



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD
REGULAR MEETING AGENDA**

Thursday, September 2, 2021 at 6:30 p.m.

South Pasadena Design Review Board Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Design Review Board Meeting for September 2, 2021 will be conducted as an In-Person Hybrid Meeting from the Mayor's Conference Room, Amedee O. "Dick" Richards, Jr., located at 1424 Mission Street, South Pasadena and on Zoom. Please be advised that pursuant to the Executive Order(s), and to ensure the health and safety of the public, staff, and the Design Review Board, as the Mayor's Conference Room will be open to the public for the meeting and members of the public may attend and/or participate in the in-person meeting; all are kindly reminded to follow Los Angeles County Public Health and CDC regulations and guidelines that are in place and may be posted. The In-Person Hybrid meeting will be conducted live in the Mayor's Conference Room and on Zoom.

The Meeting will be available as follows:

- In Person: Mayor's Conference Room, 1424 Mission Street.
- See web link: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes> and
- Via Zoom:
<https://us06web.zoom.us/j/87366793969?pwd=Tmk5eXcrQzVKNE9sZmlyYzd2bWtUZz09>

Public Comments and participation may be made as follows:

- Written Comment submitted by no later than meeting day, 12:00 PM, deadline via the website.
- In Person Hybrid Meeting: Mayor's Conference Room, 1424 Mission Street.
- Via Zoom by "raising hand" (see Public Comment Section below for instructions.)

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the three methods below. 1. Go to the Zoom website and Join meeting 873 6679 3969, or 2. Click on the following unique Zoom meeting link: <https://us06web.zoom.us/j/87366793969?pwd=Tmk5eXcrQzVKNE9sZmlyYzd2bWtUZz09>

CALL TO ORDER:

Chair Samantha Hill

ROLL CALL:

Joe Carlson, Mark Smeaton, Kay Younger, Melissa Hon Tsai, Vice-Chair, and Samantha Hill, Chair

COUNCIL LIAISON:

Diana Mahmud, Mayor, Council Liaison

STAFF PRESENT: Malinda Lim, Associate Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT AND SUGGESTIONS (Public Comments are limited to 3 minutes)

The Design Review Board welcomes public input. If you would like to comment on an agenda item, members of the public may participate by means of one of the following options: Option 1: Participate in-person at the Mayor’s Conference Room. Option 2: Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item. Option 3: Email public comment(s) to PlanningComments@southpasadenaca.gov. Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate: 1) Name (optional), and 2) Agenda item you are submitting public comment on. 3) Submit by no later than 12:00 p.m., on the day of the Design Review Board meeting. NOTE: Pursuant to State law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC HEARING

- 1. **Project No. 2381-DRX – Design Review for a façade remodel and 508 square-foot addition to an existing 1,815 square-foot single-family home located at 1659 Via Del Rey (APN: 5310-001-058)**

Recommendation

Approve, subject to conditions of approval.

CONSENT ITEMS

None

DISCUSSION ITEMS

None

ADMINISTRATION

- 2. Comments from City Council Liaison
- 3. Comments from Board Members
- 4. Comments from Subcommittees
- 5. Comments from Staff

ADJOURNMENT

- 6. Adjourn to the regular Design Review Board meeting scheduled for October 7, 2021 at 6:30 p.m.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website. The meeting will be broadcast live on the City’s website via Zoom, and a recording of the meeting will be available on the website within 48 hours of adjournment.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk’s Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk’s Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.

8/26/21
Date

Elaine Serrano
Elaine Serrano,
Administrative Secretary



Design Review Board Agenda Report

ITEM NO. 1

DATE: September 2, 2021

FROM: Margaret Lin, Acting Planning Director

PREPARED BY: Malinda Lim, Associate Planner

SUBJECT: Project No. 2381-DRX – Design Review for a façade remodel and a 508 square-foot addition to the rear of a single-family home with an attached 2 car-garage at 1659 Via Del Rey (APN: 5310-001-058)

Recommendation

Staff recommends the Design Review Board approve the Design Review Permit, subject to conditions of approval.

Project Description

The applicant has requested a Design Review Permit to remodel an existing single-story, 1,815 square-foot home located at 1659 Via Del Rey. The project includes a façade remodel and a 508 square foot addition to the rear of the house. The proposed addition will provide another bedroom and will not be visible to the street. The proposed remodel includes:

- Replacement of asphalt shingle roof with a Mcelroy metal roof in slate gray;
- Removal of existing vertical panel siding and replaced with horizontal wood shiplap siding;
- Removal of existing stucco throughout the home and replaced with a smooth stucco finish over the entire building;
- Installation of new Fleetwood aluminum windows; and
- Stucco raised planter boxes in front of the house.

The project site is located on the north side of Via Del Rey between Indiana Avenue and Cam Cerrado and surrounded by single-family homes. **Figure 1** below is an aerial view of the project site outlined in green and **Figure 2** is a street view of the residence.

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1659 Via Del Rey
Project No. 2381-DRX

Figure 1: Aerial View of Project Site



Figure 2: Street View



PROJECT ANALYSIS

General Plan Consistency

The General Plan land use designation of the site is Altos De Monterey Residential which allows one single-family unit per lot. The proposed project does not involve the addition of another dwelling unit, and therefore, it is consistent with the General Plan.

The proposed project will promote Goal No. 19 of the General Plan as follows:

Goal 19: To ensure that new development within hillside areas of South Pasadena does not adversely impact the character of the city.

The proposed project is consistent with the General Plan, the Altos de Monterey Overlay standards, and the City’s adopted Design Guidelines for hillside sites.

The design and materials used on the addition and street facing facade upgrades the existing architectural style of the home. The proposed addition was designed in consideration of the character and scale of the existing single-family developments in the vicinity. The mass and scale of the proposed project is well proportioned due to the design, its respect of the topography, and it is consistent with recommended design techniques for new hillside structures in established residential neighborhoods, therefore, it is consistent with the General Plan.

Zoning Code Compliance

The project site is governed by the Altos De Monterey Overlay District (AM) which is intended for the development of single family homes with specific setbacks for each lot. The proposed project conforms to the development standards of the AM zone such as building height, floor area ratio (FAR), and setbacks.

Pursuant SPMC Division 36.340, the standards from the AM Overlay District Zoning Code Section 250.030 apply to the proposed project. **Table 1** below gives a breakdown of the existing and proposed property and its compliance with Section 250.030.

Table 1: AM Zone Development Standards

	Allowed/Required	Existing	Proposed
Setbacks (Each lot in this zone has its own specific setbacks)	Front: 25 feet Rear: 25 feet Sides: 5 feet	Front: 27 feet 5 inches Rear: 71 feet 8 inches Side (West): 15 feet 8 inches Side (East): 10 feet 3 inches	Front: No Change Rear: 71 feet 8 inches Sides: No Change
Maximum Height	25 feet	16 feet 10 inches	No Change
Lot Coverage	40%	12%	15%
Floor Area Ratio	0.35	0.12	0.15
Required Covered Parking	2 spaces	2 spaces, carport (existing)	No Change
Required Guest Parking	1 Uncovered	1 uncovered (existing)	No Change

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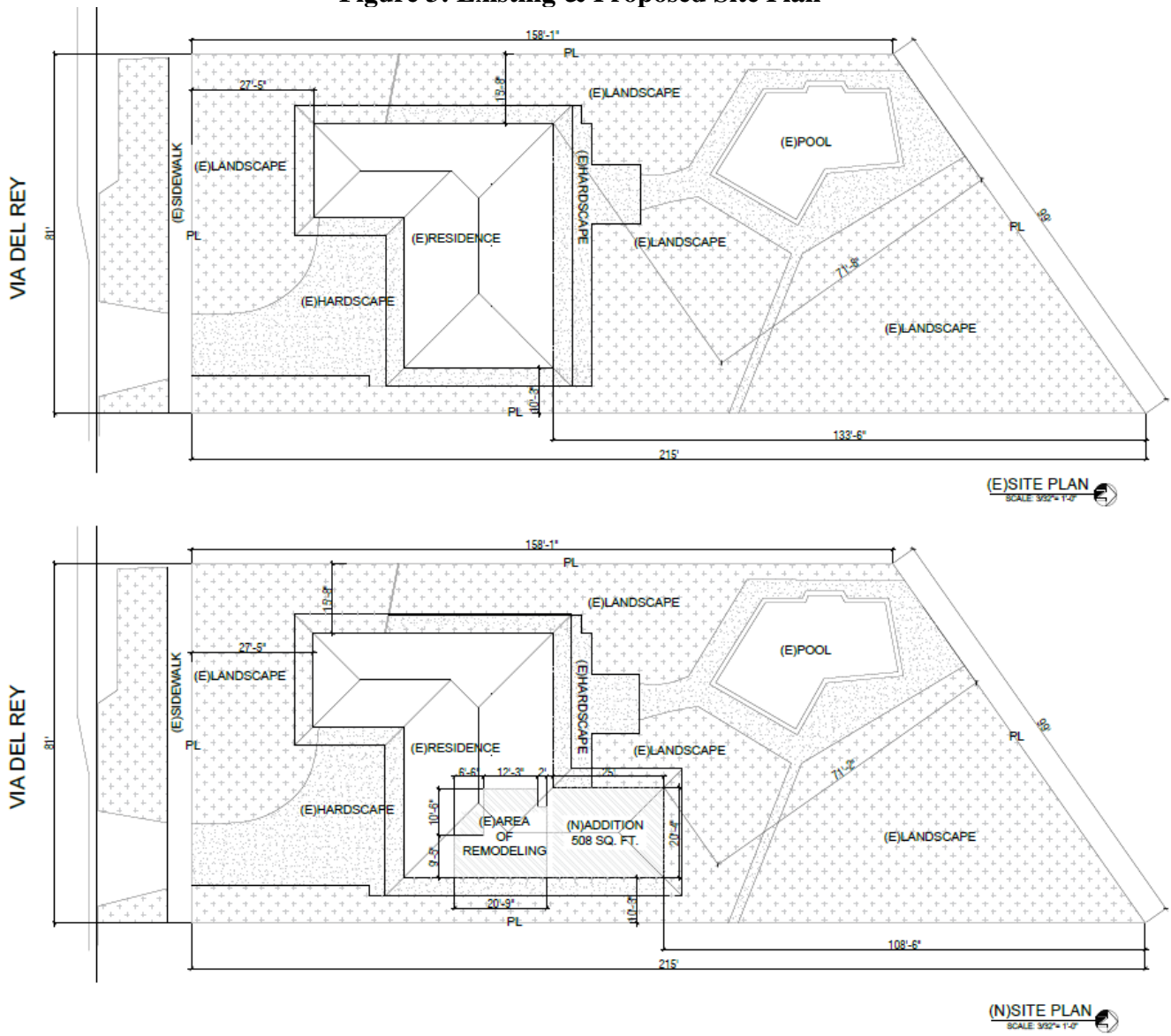
1659 Via Del Rey
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The design and size of the proposed addition is in compliance with South Pasadena Zoning Code Section 250.030AM Overlay District (see **Figure 3** below).

The existing character of the surrounding neighborhood consists of single-family residential; the proposed project does not change the use of a single family residence for the property. A small addition to the rear of the home will not be visible from the street and was designed to match the existing architecture.

The proposed project is located with sufficient surrounding clearance to avoid any potential impacts on neighboring properties. The mass and scale of the proposed project is well proportioned due to the design, its respect of the topography, and it is consistent with recommended design techniques for existing homes in established residential neighborhoods.

Figure 3: Existing & Proposed Site Plan



Residential Design Review

The purpose of Design Review is to encourage high-quality design and construction in the City. The Design Guidelines for Enhancing Existing Non-Historic Residences (Section III) applies to this property as it is a single-family residence. The goal of this section of the guidelines is to encourage compatible alterations that will not impair the visual cohesiveness of the neighborhood.

Façade Changes

Currently, the building is very monolithic in form and color (**Figure 2**). The project includes modifications to all elevations with the predominantly visible change to the front (south) elevation and side (east) elevations. All the existing wood siding will be removed; the entire exterior finish of the home will have a smooth stucco finish.

On the south (front) elevation, the proposed design involves the addition of horizontal shiplap siding to provide visual interest and to help break up the existing building plane. The shingle roof will be replaced with a metal roof in slate gray and the garage door will be replaced with a modern steel and glass roll up door (**Figure 8**). The small raised brick planter boxes will be stuccoed over near the front entry. In addition, all existing windows will be replaced with dual glazed aluminum windows.

The proposed smooth stucco exterior finish is used to harmonize with the surrounding neighborhood buildings (**Figure 7**). The design provides a variety of building materials, textures, and colors; consistent with façade treatments in the design guidelines for existing non-historic residences.

Figure 4: Existing & Proposed South Elevation (Front)



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Figure 5: Existing & Proposed West Elevation (Side)

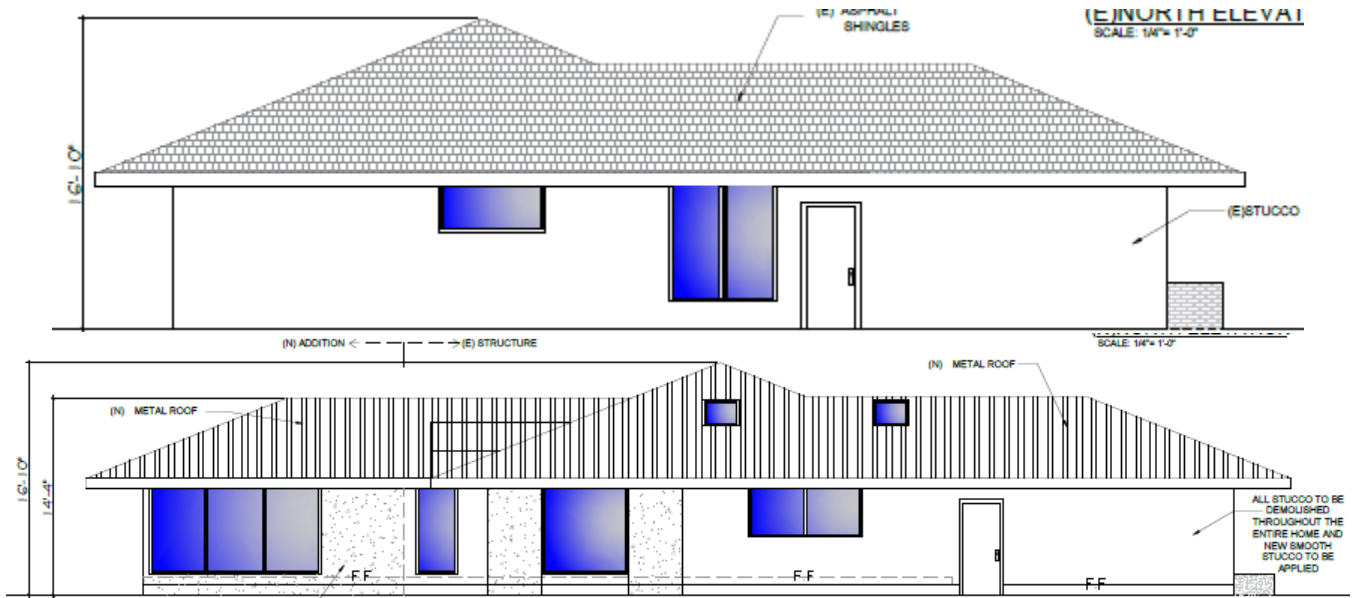
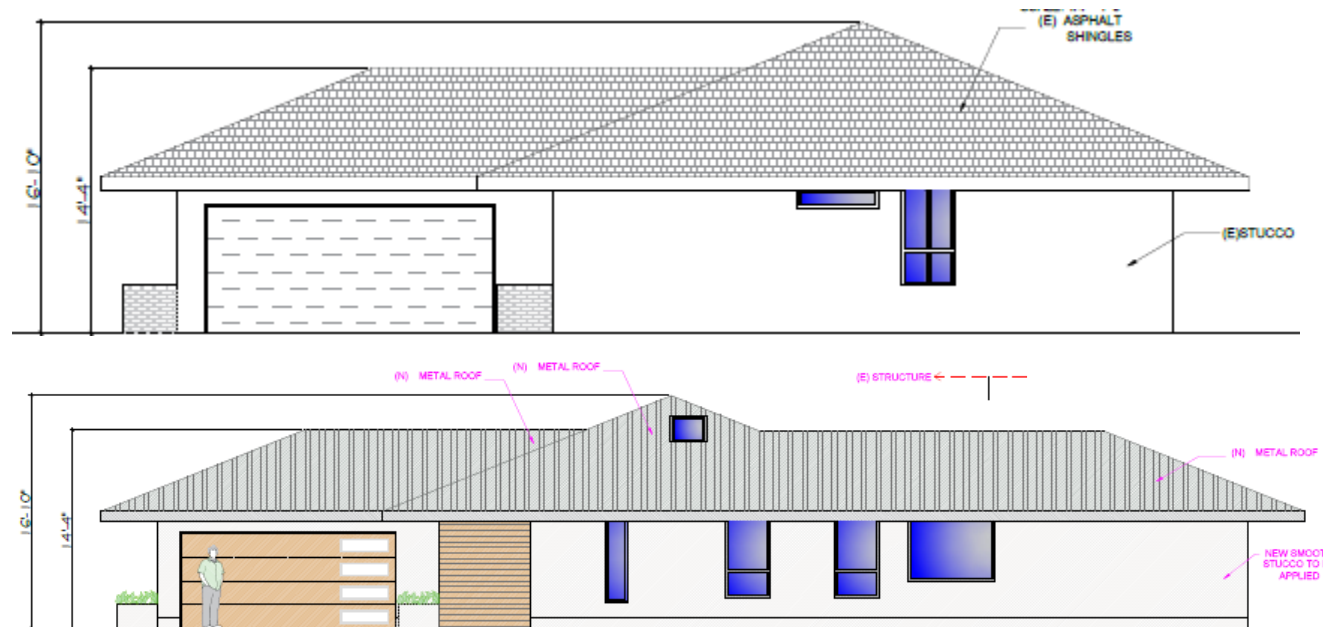


