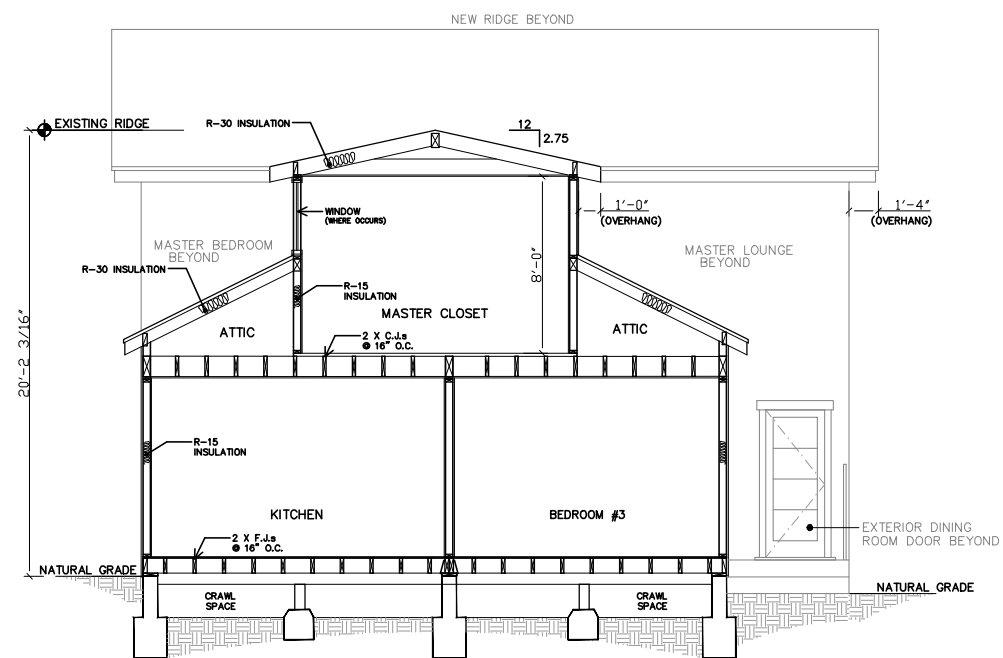
Date FEB 2022  
Scale 1/4" = 1'-0"  
Drawn TDK  
Job VOU-CANNON  
sheet 9  
A-7  
of 10 sheets



3 LONGITUDINAL SECTION C  
A-8 1/4" = 1'-0"



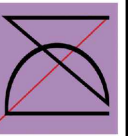
2 CROSS SECTION B  
A-B 1/4" = 1'-0"



1 CROSS SECTION A  
A-B 1/4" = 1'-0"

REVISIONS	DATE

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VOICANNON RESIDENCE  
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SOUTH PASADENA, CA 91030

LONGITUDINAL AND  
CROSS SECTIONS

Date MAR 2022  
Scale 1/4" = 1'-0"  
Drawn TDK  
Job VOICANNON  
sheet 10

A-8  
of 10 sheets