



**CITY OF SOUTH PASADENA  
DESIGN REVIEW BOARD**

**AGENDA  
REGULAR MEETING  
THURSDAY, MAY 4, 2023  
6:30 P.M.**

**AMEDEE O. "DICK" RICHARDS JR. COUNCIL CHAMBERS  
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

**South Pasadena Design Review Board Statement of Civility**

*As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.*

**NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY**

The South Pasadena Design Review Board Meeting will be conducted in-person from the Amedee O. "Dick" Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – City Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/89814060953> **Meeting ID: 898 1406 0953**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link: <https://us02web.zoom.us/j/89814060953>

**CALL TO ORDER:** Chair Brian Nichols

**ROLL CALL:** Chair Brian Nichols  
Vice-Chair Melissa Hon Tsai  
Board Member Joe Carlson  
Board Member Samantha Hill  
Board Member Kay Younger

**COUNCIL LIAISON:** Councilmember Janet Braun

**APPROVAL OF AGENDA**

Majority vote of the Board to proceed with Board business.

**DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS**

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

**PUBLIC COMMENT AND SUGGESTIONS (Public Comments are limited to 3 minutes)**

The Design Review Board welcomes public input. If you would like to comment on an agenda item, members of the public may participate by means of one of the following options:

Option 1:

Participate in-person at the City Council Chambers, 1424 Mission Street, South Pasadena, CA 91030.

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to [PlanningComments@southpasadenaca.gov](mailto:PlanningComments@southpasadenaca.gov).

Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Design Review Board meeting.

NOTE: Pursuant to State law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.



**PUBLIC COMMENT**

**1. Public Comment – General (Non-Agenda Items)**

**PRESENTATION**

**2. Updates from the City Manager’s Office – Deputy City Manager Domenica Megerdichian**

**PUBLIC HEARING**

**3. 1222 Brunswick Avenue (APN: 5311-007-022), Project No. 2451-NID/DRX/TRP: A request for a Design Review Permit for a new 2,401-square-foot single-family residence with an attached two-car garage and a request for a Tree Removal Permit located at 1222 Brunswick Avenue (Assessor’s Parcel Number: 5311-007-022). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15303, Class 3 (New Construction of Small Structures, which includes development of a single-family residence).**

**Recommendation:**

Find the project exempt from CEQA pursuant to Section 15303. Approve the project, subject to the recommended conditions of approval.

**4. 1411 Oak Street (APN: 5319-006-015), Project No. 2531-DRX: A request for a Design Review Permit for a 1,358 sq. ft. two-story additions and exterior remodel of an existing single-family residence located at 1411 Oak Street (Assessor’s Parcel Number: 5319-006-015). The residence, after the addition, will measure a total of 4,374 sq. ft. with an attached 500 sq. ft. carport. In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities).**

**Recommendation:**

Find the project exempt from CEQA pursuant to Section 15301. Approve the project, subject to the recommended conditions of approval.

**DISCUSSION ITEM**

**5. 2023 Annual Commission Report**

**Recommendation:**

Discuss and approve 2023 Annual Commission Report.

**ADMINISTRATION**

- 6. **Comments from City Council Liaison**
- 7. **Comments from Board Members**
- 8. **Comments from Subcommittees**
- 9. **Comments from Staff**

**ADJOURNMENT**

- 10. **Adjourn to the Regular Design Review Board meeting scheduled for June 1, 2023 at 6:30 p.m.**

**PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS**

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/design-review-board/design-review-board-agendas-and-minutes>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website.

**AGENDA NOTIFICATION SUBSCRIPTION**

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing [CityClerk@southpasadenaca.gov](mailto:CityClerk@southpasadenaca.gov) or calling the City Clerk’s Division at (626) 403-7230.

**ACCOMMODATIONS**



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk’s Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

*I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.*

4/27/2023  
Date

  
Sandra Robles, Associate Planner



# Design Review Board Agenda Report

ITEM NO. 3

**DATE:** May 4, 2023

**FROM:** Angelica Frausto-Lupo, Community Development Director  
Matt Chang, Planning Manager

**PREPARED BY:** Braulio M. Madrid, Associate Planner

**SUBJECT:** **Project No. 2451-NID/DRX/TRP – A request for a Design Review Permit for a new 2,401-square-foot single-family residence with an attached two-car garage, and a request for a Tree Removal Permit located at 1222 Brunswick Avenue (Assessor’s Parcel Number: 5311-007-022). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15303, Class 3 (New Construction of Small Structures, which includes development of one single-family residence).**

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## Recommendation

Staff recommends that the Design Review Board (DRB);

1. Find the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3 (New Construction of Small Structure, including one single-family residence).
2. Approve Project No. 2451-NID/DRX/TRP, subject to the conditions of approval (Attachment 1 for Conditions of Approval).

## Background

The subject site at 1222 Brunswick Avenue was developed in 1954 with a 1,260 square feet single-family dwelling. The site is not included in the City’s Inventory of Historic Resources list. The permit history on record indicates that miscellaneous permits have been issued for the property, including, but not limited to plumbing, electrical, reroofing, façade and interior renovations.

*Cultural Heritage Commission Meeting December 15, 2022*

This project was presented before the Cultural Heritage Commission at its December 15, 2022 meeting. According to the City's Cultural Heritage Ordinance, 2.65(e)(3), any structure over 45 years old that proposes a demolition and is not identified as a Cultural Resource requires the preparation of an intensive level Historic Resource Evaluation (HRE). As mentioned, the residence was constructed in 1954. Since the project proposes a demolition of the existing structure, an intensive level-HRE was prepared for the property. The intensive-level HRE was prepared by a city selected architectural historian consultant, Dudek (**Attachment 6**). The HRE prepared analyzed if the property is eligible as a historic resource at either the national, state, or local level. According to the HRE, the property was deemed ineligible for designation as a City of South Pasadena Landmark, nor meet any local designation criteria. Based on the report's findings, the proposed project for the demolition of the residence and attached garage should have no impact on Historic Resources.

The Cultural Heritage Commission (CHC) reviewed the findings of the HRE and determined that the property does not meet the national, state, or local criteria for historic designation and that the project may proceed through the city's application process for the demolition of the existing single-family dwelling, thus granting the Notice of Demolition (NID) required by the South Pasadena Municipal Code (SPMC).

**Project Description**

The applicant is requesting the approval of a Design Review Permit (DRX) for the construction of a new 2,401 square feet residence with an attached 400 sq. ft. garage. A Design Review Permit is required for the proposed project pursuant to section 36.410.040(B)(1)(a) of the SPMC, as the proposed project is for the construction of a new house. In addition, the applicant will be constructing a new attached two-car garage, a pool and spa, and an Accessory Dwelling Unit (ADU) at the rear. The proposed ADU is not part of the review of this project and shall be processed administratively after the approval of this DRX application.

**Project Analysis**

The existing residence is a 1,260 sq. ft. one-story single-family dwelling with a garage. The project proposes to demolish the existing residence and proposes the construction of a new 2,401 sq. ft. residence with an attached two-car garage and a 1,060 sq. ft. basement.

The new split-level residence will have four bedrooms, three and a half (3½) bathrooms, and a shared common area of a living room, dining room, and a kitchen.. An attached 400 square-foot garage is also being proposed at the front of the residence, with a 273 sq. ft. balcony over the garage. In addition, the project proposes a new pool and spa,

and the removal of two existing trees. Improvements to the site also include new lighting, new driveway, and new walkways and landscaping.

*Zoning Code Compliance & Development Standards*

The subject property is located within the Residential Single-Family (RS) zoning district, which is intended for areas appropriate for development of detached, single-family homes. The purpose of Residential Zoning District General Development Standards (SPMC, Section 36.220.040) is to ensure that new development of single-family homes are suitable and compatible with the applicable development standards. Residential Development Standards from SPMC sections were applied to the proposed project. Since the property is under 10,000 square feet, the development standards for small nonconforming residential parcels are also applicable. The following table list the project’s conformance with applicable development standards.

**Nonconforming Residential Parcels / Residential Single-Family (RS) Development Standards Compliance**

<b>Standard</b>	<b>Requirement</b>	<b>Existing</b>	<b>Proposed</b>
<b>Minimum Lot Size</b>	10,000 SF	7,418 SF	No Change
<b>Lot Coverage (SPMC 36.220.050)</b>	50% (3,709 SF max. allowed)	17% (1,260 SF)	34% (2,513 SF)
<b>Floor Area Ratio (FAR)</b>	35% (2,596 SF max. allowed)	17% (1,260 SF)	34% (2,519 SF)
<b>Building Height</b>	35' max.	Approximately 10 ft. 6 in.	23 ft. 4 in.
<b>Off-Street Parking</b>	2-Covered Spaces	2 on-site parking	2-Covered Spaces within a Garage
<b>Front Setback (SPMC 36.220.050)</b>	20 ft. minimum	35 ft.	35 ft.
<b>North Side Setback</b>	10% of lot width, 5 ft. minimum	20 ft.	5 ft.
<b>South Side Setback</b>	10% of lot width, 5 ft. minimum	2 ft. 2 in	5 ft. 6 in
<b>Rear Setback</b>	25 ft.	60 ft.	50 ft. 6 in

### *Design Review*

The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City's adopted design standards and guidelines. The Design Guidelines for *New Single-Family Residences in Established Neighborhoods* list various guidelines that a project should consider when proposing the construction of a new home. The applicant is proposing a modern architectural design and has maintained the existing front setback, for consistency with the adjacent properties.

The project complies with the design guidelines to orient the front of the new home towards the street, consideration of building placement, garage and home setbacks, as well as the scale and massing of the existing homes in the neighborhood. Below is a colored rendering of the newly proposed façade. Details of the building materials and colors can be referenced in the development plans (**Attachment 2**).



The residence is located within an established single-family neighborhood that contains houses with various architectural styles. However, the neighborhood has one example of a modern style home that is located on 1327 Brunswick Avenue. The proposed residence is consistent with other houses in the neighborhood in terms of scale and placement of the building that maintains a large front yard setback.

The project proposes the use of corrugated metal panels, standing seam metal siding, concrete masonry, portland cement plaster, glass railings, and cast in place concrete; consistent with modern architectural styles.

All windows and doors are aluminum to compliment the modern style of the design. The contemporary style uses various exterior finishes and wall offsets at the front and rear to reduce the massing of the proposal. Materials and massing can be referenced in the development plans as well as 3-D renderings. The property also proposed several retaining walls, not to exceed 6' in height, and required fencing.

The neighborhood is comprised of a variety of single and two-story residences that vary in size. The project complies with all applicable setbacks and height limitations, and as such, the proposed project is in compliance with the City's adopted design standards and guidelines.

### **TREE REMOVAL PERMIT**

As part of the project, two existing trees are proposed to be removed at the rear of the house to accommodate the development. In accordance with SPMC Section 34.10, the notification of the tree removal process will be combined with the development application (Design Review Permit).

Additional requirements are memorialized with conditions of approval from the Public Works Department associated with the tree removal permit process. SPMC Chapter 34 does not require that findings be made for approval of a Tree Removal Permit.

### **Environmental Analysis**

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15303, Class 3 New Construction or Conversion of Small Structures. Class 3 exemption includes construction and location of limited number of new, small facilities or structures such as a single-family residence within an urbanized area.

### **Findings**

#### *Design Review Required Findings*

In order to approve a Design Review application, the Design Review Board shall first find that the design and layout of the proposed development:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The project site has a General Plan land use designation of Low Density Residential. General Plan policies for this land use designation specify this land use category for single-family dwelling uses—as part of this review only one dwelling unit is proposed, as such, it remains consistent with the General Plan.

The proposed project meets design guidelines adopted by the city, in that the proposed new single-family residence will be of a similar massing as the surrounding buildings.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project involves the construction of a new single-family residence compliant to the zoning code and design guidelines. The residence will continue to be utilized as a single-family dwelling. Therefore, the use and density would be consistent with the surrounding neighborhood. The project is located within a neighborhood that is comprised of single and two-story homes, for this reason the new home would be compatible with the surrounding neighborhood. As proposed and conditioned, the project would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,**

The project site is surrounded by adjacent one-story and two-story single-family residential structures of varying architectural styles. The new proposed architectural design is modern and appropriate for a neighborhood with no consistent prevalent architectural style. Lastly, the project will replace an existing residence and add a design that will maintain the attractive, harmonious, and orderly development of the neighborhood.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The proposed project has been designed with the consideration to its residents of the home and provides adequate indoor and outdoor space. The proposed project uses materials and colors to enhance the architecture style and will remain appealing with a reasonable level of maintenance.

### **Alternatives to Consider**

If the Design Review Board does not agree with Staff's recommendation, the following options are available:



1. The Design Review Board may Approve the project with modified/added conditions; or
2. The Design Review Board may Continue the project to address comments discussed; or
3. The Design Review Board may Deny the project if it finds that the project does not meet the City's requirements.

### **Public Noticing**

A Public Hearing Notice was published on April 21, 2023 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on April 20, 2023. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

### **Next Steps**

If the Design Review Board approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

### **Attachments**

1. Conditions of Approval
2. Project Plans and Material Board
3. Neighborhood Images
4. Window and Door brochures
5. CHC Meeting December 15, 2022: Staff Report
6. Historic Resource Evaluation (HRE)

# **ATTACHMENT 1**

## **Conditions of Approval**

## CONDITIONS OF APPROVAL Design Review

**PROJECT NO. 2451 – NID/DRX/TRP  
1222 Brunswick Avenue (APN: 5311-007-022)**

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**The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on May 4, 2023:**

**Design Review** for the for the demolition of an existing single-family dwelling to construct a new 2,401-square-foot single-family residence with an attached 400 sq. ft. two-car garage located at 1222 Brunswick Avenue.

**Tree Removal Permit** for the removal of two (2) trees.

*Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.*

### **PLANNING DIVISION:**

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission/Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or

discarded furniture, appliances or other household fixtures.

- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P7. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
1. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
  2. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
  3. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
  4. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P8. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, as necessary, prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition.
- P9. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Community Development Director. The final landscape plans shall provide, but not limited to the following:
1. Screening of all above ground equipment from public view.
  2. Incorporating the Tree Removal Permit conditions.
- P10. A Tree Removal Permit shall be issued by Public Works for the removal of any trees. All requirements and conditions of the permit shall be met prior to initiating grading and shall continue in effect as described in the permit or until project is complete.
- P11. A construction sign with contact information for the contractor shall be posted on-site during construction. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P12. Retaining walls that retain 4 feet or more in height measured from the bottom of the footing to the top of the wall requires a separate building permit. No retaining wall shall exceed 6' from lowest soil levels without first obtaining approvals by the applicable planning process.
- P13. The construction plan shall show that all lighting on the site will be directed downward and shielded to prevent off-lighting on adjacent properties.
- P14. The applicant shall install all landscaping and irrigation per the approved final landscape plans pursuant to the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). The

applicant shall provide documentations as required under SPMC Section 35.50, which shall include, but not limited to the following:

1. A Certification of Completion certifying that landscape and irrigation have been installed per the approved final landscape plan and complies with the City Water Efficient Landscape Ordinance.
2. A Landscape Irrigation Audit Report from a certified landscape irrigation auditor shall be submitted to the City. The landscape irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape irrigation.

**BUILDING DIVISION:**

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior permit issuance.
- B3. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B4. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. Plans shall be prepared under the supervision of an architect licensed in the State of California or a civil or structural engineer registered in the State of California. Each sheet of the plans and the cover sheet of the calculations is to be stamped and signed by the person preparing the plans. 5353 and 6730 of the State Business and Professions Code
- B8. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B9. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
  - a) Observation of cleared areas and benches prepared to receive fill;
  - b) Observation of the removal of all unsuitable soils and other materials;
  - c) The approval of soils to be used as fill material;
  - d) Inspection of compaction and placement of fill;
  - e) The testing of compacted fills; and
  - f) The inspection of review of drainage devices.
- B10. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.

- B11. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B12. A grading and drainage plan shall be approved prior to the issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B13. Stormwater Planning Program LID Plan Checklist (MS4-1 Form) completed by Engineer of Record shall be copied on the first sheet of Grading Plans. The form can be found at the following link:  
  
<https://www.dropbox.com/s/5p4yf08beipzyot/SP%20MS4-1%20LID%20Determination%20Form.pdf?dl=0>
- B14. Project shall comply with the CalGreen Residential mandatory requirements.
- B15. The property shall be surveyed, and the boundaries marked by a land surveyor licensed by the State of California.
- B16. Demolition permit is required for any existing buildings which are to be demolished.
- B17. Foundation inspection will not be made until the excavation has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B18. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
- B19. Separate plan review and permit is required for each detached retaining wall.
- B20. Separate plan review and permit is required for each detached structure, including but not limited to the ADU and pool.
- B21. Basement with ceiling height equal or greater than 80 inches shall require an emergency escape and rescue opening per Section R310.1.
- B22. A ramp located in the side yard or court serving as means of egress from the egress door of ADU leading to Brunswick Ave shall comply with Section R311.8. This path of egress travel shall be continuous and shall not be obstructed by landscaping per Section R311.1. If there are emergency escape and rescue openings directly open to this path of egress travel, the path at the opening shall be level. A stairway complying with Section R311.7 having multiple mid-landings can be used (or the yard finished surface be graded with slope equal or less than 5%) in lieu of a ramp.

- B23. When required by Fire Department due to the proposed scope of the primary dwelling, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit and a separate is required for Fire Sprinklers.

**PUBLIC WORKS DEPARTMENT:**

- PW1. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. This includes all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW2. The applicant shall obtain City approval for any modifications or revisions to the approval of this project.
- PW3. The applicant shall provide a copy of a current Title Report (effective date shall be within the last 60 days). The applicant shall show all easements (if any) per the Title Report to the satisfaction of the Public Works Department. The applicant shall identify all on-site existing City easements. Any conflict with and/or presence of existing easements must be addressed.
- PW4. The applicant shall apply for a change of address permit for the new units prior to final occupancy approval.
- PW5. All sheets shall be stamped, if necessary, and signed by the appropriate persons in responsible control of plans, specifications, and instruments of service per Business and Professions Code Section 5536.2.
- PW6. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- PW7. If applicable, the applicant shall provide a covenant for unconditional and indefinite maintenance of any private improvements within the public right-of-way. This covenant shall be reviewed and approved by the Public Works Department and the City Attorney and a fully executed covenant, in recordable form, shall be provided to the City prior to obtaining a permit.
- PW8. Brunswick Avenue shall be videotaped before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The applicant will be responsible to restore the road to its original condition before the start of construction. These video tapes shall be submitted to the City before the start of the project and immediately upon completion of the project.
- PW9. The applicant shall be responsible for posting project signs at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of weather-resistant durable material. The applicant shall provide a 24-hour emergency contact number for a designated person who will be responsible for maintaining the public right-of-way during all stages of construction until the project is complete.

- PW10. The applicant shall provide a Construction Management Plan to the Public Works Department for review and approval prior to issuance of permits. The Construction Management Plan shall include, but not be limited to, types of proposed construction activities, an on-site staging plan, haul route, construction schedule, and shall indicate a contractor parking location. All vehicles including workers' vehicles shall not be parked on the streets or public right-of-way. An offsite parking with a shuttle service should be provided if necessary.
- PW11. The applicant shall provide a construction schedule for each stage of any major activities (i.e. demolition, grading, material delivery, etc.) and the timing of special access if necessary, as it relates to site staging, traffic, and access. If there are any changes to the construction schedule, the applicant shall submit a revised schedule to the Public Works Department.
- PW12. Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. At least 48 hours advance notice shall be given to all impacted businesses and residents for street and lane closures. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed within the time limits specified in SPMC Chapter 19A. Approved street closures require Portable Changeable Message Signs (PCMS) to be placed in advance of the project site.
- PW13. The applicant shall show all existing and proposed trees, including size and species, and indicate their disposition. If any trees are to be removed, the applicant shall apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on the site, the applicant shall note on the plans "no trees to be removed" and provide methods of protecting existing trees during construction.
- PW14. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- PW15. The applicant shall provide a traffic control plan prepared by a CA licensed civil or traffic engineer or C-31 licensed contractor for the duration of the construction and include the City's standard notes for traffic control.
- PW16. The applicant shall post temporary "No Parking " signs along the entire perimeter of the property prior to the start of any construction. The temporary "No Parking" signs shall be covered at the end of each working day and uncovered at the start of the following working day prior to any construction activity.
- PW17. The applicant shall provide a traffic sight distance study prepared by a CA licensed civil engineer for vehicular ingress and egress from the proposed driveways. The applicant shall be responsible for implementing safety measures based on the sight distance study.
- PW17. Prior to issuance of a grading permit, the applicant shall provide an erosion control plan for dust control techniques to be implemented during project construction which shall include, but not



be limited to, use of appropriate BMPs, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas.

- PW18. The applicant shall bring the existing parkway on Brunswick Avenue up to current standards per SPMC Section 31.48. [The applicant shall submit a parkway landscape plan for review and the landscape design shall conform to the Model Water Efficient Landscape Ordinance (MWELO) as stipulated in SPMC Chapter 35, Article 3]
- PW19. The applicant shall provide a detailed drainage plan signed and stamped by a CA licensed civil engineer. Cross lot drainage is not permitted. Provide a copy of the approved plan from the Building & Safety Department.
- PW20. Temporary bins (low boy), if used, shall be “roll off” style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain a dumpster permit from the Public Works Department.
- PW21. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW22. The applicant shall show all existing and proposed trees, including size and species, and indicate their disposition. If any trees are to be removed, the applicant shall apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on the site, the applicant shall note on the plans “no trees to be removed” and provide methods of protecting existing trees during construction.
- PW23 The applicant shall provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees. The proposed building structure shall not be constructed within critical root zone area of any trees.
- PW24 If applicable, a preconstruction survey for nesting birds shall be performed by a Designated Biologist no more than 30 days prior to the start of project activities. All native migratory non-game birds, including raptors, and their active nests are protected from “take” by Sections 3503, 3503.5, and 3513 of the California Fish and Game Code and the Migratory Bird Treaty Act (MBTA). If active nests are found, the applicant shall provide a Nesting Bird Management Plan (NBMP) prepared by the Designated Biologist.
- PW25. The applicant shall show the existing grade, location, and dimensions of all existing and proposed conditions within the public-right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.

- PW26. The applicant shall install new 4" thick sidewalk with a minimum width of 4' and maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
- PW27. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer. In addition, existing sidewalk and driveway approaches that are below current City standards shall be replaced regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW28. The applicant shall remove and replace the existing curb and gutter with/install new curb and gutter conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 120-2, Type A2-6. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department depending on the condition of the existing concrete pavement adjacent to the property.
- PW29. The applicant shall grind and repave the existing asphalt street fronting the property to a minimum depth of 1.5". Asphalt shall be C2 PG 64-10 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). Any pre-existing pavement markings and traffic striping shall be restored in accordance to the latest editions of the California Manual on Uniform Traffic Control Devices (CA MUTCD), Caltrans standards, and to the satisfaction of the City Engineer. The applicant shall verify the actual limits of paving with the Public Works Department depending on the condition of the existing pavement adjacent to the property. All manholes and/or utility covers shall be adjusted within the limits of paving and to grade after paving has been completed.
- PW30. The applicant shall slurry seal the existing asphalt street fronting the property. Slurry seal shall be Type II-CQS-1h-EAS and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). Any pre-existing pavement markings and traffic striping shall be restored in accordance to the latest editions of the California Manual on Uniform Traffic Control Devices (CA MUTCD), Caltrans standards, and to the satisfaction of the City Engineer.
- PW31. If applicable, the applicant shall construct a retaining wall along the perimeter of the property for slope protection and to prevent sloughing of dirt onto the sidewalk.
- PW32. If applicable, the applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department depending on the condition of the existing concrete pavement adjacent to the property.

- PW33. The applicant shall provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- PW34. If applicable, the applicant shall provide clearance letters from utility companies for any proposed relocation of utility lines that encroach on the properties prior to obtaining permits for the project.
- PW35. The applicant shall show all utility poles adjacent to the properties and note to protect-in-place.
- PW36. If applicable, improvement plans for underground utilities (i.e. water, sewer, electrical, telecommunications, etc.) to be placed in the public right-of-way or easements that will be owned and maintained by other entities shall be reviewed by the City prior to Utility Agency approval. The City shall have a place on the title sheet to accept the plans with a statement: "The City's acceptance is limited to the placement of utilities relative to public infrastructure clearances, uses, and future plans within the right-of-way."
- PW37. The applicant shall upgrade the existing street light heads to LED lighting fronting the property per City standards.
- PW38. If the street lights must be relocated and/or additional street lights are to be installed, the applicant shall submit a street lighting plan per City standards.
- PW39. The applicant shall show the location of all existing utilities (i.e. sewer lateral and water utility service lines) on adjacent street(s), as well as location and size of all existing or proposed utility service lines serving the property. Show all utility points of connection (POC).
- PW40. The applicant shall pay all applicable City sewer and/or water capacity charges per SPMC Section 16B.3. A copy of the receipt for any fees to be paid must be submitted before permit issuance.
- PW41. The applicant shall indicate if the development will connect to existing water and sewer utilities or if new connections will be requested. New connections will require connection fees.
- PW42. If applicable, the applicant shall show the location and area of trench sections for any proposed sewer and water line connection within the public right-of-way. The applicant shall provide a trench restoration detail per City standards if any new utility connections are proposed.
- PW43. The applicant shall provide a copy of a will-serve letter and receipt for the sewer connection fee from the Los Angeles County Sanitation District (LACSD). A copy of the receipt for any fees to be paid must be submitted before permit issuance.
- PW44. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW45. The applicant shall contact the City of South Pasadena Water Division at (626) 460-6393 to coordinate the size, location, and associated fee for a new/upgraded water meter connection, as applicable.

**FIRE DEPARTMENT:**

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); Current California Fire Code (CFC); Current California Building Code and NFPA standards.
- FD2. Fire Sprinklers are required. Submit plans to City for approval.
- FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD4. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD5. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD6. All new Accessory Dwelling Units in the High Risk Fire Area shall have a fire sprinkler system in place per South Pasadena Municipal Code.
- FD7. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD8. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD9. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD10. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD11. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD12. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
- FD13. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.

**Smoke Alarms**

- FD14. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:

1. On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
2. In each room used for sleeping purposes.
3. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

FD15. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).

### **Carbon Monoxide**

FD16. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages (CBC 420.4.1).

FD17. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection (CBC 420.4.1.1).

FD18. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft<sup>2</sup> (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.

FD19. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2016 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:

- 1) At each stairway on all floor levels where combustibles materials have accumulated.
- 2) In every storage and construction shed.

FD20. Where special hazards exist included but not limited to storage and use of combustible and flammable liquids.

FD21. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

## **ATTACHMENT 2**

Project Plans and Material Board



AREA, HEIGHT, AND PARKING CALCULATIONS

BUILDING SQUARE FOOTAGE AND FAR	
LOWER LEVEL	
MAIN RESIDENCE	1,130 SF
PARKING GARAGE	400 SF
ADU	786 SF
MAIN LEVEL	
MAIN RESIDENCE	1,271 SF
TOTAL SF	1,130 SF (GARAGE AND ADU EXEMPTED FROM CALCULATION) + 1,271 SF = 2,401 SF
FAR CALCULATION	
LOT SIZE	7,418 SF
TOTAL BUILDING SF	2,401 SF
	2,401 SF / 7,418 SF
	= 32% < 35% THEREFORE OK

LOT COVERAGE	
LOT SIZE	7,418 SF
BUILDING FOOTPRINT	2,021 SF
BALCONY FOOTPRINT	273 SF
MAIN ENTRANCE STAIR FOOTPRINT	101 SF
ADU FOOTPRINT	918 SF
LOT COVERAGE	[2,021 SF + 273 SF + 101 SF + 918 SF - 800 SF (ADU EXEMPTION)] / 7,418 SF
	= 2,513 SF / 7,418 SF
	= 34% < 50% THEREFORE OK

BUILDING HEIGHT	
MAIN RESIDENCE	21'-4" (SEE ALSO A5.1)
ADU	13'-0" (SEE ALSO A5.1)

PROPOSED PARKING	
NO. OF COVERED PARKING	TOTAL 2 (NONE FOR ADU BECAUSE IT IS WITHIN ONE-HALF MILE OF EXISTING BUS STOP)
INSIDE PARKING AREA OF (N) GARAGE	400 SF

PROJECT INFORMATION

GENERAL  
 PROPERTY ADDRESS: 1222 BRUNSWICK AVE.  
 AIN: 5311-007-022  
 LOT SIZE: 7,418 SF  
 ZONING: ZONE RS (SINGLE FAMILY RESIDENTIAL)  
 HISTORIC DISTRICT: NO  
 HILLSIDE PROPERTY: NO  
 (S-100 (1 x L) / A = 100 (1 x 1,067.18) / 7,397 = 14% < 20% THEREFORE NOT A HILLSIDE PROPERTY)

SETBACKS  
 FRONT SETBACK: 25% X 148' (LOT WIDTH) = 37'-0" : 35'-0" MAX.  
 SIDE SETBACK: 10% X 50' = 5'-0" (MAIN RESIDENCE), 4'-0" (ADU)  
 REAR SETBACK: 20'-0" (MAIN RESIDENCE), 4'-0" (ADU)  
 BUILDING SEPARATION: 10'-0" (BETWEEN MAIN RESIDENCE AND ADU)

PROJECT TEAM

BUILDING OWNER:  
 DARRYL ROBERTS  
 1222 BRUNSWICK  
 SOUTH PASADENA, CA 91030

ARCHITECT:  
 YNL ARCHITECTS, INC.  
 10736 JEFFERSON BLVD. #722  
 CULVER CITY, CA 90230  
 TEL: 310-980-8981

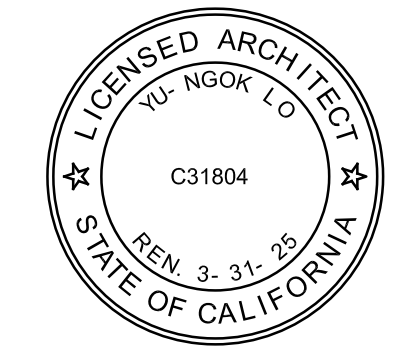
STRUCTURAL AND CIVIL ENGINEER:  
 STRUCTURE SIX ENGINEERS  
 23332 HAWTHORNE BLVD., SUITE 306  
 TORRANCE, CA 90505  
 TEL: 310-480-1350

CONTRACTOR:  
 TBD

SCOPE OF WORK

THE PROJECT INCLUDES THE DEMOLITION OF THE EXISTING SINGLE STORY RESIDENCE AND CONSTRUCT A NEW RESIDENCE AND AN ADU AT THE BACK OF THE PROPERTY.