Figure 6: Existing & Proposed East Elevation (Side)



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Figure 7: Existing & Proposed North Elevation (Rear)

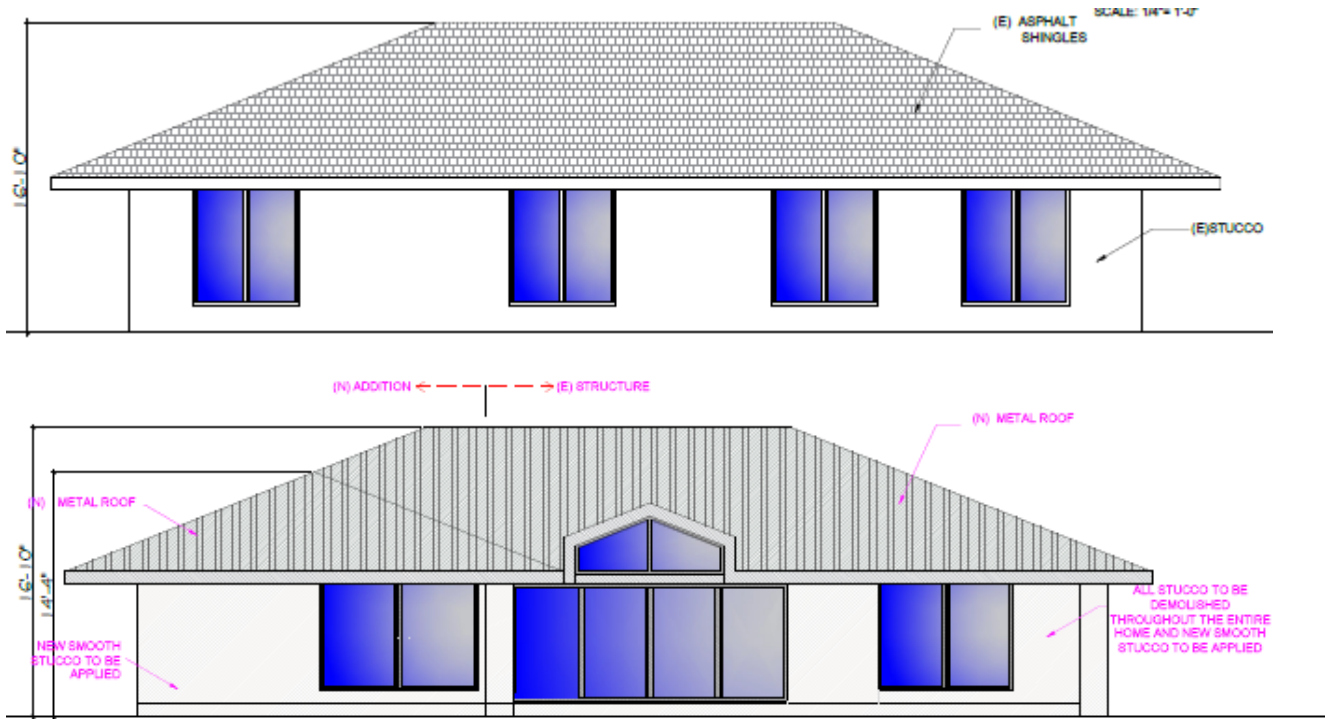


Figure 8: Renderings





Neighborhood Compatibility

The character of the surrounding neighborhood consists of single-family residential buildings designed in a mixture of architectural styles in single and two-story structures. In **Figure 9** below, photographs of the project site and the neighboring properties depict hip & gable roofs and wood panel & stucco walls. For the neighboring house, 1665 Via Del Rey west of the project site, it was approved for the removal of wood paneling with stucco.

The proposed project will remove the existing wood siding and provide a new stucco finish which is one of the primary exterior materials used on the surrounding homes. New architectural features such as an accent wall (featuring a color/design which stands out from the rest of the other walls around it), it helps to reduce the mass of the existing structure and provide visual interest. Overall, the proposed project will be compatible with the neighborhood.

Figure 9: Photos of Neighboring Properties





Required Design Review Findings

In order to approve a Design Review application, the DRB shall first find that the design complies with South Pasadena Municipal Code (SPMC) Section 36.410.040(I):

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The project site has a General Plan land use designation of Low Density Residential. The proposed home is consistent with the General Plan and the City's adopted Design Guidelines for new single-family residences. The proposed home was designed with consideration of the character of the existing single-family developments in the vicinity.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The proposed addition will accommodate single-family functions and activities proposed for the site. The remodeled home will be an adequate size and space for residential living. The proposed addition to the home meet required setbacks and height limits. The home will not interfere with the use and enjoyment of neighboring, existing, or future developments. The proposed home is sited on a currently developed lot and sits within a developed single-family residential neighborhood. Thus, the proposed project, as conditioned, will not impose adverse pedestrian or traffic hazards, nor will the proposed project interfere with the use and enjoyment of neighboring, existing or future developments.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The existing character of the surrounding neighborhood consists of single-family residential and includes a mix of one and two-story single-family homes of various architectural styles. The proposed remodel provides a more modern style. The material palette includes a smooth stucco finish, horizontal wood shiplap siding, metal seamless roof, and steel garage door. The overall design of the home will maintain an attractive, harmonious, and orderly development as contemplated by this Section, and the General Plan.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The new architectural details used will contribute to the visual continuity of the neighborhood. Thus, the new project would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

Required Altos De Monterey Findings

In order to approve a Design Review application, the DRB shall find that the design complies with South Pasadena Municipal Code (SPMC) Section 36.250.030(E) Altos de Monterey zone:

- 1. The scale of the proposed building, design, height and mass in relation to the street frontage, to all setbacks and surrounding existing property;**
The proposed addition is to the rear of the house which will not be visible from the street and it meets all the development standards for the Altos de Monterey zone.
- 2. The relation of existing adjoining building heights and their views;**
The existing single-story and single-family home sits on the flatter portion of a upslope lot therefore it does block neighboring views.
- 3. The relation of proposed building heights to the exiting topography;**
The proposed addition is a single-story and the height does not exceed the existing height of the house.
- 4. The impact on surrounding properties;**

The proposed addition will accommodate single-family functions and activities proposed for the site. The remodeled home will be an adequate size and space for residential living. The proposed addition to the home meet required setbacks and height limits. The home will not interfere with the use and enjoyment of neighboring, existing, or future developments. The proposed home is sited on a currently developed lot and sits within a developed single-family residential neighborhood. Thus, the proposed project, as conditioned, will not impose adverse pedestrian or traffic hazards, nor will the proposed project interfere with the use and enjoyment of neighboring, existing or future developments.

5. The obstruction of sunlight to the existing adjoining residences.

The home is situated at the lowest portion of an upslope property and is a single-story home with the highest point at 16 feet 10 inches. The proposed addition is a single-story and the height does not exceed the existing height of the house. Therefore the proposed project will not obstruct sunlight to adjoining residences.

Staff recommends that the Design Review Board make the findings for approval for Design Review and the Altos de Monterey zone guidelines as described, pursuant to South Pasadena Municipal Code Section 36.410.040(I) and 36.250.030(E).

Alternatives to Consider

If the Board does not agree with staff's recommendation, the following options are available:

1. The Design Review Board can Approve with condition(s) added; or
2. The Design Review Board can Continue the project to address comments discussed; or
3. The Design Review Board can Deny the project.

Next Steps

1. If approved, either conditionally or as submitted, the applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
2. If denied, the Design Review Board's decision can be appealed by the applicant to the Planning Commission.

Fiscal Impact

Not Applicable.

Environmental Analysis

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities. Class 1 exemption includes additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition. The proposed project involves the remodel of a single-family residence within an established residential neighborhood; therefore the project is categorically exempt.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion in the publicly noticed agenda and posting of the same agenda and reports on the City's website. A notice

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was published in the *South Pasadena Review* on August 20, 2021, and said notice was mailed to property owners within a 300-foot radius of the project site on August 19, 2021.

Attachments

1. Conditions of Approval
2. Renderings
3. Development Plans

ITEM NO. 1

ATTACHMENT 1
Conditions of Approval

CONDITIONS OF APPROVAL

Design Review

PROJECT NO. 2381 – DRX
1659 Via Del Rey (APN: 5310-001-058)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on September 2, 2021:

Design Review for a façade remodel and a 508 square-foot addition to the rear of an existing 1,815 square-foot single-family home.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review and Hillside Development Permit.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this use.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- P7. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. All material excavated or graded shall be sufficiently watered to prevent excessive

- amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
- b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

BUILDING AND SAFETY DIVISION:

- B1. Prior to the application of a building or grading permit, a preliminary Geotechnical report that specifically identifies and proposes mitigation measures for any soils or geological problems that may affect site stability or structural integrity shall be approved by the Building Official or his/her designee. The applicant shall reimburse the City for all costs incurred to have the project soils report evaluated by Building Official or his/her designee or by an independent, third-party, peer-level soils and /or geological engineer. Approval letter of the geotechnical report review shall be copied and pasted on the first sheet of building and grading plans.
- B2. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B3. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- B4. School Development Fees shall be paid to the School District prior to the issuance of a building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B8. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B9. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;

- d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B10. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B11. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B12. Project shall comply with the CalGreen Residential mandatory requirements.
- B13. If required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250 pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.

DEPARTMENT OF PUBLIC WORKS:

- PW1 The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2 The applicant shall provide a copy of a current Title Report (within the last 60 days). The applicant shall show all easements per the Title Report to the satisfaction of the Public Works Department. Any conflict with existing easements resulting in the site being redesigned potentially requires a minor change or amendment approval by Planning Commission.
- PW3 The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to the issuance of permits.
- PW4 The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW5 Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.

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Conditions of Approval

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- PW6 Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW7 Provide civil plans that show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- PW8 The applicant shall provide civil plans showing the existing grade, location, and dimensions of all existing and proposed conditions within public right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- PW9 The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway fronting the property on Rollin Street to the satisfaction of the City Engineer per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW10 The applicant shall grind and repave the existing asphalt street fronting the property from the face of curb to the center of the street to a minimum depth of 1". Asphalt shall be C2 PG 70-10 and shall conform to the current edition of the Standard Specifications for Public Works Construction (SSPWC). All pre-existing pavement markings and traffic striping shall be restored in accordance to the latest editions of the California Manual on Uniform Traffic Control Devices (CA MUTCD), Caltrans standards, and to the satisfaction of the City Engineer. The applicant shall verify the actual limits of paving with the Public Works Department depending on the condition of the existing pavement adjacent to the property.
- PW11 The proposed building structure shall not be constructed within critical root zone area. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- PW12 No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW13 Temporary bins (low boy) will be "roll off" style to be provided by Athens Services. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- PW14 The applicant shall obtain oversize/overload permits from the Public Works Department for equipment used during the stages of construction, including, but not limited to: clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- PW15 Show all existing and proposed trees (including parkway trees), including size and species, and indicate their disposition. The applicant shall show methods of protecting existing onsite and on the parkway trees during construction on the plans. The applicant shall submit an arborist report for all trees (including parkway trees) at project completion to the City, demonstrating that all protection methods were followed and document the tree disposition after construction.

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- PW16 Tree removals associated with development shall only be conditionally approved subject to the applicant receiving their development building permit, paying all fees associated with the tree removal as established by resolution of the city council, and paying a deposit in the amount of \$720 for the 2 replacement trees. Upon the planning review authority's approval of the development application and satisfaction of all conditions of approval, and payment of all required fees, the applicant shall be issued a tree removal permit.
- PW17 Replacement trees shall be planted per SPMC section 34.12-5 (b). The applicant is required to plant 1 replacement trees based on the trees proposed for removal. The South Pasadena Public Works Department shall inspect the replacement trees before being planted.
- PW18 Upon the applicant's proof to the city's satisfaction that the applicant has complied with the approved tree replacement plan, the city shall reimburse the applicant's replacement tree deposit. Should the applicant fail to plant any replacement trees per the approved replacement tree plan, the city shall retain the amount of the replacement tree deposit necessary to cover the cost to plant any required replacement trees in alternative locations within the city (public right-of-way, park, etc.), as permitted by SPMC chapter 34.
- PW19 No trees shall be removed from the site until Tree Removal Permits are issued.

Fire Department

The project shall comply with all current adopted California Building, Fire Codes, NFPA, and SPFD standard requirements based on occupancy classification.

