



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD
MEETING AGENDA**

Thursday, October 1, 2020 at 6:30 p.m.

South Pasadena Design Review Board Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the regular meeting of the Design Review Board for June 4, 2020 will be conducted remotely and held by video conference. The meeting will be broadcast live on the City's Design Review Board website and can be viewed via this link: [Design Review Board Meeting](#) or put in **Webinar ID 853 8063 0191 in Zoom.**

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chambers will not be open for the meeting. Board members will be participating remotely and will not be physically present in the Council Chambers.

The Design Review Board welcomes public input. Members of the public may provide comments to the Design Review Board by emailing: PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Thursday, October 1, 2020** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) what agenda item you are submitting public comment on, or if it is a general public comment. All comments/questions received will be distributed to the Board for consideration and will also be posted on the City's website prior to the meeting.

CALL TO ORDER:

Chair Mark Smeaton

ROLL CALL:

Melissa Hon Tsai, Yael Lir, Kay Younger, Samantha Hill, Vice-Chair, and Mark Smeaton, Chair

COUNCIL LIAISON:

Richard Schneider, M.D., Council Liaison

STAFF PRESENT:

Kanika Kith, Planning Manager
Malinda Lim, Associate Planner

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENTS AND SUGGESTIONS

Members of the public may provide general public comments the Design Review Board by emailing: PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12 p.m. on Thursday, October 1, 2020** to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) stating it is for general public comments/suggestions.

Pursuant to state law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC HEARING

- 1. **Project No. 2268-NID/DRX – Notice of Intent to Demolish a 1,081 square-foot single-family home and 2 car-garage and Design Review for a new 2,500 square-foot single-family home and attached 2 car-garage at 95 Short Way Street.**

Recommendation

Approve the Notice of Intent to Demolish and Design Review, subject to conditions of approval.

- 2. **Project No. 2317 –DRX - Design Review for a 1,488 square foot, single-story addition to an existing 1,770 square foot, single-story house and construction of a new two-car detached garage located at 2065 Marengo Avenue.**

Recommendation

Approve the Design Review with the creation of a subcommittee to work with the Applicant on design changes, subject to conditions of approval.

CONSENT ITEMS

- 3. None

PRESENTATIONS

- 4. None

DISCUSSION ITEMS

5. None

ADMINISTRATION

6. Comments from City Council Liaison

7. Comments from Board Members

8. Comments from Subcommittees

9. Comments from Staff

ADJOURNMENT

10. Adjourn to the regular Design Review Board meeting scheduled for November 5, 2020 at 6:30 p.m.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website. The meeting will be broadcast live on the City’s website via Zoom, and a recording of the meeting will be available on the website within 48 hours of adjournment.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk’s Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.

09-24-20

Date

Elaine Serrano,
Administrative Secretary



Design Review Board Agenda Report

ITEM NO. 1

DATE: October 1, 2020

FROM: Kanika Kith, Planning Manager

PREPARED BY: Aneli Gonzalez, Planning Intern

SUBJECT: Project No. 2268NID/DRX – Notice of Intent to Demolish a 1,081 square-foot single-family home and 2 car-garage and Design Review for a new 2,500 square-foot single-family home and attached 2 car-garage at 95 Short Way Street (APN: 5312-030-001)

Recommendation

Staff recommends that the Design Review Board approve the demolition of the existing house and garage and Design Review for construction of a new 2,500 square-foot two-story single-family home located at 95 Short Way Street, subject to conditions of approval.

Background

The existing one-story, single-family home was built in 1951. The applicant is proposing to demolish the existing single-family home structure. Therefore, the Historic Resources Evaluation (HRE) report was prepared in accordance with the City's Preservation Ordinance, 2.65(e)(3). The HRE report was presented to the Cultural Heritage Commission (CHC) for a determination of whether the property meets the national, state, or local criteria for historic designation prior to proceeding through the city's application process. On July 16, 2020, the CHC voted 4 to 0 determining that the property does not meet the national, state, or local criteria for historic designation and the project may proceed through the city's application process without any further restrictions under the Cultural Heritage Ordinance. The staff report for this meeting is included as **Attachment 2**.

Discussion/Analysis

Project Description

The project site is located in Monterey Hills on the south side of Short Way and surrounded by single family homes. **Figure 1** is an aerial view of the project site outlined in green below and **Figure 2** is a street view of the structure to be demolished.

Figure 1: Aerial View of Project Site

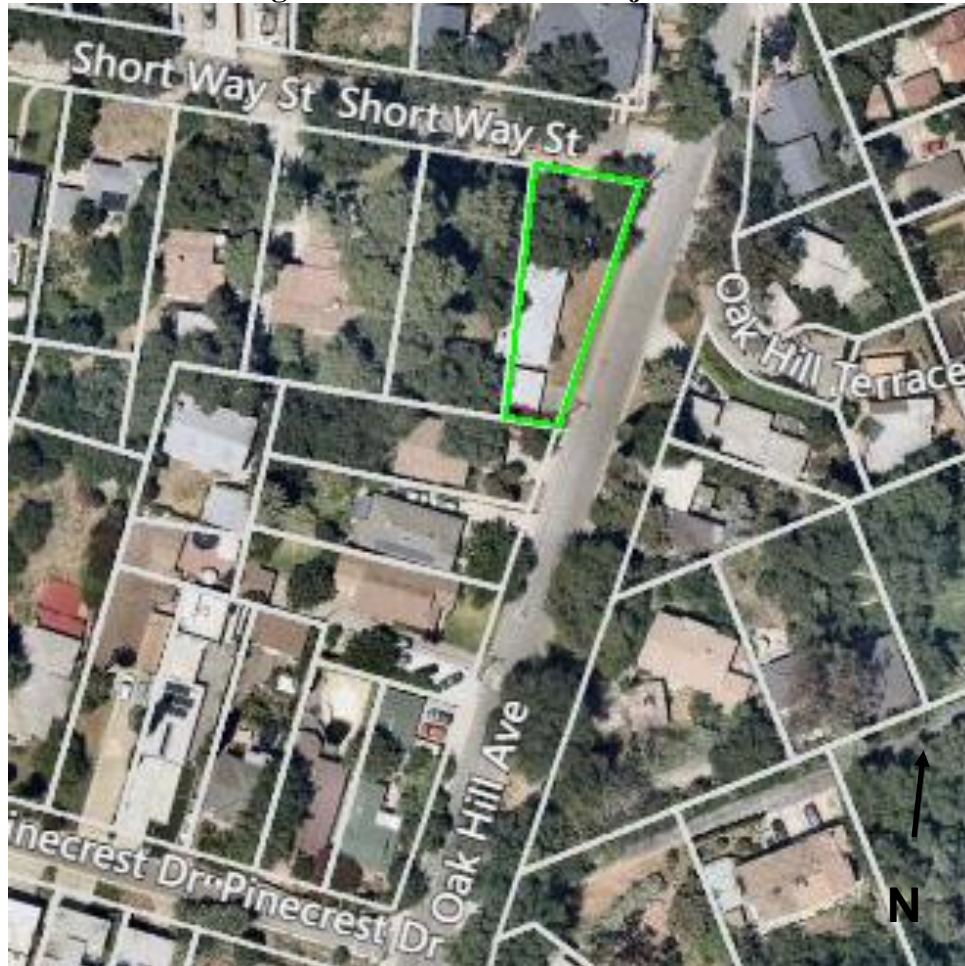


Figure 2: Single-Family Home Street View



General Plan and Zoning Consistency

General Plan Consistency

The General Plan land use designation of the site is Low Density Residential, which allows detached single-family units at a density of 3.5 to 6 units per acre. In order to encourage maintenance of existing structures and to prevent encroachment of higher density development, this designation has been applied to the majority of existing single-family neighborhoods. The proposed project involves the construction of one dwelling, and therefore, it is consistent with the General Plan.

Zoning Code Compliance

The zoning for the site is Residential Single-Family (RS), which is intended for the development of detached, single family homes with allowable residential density ranges from 3.51 to 6 dwelling units per acre. The proposed projects conform to the development standards in the RS in that the project complies with the development standards of the RS zone such as building height, floor area ratio (FAR), and setbacks.

Residential Design Review

The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s design standards and guidelines. The project site is zoned RS. Standards from the South Pasadena Zoning Code Section 220.040 Residential Zoning District General Development Standards and Section 220.050 Development of Small Nonconforming Residential Parcels for nonconforming parcels with areas less than 10,000 square-feet were applied to the project.

The subject property is sitting in 1 ½ lot with a lot tie connecting the two lots. As part of our review of this project, we reconsidered them as one lot. Therefore, a condition is included to require the applicant to receive approval of a lot line adjustment to remove the lot tie and adjust the lot line appropriately. **Figure 3** is the parcel map showing the subject property outlined in red.

Figure 3: Assessor’s Parcel Map

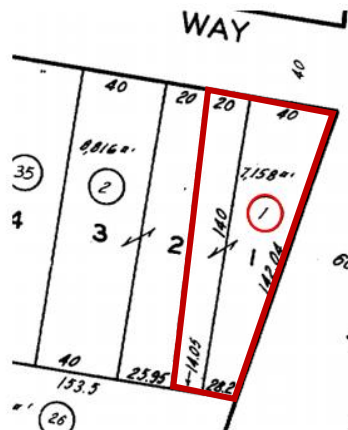


Table 1 below gives a breakdown of the existing and proposed property and its compliance with Section 220.040 and Section 220.050.

Table 1: RS Zone Parcel Standards

	Allowed/Required	Existing	Proposed
House Setbacks	Front & Rear: 20 feet Side: 10% of lot width, 4 ft. minimum (4 ft. needed)	Front (North): 57 feet Rear (South): 35 feet Side (East): 16 feet Side (West): 7 feet	Front (North): 30 feet Rear (South): 36 feet 6 inches Side (East): 10 feet 2 inches Side (West): 6 feet 2 inches
Garage Setbacks	Shall be setback a minimum of 10 feet from the front of the main structure	11 feet 6 inches	Attached garage
Maximum Height	35 feet	15 Feet	25 feet 6 inches
Lot Coverage	50% (3,576.29 square feet)	22.15% (1,585 square feet)	30.33% (2,170 square feet)
Floor Area Ratio	0.35 (2,503.40 square feet)	15.11% (1,081 square feet)	34.95% (2,500 square feet)

The design and size of the proposed home is in compliance with South Pasadena Zoning Code Section 220.040 Residential Zoning District General Development Standards and Section 220.050 Development of Small Nonconforming Residential.

Overall, the proposed project has been designed to meet the development standards in the Zoning Code, including but not limited to building height, FAR, and setbacks.

Conditions for construction management plan including but not limited to, traffic control, dust control, and construction equipment and materials staging are included for this project.

Figure 4 is the existing site plan and **Figure 5** is proposed site plan

Figure 4: Existing Site Plan

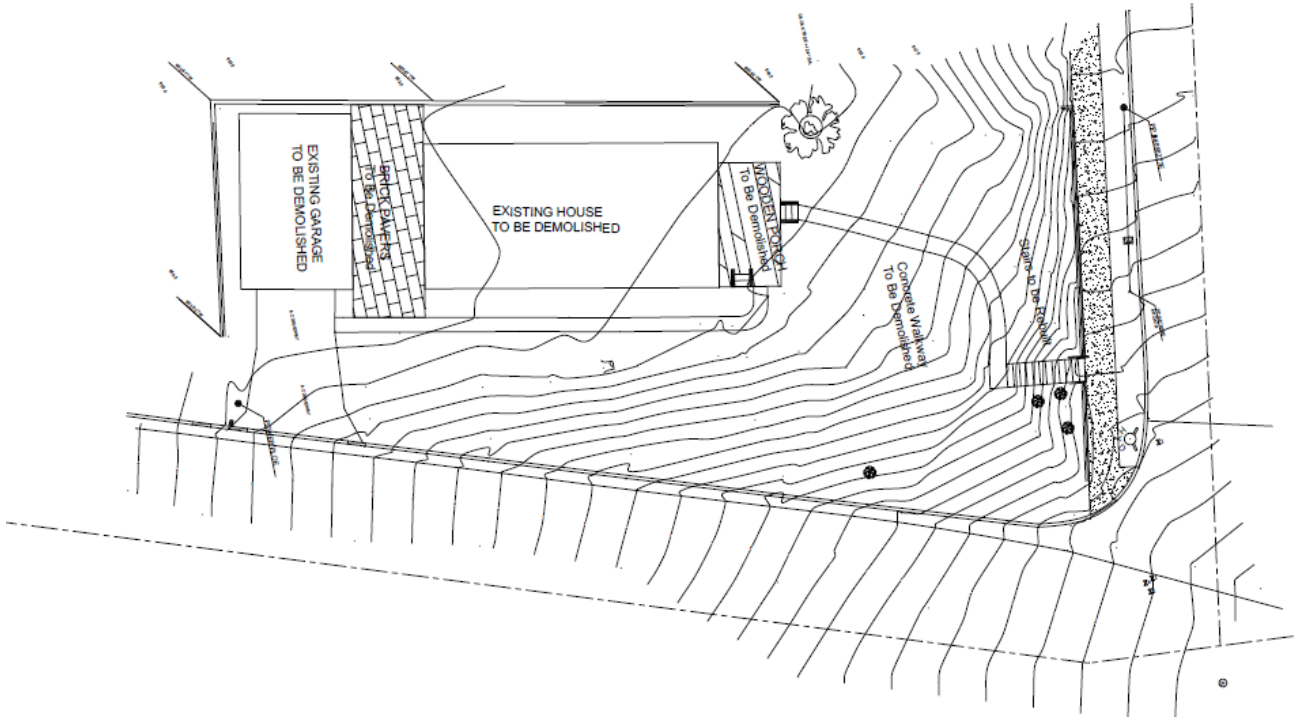
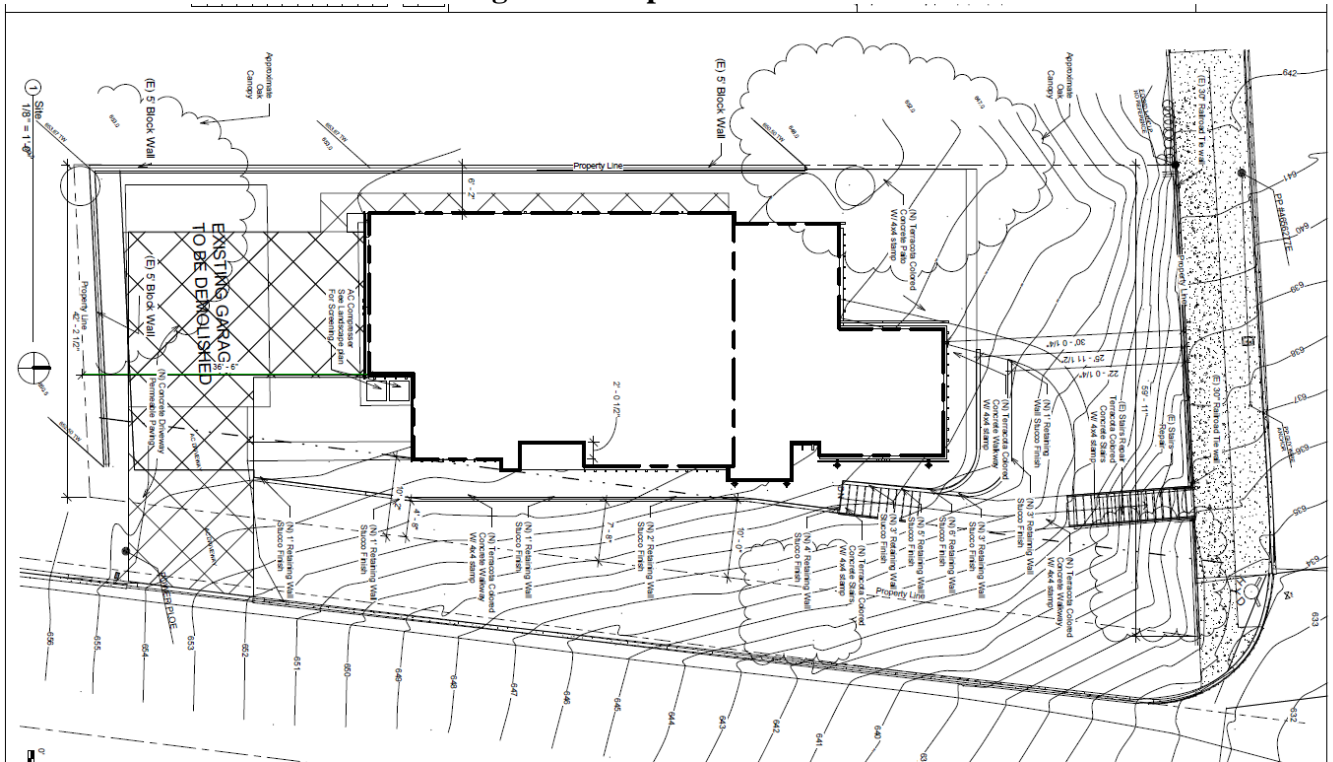


Figure 5: Proposed Site Plan



Architectural Design –Design Guidelines

The style of the new home is Spanish Revival and includes a covered entry porch and uncovered second story deck outside the master bedroom. The first includes a living room, dining room, foyer, kitchen, family room, guest bedroom, and an attached 2-car garage. The second story includes a master bedroom with bathroom, two bedrooms, bathroom, a deck, and a balcony.

The design of the home includes extensive window openings for light and air. The proposed building material is stucco in crystal white color, clay roof tiles, clay pipe details, vinyl windows, wood trellis, wall sconce glass lighting, and wrought iron railings. Vertical wood rafters on the first and second floor are proposed on the east and west elevation, and on the first floor north elevation. These design methods are proposed in an effort to reduce the scale of the project. **Figures 6 through 9** are the proposed elevations

Based on staff’s review, the project is consistent with South Pasadena’s Design Guidelines for non-historic homes.

Figure 6: Proposed North Elevation (Front)



Figure 7: Proposed East Elevation (Side)



Figure 8: Proposed West Elevation (Side)



Figure 9: Proposed South Elevation (Rear)



There are a few inconsistency in the development plans set relating to window proposals. A condition is included to require the applicant to submit a revise window schedule to include window (H) and window (S) on floor plans, elevation, and /or schedules or fix accordingly.

Neighborhood Compatibility

The character of the surrounding neighborhood consists of single-family residential and is predominately two-story homes of various architectural styles. The proposed home is a Spanish Revival and incorporates second story decks and balconies to reduce the impact of the two story structure in accordance to the City's Design Guidelines. The mass and scale of the second story is minimized by stepping back the second story from the first floor. The second story is stepped back by approximately 31 feet from the front face

of the proposed first floor and 3 feet from both sides of the first floor. Each building wall in the first floor is no more than 10 feet in height and second story no more than 9 feet. The overall design of the home will maintain an attractive, harmonious, and orderly development as contemplated in the General Plan.

Figure 10 below are photographs of neighboring homes

Figure 10: Photographs of Neighboring Properties



3 Monterey - 36' Tall



1205 Oak Hill - 26' Tall



1209 Oak Hill 28' Tall

Landscape

The new landscaping includes a new terracotta colored concrete walkway, and plants include: pink kangaroo paw, creeping barberry, dwarf brush, rock purslane, Spanish lavender, autumn sage, and cherry sage. All three existing oak trees and one Oleander tree will remain.

The project is for construction of a new home and therefore, it is subject to compliance with the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). A condition is included to require the applicant to submit a detail construction landscape and irrigation plans showing compliance with the City's Water Efficient Landscape Ordinance (SPMC Section 35.50) for approval by the Community Development Director. The applicant shall be responsible for the cost of reviewing the landscape plan by a Landscape Architect contracted by the City.

A condition is also included to require the applicant to submit revise plans showing screening for the proposed a/c condenser with a permanent screen such as a wall or fence because the proposed vegetation screening is not a permanent screen.

Required Design Review Findings

In order to approve a Design Review application, the DRB shall first find that the design complies with South Pasadena Municipal Code (SPMC) Section 36.410.040(I):

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The project site has a General Plan land use designation of Low Density Residential. The proposed home is consistent with the General Plan and the City's adopted Design Guidelines for new single-family residences. The proposed home was designed with consideration of the character of the existing single-family developments in the vicinity. Also, the mass and scale of the proposed home has been minimized by stepping back the second story, and therefore, the project site maintains its consistency with the General Plan.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The proposed home will accommodate single-family functions and activities proposed for the site. The new home will be an adequate size and space for residential living. The first floor plan includes a living room, dining room, foyer, kitchen, family room, guest bedroom, and 2 car garage. The second story addition accessed with an internal staircase includes master bedroom, master bathroom, and two bedrooms. The proposed deck and balcony on the second floor allows adequate functions for outdoor space while being situated in a location that allows privacy for the neighboring properties. The design of the home meets all the required setbacks and height limit of the home. The home will not interfere with the use and enjoyment of neighboring, existing, or future developments. The proposed home is sited on a currently developed lot and sits within a developed single-family residential neighborhood. Thus, the proposed project, as conditioned, will not impose adverse pedestrian or traffic hazards, nor will the proposed project interfere with the use and enjoyment of neighboring, existing or future developments.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The existing character of the surrounding neighborhood consists of single-family residential and is predominately two-story homes of various architectural styles. The proposed home is a Spanish Revival and incorporates second story decks and balconies to reduce the impact of the two story structure in accordance to the City's Design Guidelines. The material palette includes stucco in crystal white, roof tiles, vertical wood rafters, clay pipe details, vinyl windows, wood trellis, wall sconce glass lighting, and wrought iron railings. The overall design of the home will maintain an attractive, harmonious, and orderly development as contemplated by this Section, and the General Plan.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The proposed home includes large windows and a balcony located in the front of the residence which provides natural light and air into the home. On the side of the home the balcony and covered porch provide articulation, visual interest and detail. The exterior materials known for

their durability and the new ornamentation used will contribute to the visual continuity of the neighborhood. Thus, the new project would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

Alternatives to Consider

If the Board does not agree with staff's recommendation, the following options are available:

1. The Design Review Board can Approve with condition(s) added; or
2. The Design Review Board can Continue the project to address comments discussed; or
3. The Design Review Board can Deny the project.

Next Steps

1. If approved, either conditionally or as submitted, the applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
2. If denied, the Design Review Board's decision can be appealed by the applicant to the Planning Commission.

Fiscal Impact

Not Applicable.

Environmental Analysis

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities and under Section 15303, Class 3 New Construction or Conversion of Small Structures. Class 1 exemption includes demolition and removal of individual small structures such as a single-family residence. Class 3 exemption includes the construction of up to three single-family residences within an urbanized area. The proposed project involves the demolition of a single-family residence and construction of a new one single-family residence within an established residential neighborhood, therefore the project is categorically exempt.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review* newspaper, and individual property mailings to those within 300 feet of the project site.