ARCHITECT:

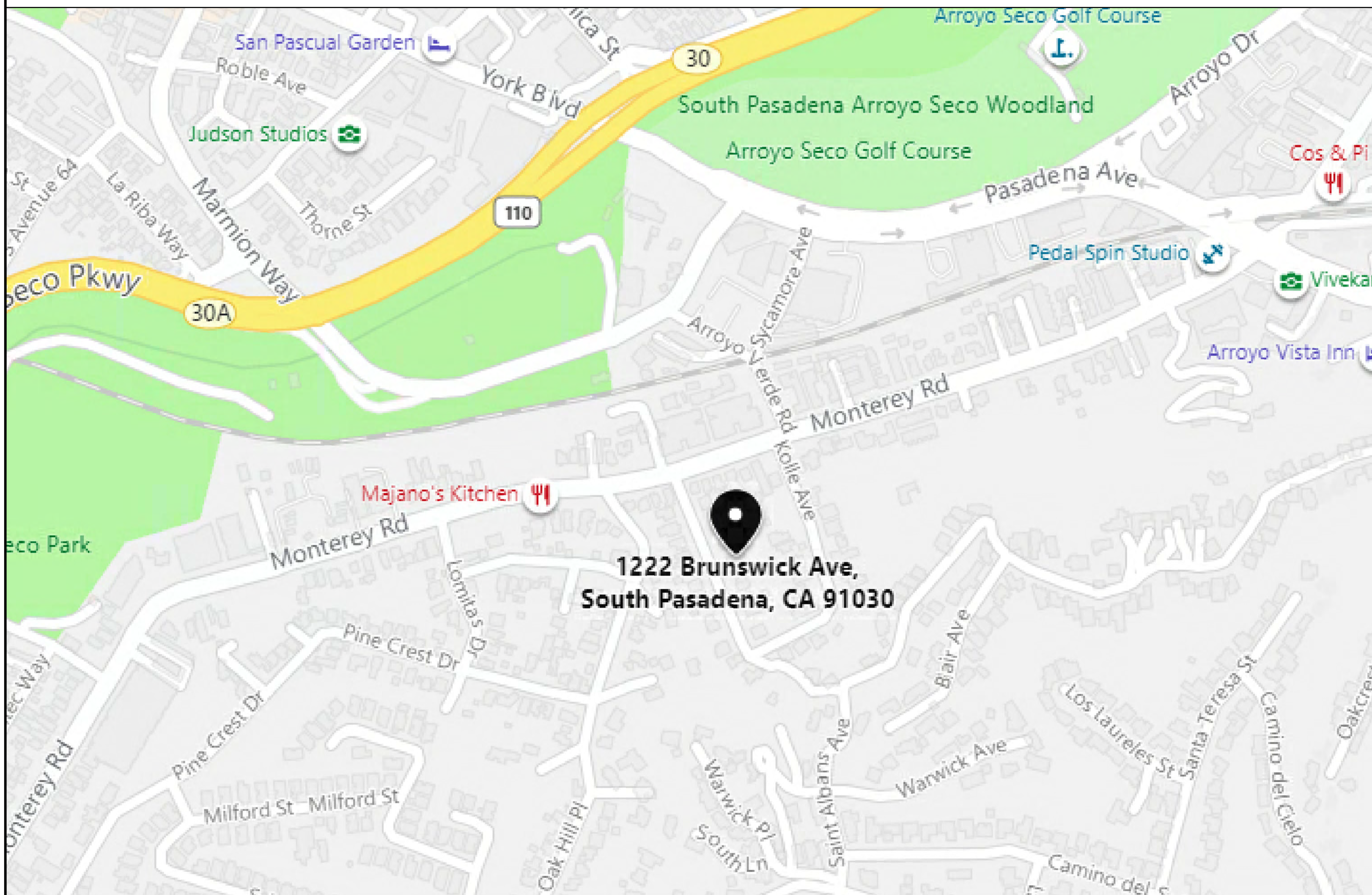


PROJECT ADDRESS:

1222 BRUNSWICK  
 SOUTH PASADENA, CA 91030

REVISIONS:


VICINITY MAP



SHEET INDEX

- ARCHITECTURAL
- A0.0 COVER SHEET
  - A1.0 DEMO SITE PLAN
  - A1.1 SITE PLAN
  - A2.0 BASEMENT FLOOR PLAN
  - A2.1 LOWER LEVEL FLOOR PLAN
  - A2.2 MAIN LEVEL FLOOR PLAN
  - A2.3 BALCONY FLOOR PLAN
  - A2.4 ROOF PLANS
  - A2.5 ADU FLOOR, ROOF, AND BASEMENT PLANS
  - A4.1 SECTIONS
  - A4.2 SECTIONS
  - A5.1 EXTERIOR ELEVATIONS (MAIN RESIDENCE)
  - A5.2 EXTERIOR ELEVATIONS (ADU)
  - A10.1 DOOR SCHEDULE
  - A10.2 WINDOW AND ROOM FINISH SCHEDULES
  - MB1.1 MATERIAL BOARD
  - R1.1 RENDERING
  - R1.2 RENDERING
  - R1.3 RENDERING
  - R1.4 RENDERING

CIVIL (BY OWNER'S CONSULTANT)

- C2.0 GRADING PLAN

LANDSCAPE (BY OWNER'S CONSULTANT)

- L1.0 LANDSCAPE PLAN

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- CITY OF SOUTH PASADENA MUNICIPAL CODE

NOT FOR CONSTRUCTION

DATE ISSUED:

2023-04-20

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PROJECT NAME:

BRUNSWICK  
 RESIDENCE  
 AND ADU

SHEET TITLE

COVER  
 SHEET

SHEET NO:

A0.0



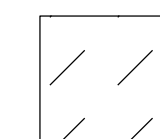
DEMOLITION NOTES

- NOTE-11 REMOVE AND REPLACE PORTION OF (E) CURB AND GUTTER
- NOTE-12 REMOVE (E) BUILDING, INCLUDING FOUNDATION
- NOTE-13 REMOVE (E) WOOD PLANTER
- NOTE-14 REMOVE (E) TREE
- NOTE-15 REMOVE (E) BRUSHES
- NOTE-16 REMOVE (E) CONCRETE PAVING
- NOTE-17 REMOVE (E) CONCRETE APRON
- NOTE-18 REMOVE (E) CONCRETE STEPS
- NOTE-19 REMOVE (E) RETAINING WALL
- NOTE-20 REMOVE (E) CHAIN LINK FENCE

EXISTING NOTES

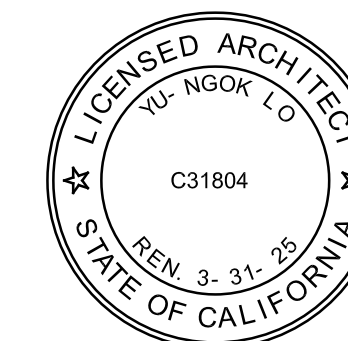
- NOTE-1 (E) CHAIN LINK FENCE TO REMAIN
- NOTE-2 (E) CURB AND GUTTER TO REMAIN
- NOTE-3 (E) WALL TO REMAIN
- NOTE-4 REMOVE (E) TREE
- NOTE-5 REMOVE (E) BRUSHES
- NOTE-6 REMOVE (E) CONCRETE PAVING

LEGEND



REMOVE (E) PAVING, LANDSCAPING, AND CLEAR SITE FOR NEW CONSTRUCTION

ARCHITECT:



PROJECT ADDRESS:

1222 BRUNSWICK  
SOUTH PASADENA, CA 91030

REVISIONS:


**NOT FOR CONSTRUCTION**

DATE ISSUED:

2023-04-20

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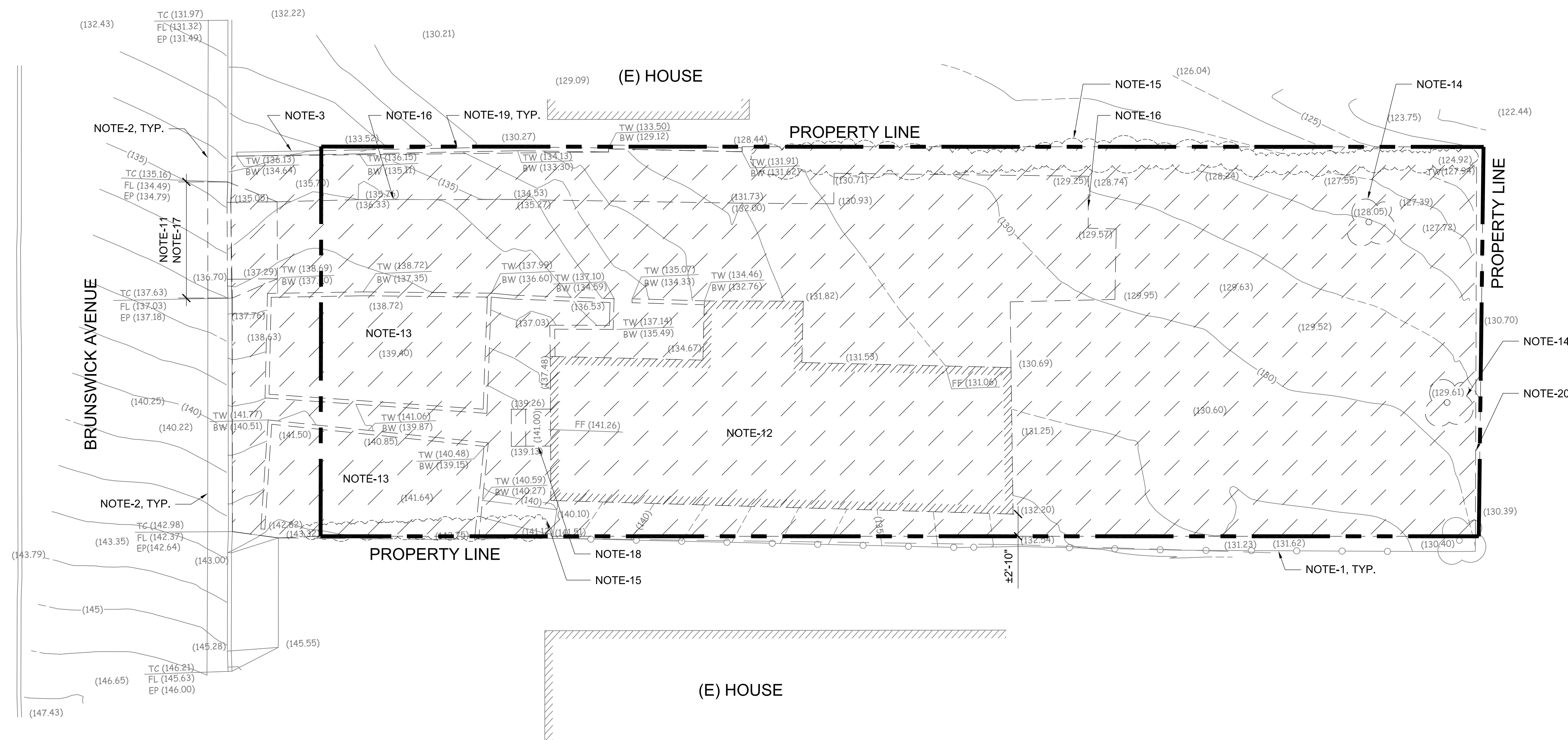
**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**DEMO SITE  
PLAN**

SHEET NO:

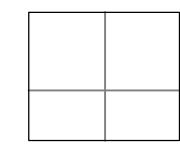
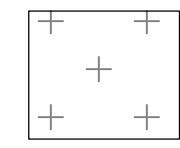
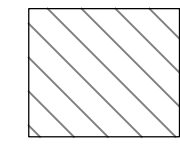

**A1.0**



**DEMO SITE PLAN**  
SCALE: 1/8" = 1'-0"



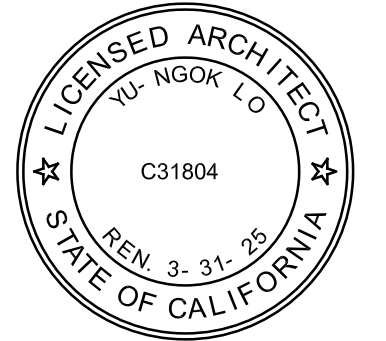
LEGEND

-  CONCRETE PAVING
-  LANDSCAPE AREA  
SEE PLANTING PLAN
-  LANDSCAPE AREA  
SEE PLANTING PLAN
-  GATE, SEE A10.1

NOTES

- NOTE-1 NEW DRIVEWAY CURB CUT
- NOTE-2 SITE GATE, SEE A10.1
- NOTE-3 BOLLARD LIGHT
- NOTE-4 EXISTING SITE FENCE
- NOTE-5 NEW SITE WALL
- NOTE-6 FENCE AND GATE PER LANDSCAPE
- NOTE-7 SWIMMING POOL AND SPA
- NOTE-8 POOL EQUIPMENT ENCLOSURE
- NOTE-9 GUARD RAIL, 42" HIGH MIN ABOVE ADJACENT GRADE

ARCHITECT:



PROJECT ADDRESS:

1222 BRUNSWICK  
SOUTH PASADENA, CA 91030

REVISIONS:

NO.	DESCRIPTION

**NOT FOR CONSTRUCTION**

DATE ISSUED:

2023-04-20

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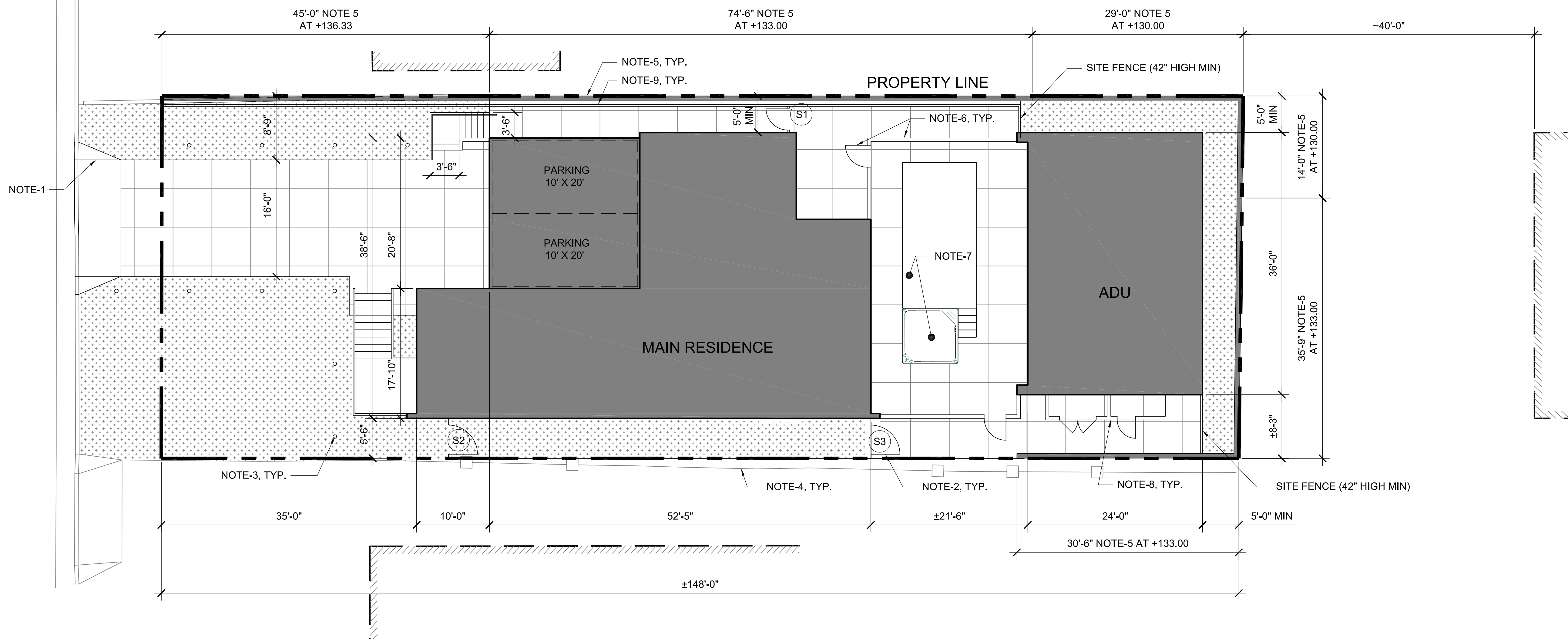
**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

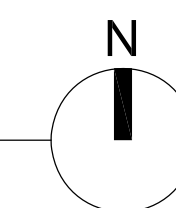
**SITE PLAN**

SHEET NO:

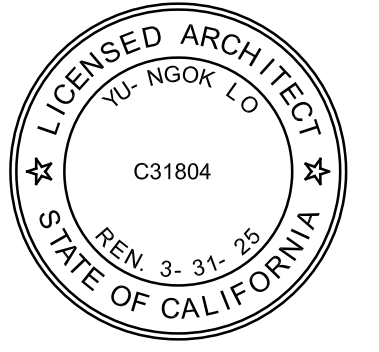
**A1.1**



**SITE PLAN**  
SCALE: 1/8" = 1'-0"



ARCHITECT:



PROJECT ADDRESS:

1222 BRUNSWICK  
SOUTH PASADENA, CA 91030

REVISIONS:


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DATE ISSUED:

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PROJECT NAME:

**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**MAIN RESIDENCE  
BASEMENT FLOOR  
PLAN**

SHEET NO:

**A2.0**

NOTES

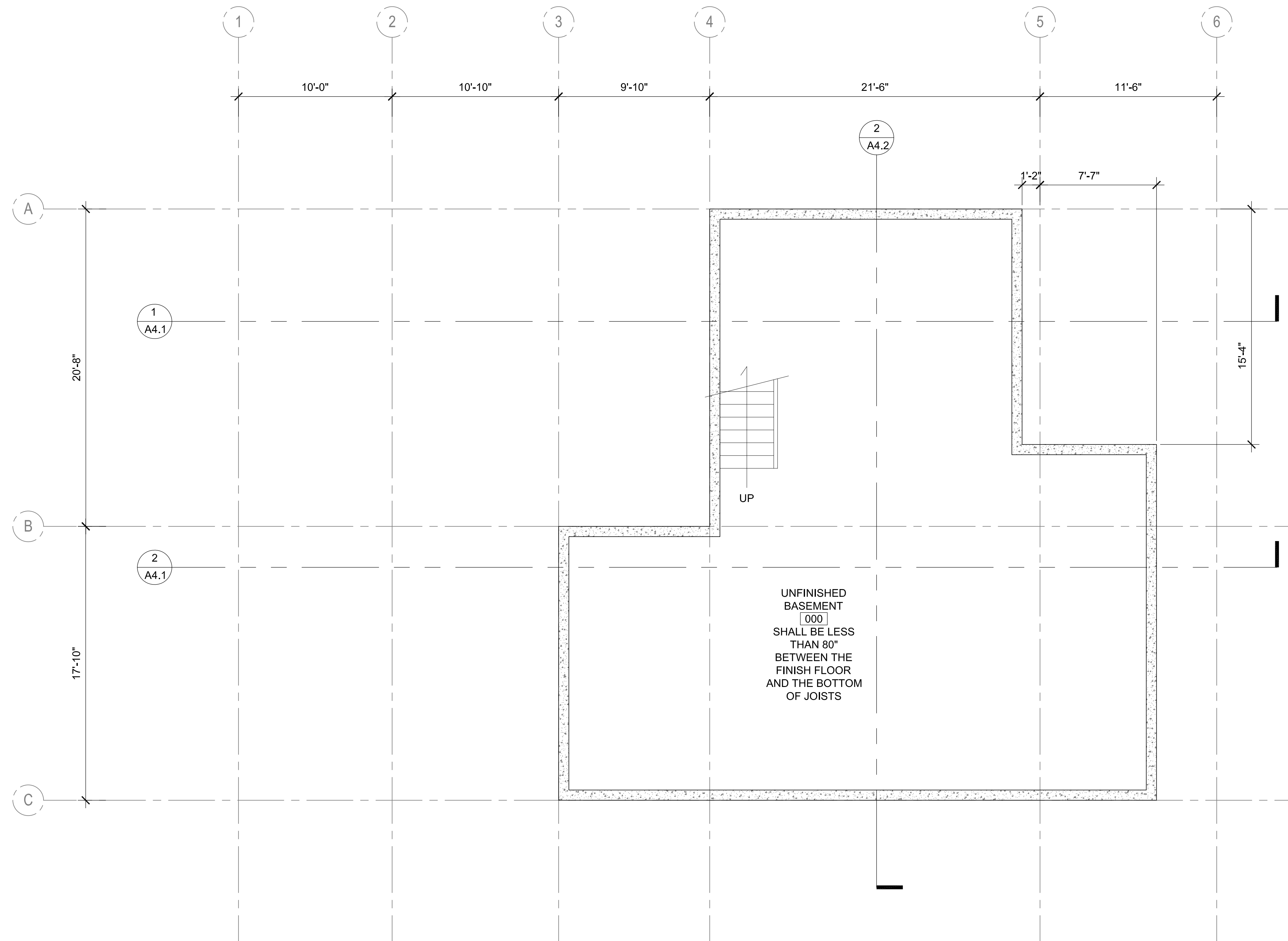
- NOTE-1 4'-0" WIDE BY 10" (NOMINAL) HIGH VENTS WITH INSECT SCREENS
- NOTE-2 OVERHANG / STRUCTURE ABOVE

LEGENDS

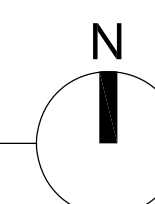
 CAST IN PLACE CONCRETE WALL

GENERAL NOTES

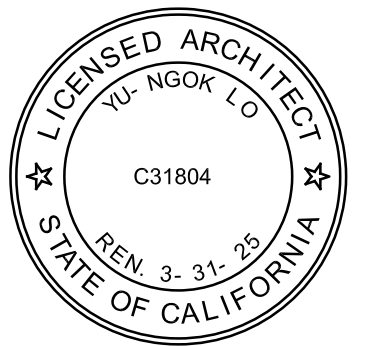
- 1. SEE GRADING PLAN AND LANDSCAPE PLAN FOR MORE INFORMATION.



**UNFINISHED BASEMENT (MAIN RESIDENCE)**  
SCALE: 1/4" = 1'-0"



ARCHITECT:



PROJECT ADDRESS:

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PROJECT NAME:

**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**LOWER LEVEL  
FLOOR PLAN**

SHEET NO:

**A2.1**

NOTES

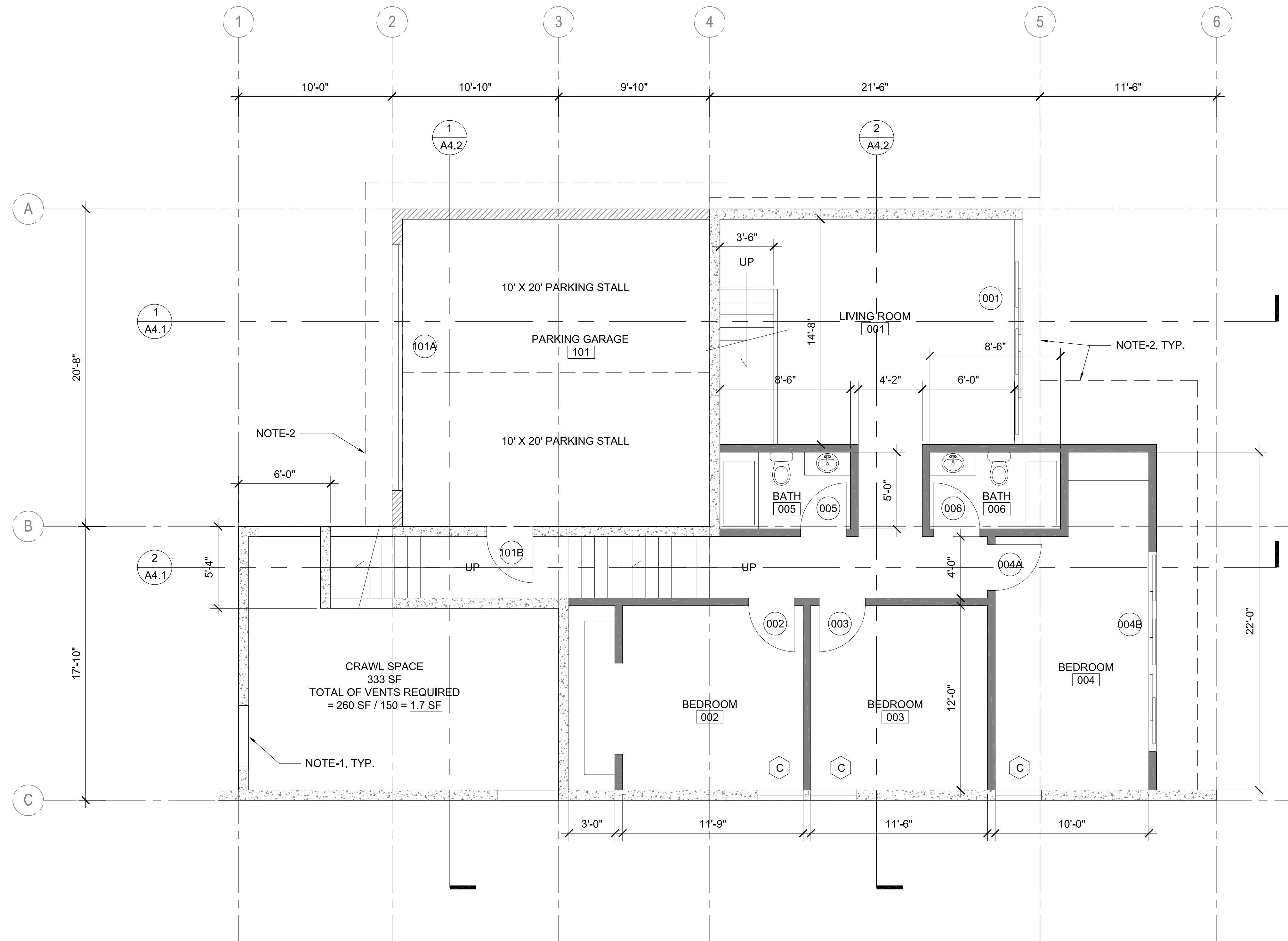
- NOTE-1 4'-0" WIDE BY 10" (NOMINAL) HIGH VENTS WITH INSECT SCREENS
- NOTE-2 OVERHANG / STRUCTURE ABOVE

LEGENDS

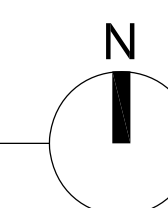
- DEX-O-TEX DECKING MATERIAL
- WINDOW TAG, SEE WINDOW SCHEDULE
- DOOR TAG, SEE DOOR SCHEDULE
- CAST IN PLACE CONCRETE WALL
- CONCRETE MASONRY WALL (CMU)
- 2X WOOD FRAMED WALL

GENERAL NOTES

1. SEE GRADING PLAN AND LANDSCAPE PLAN FOR MORE INFORMATION.

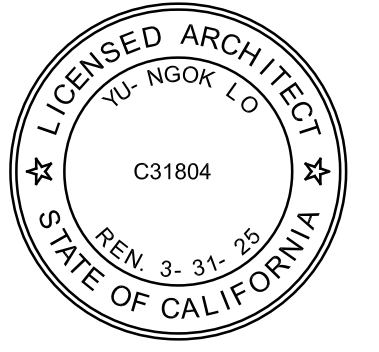


**LOWER LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





ARCHITECT:



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PROJECT NAME:

**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**MAIN LEVEL  
FLOOR PLAN**

SHEET NO:

**A2.2**

NOTES

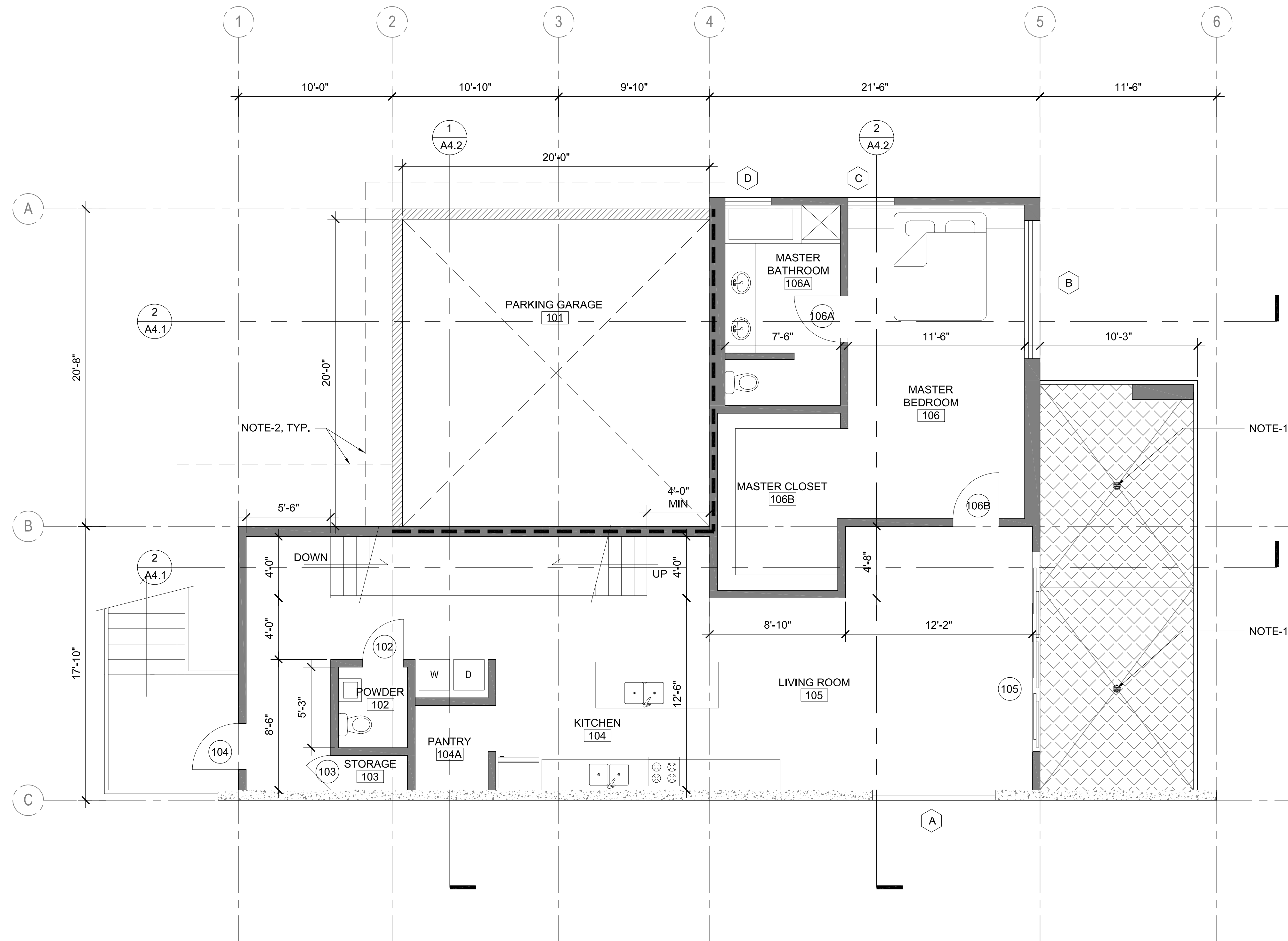
- NOTE-1 FLOOR DRAIN
- NOTE-2 OVERHANG ABOVE

LEGENDS

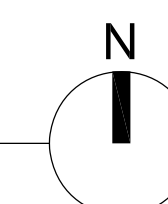
- DEX-O-TEX DECKING MATERIAL
- WINDOW TAG, SEE WINDOW SCHEDULE
- DOOR TAG, SEE DOOR SCHEDULE
- CAST IN PLACE CONCRETE WALL
- CONCRETE MASONRY WALL (CMU)
- 2X WOOD FRAMED WALL
- 1 HOUR FIRE RATED WALL

GENERAL NOTES

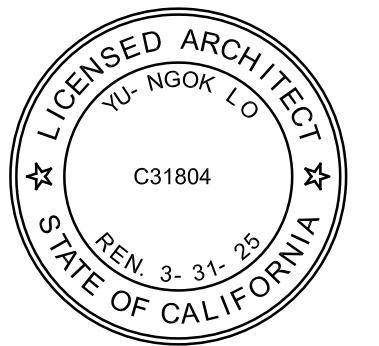
- 1. SEE GRADING PLAN AND LANDSCAPE PLAN FOR MORE INFORMATION.



**MAIN LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



ARCHITECT:



PROJECT ADDRESS:

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SOUTH PASADENA, CA 91030

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DATE ISSUED:

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PROJECT NAME:

**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**BALCONY  
LEVEL FLOOR  
PLAN**

SHEET NO:

**A2.3**

NOTES

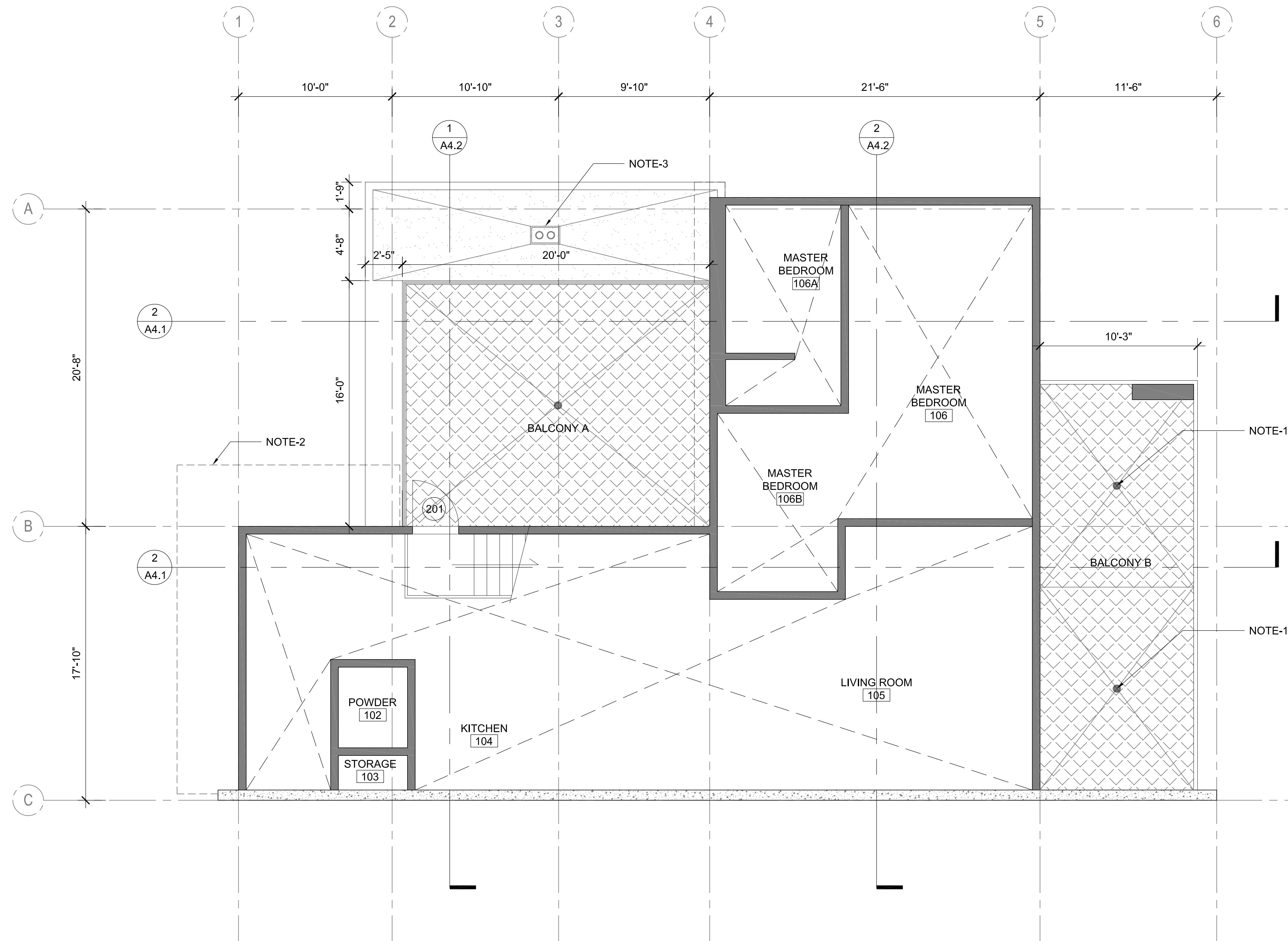
- NOTE-1 FLOOR DRAIN
- NOTE-2 OVERHANG ABOVE
- NOTE-3 ROOF DRAIN

LEGENDS

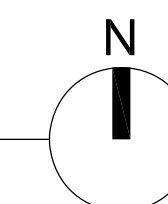
- DEX-O-TEX DECKING MATERIAL
- CLASS A ROOFING MATERIAL
- DOOR TAG, SEE DOOR SCHEDULE
- CAST IN PLACE CONCRETE WALL
- 2X WOOD FRAMED WALL

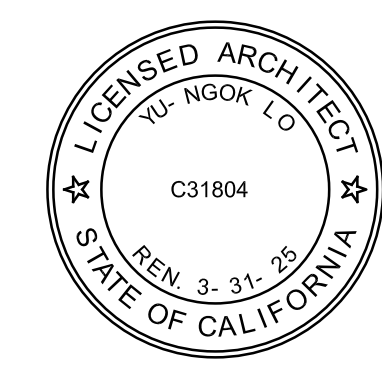
GENERAL NOTES

1. SEE GRADING PLAN AND LANDSCAPE PLAN FOR MORE INFORMATION.



**BALCONY LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





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 AND ADU**

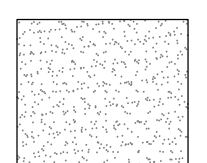
SHEET TITLE  
**BALCONY  
 LEVEL FLOOR  
 PLAN**

SHEET NO:  
**A2.4**

**NOTES**

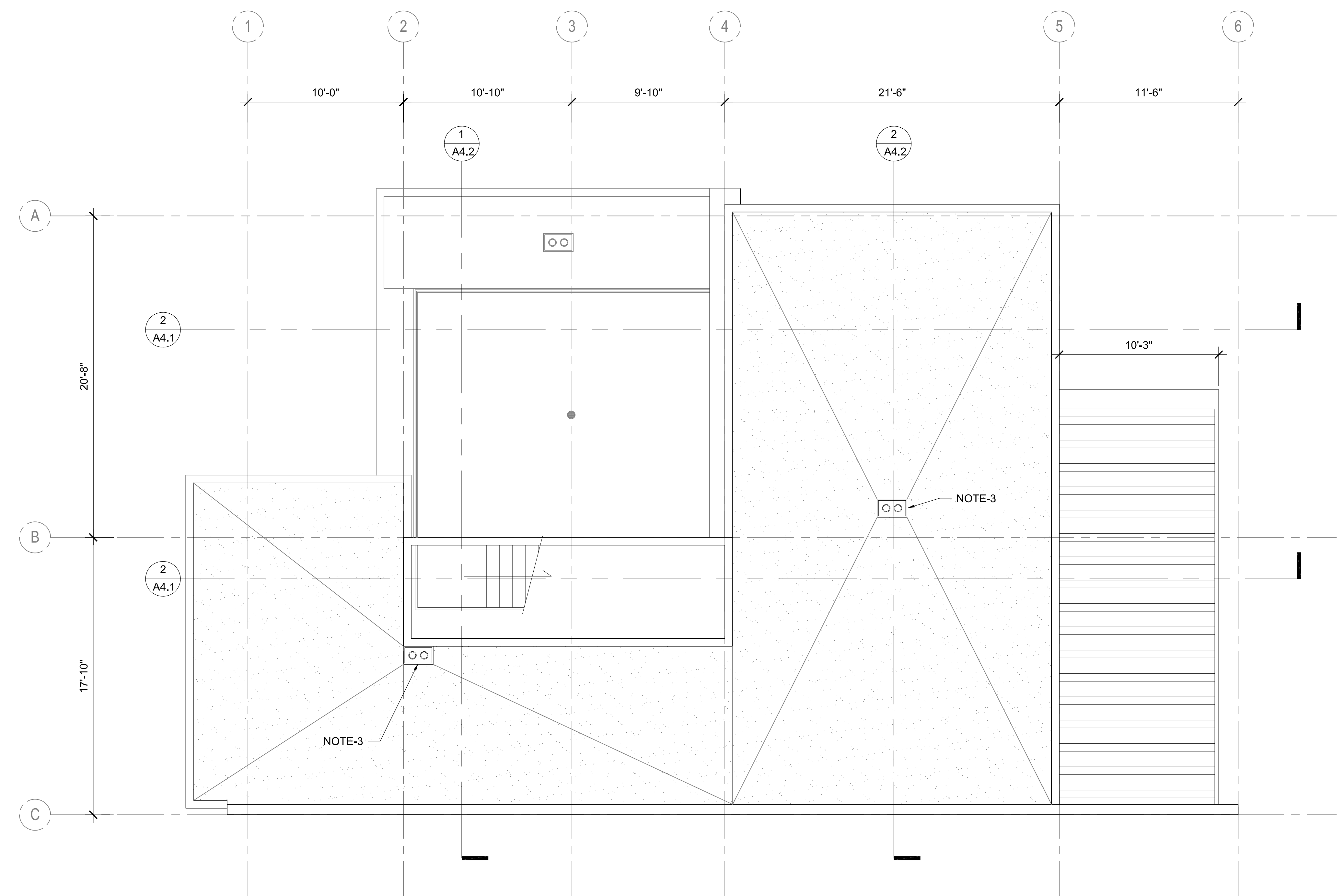
NOTE-1 2'-6" X 4'-0" SKYLIGHT  
 NOTE-2 CRICKET  
 NOTE-3 ROOF DRAIN

**LEGENDS**

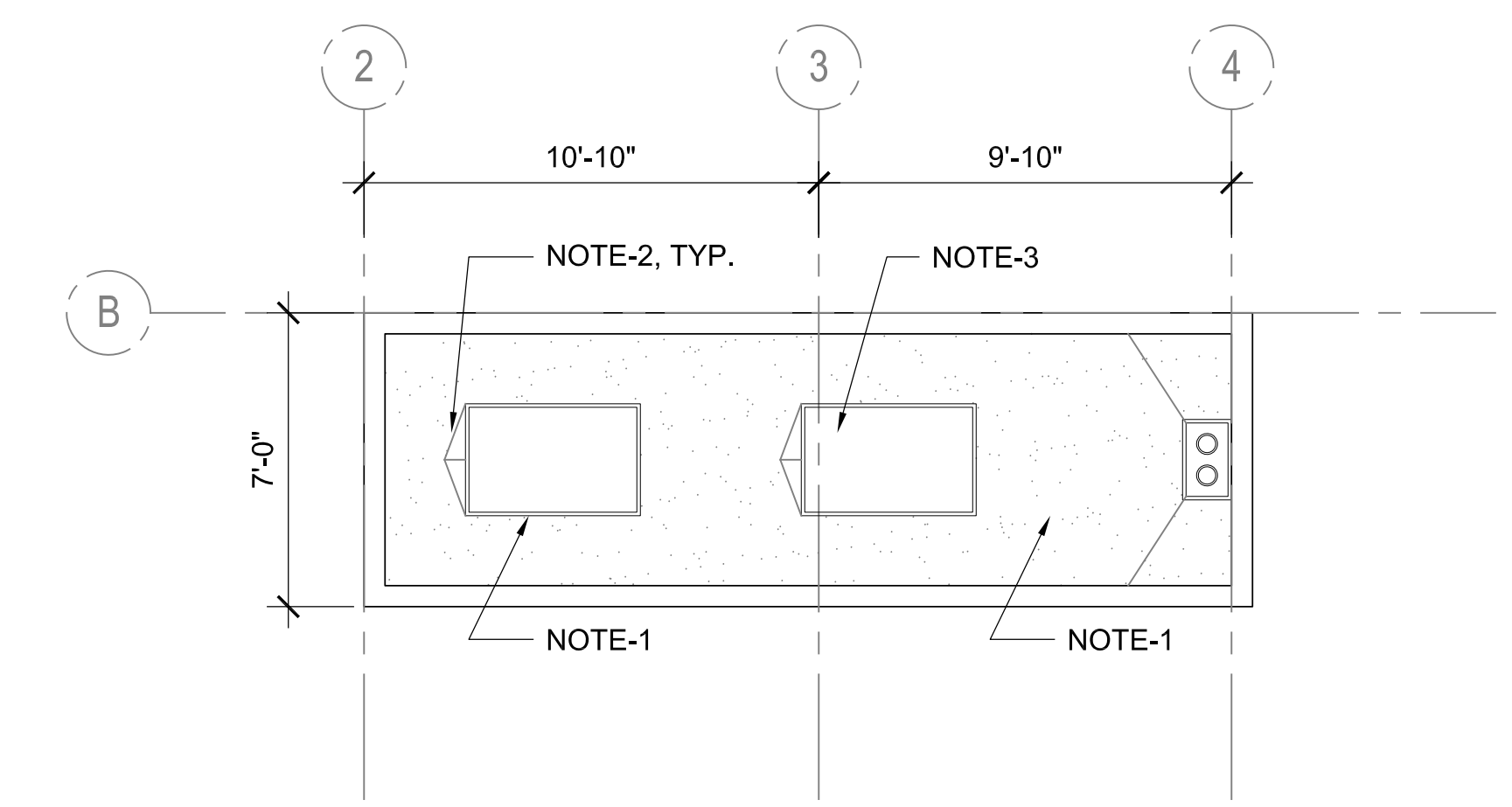
 CLASS A ROOFING MATERIAL

**GENERAL NOTES**

- SEE GRADING PLAN AND LANDSCAPE PLAN FOR MORE INFORMATION.