ITEM NO. 1

ATTACHMENT 2

Renderings







ITEM NO. 1

ATTACHMENT 3
Development Plans



SUSAN & TOM WU RESIDENCE ADDITION

ABBREVIATIONS

© & L	COPYRIGHT AND ANGLE	GND. GYP. BD.	GROUND GYPSUM BOARD	T.C. TEL. TER. T. & G.	TOP OF CURB TELEPHONE TERRAZZO TONGUE AND GROOVE THK. THK. TRUSS JOIST
⊙	CENTERLINE DIAMETER OR ROUND CHANNEL POUND OR NUMBER	H.B. H.C. HDCP., H.C. HDWE. H.F.S. HGT. OR H. H.M. HORIZ. H.P. HR. H.S. HVAC	HOSE BIBB HOLLOW CORE HANDICAP HARDWOOD HARDWARE HALF FULL SIZE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HALF SIZE HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCLUDING INFORMATION INSULATION INTERIOR	T.P. T.S. T.V. T.W. TYP.	TOP OF PARAPET TOP OF SHEATHING TOP OF PAVEMENT TOP OF SLAB TELEVISION TOP OF WALL TYPICAL
A.B. A.C. A.D. ADJ. A.F.F. AGGR. ALUM., AL. APPROX. ARCH. ASPH.	ANCHOR BOLT AIR CONDITIONING ACUST. AREA DRAIN ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASPHALT	I.D. INCL. INFO. INSUL. INT. JAN. JANITOR JOINT. KIT. KITCHEN	INSIDE DIAMETER INCLUDING INFORMATION INSULATION INTERIOR JANITOR JOINT KITCHEN	U/C UNF. U/S U.N.O.	UNDER CUT(DOOR) UNFINISHED UNDERSIDE UNLESS NOTED OTHERWISE
BD. BITUM. BLDG. BLK. BLK'G BM. BOT. BTWN.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOTTOM BETWEEN	LAB. LAM. LAV. L.F. LT. MAT'L MAX. MECH. MEMBR. MET. MFR. MIN. MIR. MISC. M.O. MTD. MUL.	LABORATORY LAMINATE LAVATORY LOW POINT LIGHT MATERIAL MAXIMUM MECHANICAL MEMBRANE METAL MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOUNTED MULLION	V. VERT. VEST. V.I.F. WASH. W. W.C. W.H. W.I. W.I.C. W/O W.P. W.R. WSCOT. WT. W.W.M. WED. WIRE MESH F.B. F.D. F.E. F.E.C. F.H. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.M. F.O.S. FOUND. FPRF. F.S. FT. FTG. FURR. FUT. GA. GALV. G.B. G.I. GL.	VOLT VERTICAL VESTIBULE VERIFY IN FIELD WASHER WITH WATER CLOSET WOOD WATER HEATER WROUGHT IRON WALK IN CLOSET WITHOUT WATERPROOFING WATER RESISTANT WAINSCOT WEIGHT WEDGED WIRE MESH FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FULL HEIGHT FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUDS FOUNDATION FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE GAUGE GALVANIZED GRAB BAR GALVANIZED IRON GLASS OR GLAZING
CAB. C.B. CEM. CER. C.I. CLG. CLKG. CLO. CLR. CNTR. COL. CONC. CONN. CONSTR. CONT. CORR. CTR. CTSK. C.J.	CABINET CATCH BASIN CEMENT CERAMIC CAST IRON CEILING CAULKING CLOSET CLEAR COUNTER COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR CENTER COUNTERS/SUNK CONTROL JOINT	N. N/A N.I.C. NO. OR # NOM. N.T.S. O.A. O.C. O.D. OFF. OPNG. OPP. O/ S.D.	NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER OR OVERFLOW DRAIN OFFICE OPENING OPPOSITE OVER SMOKE DETECTOR		
D. DBL. DEPT. DET. D.F. DIA. DIM. DISP. DN. D.O. DIR. DRY. DS. D.S.P. D.WASH. DWR. DWG.	DRYER DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRYER DOWNSPOUT DRY STAND PIPE DISH WASHER DRAWER DRAWING				

SYMBOLS & LEGENDS

2 GRID LINES

2 DESIGNATION DRAWING OR DETAIL

2 ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN

2 SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN

2 DETAIL CALL-OUT DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN

KITCHEN 102 ROOM IDENTIFICATION ROOM NAME ROOM NUMBER

5 DOOR NUMBER

5 WINDOW NUMBER

2 DESIGNATION NOTES & KEYNOTES

3 REVISION

● MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED

● POINT, DATUM POINT WORK POINT, CONTROL

⊕ DUPLEX ELECTRICAL OUTLET @+15"A.F.F.

⊖ TELEPHONE OUTLET @+15"A.F.F.

⊕ COMPUTER CRT/DATA OUTLET @+15"A.F.F.

GFCI GROUND FAULT CIRCUIT-INTERRUPTER SEE NOTE 1/X SHEET G-1.2

2'x4' FLUORESCENT LIGHTING FIXTURE

○ INCANDESCENT LIGHT FIXTURE-SHANDELIERE

○ RECESSED CEILING MOUNTED LIGHT FIXTURE

○ INCANDESCENT WALL MOUNTED LIGHT FIXTURE

—|—| FLUORESCENT STRIP LIGHT FIXTURE

—|—| TRACK LIGHTING

⊙ FAN EXHAUST W/MINIMUM 5 AIR CHANGES PER HOUR

⊙ FLUSH MOUNTED SPEAKER

⊕ WALL SWITCH @+48"A.F.F.:

⊖ DIMMER SWITCH @+48"A.F.F.

⊕ THERMOSTAT @+48"A.F.F.

⊕ PROJECT NORTH AND TRUE NORTH

⊕ PROJECT NORTH

⊕ s.d. SMOKE DETECTOR/CARBON MONO COMBO power wire with battery backup

MATERIAL SYMBOLS & LINEWORK

▬ CONCRETE BLOCK WALL

▬▬▬ 1-HR RATED WD. STUD WALL WITH INSULATION

▬▬▬ 2-HR RATED WD. STUD WALL WITH INSULATION

▬▬▬ EXISTING WOOD STUD WALL

▬▬▬ EXISTING WOOD STUD WALL

▬▬▬ EXISTING STRUCTURE TO BE DEMOLISHED

▬▬▬ NEW 2x WOOD STUD WALL

▬▬▬ IN-FILL OPENING W/2x4 @ 16"o.c. WOOD STUDS

▬▬▬ REFERENCE LINE AND ARROW

▬▬▬ PROPERTY LINE

▬▬▬ TO BREAK CONTINUITY

▬▬▬ FINISH GRADE LINE (ELEVATION)

▬▬▬ NATURAL GRADE LINE (ELEVATION) WORK ABOVE, BELOW OR BEYOND

▬▬▬ GRADE OR EARTH (SECTION)

▬▬▬ GLASS (WINDOW OR WALL)

▬▬▬ RIGID INSULATION

▬▬▬ BATT INSULATION

▬▬▬ CERAMIC TILE

▬▬▬ WROUGHT IRON FENCE

▬▬▬ CENTER LINE ELEVATION, FLOOR LINE PROJECTED LINE

▬▬▬ DIMENSION LINE

▬▬▬ BORDER FOR REVISED AREA OR BLOWN UP AREA

▬▬▬ OUTLINE, SILHOUETTE, ETC.

BUILDING STATISTICS:

LOT SIZES:	RECTANGULAR
LOT AREA:	15,147 SQ. FT.
EXIST. DWELLING AREA:	1,815 SQ. FT.
EXIST. LOT COVERAGE:	12%
PROPOSED ADDITION:	508 SQ. FT.
NEW DWELLING AREA:	2,323 SQ. FT.
NEW LOT COVERAGE:	15%
ZONING:	AM
GENERAL PLAN LAND USE:	Residential

SCOPE OF WORK

1. ADDITION TO EXISTING 1 STORY SINGLE FAMILY HOME. ADDING MASTER BEDROOM, MASTER BATHROOM AND WIC ROOM. TOTAL ADDITION AREA: 508 SQ. FT. AND INTERNAL REMODEL. REPLACE ALL WINDOWS WITH FLEETWOOD WINDOWS&DOORS 530T SERIES.

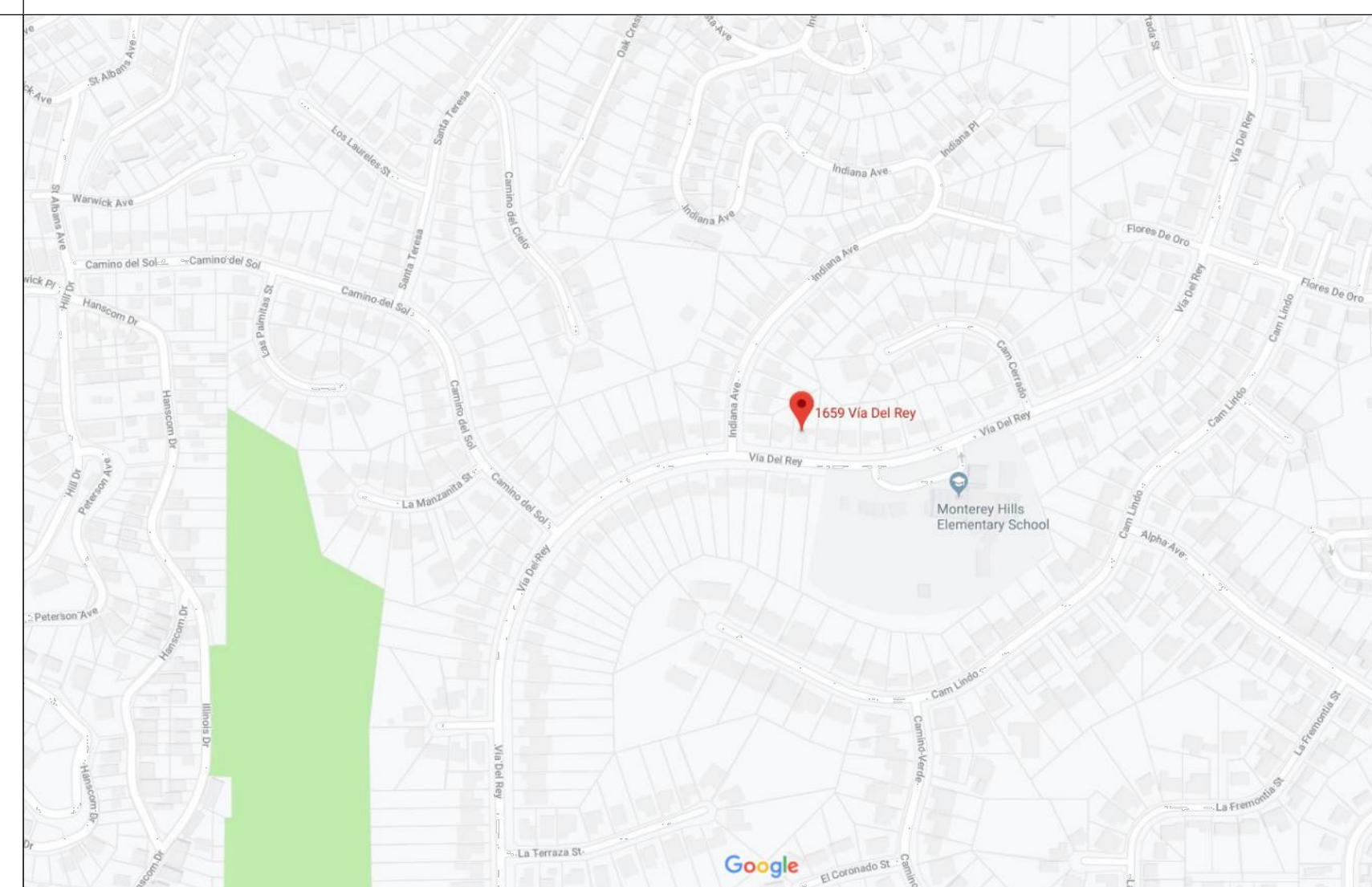
REQUIRED, EXISTING, AND PROPOSED DEVELOPMENT STANDARDS

Standard	Required	Existing	Proposed
FAR	0.35(max)	0.12	0.15
BUILDING HEIGHT	25'-00"(max)	16'-10"	16'-10"
FRONT YARD SET BACK	25'(min)	27'-5"	27'-5"
EAST SIDE YARD SET BACK	5'(min)	10'-3"	10'-3"
WEST SIDE YARD SET BACK	5'(min)	15'-8"	15'-8"
REAR YARD SET BACK	25'(min)	71'-8"	71'-2"
LOT COVERAGE	40%(max)	12%	15%

CONSULTANT LIST

DESIGNER: ARGIES WEST, INC. 31220 LA BAYA DR. UNIT 113 WESTLAKE VILLAGE, CA 91362 PHONE (818)825-6826	ENGINEER: SAMI MAALOUF 15445 VENTURA BLVD SHERMAN OAKS, CA 91406 PHONE: (818) 402-4485
--	---

VICINITY MAP



CONTACT AND OWNER INFORMATION:
Susan and Tom Wu
1659 Via Del Rey
South Pasadena CA, 91030
Tel.# +1(617) 418-1046

LEGAL DESCRIPTION:
ADDRESS: 1659 Via Del Rey, S Pasadena, CA 91030-4125
ZONE: AM
ASSESSOR ID NUMBER: 5310-001-058
LOT: 571
MAP #: M B 713-51-77
GEN. PLAN: *** *

THIS PROJECT SHALL COMPLY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24 WHICH ADOPTS THE UMC, 2016 UPC AND THE 2016 NEC.

EPOXY SIMPSON TIE
ICBO#4945 - LARR#25185
ET-22 SPECIAL INSPECTION REQUIRED

DRAINAGE OF THE PROPERTY SHALL BE: MIN 2% AWAY FROM THE STRUCTURE FOR HARDSCAPE OR MIN. 5% AWAY FROM STRUCTURE FOR LANDSCAPE AND MIN 2% TO THE PUBLIC WAY OR NATURAL EXISTING UNALTERED PATH BY WAY OF DRAINAGE SWALE.

BUILDING CODES

PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING RESIDENTIAL CODE, WHICH ADOPTS THE 2020 IRC, 2020 UMC, 2020 UPC, AND THE 2020 NEC. SECTION R106.1

INDEX

GENERAL

A-0 COVER SHEET AND VICINITY PLAN

ARCHITECTURAL

A-1 SITE PLAN

A-2 EXISTING FIRST FLOOR/ROOF PLAN

A-3 EXISTING ELEVATIONS

A-4 PROPOSED FIRST FLOOR/SECTIONS

A-5 PROPOSED ROOF PLAN

A-6 PROPOSED ELEVATIONS

A-6.1 COLOR ELEVATIONS

A-7 GREEN NOTES

STRUCTURAL

ISSUED FOR:

DESIGN DEVELOPMENT

PROGRESS

BIDDING

PERMIT

CONSTRUCTION DOCUMENT

CLIENT

REVISION

DATE

PROPOSED SECTIONS

SUSAN & TOM WU RESIDENCE ADDITION
Susan and Tom Wu
1659 VIA DEL REY
S PASADENA CA 91030

SHEET FILE

DATE: 6-25-19

DRAWN BY: VT/DD

PERMIT #:

CHECKED:

PROJECT NO:

A-0
OF 9 SHEETS

ISSUED FOR:

<input checked="" type="checkbox"/>	DESIGN DEVELOPMENT	%
<input type="checkbox"/>	PROGRESS	%
<input type="checkbox"/>	BIDDING	%
<input type="checkbox"/>	PERMIT	%
<input type="checkbox"/>	CONSTRUCTION DOCUMENT	%
<input type="checkbox"/>	CLIENT	%