Attachments

1. Conditions of Approval
2. Material Board
3. Photographic Survey of Neighboring Properties
4. Staff Report from July 16, 2020 CHC Meeting
5. Development Plans

ATTACHMENT 1
Conditions of Approval

ATTACHMENT 1
CONDITIONS OF APPROVAL
Intent to Demolish & Design Review Permit

PROJECT NO. 2268 – NID/DRX
95 Short Way Street (APN: 5312-030-001)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on October 1, 2020:

- **Notice of Intent to Demolish** a 1,081 square-foot single-family home and 2 car garage.
- **Design Review** for the construction of a new 2,500 square-foot two-story single-family home.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. The applicant shall apply for a lot line adjustment to remove the lot tie connecting the two lots and shall be approved by the Planning and Public Works Directors and be recorded with the Los Angeles County Register-Recorder.
- P2. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this use.
- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:

- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P9. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.

Prior to Issuance of Grading Permit

- P10. The applicant shall submit a construction management plan for approval by the Building, Planning, and Public Works Departments. The construction management plan shall include, but not be limited to:
- a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as part of the staging plan. The applicant shall obtain input from Public Works to identify haul route and staging area.
 - b. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas.
 - c. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses and residents impacted by any parking restrictions during construction.
 - d. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other state-required noise-attenuation devices.
 - e. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
 - f. A sign, legible at a distance of 50 feet, shall be posted at the Project construction site providing a contact name and a telephone number where residents can inquire about the construction process and register complaints. This sign shall indicate the dates and duration of construction activities. In conjunction with this required posting, a noise disturbance coordinator shall be identified to address construction noise concerns received. The contact name and the telephone number for the noise disturbance coordinator shall be posted on the sign. The coordinator shall

be responsible for responding to any local complaints about construction noise and shall notify the City to determine the cause and implement reasonable measures to the complaint, as deemed acceptable by the City.

Prior to issuance of Building Permits

- P11. The applicant shall pay for all applicable City development impact fees, and all other public agency fees including plan review and permit fees.
- P12. The applicant shall apply for a lot line adjustment to remove the lot tie shall be approved by the Planning and Public Works Directors and be recorded with the Los Angeles County Register-Recorder.
- P13. The applicant shall submitted revised development plans set that include the following changes:
- a. Revise the window schedule to include window (H) and window (S) on floor plans, elevation, and /or schedules or fix accordingly.
 - b. Show screening of the A/C condenser with a wall or other permanent structure as approved by the Director Planning and Community Development. The method of screening shall be architecturally compatible with the colors, materials, and architectural style of other development on the site. Landscaping cannot be used as screening
- P14. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P15. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Community Development Director. The applicant shall be responsible for consultant cost for reviewing the landscape and irrigation plans. The final landscape plans shall provide, but not limited to the following:
- a. Screening of all above ground equipment from public view.
 - b. Incorporate the tree protection conditions listed below in Public Works.

Prior to Final Inspection

- P16. The applicant shall install all landscaping and irrigation per the approved final landscape plans pursuant to the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). The applicant shall provide documentations as required under SPMC Section 35.50, which shall include, but not limited to the following:
- a. A Certification of Completion certifying that landscape and irrigation have been installed per the approved final landscape plan and complies with the City Water Efficient Landscape Ordinance.
 - b. A Landscape Irrigation Audit Report from a certified landscape irrigation auditor shall be submitted to the City. The landscape irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape irrigation.

P17.

BUILDING AND SAFETY DIVISION:

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- B3. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B4. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B8. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B9. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a) Observation of cleared areas and benches prepared to receive fill;
 - b) Observation of the removal of all unsuitable soils and other materials;
 - c) The approval of soils to be used as fill material;
 - d) Inspection of compaction and placement of fill;
 - e) The testing of compacted fills; and
 - f) The inspection of review of drainage devices.
- B10. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B11. At the time of plan submittal, the pdf copy of the soils report shall be provided by the applicant.
- B12. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B13. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.

- B14. Project shall comply with the CalGreen Residential mandatory requirements.
- B15. Demolition permit is required for any existing buildings which are to be demolished.
- B16. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit and a separate is required for Fire Sprinklers

DEPARTMENT OF PUBLIC WORKS:

- PW1 The applicant shall pay for all applicable city and LA County fees including PW plan review and permit fees prior to the issuance of the Building Permits.
- PW2 The applicant shall provide copies of Title reports.
- PW3 The applicant shall contact the City Water Division to coordinate size, location, and associated fee for a new water meter connection as applicable. Please contact Water Operation Manager (626) 460-6393 for additional information.
- PW4 Video inspect the existing sewer lateral for obstructions and remove any obstructions observed. The applicant shall provide a copy of the inspection video of the cleared lateral.
- PW5 Show the location of all existing utilities on Oak Hill Avenue and Shortway, as well as utility point of connection (POC) and size of all existing or proposed services serving the property.
- PW6 The applicant shall provide civil plans show all existing condition within public right-of-ways, curb/gutter, driveway, existing features, trees, dimensions, and proposed improvements.
- PW7 Replace all broken, damaged, or out-of-grade sidewalk, driveways, curb and gutter, painted curb markings, signs, asphalt/concrete fronting the property to current city standard per SPMC Section 31.54.
- PW8 The proposed new driveway and sidewalk shall be construction per Caltrans Standard Plan detail A87A.
- PW9 The applicant shall provide slurry seal surface type II treatment from curb to curb along the entire street width on Oak Hill Avenue and Shortway from property line to property line. Also, reinstate the existing pavement marking and striping to the satisfaction of the City Engineer.
- PW10 The applicant shall bring the existing parkway adjacent to the property up to current standards per SPMC Section 31.48. The applicant shall submit parkway landscape plan for approval from Public Works Department.
- PW11 Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees are to be removed, per City Ordinance No. 2328 amending Section 34.10 of the City Municipal Code, file for a tree removal permit application. See Municipal Code Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction.

- PW12 Building structure shall not be constructed within critical root zone area. For native and protected species the use of the tree's DBH (X5) is the minimum critical root mass. For non-native and protected species use of the tree's DBH (X3) is the minimum critical root mass.
- PW13 The applicant shall provide methods of protecting existing trees during construction.
- PW14 The applicant shall comply with all requirements of California Drainage Law and/or the City of South Pasadena Low Impact Development Ordinance No. 2283. Provide copy of approved plan from Building & Safety Department.
- PW15 The applicant shall be responsible implement necessary BMP measures Per City Municipal Code, Section 23.14. Provide a copy of approved BMP plan from Building & Safety Department.
- PW16 The applicant shall provide a detailed drainage plan prepared by a licensed civil engineer and signed and stamped by the civil engineer. Cross lot drainage is not permitted. Provide copy of approved plan from Building & Safety Department.
- PW17 The applicant shall construct retaining wall along the frontage of the property line for the slope protection to prevent sloughing of dirt onto the sidewalk and road on Oak Hill Avenue.
- PW18 The applicant shall provide a corner sight distance study prepared by a licensed civil engineer at the intersection of Oak Hill Avenue and Short Way. The applicant shall be responsible for implementing safety measures based on sight distance study.
- PW19 The applicant shall provide a traffic control plans for the duration of the construction.
- PW20 The applicant shall provide a haul route map, staging plan, and indicate street parking location for review and approval to the Public Works Department prior to issuance of permits. The applicant must designate a construction staging area on the site. Any construction activity that may require closing the roadway shall be discussed and mitigated in the staging plan.
- PW21 Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted resident at least 48 hours prior to the street closure. All street closure required to obtain encroachment permit from the Public Works Department.
- PW22 The applicant shall post "Temporary No Parking " signs along the entire length of the property prior to start of any construction. The temporary no parking signs will be covered at the end of every working day, and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, traffic will be mitigated through use of flagmen and/or detouring. The applicant shall obtain encroachment permit from the Public Works Department.
- PW23 Temporary bins (low boy) will be "roll off" style provided by Athens. Dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- PW24 The applicant shall obtain oversize/overload permits during the stages of development, but is not limited to involving actives such as grubbing, grading, drilling for piles and/or caissons, trenching for footings, excavating for retaining wall, core soil sampling, etc. If require, the applicant shall prepare traffic control plans and shall notify resident impacted by no parking signage.

Fire Department

FD1. Required Code References : 2019 South Pasadena Municipal Code (SPMC) ; 2019 California Fire Code (CFC); 2019 California Building Code; NFPA standards, Title 19 applicable NFPA and related fire standards.

FD2. Fire Sprinklers are required. Submit plans to City for approval.

Section 903 Automatic Sprinkler Systems

FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.

FD4. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.

FD5. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section

903.3 shall be provided throughout all buildings with a Group R fire area.

FD6. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C -16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.

FD7. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.

FD8. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.

FD9. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.

FD10. (CFC 507.4) Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.

FD11. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:

- 1) An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
- 2) Any addition to an existing building which has fire sprinklers installed;

- 3) Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
- 4) Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
- 5) An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.

FD12. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.

Special Provisions related to Roof Types.

- FD13. Notwithstanding anything else in this code, or any other code incorporated, herein, 'by reference any new roof shall be of Class "A" roof material.
- FD14. Exception: Any re-roofing shall provide Class A roof material for the entire roof when the aggregated reroofing for the same building during any consecutive twelve months exceeds fifty percent of the existing roof. (14.4 SPMC).

Smoke Alarms

- FD15. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - 2) In each room used for sleeping purposes.
 - a) Exception: Single- or multiple-station smoke alarms in Group I-1 shall not be required where smoke detectors are provided in the sleeping rooms as part of an automatic smoke detection system (CFC 907.2.11.2).

- 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- 4) In a Group R- 3.I occupancy, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.

FD16. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.I, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11 .3).

Carbon Monoxide Alarms

- FD17. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages (CBC 420.4.1).
- FD18. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection (CBC 420.4.1.)
- FD19. Exceptions
- 1) In dwelling units where there is no commercial power supply, the carbon monoxide alarm may be solely battery operated.
 - 2) In existing dwelling units, a carbon monoxide alarm is permitted to be solely battery operated where repairs or alterations do not result in the removal of wall and ceiling finishes or there is no access by means of attic, basement or crawl space.
 - 3) Other power sources recognized for use by NFPA 720.
- FD20. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1 .2).
- FD21. Exception. Interconnection is not required in existing dwelling units or within sleeping units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.
- FD22. Alarm Requirements. Single and multiple station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. Carbon monoxide alarms and carbon monoxide detectors shall be installed in accordance with this code, the current edition of NFPA 720 "Standard for the Installation of Carbon Monoxide (CO) Detection and Warning Equipment" and the manufacturer's installation instructions. Other carbon monoxide alarm and detection devices are recognized in NFPA 720 are also acceptable. Carbon monoxide alarms required by

420.4.1 and 420.4.2 shall be installed in the following locations:

- 1) Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).
- 2) On every level of a dwelling unit including basements.
- 3) For R-1.
 - a) On the ceiling of sleeping units with permanently installed fuel-burning appliances (CBC 420.4.3).

Multiple-Purpose Alarms

- FD23. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms. (CBC 420.4.3. I).
- FD24. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD25. Exception: An automatic residential fire sprinkler system shall not be required when additions or alterations are made to existing carports and/or garages that do not have an automatic residential fire sprinkler system installed in accordance with this section.

(CBC 406.1) Private garages and carports.

- FD26. 406.1.1 Classification. Buildings or parts of buildings classified as Group U occupancies because of the use of character of the occupancy shall not exceed 1,000 square feet in area or one story in height except as provided in Section 406. 1.2. Any building or portion thereof that exceeds the limitations specified in this section shall be classified in the occupancy group other than Group U that it most nearly resembles.
- FD27. 406. 1 .4 Separation. Separations shall comply with the following:
- 1) The private garage shall be separated from the dwelling unit and its attic area by means of a minimum ½ inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than a 5/8 inch (15.9mm) Type X gypsum board or equivalent. Door openings between a private garage and the dwelling unit shall be equipped with either solid wood doors or solid or honeycomb core steel doors not less than 1 3/8 inches (34.9 mm) thick, or doors in compliance with Section 715.4.3. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Doors shall be self-closing and self-latching.
 - 2) Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019 inch (0.48 mm) sheet steel and shall have no openings into the garage.

- 3) A separation is not required between a Group R-3 and U carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.
- FD28. 406.1.5 Automatic garage door openers. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. See Health and Safety Code Sections 19890 and 19891 for additional provisions for residential garage door openers.
- FD29. 406.2.6 Floor surface. Parking surfaces shall be concrete or similar noncombustible and nonabsorbent materials. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
- FD30. Exceptions:
- 1) Asphalt parking surfaces shall be permitted at ground level.
 - 2) Floors of Group S-2 parking garages shall not be required to have a sloped surface.

Section 1029 Emergency Escape and Rescue (B)

- FD31. 1029. 1 General. In addition to the means of egress required by this chapter, provisions shall be made for emergency escape and rescue in Group R occupancies. Basements and sleeping rooms below the fourth story above grade plan shall have at least one exterior emergency escape and rescue opening in accordance with this section. Where basements contain one or more sleeping rooms, emergency escape and rescue openings shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Such openings shall open directly into a public way or to a yard or court that opens to a public way.
- FD32. Exceptions:
- 1) In Groups R-1 and R-2 occupancies constructed of Type I, Type IIA, Type IIIA, or Type IV construction equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1.
 - 2) The emergency escape and rescue opening is permitted to open onto a balcony within an atrium in accordance with the requirements of Section 404 of the California Building Code, provided the balcony provides access to an exit and the dwelling unit or sleeping unit has a means of egress that is not open to the atrium.
 - 3) Basements with a ceiling height of less than 80 inches (2032 mm) shall not be required to have emergency escape and rescue windows.
 - 4) High-rise buildings in accordance with Section 403 of the California Building Code.
 - 5) Emergency escape and rescue openings are not required from basements or sleeping rooms that have an exit door or exit access door that opens directly into a public way or to a yard, court or exterior exit balcony that provides access to a public way.
 - 6) Basements without habitable spaces and having no more than 200 square feet (18.6m²) in floor area shall not be required to have emergency escape window.
- FD33. 1029.2 Minimum size. Emergency escape and rescue openings shall have a minimum net clear

opening of 5.7 square feet (0.53 m²).

- FD34. Exception: The minimum net clear opening for emergency escape and rescue grade-floor openings shall be 5 square feet (0.46 m²).
- FD35. 1029.21. 1 Minimum Dimensions. The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
- FD36. Chapter 49 Requirements Wildland Urban Interface Fire. Section 4901 General.
- FD37. 4901.3 General Scope. The mitigation of conditions where a wildfire burning in vegetative fuels may readily transmit fire to buildings and threaten to destroy life, overwhelm fire suppression capabilities, or result in large property losses shall comply with this chapter and the 2012 International Wildland-Urban Interface Code developed by the International Code Council (ICC).

Wild Land Urban Interface Requirements.

- FD38. This residence is in the City of South Pasadena High Fire Severity Zone. Please note the following Wild Land Urban Interface Fire Requirements:
- 1) 504.2 Roof Coverings – Class A only. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eaves ends shall be fire stopped to preclude entry of flames or embers.
 - 2) Eaves and soffits shall be protected on the exposed underside by materials approved for a minimum 1 hour fire resistance rated construction, 2 inch nominal dimension lumber or 1 inch nominal fire-retardant treated lumber or ¾ inch nominal fire retardant treated plywood, identified for exterior use.
 - 3) Attic ventilation openings, foundation or other ventilation openings shall not exceed 144 square inches each. Such vents shall be covered with noncombustible corrosion resistant mesh with openings not to exceed ¼ inch or shall be designed to prevent flame or ember penetration into structure.
 - 4) Attic ventilation openings shall not be located in soffits, eave overhangs, between rafters at eaves or in overhang areas. Gable end or dormer vents shall be located at least 10 feet from property lines. (Also see 504.11 Detached Accessory Structures).
 - 5) Defensible space requirement per section 603.2 and Table 603.2 is 100 feet. Non fire-resistive vegetation or growth shall be kept clear of buildings or structures in a manner as to provide a clear area for fire suppression operations.
- FD39. Buildings under construction shall meet the condition of "Chapter 14 Fire Safety During Construction and Demolition" of the 2016 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustibles materials have accumulated.
 - 2) In every storage and construction shed.
 - 3) Where special hazards exist included but not limited an storage and use of combustible and flammable liquids.

- FD40. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7302.
- FD41. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

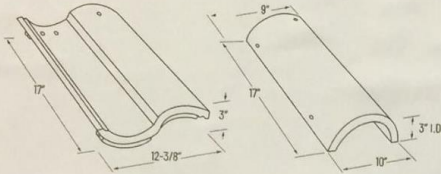
ATTACHMENT 2
Material Board

ARCHITECTURAL COLOR BOARD

Capistrano

PER 100 SQ. FT. 88.5 Tiles (3" overlap)
900 Pounds (approx.)

A high S-profile tile, our Capistrano is semi-cylindrical and is the most traditionally recognized of all tile profiles. While you may think a Capistrano tile roof is suitable for only Spanish or Italian architecture, it actually offers stunning good looks that work well with any style, as it pairs nicely with stucco, stone or brick siding. It is used widely on residential, commercial, military and institutional buildings throughout the United States.



3698 Kona Red Range - Range of Red
Ref. 25 A-Ref. 27 Em. 83 A-Em. 90 SR22 ASR 28 CRC 0918-0018

95 SHORT WAY
SO. PASADENA, CA

PREPARED BY:
LARRY LACHNER

LaHabra®

50 CRYSTAL WHITE 100 BASK 100

Crown 5300 Series Vinyl Windows

THE SINGLE HUNG WINDOW is the premier Crown Series Vinyl Window. This product gently glides vertically providing ventilation. The upper sash is fixed and the vent sash can be removed for cleaning and maintenance purposes. The single hung window is available in dual glaze and specialty glass options.



FEATURES:

SEMI-IRISING CORNER SECTIONS



SECURITY

Crown Lock System

1. 3/4" Dual Glazing Standard
2. Full Welded Frame & Sash
3. Steel Stiffener
4. Multi-Chamber Frame



Horizontal Sliding

The Crown Horizontal Sliding Window features many of the same characteristics as the Single Hung. Instead of raising vertically, the sash opens horizontally. The Sliding Window is equipped with premium adjustable tandem rollers which ensure smooth operation for many years to come.

HORIZONTAL SLIDING CORNER SECTIONS



TANDEM ROLLERS

1. 3/4" Dual Glazing Standard
2. Full Welded Frame & Sash
3. Steel Stiffener
4. Multi-Chamber Frame

Additional Features:
Anti-Lift
Adjustable Tandem Rollers (See Picture)

Casement / Awning

Add personality to your home with the Crown Series Casement and Awning Windows. Using a shaft operator system to open and close the window, casement windows open from the side while awning windows open from the horizontal all position providing ventilation.

FEATURES:

1. 3/4" Dual Glazing Standard
2. Full Welded Frame & Sash
3. Aluminum Stiffener
4. Multi-Chamber Frame
5. Casement Crank Handle
6. Awning Shaft Operator
7. Vertical Sash Hinge
8. Horizontal Sash Hinge
9. Protective Fiber Mesh Screen
10. Multi-Point Locking System



WESTERN/SANTA FE

By AAW Inc.



SW-84 DOOR WITH SW-1100 WRAP AROUND TRANSOM

ATTACHMENT 3
Photographic Survey of Neighboring Properties

95 Short way

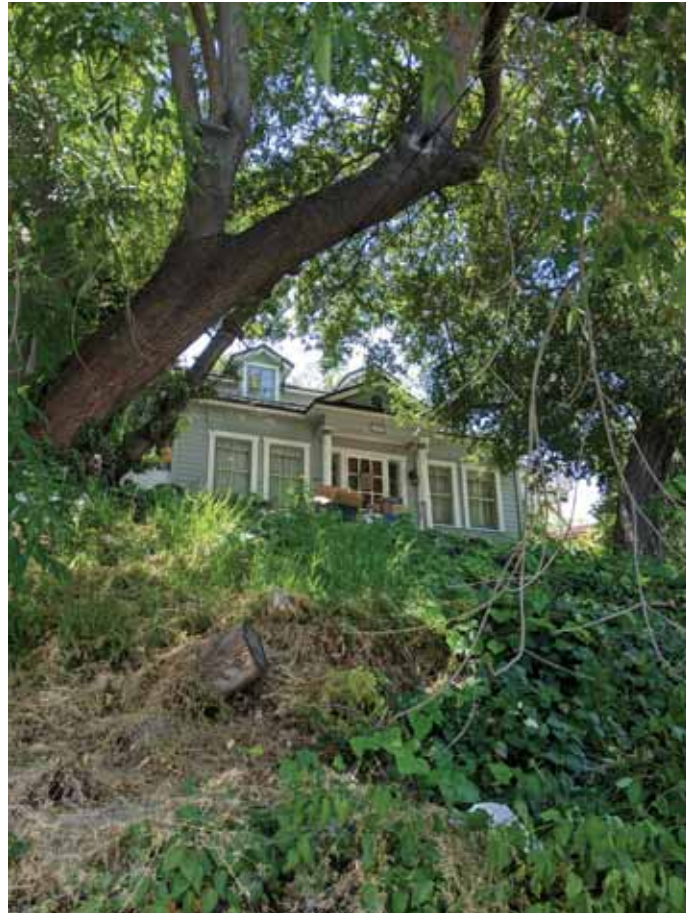
NEIGHBORHOOD PHOTO STUDY



95 Short Way



93 Monterey - 36' Tall



1205 Oak Hill - 26' Tall



1209 Oak Hill 28' Tall



95 Short Way



1219 Oak Hill 19' Tall



29 Short Way - 28' Tall



15 Short Way - 29' Tall



95 Short Way



23 Short Way – 18' Tall



25 Short Way – 25' Tall



29 Short Way - 24' Tall

95 Short Way



31 Short Way - 22' Tall



1237 Oakhill - 19' Tall



1239 Oak Hill- 18' Tall

95 Short Way



1241 Oakhill – 19' Tall



98 Pinecrest- 18' Tall



1244 Oak Hill- 17' Tall

95 Short Way



1236 Oakhill – 19' Tall



1230 Oak Hill 13' Tall



200 Oak Hill Ter- 23' Tall

95 Short Way



100 Oakhill Terrace – 13' Tall



1216 Oakhill – 13' Tall



1211 Brunswick - 27' Tall

95 Short Way



1207 Brunswick – 26' Tall



1216 Oak Hill - 23' Tall

ATTACHMENT 4

Staff Report from July 16, 2020 CHC Meeting



Cultural Heritage Commission Agenda Report

ITEM NO. 4

DATE: July 16, 2020

TO: Chair and Members of Cultural Heritage Commission

FROM: Joanna Hankamer, Director of Planning and Community Development and
Kanika Kith, Planning Manager

VIA: Aneli Gonzalez, Management Intern

SUBJECT: Project No. 2268- NID/DRX- Notice of Intent to Demolish of a 1,081 square-foot single-family and 2 car garage, and Design Review of a new single-family home located at 95 Short Way (APN No: 5312-030-001)

Recommendation

Staff recommends that the Cultural Heritage Commission make a determination that the property does not meet the national, state, or local criteria for historic designation and the project may proceed through the city's application process without any further restrictions under the Cultural Heritage Ordinance for the demolition of a 1,081 square-foot single-family home and 2-car garage located at 95 Short Way.