**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



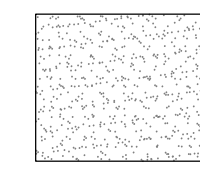



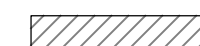

**UPPER ROOF FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



GENERAL NOTES

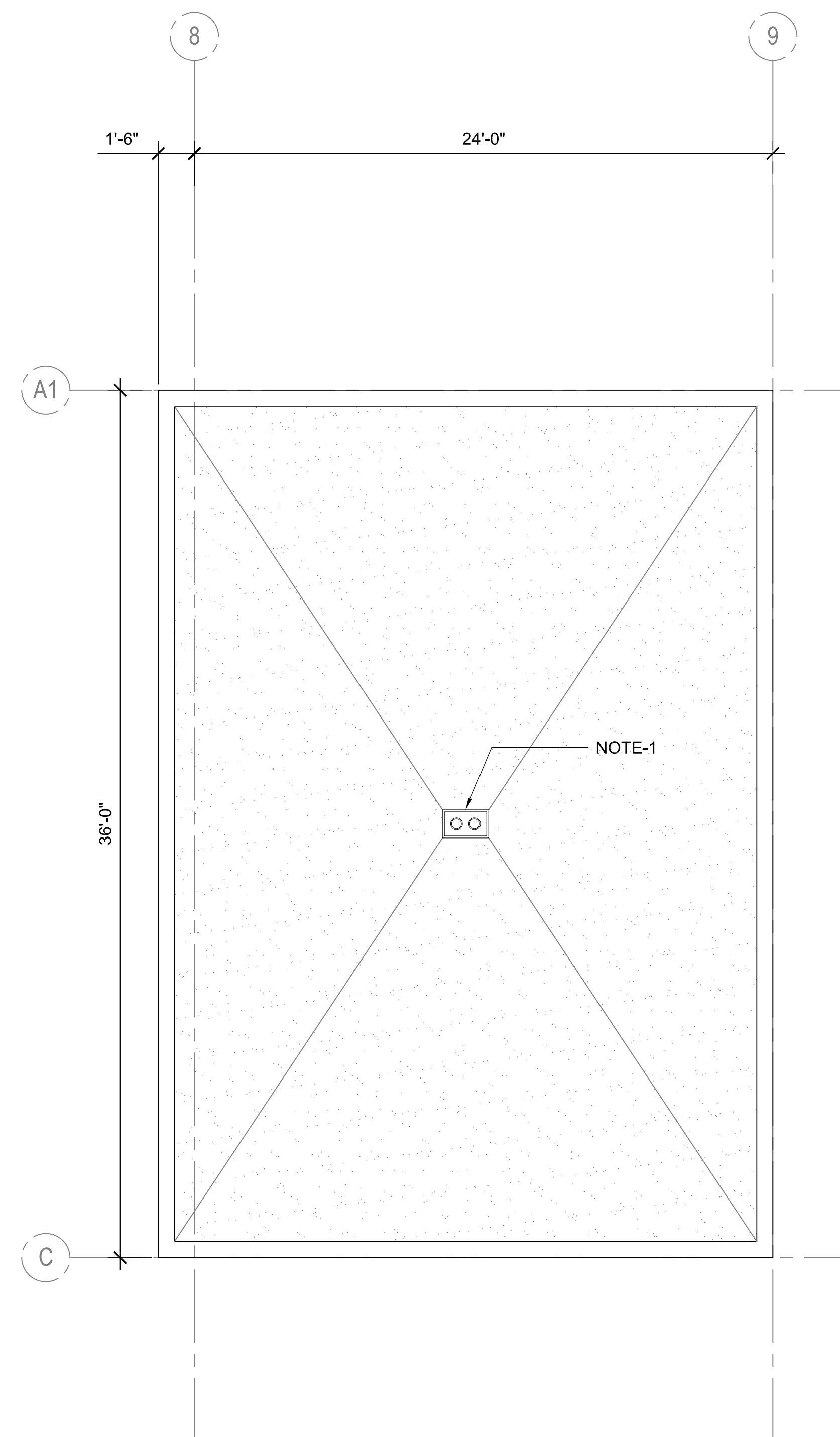
1. SEE GRADING PLAN AND LANDSCAPE PLAN FOR MORE INFORMATION.

LEGENDS

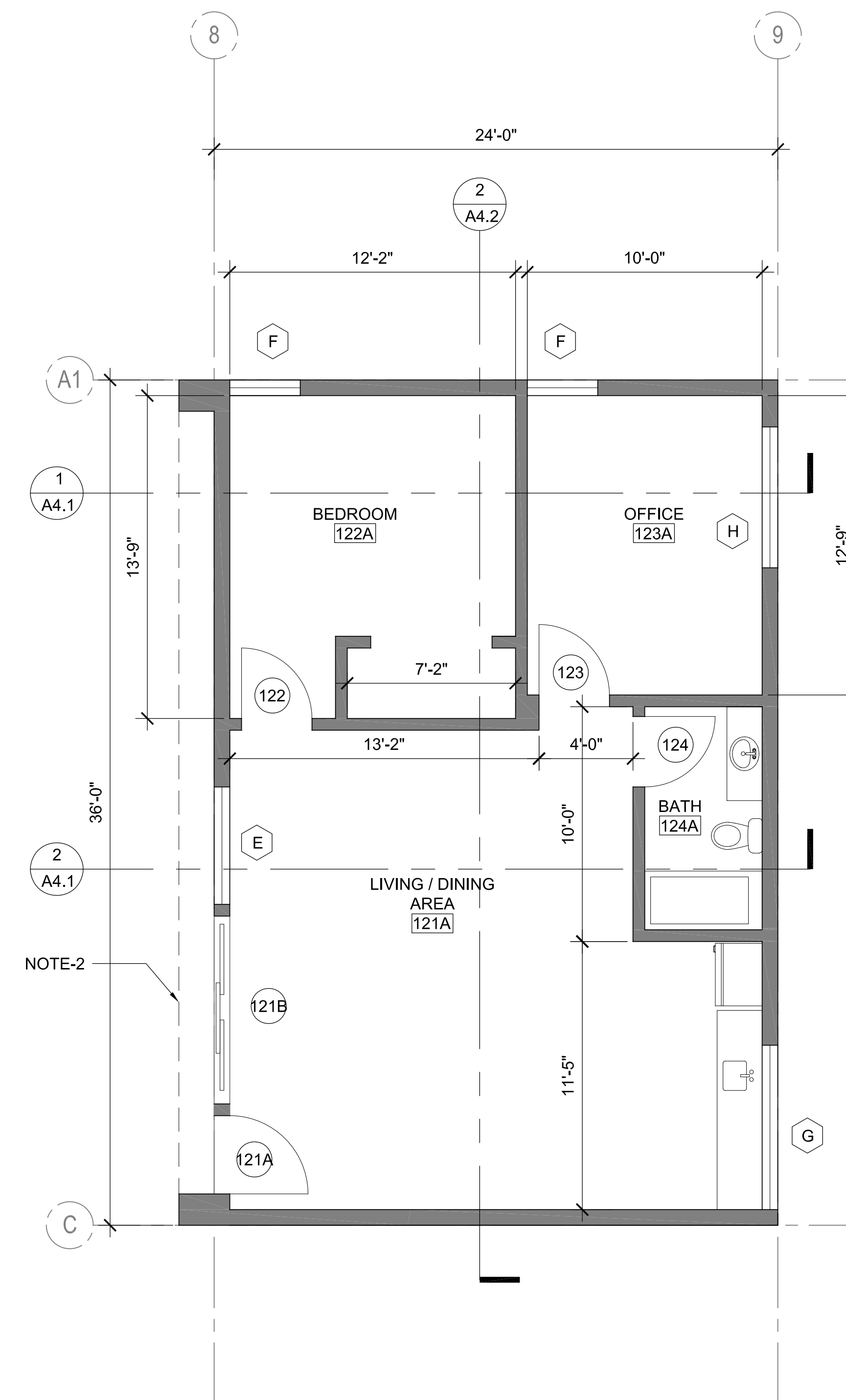
-  CLASS A ROOFING MATERIAL OVER TAPERED INSULATION
-  WINDOW TAG, SEE WINDOW SCHEDULE
-  DOOR TAG, SEE DOOR SCHEDULE
-  CAST IN PLACE CONCRETE WALL
-  CONCRETE MASONRY WALL (CMU)
-  2X WOOD FRAMED WALL

NOTES

- NOTE-1 ROOF DRAIN
- NOTE-2 OVERHANG ABOVE

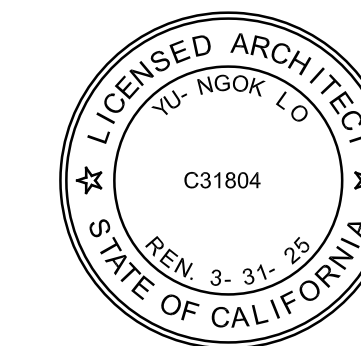


ADU ROOF PLAN  
SCALE: 1/4" = 1'-0"



ADU FLOOR PLAN  
SCALE: 1/4" = 1'-0"

ARCHITECT:



PROJECT ADDRESS:

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PROJECT NAME:

**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**ADU FLOOR AND  
ROOF PLANS**

SHEET NO:

**A2.5**

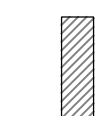
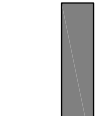
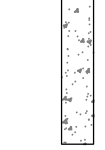
GENERAL NOTES

1. SEE EXTERIOR ELEVATIONS FOR MORE INFORMATION.

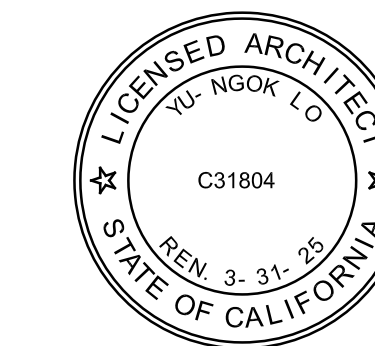
NOTES

NOTE-1 HEIGHT OF UNFINISHED BASEMENT SHALL BE LESS THAN 80" MEASURING FROM THE FINISH FLOOR TO THE BOTTOM OF JOISTS

LEGEND

-  8" X 8" X 1'-4" CMU WALL
-  2X WOOD FRAMING
-  CAST IN PLACE CONCRETE WALL AND SLAB

ARCHITECT:



PROJECT ADDRESS:

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SOUTH PASADENA, CA 91030

REVISIONS:


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PROJECT NAME:

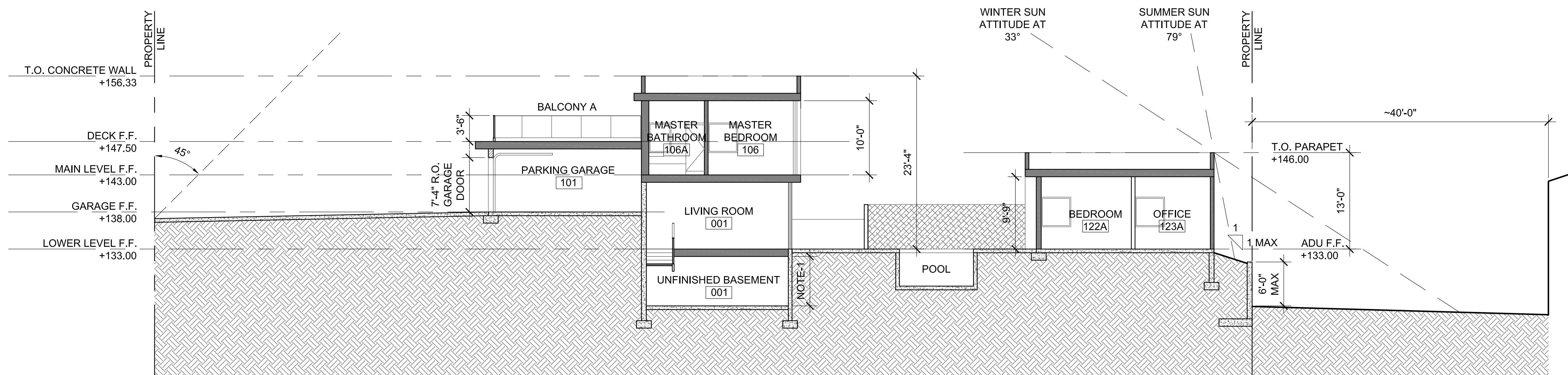
**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**SECTIONS**

SHEET NO:

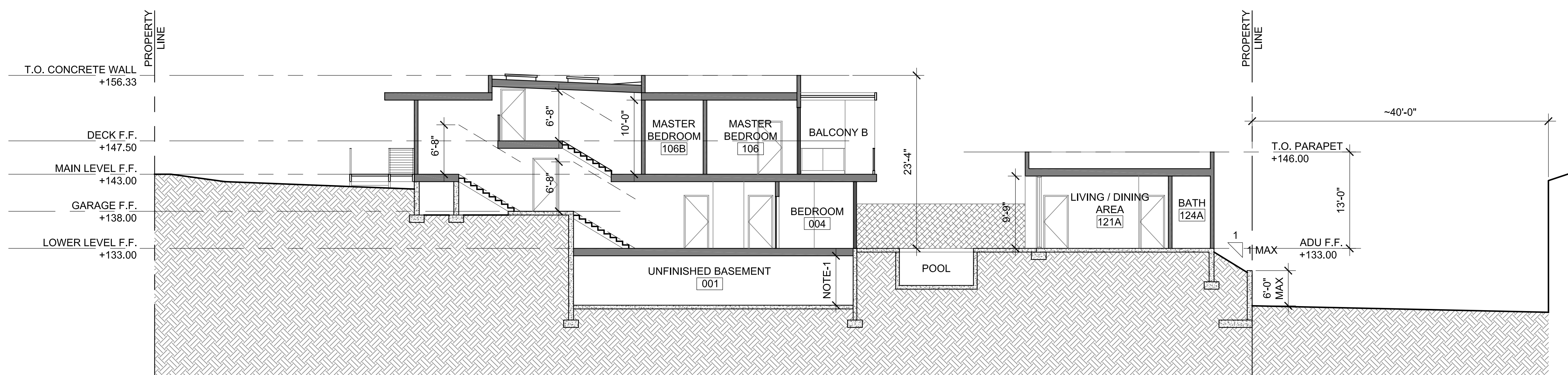
**A4.1**



SITE SECTION

SCALE: 1/8" = 1'-0"

1



SITE SECTION

SCALE: 1/8" = 1'-0"

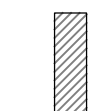
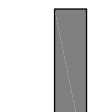
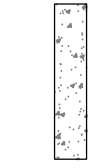
2

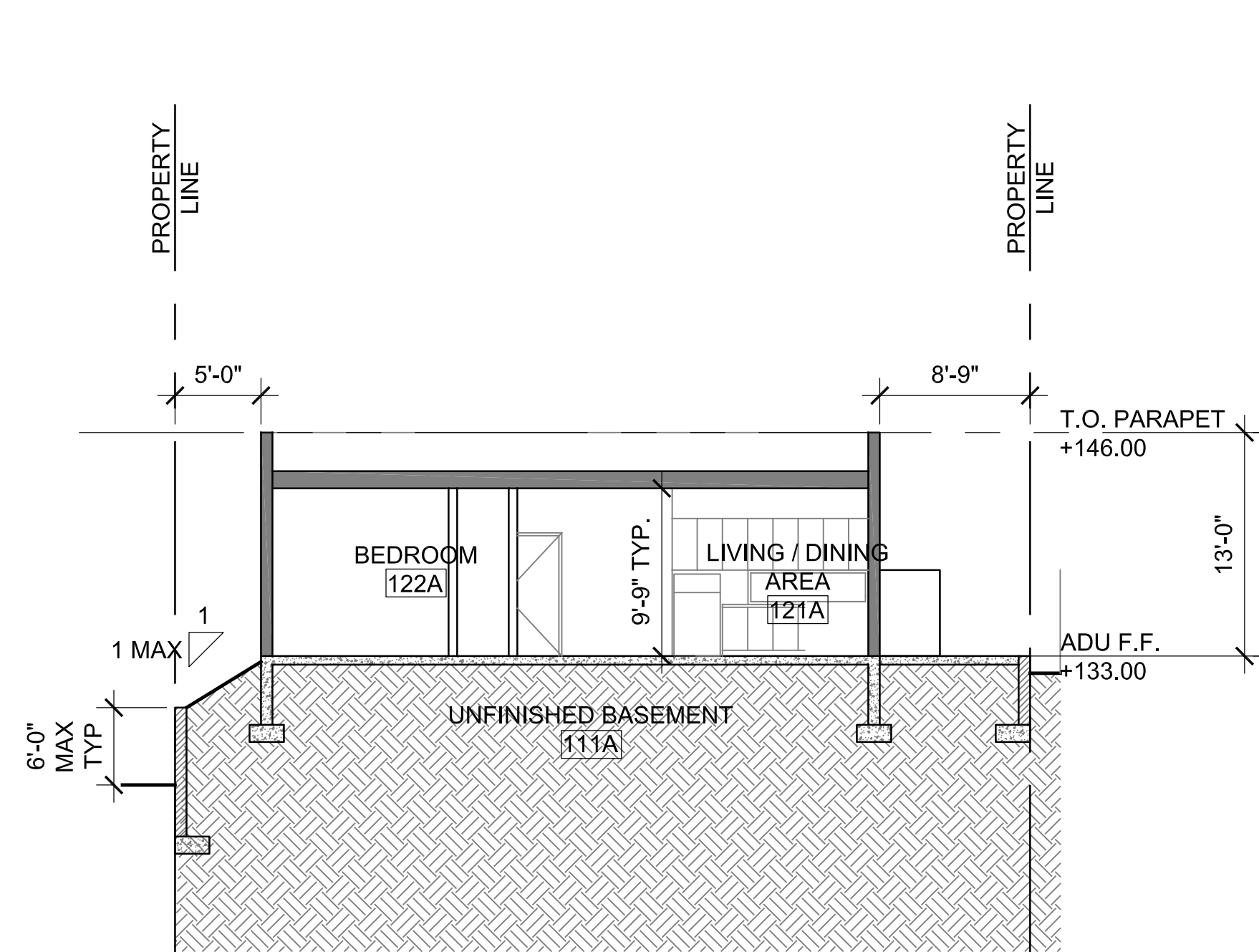


GENERAL NOTES

1. SEE EXTERIOR ELEVATIONS FOR MORE INFORMATION.

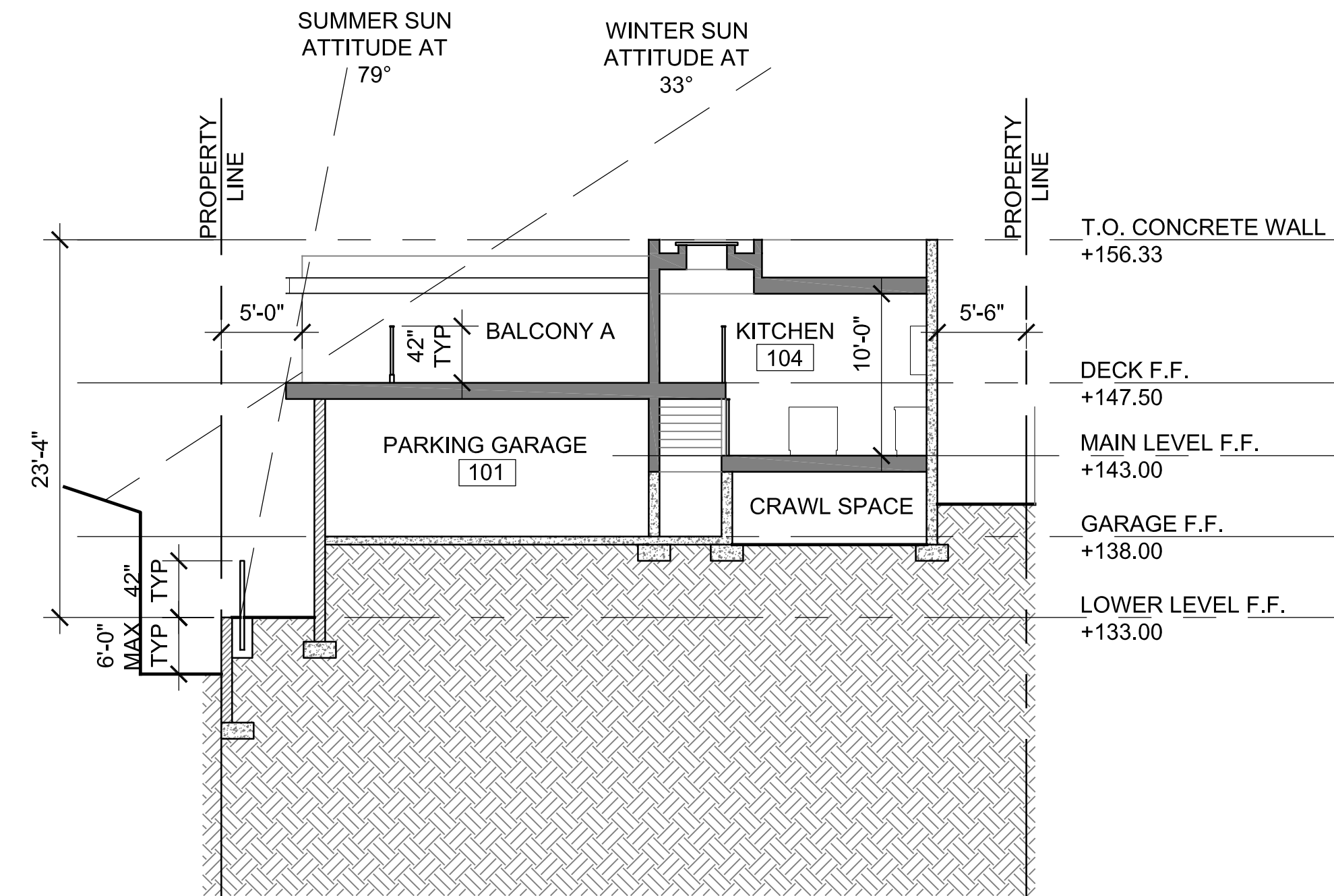
LEGEND

-  8" X 8" X 1'-4" CMU WALL
-  2X WOOD FRAMING
-  CAST IN PLACE CONCRETE WALL AND SLAB



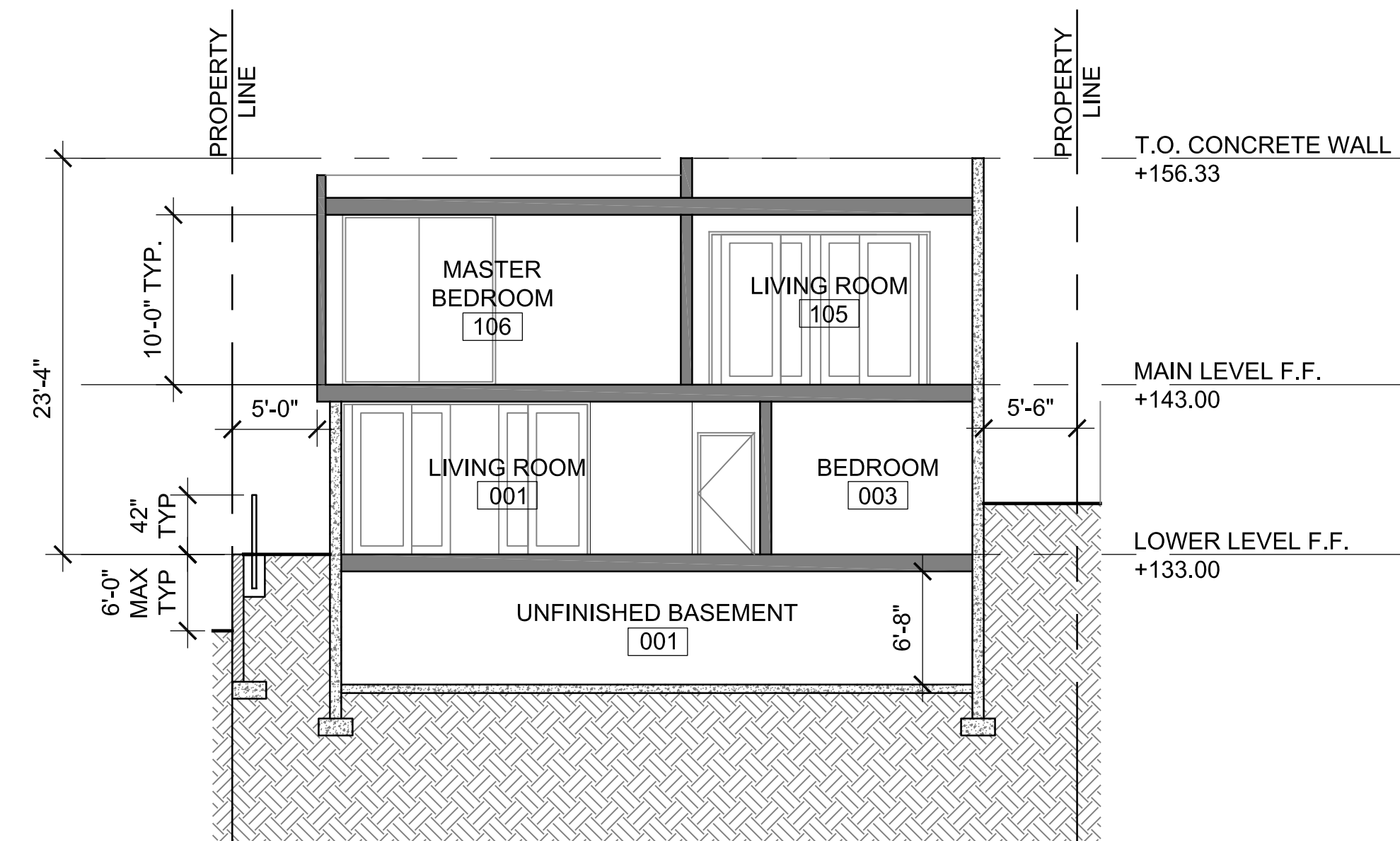
ADU SECTION  
SCALE: 1/8" = 1'-0"

3



MAIN RESIDENCE SECTION  
SCALE: 1/8" = 1'-0"

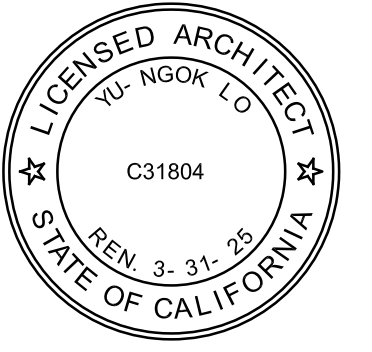
1



MAIN RESIDENCE SECTION  
SCALE: 1/8" = 1'-0"

2

ARCHITECT:



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PROJECT NAME:

**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE

**SECTIONS**

SHEET NO:

**A4.2**

**FINISHES**

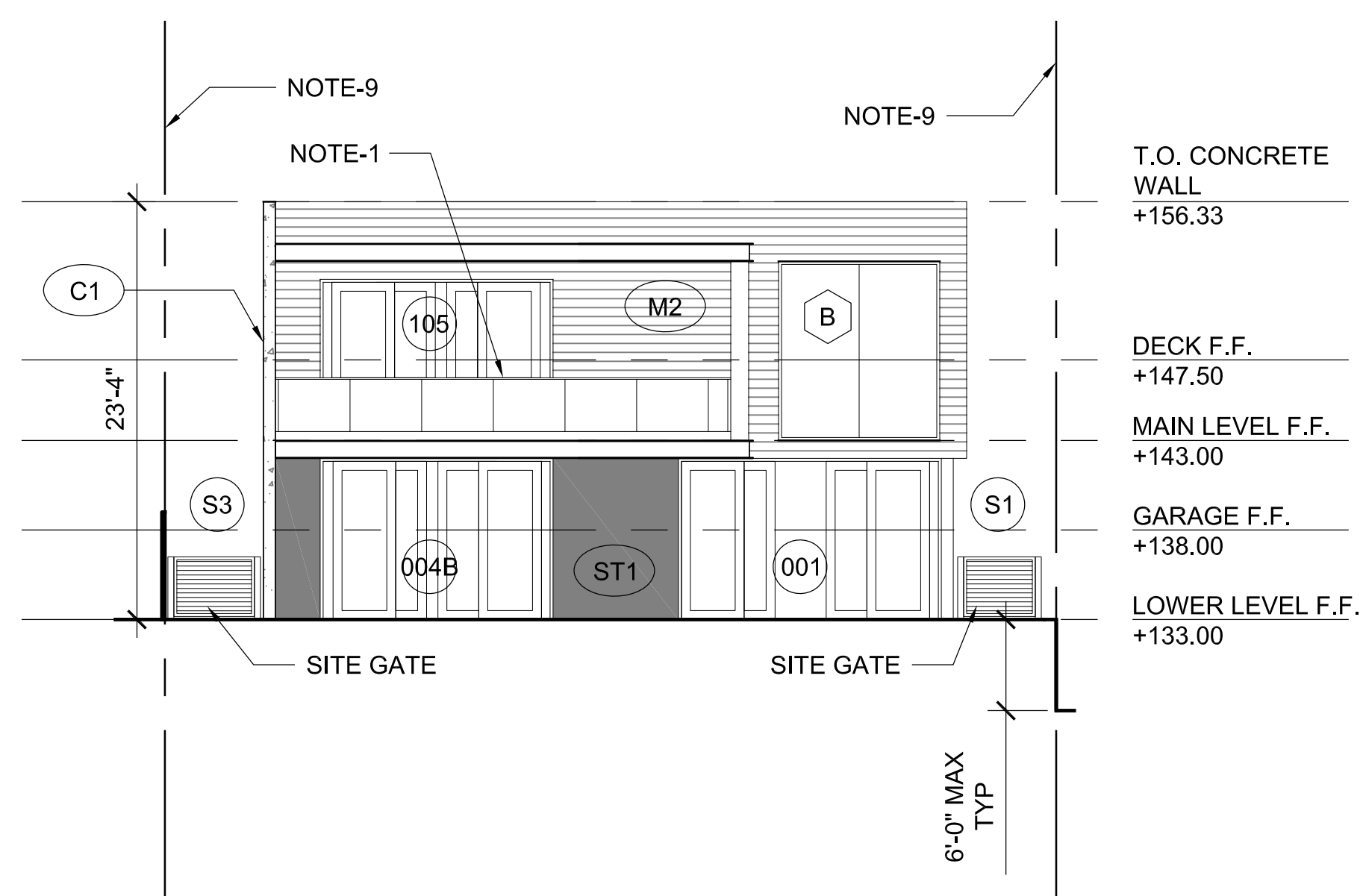
- (M1) CORRUGATED METAL PANEL
- (M2) STANDING SEAM METAL SIDING
- (CMU) CONCRETE MASONRY UNIT
- (ST1) PORTLAND CEMENT PLASTER
- (C1) CAST IN PLACE CONCRETE