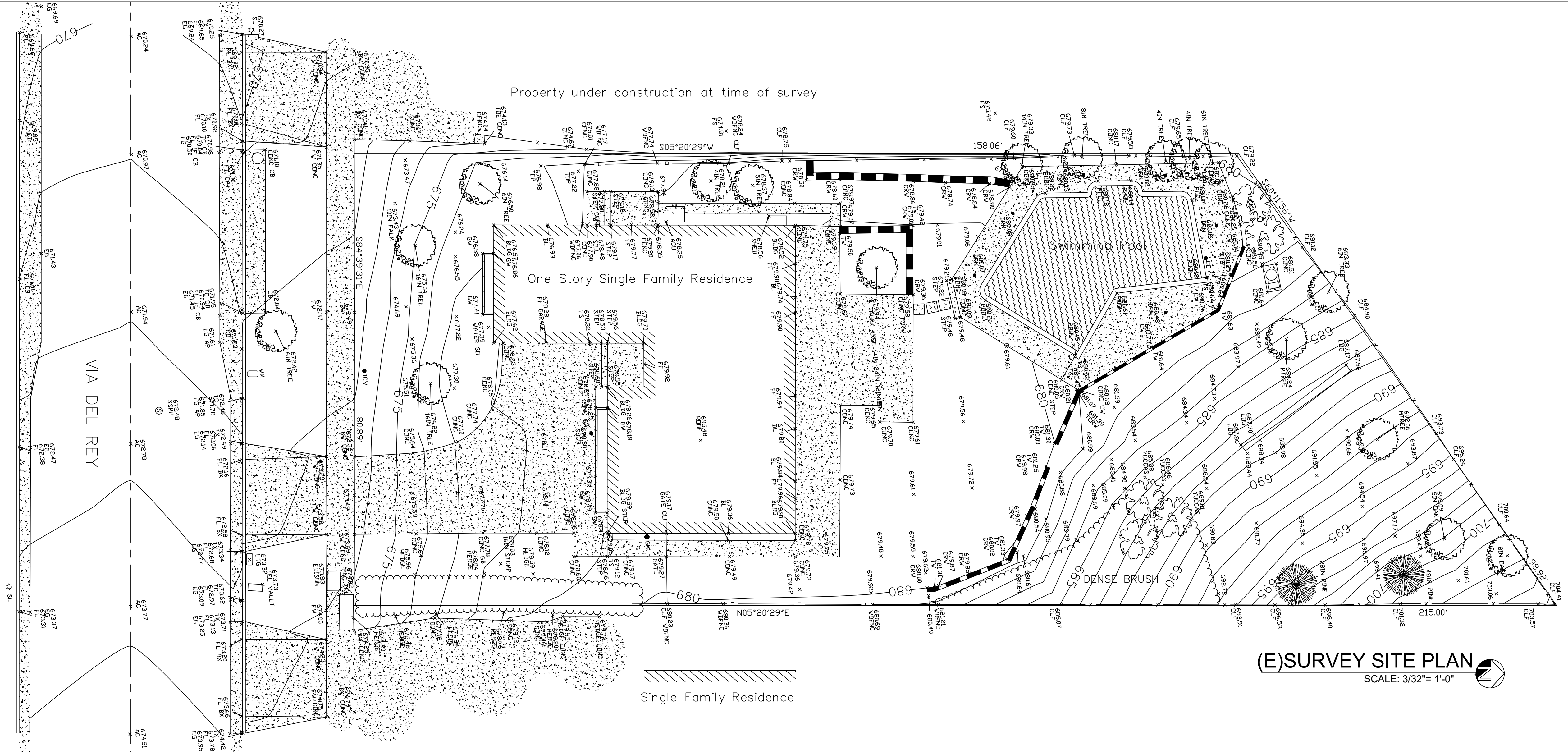
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SURVEY SITE PLAN

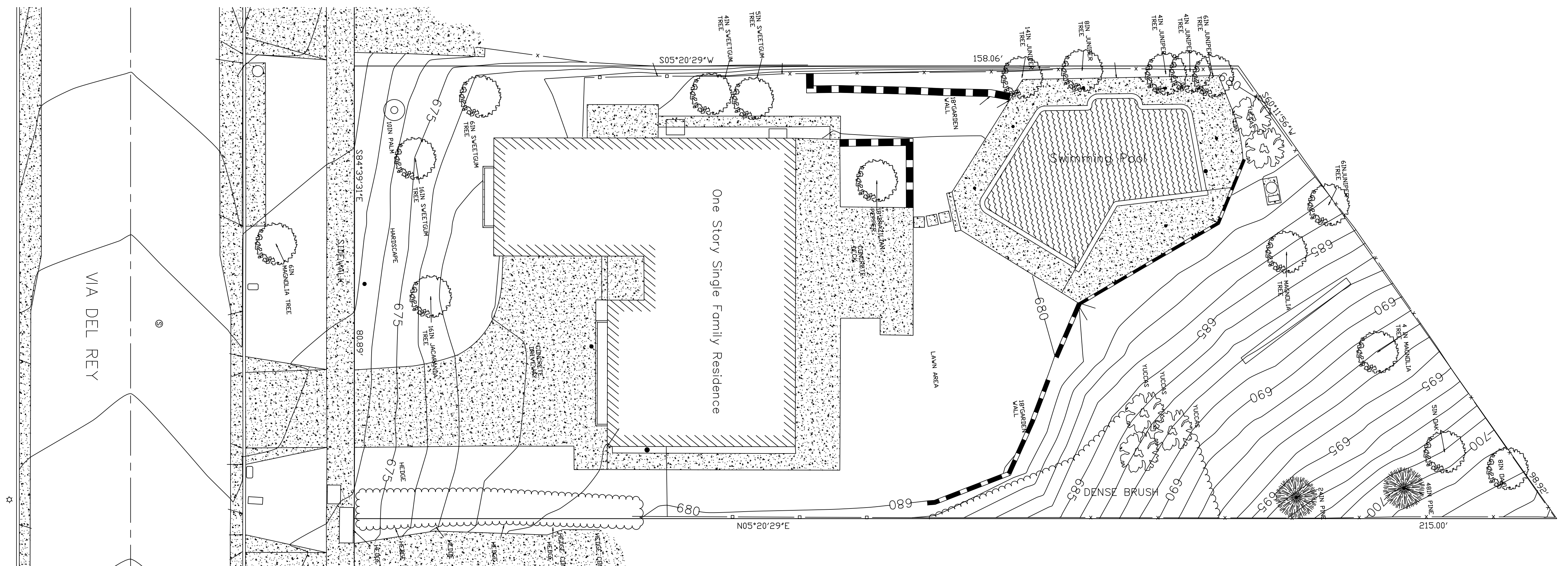
SUSAN & TOM WU RESIDENCE ADDITION
 Susan and Tom Wu
 1659 VIA DEL REY
 S PASADENA CA 91030

SHEET FILE: _____
 DATE: 7-03-19
 DRAWN BY: VT/DD
 PERMIT #: _____
 CHECKED: _____
 PROJECT NO: _____

A-1.1
 OF 9 SHEETS

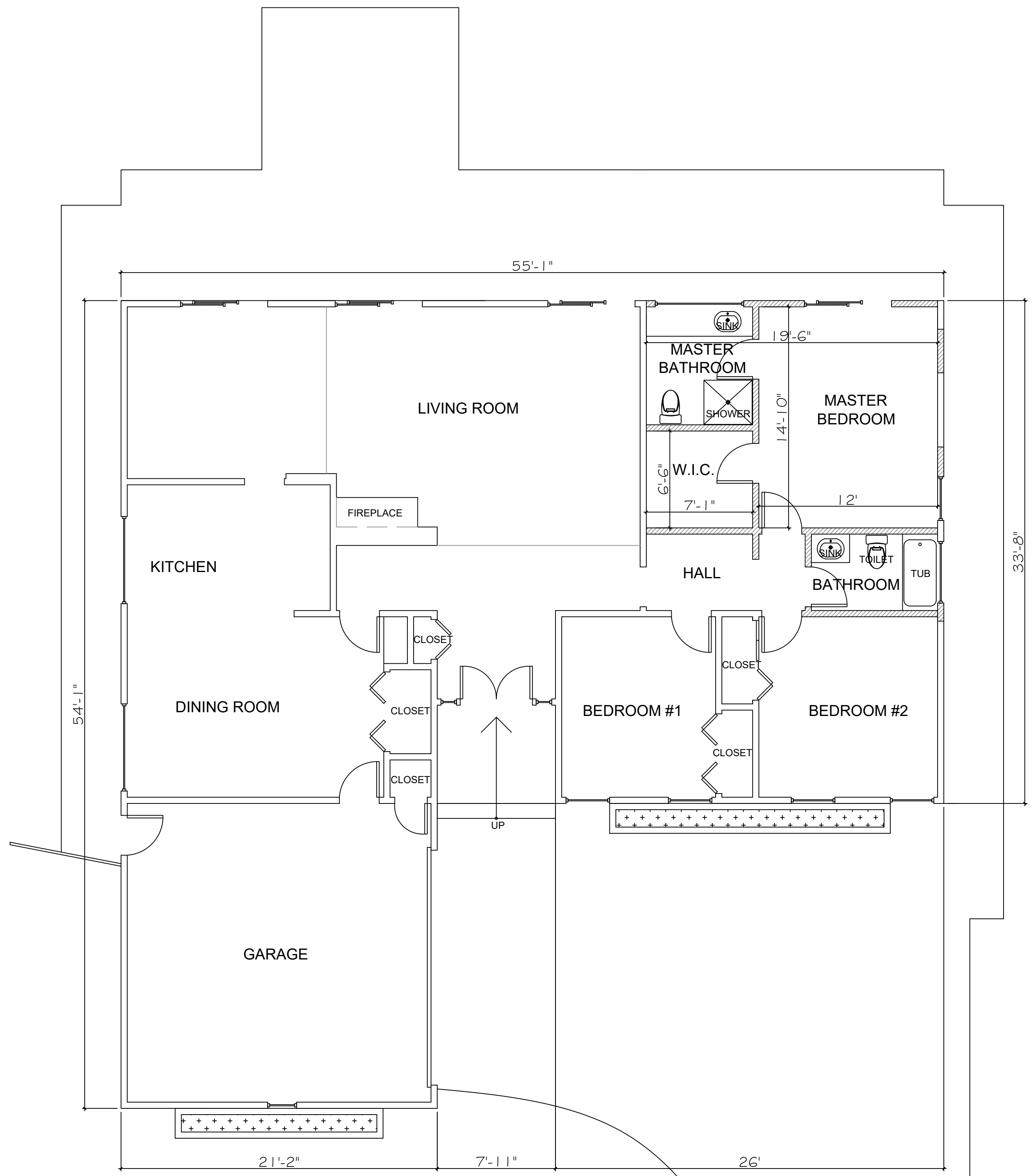


(E)SURVEY SITE PLAN
 SCALE: 3/32"= 1'-0"

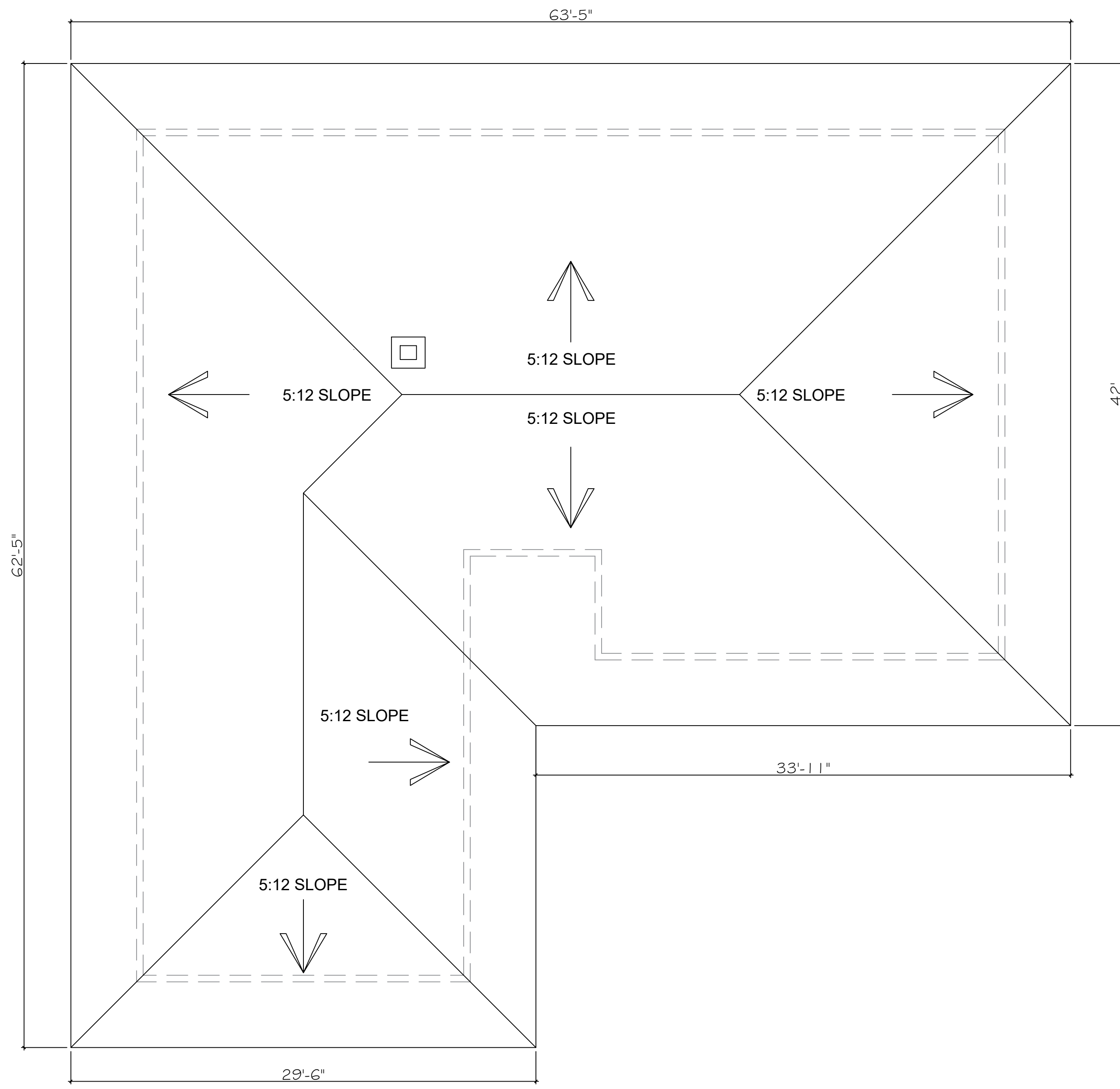


(E)LANDSCAPING PLAN
 SCALE: 3/32"= 1'-0"

NOTES: ALL EXISTING TREES TO REMAIN
 NO NEW TREES OR LANDSCAPE ADDING



(E)EXISTING FLOOR PLAN
 SCALE: 3/16" = 1'-0"



(E)EXISTING ROOF PLAN
 SCALE: 3/16" = 1'-0"

ISSUED FOR:

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<input type="checkbox"/>	PROGRESS %
<input type="checkbox"/>	BRIDGING
<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	CONSTRUCTION DOCUMENT
<input type="checkbox"/>	CLIENT

DATE	REVISION

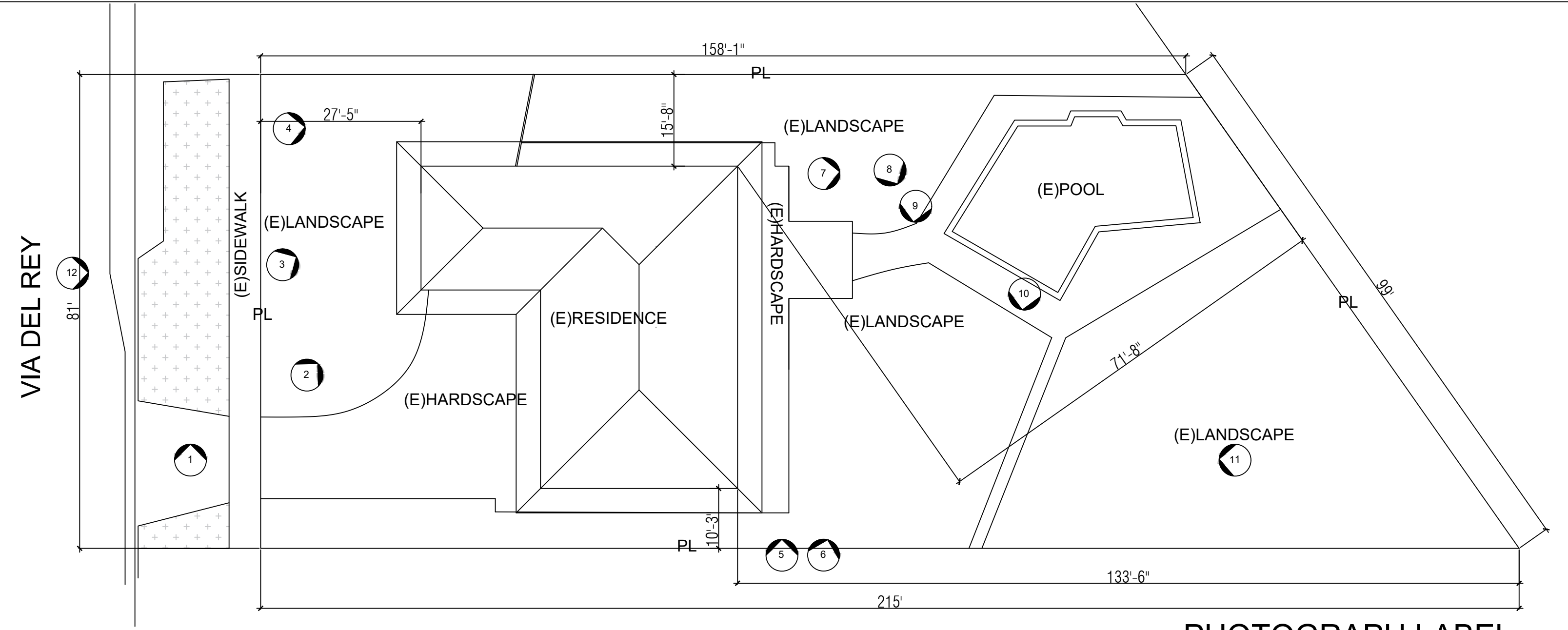
EXISTING FLOOR/ROOF PLAN

SUSAN & TOM WU RESIDENCE ADDITION
 Susan and Tom Wu
 1659 VIA DEL REY
 S PASADENA CA 91030

SHEET FILE: A-2

DATE: 7-03-19
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 PROJECT NO:

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 OF 9 SHEETS



1

2

PHOTOGRAPH LABEL
SCALE: 1/16"= 1'-0"



3

4

5

6

7



8

9

10

11

12

SEAL

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- BIDDING
- PERMIT
- CONSTRUCTION DOCUMENT
- CLIENT

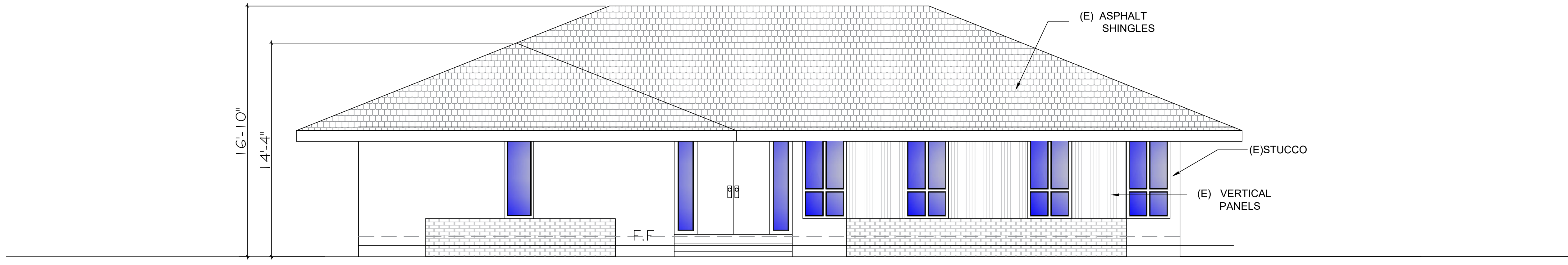
REVISION	DATE

PHOTOGRAPHS AND LABELED SITE PLAN

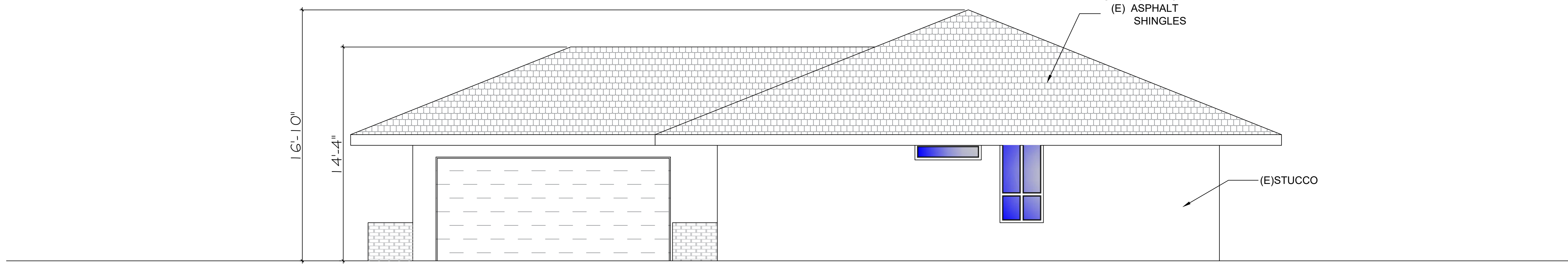
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Susan and Tom Wu
1659 VIA DEL REY
S PASADENA CA 91030

DATE: 7-03-19
DRAWN BY: VT/DD
PERMIT #:
CHECKED:
PROJECT NO.:

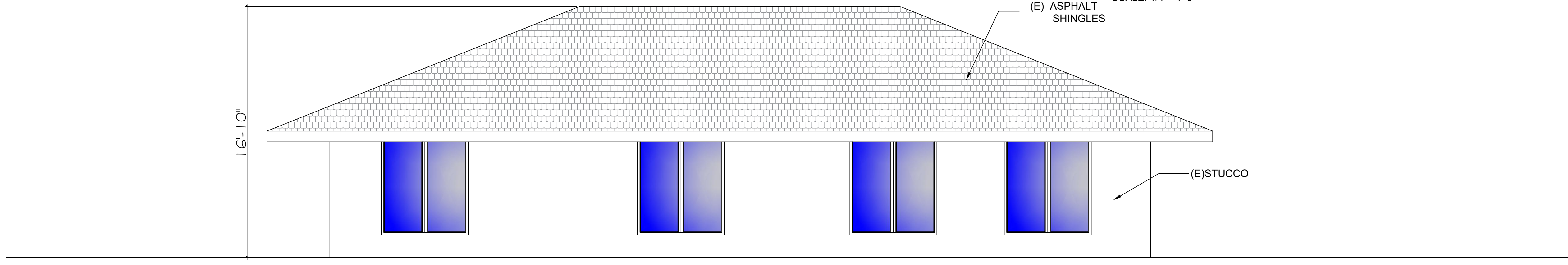
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OF 9 SHEETS



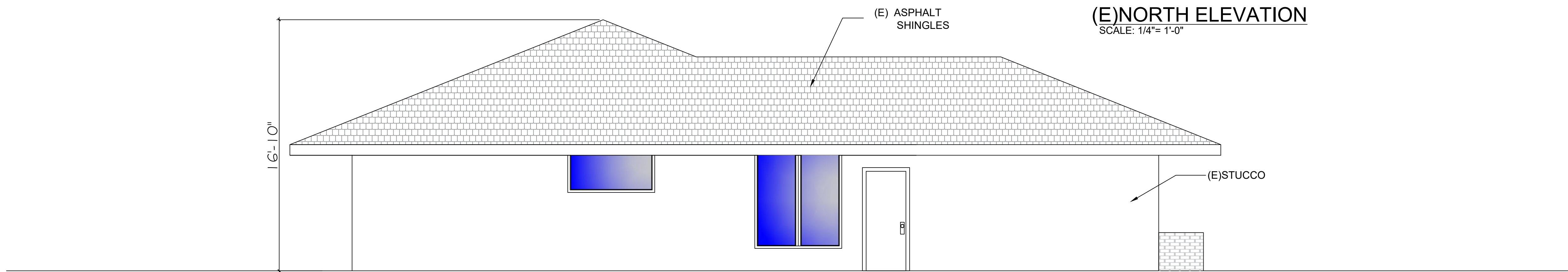
(E) SOUTH ELEVATION
 SCALE: 1/4"= 1'-0"



(E) EAST ELEVATION
 SCALE: 1/4"= 1'-0"



(E) WEST ELEVATION
 SCALE: 1/4"= 1'-0"



(E) NORTH ELEVATION
 SCALE: 1/4"= 1'-0"

ISSUED FOR:

<input checked="" type="checkbox"/>	DESIGN DEVELOPMENT	%
<input type="checkbox"/>	PROGRESS	%
<input type="checkbox"/>	BIDDING	%
<input type="checkbox"/>	PERMIT	%
<input type="checkbox"/>	CONSTRUCTION DOCUMENT	%
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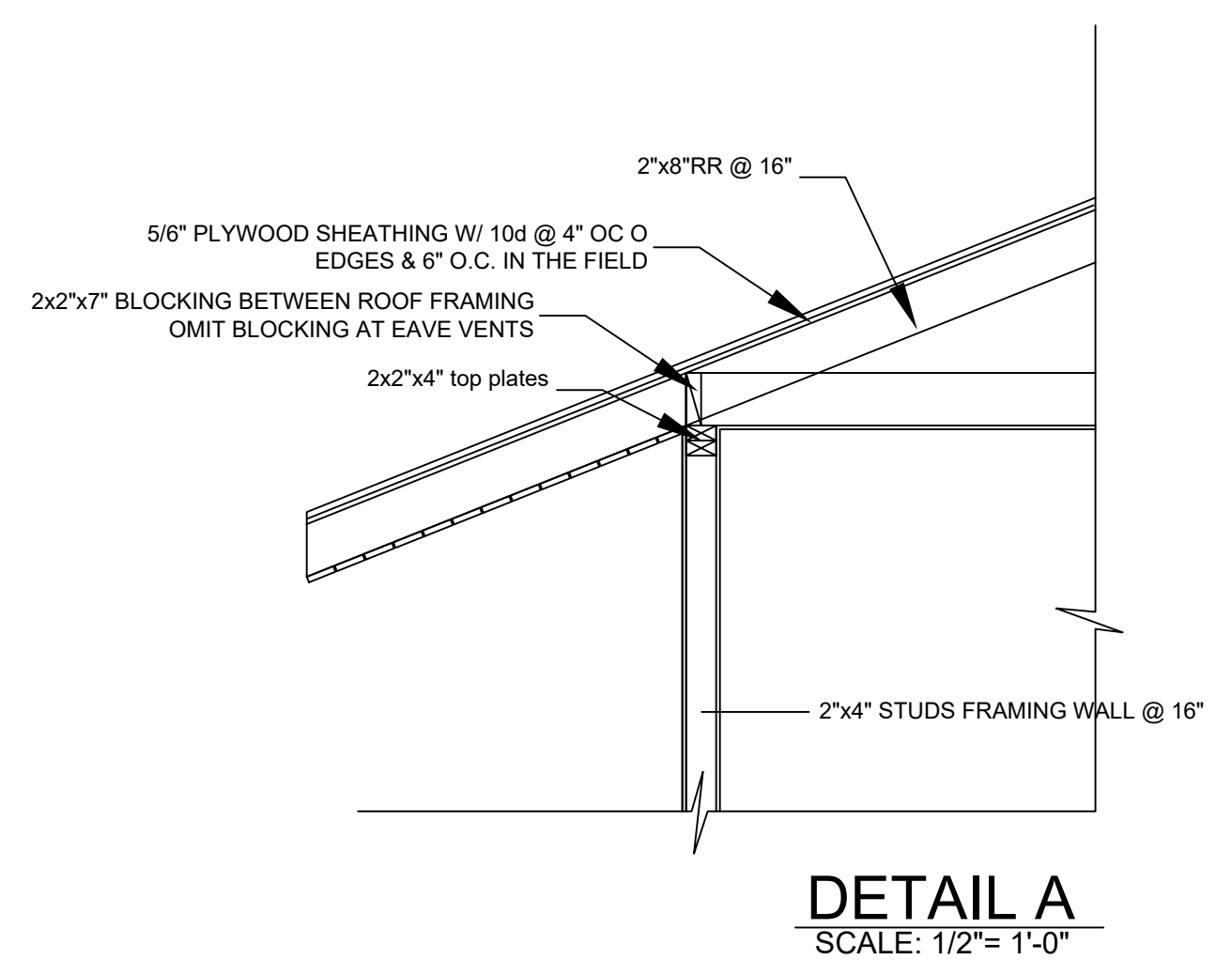
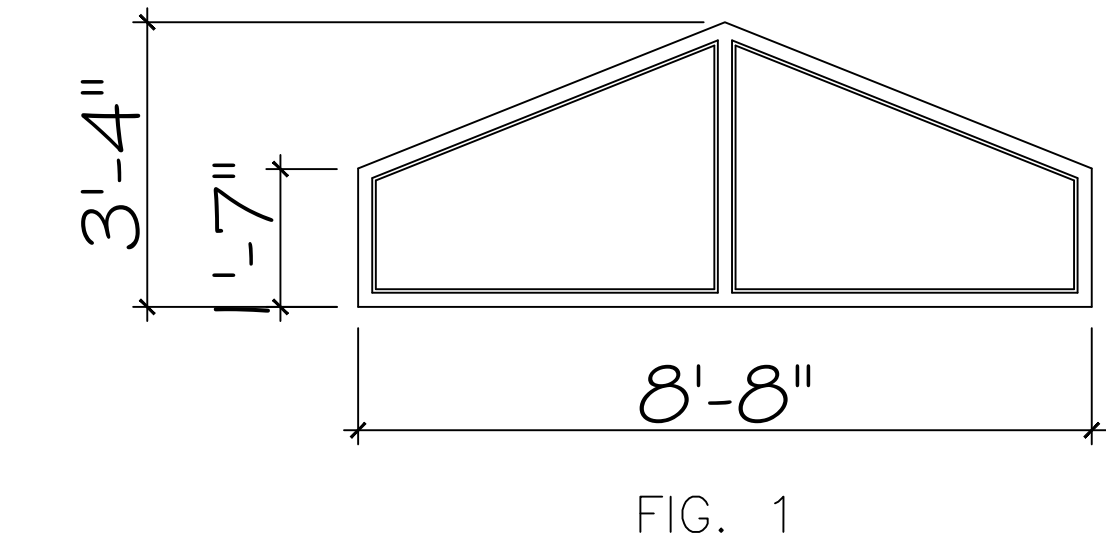
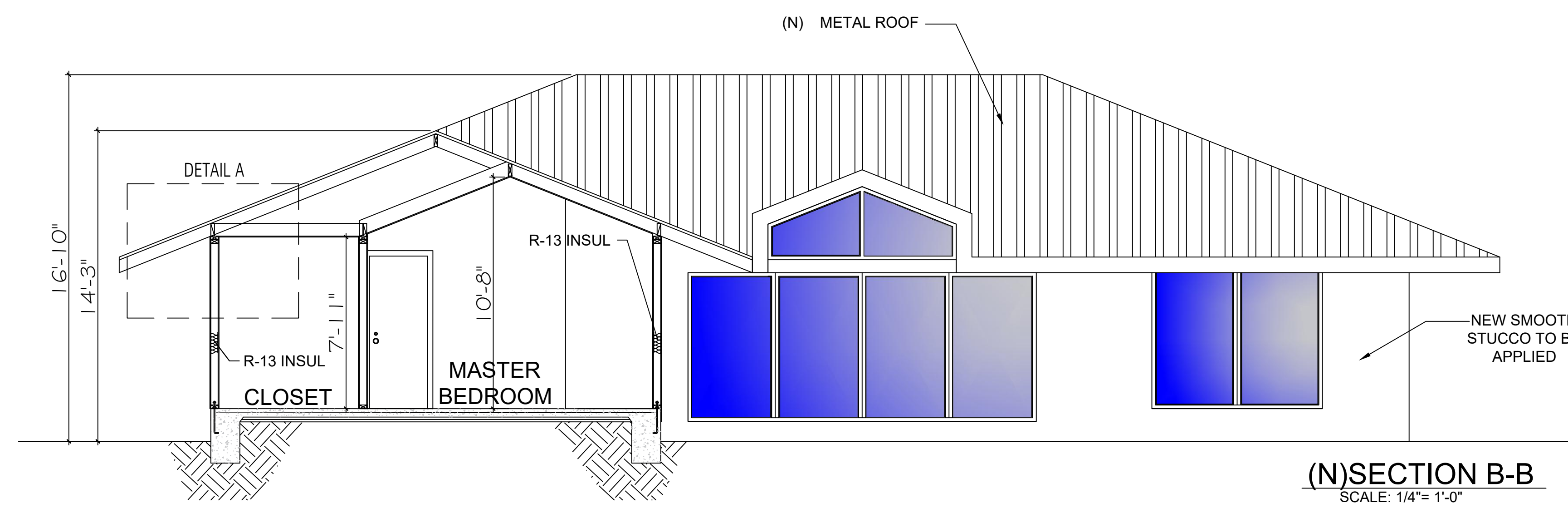
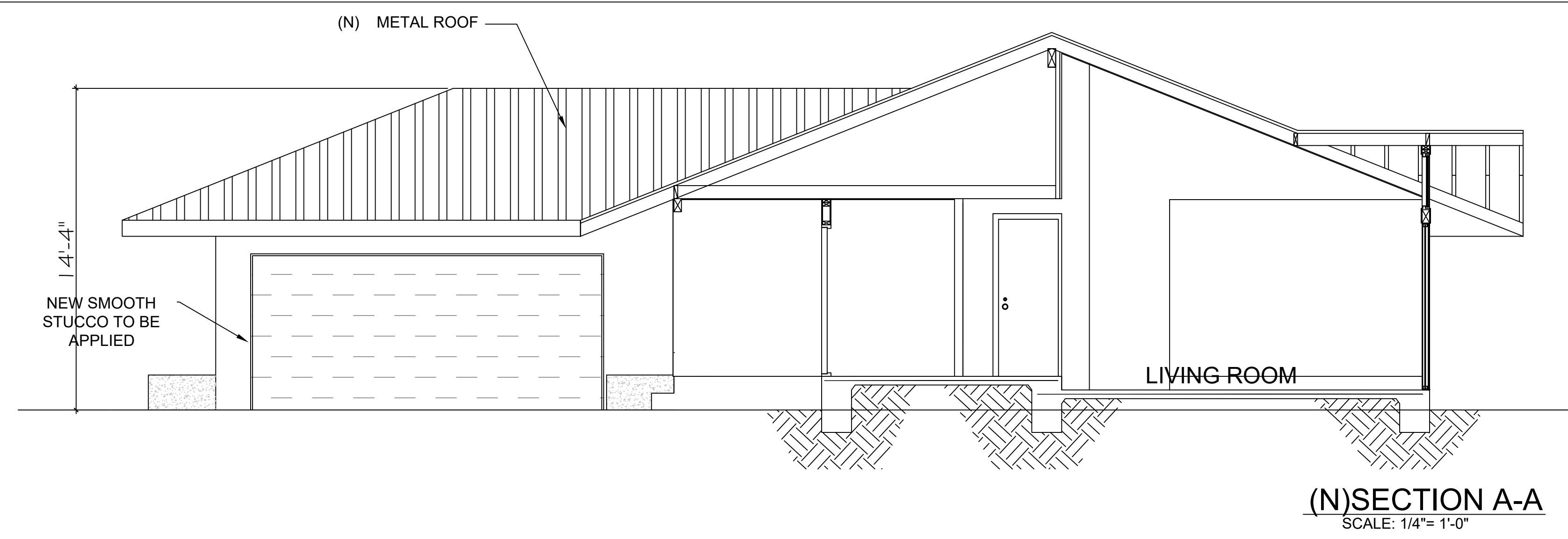
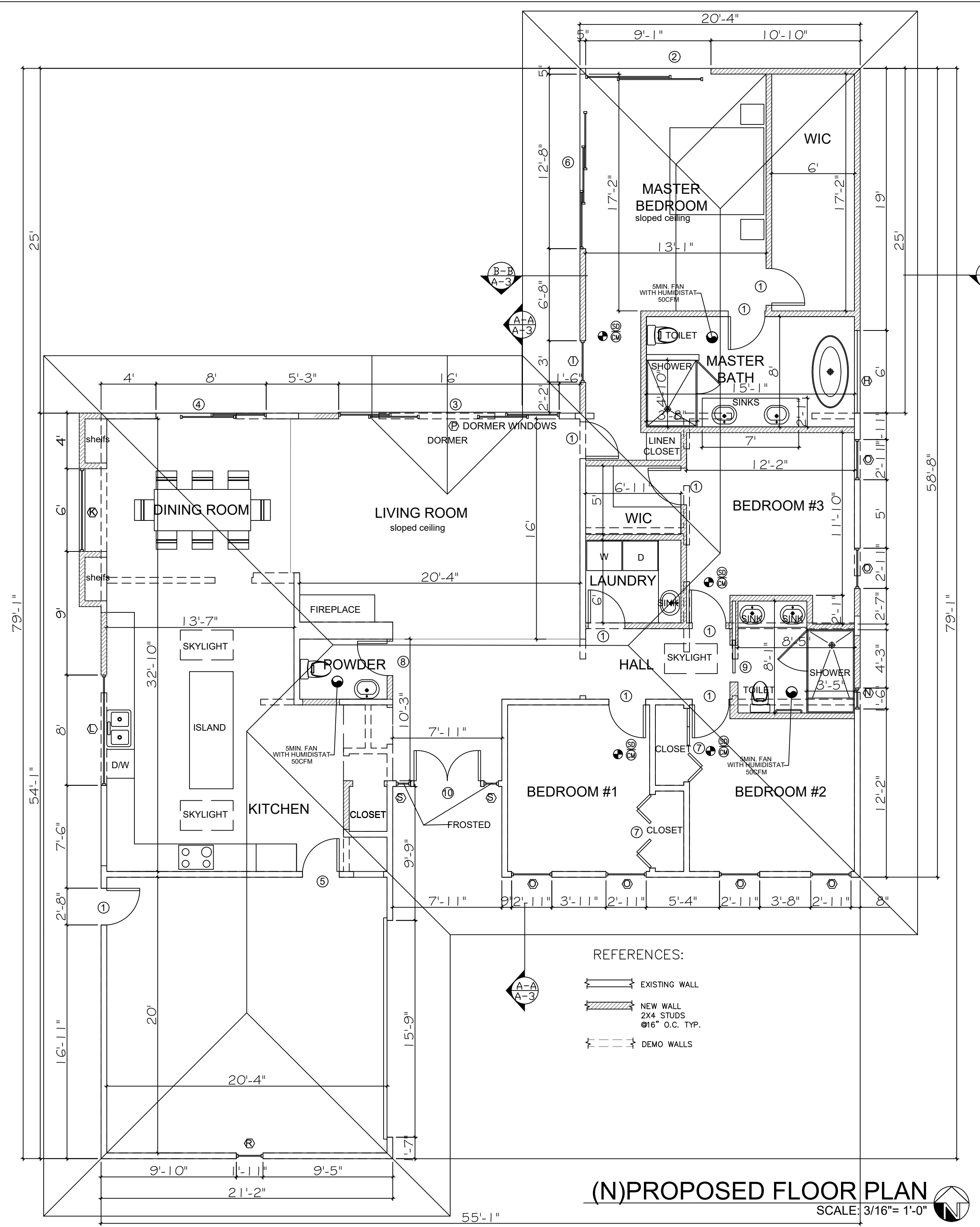
REVISION	DATE