Background

The one-story, single-family home was built in 1951, date is unknown for the construction of the two-car garage. A site visit was conducted February 2020 for the Historic Resource Evaluation of the house structure.

An associated Design Review Permit for development of a new single-family home will be presented to the Design Review Board at a later date.

Discussion/Analysis

Project Description

The applicant is requesting for the CHC to determine that the property at 95 Short Way is ineligible as a Historic Resource at either the national, state, or local level. The project site is located in Monterey Hills on the south side of Short Way and surrounded by single family homes. **Figure 1** is an aerial view of the project site outlined in green below and **Figure 2** is a street view of the structure to be demolished.

Figure 1: Aerial View of Project Site



Figure 2: Single-Family Home Street View



Project Analysis

In accordance to the City's Preservation Ordinance Section 2.65(e)(3), the City entered into a contract with an Architectural Historian to do an intensive-level Historic Resources Evaluation (HRE) report on behalf of the property owner for their proposed demolition of a structure over 45 years old. The applicant is proposing to demolish the existing single-family home structure and 2-car garage.

The City started to survey properties in 1991 to ensure that cultural resources were recognized. In 1994, the City Council adopted the Inventory of Cultural Resources which included all properties and historic districts eligible for local, state, or federal designation. Additional surveys were conducted in 2002 and 2015-2016, to update the inventory. The subject property was not identified or included in any of those surveys.

The Historic Evaluation Report has determined that the property is ineligible as a historic resource at either the national, state, or local level. In addition, research was conducted if the property was associated with any significant pattern of development or event, or with an individual important in the history of the city, region, state, or nation and if the property has an excellent example of its architectural style.

The report concluded that the property has some of the character-defining features typical of the Mid-Century Modern era, but overall represents a relatively utilitarian example of architecture style. The property does not appear to be the work of a master, or an example of a rare building or construction type, or the last property type of its kind. The property is also not associated to an important event or with a person of significance.

Based on the report's findings, the proposed project of demolition should have no impact on Historic Resources.

Staff is recommending the Cultural Heritage Commission (CHC) concur with the report's findings and allow the project to proceed to Design Review with any further historic review process. If the CHC determines that the property does not have any historic and cultural significance, the project may proceed to the Design Review Board for a Notice of Intent to Demolish and Design Review for the new house.

Alternatives to Consider

If the Commission does not agree with staff's recommendation, the following options are available:

1. The Cultural Heritage Commission can Continue the project to address comments discussed; or
2. The Cultural Heritage Commission can determine that the property is potentially eligible at the federal, state, or local level, the property shall be added to the City's Inventory of Cultural Resources and proceed with procedures for a Certificate of Appropriateness for the proposed demolition.

Next Steps

1. If approved, the applicant will proceed with the Design Review Board for a Notice of Intent to Demolish and Design Review.
2. If denied, the Cultural Heritage Commission's decision can be appealed by the applicant to the Planning Commission.

Fiscal Impact

Not Applicable.

Environmental Analysis

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities and Section 15303, Class 3 New Construction or Conversion of Small Structures. Class 1 exemption includes demolition and removal of individual small structures such as a single-family residence. Class 3 exemption includes the construction of up to three single-family residences within an urbanized area.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review* newspaper, and individual property mailings to those within 300 feet of the project site.

Attachment

1. Historic Resources Evaluation Report

ATTACHMENT 5
Development Plans

**DYNAMO
CONSTRUCTORS, INC.**

dynamobuild@yahoo.com

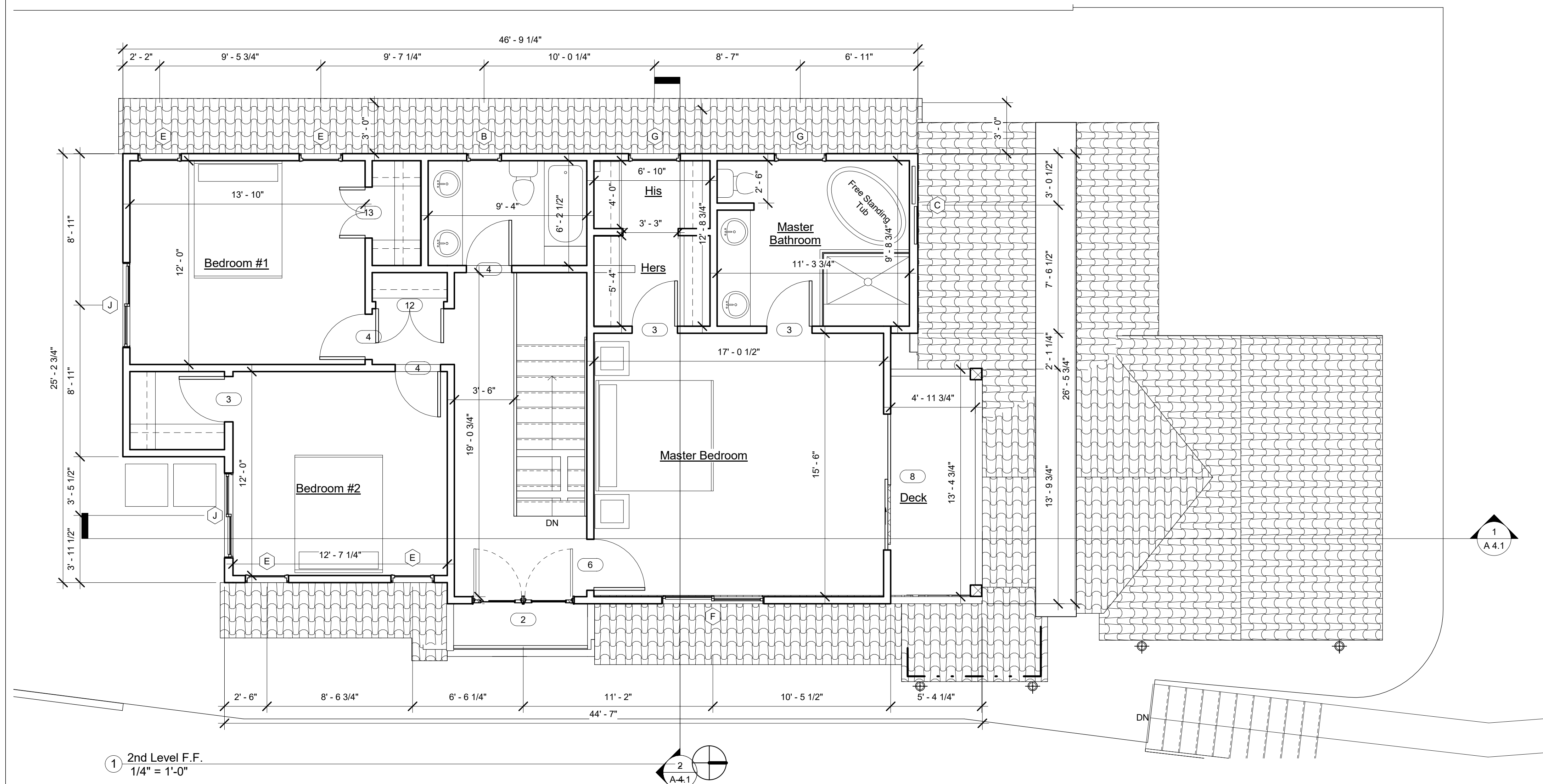
CONSULTANTS:

DESIGN / CONSTRUCTION:

Dynamo Constructors Inc.
Engineering, General Contractors & Design
License # 522526
20455 Covina Hills Road
Covina, CA
(626) 351-1259
dynamobuild@yahoo.com

Mechanical Engineer Title -24:

Name Perfect Design
2416 W. Valley Blvd
Alhambra, CA
(626) 289-8808



1 2nd Level F.F.
1/4" = 1'-0"

Window Schedule

Mark	Width	Height	Count	Operation	Finish	Glazing	Description
A	2' - 0"	3' - 0"	1	Casement	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
B	2' - 0"	4' - 0"	1	Casement	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
C	5' - 0"	4' - 0"	1	Slider	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
D	5' - 0"	5' - 0"	2	Slider	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
E	2' - 6"	4' - 6"	4	Casement	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
F	6' - 0"	5' - 0"	2	Slider	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
G	3' - 0"	5' - 0"	2	Casement	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
H	7' - 0"	10' - 6"	1	Fixed	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
I	5' - 0"	4' - 6"	1	Slider	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation
J	5' - 0"	5' - 0"	5	Slider	Vinyl - Brozone Coating	Dual Glazing	Specified Equal Light Horizontal 1/3 - See Elevation

Door Schedule

Mark	Width	Height	Count	Operation	Finish	Glazing	Description
1	3' - 6"	8' - 0"	1	Swinging	Solid Wood - Double espresso stain	No Glazing	Entry Door
2	6' - 0"	8' - 0"	1	Swinging	Vinyl - Brozone Coating	Dual Glazed	Specified Equal Light Horizontal 1/3 - See Elevation
3	2' - 8"	7' - 0"	7	Swinging	Solid Wood - Paint	No Glazing	Interior Pair
4	2' - 8"	8' - 0"	5	Swinging	Solid Wood - Paint	No Glazing	Interior Pair
5	2' - 6"	6' - 8"	1	Swinging	Solid Wood - Paint	No Glazing	Interior Pair
6	3' - 0"	6' - 8"	1	Swinging	Solid Wood - Paint	No Glazing	Interior Pair
7	16' - 0"	8' - 0"	1	Sectional Over Head	Wooden Sectional - Double Espresso Stain	Dual Glazing	Garage Door
8	8' - 0"	8' - 0"	2	Sliding	Vinyl - Brozone Coating	Dual Glazed	Specified Equal Light Horizontal 1/3 - See Elevation
9	6' - 0"	8' - 0"	2	Sliding	Vinyl - Brozone Coating	Dual Glazed	Specified Equal Light Horizontal 1/3 - See Elevation
10	6' - 0"	6' - 8"	1	Sliding	Solid Wood - Paint	No Glazing	Closet Slider
11	2' - 0"	6' - 8"	1	Swinging	Solid Wood - Paint	No Glazing	Interior Door
12	4' - 0"	6' - 8"	1	Swinging	Solid Wood - Paint	No Glazing	Interior Pair
13	3' - 0"	6' - 8"	1	Swinging	Solid Wood - Paint	No Glazing	Interior Pair
14	2' - 8"	7' - 0"	1	Swinging	Solid Wood - Paint	Self Closing Tight Fitting	1/hr Fire/20 Min Lable Door
15	5' - 0"	8' - 0"	2	Sliding	Vinyl - Brozone Coating	Dual Glazed	Specified Equal Light Horizontal 1/3 - See Elevation

Sam Sahgal

95 Short Way Street
South Pasadena CA

Second Level

Project number _____ Project Number _____
Date _____ 5/8/2020 4:13:47 AM
Drawn by _____ Author _____
Checked by _____ Checker _____

A 2.2

Scale _____ 1/4" = 1'-0"















Design Review Board Agenda Report

ITEM NO. 2

DATE: October 1, 2020

FROM: Kanika Kith, Planning Manager

VIA: Candida Neal, Contract Planner
Malinda Lim, Associate Planner

SUBJECT: **Project No. 2317-DRX – Design Review** for a 1,488 square foot, single-story addition to an existing 1,770 square foot, single-story house and construction of a new two-car detached garage located at 2065 Marengo Avenue (APN: 5320-013-003).

Recommendation

Staff recommends that the Design Review Board approve the Design Review with the creation of a subcommittee to work with the Applicant on design changes, subject to conditions of approval.

Background

The existing one-story, single-family home was built in 1920. On May 1, 2020, the Applicant's representative, Jim Fenske, submitted an application for Design Review.

Discussion/Analysis

Project Description

The Design Review application proposes to make the following changes to an existing single-story home located at 2065 Marengo Avenue:

- Construction of a 1,488 square-foot, one-story addition;
- Construction of a new, 417 square-foot, two-car garage;
- Replacement of the existing deck with 365 square-foot deck a 133 square-foot deck and construction of a new 32 square-foot deck to provide access to the art studio;
- Removal of a brick chimney from the north elevation.
- Relocation of a 30" diameter Camphor tree to the rear of the yard.

The project would expand the floor area of the existing single-family residence to a total of 2,218 square feet. The property is a 15,000 square foot lot and the existing home is 1,770 square feet. No trees are proposed to be removed but a 30-inch, multi-trunk Camphor tree will be relocated on the project site.

Location

The property is located on the block bounded by Maple Street to the north, La France Avenue to the west, Alhambra Road to the south and fronts Marengo Avenue on the east. Properties surrounding the site are one-story homes on 6,000 square-foot lots. The site is not on the South Pasadena Inventory of Historic Structures and it is not within a historic district or a potential historic district. **Figure 1** is an aerial view

of the project area with the site outlined in yellow. **Figure 2** is a street view of the existing home. Additional images of the property are included in **Attachment 3**.

Figure 1: Aerial View of Project Site

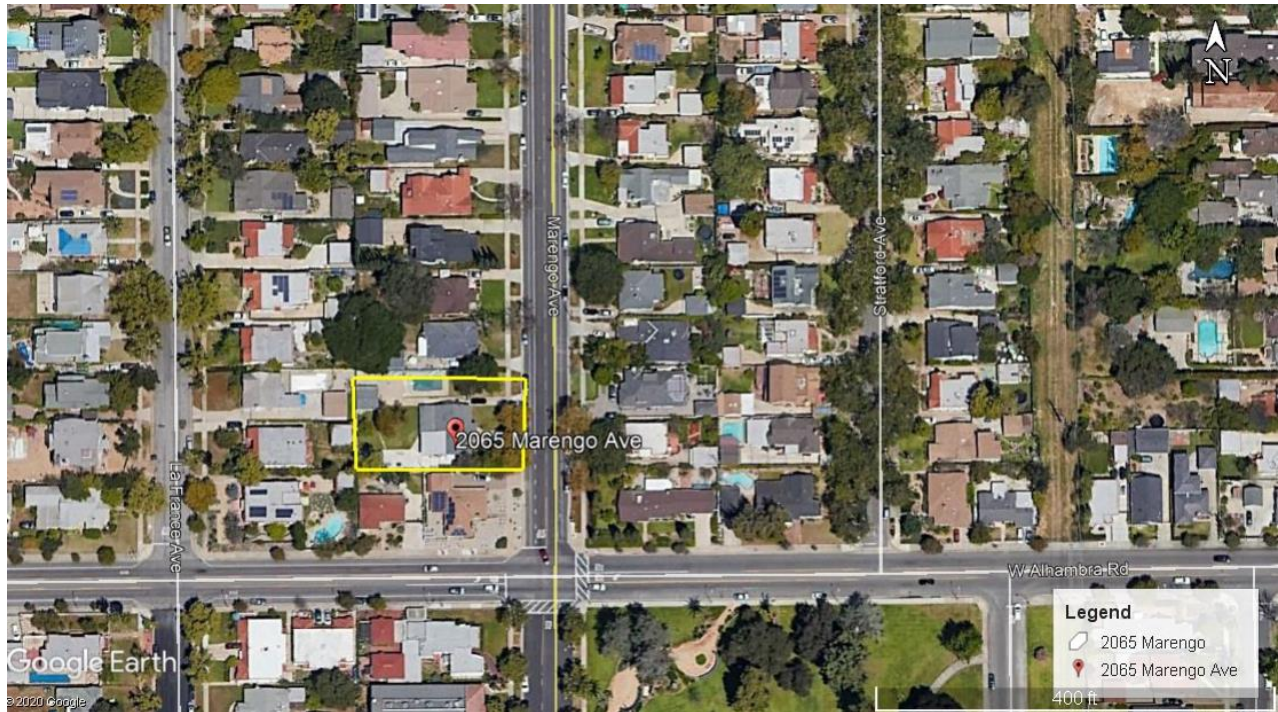
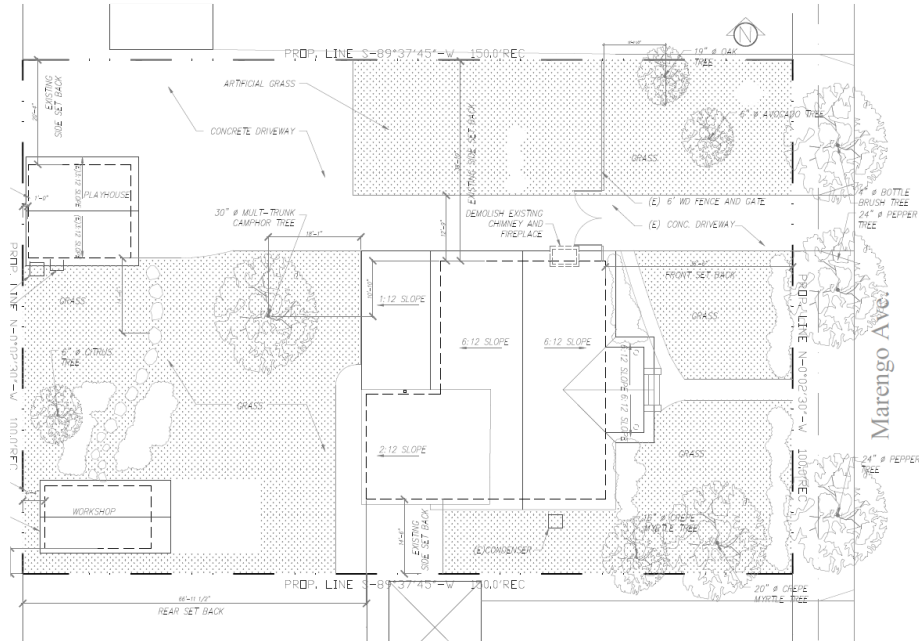


Figure 2: Street View of Existing Home

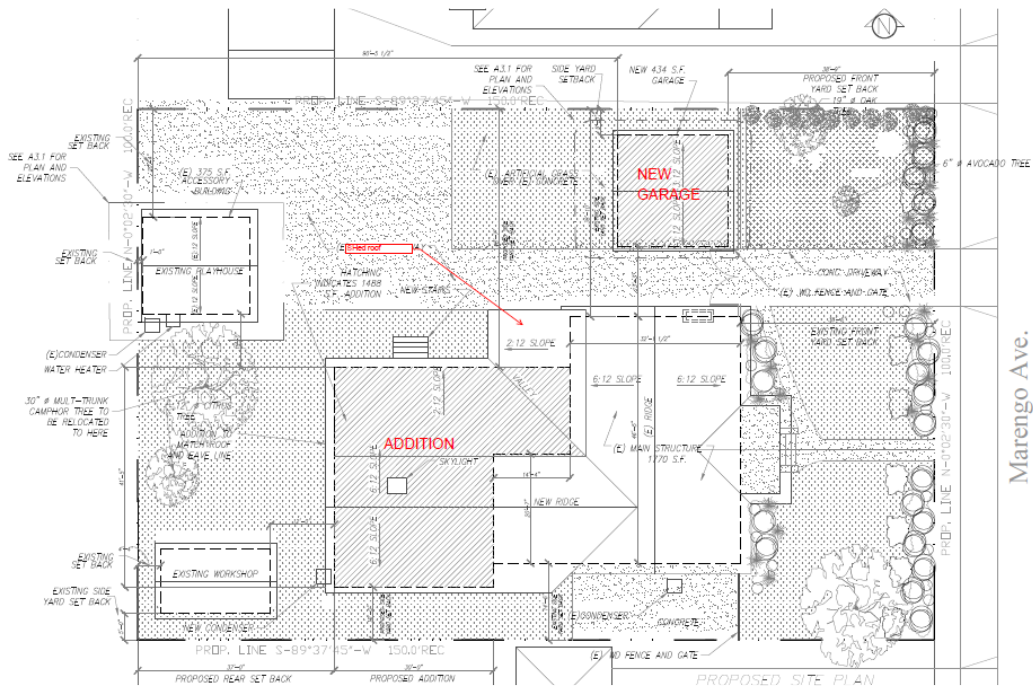


The existing and proposed site plans are shown in **Figure 3**. The proposed addition and new garage are cross-hatched and noted on the proposed site plan.

Figure 3: Existing and Proposed Site Plans



Existing Site Plan



Proposed Site Plan

General Plan Consistency

The General Plan land use designation of the site is Low Density Residential which allows single-family units to be built at a density between 3.5 to 6.0 dwelling units per acre. The proposed project involves an addition to a single-family dwelling and does not exceed the number of allowable units for the property, therefore, it is consistent with the General Plan land use designation.

The project with resolution of the design issues by a Design Review Subcommittee, would be consistent with the goal and applicable policies identified below:

- Quality New Developments Goal 8: To harmonize physical change to preserve South Pasadena’s historic character, scale, and “small town atmosphere”
 - Policy 8.1 (Require contextual, compatible and responsible design) Encourage new development to respect South Pasadena’s heritage by requiring that it “respond to context” – the distinctiveness of the locality and regional as well as the scale and special characteristics of the fabric of the site’s immediate surroundings; require that it be compatible with the traditions and character of the City and minimize adverse impacts on the privacy and access to light and air of its neighbors.
- Neighborhood Protection Goal 10: To preserve the scale, architectural character, infrastructure and landscape assets of South Pasadena’s established residential neighborhoods)
 - Policy 8.1 (Prevent mansionization). Ensure that remodeling or infill development in established residential neighborhoods is harmonious in scale and building form with its context and that “mansionization” is both avoided and prevented.

Zoning Code Compliance

The property is zoned RS - Residential Single Family and subject to the development standards in the Zoning Code Section 36.220.030.