**NOTES**

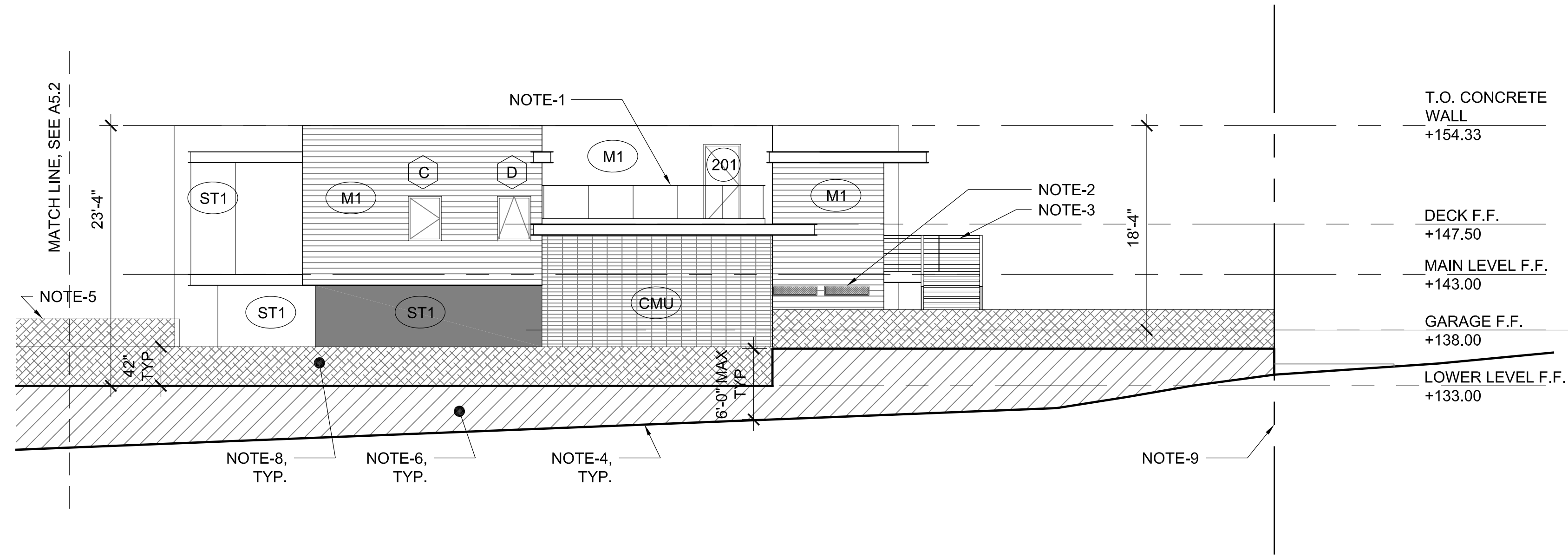
- (X) WINDOW TAG, SEE WINDOW SCHEDULE
- (X) DOOR TAG, SEE DOOR SCHEDULE

**NOTES**

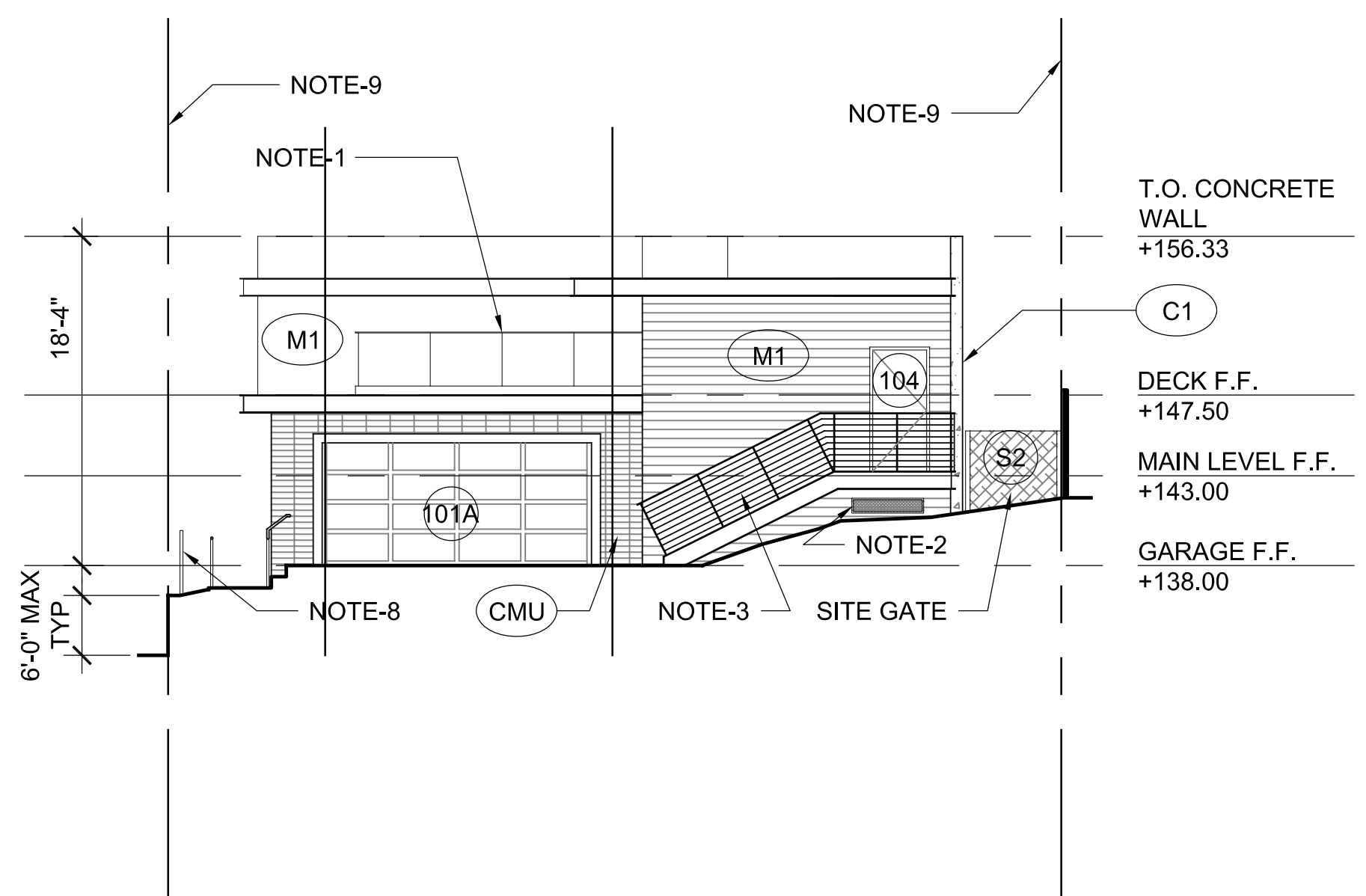
- NOTE-1 GLASS RAILING
- NOTE-2 FOUNDATION VENT WITH INSECT SCREEN
- NOTE-3 STEEL GUARD RAIL
- NOTE-4 EXISTING GRADE AT ADJACENT PROPERTY
- NOTE-5 SWIMMING POOL FENCE AND GATE
- NOTE-6 NEW RETAINING WALL (6'-0" MAX ABOVE GRADE)
- NOTE-7 POOL EQUIPMENT ENCLOSURE
- NOTE-8 42" HIGH FENCE
- NOTE-9 PROPERTY LINE



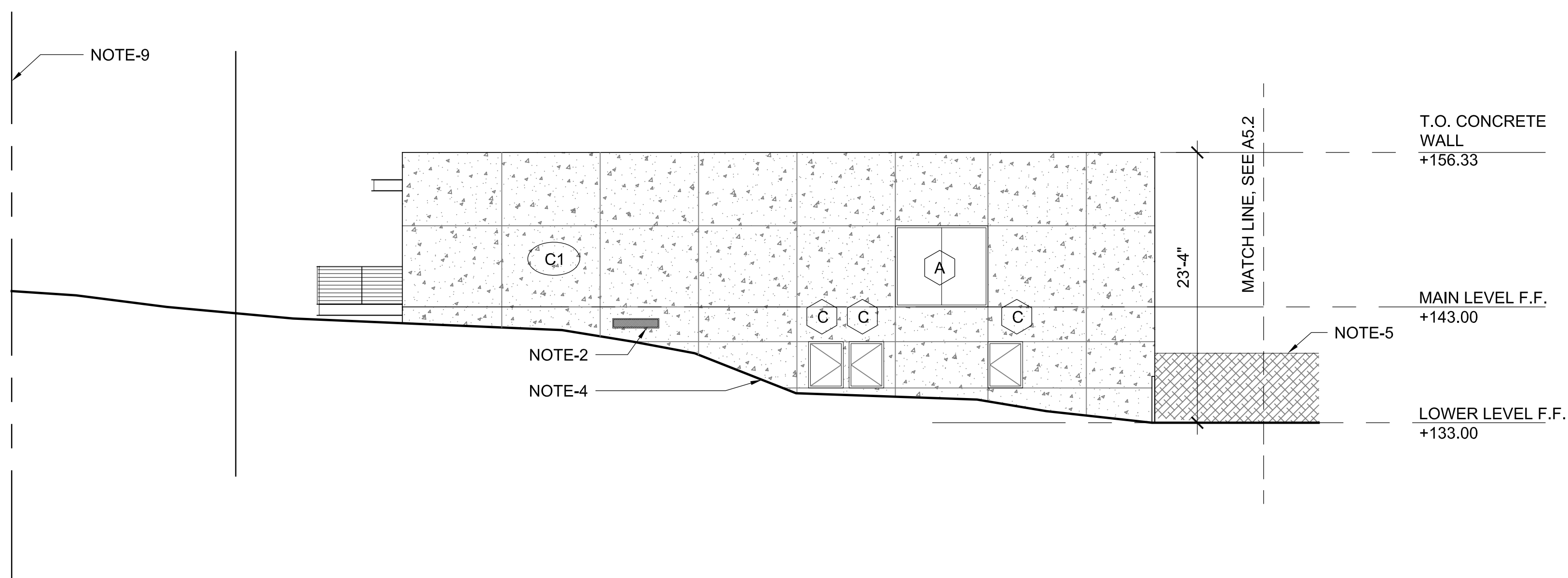
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0" (3)



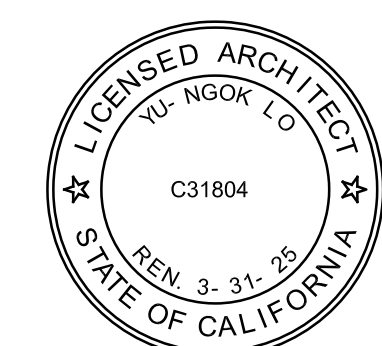
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" (1)



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0" (4)



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" (2)



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2023-04-20

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PROJECT NAME:  
**BRUNSWICK RESIDENCE AND ADU**

SHEET TITLE  
**EXTERIOR ELEVATIONS (MAIN RESIDENCE)**

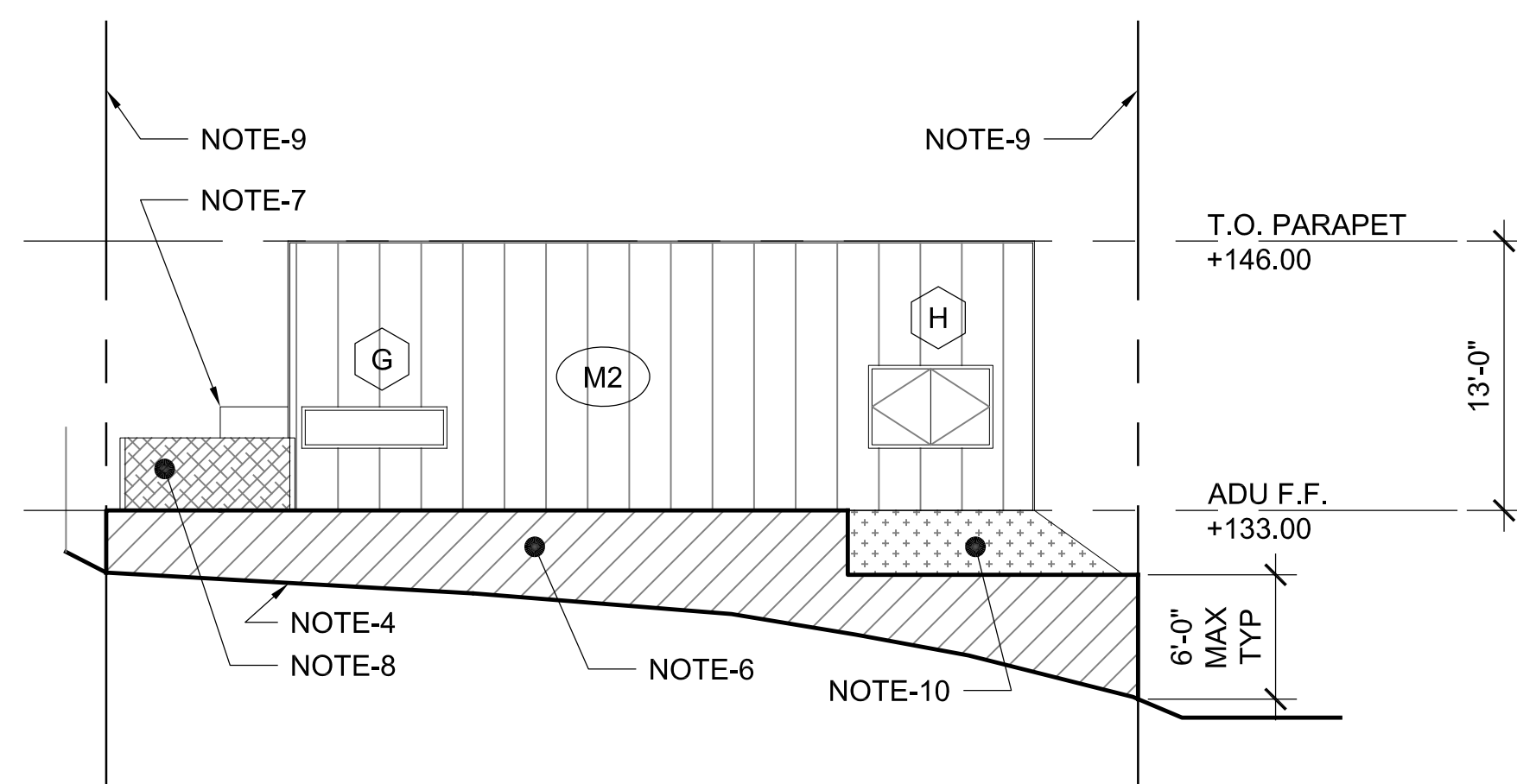
SHEET NO:  
**A5.1**



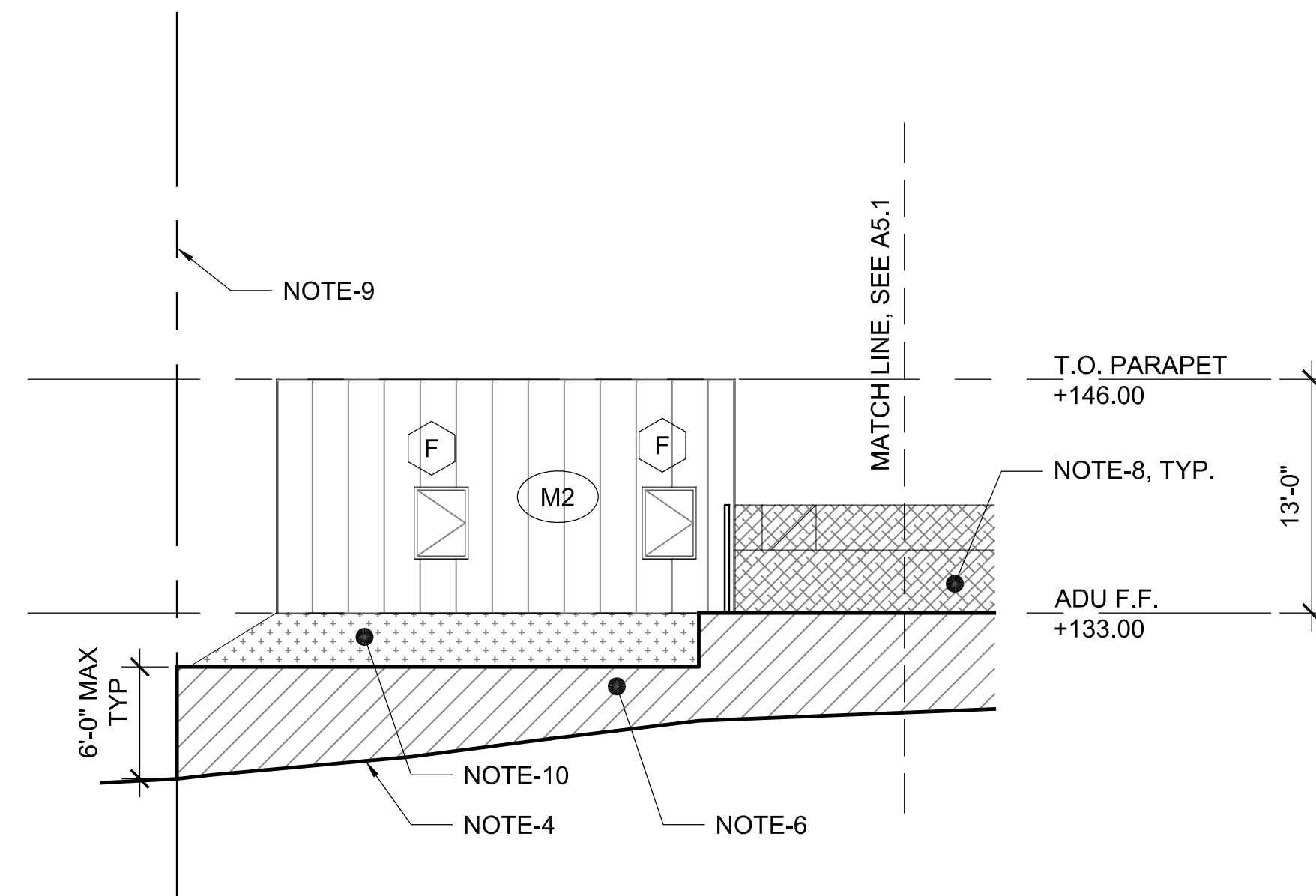
FINISHES	
M1	CORRUGATED METAL PANEL
M2	STANDING SEAM METAL SIDING
M3	SHEET METAL FLASHING
CMU	CONCRETE MASONRY UNIT
ST1	PORTLAND CEMENT PLASTER
C1	CAST IN PLACE CONCRETE

NOTES	
X	WINDOW TAG, SEE WINDOW SCHEDULE
X	DOOR TAG, SEE DOOR SCHEDULE

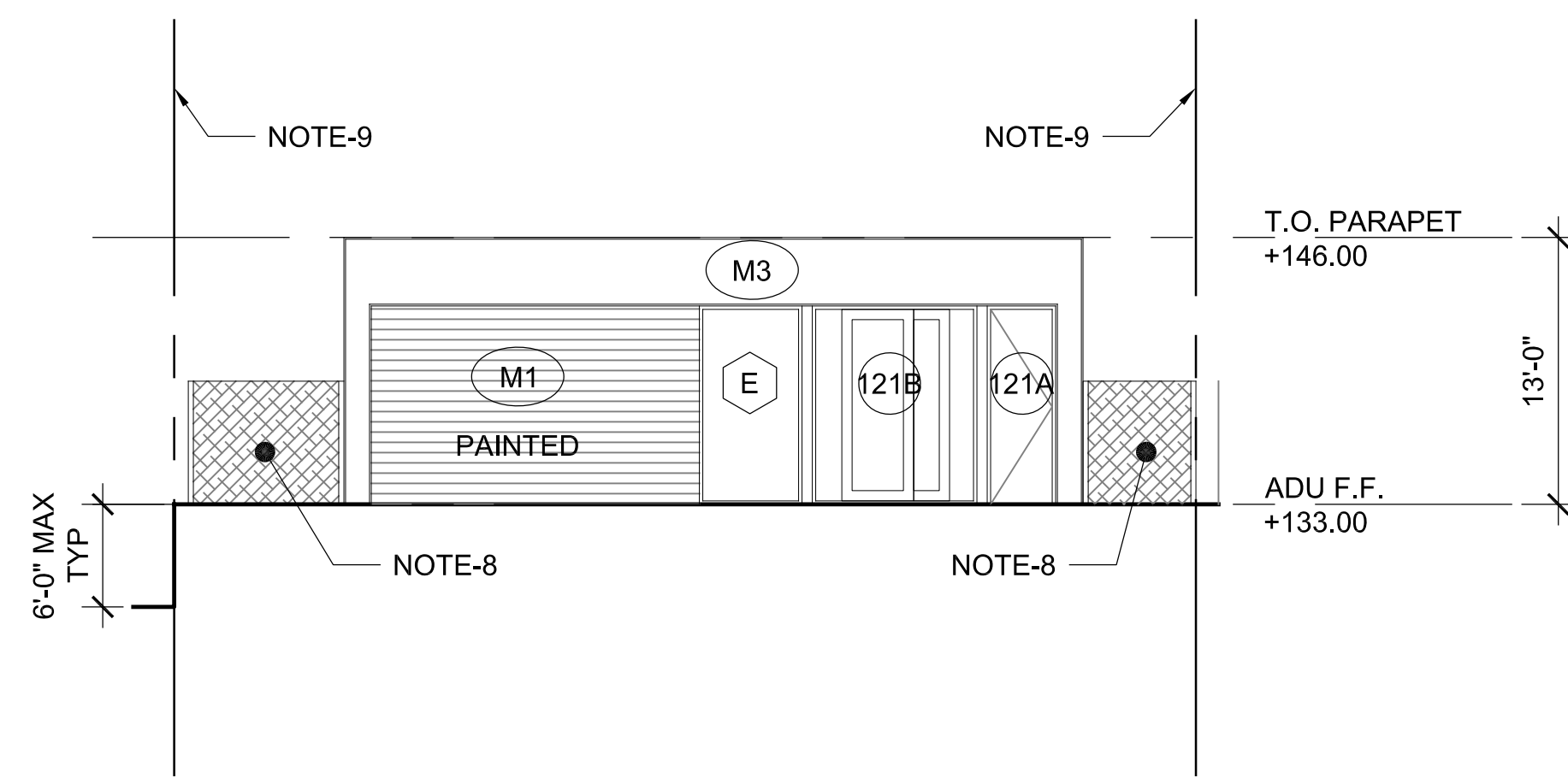
NOTES	
NOTE-1	SITE GATE
NOTE-2	GARAGE DOOR
NOTE-3	STEEL GUARD RAIL
NOTE-4	GLASS RAILING
NOTE-5	EXISTING GRADE (AT ADJACENT PROPERTY)
NOTE-6	RETAINING WALL (6'-0" MAX ABOVE ADJACENT GRADE)
NOTE-7	POOL EQUIPMENT ENCLOSURE
NOTE-8	42" HIGH FENCE
NOTE-9	PROPERTY LINE
NOTE-10	1:2 SLOPE MAX



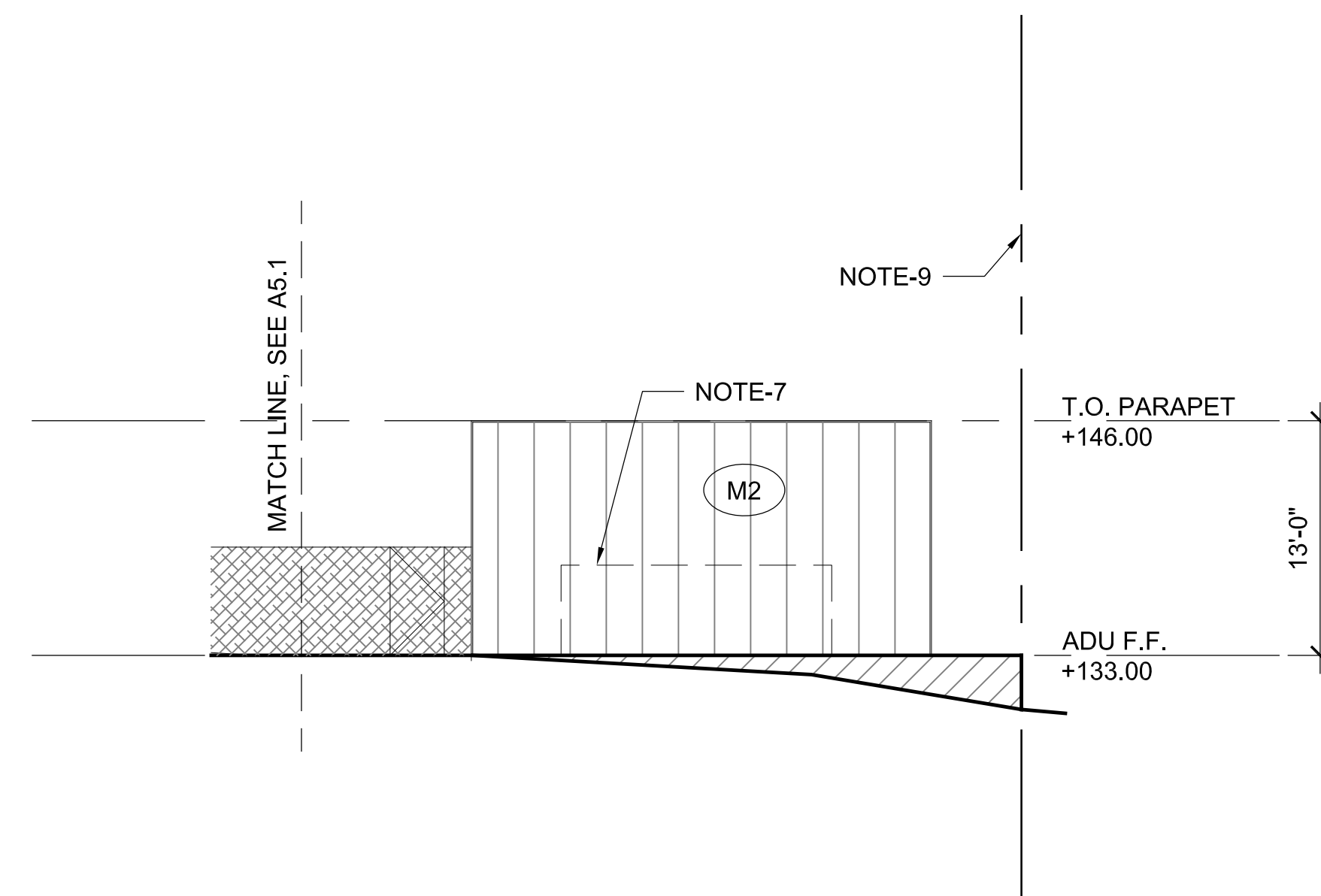
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
3



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
1

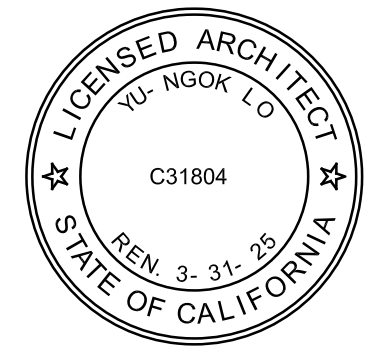


**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
4



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
2

ARCHITECT:  
**Ynl Architects**  
architecture | interior



PROJECT ADDRESS:  
1222 BRUNSWICK  
SOUTH PASADENA, CA 91030

REVISIONS:

**NOT FOR CONSTRUCTION**

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PROJECT NAME:  
**BRUNSWICK  
RESIDENCE  
AND ADU**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS  
(ADU)**

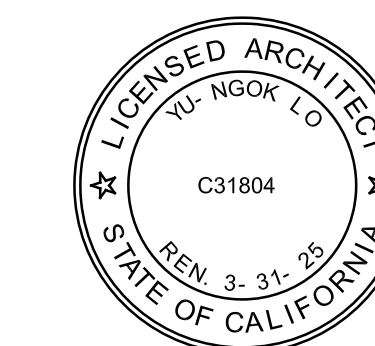
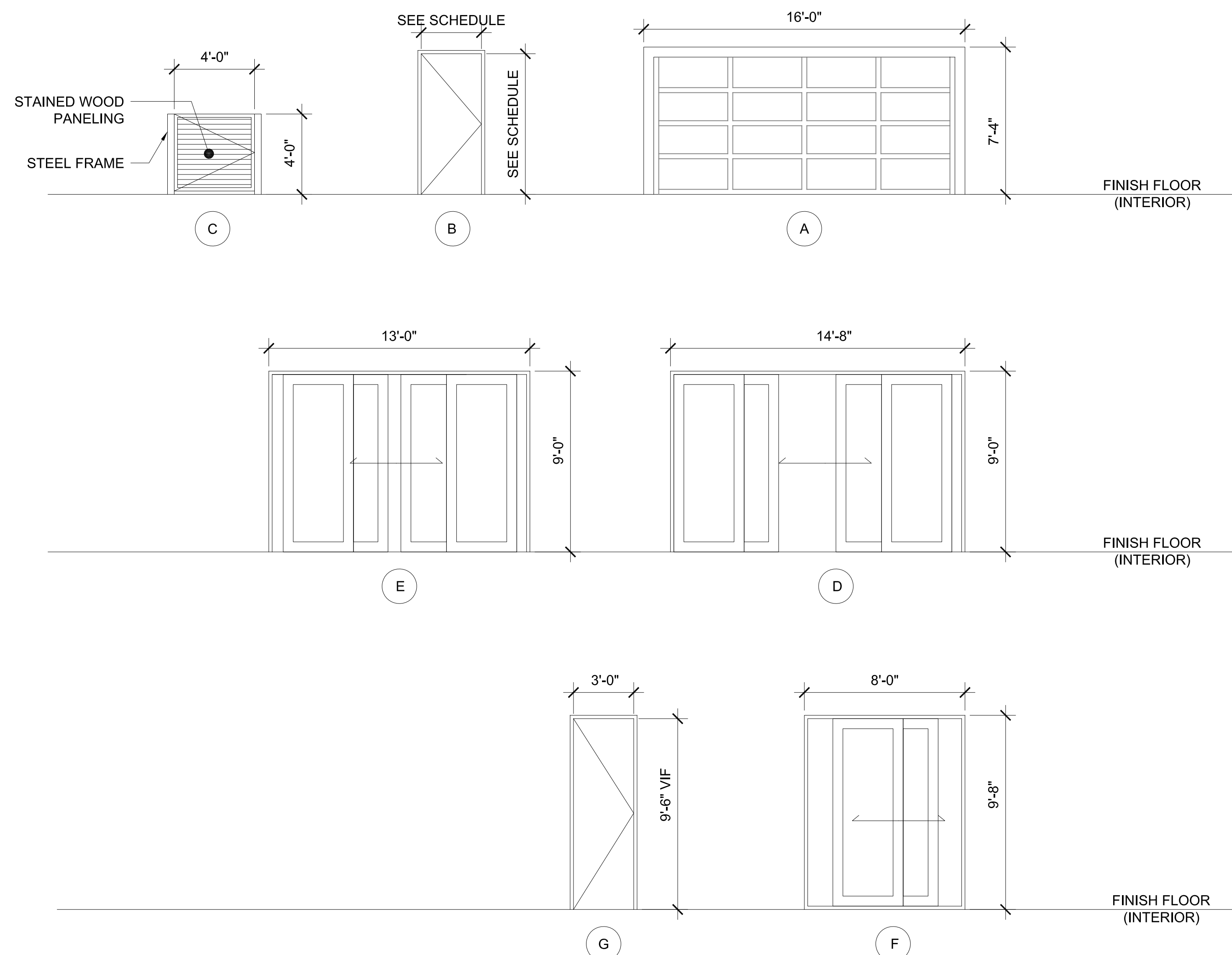
SHEET NO:  
**A5.2**

# DOOR SCHEDULE

DOOR TAG	SIZE	TYPE	DOOR MATERIAL	DOOR AND FRAME FINISH	FRAME MATERIAL	GLAZING	VISIBLE FROM THE STREET	NOTES
S1	3'-0" X 4'-0" VIF	C (SWING)	SEE DETAIL	PAINTED / STAINED	STEEL	N/A	YES	
S2	4'-0" X 4'-0" VIF	C (SWING)	SEE DETAIL	PAINTED / STAINED	STEEL	N/A	NO	
S3	4'-0" X 4'-0" VIF	C (SWING)	SEE DETAIL	PAINTED / STAINED	STEEL	N/A	YES	
001	14'-8" X 9'-0"	D (SLIDING)	ALUMINUM	ANODIZED ALUMINUM	ALUMINUM	1" GLASS UNIT (TEMPERED GLASS)	NO	NOTE-1
002	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
003	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
004A	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
004B	13'-0" X 9'-0"	E (SLIDING)	ALUMINUM	ANODIZED ALUMINUM	ALUMINUM	1" GLASS UNIT (TEMPERED GLASS)	NO	NOTE-1
005	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
006	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
101A	16'-0" X 7'-4"	A (GARAGE)	ALUMINUM	ALUMINUM	ALUMINUM	N/A	YES	
101B	3'-0" X 7'-0"	B (SWING)	STEEL	STEEL	STEEL	N/A	NO	NOTE-2
102	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
103	2'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
104	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	YES	
105	13'-0" X 9'-0"	E (SLIDING)	ALUMINUM	ANODIZED ALUMINUM	ALUMINUM	1" GLASS UNIT (TEMPERED GLASS)	NO	NOTE-1
106A	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
106B	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
121A	3'-0" X 9'-6"	B (SWING)	SOLID CORE WOOD	STAINED / ANODIZED	ALUMINUM	N/A	NO	
121B	8'-0" X 9'-8"	E (SLIDING)	ALUMINUM	ANODIZED ALUMINUM	ALUMINUM	1" GLASS UNIT (TEMPERED GLASS)	NO	NOTE-1
122	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
123	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	
124	3'-0" X 7'-0"	B (SWING)	SOLID CORE WOOD	STAINED	WOOD	N/A	NO	

NOTES:  
 NOTE-1: BASIS OF DESIGN: MAX' SLIDERS BY PRL.  
 NOTE-2: 20 MIN FIRE RATED DOOR AND FRAME ASSEMBLY.

GENERAL NOTES:  
 1. PROVIDE DRIP EDGE AT ALL DOOR HEAD.  
 2. PROVIDE PEMKO ALUMINUM OR WOOD SADDLE TYPE THRESHOLDS AT ALL EXTERIOR DOORS. UNDER CUT DOORS AS NEEDED.  
 3. PROVIDE PEMKO DOOR BOTTOMS AT ALL EXTERIOR DOORS. PROVIDE WATER TIGHT INSTALLATION.COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.