EXISTING ELEVATIONS

SUSAN & TOM WU RESIDENCE ADDITION
 Susan and Tom Wu
 1659 VIA DEL REY
 S PASADENA CA 91030

DATE: 6-25-19
 DRAWN BY: VT/DD
 PERMIT #:
 CHECKED:
 PROJECT NO:

A-3
 OF 9 SHEETS



DOOR SCHEDULE										
DOOR NO.	DOOR TYPE	DOOR SIZE (WIDTH x HEIGHT)	DOOR THICK.	DOOR MATERIAL	DOOR FINISH	DOOR PAINT	FRAME MATERIAL	FRAME FINISH	LOCKSET TYPES	REMARKS
1	H.C.	2'-8" X 6'-8"	1-3/4"	WOOD	-	PAINT	WOOD	PAINT	01	SOLID CORE
2	H.C.	9'-1" X 6'-10"	1-3/4"	GLASS	-	-	ALUMINUM	PAINT	01	OWNER TO PURCHASE DOOR, CONTRACTOR TO INSTALL.
3	H.C.	16'-0" X 7'-1"	1-3/4"	GLASS	-	-	ALUMINUM	PAINT	01	OWNER TO PURCHASE DOOR, CONTRACTOR TO INSTALL.
4	H.C.	8'-0" X 6'-10"	1-3/4"	GLASS	-	-	ALUMINUM	PAINT	01	OWNER TO PURCHASE DOOR, CONTRACTOR TO INSTALL.
5	H.C.	2'-8" X 6'-8"	1-3/4"	WOOD	-	PAINT	WOOD	PAINT	01	SOLID CORE, SELF CLOSING, 20 MIN FIRERATED
6	H.C.	12'-8" X 6'-10"	1-3/4"	GLASS	-	-	ALUMINUM	PAINT	01	OWNER TO PURCHASE DOOR, CONTRACTOR TO INSTALL.
7	H.C.	5'-4" X 6'-8"	1-3/4"	WOOD	-	PAINT	WOOD	PAINT	01	SOLID CORE
8	H.C.	2'-6" X 6'-8"	1-3/4"	WOOD	-	PAINT	WOOD	PAINT	01	SOLID CORE
9	H.C.	2'-8" X 6'-8"	1-3/4"	WOOD	-	PAINT	WOOD	PAINT	01	POCKET SLIDING DOOR
10	H.C.	2'-5" X 6'-8"	1-3/4"	WOOD	-	PAINT	WOOD	PAINT	01	SOLID CORE, SHERWIN WILLIAMS YAM SW 6643

WINDOW SCHEDULE									
WINDOW NO.	QUANTITY	WINDOW TYPE	WINDOW SIZE (WIDTH x HEIGHT)	FRAME MATERIAL	WINDOW FINISH	SILL HEIGHT FROM F.F.	OBSERVATIONS		
1	1	FXD	6'-0" x 4'-6"	ALUMINUM	ANODIZED BLACK	+2'-3"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS,		
2	1	FXD	3'-0" x 6'-10"	ALUMINUM	ANODIZED BLACK	+0'-4"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS,		
3	1	FXD	6'-0" x 6'-5"	ALUMINUM	ANODIZED BLACK	+0'-4"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS,		
4	1	CSM	8'-0" x 3'-9"	ALUMINUM	ANODIZED BLACK	+3'-0"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS,		
5	1	FXD	1'-6" x 5'-7"	ALUMINUM	ANODIZED BLACK	+1'-3"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS, FROSTED		
6	6	CSM	2'-11" x 5'-9"	ALUMINUM	ANODIZED BLACK	+0'-13"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS,		
7	1	FXD	SEE FIG 1	ALUMINUM	ANODIZED BLACK	+8'-6"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS,		
8	1	FXD	1'-11" x 5'-9"	ALUMINUM	ANODIZED BLACK	+2'-7"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS,		
9	2	FXD	1'-0" x 6'-8"	ALUMINUM	ANODIZED BLACK	+0'-0"	FLEETWOOD WINDOWS&DOORS, SERIES 450-T TEMPERED GLASS, FROSTED		

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DESIGN DEVELOPMENT %
 PROGRESS
 BIDDING
 PERMIT
 CONSTRUCTION DOCUMENT
 CLIENT