Table 1: Residential Zoning District General Development Standards (RS Zone)			
	<i>Allowed/Required</i>	<i>Existing</i>	<i>Proposed</i>
Lot Coverage	50% (7,500 sq. ft.)	19% 2,878 sq. ft.	32% 4,739 sq. ft.
Floor Area Ratio (excludes carport and garage)	35% (5,250 sq. ft.)	18% 2,633 sq. ft.	28% 4,121sq. ft.
Building Height	35’	19’ – 5 1/2”	20’
Off-Street Parking	2 covered spaces	0	2 covered spaces in the new garage

Table 1: Residential Zoning District General Development Standards (RS Zone)			
	<i>Allowed/Required</i>	<i>Existing</i>	<i>Proposed</i>
Residence Front and Rear Setback	Front Setback 25% of depth = 37.5' Minimum = 25' Maximum = 35' Required 35' Rear Setback: 25'	Front: 36' 6" Rear: 67'	Front: 36' 6" Rear: 37'
Residence Side Setback	Side Setback 10% of width = 10' Minimum = 4'	North: 38' – 10" South: 14' - 6'	North: 38' – 10" South: 10'
Detached Garage Setbacks	5 ft. side and/or rear property line 10 ft. separation from other structures	No existing garage	Side: 5' feet Rear: 90' 5 ½" 13' 3" ft. from house
Accessory Structures	5 ft. side and/or rear property line (applies to accessory structures over 120 sf) There are two accessory structures on the property. The Playhouse is 375 sf and the Workshop is 245 sf	Playhouse: 1' from the rear property line Workshop: 4' 4" from the rear property line	Both structures have legal nonconforming status.

Design Review

The Design Review Board (DRB) is the Review Authority of this project since it is a project not subject to the provision of Chapter 2.65 (Cultural Heritage Ordinance) of the Municipal Code. The property is not a historic resource as it is not listed in the City's Inventory of Cultural Resources (Resolution No. 6268). In addition, according to the City's latest Historic Resources Survey, this property is not within a designated historic district and is not within a potential local historic district.

Because the property is not within a historic district or a potential historic district, the Residential Design Guidelines, Part III for Non-Historic Homes apply to this project in addition to the development standards of the Zoning Code.

Table 2: Residential Zoning District General Development Standards (Design Compatibility)		
	<i>Existing</i>	<i>Proposed</i>
Architectural Styles	One-story bungalow	One-story bungalow
Building Form	The one-story home is an L-shape form with the long leg running parallel to the street. The short leg of the L, which was an addition to the original home, runs parallel to the south property line. The two portions of the house are connected by a 364 sf covered deck.	The proposed addition will add 1,488 sf to the rear of the house. The short leg of the L will be widened and much of the deck removed. A 2-car garage is proposed on the north property line.
Building Elevations - Residence	The East elevation is the only elevation visible from the street. A covered front porch is located in the center of the façade. A pediment roof supported by two classical columns frames the entry. Two grouped, one-over-one, double-hung windows are located on each side of the entry.	There will be no change to the front elevation of the residence. However, the fireplace on the north elevation (not directly facing the street, but visible from the street) will be removed.
Required Parking – New Garage Design	The property currently does not meet City requirements for single family homes. A carport was destroyed in a fire in the 1970s and the required spaces were never replaced. As part of the proposal, the applicant is required to construct a new garage to meet zoning code.	<p>The new garage will be located north of the existing driveway. The garage door will face west, toward the back of the lot. To enter the garage, vehicles will pass between the house and the garage make a U-turn on the paved area along the north property line. The rear of the garage faces the street and lacks articulation that would make it visually interesting.</p> <p>In this neighborhood garages are historically located to the rear of the property. Locating the garage even with the front of house creates an almost continuous building wall across the entire 100' width of the lot and will impact the streetscape.</p> <p>Staff has concerns regarding the new garage design due to the location, orientation, and lack of detail on the street-facing elevation.</p>

Table 2: Residential Zoning District General Development Standards (Design Compatibility)		
	<i>Existing</i>	<i>Proposed</i>
Floor Plan	In the existing floor plan, the living and dining areas are combined in a large room. The kitchen opens onto the north side of the living area. A hall on opposite wall connects the three bedrooms and the bathrooms to the living room.	<p>The addition will relocate the dining area and remove the fireplace from the living room. A painting studio and photo studio will be added along with 2 bathrooms, an office and fourth bedroom. Separate entrances are provided from the dining room and the artist studio.</p> <p>Staff is concerned that the floor plan could be modified to create multiple dwelling units within the residence and lead to illegal occupancy.</p>
Building Materials	The original home was sheathed in horizontal wood cladding. However, on a previous addition cement board siding was used.	<p>In the proposed addition, siding on all new construction will be cement board. The existing wood cladding will remain on the original portion of the home.</p> <p>Staff is concerned that the cement board will not match the existing wood siding.</p>
Colors	The body of the house is painted a green. White is used as an accent color.	The addition will be painted green with white trim to match the existing home.
Windows	On the street façade, two one-over-one wood-frame windows with simple wood surrounds are grouped on either side of the front entry. On the other elevations, the original home had one-over-one wood-frame windows with simple wood surrounds in a variety of rectangular configurations. However, casement vinyl windows were used in a previous remodel.	New windows are one-over-one, double hung, vinyl windows. Existing double hung windows will remain and in some cases be reused. The vinyl casement windows will be replaced with vinyl double hung windows that match the original windows on the house.
Roof Materials	The roof is made of composition roof shingles.	The proposed addition will match the existing composite shingles in color, application, and material.
Roof	The roof on the original home was a horizontal gable, with a 6:12 slope, running in a north-south fashion parallel to the street. When the first	A new gable will cover the proposed addition and a shed roof will be constructed over the new deck.

Table 2: Residential Zoning District General Development Standards (Design Compatibility)		
	<i>Existing</i>	<i>Proposed</i>
	<p>addition was constructed, creating the L-shaped configuration, two shed roofs were added. The roof covering the addition to the house had a 2:12 slope. The roof over the deck had a 1:12 slope.</p>	
Accessory Structures	<p>There are two accessory structures on the site: a 245-square-foot workshop and a 375-square-foot playhouse with bathroom facilities.</p> <p>In response to a complaint, on August 31, 2020, Code Enforcement visited the property and found that the Playroom had been converted into a living area.</p>	<p>As a result of previous issues with the existing accessory structures, staff is concerned that a portion or portions of the main residence may be used as an accessory dwelling unit without obtaining the necessary permits.</p>
Site Plan	<p>In response to a complaint, on August 31, 2020, Code Enforcement visited the property and found that swimming pool had been illegally filled in.</p>	<p>The method used to fill the swimming pool could have affected the structural stability of the soils.</p> <p>Based on a review of aerial photographs, a portion of the proposed garage location may be where a pool used to be located. The method used to fill in the pool may have resulted in soils conditions will not support a structure.</p>
Camphor Tree	<p>A 30-inch multi-trunk Camphor tree is shown on the Existing Site Plan and in the site photographs, but not shown on the Proposed Site Plan.</p>	<p>The Applicant would like to relocate the Camphor tree on the project site therefore, a Tree Removal Permit is required.</p>

Figure 4: Existing and Proposed East Elevations (Street-Facing)

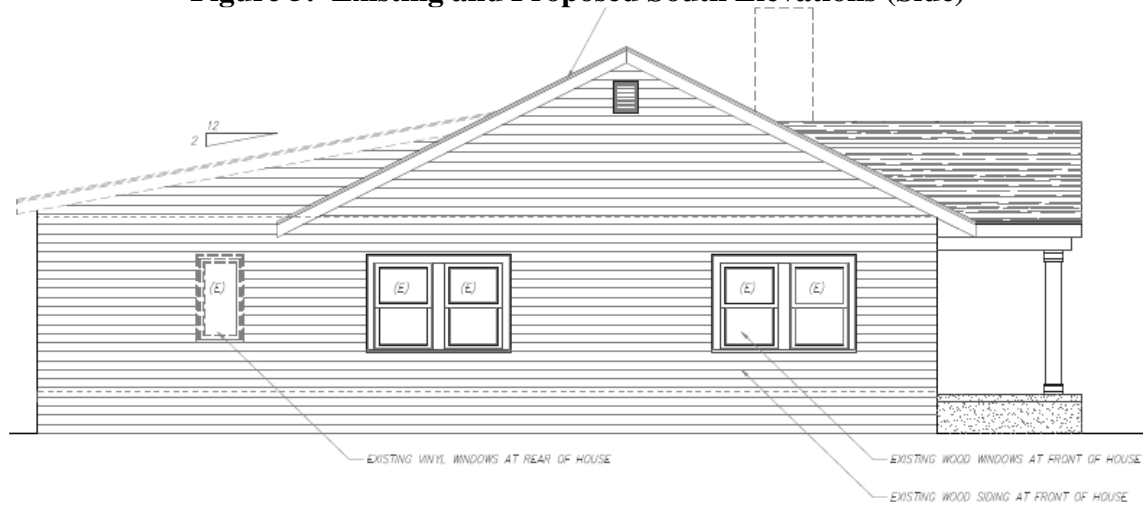


Existing East Elevation

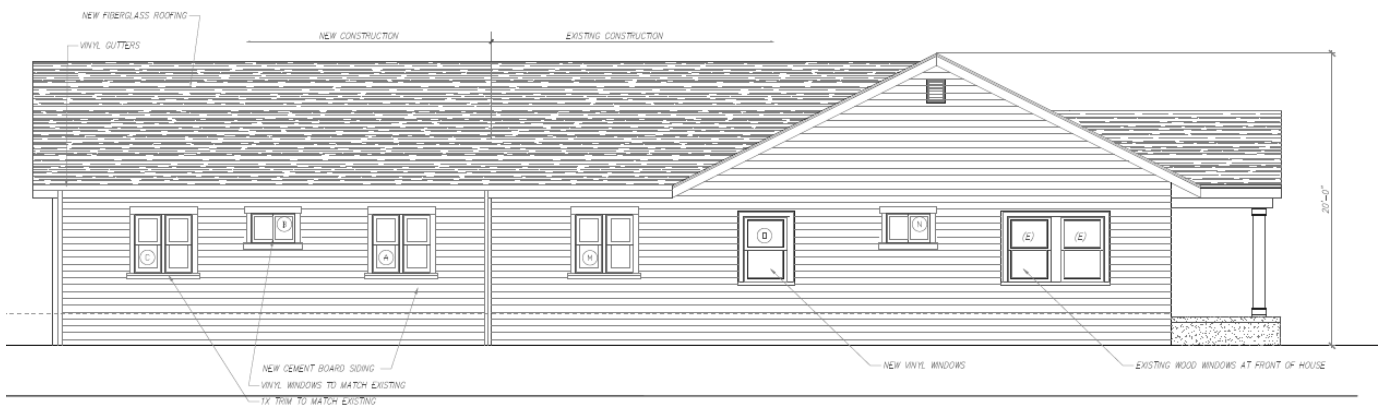


Proposed East Elevation

Figure 5: Existing and Proposed South Elevations (Side)

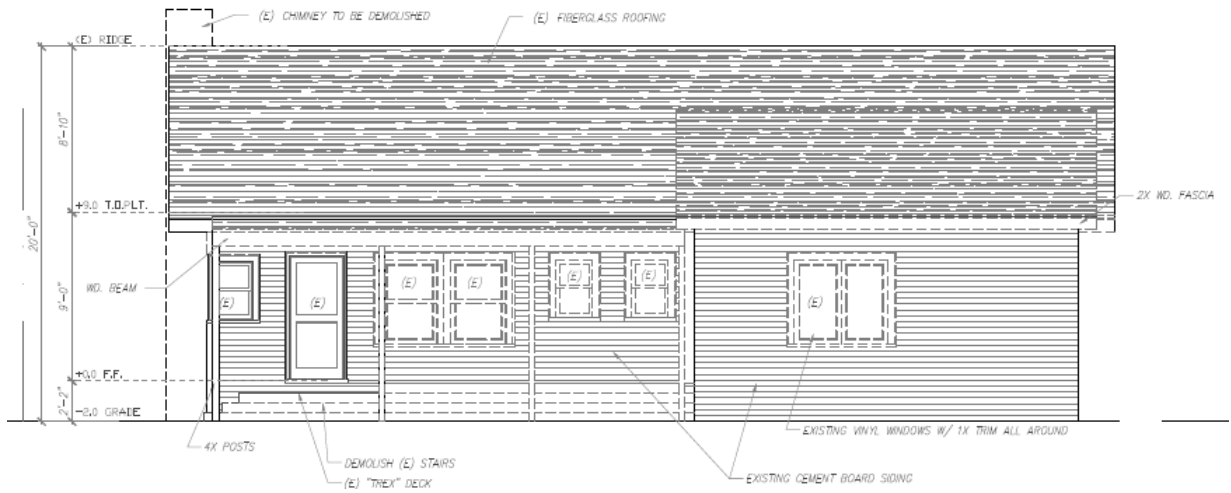


Existing South Elevation



Proposed South Elevation

Figure 6: Existing and Proposed West Elevations (Rear)



Existing West Elevation

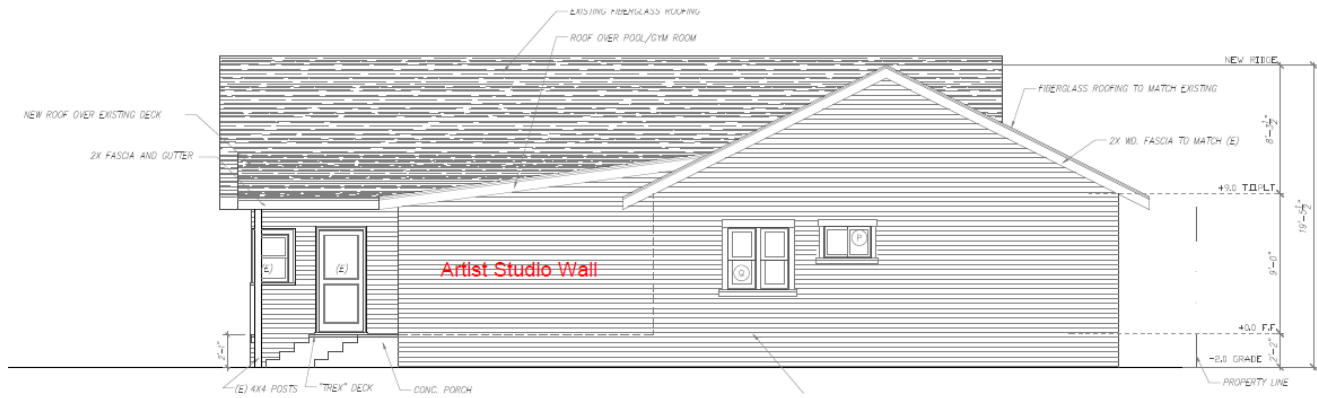
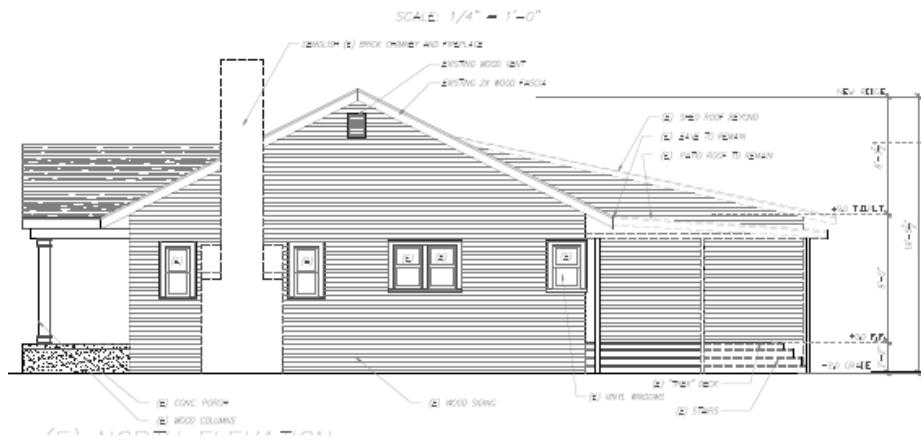


Figure 7: Existing and Proposed North Elevations (Side)

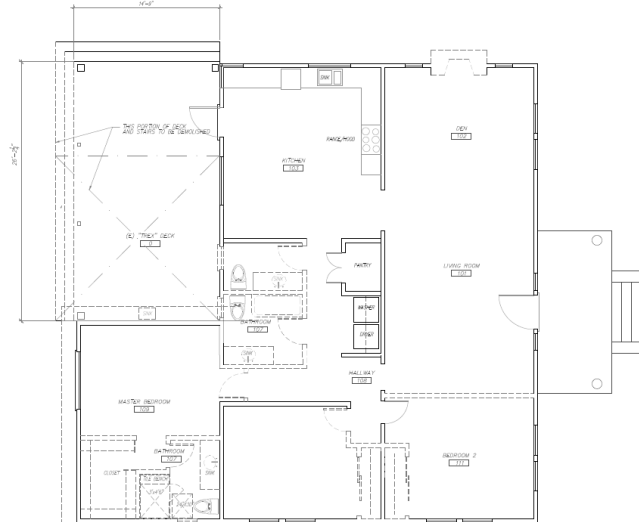


Existing North Elevation

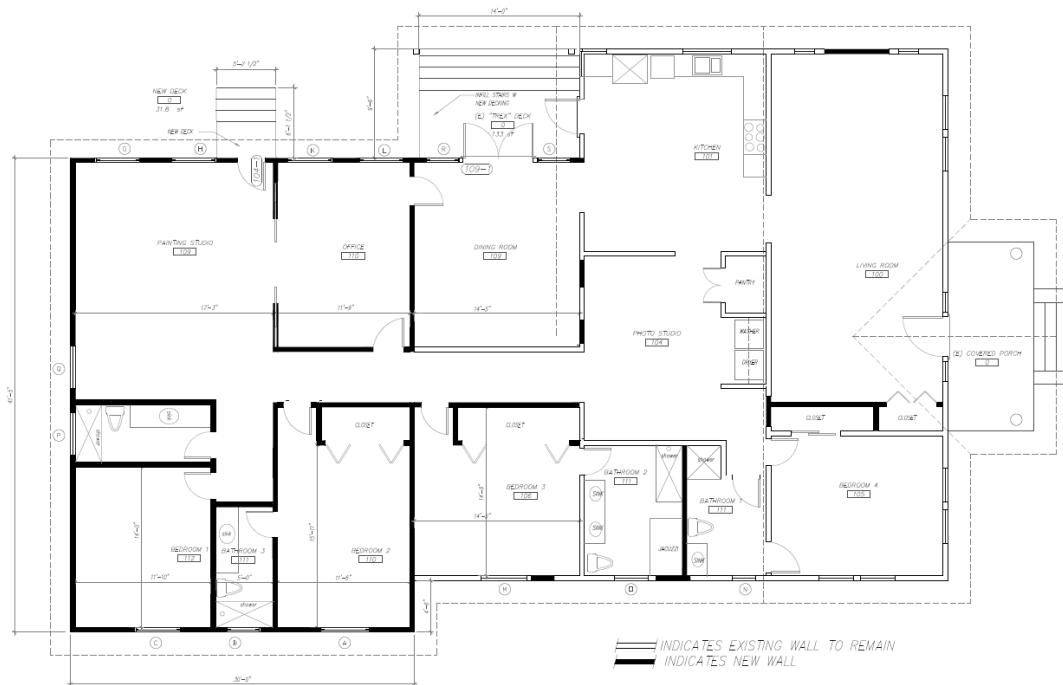


Proposed North Elevation

Figure 8: Existing and Proposed Floor Plans

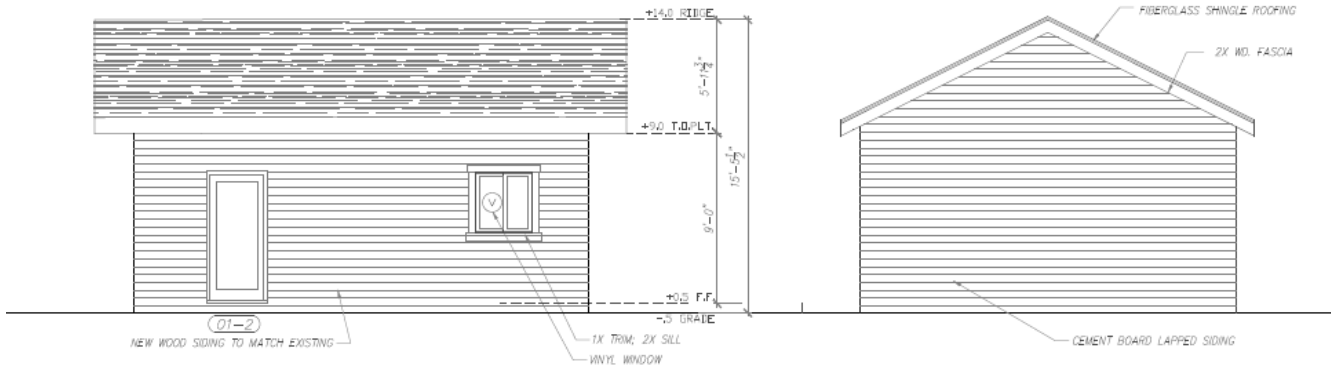


Existing Floor Plan



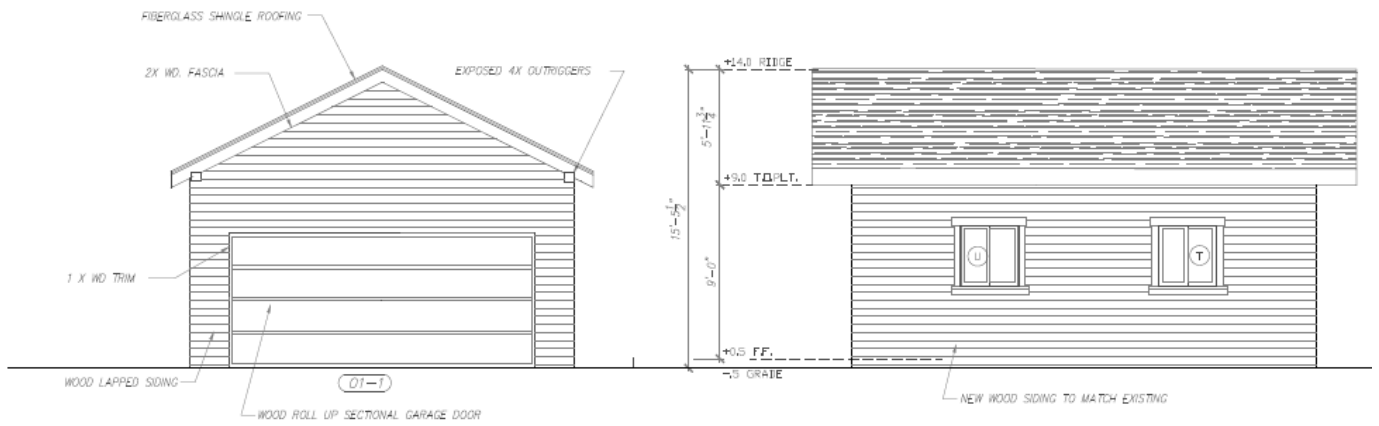
Proposed Floor Plan

Figure 9: Garage Elevations



Proposed South Elevation

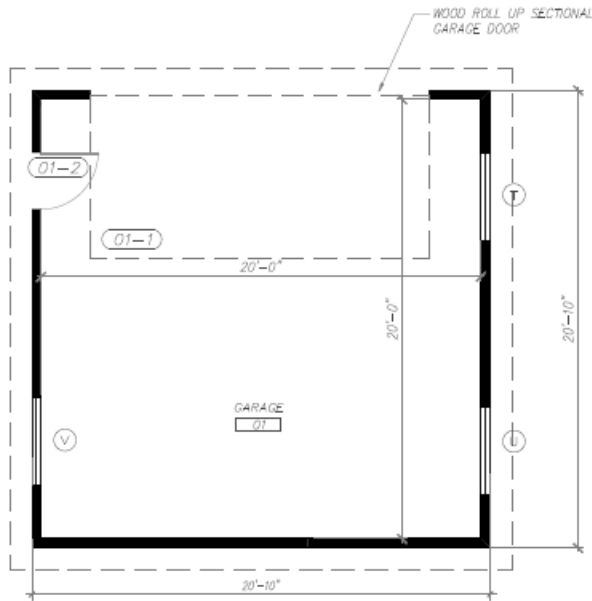
Proposed East Elevation (Street Facing)