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PROJECT NAME:  
**BRUNSWICK  
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 AND ADU**

SHEET TITLE  
**DOOR  
 SCHEDULE**

SHEET NO:  
**A10.1**



## WINDOW SCHEDULE

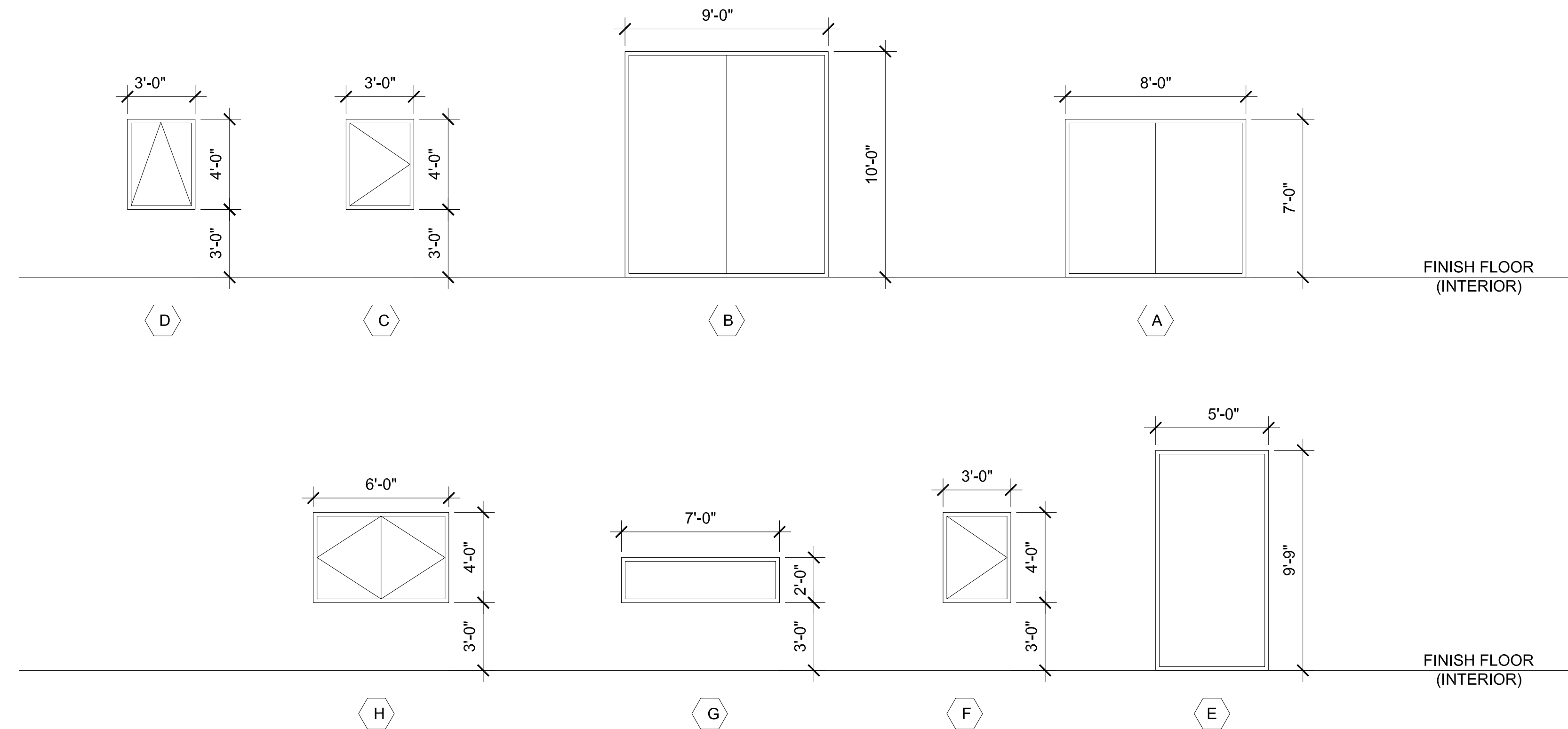
WINDOW TAG	SIZE	TYPE	FRAME MATERIAL	FRAME FINISH	GLAZING	U-FACTOR	SHGC	NOTES
A	8'-0" X 7'-0"	FIX	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-2
B	9'-0" X 10'-0"	FIX	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-2
C	3'-0" X 4'-0"	CASEMENT	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-1
D	3'-0" X 4'-0"	AWNING	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-1
E	5'-0" X 9'-9"	FIX	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-2
F	3'-0" X 4'-0"	CASEMENT	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-1
G	7'-0" X 2'-0"	FIX	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-1
H	6'-0" X 4'-0"	CASEMENT	ALUMINUM	ANODIZED	1" INSULATED GLASS UNIT	0.36 MAX	0.29 MAX	NOTE-1

### GENERAL NOTES:

1. COMPLY WITH WATER PROOFING MANUFACTURER'S REQUIREMENTS FOR FLASHING REQUIREMENTS AROUND OPENINGS.
2. ALL GLAZING SHALL BE TEMPERED INSULATING GLASS UNIT WITH LOW-E COATING.
3. COMPLY WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
4. PROVIDE INSECT SCREENS FOR ALL OPERABLE WINDOWS.
5. PROVIDE LOW-E4 COATING ON ALL WINDOWS.

### NOTES:

- NOTE-1 - E SERIES ALUMINUM WINDOWS BY ANDERSON WINDOWS, FRAME COLOR: ANODIZED.  
NOTE-2 - ARCHITECTURAL STOREFRONT SYSTEM BY PRL



## ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORING	CEILING	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	NOTES
000	UNFINISHED BASEMENT	SEALED CONCRETE	OPEN WOOD JOISTS	EXPOSED CONCRETE	EXPOSED CONCRETE	EXPOSED CONCRETE	EXPOSED CONCRETE	
001	LIVING ROOM	POLISHED CONCRETE	GYPSON BOARD	EXPOSED CONCRETE	GLASS SLIDERS	GYPSON BOARD	EXPOSED CONCRETE	
002	BEDROOM	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	EXPOSED CONCRETE	GYPSON BOARD	
003	BEDROOM	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	EXPOSED CONCRETE	GYPSON BOARD	
004	BEDROOM	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	EXPOSED CONCRETE	GYPSON BOARD	
005	BATH	CERAMIC TILE	GYPSON BOARD	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	
006	BATH	CERAMIC TILE	GYPSON BOARD	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	
101	PARKING GARAGE	SEALED CONCRETE	OPEN WOOD JOISTS	CMU	EXPOSED CONCRETE	EXPOSED CONCRETE / TYPE X GYPSON BOARD	EXPOSED CONCRETE / TYPE X GYPSON BOARD	NOTE-1
102	POWDER	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	
103	STORAGE	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	EXPOSED CONCRETE	GYPSON BOARD	
104	KITCHEN	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	
105	LIVING ROOM	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	EXPOSED CONCRETE	GYPSON BOARD	
106	MASTER BEDROOM	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	
106A	MASTER BATHROOM	CERAMIC TILE	GYPSON BOARD	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	
106B	MASTER CLOSET	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	
111A	UNFINISHED BASEMENT	SEALED CONCRETE	OPEN WOOD JOISTS	EXPOSED CONCRETE	EXPOSED CONCRETE	EXPOSED CONCRETE	EXPOSED CONCRETE	
121A	LIVING / DINING AREA	EPOXY	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	
122A	BEDROOM	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	
123A	OFFICE	LVT	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	GYPSON BOARD	
124A	BATH	CERAMIC TILE	GYPSON BOARD	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	

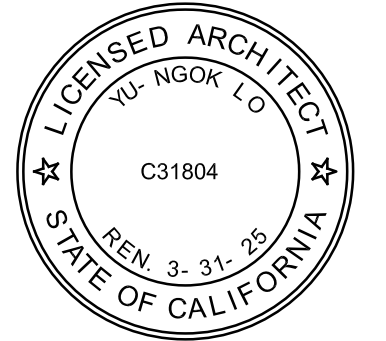
### GENERAL NOTES:

1. ALL GYPSON BOARD SHALL BE WATER AND MOLD RESISTANT

### NOTES:

1. MAINTAIN A MIN 1 HOUR FIRE SEPARATION BETWEEN PARKING GARAGE AND ADJACENT SPACES.

ARCHITECT:



PROJECT ADDRESS:

1222 BRUNSWICK  
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SHEET TITLE

**WINDOW AND  
ROOM FINISH  
SCHEDULES**

SHEET NO:

**A10.2**



M1 - CORRUGATED METAL PANEL - CHARCOAL



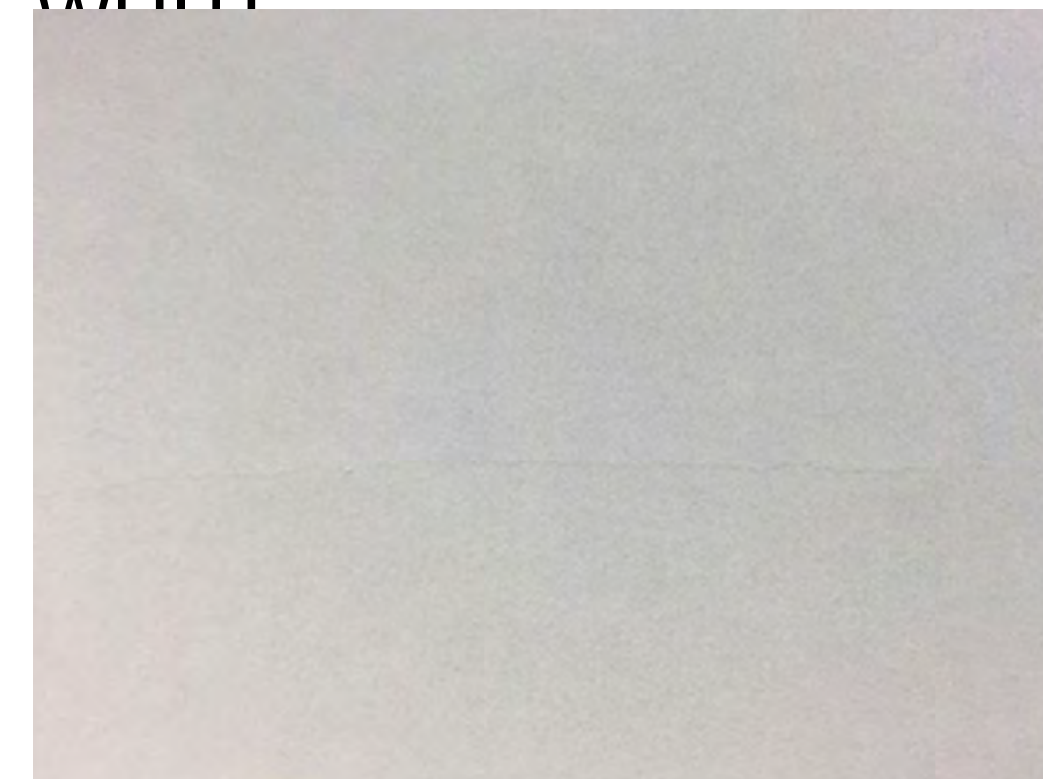
CMU - CONCRETE MASONRY UNIT - SPLIT FACE - GREY STONE OF NATURAL GREY



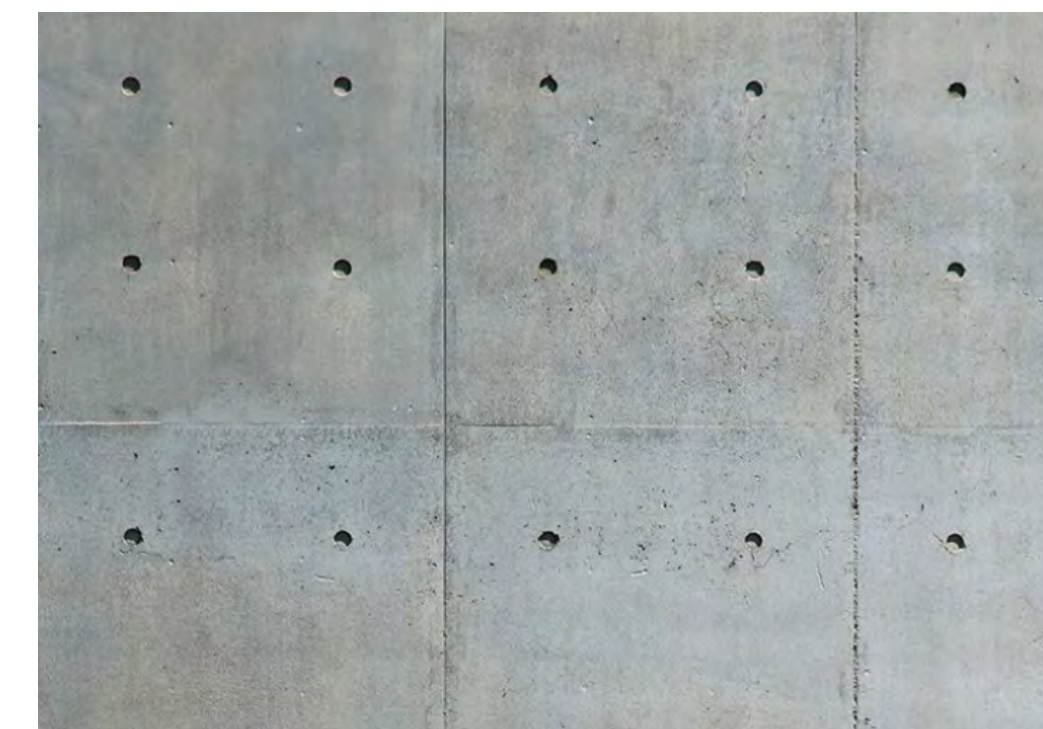
M2 - STANDING SEAM METAL PANEL - CHARCOAL



ST1 - PORTLAND CEMENT PLASTER - SMOOTH FINISH - WHITE



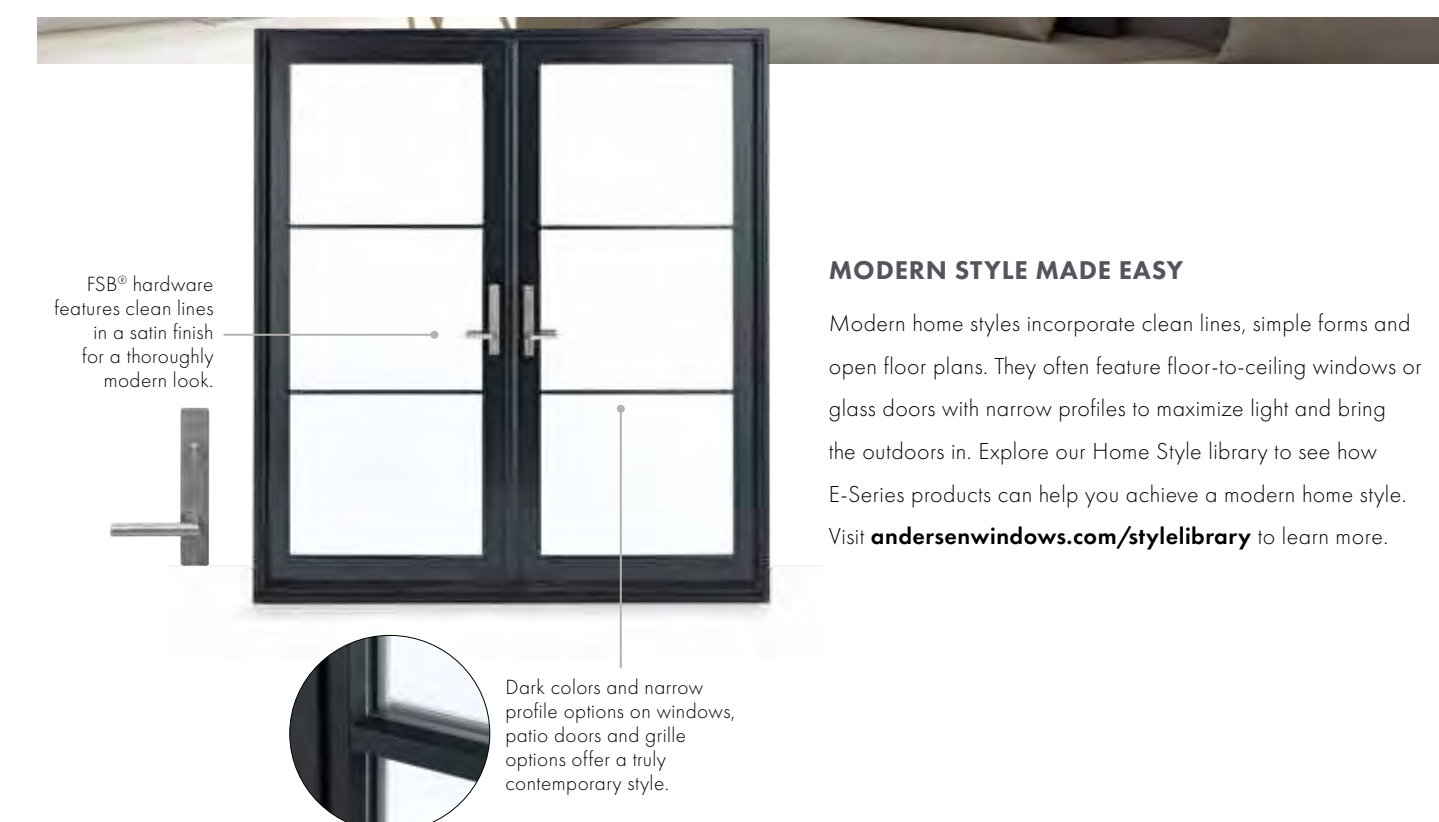
C1 - CAST-IN-PLACE CONCRETE (SMOOTH FINISH) WITH EXPOSED FORM HOLES



ALUMINUM GARAGE DOOR (WITH TRANSLUCENT PANELS)



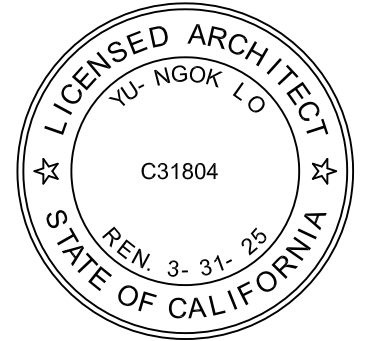
E SERIES WINDOWS BY ANDERSEN (BLACK FRAME)



MAX SLIDERS BY PRL



ARCHITECT:



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PROJECT NAME:

BRUNSWICK  
RESIDENCE  
AND ADU

SHEET TITLE

MATERIAL BOARD

SHEET NO:

MB1.1









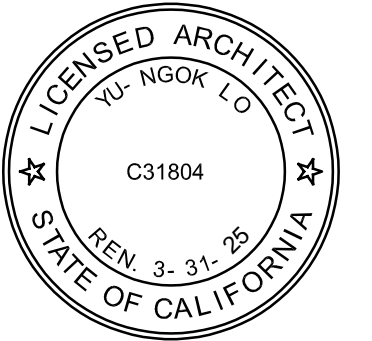


NOTE: RENDERINGS ARE FOR MATERIAL AND COLOR REFERENCE ONLY. REFER TO FLOOR / SITE PLANS FOR MORE INFORMATION.



MAIN RESIDENCE (VIEW FROM BRUNSWICK AVENUE)  
SCALE: NTS

ARCHITECT:



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SHEET TITLE

**RENDERING**

SHEET NO:

**R1.1**



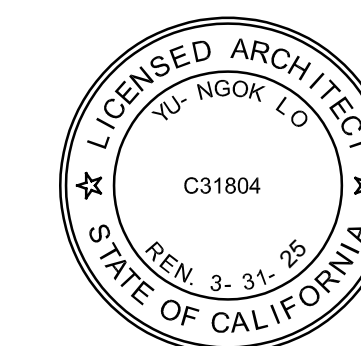
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MAIN RESIDENCE (REAR VIEW)  
SCALE: NTS

ARCHITECT:

**Ynl Architects**  
architecture | interior



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SHEET TITLE

**RENDERING**

SHEET NO:

**R1.2**



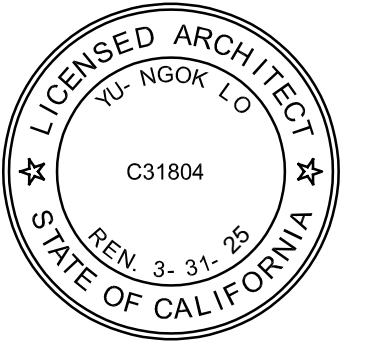
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ACCESSORY DWELLING UNIT  
SCALE: NTS

ARCHITECT:

**Ynl Architects**  
architecture | interior



PROJECT ADDRESS:

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SOUTH PASADENA, CA 91030

REVISIONS:

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SHEET TITLE

**RENDERING**

SHEET NO:

**R1.3**



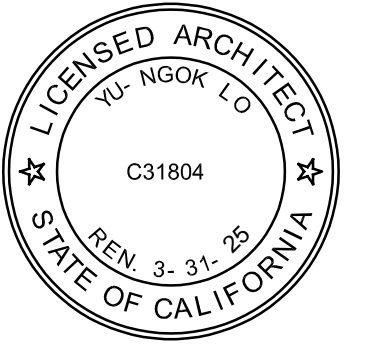
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INTERIOR  
SCALE: NTS

ARCHITECT:

**Ynl Architects**  
architecture | interior



PROJECT ADDRESS:

1222 BRUNSWICK  
SOUTH PASADENA, CA 91030

REVISIONS:

NO.	DESCRIPTION	DATE

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RESIDENCE  
AND ADU**

SHEET TITLE

**RENDERING**

SHEET NO:

**R1.4**



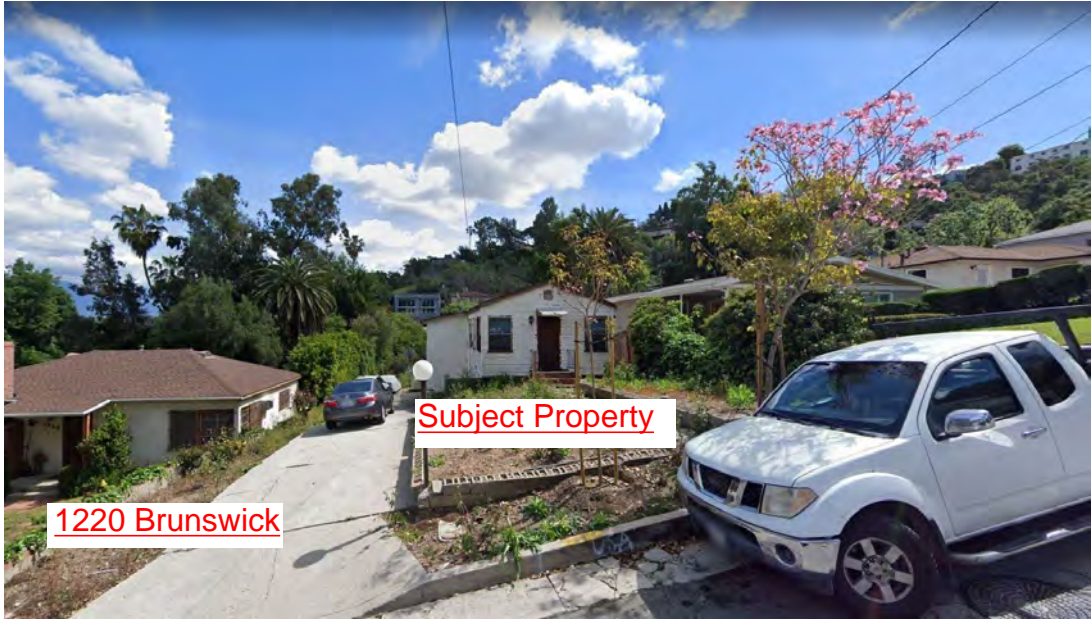
## **ATTACHMENT 3**

Neighborhood Pictures





# Site Photos





# Site Photos





## **ATTACHMENT 4**

Window and Door Brochures

UNLIMITED POSSIBILITIES  
TO CREATE YOUR ORIGINAL







## E-SERIES WINDOWS & PATIO DOORS

The inspiration for your home can come from anywhere and with E-Series windows and patio doors from Andersen, you'll find custom colors, unlimited design options and dynamic sizes and shapes to create the home you've always imagined.

Whether you're looking to make a design statement or to simply recreate a classic, E-Series products give you more freedom to use your imagination and create your personal vision of home. And like all Andersen products, they are supported by over 115 years of commitment to quality and service that can only come from one of the most trusted names in the industry.

For more information, please visit [andersenwindows.com/e-series](https://andersenwindows.com/e-series).





FSB® hardware features clean lines in a satin finish for a thoroughly modern look.



Dark colors and narrow profile options on windows, patio doors and grille options offer a truly contemporary style.

## MODERN STYLE MADE EASY

Modern home styles incorporate clean lines, simple forms and open floor plans. They often feature floor-to-ceiling windows or glass doors with narrow profiles to maximize light and bring the outdoors in. Explore our Home Style library to see how E-Series products can help you achieve a modern home style. Visit [andersenwindows.com/stylelibrary](https://andersenwindows.com/stylelibrary) to learn more.

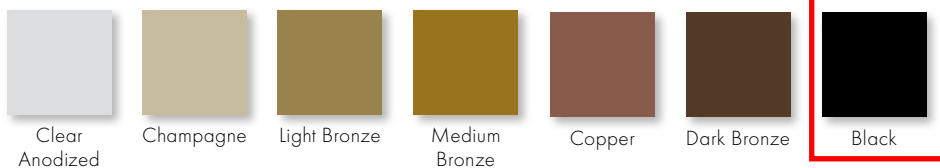
# DO YOU DREAM IN COLOR?

While our large selection of 50 exterior colors covers a lot of ground, inspiration comes in infinite hues. Let us match a paint chip, a photograph or a favorite work of art to bring your dream color into the light of day. Or, choose from a selection of anodized finishes for a rich, lustrous metallic appearance that cannot peel or flake and is not affected by sunlight.\*

## EXTERIOR COLORS

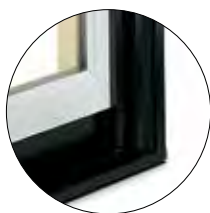


## 7 ANODIZED FINISHES



## CUSTOM EXTERIORS OR 2-, 3- AND 4-TONE EXTERIORS

Choose a custom exterior color to get just the right color for your design. And, with our 2-, 3- and 4-tone color combinations, the sky's the limit. Mix and match up to four of our 50 exterior colors for a combination look that's all your own.



Colony white and black

## EXTERIOR TRIM

Choose exterior trim in either a flat casing, brick mould or sill nosing profile to add curb appeal to your home.



2" brick mould and 1 1/2" sill nose, shown on a casement window

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details. Printing limitations prevent exact color duplication. Please see your Andersen supplier for actual color samples.



# A RANGE OF INTERIORS – INCLUDING YOURS

Our distinctive woods add uncommon flair to any room. Each wood species has its own character, grain and staining capabilities so you can select one that makes your windows stand out or one that matches with your interior décor. Our high-quality, factory-applied stains offer you convenience along with beauty. Choose from a variety of wood finishes or select one of our painted options. Or for a natural look, select our clear coat option.

## INTERIOR WOOD SPECIES



## FACTORY-FINISHED INTERIORS



All interior finish options are shown on pine. Naturally occurring variations in grain, color and texture of wood make each window one of a kind.

## INTERIOR PAINTED OPTIONS



Available on pine.

## CUSTOM INTERIORS

Need an exotic wood species to complete your home or a special finish for just the right look or to match existing woodwork? We offer custom wood species and custom stain, paint or color matching for just the right finish to your design.

\*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

\*\*Dark bronze and black also available on maple.

†Anodized silver is available on maple only.

Printing limitations prevent exact replication of colors and finishes. Please see your Andersen supplier for actual color and finish samples.



## MAX' ALUMINUM SLIDER- Applications



*Multi-Track Max Slider System with Reflective Glass*



*Single In-line & 90 Degree Max Sliders Systems with IG Units*



# MAX' ALUMINUM SLIDER- Configurations



Residential Multi-Track Max Slider System

## Door Panel Configurations

PRL's Max' sliding door system is a strong, versatile framed stacking system with a head/sill track, vertical jambs and bottom or top hung roller options that allow unlimited adaptability with configurations ranging from basic single, pocket to multi slide configurations, Angular Configurations and many other customs for areas where valuable space is critical.



### WALL SYSTEM

Our one-way single door system is our standard configuration. It has a fix panel and a door, perfect for a patio or entry way adaptable to limited space requirements.

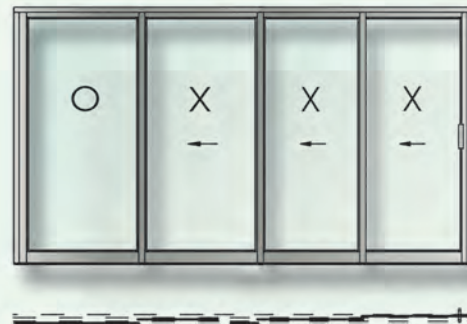


### POCKET SYSTEM

Pocket system is the Max' sliders basic configuration as a one way slider. Hidden application requires designer to consider wall space requirements or the use of an optional custom offset surface mount bracket system for interior applications.

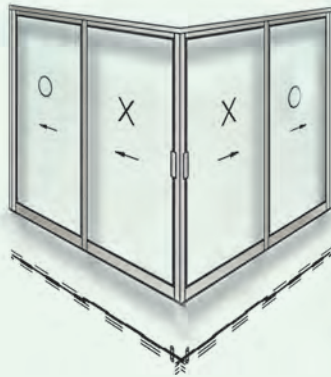
### MULTI-TRACK SYSTEM

In addition to the standard Max' slider features, it also offers a one piece vertical interlock system, that allows sliding multiple panels at one time. All the panels opens up to one side, like a movable wall creating an entry way to connect the indoor and outdoors living areas. Its the perfect solution to expand the view.



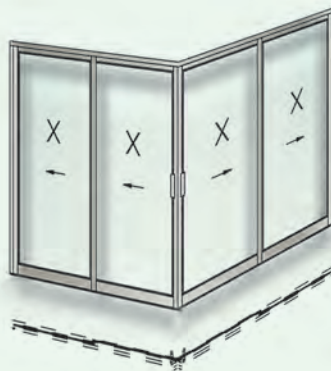


# MAX' ALUMINUM SLIDER- Configurations



## 90 DEGREE

90-Degree angular slider configuration are offered for uninterrupted functionality and full extent views. The slider system can either be two-panel or multi-panel making angular bipartition configuration.



## CUSTOM ANGLE

Custom angular Max slider configuration are offered to open up a room for uninterrupted views. The slider system can either be two-panel or multi-panel making angular bipartition configuration.



## CUSTOM SYSTEM

Custom Slider doors will add unlimited design advantages on metal, glass and hardware options. Other optional choices range from custom glass to exotic metal finishes. Stronger reinforced construction permits increasing door heights and widths. Please be advised there are some limitations, please consult PRL Aluminum for details.



## BIPASS SYSTEM

Bypass configuration maximizes the features of the stacking concept as two way, multiple track or panel system with unlimited applications. This configuration offers both standard and special features.



Oversize Max Panels with Multiple Track System

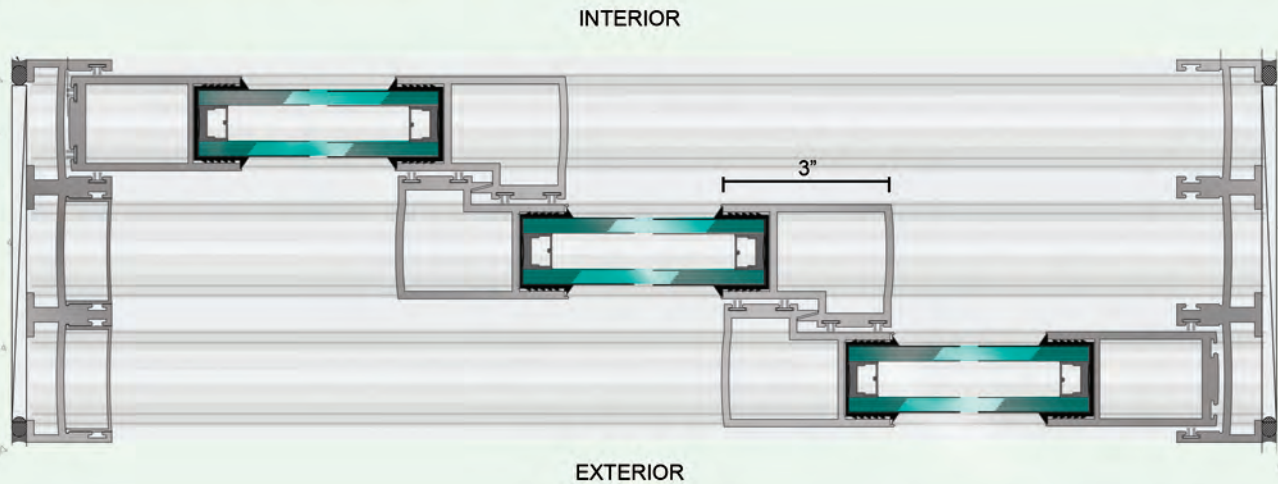


# MAX' ALUMINUM SLIDER- 3" Stile Track



Multi-Track Sliding System with 3" Vertical Stile

## 3" VERTICAL STILE TRACK VIEW:





## MAX' ALUMINUM SLIDER- Aluminum Finishes



Max Slider with Custom Wood Grain Coat

### STANDARD FINISHES:



Clear Anodized



Bronze Anodized



Custom Graphic  
Wood Grain Coat



White Powder Coat  
& Custom Colors

Max' sliders are offered in several finishes to match or harmonize with most architectural or decor styles. Clear, dark bronze anodized and white/black powder coat are standard finishes. Custom finishes like custom color painted or graphic wood grain are offered upon request. Some custom finishes present limitations, please consult PRL Aluminum for details.



## **ATTACHMENT 5**

CHC Meeting December 15, 2022: Staff Report



# Cultural Heritage Commission Agenda Report

ITEM NO. 5

---

**DATE:** December 15, 2022

**FROM:** Angelica Frausto-Lupo, Community Development Director  
Matt Chang, Planning Manager

**PREPARED BY:** Braulio M. Madrid, Associate Planner

**SUBJECT:** **Project No. 2451-NID/DRX – A request for a Notice of Intent to Demolish for the proposed demolition of an existing 1,260 sq. ft. single-family dwelling with an attached garage located at 1222 Brunswick Avenue (APN: 5311-007-022)**

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## Recommendation

Staff recommends that the Cultural Heritage Commission (CHC) make a determination that the property does not meet the national, state, or local criteria for historic designation and the project may proceed through the city's application process.

## Background

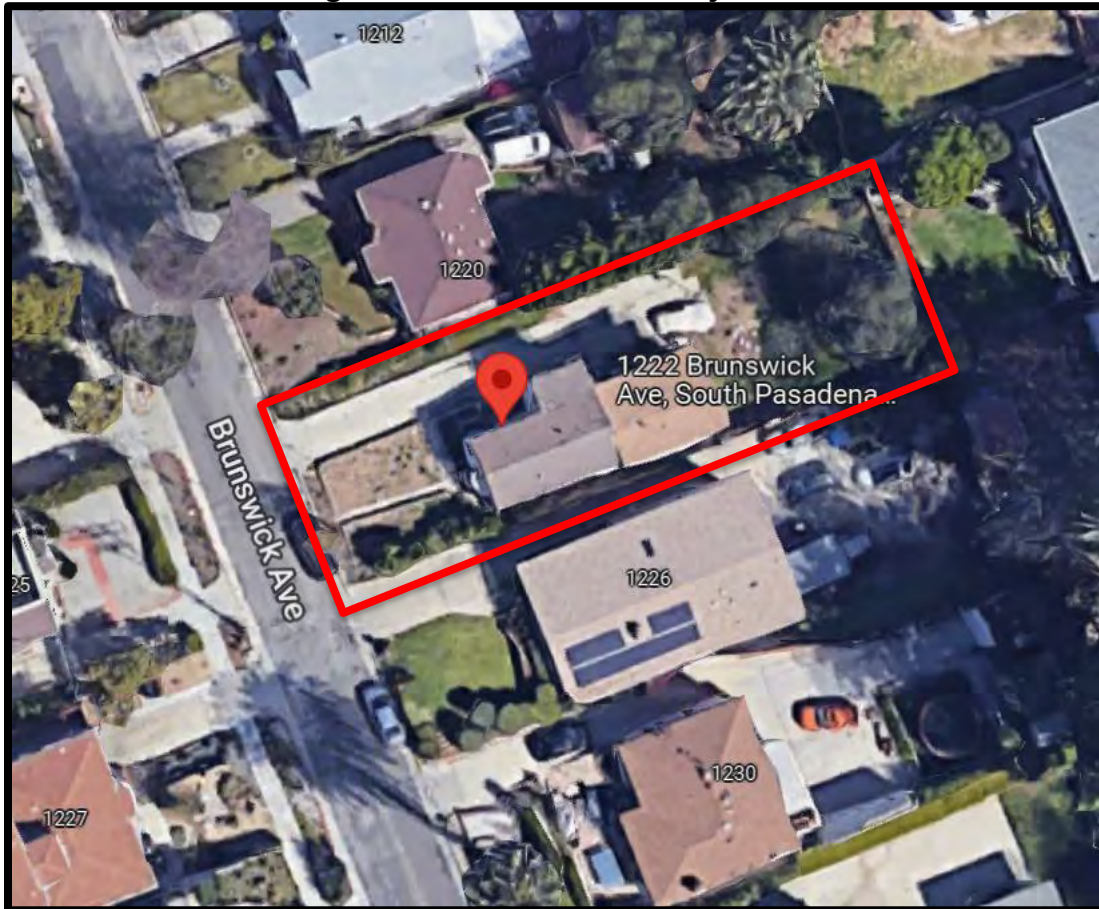
The subject site at 1222 Brunswick Avenue was originally developed in 1946 with a single-family dwelling. The site is not included in the City's Inventory of Historic Resources list nor is a contributor to a historic district. After its original construction, the house had a one-bedroom addition above the garage and other miscellaneous permits such as reroofing, siding, electrical, and plumbing permits.