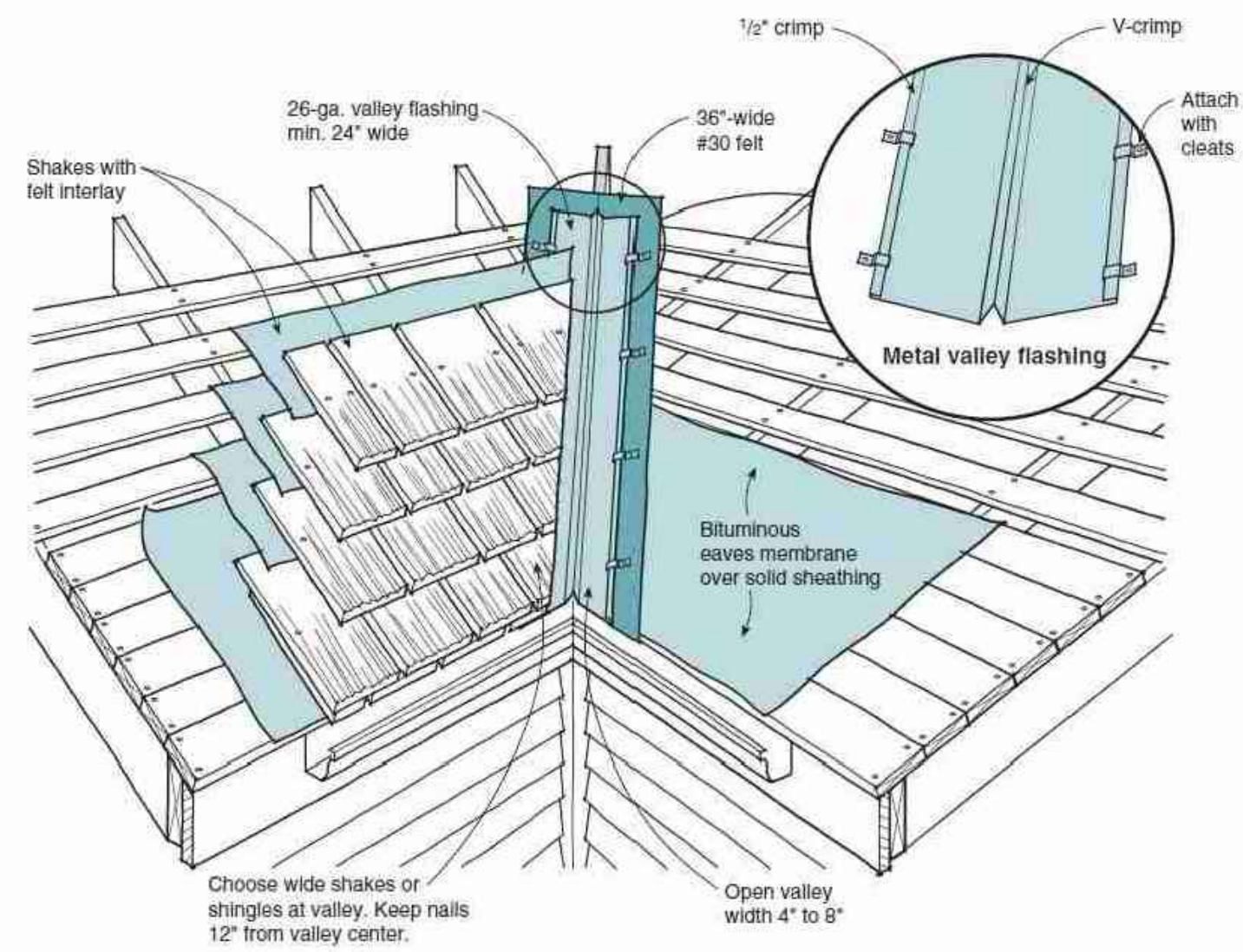
REVISION	DATE

PROPOSED FLOOR/ROOF PLAN

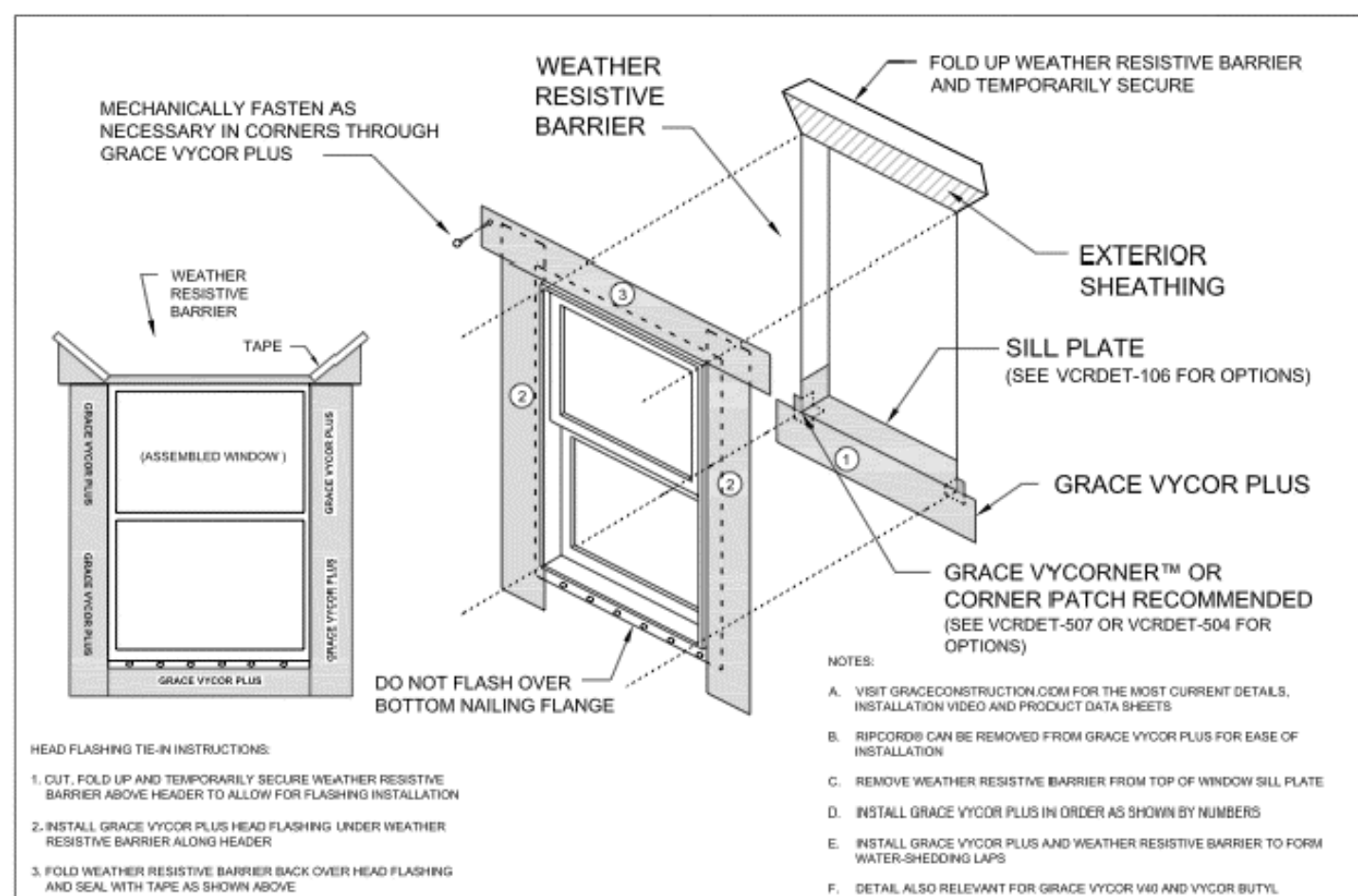
SUSAN & TOM WU RESIDENCE ADDITION
 Susan and Tom Wu
 1659 VIA DEL REY
 S PASADENA CA 91030

DATE: 7-03-19
 DRAWN BY: VT/DD
 CHECKED:
 PROJECT NO:
A-4
 OF 9 SHEETS

FIGURE 2-52 Valley Flashing for Shakes and Shingles.



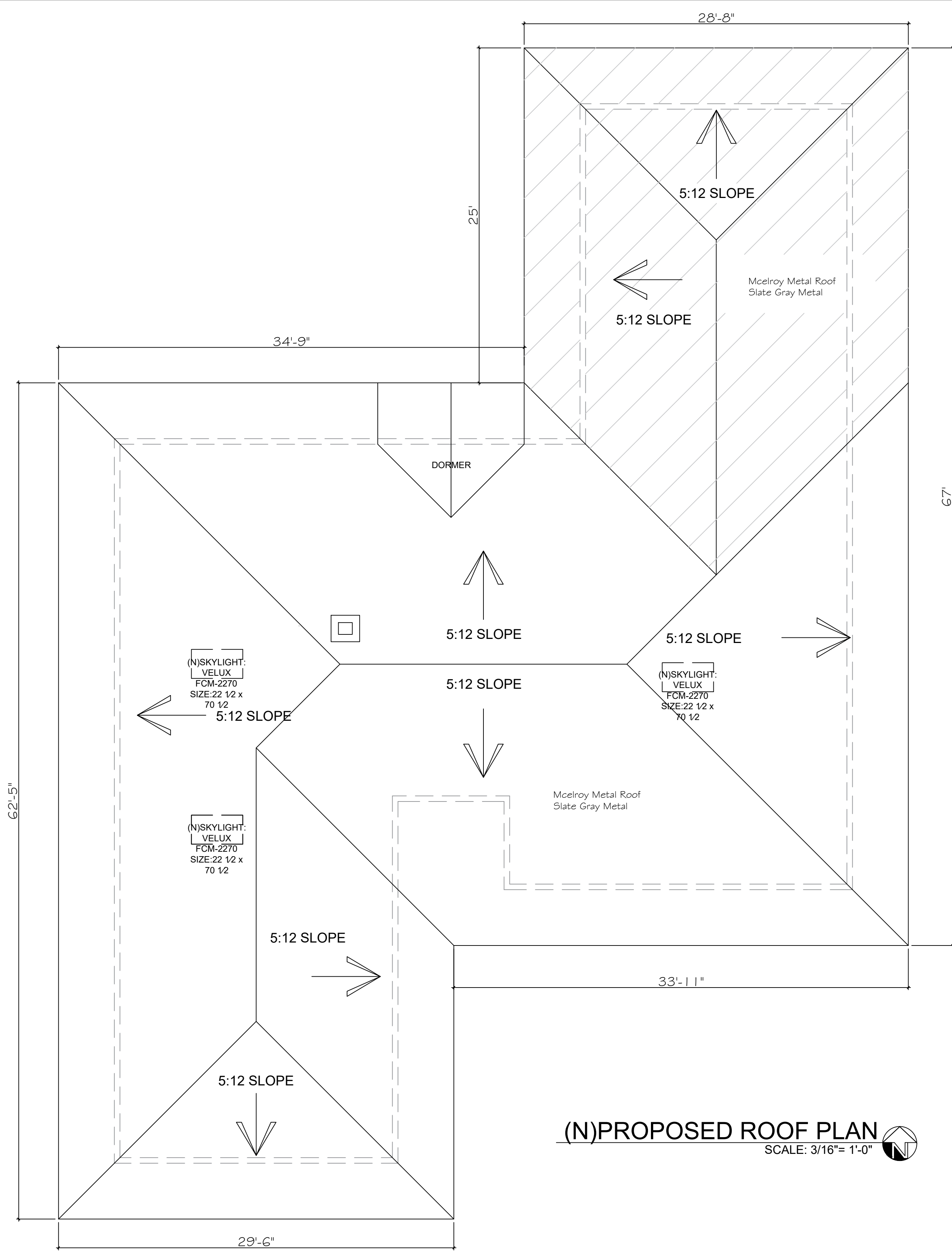
Use a minimum 24-inch-wide crimped metal valley protected by an extra layer of No. 30 felt installed directly under the metal.
 © 2005 John Wiley & Sons, Inc. Best Practices Guide for Residential Construction



GRACE Construction Products
 www.graceconstruction.com
 toll free 866-333-3726

FLANGED WINDOW - OPTION 1
 FLASHING INSTALLATION AFTER WEATHER RESISTIVE BARRIER
GRACE VYCOR® PLUS SELF-ADHERED FLASHING

Drawing: VCRDET-100
 Scale: Not to scale
 Effective Date: 01/31/07
 Supersedes: 09/01/05



(N)PROPOSED ROOF PLAN
 SCALE: 3/16" = 1'-0"

ARGIES WEST INC.
 PLANNING - DESIGN
 31220 La Brea Dr. Unit #113
 Westlake Village, CA 91362
 Tel: 818.822.8828
 info@argieswest.com

ISSUED FOR:

<input checked="" type="checkbox"/>	DESIGN DEVELOPMENT	%
<input type="checkbox"/>	PROGRESS	%
<input type="checkbox"/>	BIDDING	%
<input type="checkbox"/>	PERMIT	%
<input type="checkbox"/>	CONSTRUCTION DOCUMENT	%
<input type="checkbox"/>	CLIENT	%

DATE	REVISION

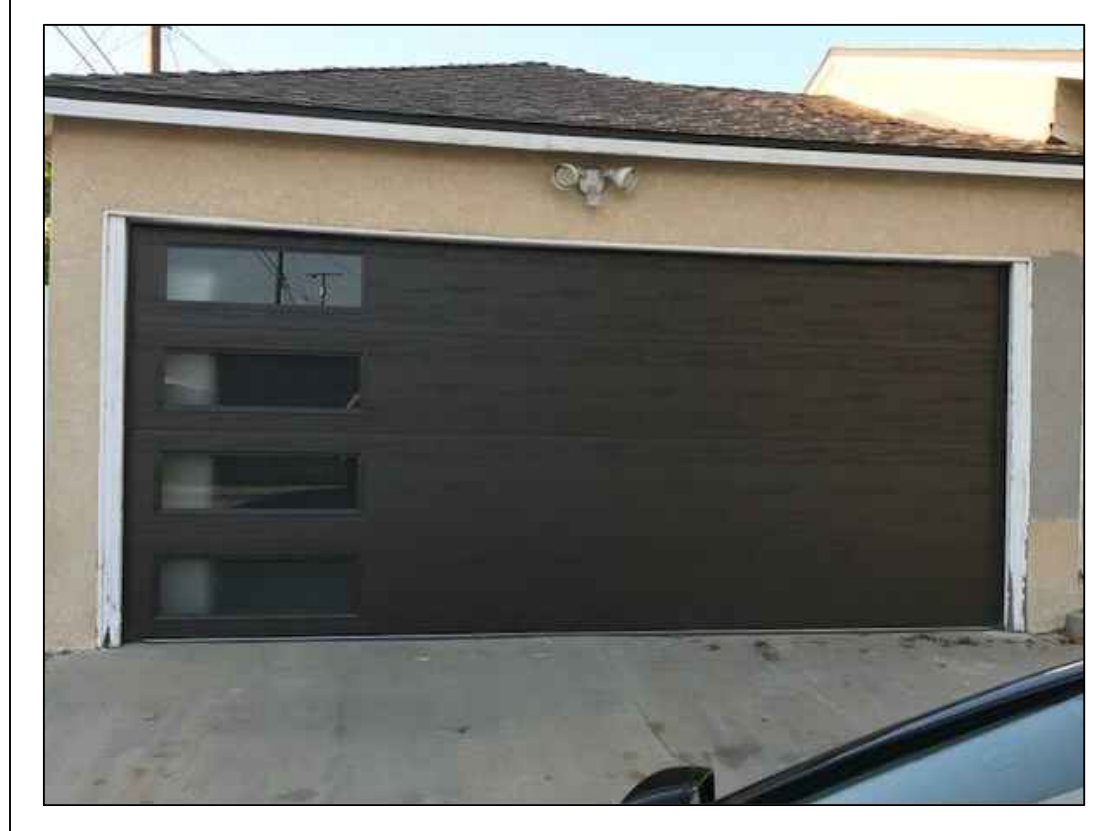
PROPOSED FLOOR/ROOF PLAN

SUSAN & TOM WU RESIDENCE ADDITION
 Susan and Tom Wu
 1659 VIA DEL REY
 S PASADENA, CA 91030

DATE: 7-03-19
 DRAWN BY: VT/DD
 PERMIT #:
 CHECKED:
 PROJECT NO:

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GARAGE DOOR



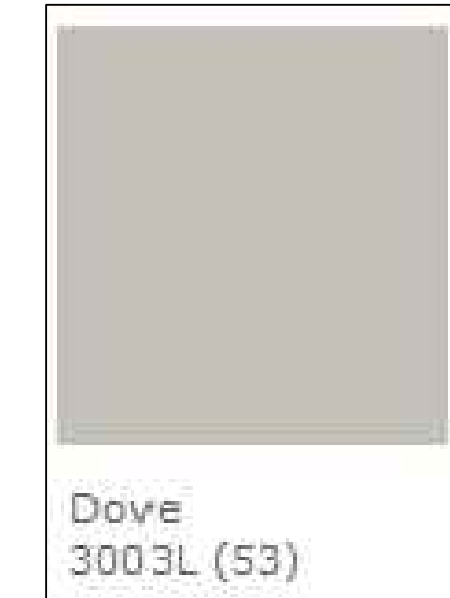
Mundo - Flush Panel Steel with a Natural Wood-Grain Texture Garage Door and Vertical Windows

NEW EXTERIOR SIDING



Tigerwood 5/4x6 Siding

NEW STUCCO



STUCCO MANUFACTURER: LA HABRA - STYLE: PAREX - COLOR: DOVE GREY

NOTES: ALL STUCCO TO BE DEMOLISHED THROUGHOUT THE ENTIRE HOME AND NEW SMOOTH STUCCO TO BE APPLIED NOT "REPLACE EXISTING STUCCO"

NEW WINDOW MANUFACTURER

FOR SLIDING DOOR USE: FLEETWOOD GLASS DOOR 3070-T SERIES

FOR ALL CASEMENT WINDOWS USE: FLEETWOOD SERIES 450-T

ROOF MATERIAL

Mcelroy Metal Roof
 Slate Gray Metal
 3 year aged SRI - 41
 3 year aged solar reflectance-0.39
 thermal emittance -0.85



ISSUED FOR:

<input checked="" type="checkbox"/>	DESIGN DEVELOPMENT	%
<input type="checkbox"/>	PROGRESS	%
<input type="checkbox"/>	BIDDING	%
<input type="checkbox"/>	PERMIT	%
<input type="checkbox"/>	CONSTRUCTION DOCUMENT	%
<input type="checkbox"/>	CLIENT	%