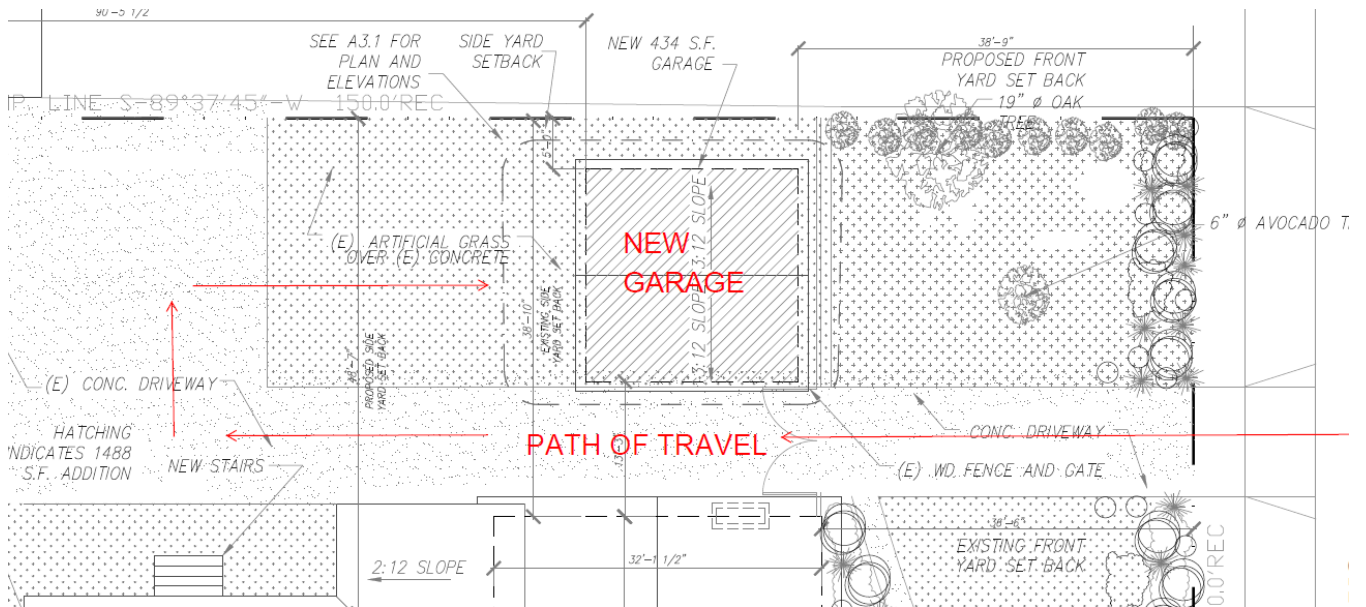
Proposed West Elevation

Proposed North Elevation

Figure 10: Garage Floor Plan and Path of Travel



Garage Floor Plan



Path of Travel to Access Garage from the Street

Proposed Design

The Applicant is proposing a 1,488 square foot addition to the rear of the existing three-bedroom, two-bath home. With the addition, the proposed home will have a total of 4 bedrooms (each with an en-suite bathroom), an office, an artist studio, and a photo studio. A new 2-car detached garage is proposed in line to the front of the existing house and separated by a 12-foot wide driveway. The garage door is oriented towards the rear of the property, away from the street.

The project is designed to reflect the scale and character of the existing home and its neighborhood.

- The basic L-shape form of the house remains but is extended into the lot.
- Two gable roofs connect to shelter the entire house. A small shed roof covers the deck that is located where the two legs of the L join.
- The texture and color of the existing wood siding on the original home will be continued with a cement board material.
- Double hung, one over one vinyl windows match the windows on the original home.

Design Recommendation

Staff recommends that a Design Review Board Subcommittee be established to work with the Applicant on design changes, subject to conditions of approval. For the reasons outlined below, the primary purpose of the Subcommittee will be to address issues related to the garage location and configuration.

- Access to the garage is awkward as shown in **Figure 10**. As discussed in **Table 2**, the location of the garage is even with the existing residence; this will negatively impact the streetscape by creating an almost continuous wall across the 100-foot wide lot frontage.
- The proposed garage location may not be possible due to potential impacts on soils stability resulting from infilling the swimming pool.

To provide the Subcommittee with the information required to address these specific concerns, one of the proposed conditions of approval requires the Applicant to provide a soils report prepared by a licensed engineer. The report shall define the area of the lot impacted by filling the pool and describe the ability of soils in and surrounding that area to support a structure prior to the first meeting of the subcommittee.

Design Conditions of Approval

Conditions of approval to address the other design issues described in **Table 2** are listed below.

- Redesign of the street-facing garage gable.
The Design Review Board Subcommittee's decision on the location and orientation of the garage could eliminate the impact on the street frontage. As a result, this condition may be modified or removed at the discretion of the Design Review Board Subcommittee.
- Addition of articulation and visual interest to the home's west elevation.

A condition of approval was added requiring that a minimum of three grouped double-hung windows be added to the west wall of the Artist Studio.

- Review of the cement board manufacturer’s specifications.
This is required to determine that the product will be match the existing wood siding on the original home.

Code Violations

The property owner received a notice of code violation in September 2020 for the back fill of a swimming pool without building permits and the illegal conversion and occupancy of an accessory structure. Although the property owner may have corrected the violations, a condition of approval requiring that any code enforcement violations be resolved prior to issuance of a building permit to ensure there are no outstanding code enforcement issues. Also, conditions were added to help bring the property up to be within code compliance. A summary of these conditions to address the code issues discussed in **Table 2** are listed below.

- One of the existing accessory structures had illegal occupancy. Although the Applicant has indicated that it is not her intent to create an accessory dwelling unit, new owners might falsely assume that the exterior access would allow them to create a separate unit. To ensure that the property owner and all future property owners understand that the rear portion of the house is not an accessory dwelling unit, a condition of approval requires the property owner to provide proof that a covenant has been recorded against the property with the Los Angeles County Recorder’s Office stating that the property is a single family use and no portion of the existing residence and no structures on the property can be used as an Accessory Dwelling Unit unless authorized to do so in conformance with the City of South Pasadena Municipal Code.
- The pool was back-filled in order to provide an area for the new 2-car garage. The Applicant did not obtain the required building permits and inspections. Therefore, a condition was added for the applicant to provide a soils report prepared by a licensed engineer defining the area of the lot impacted by filling the pool and describing the ability of soils in and surrounding that area to support a structure.
- The property owner will be required to obtain a Tree Removal Permit authorizing relocation of the 30-inch diameter Camphor tree located in the rear of the property. To ensure that the permit is issued prior to construction, a condition of approval requires that the tree permit be issued prior to issuance of any building permits. This condition of approval also requires that all conditions associated with the Tree Removal Permit shall be in effect prior to the start of construction.

Design Review

In order to approve a proposed project, the Design Review Board shall first find that the design and layout of the proposed development meet the findings listed below. If the project’s redesign incorporates the recommended design changes and any other design improvements from the DRB, the follow findings could be made.

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts,**

plan developments, or specific plans);

The project is consistent with the RS Residential Single Family Zoning District and applicable provisions of the South Pasadena Zoning Code. The project is also generally in compliance and consistency with the applicable provisions of Residential Design Guidelines, Part III for Non-Historic Homes. If the recommended conditions of approval and design changes are implemented by the applicant to the satisfaction of the Design Review Board, the project, as conditioned, will be consistent in architectural style and prevailing building form found within the neighborhood, where residential properties are modestly sized, one- and two-story, single-family residences, set on 6,000 square-foot rectangular lots with a common setback.

The General Plan land use designation of the site is Low Density Residential which allows single-family units to be built at a density between 3.5 to 6.0 dwelling units per acre. The proposed project involves the addition to a single-family dwelling and does not exceed the number of allowable units for the property, therefore, it is consistent with the General Plan. The project with the conditions of approval and design changes recommended by staff would be consistent with the land use designation of Low Density Residential and would be consistent with the goal and applicable policies identified under Quality New Developments and Neighborhood Protection.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project is an addition to an existing single-family dwelling constructed in the 1920s within an established single-family neighborhood. As conditioned, the project's mass, scale and bulk would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards. The conditions of approval include design recommendations to ensure that the property is used as a single family residence and that existing and future property owners are notified that none of the structures can be rented without complying with the City Accessory Dwelling Unit Ordinance.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The conditions of approval that include design changes to the elevations and requiring a covenant addressing illegal residential occupancy, would address Zoning Code compliance and consistency with the applicable provisions of Residential Design Guidelines, Part III for Non-Historic Homes. The project with the conditions of approval would be visually compatible with the form of the adjacent existing residence and prevailing architectural style found in the established neighborhood.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The project, as conditioned, would provide an expanded living space for its residents and desirable environment for the established neighborhood of single-family dwellings. Through the conditions of approval's recommended design changes, the aesthetics of the design complement other homes in the neighborhood.

Environmental Analysis

Pursuant to the provisions of California Environmental Quality Act (CEQA) and the CEQA Guidelines, the development is a project that requires discretionary approval from the Design Review Board. In accordance with CEQA Guidelines Section 15061 (Review for Exemption) that mandates a finding of exemption to determine that no further environmental review is required. Section 15303, Class 3 New Construction or Conversion of Small Structures applies to the project that would construct an addition to an existing single-family dwelling in a residential zone.

Staff Recommendations and Alternatives to Consider

Per Zoning Code Section 36.600.050(J), in order to facilitate the review process for this project, the DRB may delegate within its membership its review authority and the implementation of the conditions of approval by appointing either one of the following a) the Chairperson, acting alone, or b) a subcommittee of the full DRB, for specified review of this project's design. As stated above, staff recommends that the DRB approve the Design Review Permit with the creation of a subcommittee to work with the applicant on design improvements focusing on the orientation and location of the garage and other design considerations needed. A condition of approval requires that the applicant provide a report prepared by a licensed engineer defining the area of the lot impacted by filling the pool and describing the ability of soils in and surrounding that area to support a structure.

As an alternative to Staff's recommendation, the DRB may also consider the following options as an action:

1. The Design Review Board can Approve as submitted without design changes as recommended by Staff; or
2. The Design Review Board can Approve with modifications to condition(s); or
3. The Design Review Board can Continue the project for a future public hearing and direct the Applicant to make changes to the project; or
4. The Design Review Board can Deny the project.

Next Steps

1. If approved, conditionally, or as submitted, the Applicant will proceed through the Plan Check Process with Building and Safety. If any Conditions of Approval are proposed or added by the Board, they must be met prior to submittal of Plan Check.
2. If denied, the Design Review Board's decision can be appealed by the Applicant to the Planning Commission.

Fiscal Impact

Not Applicable.

Public Comment

At the time of writing this report, staff received no public comments.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review* newspaper, and individual property mailings to those within 300 feet of the project site.

Attachments

1. Conditions of Approval
2. Project Narrative
3. Property Photos
4. Correspondences from Applicant
5. Development Plans

ATTACHMENT 1
Conditions of Approval

**ATTACHMENT 1
CONDITIONS OF APPROVAL
Design Review Board**

**PROJECT NO. 2317-DRX - Design Review for
2065 Marengo Avenue (APN: 5320-013-003)**

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION

The following approval is granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on October 1, 2020:

- **Design Review** for the construction of a 1,488 square-foot addition to an existing 3-bedroom home, removal of an existing chimney, and construction of a new 2-car garage.

General conditions for all existing buildings and proposed addition:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review approval.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Design Review Board concerning this use.
- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.

- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and 10:00 am to 6:00 pm on Sunday.
- P8. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.

Prior to Issuance of Grading Permit

- P9. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.
- P10. The applicant shall submit a construction management plan for approval by the Building, Planning, and Public Works Departments. The construction management plan shall include, but not be limited to:
- a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as part of the staging plan. The applicant shall obtain input from Public Works to identify haul route and staging area.
 - b. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas.
 - c. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses and residents impacted by any parking restrictions during construction.
 - d. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other state-required noise-attenuation devices.

- e. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
- f. A sign, legible at a distance of 50 feet, shall be posted at the Project construction site providing a contact name and a telephone number where residents can inquire about the construction process and register complaints. This sign shall indicate the dates and duration of construction activities. In conjunction with this required posting, a noise disturbance coordinator shall be identified to address construction noise concerns received. The contact name and the telephone number for the noise disturbance coordinator shall be posted on the sign. The coordinator shall be responsible for responding to any local complaints about construction noise and shall notify the City to determine the cause and implement reasonable measures to the complaint, as deemed acceptable by the City.

Prior to issuance of Building Permits

- P11. The applicant shall pay for all applicable City development impact fees, and all other public agency fees including plan review and permit fees.
- P12. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P13. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Community Development Director. The applicant shall be responsible for consultant cost for reviewing the landscape and irrigation plans. The final landscape plans shall provide, but not limited to the following:
 - a. Screening of all above ground equipment from public view.
 - b. Incorporate the tree protection conditions listed below under Public Works.
- P14. The applicant shall submit plans for review and final approval by the Design Review Board subcommittee that include changes required by the Design Review Board Subcommittee addressing the following concerns:
 - a. Garage location and orientation. Recognizing the structural constraints created by the pool fill, the Subcommittee shall evaluate options for the location and orientation of the garage and direct the applicant on the appropriate garage location and orientation.
 - b. Revised west house elevation to include articulation and visual interest.
 - c. Show a minimum of three grouped double hung windows added to the west wall of the Artist Studio.
 - d. Revise the garage street-facing elevation by adding articulation to the building plane and visual interest to the gable area. Recognizing that the decision the Design Review Board Subcommittee makes on the location and orientation of the garage could eliminate the impact on the street frontage, this condition may be modified or removed at the discretion of the Design Review Subcommittee.

- P15. Prior to the first meeting of the Design Review Board Subcommittee, the applicant shall provide a soils report prepared by a licensed engineer defining the area of the lot impacted by filling the pool and describing the ability of soils in and surrounding that area to support a structure.
- P16. The applicant shall have cleared all active code enforcement actions. Those code violations include the following:
- a) Illegal conversion and occupancy of an accessory structure; and
 - b) Back-fill of the swimming pool without proper building permits.
- P17. The applicant shall provide the specific brand of cement board for review and approval by the Design Review Board Chair or designee to determine that the product will be consistent with and match the existing wood siding on the original home.
- P18. The applicant shall obtain a Tree Removal Permit authorizing relocation of the 30-inch diameter Camphor tree located in the rear of the property. All conditions associated with the Tree Removal Permit shall in effect prior to the start of construction.
- P19. The applicant shall provide documentation that a covenant has been recorded against the property with the Los Angeles County Recorder's Office stating that the property is a single family use and no portion of the existing residence and no structures on the property can be used as an Accessory Dwelling Unit unless authorized to do so in conformance with the City of South Pasadena Municipal Code.

Prior to Final Inspection

- P20. The applicant shall install all landscaping and irrigation per the approved final landscape plans pursuant to the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). The applicant shall provide documentations as required under SPMC Section 35.50, which shall include, but not limited to the following:
- a. A Certification of Completion certifying that landscape and irrigation have been installed per the approved final landscape plan and complies with the City Water Efficient Landscape Ordinance.
 - b. A Landscape Irrigation Audit Report from a certified landscape irrigation auditor shall be submitted to the City. The landscape irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape irrigation.

BUILDING AND SAFETY DIVISION:

General conditions for all existing buildings and proposed addition:

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B3. Park Impact Fee to be paid at the time of permit issuance.
- B4. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.

- B5. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B6. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B7. Foundation inspection for the new garage will not be made until the excavation has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B8. Project shall comply with the CalGreen Residential mandatory requirements.
- B9. No form work or other construction materials will be permitted to encroach in to adjacent property without written approval of the affected property owner.
- B10. Demolition permit is required for any existing buildings which are to be demolished.
- B11. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet for dwellings and accessory buildings shall comply with Table R302.1 (1) or Table R302.1 (2) where applicable.

DEPARTMENT OF PUBLIC WORKS:

- PW1 The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2 The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee (\$515) for two (2) reviews and an additional fee of \$153 for each additional review) and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to the issuance of permits.
- PW3 The applicant shall be responsible for all costs incur by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW4 The applicant shall pay all applicable City sewer and/or water capacity charges per SPMC Section 16B.3.
- PW5 Provide a copy of a will-serve letter and receipt for the sewer connection fee from the Los Angeles County Sanitation District (LACSD). A copy of the receipt for any fees to be paid must be submitted before permit issuance.
- PW6 The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk and driveway and reappoint all curb markings fronting the property on Marengo Avenue to the satisfaction of the City Engineer per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).

Conditions of Approval

2065 Marengo Avenue | 2317-DRX

Page 6 of 5

- PW7 The applicant shall bring the existing parkway on Marengo Avenue up to current standards per SPMC Section 31.48.

- PW8 The landscape design shall conform to the Model Water Efficient Landscape Ordinance (MWELo) as stipulated in SPMC Chapter 35, Article III.

- PW9 Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.

FIRE DEPARTMENT:

The project shall comply with all current adopted California Building, Fire Codes, NFPA and SPFD standards requirements based on occupancy classification.

ATTACHMENT 2
Project Narrative

NARRATIVE FOR ADDITION TO 2065 MARENGO AVE

The owner of 2065 Marengo Ave would like to add 1488 sf to rear of her existing 1770 sf home. There is an existing accessory structure that she would like to demolish in the south west corner of the property. Another accessory structure in the north west corner will remain without any additions or remodeling. A new two car detached garage is proposed at the front of the property adjacent to the existing house and driveway. The garage door is proposed to be facing away from the street. The siding, windows, roofing, eave detail, fascia and man-door are to match the existing materials on the main house.

The addition will be comprised of three bedrooms with three bathrooms, all en suite, with a communal room at the center that will have a wet bar and skylight above. An area for a gym is proposed for the westerly portion of the addition. It will also have its own bathroom.

A small deck off of the gym and communal area is proposed as a continuation of the existing Trex finished deck. The existing stairs will be infilled so that the only stairs remaining from the back yard go up towards the new addition.

The roof system is a simple gable roof with a low pitched roof over the gym and new deck that ties into the existing deck roof. There is no change proposed for the existing roof system other than for the intersection of the two low sloping roofs.

The finishes for the addition, the siding, windows, roofing, eave detail, fascia and French door are to match the existing materials on the main house.

ATTACHMENT 3
Property Photos

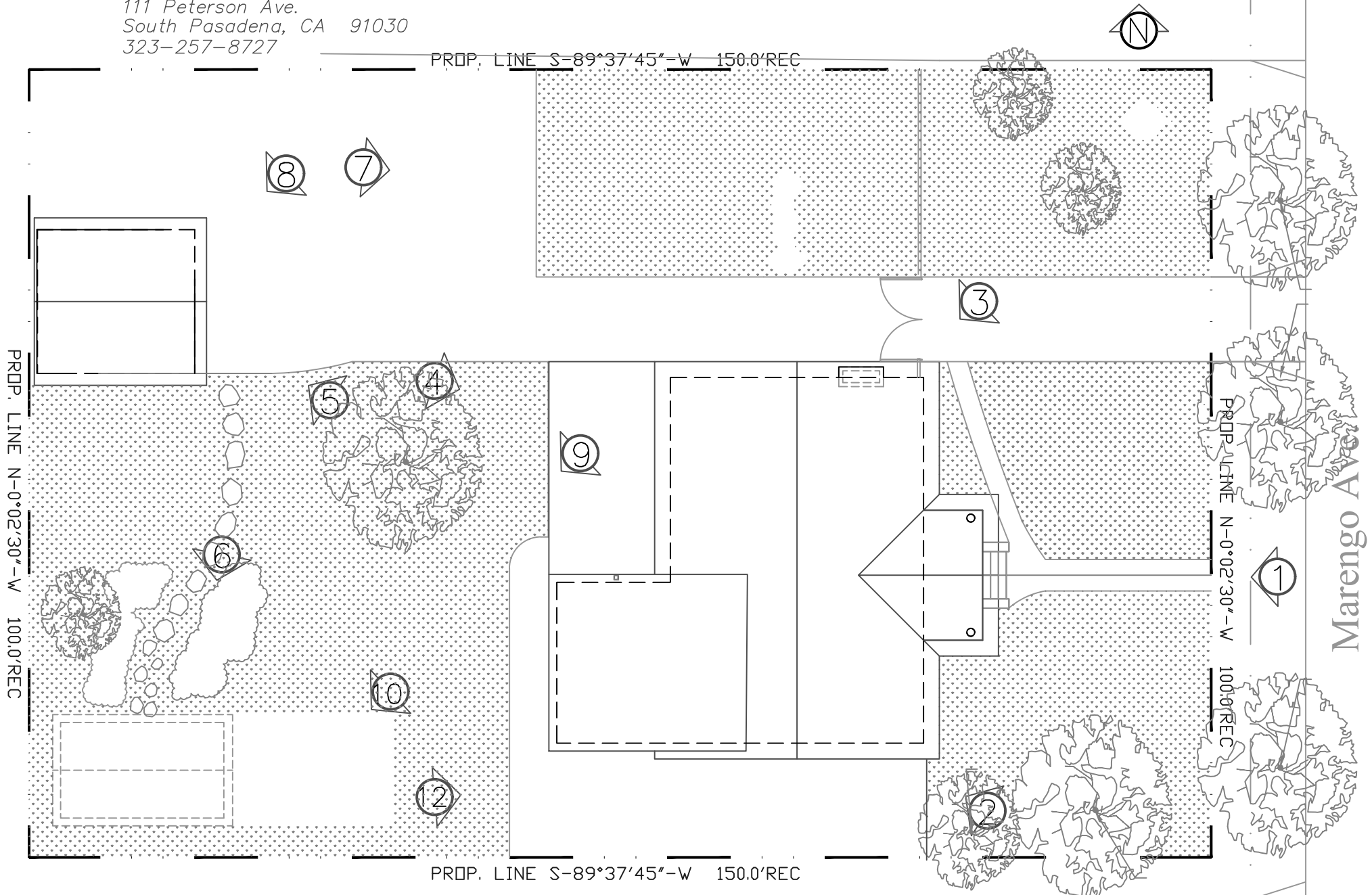
Building Owner:

Cherry Chen
2065 Marengo Ave.
South Pasadena, CA. 91030

Architect:

Jim Fenske
111 Peterson Ave.
South Pasadena, CA 91030
323-257-8727

PHOTO KEY





2065



















ATTACHMENT 4
Correspondence from Applicant

From: [David Hu](#)
To: [Candida Neal](#)
Cc: [Jim Fenske](#)
Subject: 2065 Marengo, our perspective
Date: Friday, September 18, 2020 10:57:10 AM

[The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin.]