An associated Design Review Permit has been submitted by the applicant to construct a new single-family dwelling with a new pool, and a new attached two-car garage. The application will be presented to the Design Review Board at a later time; if the CHC approves this request to certify the Historical Resource Evaluation (HRE) report.

## Project Description

The applicant is requesting for the CHC to review and validate the findings within the HRE, which determined that the property is ineligible as a Historic Resource at either the national, state, or local level. The site is located on Brunswick Avenue between Monterey Road and Kolle Avenue. Brunswick Avenue is a residential street with single-family residences that vary in age, size and style. **Figure 1** below is an aerial view of the project site outlined in red, and **Figure 2** is a view of the single-family dwelling to be demolished.

**Figure 1: Aerial View of Project Site**



**Figure 2: Single Family Residence**





## Project Analysis

In accordance to the City's Ordinance, 2.65(e)(3), any structure over 45 years old that proposes a demolition and is not identified as a Cultural Resource requires the preparation of an intensive level HRE. A City selected architectural historian consultant, Dudek Consultants, prepared the intensive-level HRE. The applicant is proposing demolish the existing single-family residence.

The City started to survey properties in 1991 to ensure that cultural resources were recognized. In 1994, the City Council adopted the Inventory of Cultural Resources which included all properties and historic districts eligible for local, state, or federal designation at the time. The survey was updated in 2002. A Citywide Historic Context Statement was adopted in 2014. The project site was not included in any of the previously prepared surveys.

The HRE, included as **(Attachment 1)**, determined that the property is ineligible as a historic resource at either the national, state, or local level. In support of this determination the following research was conducted:

- *Historic Associations*

Research was conducted to determine if the property was associated with any significant pattern of development or event, or with an individual important in the history of the city, region, state, or nation. The HRE determined that the property was not associated with any of the three criteria list. Additionally, the evaluation also considered the architectural merit of the existing structure, specifically whether the building was an excellent example of its architectural style.

The HRE determined that architectural design of the existing residence has no distinct style. The building has a front-facing gable roof clad with composition tiles and open eaves with exposed rafters. Cladding is a combination of aluminum siding in a horizontal clapboard pattern on the primary elevation that continues on the north and south elevations, as well as smooth stucco cladding on the north, south, and rear elevations. Fenestration across all elevations is primarily grouped with aluminum sash and a combination of casement, double-hung, sliding, fixed, and jalousie windows with some windows covered by metal security bars.

The symmetrical primary elevation features a main entry door obscured by a metal security door and flanked by two aluminum sash double-hung windows with metal security bars. The residence has no example of any particular architectural style.

- *Neighborhood Context*

The property is not located within a historic district or a potentially eligible historic district. The neighborhood does not have a distinct architectural pattern of styles. Other homes directly across from the subject site have been developed with a contemporary modern style.

- *Loss of Integrity*

Per the HRE findings, the subject property does not retain integrity of design due to major alterations. Major alterations include an addition to the kitchen; the addition of a bedroom and bathroom above the garage; reroofing; the replacement of some siding; window replacements; an added security door; added window security bars; and the addition of a balcony and exterior

staircase. Because the property has been heavily altered since its construction in 1946, it no longer represents the intentions of the original work. Therefore, the property does not retain integrity of design. Overall, the HRE report for 1222 Brunswick Avenue determined that the property was not eligible for designation as a City of South Pasadena landmark and does not meet any local designation criteria.

Based on the report's findings, the proposed project for the demolition of the existing structure should have no impact on Historic Resources. Staff is recommending the Cultural Heritage Commission (CHC) concur with the HRE report's findings and determines that the property does not meet the national, state, or local criteria for historic designation. If the CHC clears the property from having any historic and cultural significance, the project may proceed to the Design Review Board for a Design Review Permit for a proposed new single-family dwelling.

### **Alternatives to Consider**

The Commission has the following additional options available:

1. The Cultural Heritage Commission can Continue the project to address comments discussed regarding the HRE findings; or
2. The Cultural Heritage Commission can determine that the property is potentially eligible at the federal, state, or local level, the property shall be added to the City's Inventory of Cultural Resources and proceed with procedures for a Certificate of Appropriateness for the proposed demolition.

### **Next Steps**

1. If approved, the applicant to proceed with the Design Review Board for a Design Review Permit.
2. If denied, the Cultural Heritage Commission's decision can be appealed by the applicant to the City Council.

### **Environmental Analysis**

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities. Class 1 exemption includes demolition and removal of individual small structures including accessory structures. The Project meets the requirements for a Class 1 exemption.

### **Public Notification of Agenda Item**

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the South Pasadena Review newspaper on December 2, 2022, and individual property mailings to those within 300 feet of the project site mailed on December 1, 2022.

**Attachments**

1. Historic Resources Evaluation Report
2. Proposed Demolition Plan



## **ATTACHMENT 6**

Historic Resource Evaluation (HRE)

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Historic Resource Evaluation Report

**1222 Brunswick Avenue,  
South Pasadena, California**

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**NOVEMBER 2022**

*Prepared for:*

**CITY OF SOUTH PASADENA**

1414 Mission Street

South Pasadena, California 91030

Contact: *Braulio Madrid, Associate Planner*

*Prepared by:*

**DUDEK**

38 N Marengo Avenue Pasadena, California 91101

*Katie Ahmanson, MHC and Allison Lyons, MSHP*





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- A Preparers’ Qualifications
- B DPR Form for 1222 Brunswick Avenue

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# Acronyms and Abbreviations

Acronym/Abbreviation	Definition
Subject Property	1222 Brunswick Avenue
City	The City of South Pasadena
HRE	Historical Resource Evaluation
APN	Assessor Parcel Number
NRHP	National Register of Historic Places
CRHR	California Register of Historical Resources
CEQA	California Environmental Quality Act
NPS	National Parks System



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# Executive Summary

Dudek was retained by the City of South Pasadena (City) to evaluate the property located at 1222 Brunswick Avenue (APN: 531-100-70-22) (subject property) for historical significance under NRHP, CRHR, and City of South Pasadena designation criteria and integrity requirements. The subject property is currently developed with one residence over 45 years of age.

Plans for a proposed project at the subject property entail the demolition of an existing single-family home that has been identified as more than 45 years old. The subject property has not been previously listed on the City's Inventory of Cultural Resources. Therefore, under compliance with South Pasadena Municipal Code Section 2.65(c)(3), this Historical Resource Evaluation (HRE) report is required to evaluate the building's eligibility for listing in the National Register of Historic Places (NRHP), California Register of Historical Resources (CRHR), as a South Pasadena Landmark, and as a historical resource under the California Environmental Quality Act (CEQA).

The evaluation involved researching and developing an occupancy timeline; supplemental research on occupants and building development research; survey of the property; a description of the property; and completion of a historical resource evaluation in consideration of NRHP, CRHR, and City of South Pasadena designation criteria and integrity requirements. This report was prepared in conformance with California Environmental Quality Act (CEQA) Guidelines Section 15064.5 for historical resources and all applicable local guidelines and regulations.

After careful research and evaluation, Dudek concluded that the subject property does not appear to be eligible for listing on the NRHP, CRHR, or as a South Pasadena Landmark. The recommended California Historical Resource Status Code for the buildings is 6Z: ineligible for designation at the national, state, and local levels through survey evaluation. The finding under CEQA is No Impact. As the proposed Project would have no impact on historical resources, no further study or mitigation is required.



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# 1 Introduction

Dudek was retained by the City of South Pasadena to complete a Historical Resource Evaluation (HRE) Report for a single-family residential property located at 1222 Brunswick Avenue (APN: 531-100-70-22) (subject property) in South Pasadena, California. The property was built in 1946 and does not appear to have been previously evaluated for historical significance.<sup>1</sup> This study includes a survey of the property; building development and archival research; development of an appropriate historic context for the property; and recordation and evaluation of the property for historical significance and integrity in consideration of the City's eligibility requirements.

## 1.1 Project Location

The subject property is located at 1222 Brunswick Avenue in the northmost section of the City of South Pasadena, which is located in the northern portion of Los Angeles County (Figure 1). Regionally, the City is bordered by the City of Los Angeles to the west, and the cities of Pasadena to the north, San Marino to the east, and Alhambra to the south. Locally, the residence is situated on the east side of Brunswick Avenue, between Monterey Road and Kolle Avenue. Single-family and multi-family residential buildings surround the building (Figure 2).

## 1.2 Methodology

To identify potential historical resources and assess potential project impacts, Dudek performed the following tasks:

1. Conducted a field survey of the subject property to assess the general condition and physical integrity of the building thereon. Digital photographs of the building exteriors were taken.
2. Reviewed the City of South Pasadena Historic Resources Survey and Inventory of Addresses Survey Update prepared by Historic Resources Group (HRG) in 2017 to determine if the subject property had been identified as individual historical resource or contributor to an eligible historic district. The subject property was not identified in the 2017 survey either individually or as part of a potential historic district.
3. Determined that the subject property should be evaluated as an individual potential historical resource and does not appear to be part of a historic district.
4. Conducted building development research for the subject property. Sources consulted are described in Section 3.2 Building Development Research.
5. Consulted the City of South Pasadena Citywide Historic Context Statement prepared by HRG Affiliates to identify the appropriate context and theme under which to evaluate the subject property.
6. Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation designations, and assessment processes and programs to evaluate the significance and integrity of the subject property as a potential historical resource.

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<sup>1</sup> 1222 Brunswick Avenue," Building, City of South Pasadena, February 13, 1946.

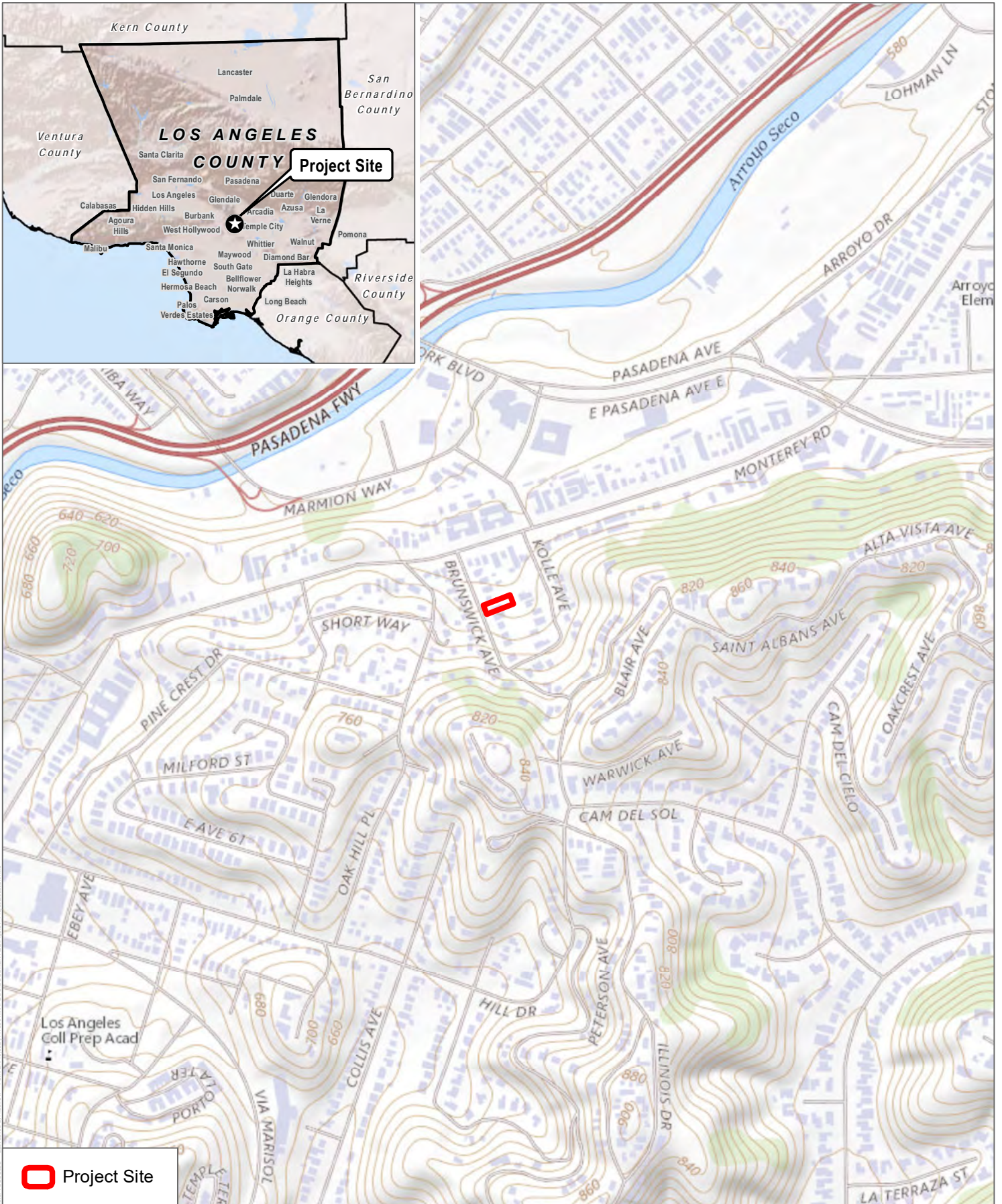


## 1.3 Project Personnel

Dudek Architectural Historian Katie Ahmanson, MHC, conducted the field survey and prepared this report and associated property significance evaluation. She conducted the field survey with assistance from Dudek Architectural Historian Claire Cancilla, MSHP. This report was reviewed for quality assurance/quality control by Dudek Senior Architectural Historian Allison Lyons, MSHP. All authors and reviewers meet the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61) for history or architectural history. Resumes for all key personnel are provided in Appendix A.

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SOURCE: USGS Topo 2020

**FIGURE 1**

**Project Location**

1222 Brunswick Ave South Pasadena

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2016-11-07 10:02 AM - Bing Maps Aerial, Open Streets Map 2019

SOURCE: Bing Maps Aerial, Open Streets Map 2019



**FIGURE 2**  
Project Site

1222 Brunswick Ave South Pasadena

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## 2 Regulatory Setting

### 2.1 Federal

#### National Register of Historic Places

The subject property was evaluated in consideration of NRHP designation criteria. The NRHP is the United States' official list of districts, sites, buildings, structures, and objects worthy of preservation. Overseen by the National Park Service, under the U.S. Department of the Interior, the NRHP was authorized under the National Historic Preservation Act, as amended. Its listings encompass all National Historic Landmarks, as well as historic areas administered by the National Park Service.

NRHP guidelines for the evaluation of historic significance were developed to be flexible and to recognize the accomplishments of all who have made significant contributions to the nation's history and heritage. Its criteria are designed to guide state and local governments, federal agencies, and others in evaluating potential entries in the NRHP. The quality of significance in American history, architecture, archaeology, engineering, and culture is present in districts, sites, buildings, structures, and objects with integrity of location, design, setting, materials, workmanship, feeling, and association. For a property to be listed in or determined eligible for listing, it must be demonstrated to possess integrity and to meet at least one of the following criteria:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important in prehistory or history.

In addition to these basic evaluation criteria, the NRHP outlines further criteria considerations for significance. Moved properties; birthplaces; cemeteries; reconstructed buildings, structures, or objects; commemorative properties; and properties that have achieved significance within the past 50 years are generally not eligible for the NRHP. The criteria considerations are exceptions to these rules, and they allow for the following types of resources to be NRHP eligible:

- A. a religious property deriving primary significance from architectural or artistic distinction or historical importance;
- B. a building or structure removed from its original location, but which is significant primarily for architectural value, or which is the surviving structure most importantly associated with a historic person or event;
- C. a birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building directly associated with his or her productive life;
- D. a cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, from association with historic events;
- E. a reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived;

- F. a property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or
- G. a property achieving significance within the past 50 years if it is of exceptional importance.<sup>2</sup>

Once the significance of a resource has been determined, the resource then must be assessed for integrity. Integrity is 1) the ability of a property to illustrate the history and 2) possession of the physical features necessary to convey the aspect of history with which it is associated.<sup>3</sup> The integrity evaluation is grounded in understanding a property's physical features and how they relate to the property's significance. Historic properties either retain integrity (that is, convey their significance), or they do not. To maintain integrity, a property will always possess several, and usually most, of the seven aspects of integrity:

1. Location is where the historic property was constructed or where the historic event occurred.
2. Design is the combination of elements that create the form, plan, space, structure, and style.
3. Setting is the physical environment of a historic property.
4. Materials are the physical elements combined or deposited during a particular period and in a specific pattern or configuration to form a historic property.
5. Workmanship is the physical evidence of crafts of a particular culture or people during any period in history or prehistory.
6. Feeling is the property's expression of a particular period's aesthetic or historic sense.
7. Association is the direct link between an important historic event or person and a historic property.<sup>4</sup>

## 2.2 State

### California Register of Historical Resources

In California, the term "historical resource" includes but is not limited to "any object, building, structure, site, area, place, record, or manuscript which is historically or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California".<sup>5</sup> In 1992, the California legislature established the CRHR "to be used by state and local agencies, private groups, and citizens to identify the state's historical resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change".<sup>6</sup> The criteria for listing resources on the CRHR were expressly developed to be in accordance with previously established criteria developed for listing in the NRHP, enumerated below. According to California Public Resources Code Section 5024.1(c) (1-4), a resource is considered historically significant if it (i) retains "substantial integrity," and (ii) meets at least one of the following criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
2. Is associated with the lives of persons important in our past.

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<sup>2</sup> U.S. Department of the Interior, "National Register Bulletin". 1995. Page 25.

<sup>3</sup> "National Register Bulletin". U.S. Department of the Interior. Page 44.

<sup>4</sup> "National Register Bulletin". U.S. Department of the Interior. Page 44-45.

<sup>5</sup> California Government. "California Public Resources Code." Code Section 5020.1(j).

<sup>6</sup> "California Public Resources Code." California Government. Section 5024.1(a).



3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
4. Has yielded, or may be likely to yield, information important in prehistory or history.<sup>7</sup>

In order to understand the historic importance of a resource, sufficient time must have passed to obtain a scholarly perspective on the events or individuals associated with the resource. A resource less than 50 years old may be considered for listing in the CRHR if it can be demonstrated that sufficient time has passed to understand its historical importance (see 14 CCR 4852(d)(2)).

The CRHR protects cultural resources by requiring evaluations of the significance of prehistoric and historic resources. The criteria for the CRHR are nearly identical to those for the NRHP, and properties listed or formally designated as eligible for listing in the NRHP are automatically listed in the CRHR, as are the state landmarks and points of interest. The CRHR also includes properties designated under local ordinances or identified through local historical resource surveys.

### California Environmental Quality Act

As described further below, the following CEQA statutes and CEQA Guidelines are of relevance to the analysis of archaeological, historical, and tribal cultural resources:

California Public Resources Code Section 21083.2(g) defines “unique archaeological resource.”

California Public Resources Code Section 21084.1 and CEQA Guidelines Section 15064.5(a) define “historical resources.” In addition, CEQA Guidelines Section 15064.5(b) defines the phrase “substantial adverse change in the significance of an historical resource.” It also defines the circumstances when a project would materially impair the significance of an historical resource.

California Public Resources Code Section 21074(a) defines “tribal cultural resources.”

California Public Resources Code Section 5097.98 and CEQA Guidelines Section 15064.5(e) set forth standards and steps to be employed following the accidental discovery of human remains in any location other than a dedicated ceremony.

California Public Resources Code Sections 21083.2(b)-(c) and CEQA Guidelines Section 15126.4 provide information regarding the mitigation framework for archaeological and historic resources, including examples of preservation-in-place mitigation measures; preservation-in-place is the preferred manner of mitigating impacts to significant archaeological sites because it maintains the relationship between artifacts and the archaeological context and may also help avoid conflict with religious or cultural values of groups associated with the archaeological site(s).

Under CEQA, a project may have a significant effect on the environment if it may cause “a substantial adverse change in the significance of an historical resource.”<sup>8</sup> An “historical resource” is any site listed or eligible for listing in the CRHR. The CRHR listing criteria are intended to examine whether the resource in question: (a) is associated with events that have made a significant contribution to the broad patterns of California’s history and

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<sup>7</sup> “California Public Resources Code.” California Government. Section 5024.1(c) (1-4).

<sup>8</sup> “California Public Resources Code.” California Government. Section 21084.1; CEQA Guidelines Section 15064.5(b).

cultural heritage; (b) is associated with the lives of persons important in our past; (c) embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or (d) has yielded, or may be likely to yield, information important in pre-history or history.

The term “historical resource” also includes any site described in a local register of historic resources or identified as significant in a historical resources survey (meeting the requirements of California Public Resources Code Section 5024.1(q)).

CEQA also applies to “unique archaeological resources.” California Public Resources Code Section 21083.2(g) defines a “unique archaeological resource” as any archaeological artifact, object, or site about which it can be clearly demonstrated that, without merely adding to the current body of knowledge, there is a high probability that it meets any of the following criteria:

1. Contains information needed to answer important scientific research questions and that there is a demonstrable public interest in that information.
2. Has a special and particular quality such as being the oldest of its type or the best available example of its type.
3. Is directly associated with a scientifically recognized important prehistoric or historic event or person.<sup>9</sup>

All historical resources and unique archaeological resources – as defined by statute – are presumed to be historically or culturally significant for purposes of CEQA. The lead agency is not precluded from determining that a resource is a historical resource even if it does not fall within this presumption. A site or resource that does not meet the definition of “historical resource” or “unique archaeological resource” is not considered significant under CEQA and need not be analyzed further.<sup>10</sup>

Under CEQA a significant cultural impact results from a “substantial adverse change in the significance of an historical resource [including a unique archaeological resource]” due to the “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.”<sup>11</sup> In turn, the significance of a historical resource is materially impaired when a project:

1. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register; or
2. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
3. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register as determined by a lead agency for purposes of CEQA.<sup>12</sup>

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<sup>9</sup> “California Public Resources Code.” California Government. Section 5020.1(q).

<sup>10</sup> “California Public Resources Code.” California Government. Section 21084.1; CEQA Guidelines Section 15064.5(a)

<sup>11</sup> “California Public Resources Code.” California Government. Section 5020.1(q).

<sup>12</sup> “California Public Resources Code.” California Government. Section 21084.1; CEQA Guidelines Section 15064.5(a)



## 2.3 Local

The City's Cultural Heritage Ordinance from 2017 establishes the eligibility criteria for landmarks and historic districts within the City of South Pasadena. Ordinance Section 2.63B identifies that buildings, structures, natural features, and historic districts are eligible for local designation if they meet any or all of the following criteria:

1. Its character, interest or value as a part of the heritage of the community;
2. Its location as a site of a significant historic event;
3. Its identification with a person, persons or groups who significantly contributed to the culture and development of the city, state or United States;
4. Its exemplification of a particular architectural style of an era of history of the city;
5. Its exemplification of the best remaining architectural type in a neighborhood;
6. Its identification as the work of a person or persons whose work has influenced the heritage of the city, the state or the United States;
7. Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials or craftsmanship;
8. It is part of or related to a square, park or other distinctive area that should be developed or preserved according to a plan based on a historic cultural or architectural motif;
9. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;
10. Its potential of yielding information of archaeological interest;
11. Its significance as a distinguishable neighborhood or area whose components may lack individual distinction <sup>13</sup>

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<sup>13</sup> The City of South Pasadena City Council. "City of South Pasadena's Cultural Heritage Ordinance." 1992.

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## 3 Overview of Subject Property

### 3.1 1222 Brunswick Avenue (APN: 531-100-70-22)

#### Property Description

The subject property at 1222 Brunswick Avenue is located on the east side of Brunswick Avenue, between Monterey Road and Kolle Avenue, at the end of the block on one parcel on a sloping street (APN: 531-100-70-22). The property presently contains one single-family residence constructed in 1946 and an attached garage on the rear of the property (Exhibits 1 and 2). The parcel is slightly angled off the cardinal directions. The primary (west) elevation of the property is oriented toward Brunswick Avenue. The residence's south elevation extends nearly to the lot line with an adjacent residential property that is developed with a one-story single-family residence, and the north elevation faces a concrete driveway stretching from Brunswick Avenue to an attached garage on the basement level of the north elevation. Additionally, a concrete path leads from the sidewalk to the main entrance and concrete porch steps centered on the primary (west) elevation. Landscaping includes open space for plantings fronting both the primary (west) and rear (east) elevation, as well as shrubs and hedges along the southern, eastern, and northern boundaries of the property. Low concrete masonry unit retaining walls line the front yard.

#### Residence (1946)

The residence is irregular in plan and one story in height with a basement level garage and no distinct style. The building has a front-facing gable roof clad with composition tiles and open eaves with exposed rafters. Cladding is a combination of aluminum siding in a horizontal clapboard pattern on the primary (west) elevation that continues on the north and south elevations, as well as smooth stucco cladding on the north, south, and rear (east) elevations. Fenestration across all elevations is primarily grouped with aluminum sash and a combination of casement, double-hung, sliding, fixed, and jalousie windows with some windows covered by metal security bars. The symmetrical primary (west) elevation features a main entry door obscured by a metal security door and flanked by two aluminum sash double-hung windows with metal security bars (Exhibit 1). A concrete pathway from the sidewalk and a perpendicular concrete pathway from the driveway each lead to concrete steps that provide access to the main entrance. Additionally, the driveway leads from Brunswick Avenue to an attached garage on the basement level of the north elevation with a two-car length wood-panel garage door. An exterior wood stairway with a wood railing leads to a second-story wood balcony with metal-bar railings above the garage. Additionally, the second-story balcony includes a rear entry door obscured by a metal security door (Exhibit 2).

#### Identified Alterations

The following exterior alterations were identified through a review of property record research and/or during the survey conducted on October 20, 2022:

- 1946: construct three-room dwelling (Permit #14225)
- 1946: electric wiring and fixtures (Permit #14996)
- 1946: sewer (Permit #14794)
- 1946: driveway (Permit #14225)
- 1947: plumbing (Permit #16201)

- 1952: frame garage and add to kitchen (Permit #27230)
- 1959: addition of bedroom and bath above garage (Permit #41625)
- 1959: electric wiring (Permit #41945)
- 1959: plumbing and furnace (Permit #41710)
- 1962: reroof (Permit #50308)
- 1963: sewer lateral replacement (Permit #51431)
- 1964: drive approach (Permit #56490)
- 2006: replacing some siding (Permit #14733)
- Date unknown: all windows replaced (observed)
- Date unknown: balcony and exterior staircase addition (observed)
- Date unknown: added window security bars (observed)
- Date unknown: added security door (observed)

**Exhibit 1.** Primary (west) and north elevations, view looking east.



Source: Dudek, IMG\_1419



**Exhibit 2.** North and rear (east) elevations, view looking southwest.



Source: Dudek IMG\_011

## 3.2 Building Development Research

The following sections provide detailed background research conducted on the subject property in an effort to establish a thorough and accurate historic context for the significance evaluation, and to confirm the construction history. The City provided Dudek with a Sanborn Fire Insurance Map of the subject property from the 1930s, and all available building and electrical permits for the subject property.

### City of South Pasadena Building Permits

On October 21, 2022, the City provided copies of all available building permits for the subject property, 1222 Brunswick Avenue, for new construction, alteration, and additions. These documents were essential in establishing a history of alterations to the property (see Section 5.1 Significance Evaluation, Identified Alterations). Thirteen building permits associated with the subject property were on file with the City. The permits are as follows:

- 1946: construct three-room dwelling (Permit #14225)
- 1946: electric wiring and fixtures (Permit #14996)
- 1946: sewer (Permit #14794)
- 1946: driveway (Permit #14225)
- 1947: plumbing (Permit #16201)
- 1952: frame garage and add to kitchen (Permit #27230)
- 1959: addition of bedroom and bath above garage (Permit #41625)

- 1959: electric wiring (Permit #41945)
- 1959: plumbing and furnace (Permit #41710)
- 1962: reroof (Permit #50308)
- 1963: sewer lateral replacement (Permit #51431)
- 1964: drive approach (Permit #56490)
- 2006: replacing some siding (Permit #14733)

### South Pasadena Public Library

On October 25, 2022, the South Pasadena Public Library provided City Directory information for previous occupants of the subject property and two historic newspaper articles pertaining to the residence. The information gathered from these sources has been incorporated into the history of the subject property (Section 3.3).

### Historic Aerial Photographs

The subject property was reviewed on historic aerial photographs via Nationwide Environmental Title Research LLC (NETR) from the years 1948, 1952, 1964, 1972, 1977, 1980, 1987, 1988, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2003, 2004, 2005, 2009, 2010, 2012, 2014, 2016, 2018, and 2020, and UC Santa Barbara Library Aerial Photography Information FrameFinder from the year 1937 (Table 1).<sup>14</sup> The earliest available Historic Aerial photograph with the subject property dates to 1948.

**Table 1. Historical Aerial Photograph Review of Subject Property**

Photograph Year	Observations and Findings
1937	This is the earliest aerial photograph of the neighborhood and dates to before the construction of the single-family residence on the subject property. The surrounding area is partially developed with single-family homes accessed by narrow roads stemming from Monterey Road north of the property and Huntington Drive to the south.
1948	The single-family residence on the subject property has been constructed on the east side of Brunswick Avenue before the development of the rest of the neighborhood as a residential block. The surrounding area includes more newly constructed single-family residences, but still appears only partially developed. Southwest of the subject property remains undeveloped with small roads throughout the landscape. Additionally, the 110 Freeway has been developed north of the subject property, running parallel to Monterey Road.
1952	The subject property displays no noticeable changes. More residential development is visible south and east of the subject property.
1964	An addition to the rear (east) elevation of the residence is visible on the subject property. Brunswick Avenue appears fully developed with single-family homes and the surrounding area includes more single-family residences in all directions.
1972, 1977, 1980	The subject property displays no noticeable changes. More development is visible in the surrounding area.

<sup>14</sup> "Historic Aerials Online," NETR. Accessed October 20, 2022. <https://www.historicaerials.com/viewer>; "Historical Aerial Photographs: 1937". UCSB. Accessed October 19, 2022. [http://mil.library.ucsb.edu/ap\\_indexes/FrameFinder](http://mil.library.ucsb.edu/ap_indexes/FrameFinder).



**Table 1. Historical Aerial Photograph Review of Subject Property**

Photograph Year	Observations and Findings
1988	The subject property displays no noticeable changes. The surrounding area appears to be fully developed.
1992, 1993	No discernible changes to the subject property and the surrounding area.
1994	The residence on the subject property appears to have been re-roofed. The surrounding neighborhood displays no discernible changes.
1995, 1996, 1997, 1998, 1999, 2000	No discernible changes to the subject property and surrounding area.
2003	The subject property displays no noticeable changes. The construction of single-family residences along Pine Crest and the development of Milford Street, South Avenue 61, Shafter Way, and Oak Hill Drive are visible southwest of the subject property.
2004, 2005	The subject property displays no noticeable changes. Pine Crest, Milford Street, South Avenue 61, Shafter Way, and Oak Hill Drive are partially developed with single-family residences.
2009	The subject property displays no noticeable changes, and Pine Crest, Milford Street, South Avenue 61, Shafter Way, and Oak Hill Drive appear fully developed.
2010, 2012, 2014, 2016, 2018, 2020	No discernible changes to the subject property and the surrounding area.

### Sanborn Fire Insurance Maps

Dudek reviewed Sanborn Fire Insurance Maps of Los Angeles County from the years 1888, 1894, 1900, 1906, 1950, 1951 and 1955, and was unable to locate Historical Sanborn Map Company fire insurance maps covering the subject property.<sup>15</sup> However, the City of South Pasadena was able to locate a Sanborn Fire Insurance map from 1930 that appears to include the subject property at 1222 Brunswick Avenue.<sup>16</sup> City Building Permits record the build date in 1946. Further research indicates that the 1930 Sanborn Fire Insurance map was likely amended in the 1950s to show the subject property. The residence is labeled as a one-story “dwelling” with a non-combustible tile and composition roof and appears rectangular in plan.

## 3.3 Occupancy History of the Subject Property

City of South Pasadena Directories and City Building Permits indicate the subject property was owned and occupied by four inhabitants between 1946 and 1974. According to the original Building Permit filed on February 13, 1946, the single-family residence at 1222 Brunswick Avenue was constructed by “Day Labor” for the owner, S. J. Barge.

<sup>15</sup> “Los Angeles, California: 1888, 1894, 1900, 1906, 1950, 1951 and 1955,” Sanborn Map Company. Accessed October 19, 2022.

<sup>16</sup> “South Pasadena: 1930,” Sanborn Map Company. Accessed October 26, 2022

S. J. Barge was listed as the first owner of the property on its original Building Permit (Permit #14225); however, research could not determine how long he remained at the property. Barge was not noted in any City Directories, Historic Newspapers, or the City's Historic Context Statement, and research could not reveal any more information about him. However, by 1952, City Building Permit #27230 listed different next owners of the property, Sam and Frances Ivy.

Sam Ivy was born in Keo, Arkansas in 1910.<sup>17</sup> Research indicates that he worked as a gas station attendant in Nashville, Tennessee in 1931 before becoming a clerk in Los Angeles, California in 1938.<sup>18</sup> It is unclear when Sam and Frances married, but by 1940, Sam was drafted for World War II and his draft card indicated he was married to Frances and had been working for the Southern Pacific Rail Road while living in Los Angeles.<sup>19</sup> Additionally, the 1940 U.S. Census shows that Frances was working as a retail clerk.<sup>20</sup> The couple moved to the subject property in 1952 and remained for three years before leaving in 1955 and renting the property to T. B. Ballantyne for a year.<sup>21</sup>

Ballantyne was listed in the City Directory as living at the residence from 1955 to 1956. However, no further information was discovered about the resident. Likewise, research was unable to determine who occupied the property after Ballantyne, but Historic Newspapers indicate that the residence was vacant and listed for sale from 1958 to 1959.<sup>22</sup>

By 1959, Walter G. and Camille Burger were listed as the owners of the property on City Building Permit #41625. While the City Directory indicates that Walter was an inspection supervisor, research did not reveal much information about their lives while living at the subject property. The couple was listed as living at the residence as late as 1974, but it is unclear how long they remained on the property.<sup>23</sup>

The *South Pasadena Review* newspaper listed the house for sale in 1983.<sup>24</sup> In 1985, a Fictitious Business Name Statement in the paper associated the address with Andrew Hsu, who ran his business, Hong-An Construction Co., from the subject property.<sup>25</sup> Research could not determine how long Hsu remained on the property. It is unclear who occupied the residence between 1985 and 2022. Darryl Roberts currently owns it.