REVISION

NO.	DATE	DESCRIPTION

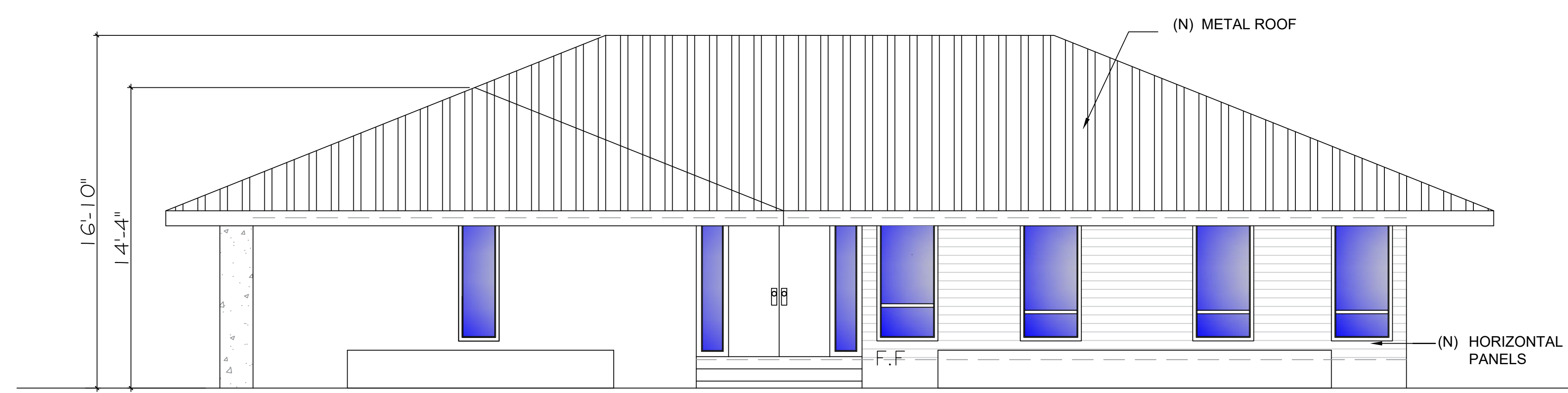
PROPOSED ELEVATIONS

SUSAN & TOM WU RESIDENCE ADDITION
 Susan and Tom Wu
 1659 VIA DEL REY
 S PASADENA CA 91030

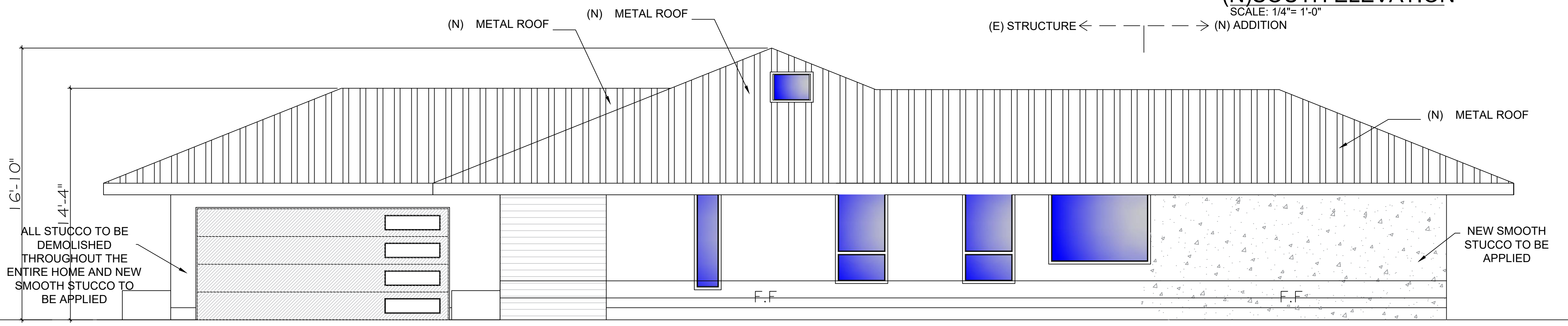
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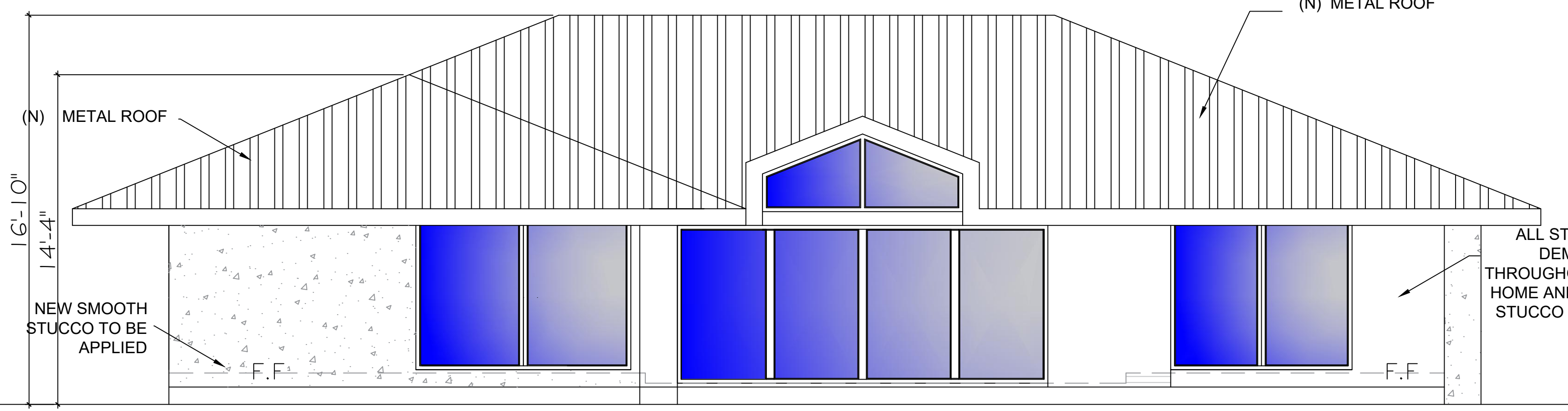
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OF 9 SHEETS



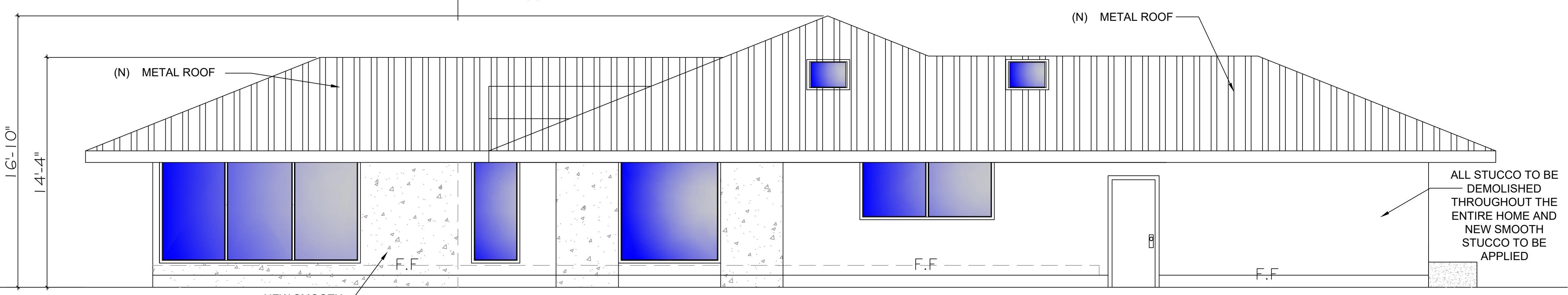
(N) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



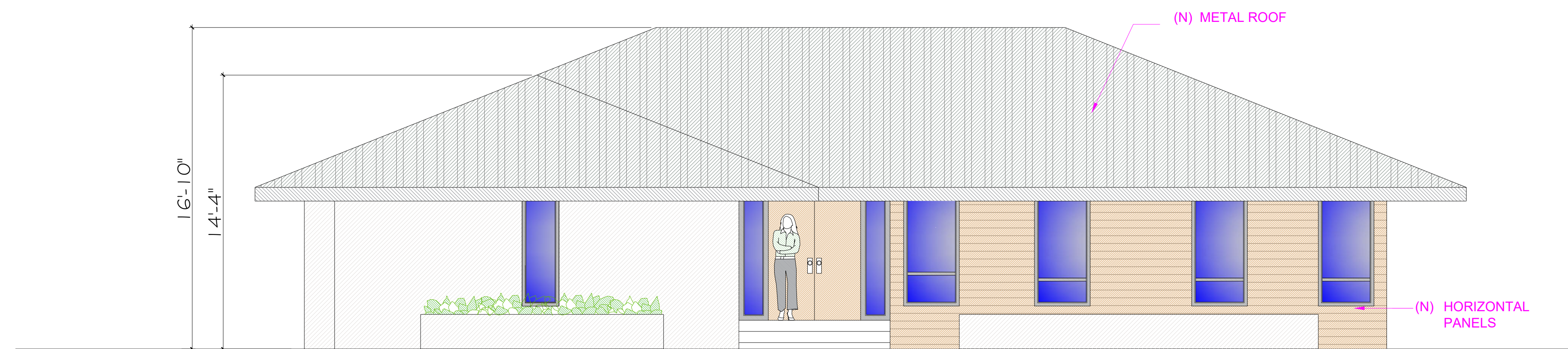
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SCALE: 1/4" = 1'-0"



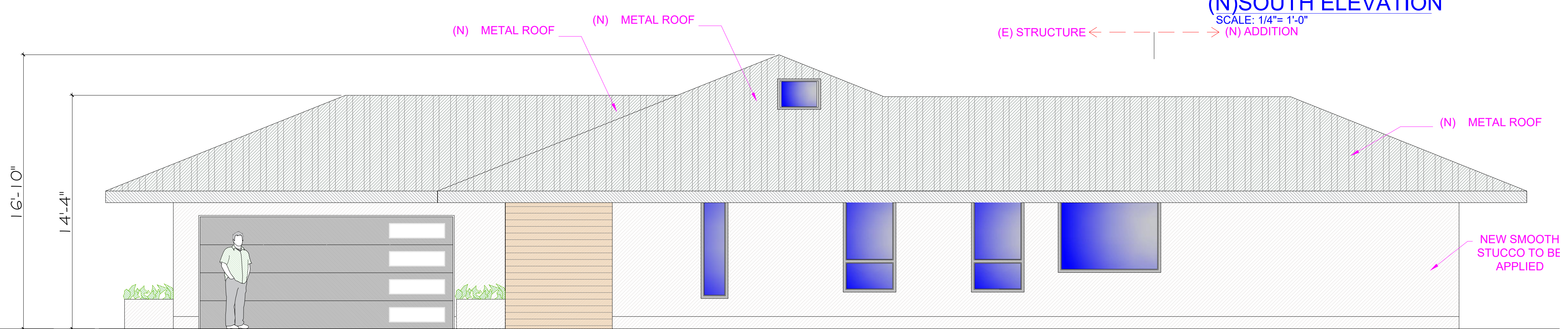
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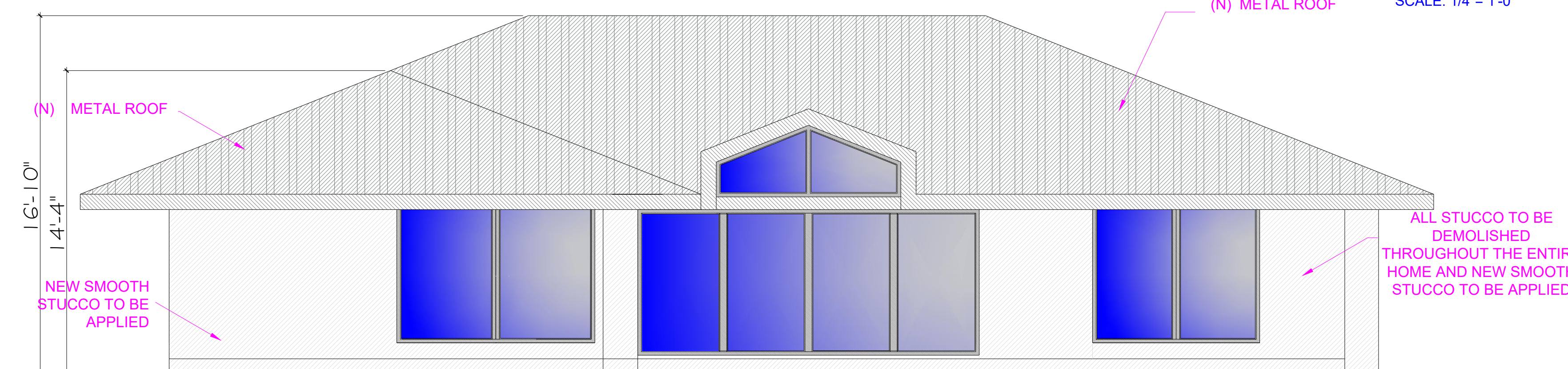
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SCALE: 1/4" = 1'-0"



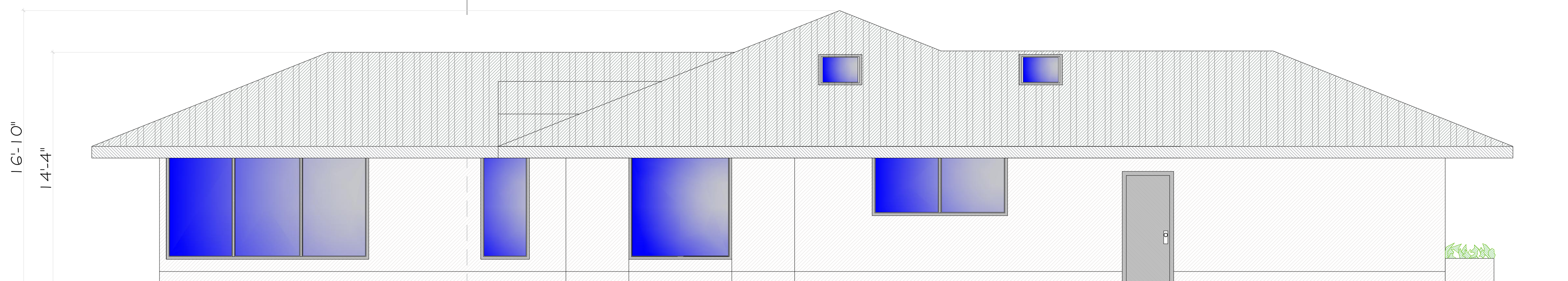
(N) SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



(N) EAST ELEVATION
 SCALE: 1/4" = 1'-0"

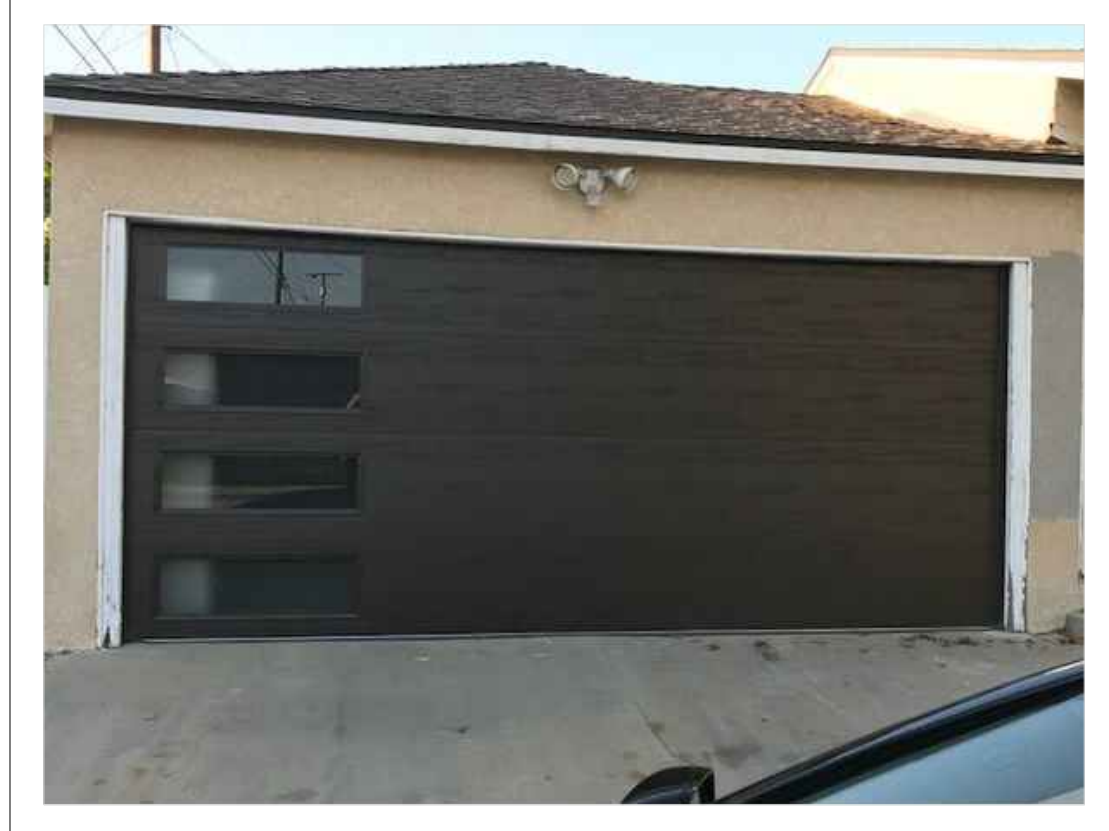


(N) NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



(N) WEST ELEVATION
 SCALE: 1/4" = 1'-0"

GARAGE DOOR



Mundo - Flush Panel Steel with a Natural Wood-Grain Texture Garage Door and Vertical Windows

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<input type="checkbox"/>	PROGRESS	%
<input type="checkbox"/>	BIDDING	
<input type="checkbox"/>	PERMIT	
<input type="checkbox"/>	CONSTRUCTION DOCUMENT	
<input type="checkbox"/>	CLIENT	

REVISION	DATE

PROPOSED ELEVATIONS

SUSAN & TOM WU RESIDENCE ADDITION
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