Hi, Candida,

Jim forwarded your comment/concerns on the floor plan.

Here are what we want to share with you:

1) Our daughter is now 19 years old. She is a student at UCLA with an intensive workload, often staying up until 3 am. She is a food photographer, who gets paid for her work. You can see her website: [instagram.com/vegamelon](https://www.instagram.com/vegamelon). This job takes a lot of work space: to cook in the kitchen and shoot photos in a studio space, plus a space for storage of the props.

2) David, my husband, is a realtor and a painter. He needs a large space for good lighting, and the space needs to allow ventilation because the oil mediums have a strong odor. Also he needs a large storage space for the oil paintings to dry. (Oil paintings take 6-12 months to dry.)

We have different time habits. So we prefer to sleep in different bedrooms.

3) My mother is staying with us. She needs her own bedroom because she is very sensitive to noise and sleeps very early and gets up very early.

4) The current pandemic has changed our perspective on our lifestyle. We stay at home the whole day, and even when the pandemic is over, we will spend a majority of our time at home.

5) We are approaching old age, and we don't want strangers or renters in our house. We have other houses for rent income in Upland, in Alhambra, and in San Gabriel. We deserve private time for the rest of our life in our own house.

6) We have no plan to do any further construction in our house, because we are getting old. In the future, my daughter will have her own family. I need to conserve some space for that.

We understand that you are concerned that it could be a second unit. But our concern is that we want to have more space for my daughter and her own family, and for my mother, and for my husband and myself. **Our concern is not to have**

strangers or renters in our house.

I hope you understand our concerns and perspective.

--

All the best,

Cherry

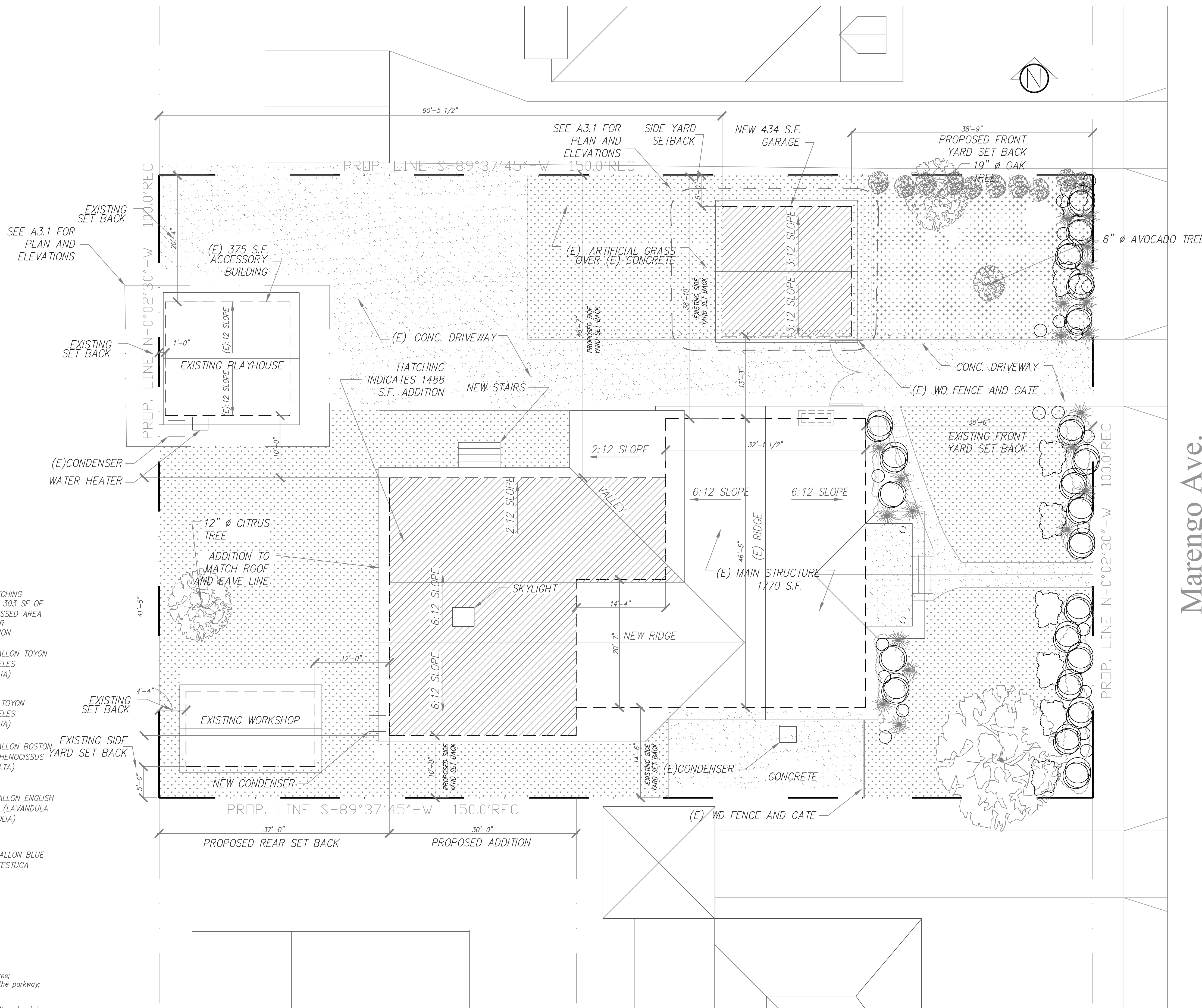
ATTACHMENT 5
Development Plans

Marengo Ave.

LANDSCAPE LEGEND

	50% MULCH GROUND COVER 3" DEEP; 25% DWARF LILYTURF (OPHIPOGON JAPONICUS);		LINED HATCHING INDICATES 303 SF OF 12" DEPRESSED AREA FOR WATER PERCOLATION
	CONC. SLAB ON GRADE/PAVERS IMPERMEABLE		1 - 15 GALLON TOYON (HETEROMELES ARBUTIFOLIA)
	4 - 6" DIA. COASTAL SHRUB OAK 24" BOX 4 SQUARE FEET (QUERCUS DUMOSA)		1 GALLON TOYON (HETEROMELES ARBUTIFOLIA)
	11 - 6" DIA. CAROLINA CHERRY (PRUNUS CAROLINIANA) 15 GALLON		12 - 1 GALLON BOSTON IVY (PARTHENOISSUS TRICUSPIDATA)
	11 - 5 GALLON SALT BUSH (ATRIPLEX HALIMUS)		13 - 5 GALLON ENGLISH LAVENDER (LAVANDULA ANGSTIFOLIA)
	5 - 1 GALLON ORCHID ROCKROSE (CISTUS PURPUREUS)		42 - 5 GALLON BLUE FESCUE (FESTUCA GLAUCA)

- No mulch shall be applied within six inches of the base of a street tree
- No plant material shall be installed within twenty four inches of the base of a street tree;
- The property owner adjacent to the parkway assumes liability for any improvements to the parkway;
- All existing sprinklers and spray heads shall be removed in the parkway;
- The installation of new sprinkler irrigation systems are prohibited in the parkway;
- The installation of any irrigation system in the parkway shall not damage the roots of the street tree;
- Prior to beginning landscape construction call the Private Landscape Inspector at 310-458-8405. An inspection of the landscape by City staff is required prior to Certificate of Occupancy to ensure that the landscape was built to approved plans and specifications.
- Electronic submission of an As-Built set of plans to the City is required if requested by City inspector;
- Prior to construction of the landscape or irrigation system the contractor must obtain and review a copy of the Water-Efficient Landscape and Irrigation Standards;
- All landscaping and irrigation systems must comply with all local, state, and federal laws and regulations;
- The landscape must be built to the City approved landscape plan set. Any revisions to approved plans will require re-submittal and approval and must comply with the current Water-Efficient Landscape and Irrigation Standards. Any areas of landscape not completed at time of the close of the building construction permit must be covered with a minimum 3 inch layer of mulch. This includes all exposed soil surfaces of existing planting areas except in turf areas, over creeping or rooting groundcovers, or in direct seeding applications, where mulch is not appropriate. Future landscape installations for incomplete landscape installations must be to the approved landscape plans.
- All existing sprinklers and spray heads shall be removed.



PROPOSED LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

AREA DEDICATED TO LANDSCAPE: 2913 SF
LOT AREA: 15000 SF
PROPORTION OF LANDSCAPE TO BUILT UP AREA: 19.5%

Construction Phase		Pre-Construction Phase	
Rev	Bulletin	Date	Issued For
		1/2/20	Planning Dept. Submittal
		1/21/20	Planning Dept. RC-Submittal
		9/19/20	Planning Dept. 4th Submittal

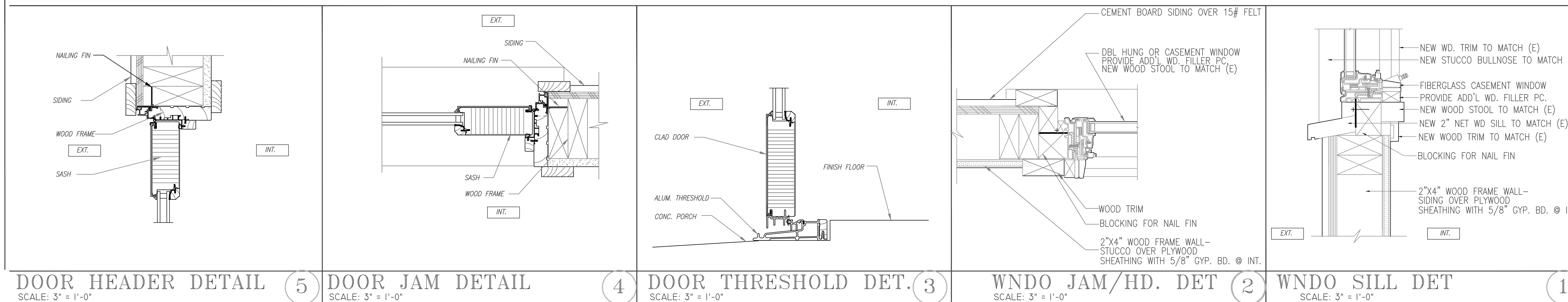
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Job No:	
Drawn By:	Checked By:
Date:	7/2/20
Scale:	As Noted
Sheet Description	

LANDSCAPE PLAN

Sheet Number

A-1.2



DOOR SCHEDULE

DOORS AS BY T.M. COBB OR EQUAL
NOTE: DOORS ARE TO BE FULL DIMENSIONED, NO NOMINALLY DIMENSIONED DOORS; FRAMES SIZES ARE IN ADDITION TO SIZE OF DOORS

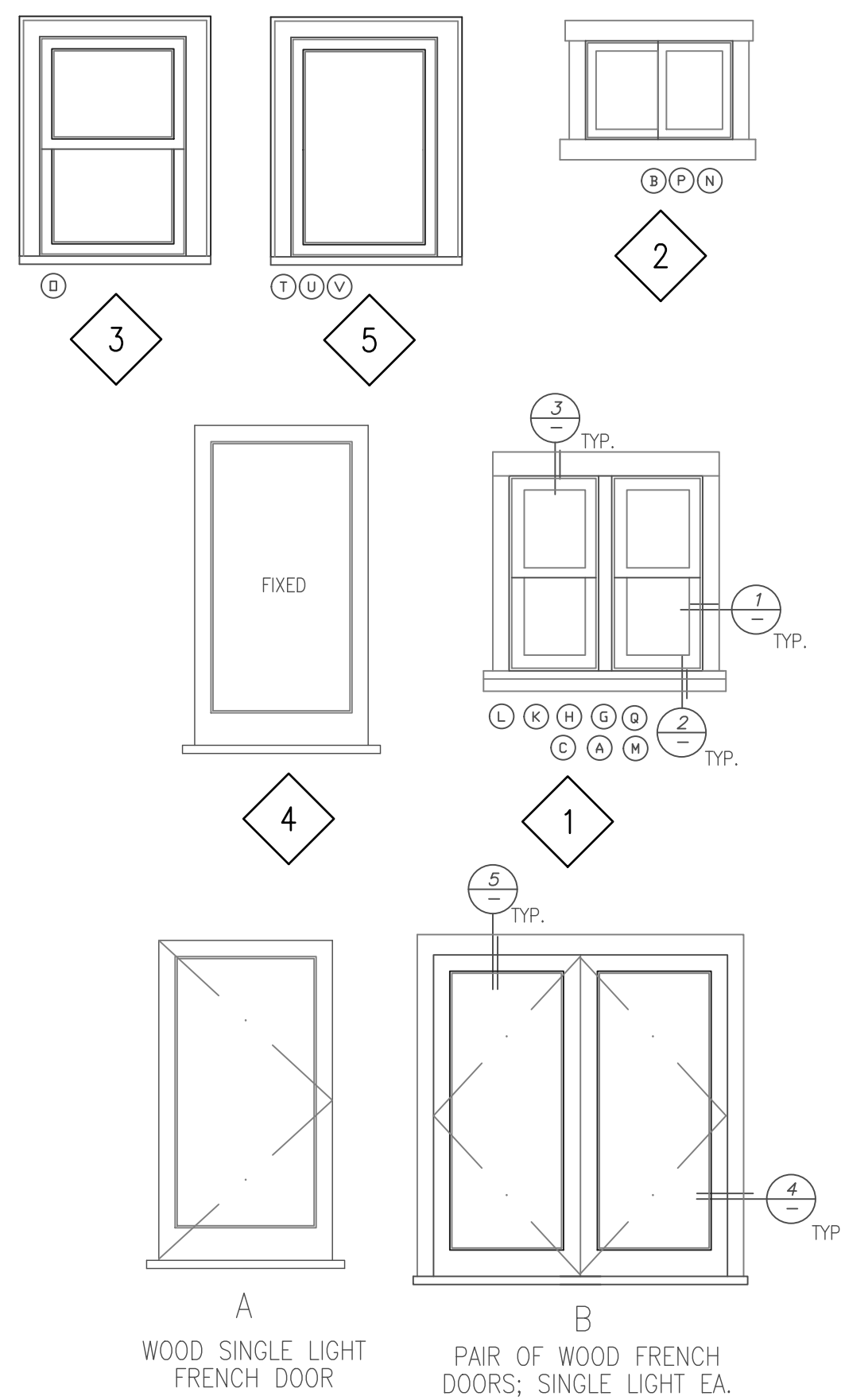
DOOR NO.	DOOR ROOM	ROOM NO.	SIZE			CONSTRUCTION		REMARKS
			WIDTH	HEIGHT	THICK	MAT.	TYPE	
104-1	PAINT STUDIO	104	3'-0"	6'-8"	1 3/4"	WD	A	FRENCH DOOR; ONE LIGHT
109-1	DINING ROOM	109	5'-4"	6'-8"	1 3/4"		B	PAIR OF FRENCH DOORS; ONE LIGHT EACH
01-1	GARAGE	01	2'-8"	6'-8"	1 3/4"		A	FRENCH DOOR; ONE LIGHT

WINDOW SCHEDULE

WINDOWS BY JELD WEN OR EQUAL

NOTE: ALL ACTIVE LEAFS TO RECV. SCREENS TYPICAL

WINDOW NO.	WINDOW TYPE	WIDTH	HEIGHT	MATERIAL	GLAZING	FINISH	HEAD	JAMB	SILL	REMARKS
A	1	4'-0"	4'-0"	VINYL	SINGLE GL., CLR.	PAINT	3/1-1.03	1/1-1.03	2/1-1.03	2 DOUBLE HUNGS MULLED TOGETHER; 4 LTS
B	2	3'-0"	2'-0"							SLIDER; 2 LIGHTS
C	1	4'-0"	4'-0"							2 DOUBLE HUNGS MULLED TOGETHER; 4 LTS
D										
E										
F										
G	1	4'-0"	4'-0"							2 DOUBLE HUNGS MULLED TOGETHER
H	1	4'-0"	4'-0"							2 DOUBLE HUNGS MULLED TOGETHER
I										
J										
K	1	4'-0"	4'-0"							2 DOUBLE HUNGS MULLED TOGETHER
L	1	4'-0"	4'-0"							2 DOUBLE HUNGS MULLED TOGETHER
M	1	4'-0"	4'-0"							2 DOUBLE HUNGS MULLED TOGETHER
N	2	3'-0"	2'-0"							SLIDER; 2 LIGHTS
O	3	3'-0"	4'-6"							DOUBLE HUNG; 2 LIGHTS
P	2	3'-0"	2'-0"							SLIDER; 2 LIGHTS
Q	1	4'-0"	4'-0"							2 DOUBLE HUNGS MULLED TOGETHER
R	4	3'-0"	6'-8"							FIXED; 1 LIGHT
S	4	3'-0"	6'-8"							FIXED; 1 LIGHT
T	3	3'-0"	3'-0"							DOUBLE HUNG; 2 LIGHTS
U	3	3'-0"	3'-0"							DOUBLE HUNG; 2 LIGHTS
V	3	3'-0"	3'-0"							DOUBLE HUNG; 2 LIGHTS



CHEN RESIDENCE

Cherry Chen
2065 Marengo Ave.
So. Pasadena, CA. 91030
(626) ###-####

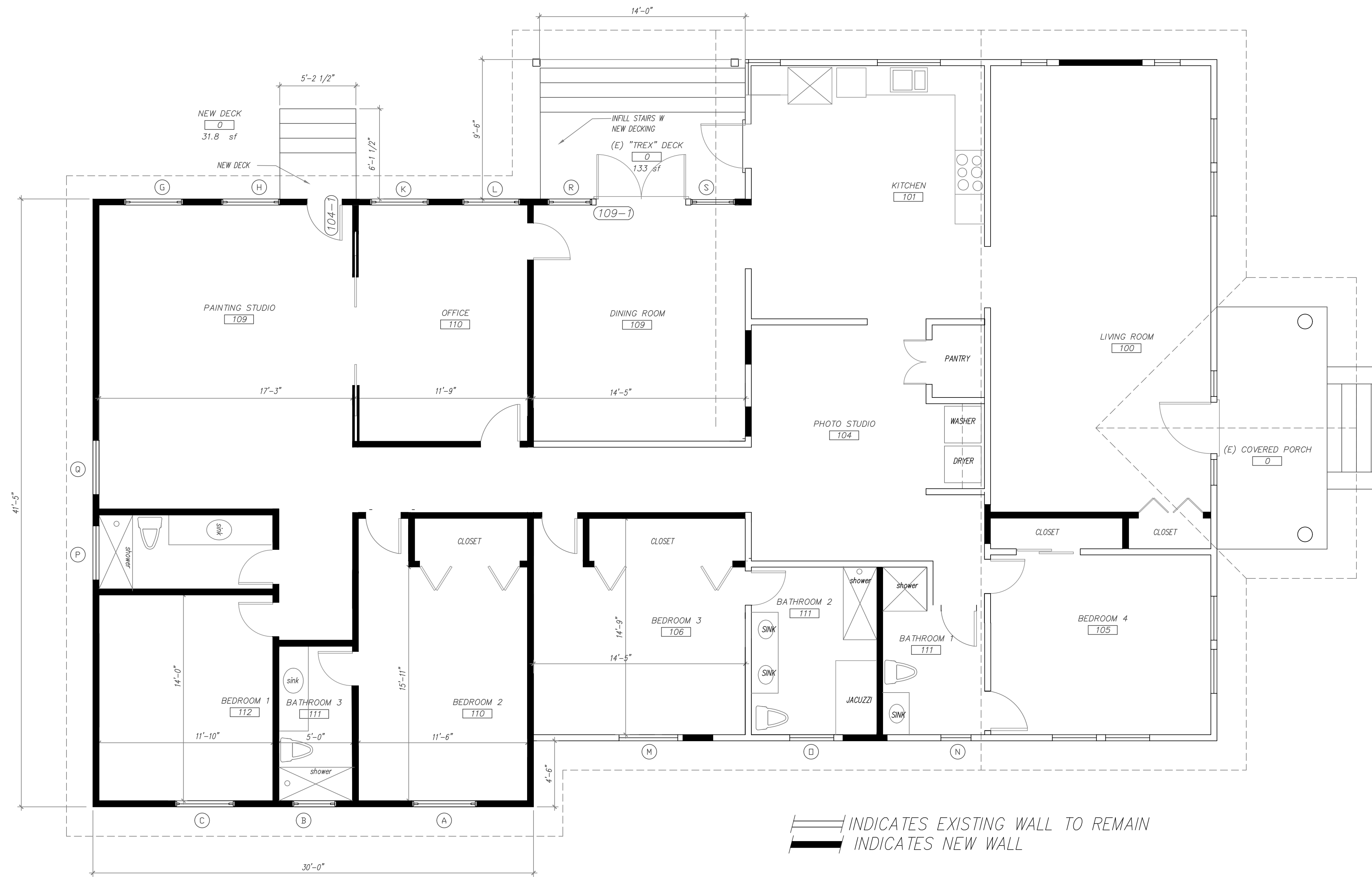
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Rev	Bulletin	Date	Issued For
		7/2/20	Planning Dept. Submittal
		7/27/20	Planning Dept. RC-Submittal
		9/18/20	Planning Dept. Final Submittal