## Owner/Occupant Timeline

The following section presents a timeline of the owners and/or longer-term occupants of the subject property since the construction of the residence. Names with an asterisk next to them represent occupants who were also owners of the subject property (non-renters).

- 1946: S. J. Barge
- 1952-1955: Sam and Frances Ivy
- 1955-1956: T. B. Ballantyne\*

<sup>17</sup> U.S. Census Bureau. "1940 United States Federal Census". Los Angeles, California. 1940.

<sup>18</sup> United States. "City Directories, 1822-1995". Nashville, Tennessee. 1931; United States. "City Directories, 1822-1995." Los Angeles A-L, California. 1938.

<sup>19</sup> United States. "World War II Draft Cards Young Men 1940-1947." 1940.

<sup>20</sup> "1940 United States Federal Census." U.S. Census Bureau.

<sup>21</sup> Catt, Nick, South Pasadena Public Library (personal communication, October 25, 2022).

<sup>22</sup> Ibid.

<sup>23</sup> Ibid.

<sup>24</sup> *South Pasadena Review*, "Open Houses". 1983.

<sup>25</sup> *South Pasadena Review*, "Fictitious Business Name Statement". 1985.



- 1958-1959: Vacant/unknown
- 1959-1974: Walter G. and Camille Burger
- 1983: Vacant/unknown
- 1985: Andrew Hsu
- 1985-2022: Unknown
- 2022: Darryl Robert

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# 4 Historic Context

The following historic context addresses relevant themes concerning the history of the subject property. It begins with a general overview of the development of the City of South Pasadena, which provides a brief discussion of the history of single-family housing development patterns within the City. The context then provides a discussion of the relevant themes associated with the subject property.

## 4.1 Historical Overview of South Pasadena

Early inhabitants of South Pasadena were members of the Tongva Nation known as the Hahamog-na tribe. Native dwellings were known to have lined the Arroyo Secco stream from South Pasadena to where it meets the Los Angeles River in the south. Spanish explorer, Gaspar de Portola, first contacted the Hahamongnas in 1770 in South Pasadena. Accompanying Portola was Father Junipero Serra, who established the San Gabriel Mission a few miles east of South Pasadena in 1771. Spanish settlers forced assimilation on the bands of tribes that comprised the Tongva Nation, and by the nineteenth century, the native population had significantly decreased due to disease.

After Mexico gained independence from Spanish Imperial rule in 1821, the South Pasadena area became part of Mexico and was granted to Juan Mariné by Governor Figueroa in 1834. The land became known as Rancho San Pascual and later became part of the cities of Pasadena, South Pasadena, and Altadena. By 1873, the land was sold to the San Gabriel Orange Grove Association and subdivided for the creation of South Pasadena.<sup>26</sup>

In 1888, Donald McIntyre Graham became South Pasadena's first mayor and the city was incorporated with a population of just over 500 residents. The arrival of the Los Angeles and San Gabriel Valley Railroad connected South Pasadena to its neighboring cities and encouraged local development. By 1887, the city's business district had grown to twice its original size. During the late nineteenth, South Pasadena rose in prominence as a resort town following the success of the Raymond Hotel, a large hotel for "snow birds" opened in 1886. The Raymond was Southern California's most popular resort until it was destroyed by fire in 1895.<sup>27</sup>

Throughout the early twentieth century, South Pasadena continued to grow, reaching a population of about 1,000 residents in 1900, and by 1910 reaching a population of 4,600 residents. The city's population growth corresponded with the rise of the Arts and Crafts movement and the impact of this major design movement is visible in the construction of bungalow and Craftsman-style residences in neighborhoods developed during this period. Additionally, several residential tracts were subdivided during the early twentieth century, and the city's primary business shifted from tourism to construction. By the 1920s, most of South Pasadena had been developed with single-family residential neighborhoods, and pressure to continue development led to the passage of a comprehensive zoning ordinance in 1923 to allow for the construction of multi-family residential buildings. The introduction of automobiles in the 1920s inspired further growth and the city experienced another population boom resulting in 13,700 residents by 1930.<sup>28</sup>

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<sup>26</sup> "Rancho San Pascual," Social Studies Fact Cards. Accessed October 27, 2022. <https://factcards.califa.org/ran/sanpascual.html>

<sup>27</sup> "City of South Pasadena Citywide Historic Context Statement," HRG. December 16, 2014. Page 68. <https://www.southpasadenaca.gov/home/showpublisheddocument/7332/636721709083330000>

<sup>28</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 50-52.

The Great Depression during the 1930s saw many of the city's former tourist attractions close and construction activity began to decrease. However, the Works Projects Association stimulated construction with the distribution of federal funds, and in 1936 and 1937 construction began on the South Pasadena Post Office and High School, respectively. Industrial development was focused on facilitating the war effort during the cusp of World War II. Nineteen light manufacturing facilities were constructed in South Pasadena to engage in war work.<sup>29</sup>

After World War II, a massive wave of migration and building boom occurred throughout California. To plan its growth, South Pasadena appointed its first planning commission in 1947. Changes included increased zoning for industrial buildings and allowed apartments and hotels to build up to seven stories. Further development of two subdivisions saw the post-war population of South Pasadena rise from 16,953 in 1950 to 22,300 by 1970.

However, the proposed construction of the Long Beach (710) Freeway through South Pasadena had a significant impact on the community and provoked preservation efforts in the city due to its construction route that would relocate or demolish hundreds of single-family homes.<sup>30</sup> The ongoing debate about the proposed freeway continued for decades. The state approved its Master Plan of Freeways and Expressways in 1959. Plans for the 710 Freeway were adopted by 1964, and the route of the freeway was set to pass through the middle of South Pasadena, dividing its communities and neighborhoods. Impact studies and legal battles continued through the 2020s.<sup>31</sup>

## 4.2 Relevant Theme

### Post-World War II Residential Development (1945-1965)

By the end of World War II in 1945, most of the land within South Pasadena had been developed with twenty-four tracts subdivided for residential development during the Post-War period. Seven mid-sized tracts each contained about thirty to fifty parcels, while smaller subdivisions contained about thirteen parcels or less. Most tracts were developed by individual developers with over half developed around newly constructed cul-de-sacs.

Throughout the post-war period, residential styles reflected the designs of preeminent Modernists such as Irving Gill, Rudolph Schindler, and Richard Neutra. In South Pasadena, Gill designed the Miltimore House in 1911 (listed on the NRHP and South Pasadena Landmark #11); Schindler designed the Grokowsky House in 1928 (South Pasadena Landmark #28); and Neutra designed the Wilkins House in 1949. Each of these architects came to California to practice Modern styles of architecture and were inspired by Frank Lloyd Wright. Additionally, several University of South California (USC) School of Architecture graduates who lived and worked in South Pasadena had a great influence on the post-war regional Modern style that emerged there. These included Whitney Smith, Wayne Williams, Conrad Buff, Donald Hensman, Miller Fong, Carl Maston, Bob Ray Offenhauser, and Clinton Ternstrom.

Much of the architecture during this period exhibited a range of design philosophies developed from iterations of regional styles that combined Regional Modernism with elements of the International style and natural materials. Indoor and outdoor spaces were emphasized with visible connections such as patios and porches, and an organic palette further reflected an emphasis on nature.<sup>32</sup>

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<sup>29</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 53-54.

<sup>30</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Page 54.

<sup>31</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 201-202; Damien Newton. "Pasadena and Caltrans Reach Agreement to Relinquish 710 Freeway Stub to City." Streets Blog LA. Los Angeles, CA. May 4, 2022. <https://la.streetsblog.org/2022/05/04/pasadena-and-caltrans-reach-agreement-to-relinquish-710-freeway-stub-to-city/>.

<sup>32</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 169-175.



The magazine Arts & Architecture issued new ideas in residential design that promoted modern styles and modes of construction. In 1945, the publication commenced its Case Study House program to highlight the post-war innovation in residential architecture and design. Over thirty projects were designed by some of California's most prominent architects bringing national attention to modern design in California. The program lasted until 1962 and inspired much of the post-war residential design during this period. Residential design in South Pasadena during the postwar period reflected reflect the styles and ideas prevalent in the publication and Case Study, rejecting Craftsman for more Mid-Century Modern styles.<sup>33</sup>

Furthermore, inspired by new construction materials and techniques refined during the war, many architects focused on producing low-cost mass-produced designs. Prefabricated housing systems, also known as manufactured homes or modular homes, were introduced to the market during the post-war period. After the war, the Consolidated Vultee Aircraft manufacturing plant converted to the construction of houses from planes. Henry Dreyfuss, a noted industrial designer in South Pasadena, collaborated with architect Edward Larabee Barnes to create the only prefabricated home built in an airfield factory, known as the "Fleet" home on 325 Monterey Road (South Pasadena Landmark #51). However, the popularity of prefabricated houses was short-lived because the cost of land acquisition, facilities and utility installation was too high for most developers to sustain a successful manufacturing business.<sup>34</sup> The City of South Pasadena Citywide Historic Context Statement clarified that Registration Requirements for significance under the theme of Post World War II Residential Development (1945-1965) require a resource to be meet the following to be eligible:

- As an excellent example of residential development or for its association with an important developer, representing a known association with the growth of the City during this period.
- For its association with a significant person. Note that a property is not eligible under this criterion if its only justification for significance is that it was owned or used by a person of importance. Properties eligible under this criterion are those associated with a person's productive life, reflecting the time period when he or she achieved significance.
- As an excellent example of a particular multi-family residential property type. South Pasadena retains significant examples of multi-family property types from this period of development.
- As having character, interest or value as a part of the heritage of the community.
- A collection of residences from this period that are linked geographically may be eligible under this theme as a historic district. Residences from this period may also contribute to historic districts that are significant under other contexts and themes. Historic districts are evaluated locally under Criterion 11 (significant as a distinguishable neighborhood or area whose components may lack individual distinction). Historic districts from this period are unified aesthetically by plan, physical development, and architectural quality, and represent post-World War II planning principles.<sup>35</sup>

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<sup>33</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 207-208.

<sup>34</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 208-209.

<sup>35</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 218-219.

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# 5 Significance Evaluation

In order to determine if the proposed Project will impact historical resources under CEQA, the single-family residence over 45 years in age within the subject property (APN: 531-100-70-22) was evaluated for historical significance and integrity in consideration of NRHP, CRHR, and City of South Pasadena designation criteria and integrity requirements.

## 5.1 NRHP/CRHR Evaluation of Significance

The subject property at 1222 Brunswick Avenue (APN: 531-100-70-22) does not meet any of the criteria for listing in the NRHP or CRHR, either individually or as part of an existing historic district, as demonstrated below.

**Criterion A/1: That are associated with events that have made a significant contribution to the broad patterns of our history.**

To be eligible for listing in the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of the history of South Pasadena.

Archival research did not find any associations with events that have made a significant contribution to the broad patterns of our history. The subject property was completed in 1946 during a time of increased development in South Pasadena. After the end of World War II in 1945, the city experienced a population increase as more people migrated to California. South Pasadena appointed its first planning commission in 1947 and proceeded to update the city's zoning for industrial buildings, multi-family residences, and hotels. Additionally, further development of two residential subdivisions resulted in a population increase from 16,953 in 1950 to 22,300 by 1970. Historic Aerials reveal the subject property simply followed development trends as a single-family residence constructed in the area during a period of increased development.

The subject property is located in a portion of South Pasadena that experienced steady residential growth through the mid-twentieth century. Substantial residential development in the area took place surrounding it since World War II. The subject property does not appear to be associated with any significant developmental trends, and research did not reveal any significant association with any other historical events significant in the history of South Pasadena. The subject property is a single-family residence with no distinct style on the east side of Brunswick Avenue, between Monterey Road and Kolle Avenue. The residence first appeared in Historic Aerials in 1948 when the surrounding residential neighborhood was partially developed. There is no indication that the construction of this specific residence is associated with a pivotal movement in the history of the neighborhood or city. It was neither the first nor the last of its type and was merely following a continuous pattern of residential development that continued through the twentieth century. The property is not known to be directly associated with events that have made a significant contribution to the history of South Pasadena; therefore, the property does not appear eligible under NRHP Criterion A or CRHR Criterion 1.

**Criterion B/2: That are associated with the lives of persons significant in our past.**

To be found eligible under Criterion B/2 the property has to be directly tied to an important person and the place where that individual conducted or produced the work for which he or she is known. Archival research failed to indicate any such direct association between individuals that are known to be historic figures at the national,

state, or local level and the subject property. The earliest ownership information indicated that the property was owned by S. J. Barge. However, research was unable to reveal anything about the resident and it is unknown how long he resided at the property. City Directory research indicated that the next residents were Sam and Frances Ivy from 1952 to 1955 before T. B. Ballantyne moved to the property from 1955 to 1956. Historic newspaper research revealed that the residence remained vacant for a year from 1958 to 1959, before Walter G. and Camille Burger purchased the property in 1959. They remained at the subject property until about 1974. The house was next listed for sale in 1983 before it was associated with Andrew Hsu and his business, Hong-An Construction Co., in 1985. However, research could not determine how long Hsu remained on the property. It is unclear who occupied the residence between 1985 and 2022, but today Darryl Roberts owns it. Research did not uncover information that would indicate these owners were important to the past. None of the residents appear in the City of South Pasadena Citywide Historic Context Statement or other records of notable residents in the history of the city. Due to a lack of identified significant associations with important persons in history, the subject property does not appear eligible under NRHP Criterion B or CRHR Criterion 2.

**Criterion C/3: That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.**

The subject property is a single-family residence built in 1946 and does not embody distinctive characteristics of a type, period, or method of construction. The residence does not reflect an architectural style. Additionally, the subject property has been substantially altered. Alterations include an addition to the kitchen in 1952; the addition of a bedroom and bathroom above the garage in 1959; reroofing in 1962; and the replacement of some siding in 2006. Likewise, observed alterations include window replacements (date unknown); an added security door (date unknown); added window security bars (date unknown); and the addition of a balcony and exterior staircase (date unknown).

An individual or firm may be defined as a master based on scholarship recognizing its work as unique or trendsetting within the discipline. The original building permit filed on February 13, 1946, lists the contractor as “Day Labor”. There is no known architect or firm associated with the design or development of the subject property and there is no indication it is associated with a significant method of construction. There is no indication that the property is a distinguished example of work that was designed by an architect or firm recognized as unique in the field of single-family residential development; therefore, the property is not significant under this aspect of NRHP Criterion C and CRHR Criterion 3.

Additionally, the subject property does not possess high artistic values. The last component of Criterion C, representing a significant and distinguishable entity whose components may lack individual distinction, is the most applicable to districts. The subject property does not appear likely to contribute to a potential historic district.

**Criterion D/4: That have yielded, or may be likely to yield, information important in prehistory or history.**

Criterion D was not considered in the evaluation, because it generally applies to archeological resources. The buildings on the subject property are not significant under Criterion D of the NRHP or Criterion 4 of the CRHR as a source, or likely source, of important historical information nor do they appear likely to yield important information about historic construction methods, materials, or technologies.



## 5.2 City of South Pasadena Evaluation of Significance

The subject property does not meet any of the criteria for listing by the City of South Pasadena as demonstrated below.

1. Its character, interest or value as a part of the heritage of the community;

As discussed in NRHP/CRHR Criteria A/1, archival research did not reveal that the subject property contains any character, interest, or value as a part of the heritage of the community. Research did not indicate that the residence is associated with the heritage of the community. It was merely following a continuous pattern of residential development that continued through the twentieth century and does not reflect significant parts of South Pasadena's heritage and post-World War II residential development.

2. Its location as a site of a significant historic event;

As discussed in NRHP/CRHR Criteria A/1, archival did not reveal that the subject property was associated with a significant historic event in South Pasadena. The residence was considered under the theme of Post-World War II Residential Development (1945-1965) and was found ineligible against the city's registration requirements for the theme.

3. Its identification with a person, persons or groups who significantly contributed to the culture and development of the city, state or the United States;

As discussed in NRHP/CRHR Criteria B/2, research does not indicate that the subject property is associated with a person, persons or groups who significantly contributed to the culture and development of South Pasadena, California, or the United States.

4. Its exemplification of a particular architectural style of an era of history of the city;

As discussed in NRHP/CRHR Criteria C/3, the subject property does not exemplify a particular architectural style of Post-World War II residential development in South Pasadena.

5. Its exemplification of the best remaining architectural type in a neighborhood;

As discussed in NRHP/CRHR Criteria C/3, the subject property does not exemplify the best remaining architectural type in a neighborhood as it does not reflect a specific architectural type.

6. Its identification as the work of a person or persons whose work has influenced the heritage of the city, the state or the United States;

As discussed in NRHP/CRHR Criteria C/3, the subject property is not the work of a person or persons whose work has influenced the heritage of South Pasadena, California, or the United States. According to building permits, the property was constructed by S.J. Barge and "Day Laborers;" neither of whom is recognized as a person whose work has influenced the heritage of the city, state, or the United States.

7. Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials, or craftsmanship;

As discussed in NRHP/CRHR Criteria C/3, the subject property does not embody elements of outstanding attention to architectural design, engineering, detail design, detail, materials, or craftsmanship.

8. It is part of or related to a square, park or other distinctive area that should be developed or preserved according to a plan based on a historic cultural or architectural motif;

The subject property has not been determined to be part of or related to a square, park or other distinctive area that should be developed or preserved according to a plan based on a historic cultural or architectural motif. Therefore, it is recommended not eligible for listing under City Criterion 8.

9. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;

The subject property is located within the northmost section of the City of South Pasadena in a residential neighborhood on the east side of Brunswick Avenue, between Monterey Road and Kolle Avenue. It is a non-descript residential property located mid-block in a residential area. The residence does not possess a distinct architectural style or characteristics as a unique visual feature in the area. Therefore, it is not sited in a unique location or contain a singular physical characteristic representing an established and familiar visual feature of the neighborhood and is not eligible under City Criterion 9.

10. Its potential of yielding information of archaeological interest;

As discussed in NRHP/CRHR Criteria D/4, the subject property was not considered in the evaluation, because it generally applies to archeological resources. The residence on the subject property is not significant under City Criterion 10 as a resource that has the potential to yield information of archaeological interest.

11. Its significance as a distinguishable neighborhood or area whose components may lack individual distinction.

The subject property was not considered in the evaluation of City Criterion 11, because it generally applies to a neighborhood or area. The subject property does not appear likely to contribute to a potential historic district. The residence on the subject property is not significant under City Criterion 11 as a distinguishable neighborhood or area whose components may lack individual distinction.

## 5.3 Integrity Statement

Integrity is the ability of a property to convey its significance. Historic properties either retain integrity (that is, convey their significance) or they do not. Within the concept of integrity, there are seven aspects or qualities that define integrity. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association. In order to retain historic integrity, “a property will always possess several, and usually most, of the aspects.”<sup>36</sup> The subject property’s period of significance is its construction date of 1946.

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<sup>36</sup> “How to Apply the National Register Criteria for Evaluation bulletin,” Andrus, Patrick W. and Rebecca H. Shrimpton. 2002. [https://www.nps.gov/nr/publications/bulletins/nrb15/December 5, 2018](https://www.nps.gov/nr/publications/bulletins/nrb15/December%205,%202018).



The residence at 1222 Brunswick Avenue retains integrity of location. The location of the building never shifted nor was it relocated; it maintains the physical location where the residence was constructed in 1946.

The subject property does not retain integrity of design. Major alterations include an addition to the kitchen (1952); the addition of a bedroom and bathroom above the garage (1959); reroofing (1962); the replacement of some siding (2006); window replacements (date unknown); an added security door (date unknown); added window security bars (date unknown); and the addition of a balcony and exterior staircase (date unknown). Because the property has been heavily altered since its construction in 1946, it no longer represents the intentions of the original work. Therefore, the property does not retain integrity of design.

The subject property lacks integrity of setting. From historical aerial findings discussed, upon the residence's completion in 1946, the surrounding neighborhood was partially developed with single-family residences and the area southwest of the residence remained undeveloped. The subject property as well as the other homes remain intact; however, the scale and massing of surrounding development has changed and has diminished overall integrity of setting. Therefore, the property has diminished integrity of setting.

The subject property does not retain integrity of materials. Since its construction in 1946, many alterations have occurred, including an addition to the kitchen in 1952; the addition of a bedroom and bathroom above the garage in 1959; reroofing in 1962; the replacement of some siding in 2006; window replacements (date unknown); an added security door (date unknown); added window security bars (date unknown); and the addition of a balcony and exterior staircase (date unknown). These changes have diminished the property's overall integrity of materials from its date of construction (1946). Therefore, the property does not retain integrity of materials.

The subject property does not retain integrity of workmanship. The physical evidence of the craftsmanship required to create the 1946 residence has been diminished since its construction. The essential features, such as its height, and stucco siding remain. However, the property no longer represents its original design because of the major alterations to the building that have obscured the original workmanship of the property. Therefore, the property does not retain integrity of workmanship.

The subject property does not retain integrity of feeling. Because the property does not retain integrity of design, materials, and workmanship it no longer conveys a sense of a particular period. The present physical features are the result of multiple alterations since it was constructed in 1946. Although minimal changes to the neighborhood over time have preserved its ability to convey the feeling of one residence in a low-scale, single-family home neighborhood, the property no longer conveys its historic character. Therefore, the subject property does not retain integrity of feeling.

Finally, the subject property does not retain integrity of association. The residence was constructed in 1946 by day laborers and was inhabited by several occupants between 1946 and 1974. The property is not associated with an important historic event, architectural style, or builder. Therefore, there is no historic association. Therefore, the subject property does not retain integrity of association.

In summary, the subject property at 1222 Brunswick Avenue retains integrity of location but does not retain integrity of design, setting, materials, workmanship, feeling, or association. Therefore, the property does not maintain the requisite integrity to warrant significance in the NRHP, CRHR, or as a historic resource in the City of South Pasadena.

## 5.4 Summary of Evaluation Findings

In conclusion, the subject property does not appear eligible for listing in the NRHP, CRHR, or as a historic resource in the City of South Pasadena due to a lack of important historical associations, lack of architectural merit, and lack of integrity. As such, the subject property is not considered a historical resource for the purposes of CEQA. The recommended California Historical Resource Status Code for the property is 6Z (found ineligible for the NRHP, CRHR, or local designation through survey evaluation).



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## 6 Findings and Conclusions

The residential building located at 1222 Brunswick Avenue (APN: 531-100-70-22) in South Pasadena, California, is not currently designated or listed under any national, state, or local landmark programs. The building has not been identified as eligible for local designation by a recent historic resources survey. Dudek evaluated the residential building constructed in 1946 as part of the CEQA compliance process. Dudek concludes that the buildings do not appear to be eligible for listing in the NRHP or the CRHR, or for local listing in South Pasadena due to a lack of significance, historical associations, and architectural merit. Therefore, the building does not appear to be a historical resource subject to CEQA. The recommended Status Code for the building is 6Z.

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# **Appendix A**

## Preparers' Qualifications

# Katie Ahmanson, MA

## ARCHITECTURAL HISTORIAN

Katie Ahmanson (KAY-tee AH-mun-son; she/her) is an architectural historian with two years' experience in the field of architectural history and heritage conservation. She has experience with Historic Cultural Monument and National Register of Historic Places (NRHP) nominations, historic context statements, building descriptions, and California Department of Parks and Recreation (DPR) 523 forms. Ms. Ahmanson has familiarity with environmental compliance documentation in support of projects that fall under the California Environmental Quality Act (CEQA)/National Environmental Policy Act (NEPA), and Sections 106 and 110 of the National Historic Preservation Act.

## Project Experience

**1402 Broadway, Chula Vista, San Diego, California.** Dudek was retained by Patriot Development Partners to complete a Historical Resources Technical Report (HRTR) to identify all historical resources (if any) on the subject property. The purpose of this report is to determine if the subject property at 1402 Broadway (APN: 622-041-27-00) in the City of Chula Vista, San Diego County, California would impact any historical resources pursuant to the California Environmental Quality Act (CEQA). As an architectural historian, Ms. Ahmanson co-authored the Report, wrote building descriptions and significance evaluations, surveyed the property, and completed archival research for the project. (2022)

**1027 Olive Avenue and 1029 Olive Lane, Coronado, San Diego, California.** Dudek was retained by the City of Coronado (City) to evaluate the property located at 1027 Olive Avenue and 1029 Olive Lane (APN: 537-412-01-00) (subject property) for historical significance under City designation criteria and integrity requirements. The evaluation involved researching and developing an occupancy timeline; supplemental research on occupants and building development research; survey of the property; a description of the property; and completion of a historical resource evaluation in consideration of City designation criteria and integrity requirements. As an architectural historian, Ms. Ahmanson co-authored the Report, wrote building descriptions and significance evaluations, surveyed the property, and completed archival research for the project. (2022)

**335 Alameda Boulevard Historical Resources Evaluation Report, Coronado, San Diego County, California** Dudek was retained by the City of Coronado (City) to evaluate the property located at 335 Alameda Boulevard (APN: 536-191-05-00) for historical significance under City designation criteria and integrity requirements. The evaluation involved researching and developing an occupancy timeline; supplemental research on occupants and building development research; survey of the property; a description of the property; and completion of a historical resource evaluation in consideration of City designation criteria and integrity requirements. As an architectural historian, Ms. Ahmanson co-authored the Report, wrote building descriptions and significance evaluations, surveyed the property, and completed archival research for the project. (2022)

**4235 State Street, Santa Barbara, California.** Dudek was retained by the firm of Flowers & Associates to complete a Historical Resources Technical Report (HRTR) for the property and associated sign located at 4235 State Street,



### Education

*University of Southern California School of Architecture  
MA, Heritage Conservation, 2022  
Claremont McKenna College  
BA, Art History, 2019*



Santa Barbara, California. This report evaluates the subject property (APN 061-100-006), a former gas station originally constructed in 1959 (Building Permits), and its associated historic-age sign in anticipation of a proposed redevelopment project. As an architectural historian, Ms. Ahmanson completed an analysis of historic aerial photographs and Sanborn maps for the project. (2022)

**Clara Oaks, Claremont, California.** Dudek was retained by the City of Claremont to prepare a Built Environment Inventory and Evaluation Report for The Webb Schools (AIN 8669-015-014) as part of the Clara Oaks Environmental Impact Report (EIR). This report documents Dudek's efforts to identify and update the previous evaluation for The Webb Schools' campus for eligibility as a historic district at the federal, state, and local level and identify potential direct or indirect impacts under CEQA as a result of construction and implementation of the proposed Project. As an architectural historian, Ms. Ahmanson completed an analysis of historic aerial photographs and Sanborn maps for the project. (2022)

**820 G Avenue Historical Resource Evaluation Report, Coronado, San Diego County, California.** Dudek was retained by the City of Coronado (City) to evaluate the property located at 820 G Avenue (APN: 537-222-26-00) for historical significance under City designation criteria and integrity requirements. The evaluation involved researching and developing an occupancy timeline; supplemental research on occupants and building development research; survey of the property; a description of the property; and completion of a historical resource evaluation in consideration of City designation criteria and integrity requirements. As an architectural historian, Ms. Ahmanson co-authored the Report, wrote building descriptions and significance evaluations, and completed archival research for the project. (2022)

**Gaujome Crest Built Environment Inventory and Evaluation Report, Oceanside, San Diego County, California.** Dudek was retained by Ricon Homes to prepare a Built Environment Inventory and Evaluation Report for the proposed Gaujome Crest Project in the City of Oceanside. The goal of the project is to identify and evaluate historic age built environment resources located within the Project site that may be subjected to direct or indirect impacts from the proposed Project. As an architectural historian, Ms. Ahmanson co-authored the Report, wrote building descriptions and significance evaluations, and completed archival research for the project. (2022)

**Los Angeles County Florence-Firestone Community Plan Area Historic Resources Survey, Los Angeles County, California.** Dudek was retained by the County of Los Angeles Department of Regional Planning to prepare a Historic Context Statement and conduct a Historic Resources Survey for the Community Plan Area of Florence-Firestone. The goal of the project is to document the development history of the community from the rancho period to the present, identify important themes, events, patterns of development, and describes the different property types, styles, builders, and architects associated with these important periods and themes. The document will also provide registration requirements and recommendations for future study/action by the County of Los Angeles to facilitate and streamline the historic preservation program. As an architectural historian, Ms. Ahmanson completed field work and contributed to a Historic Resources Survey report. (2022)

**Oak Knoll Road, Poway, San Diego County, California.** Dudek was retained to complete a historical resources evaluation for a residential development project in the City of Poway. The Project proposes the development of the 10.72-acre property into a residential development within an existing residential neighborhood. As an architectural historian, Ms. Ahmanson co-authored the Report, wrote building descriptions and significance evaluations, and completed archival research for the project. (2022)

## Relevant Previous Experience

**Preservation Intern, Hollywood Heritage, Hollywood, California.** As an intern, managed general office administrative work, maintained and regularly updated the Preservation Sub-Committee to-do and watch lists, set

the weekly Admin meeting and monthly Preservation Committee meeting and agendas, and recorded the meeting minutes. Additionally, organized developer and resident meetings, monitored and tracked relevant public hearings and schedules for Hollywood Heritage issues, and attended public hearings and meetings on behalf of Hollywood Heritage. Assisted residents and concerned parties seeking to designate historic resources and helped prepare nominations for city, state and national designations, such as the Historic Cultural Monument nomination for the Home Savings and Loans on 1500 Vine St. in Hollywood, which passed as a designated monument June 2, 2022. (2021–2022)

**Architecture Research Assistant, SPF: Architects, Culver City, California.** As a research assistant, researched and collected information about projects and wrote for the company website. In addition, organized content about past and ongoing projects, digitally archived old plans and documents, organized contact lists, and composed press releases for new projects and firm announcements. Aided in making architecture models and model accessories. (2019–2020)

**Intern, Frederick Fisher and Partners, Los Angeles, California.** As the office intern, archived old plans and documents and scanned documents and digitally archived published materials. In addition, worked with the marketing team to organize contact lists and research competing firms. Also assisted the front desk with answering the phone, welcoming guests, and office cleanup and organization. (2018)



# Allison Lyons, MSHP

## SENIOR ARCHITECTURAL HISTORIAN

Allison Lyons (*AL-ih-suhn LYE-ons; she/her*) is an architectural historian with 12 years' experience throughout the western United States in all elements of cultural resources management. Her expertise includes the preparation of environmental compliance documents in accordance with the California Environmental Quality Act (CEQA) and Section 106 of the National Historic Preservation Act, focusing on the evaluation of historical resources and analysis of project impacts. As a historic preservation consultant, she has been involved in the preparation of numerous large-scale historic resources surveys, Historic American Buildings Survey/Historic American Engineering Record recordation, Federal Rehabilitation Tax Credit and Mills Act Historic Property Contract applications, local landmark nominations, and evaluations of eligibility for a wide variety of projects and property types throughout California. She is highly experienced in writing National Register of Historic Places (NRHP) nominations and historic context statements for local governments. Ms. Lyons meets the Secretary of the Interior's Professional Qualifications Standards for history and architectural history pursuant to Title 36, Part 61, of the Code of Federal Regulations, Appendix A.