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DOOR & WINDOW SCHEDULE

Sheet Number
A-1.4
Sheet of



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

CHEN RESIDENCE

Cherry Chen
 2065 Marengo Ave.
 So. Pasadena, CA. 91030
 (626) - ## - ####

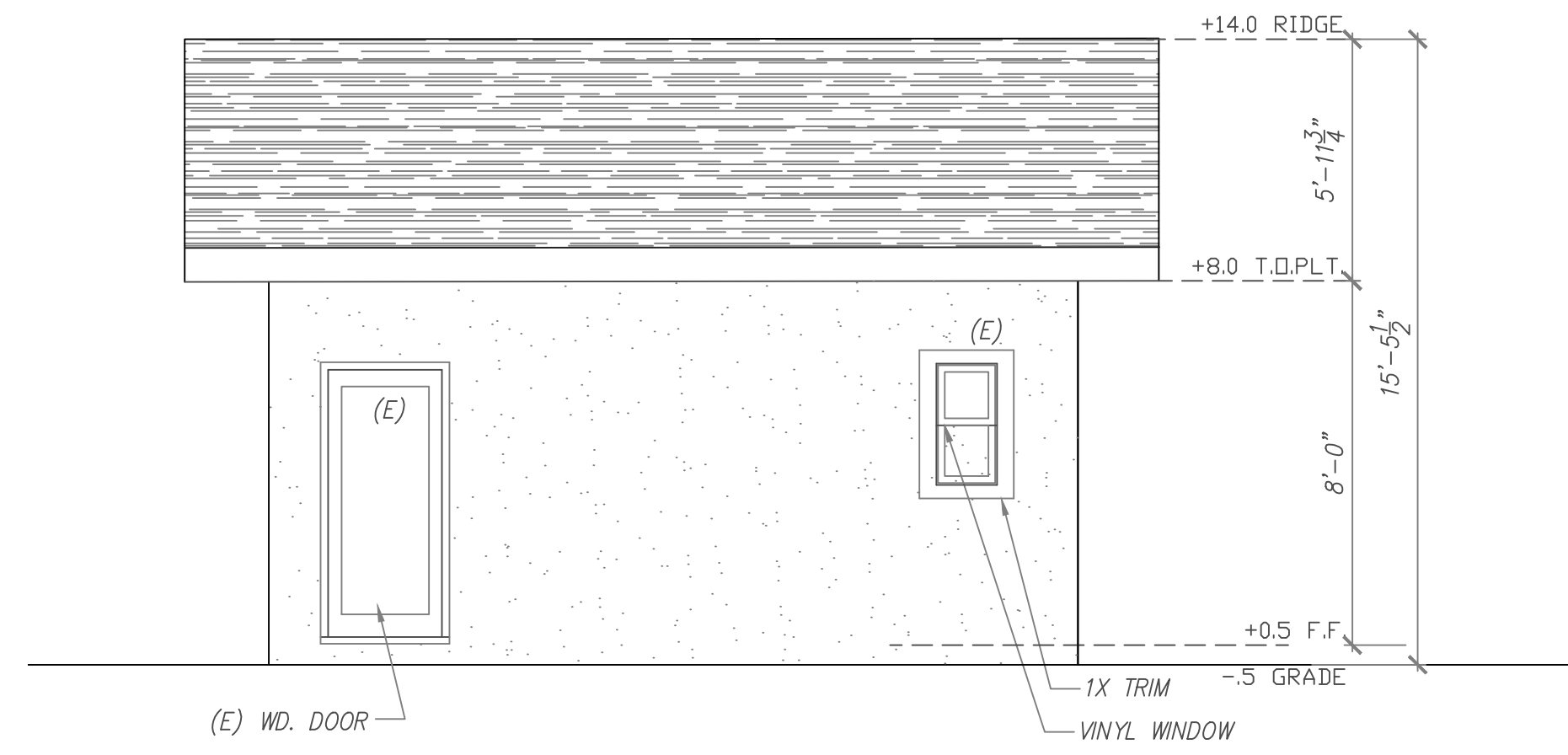
Construction Phase		Pre-Construction Phase	
Rev	Date	Date	Issued For
			Planning Dept. Submittal
		7/2/20	Planning Dept. Re-Submittal
		9/19/20	Planning Dept. 4th Submittal

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 Sheet Description

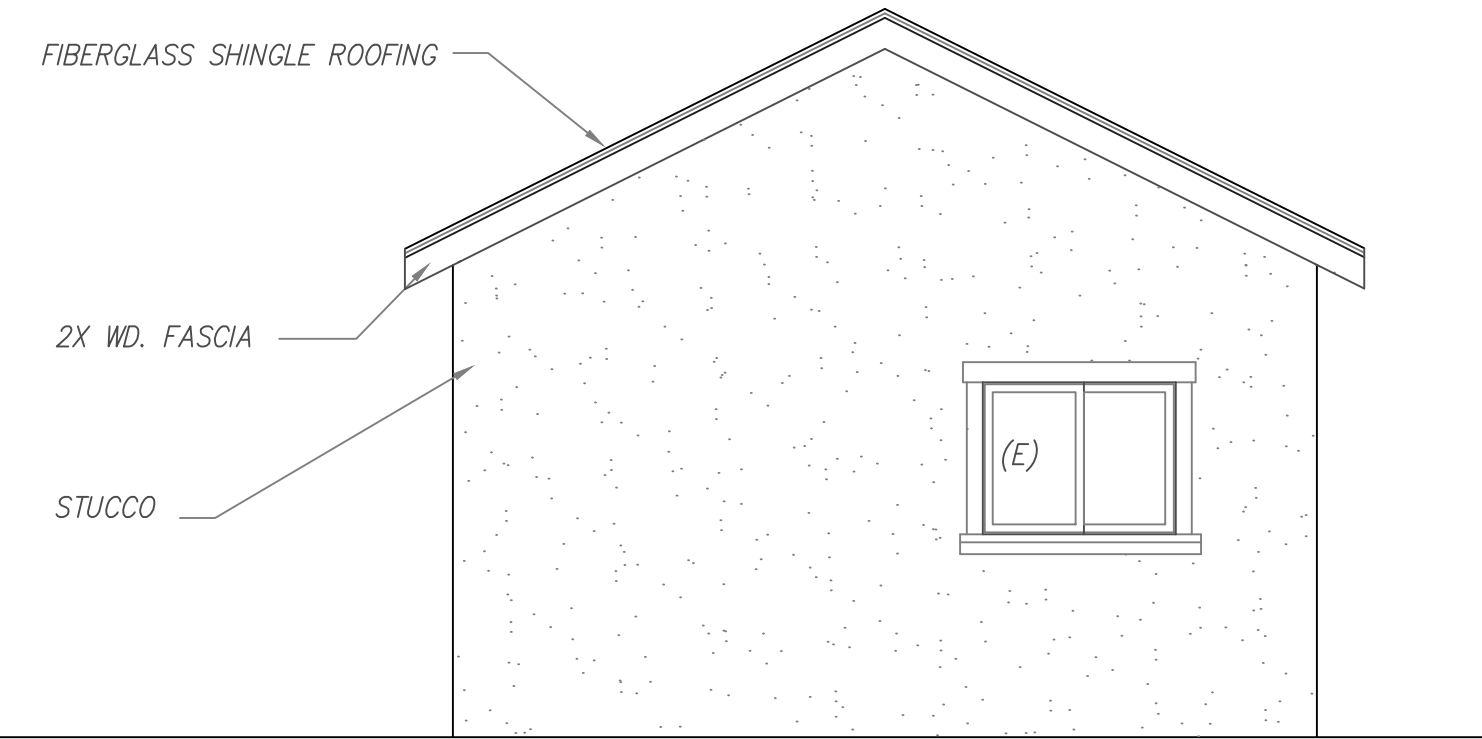
PROPOSED FLOOR PLANS

Sheet Number
 A-2.2



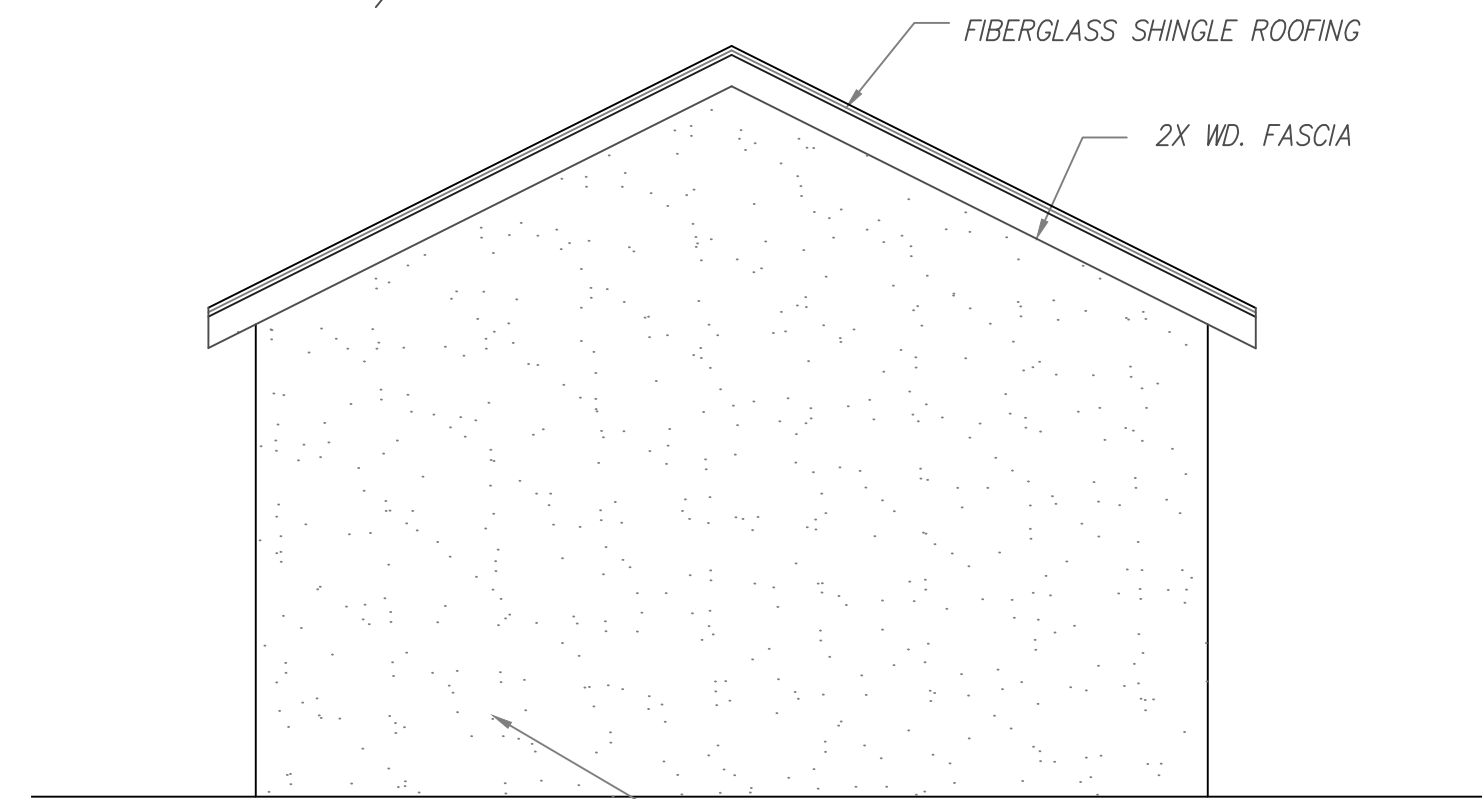
EXISTING NORTH

SCALE: 1/4" = 1'-0"



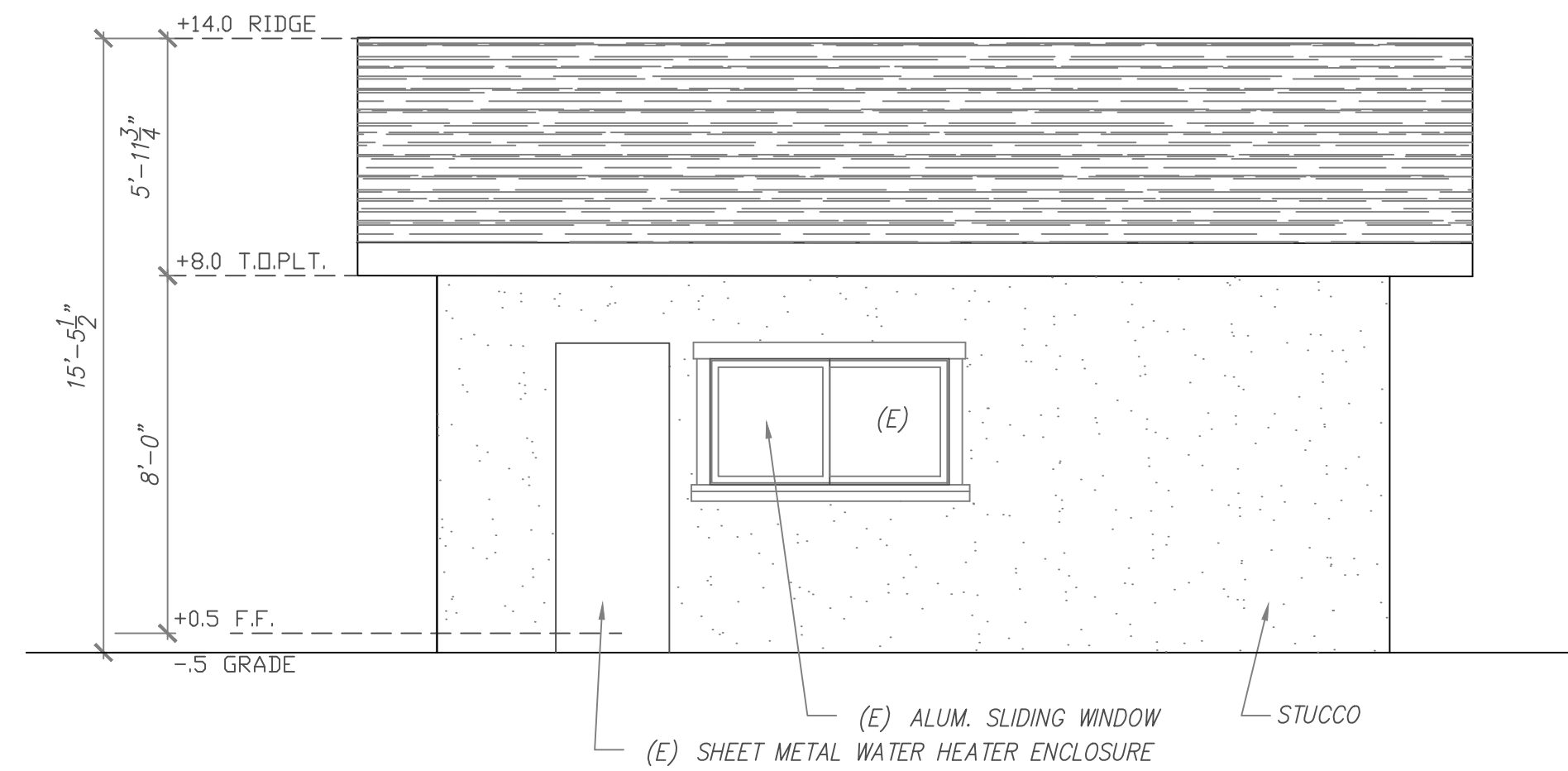
EXISTING EAST

SCALE: 1/4" = 1'-0"



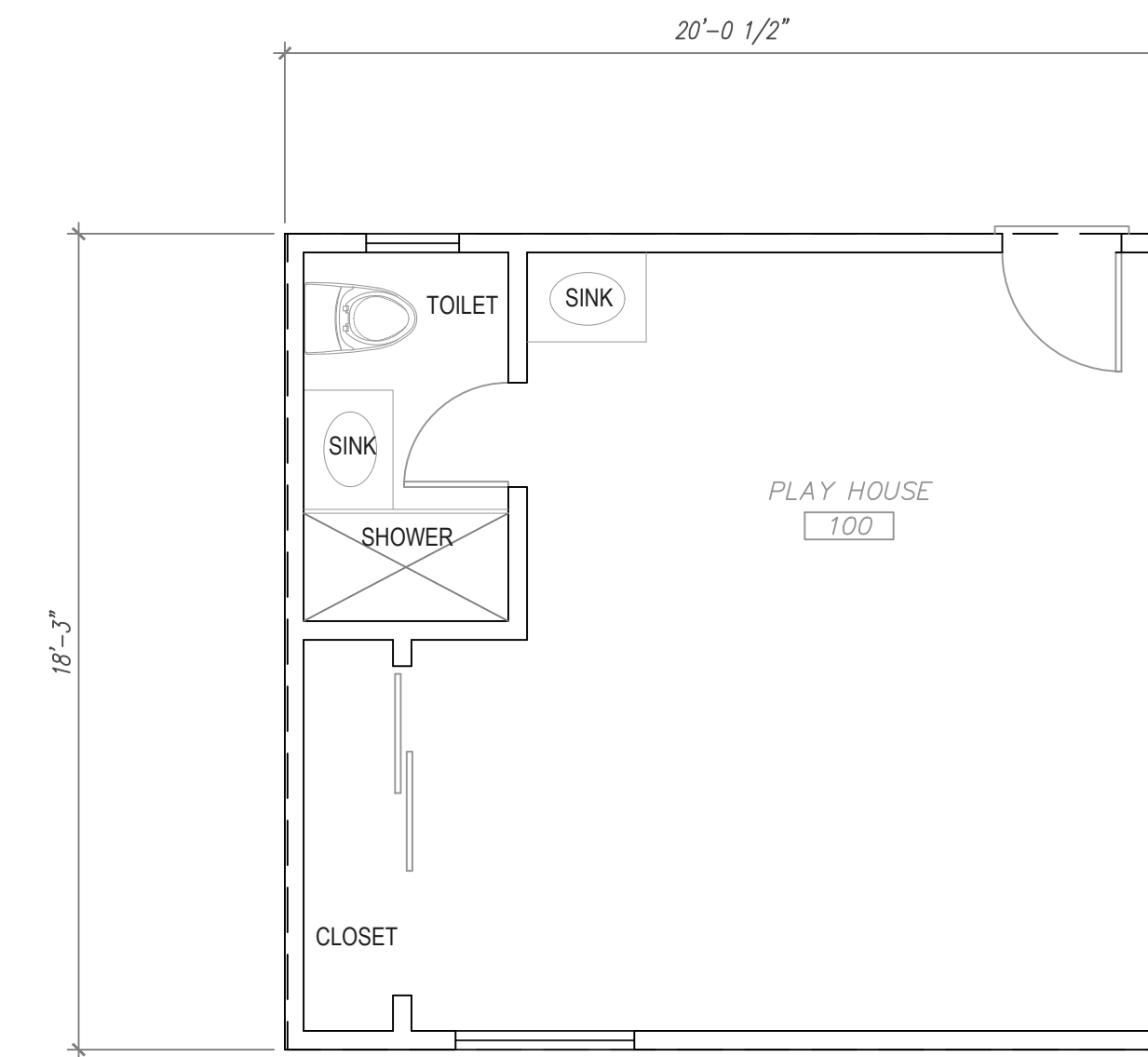
EXISTING WEST

SCALE: 1/4" = 1'-0"



EXISTING SOUTH

SCALE: 1/4" = 1'-0"



PLAY HOUSE PLAN

SCALE: 1/4" = 1'-0"

CHEN RESIDENCE

Cherry Chen
2065 Marengo Ave.
So. Pasadena, CA. 91030
(626)-###-****

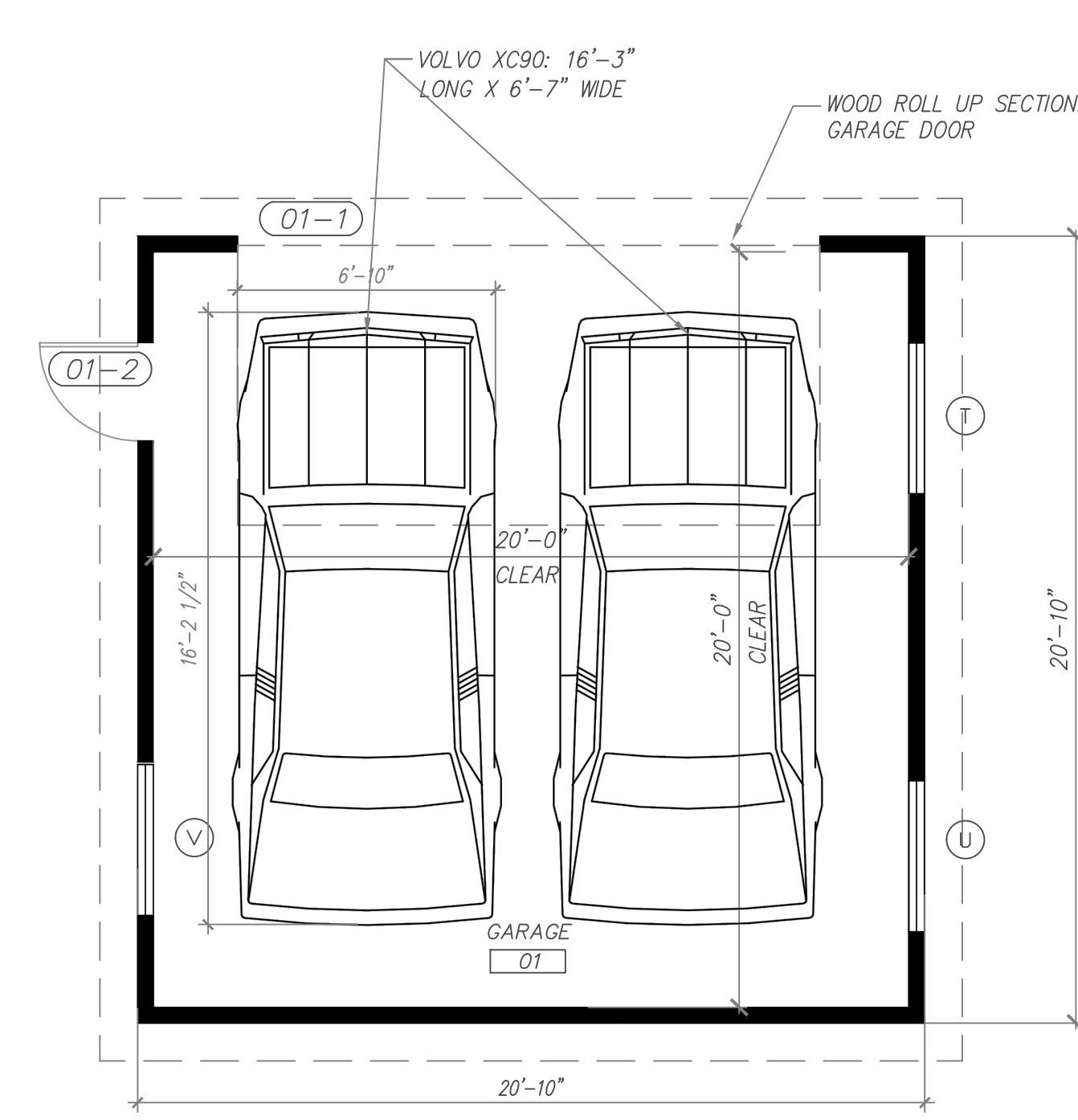
Construction Phase		Pre-Construction Phase	
Rev	Bulletin	Date	Issued For
		7/2/20	Planning Dept. Submittal
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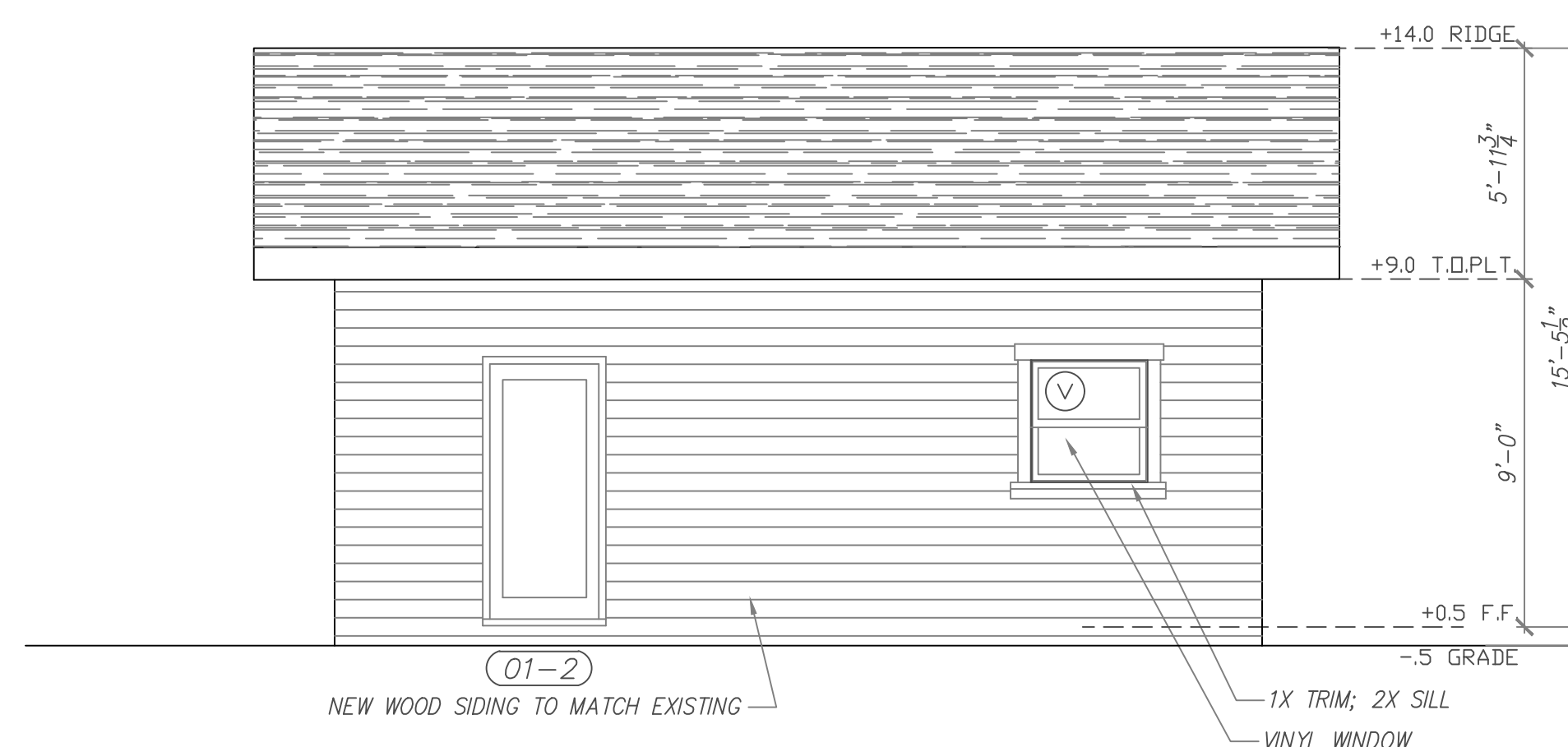
Sheet Description
**PROPOSED
PLAYHOUSE
PLAN
& ELEVATIONS**
Sheet Number

A-3.3



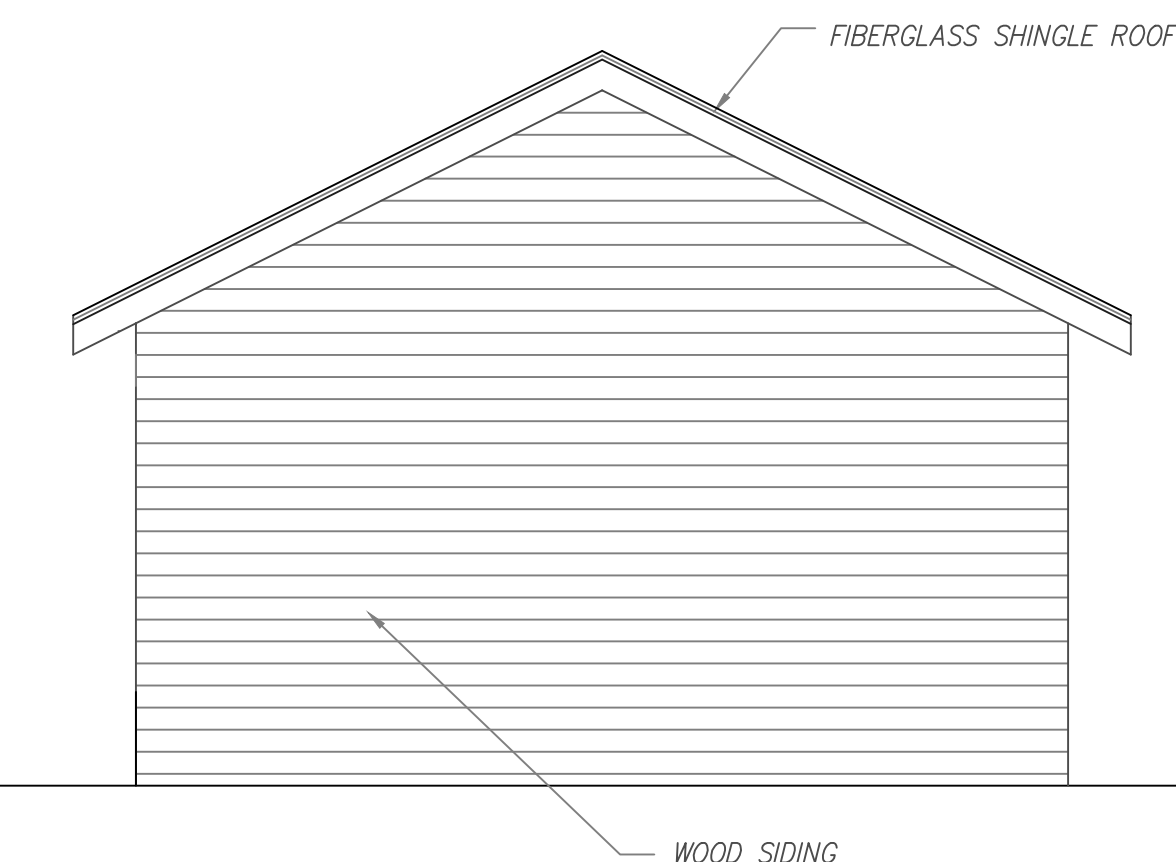
GARAGE PLAN

SCALE: 1/4" = 1'-0"



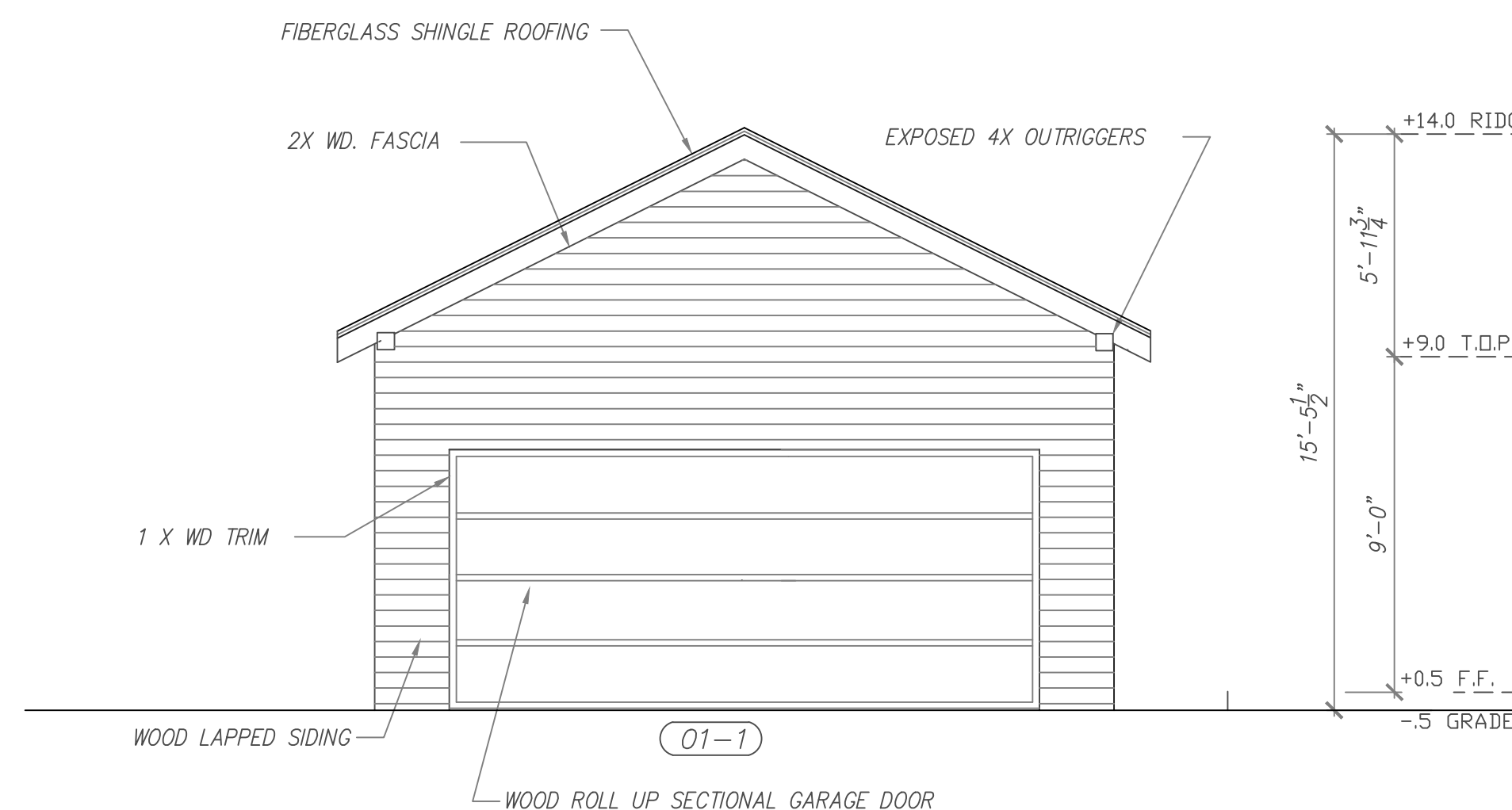
PROPOSED SOUTH

SCALE: 1/4" = 1'-0"



PROPOSED EAST

SCALE: 1/4" = 1'-0"



PROPOSED WEST

SCALE: 1/4" = 1'-0"



PROPOSED NORTH

SCALE: 1/4" = 1'-0"

CHEN RESIDENCE

Cherry Chen
2065 Marengo Ave.
So. Pasadena, CA. 91030
(626)-###-****

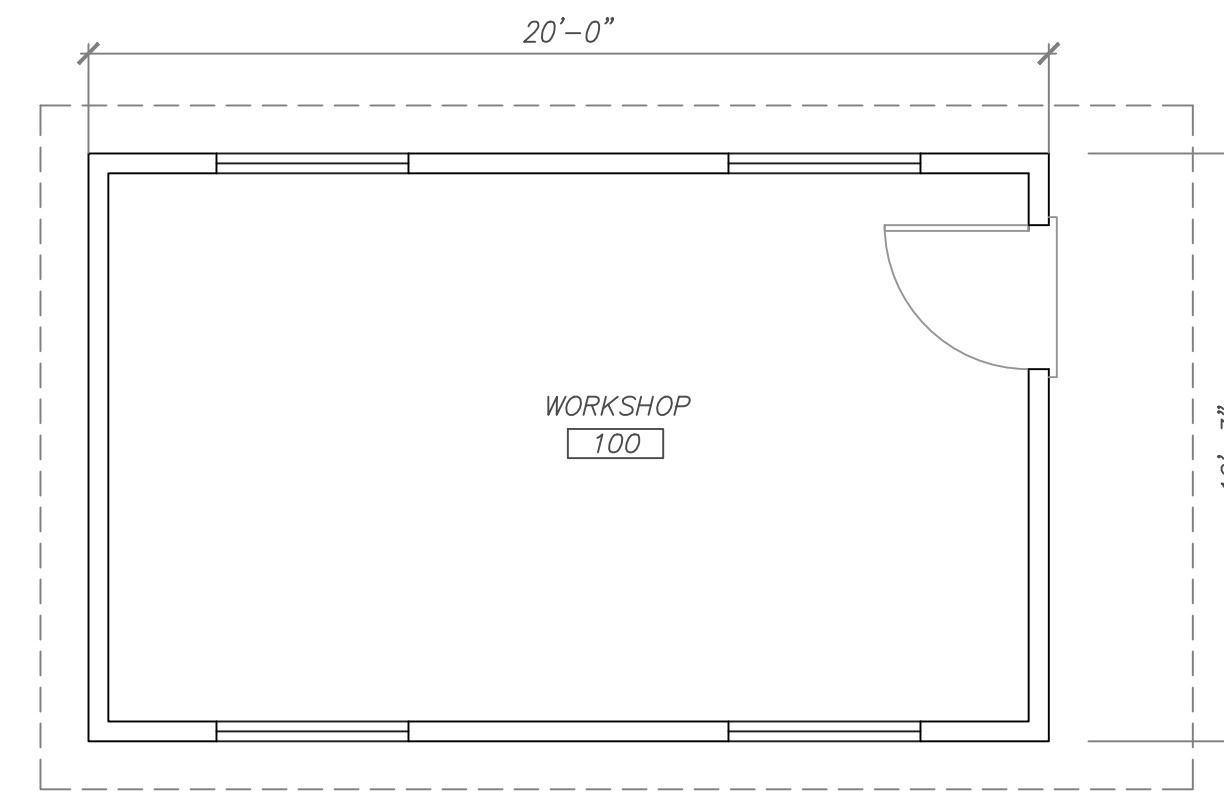
Construction Phase		Pre-Construction Phase	
Rev Bulletin	Date	Date	Issued For
		7/2/20	Planning Dept. Submittal
		7/2/20	Planning Dept. RC-Submittal
		8/18/20	Planning Dept. 4TH-Submittal

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CAD File No:
Job No:
Drawn By: _____ Checked By: _____
Date: 7/2/20
Scale: As Noted

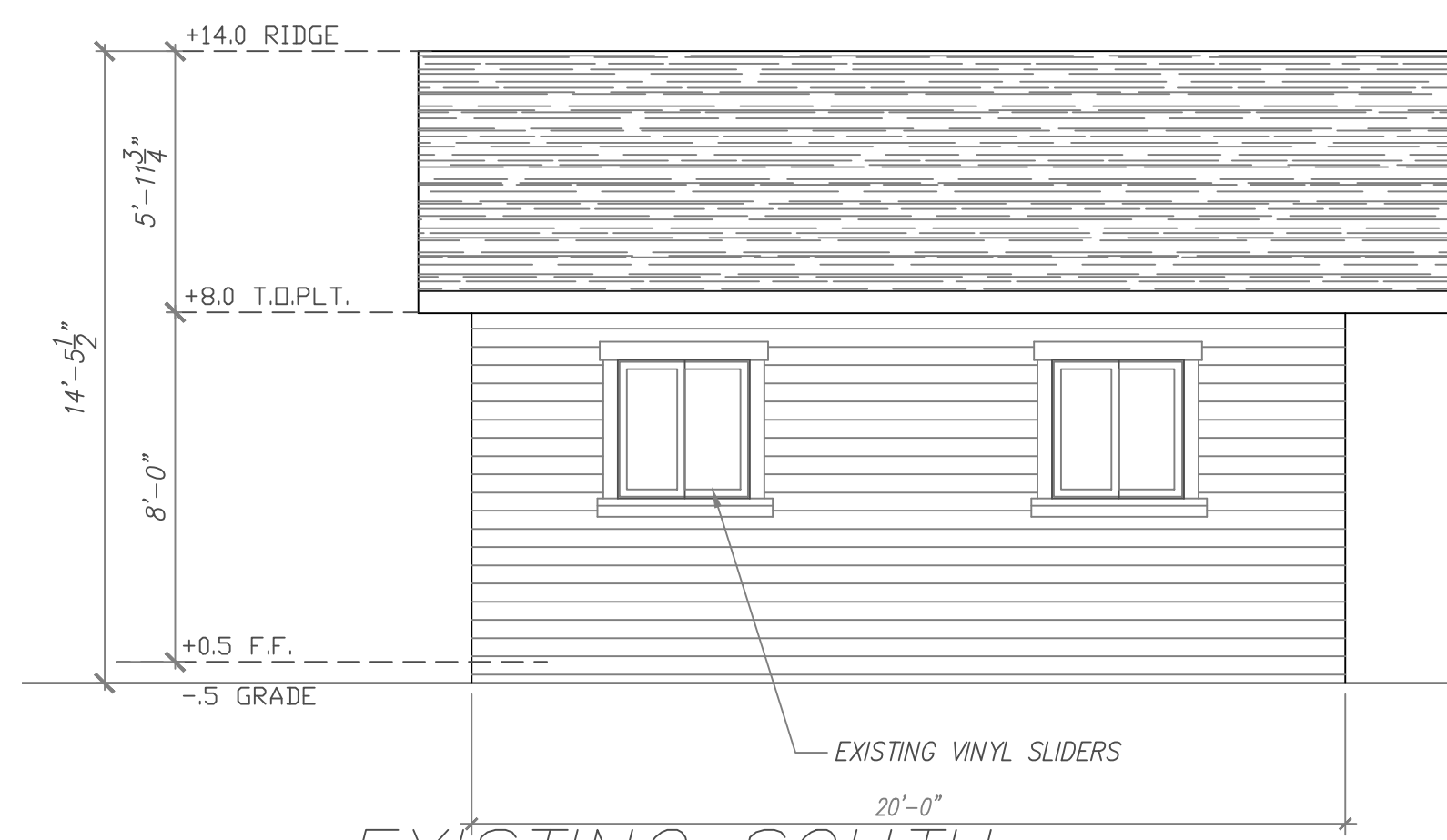
PROPOSED GARAGE PLAN & ELEVATIONS

Sheet Number
A-3.4
Sheet of _____



WORKSHOP PLAN

SCALE: 1/4" = 1'-0"



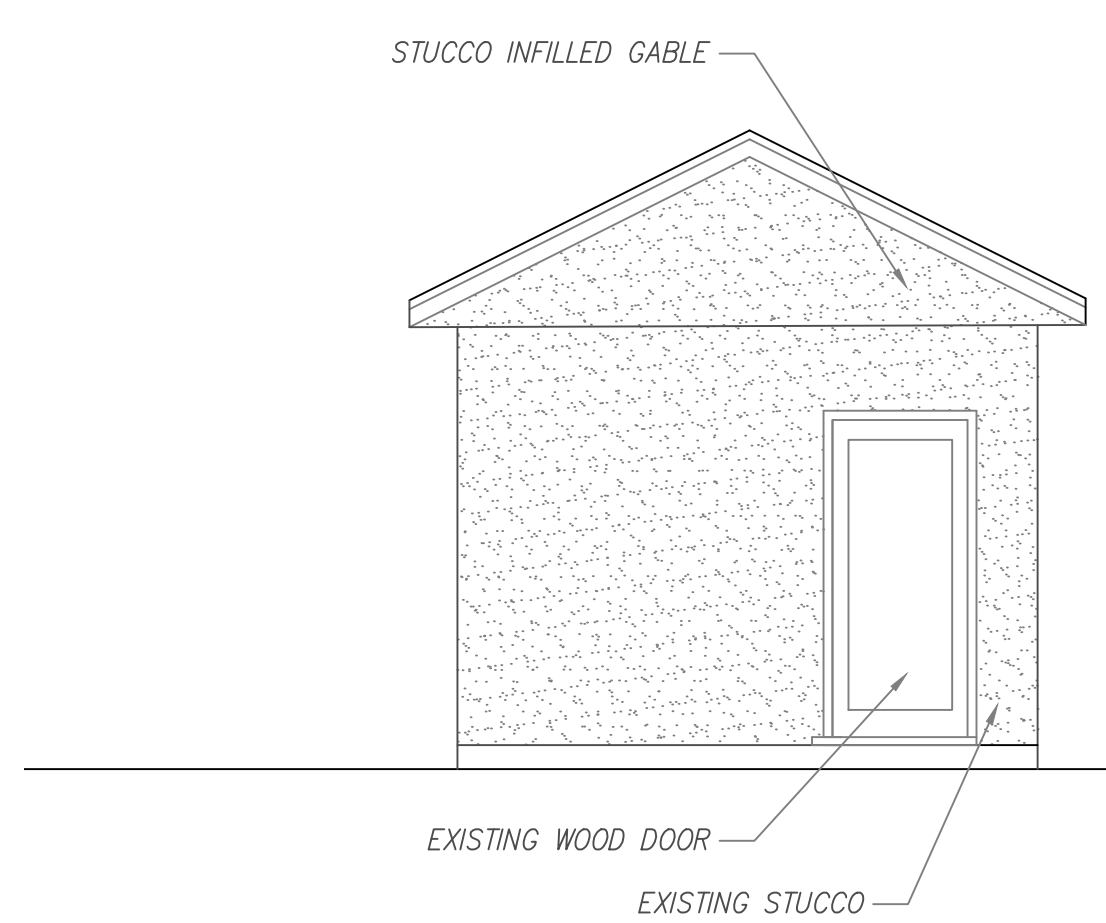
EXISTING SOUTH

SCALE: 1/4" = 1'-0"



EXISTING NORTH

SCALE: 1/4" = 1'-0"



EXISTING EAST

SCALE: 1/4" = 1'-0"



EXISTING WEST

SCALE: 1/4" = 1'-0"

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Construction Phase		Pre-Construction Phase	
Rev	Bulletin	Date	Issued For
		7/2/20	Planning Dept. Submittal
		7/27/20	Planning Dept. Re-Submittal
		8/18/20	Planning Dept. 4th Submittal

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Drawn By: _____ Checked By: _____
Date: 7/2/20
Scale: As Noted

Sheet Description
PROPOSED WORKSHOP PLAN & ELEVATIONS
Sheet Number

A-3.5