### Education

*Columbia University,  
M.S., Historic  
Preservation, 2010*

*Scripps College,  
B.A., European Studies,  
2006*

## Dudek Project Experience

**Los Angeles County Metro Area Plan Project, Los Angeles County, California.** Dudek was retained by the County of Los Angeles Department of Regional Planning to prepare a Historic Context Statement in support of the Metro Area Plan (MAP) project. The goal of the Historic Context Statement component of the project is to inform, enhance, and streamline the larger MAP project as it pertains to historical resources. The communities included within the MAP Historic Context Statement include the following: East Los Angeles, East Rancho Dominguez, Florence-Firestone, Walnut Park, West Athens-Westmont, West Rancho Dominguez-Victoria, and Willowbrook. The HCS documents the development history of the communities from the rancho period to the present, identifies important themes, events, and patterns of development, and describes the different property types, styles, builders, and architects associated with these important periods and themes. The document also provides registration requirements and recommendations for future study/action by the County of Los Angeles to facilitate and streamline the historic preservation program. Responsibilities include archival research, co-authoring the Historic Context Statement, stakeholder engagement, collaboration with the GIS team to create an online mapping tool, field survey, and attendance at public meetings. (2021-Present)

**Los Angeles County East Los Angeles Historic Resources Survey of Historic Age Commercial Signage, Los Angeles County, California.** Dudek was retained by the County of Los Angeles Department of Regional Planning to perform a Historic Resources Survey and focused Historic Context Statement for historic age commercial signage located in the Community Plan Area of East Los Angeles. The goal of the project is to document the history of commercial signage, record and evaluate significant historic signs, and designate all applicable signs as County Landmarks. Ms. Lyons led the fieldwork and identification component of the project, focusing on major commercial corridors along Whittier Blvd, Atlantic Blvd, E. 3<sup>rd</sup> Street, and Olympic Blvd (2021-Present)

**Los Angeles Department of Water and Power Century Trunk Line, Los Angeles Department of Water and Power, City of Los Angeles, California.** Dudek was retained by Los Angeles Department of Water and Power to prepare an Avoidance and Protection Plan for Air Raid Siren No. 150. The resource is eligible for the NRHP and California Register of Historical Resources and as a City of Los Angeles Historic-Cultural Monument under Criteria A/1/1 and C/3/3 for its association with World War II and Cold War military infrastructure, and is a historical resource under CEQA. Ms. Lyons is serving as a senior architectural historian, providing quality assurance/quality control for the Post-Construction Monitoring Report. (2021–Present)

**City of Coronado Historic Context Statement and Historic Resources Inventory, City of Coronado, California.** Dudek is currently in the process of preparing a historic context statement and historic resources inventory survey for all properties at least 50 years old within City of Coronado limits. Following current professional methodology standards and procedures developed by the California Office of Historic Preservation and the National Park Service, Dudek developed a detailed historic context statement for the City that identifies and discusses the important themes, patterns of development, property types, and architectural styles prevalent throughout the City. Dudek also conducted a reconnaissance-level survey of all properties within City limits that are at least 50 years old to identify individual properties and groupings of properties (i.e., historic districts) with potential for historical significance under City Criterion C (properties that possess distinctive characteristics of an architectural style; are valuable for the study of a type, period, or method of construction; and have not been substantially altered). This document also developed registration requirements for resource evaluation that are specific to Coronado, in consideration of both historical significance and integrity requirements. Acting as senior architectural historian, reviewed and wrote sections of the historic context statement. (2019–Present)

**Downtown Buena Park Project, Historical Resources Technical Report and Impacts Analysis (for CEQA), Buena Park, Orange County, California.** Merlone Geier is proposing to redevelop a vacant Stiles & Robert Clements-designed Sears building at the Buena Park Downtown Mall in the City of Buena Park. The redevelopment plans include residential units, amenity and lobby space, and parking. The Sears building, auto center, and surrounding parking lots that were historically connected to the Downtown Buena Park Mall. Following the initial construction of the Sears building in 1959, the Buena Park Downtown Mall was expanded in multiple stages throughout a 50-year development period. To determine if the project would have a significant impact on historical resources, Dudek evaluated the entire Buena Park Downtown Mall for historical significance and integrity in consideration of National Register of Historic Places (NRHP) and California Register of Historical Resources (CRHR) designation criteria. Dudek determined that the Buena Park Downtown Mall, including the Sears building, did not appear eligible under any NRHP or CRHR designation criteria due to a lack of significant historical associations, architectural merit, and compromised integrity and the Project would result in a less than significant impact to historical resources under CEQA. Ms. Lyons served as a senior architectural historian, providing quality assurance/quality control for the Historical Resources Technical Report. (2021)

**8730 Sunset Boulevard Billboard Project Historical Resource Assessment Report, City of West Hollywood, California.** The 8730 Sunset Boulevard Billboard Project consists of installation and operation of a new billboard and associated façade improvements at the existing “Sunset Towers” building. The Sunset Towers building at 8730 Sunset Boulevard was constructed in the 1950s and 1960s over the course of two phases. A smaller building was constructed on the northern portion of the parcel between 1957 and 1959. Dudek was retained by the City of West Hollywood to complete this Historic Resource Assessment, an intensive-level evaluation, as part of the environmental review of the proposed project in compliance with CEQA. This study included an intensive survey of the exterior of the Sunset Towers building by a qualified architectural historian; building development and archival research; development of an appropriate historic context; and evaluation of the Sunset Towers building for historical significance and integrity in consideration of NRHP, CRHR, and City of West Hollywood



Cultural Heritage Preservation Ordinance designation criteria. Ms. Lyons served as a senior architectural historian and main author of the Historic Resource Assessment of the Sunset Towers building. (2021)

## Select Recent Experience

**Athens Park Aquatics Facility Renovation Project Historical Resource Treatment Plan and Impacts Analysis (Secretary of the Interior’s Standards Compliance Review), Los Angeles, California.** The County of Los Angeles proposed a rehabilitation project at the Aquatics Facility at Athens Park, a park determined eligible for listing in the National Register of Historic Places. Ms. Lyons worked with the architect for the project on two phases of work. In advance of the development of project plans, Ms. Lyons prepared a Preservation Plan for the Aquatics Facility to establish the opportunities and constraints for the rehabilitation. After project plans were prepared, Ms. Lyons reviewed the project plans for compliance with the Secretary of the Interior’s Standards for Rehabilitation and made recommendations for modifications to ensure the project plans complied with the Standards. (2020–2021)

**676 Moss Street Redevelopment Site Historical Resource Evaluation and Impacts Analysis (for CEQA), Chula Vista, California.** Ms. Lyons completed a historical resource evaluation and impacts analysis for a redevelopment site of industrial buildings in Chula Vista. She also identified the potential for the project to cause indirect and/or cumulative impacts to adjacent historical resources. (2020)

**North Beach Historic District National Register of Historic Places Nomination and Plaque Program, San Clemente, California.** Founded in 1925, San Clemente was one of the first new master-planned towns in California. The North Beach Historic District occupies a prominent location as the historic northern tip of the City of San Clemente along North El Camino Real. The North Beach Historic District was listed on the National Register of Historic Places at the local level of significance under Criterion A in the areas of Community Planning and Development and Entertainment/Recreation. The district features five historic contributing resources designed in the Spanish Colonial Revival style with a period of significance between 1927-1946. Ms. Lyons served as project manager for the National Register of Historic Places nomination of the district and a concurrent, Certified Local Government (CLG) grant-funded project with the City of San Clemente to create content and designs for signage across the district and informational postcards featuring historic images. (2020)

**City of West Covina Historic Resources Survey and Context Statement Update, West Covina, California.** The City of West Covina was primarily developed during Southern California’s post-World War II housing construction boom. The City of West Covina Historic Context Statement, 1945-1978, and Historic Resource Inventory Update report presented the results of a project that updated the City’s existing historic context statement (HCS); reviewed properties previously identified for historical significance; and identified, citywide, properties from 1945 to 1978 that have historical significance. The City of West Covina commissioned this project to inform and implement their General Plan Policy updates. The information generated from the Historic Resources Inventory (HRI) Update was intended to assist in the identification of potential historical resources dating from 1945 to 1978. Ms. Lyons served as the project manager. She co-conducted the fieldwork, co-authored the historic context statement, documented potential historic resources on inventory forms using a Microsoft Access database, prepared the final survey report, performed project management duties, and presented findings at public hearings. (2018–2019)

**Angel’s Landing Redevelopment Site Historical Resource Evaluation and Impacts Analysis (for CEQA), Los Angeles, California.** Ms. Lyons worked with attorneys for the development team behind Angel’s Landing, a proposed 64-story skyscraper and a 42-story high-rise located between Bunker Hill and the Historic Core of downtown Los Angeles. Ms. Lyons prepared a historic resource evaluation and impacts analysis for the vacant project site. The evaluation involved the identification of historical resources in the vicinity and assessment of impacts on numerous adjacent historical resources and historic districts listed on the NRHP, including Angel’s Flight funicular railway and the Broadway Theater and Commercial District. (2018–2020)

**Artisan, 1520 Ivar Avenue Redevelopment Site Historical Resource Evaluation and Impacts Analysis (for CEQA), Los Angeles, California.** The Artisan project involved the construction of a 25-story residential and commercial tower in the center of Hollywood. The project site was mostly a vacant surface parking lot. Ms. Lyons verified that the project site did not contain historic resources and would not have a significant impact on adjacent properties identified as historic resources. Ms. Lyons prepared a Historic Resource Evaluation Report and analysis of project impacts using the Secretary of the Interior's Standards. She also participated in public outreach with Hollywood Heritage. (2018–2021)

**Sixth Street Park, Arts, River, and Connectivity (PARC) Improvements Project Historical Resource Technical Report, Los Angeles, California.** The Sixth Street Viaduct Division of the City of Los Angeles Department of Public Works, Bureau of Engineering, in coordination with the California Department of Transportation, proposed to create a public space in areas beneath and around the new Sixth Street Viaduct between Mateo Street to the west and US-101 to the east in the City of Los Angeles. Ms. Lyons worked with the GPA's team of environmental consultants to prepare Section 106 and CEQA technical reports and Cultural Resources Chapter for the project Environmental Impact Report. (2017)

**SurveyLA, Los Angeles Citywide Historic Context Statement and Field Surveys, Los Angeles, California.** Los Angeles's citywide historic context statement provides the framework for identifying and evaluating the City's historic resources. The document, created as part of SurveyLA, identifies important themes in the City's history and development. Ms. Lyons conducted research and authored several themes within the context. She was the lead author for two themes addressing architectural styles and all sub-themes. She also contributed to themes developed for two ethnic and cultural communities in Los Angeles: "African-Americans in Los Angeles" and "Jews in Los Angeles." Ms. Lyons also led fieldwork surveys for multiple phases of the SurveyLA project. (2015–2019)

**City of West Hollywood Commercial Properties Historic Context Statement and Historic Resources Survey (Intensive), West Hollywood, California.** The City of West Hollywood completed the Commercial Survey as an update to the initial citywide survey conducted in 1986. The Commercial Survey focused on commercial, institutional, and industrial structures built before 1975. The project was completed in the fall of 2016. Ms. Lyons conducted research, co-conducted fieldwork, co-authored the historic context statement, documented potential historic resources on inventory forms using the RuskinARC database, and prepared the final survey report. She presented multiple times at public meetings for the project. In conjunction with the project, a new website was developed. The project was awarded the California Governor's Historic Preservation Award and the California Preservation Foundation Preservation Design Award. (2015–2017)

**National Chicano Moratorium National Register of Historic Places Nomination, Los Angeles, California.** The Chicano Moratorium was a movement of Chicano anti-Vietnam war activists that built a coalition of Mexican-American groups to organize opposition to the Vietnam War, primarily marches. The legacy of the movement, which highlighted the unequal treatment of Mexican-Americans in multiple facets of American society, was the creation of community organizations that advocated for health and educational services. Ms. Lyons prepared a Multiple Property Documentation form and individual National Register of Historic Places nominations for five buildings and sites associated with the National Chicano Moratorium anti-Vietnam War protests. Sites included routes for marches held in 1969 and 1970, the Silver Dollar Café (site of Ruben Salazar's death), Brown Beret headquarters, and East Los Angeles Free Clinic. (2015–2018)



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# **Appendix B**

DPR Form for 1222 Brunswick Avenue

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6z

Review Code \_\_\_\_\_ Other Listings \_\_\_\_\_  
Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 19 \*Resource Name or #: (Assigned by recorder) 1222 Brunswick Avenue

**P1. Other Identifier:** \_\_\_\_\_

\*P2. Location:  Not for Publication  Unrestricted

\*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Los Angeles Date 1966 T 1S; R 12W;  of  of Sec 12; San Bernardino B.M.

c. Address 1222 Brunswick Avenue City South Pasadena Zip 91030

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_\_\_\_, \_\_\_\_\_mE/ \_\_\_\_\_mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN: 531-100-70-22

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The subject property at 1222 Brunswick Avenue is located on the east side of Brunswick Avenue, between Monterey Road and Kollie Avenue, at the end of the block on one parcel on a sloping street (APN: 531-100-70-22). The property presently contains one single-family residence constructed in 1946 and an attached garage on the rear of the property (Exhibits 1 and 2). The parcel is slightly angled off the cardinal directions. The primary (west) elevation of the property is oriented toward Brunswick Avenue. See continuation sheet page 4.

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single-family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession #): View Facing southwest, 10/20/22

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1946 (ParcelQuest)

\*P7. Owner and Address: Claudette T. Roberts  
1222 Brunswick Avenue  
South Pasadena, CA 91030

\*P8. Recorded by: (Name, affiliation, and address) [name, last name], Dudek, Katie Ahmanson  
38 N. Marengo Avenue  
Pasadena, CA 91101

\*P9. Date Recorded: 10/20/22

\*P10. Survey Type: (Describe) Intensive

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")  
Dudek. 2022. Historical

Resource Evaluation

Report: 1222 Brunswick Avenue, South Pasadena, CA. Prepared November 2022 for the City of South Pasadena.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



# BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # (Assigned by recorder) 1222 Brunswick Avenue \*NRHP Status Code 6z

Page 2 of 19

B1. Historic Name: \_\_\_\_\_

B2. Common Name: \_\_\_\_\_

B3. Original Use: single-family residence B4. Present Use: single-family residence

\*B5. Architectural Style: N/A

\*B6. Construction History: (Construction date, alterations, and date of alterations)

See continuation sheet page 4.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

Attached garage.

B9a. Architect: n/a b. Builder: "Day Labor"

\*B10. Significance: Theme Post-World War II Residential Development Area South Pasadena  
Period of Significance 1945-1965 Property Type single-family residence Applicable Criteria N/A  
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

As a result of the survey and research of historic built environment resources, one residence over 45 years of age was identified on the subject property, 1222 Brunswick Avenue. Section 5 (Significance Evaluation) provides a detailed physical description of the property and the associated evaluation of historic significance under all applicable local designation criteria and integrity requirements. See continuation page 5.

B11. Additional Resource Attributes: (List attributes and codes) \_\_\_\_\_

\*B12. References:

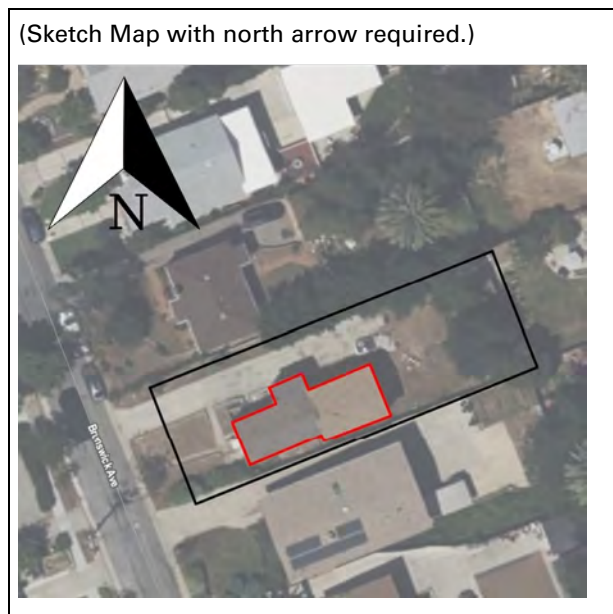
See continuation sheet page 16.

B13. Remarks:

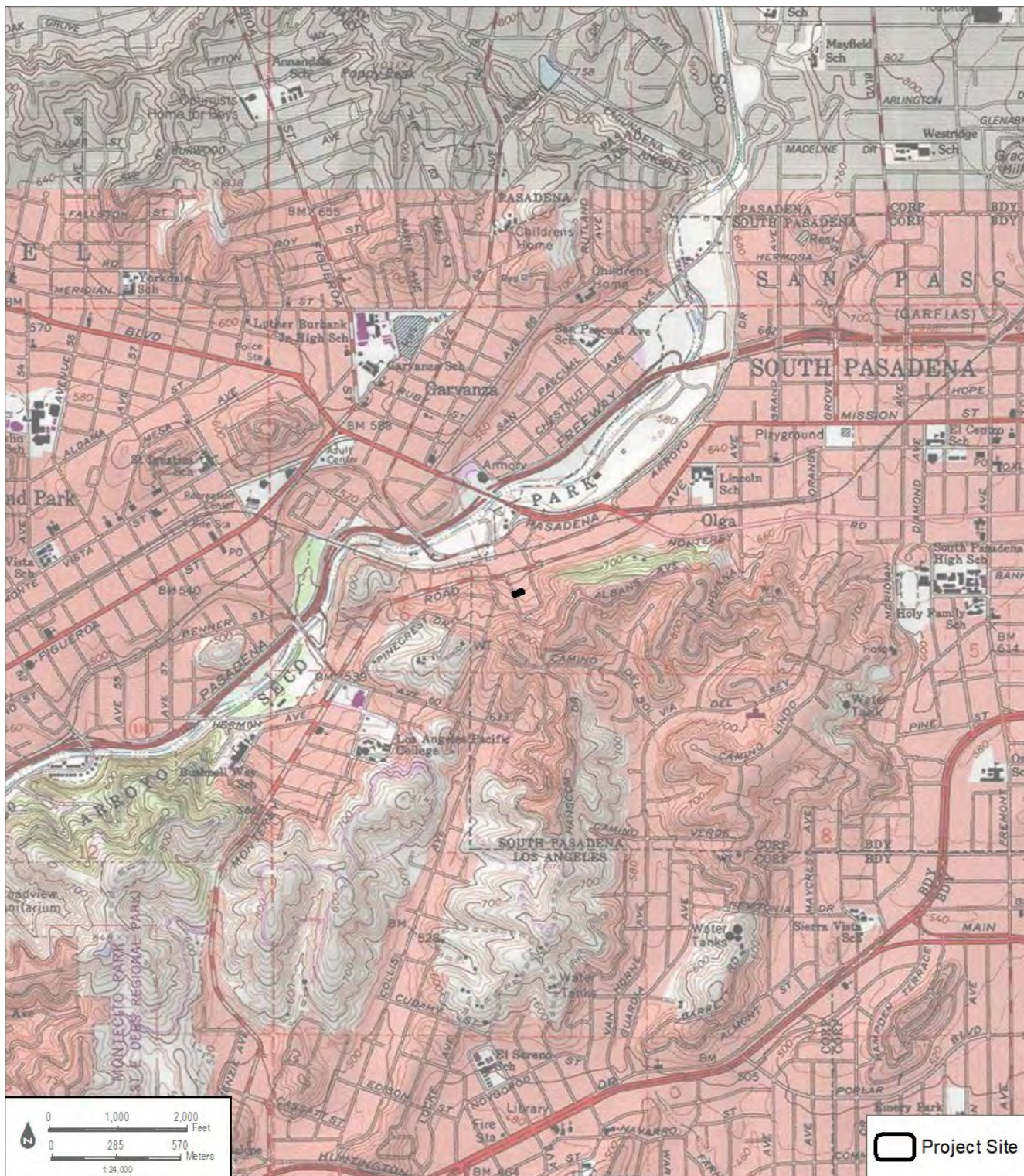
\*B14. Evaluator: Katie Ahmanson, MHC

\*Date of Evaluation: 11/22/2022

(This space reserved for official comments.)







## CONTINUATION SHEET

Property Name: 1222 Brunswick Avenue

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**\*P3a. Description (continued from page 1):**

The residence's south elevation extends nearly to the lot line with an adjacent residential property that is developed with a one-story single-family residence, and the north elevation faces a concrete driveway stretching from Brunswick Avenue to an attached garage on the basement level of the north elevation. Additionally, a concrete path leads from the sidewalk to the main entrance and concrete porch steps centered on the primary (west) elevation. Landscaping includes open space for plantings fronting both the primary (west) and rear (east) elevation, as well as shrubs and hedges along the southern, eastern, and northern boundaries of the property. Low concrete masonry unit retaining walls line the front yard.

Residence (1946)

The residence is irregular in plan and one story in height with a basement-level garage and no distinct style. The building has a front-facing gable roof clad with composition tiles and open eaves with exposed rafters. Cladding is a combination of aluminum siding in a horizontal clapboard pattern on the primary (west) elevation that continues on the north and south elevations, as well as smooth stucco cladding on the north, south, and rear (east) elevations. Fenestration across all elevations is primarily grouped with aluminum sash and a combination of casement, double-hung, sliding, fixed, and jalousie windows with some windows covered by metal security bars. The symmetrical primary (west) elevation features a main entry door obscured by a metal security door and flanked by two aluminum sash double-hung windows with metal security bars (Exhibit 1). A concrete pathway from the sidewalk and a perpendicular concrete pathway from the driveway each lead to concrete steps that provide access to the main entrance. Additionally, the driveway leads from Brunswick Avenue to an attached garage on the basement level of the north elevation with a two-car length wood-panel garage door. An exterior wood stairway with a wood railing leads to a second-story wood balcony with metal-bar railings above the garage. Additionally, the second-story balcony includes a rear entry door obscured by a metal security door (Exhibit 2).

**\*B6. Construction History (continued from page 1):**

The following exterior alterations were identified through a review of property record research and/or during the survey conducted on October 20, 2022:

- 1946: construct three-room dwelling (Permit #14225)
- 1946: electric wiring and fixtures (Permit #14996)
- 1946: sewer (Permit #14794)
- 1946: driveway (Permit #14225)
- 1947: plumbing (Permit #16201)
- 1952: frame garage and add to kitchen (Permit #27230)
- 1959: addition of bedroom and bath above garage (Permit #41625)
- 1959: electric wiring (Permit #41945)
- 1959: plumbing and furnace (Permit #41710)
- 1962: reroof (Permit #50308)
- 1963: sewer lateral replacement (Permit #51431)



## CONTINUATION SHEET

Property Name: 1222 Brunswick Avenue

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1964: drive approach (Permit #56490)

2006: replacing some siding (Permit #14733)

Date unknown: all windows replaced (observed)

Date unknown: balcony and exterior staircase addition (observed)

Date unknown: added window security bars (observed)

Date unknown: added security door (observed)

### \*B10. Significance (*continued from page 2*):

#### Historical Overview of South Pasadena

Early inhabitants of South Pasadena were members of the Tongva Nation known as the Hahamog-na tribe. Native dwellings were known to have lined the Arroyo Secco stream from South Pasadena to where it meets the Los Angeles River in the south. Spanish explorer, Gaspar de Portola, first contacted the Hahamongnas in 1770 in South Pasadena. Accompanying Portola was Father Junipero Serra, who established the San Gabriel Mission a few miles east of South Pasadena in 1771. Spanish settlers forced assimilation on the bands of tribes that comprised the Tongva Nation, and by the nineteenth century, the native population had significantly decreased due to disease.

After Mexico gained independence from Spanish Imperial rule in 1821, the South Pasadena area became part of Mexico and was granted to Juan Mariné by Governor Figueroa in 1834. The land became known as Rancho San Pascual and later became part of the cities of Pasadena, South Pasadena, and Altadena. By 1873, the land was sold to the San Gabriel Orange Grove Association and subdivided for the creation of South Pasadena.<sup>1</sup>

In 1888, Donald McIntyre Graham became South Pasadena's first mayor and the city was incorporated with a population of just over 500 residents. The arrival of the Los Angeles and San Gabriel Valley Railroad connected South Pasadena to its neighboring cities and encouraged local development. By 1887, the city's business district had grown to twice its original size. During the late nineteenth, South Pasadena rose in prominence as a resort town following the success of the Raymond Hotel, a large hotel for "snow birds" opened in 1886. The Raymond was Southern California's most popular resort until it was destroyed by fire in 1895.<sup>2</sup>

Throughout the early twentieth century, South Pasadena continued to grow, reaching a population of about 1,000 residents in 1900, and by 1910 reaching a population of 4,600 residents. The city's population growth corresponded with the rise of the Arts and Crafts movement and the impact of this major design movement is visible in the construction of bungalow and Craftsman-style

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<sup>1</sup>. "Rancho San Pascual," Social Studies Fact Cards. Accessed October 27, 2022.  
<https://factcards.califa.org/ran/sanpascual.html>

<sup>2</sup>. "City of South Pasadena Citywide Historic Context Statement," HRG. December 16, 2014. Page 68.  
<https://www.southpasadenaca.gov/home/showpublisheddocument/7332/636721709083330000>

## CONTINUATION SHEET

Property Name: 1222 Brunswick Avenue

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residences in neighborhoods developed during this period. Additionally, several residential tracts were subdivided during the early twentieth century, and the city's primary business shifted from tourism to construction. By the 1920s, most of South Pasadena had been developed with single-family residential neighborhoods, and pressure to continue development led to the passage of a comprehensive zoning ordinance in 1923 to allow for the construction of multi-family residential buildings. The introduction of automobiles in the 1920s inspired further growth and the city experienced another population boom resulting in 13,700 residents by 1930.<sup>3</sup>

The Great Depression during the 1930s saw many of the city's former tourist attractions close and construction activity began to decrease. However, the Works Projects Association stimulated construction with the distribution of federal funds, and in 1936 and 1937 construction began on the South Pasadena Post Office and High School, respectively. Industrial development was focused on facilitating the war effort during the cusp of World War II. Nineteen light manufacturing facilities were constructed in South Pasadena to engage in war work<sup>4</sup>

After World War II, a massive wave of migration and building boom occurred throughout California. To plan its growth, South Pasadena appointed its first planning commission in 1947. Changes included increased zoning for industrial buildings and allowed apartments and hotels to build up to seven stories. Further development of two subdivisions saw the post-war population of South Pasadena rise from 16,953 in 1950 to 22,300 by 1970.

However, the proposed construction of the Long Beach (710) Freeway through South Pasadena had a significant impact on the community and provoked preservation efforts in the city due to its construction route that would relocate or demolish hundreds of single-family homes.<sup>5</sup> The ongoing debate about the proposed freeway continued for decades. The state approved its Master Plan of Freeways and Expressways in 1959. Plans for the 710 Freeway were adopted by 1964, and the route of the freeway was set to pass through the middle of South Pasadena, dividing its communities and neighborhoods. Impact studies and legal battles continued through the 2020s.<sup>6</sup>

### History of the Subject Property

City of South Pasadena Directories and City Building Permits indicate the subject property was owned and occupied by four inhabitants between 1946 and 1974. According to the original Building Permit filed on February 13, 1946, the single-family residence at 1222 Brunswick Avenue was constructed by "Day Labor" for the owner, S. J. Barge.

<sup>3</sup>. HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 50-52.

<sup>4</sup>. HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 53-54.

<sup>5</sup>. HRG, "City of South Pasadena Citywide Historic Context Statement." Page 54.

<sup>6</sup>. HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 201-202; Damien Newton.

"Pasadena and Caltrans Reach Agreement to Relinquish 710 Freeway Stub to City." Streets Blog LA. Los Angeles, CA. May 4, 2022. <https://la.streetsblog.org/2022/05/04/pasadena-and-caltrans-reach-agreement-to-relinquish-710-freeway-stub-to-city/>.



## CONTINUATION SHEET

Property Name: 1222 Brunswick Avenue

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S. J. Barge was listed as the first owner of the property on its original Building Permit (Permit #14225); however, research could not determine how long he remained at the property. Barge was not noted in any City Directories, Historic Newspapers, or the City's Historic Context Statement, and research could not reveal any more information about him. However, by 1952, City Building Permit #27230 listed different next owners of the property, Sam and Frances Ivy.

Sam Ivy was born in Keo, Arkansas in 1910.<sup>7</sup> Research indicates that he worked as a gas station attendant in Nashville, Tennessee in 1931 before becoming a clerk in Los Angeles, California in 1938.<sup>8</sup> It is unclear when Sam and Frances married, but by 1940, Sam was drafted for World War II and his draft card indicated he was married to Frances and had been working for the Southern Pacific Rail Road while living in Los Angeles.<sup>9</sup> Additionally, the 1940 U.S. Census shows that Frances was working as a retail clerk.<sup>10</sup> The couple moved to the subject property in 1952 and remained for three years before leaving in 1955 and renting the property to T. B. Ballantyne for a year.<sup>11</sup>

Ballantyne was listed in the City Directory as living at the residence from 1955 to 1956. However, no further information was discovered about the resident. Likewise, research was unable to determine who occupied the property after Ballantyne, but Historic Newspapers indicate that the residence was vacant and listed for sale from 1958 to 1959.<sup>12</sup>

By 1959, Walter G. and Camille Burger were listed as the owners of the property on City Building Permit #41625. While the City Directory indicates that Walter was an inspection supervisor, research did not reveal much information about their lives while living at the subject property. The couple was listed as living at the residence as late as 1974, but it is unclear how long they remained on the property.<sup>13</sup>

The South Pasadena Review newspaper listed the house for sale in 1983.<sup>14</sup> In 1985, a Fictitious Business Name Statement in the paper associated the address with Andrew Hsu, who ran his business, Hong-An Construction Co., from the subject property.<sup>15</sup> Research could not determine how long Hsu remained on the property. It is unclear who occupied the residence between 1985 and 2022. Darryl Roberts currently owns it.

<sup>7</sup> U.S. Census Bureau. "1940 United States Federal Census". Los Angeles, California. 1940.

<sup>8</sup> United States. "City Directories, 1822-1995". Nashville, Tennessee. 1931; United States. "City Directories, 1822-1995." Los Angeles A-L, California. 1938.

<sup>9</sup> United States. "World War II Draft Cards Young Men 1940-1947." 1940.

<sup>10</sup> "1940 United States Federal Census." U.S. Census Bureau.

<sup>11</sup> Catt, Nick, South Pasadena Public Library (personal communication, October 25, 2022).

<sup>12</sup> Ibid.

<sup>13</sup> Ibid.

<sup>14</sup> *South Pasadena Review*, "Open Houses". 1983.

<sup>15</sup> *South Pasadena Review*, "Fictitious Business Name Statement". 1985.

## CONTINUATION SHEET

Property Name: 1222 Brunswick Avenue

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### Owner/Occupant Timeline

The following section presents a timeline of the owners and/or longer-term occupants of the subject property since the construction of the residence. Names with an asterisk next to them represent occupants who were also owners of the subject property (non-renters).

1946: S. J. Barge  
1952-1955: Sam and Frances Ivy  
1955-1956: T. B. Ballantyne\*  
1958-1959: Vacant/unknown  
1959-1974: Walter G. and Camille Burger  
1983: Vacant/unknown  
1985: Andrew Hsu  
1985-2022: Unknown  
2022: Darryl Robert

### Relevant Theme: Post-World War II Residential Development (1945-1965)

By the end of World War II in 1945, most of the land within South Pasadena had been developed with twenty-four tracts subdivided for residential development during the Post-War period. Seven mid-sized tracts each contained about thirty to fifty parcels, while smaller subdivisions contained about thirteen parcels or less. Most tracts were developed by individual developers with over half developed around newly constructed cul-de-sacs.

Throughout the post-war period, residential styles reflected the designs of preeminent Modernists such as Irving Gill, Rudolph Schindler, and Richard Neutra. In South Pasadena, Gill designed the Miltimore House in 1911 (listed on the NRHP and South Pasadena Landmark #11); Schindler designed the Grokowsky House in 1928 (South Pasadena Landmark #28); and Neutra designed the Wilkins House in 1949. Each of these architects came to California to practice Modern styles of architecture and were inspired by Frank Lloyd Wright. Additionally, several University of South California (USC) School of Architecture graduates who lived and worked in South Pasadena had a great influence on the post-war regional Modern style that emerged there. These included Whitney Smith, Wayne Williams, Conrad Buff, Donald Hensman, Miller Fong, Carl Maston, Bob Ray Offenhauser, and Clinton Ternstrom.

Much of the architecture during this period exhibited a range of design philosophies developed from iterations of regional styles that combined Regional Modernism with elements of the International style and natural materials. Indoor and outdoor spaces were emphasized with visible

## CONTINUATION SHEET

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connections such as patios and porches, and an organic palette further reflected an emphasis on nature.<sup>16</sup>

The magazine Arts & Architecture issued new ideas in residential design that promoted modern styles and modes of construction. In 1945, the publication commenced its Case Study House program to highlight the post-war innovation in residential architecture and design. Over thirty projects were designed by some of California's most prominent architects bringing national attention to modern design in California. The program lasted until 1962 and inspired much of the post-war residential design during this period. Residential design in South Pasadena during the postwar period reflected reflect the styles and ideas prevalent in the publication and Case Study, rejecting Craftsman for more Mid-Century Modern styles.<sup>17</sup>

Furthermore, inspired by new construction materials and techniques refined during the war, many architects focused on producing low-cost mass-produced designs. Prefabricated housing systems, also known as manufactured homes or modular homes, were introduced to the market during the post-war period. After the war, the Consolidated Vultee Aircraft manufacturing plant converted to the construction of houses from planes. Henry Dreyfuss, a noted industrial designer in South Pasadena, collaborated with architect Edward Larabee Barnes to create the only prefabricated home built in an airfield factory, known as the "Fleet" home on 325 Monterey Road (South Pasadena Landmark #51). However, the popularity of prefabricated houses was short-lived because the cost of land acquisition, facilities and utility installation was too high for most developers to sustain a successful manufacturing business.<sup>18</sup> The City of South Pasadena Citywide Historic Context Statement clarified that Registration Requirements for significance under the theme of Post World War II Residential Development (1945-1965) require a resource to be meet the following to be eligible:

- As an excellent example of residential development or for its association with an important developer, representing a known association with the growth of the City during this period.
- For its association with a significant person. Note that a property is not eligible under this criterion if its only justification for significance is that it was owned or used by a person of importance. Properties eligible under this criterion are those associated with a person's productive life, reflecting the time period when he or she achieved significance.
- As an excellent example of a particular multi-family residential property type. South Pasadena retains significant examples of multi-family property types from this period of development.
- As having character, interest or value as a part of the heritage of the community.
- A collection of residences from this period that are linked geographically may be eligible under this theme as a historic district. Residences from this period may also

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<sup>16</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 169-175.

<sup>17</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 207-208.

<sup>18</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 208-209.



## CONTINUATION SHEET

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contribute to historic districts that are significant under other contexts and themes. Historic districts are evaluated locally under Criterion 11 (significant as a distinguishable neighborhood or area whose components may lack individual distinction). Historic districts from this period are unified aesthetically by plan, physical development, and architectural quality, and represent post-World War II planning principles.<sup>19</sup>

### NRHP/CRHR Evaluation of Significance

The subject property at 1222 Brunswick Avenue (APN: 531-100-70-22) does not meet any of the criteria for listing in the NRHP or CRHR, either individually or as part of an existing historic district, as demonstrated below.

*Criterion A/1: That are associated with events that have made a significant contribution to the broad patterns of our history.*

To be eligible for listing in the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of the history of South Pasadena.

Archival research did not find any associations with events that have made a significant contribution to the broad patterns of our history. The subject property was completed in 1946 during a time of increased development in South Pasadena. After the end of World War II in 1945, the city experienced a population increase as more people migrated to California. South Pasadena appointed its first planning commission in 1947 and proceeded to update the city's zoning for industrial buildings, multi-family residences, and hotels. Additionally, further development of two residential subdivisions resulted in a population increase from 16,953 in 1950 to 22,300 by 1970. Historic Aerials reveal the subject property simply followed development trends as a single-family residence constructed in the area during a period of increased development.

The subject property is located in a portion of South Pasadena that experienced steady residential growth through the mid-twentieth century. Substantial residential development in the area took place surrounding it since World War II. The subject property does not appear to be associated with any significant developmental trends, and research did not reveal any significant association with any other historical events significant in the history of South Pasadena. The subject property is a single-family residence with no distinct style on the east side of Brunswick Avenue, between Monterey Road and Kolle Avenue. The residence first appeared in Historic Aerials in 1948 when the surrounding residential neighborhood was partially developed. There is no indication that the construction of this specific residence is associated with a pivotal movement in the history of the neighborhood or city. It was neither the first nor the last of its type and was merely following a continuous pattern of residential development that continued through the twentieth century. The

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<sup>19</sup> HRG, "City of South Pasadena Citywide Historic Context Statement." Pages 218-219.

## CONTINUATION SHEET

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property is not known to be directly associated with events that have made a significant contribution to the history of South Pasadena; therefore, the property does not appear eligible under NRHP Criterion A or CRHR Criterion 1.

*Criterion B/2: That are associated with the lives of persons significant in our past.*

To be found eligible under Criterion B/2 the property has to be directly tied to an important person and the place where that individual conducted or produced the work for which he or she is known. Archival research failed to indicate any such direct association between individuals that are known to be historic figures at the national, state, or local level and the subject property. The earliest ownership information indicated that the property was owned by S. J. Barge. However, research was unable to reveal anything about the resident and it is unknown how long he resided at the property. City Directory research indicated that the next residents were Sam and Frances Ivy from 1952 to 1955 before T. B. Ballantyne moved to the property from 1955 to 1956. Historic newspaper research revealed that the residence remained vacant for a year from 1958 to 1959, before Walter G. and Camille Burger purchased the property in 1959. They remained at the subject property until about 1974. The house was next listed for sale in 1983 before it was associated with Andrew Hsu and his business, Hong-An Construction Co., in 1985. However, research could not determine how long Hsu remained on the property. It is unclear who occupied the residence between 1985 and 2022, but today Darryl Roberts owns it. Research did not uncover information that would indicate these owners were important to the past. None of the residents appear in the City of South Pasadena Citywide Historic Context Statement or other records of notable residents in the history of the city. Due to a lack of identified significant associations with important persons in history, the subject property does not appear eligible under NRHP Criterion B or CRHR Criterion 2.

*Criterion C/3: That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.*

The subject property is a single-family residence built in 1946 and does not embody distinctive characteristics of a type, period, or method of construction. The residence does not reflect an architectural style. Additionally, the subject property has been substantially altered. Alterations include an addition to the kitchen in 1952; the addition of a bedroom and bathroom above the garage in 1959; reroofing in 1962; and the replacement of some siding in 2006. Likewise, observed alterations include window replacements (date unknown); an added security door (date unknown); added window security bars (date unknown); and the addition of a balcony and exterior staircase (date unknown).

An individual or firm may be defined as a master based on scholarship recognizing its work as unique or trendsetting within the discipline. The original building permit filed on February 13, 1946, lists the contractor as "Day Labor". There is no known architect or firm associated with the design or development of the subject property and there is no indication it is associated with a significant method of construction. There is no indication that the property is a distinguished

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Property Name: 1222 Brunswick Avenue

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example of work that was designed by an architect or firm recognized as unique in the field of single-family residential development; therefore, the property is not significant under this aspect of NRHP Criterion C and CRHR Criterion 3.

Additionally, the subject property does not possess high artistic values. The last component of Criterion C, representing a significant and distinguishable entity whose components may lack individual distinction, is the most applicable to districts. The subject property does not appear likely to contribute to a potential historic district.

*Criterion D/4: That have yielded, or may be likely to yield, information important in prehistory or history.*

Criterion D was not considered in the evaluation, because it generally applies to archeological resources. The buildings on the subject property are not significant under Criterion D of the NRHP or Criterion 4 of the CRHR as a source, or likely source, of important historical information nor do they appear likely to yield important information about historic construction methods, materials, or technologies.

### City of South Pasadena Evaluation of Significance

The subject property does not meet any of the criteria for listing by the City of South Pasadena as demonstrated below.

1. *Its character, interest or value as a part of the heritage of the community;*

As discussed in NRHP/CRHR Criteria A/1, archival research did not reveal that the subject property contains any character, interest, or value as a part of the heritage of the community. Research did not indicate that the residence is associated with the heritage of the community. It was merely following a continuous pattern of residential development that continued through the twentieth century and does not reflect significant parts of South Pasadena's heritage and post-World War II residential development.

2. *Its location as a site of a significant historic event;*

As discussed in NRHP/CRHR Criteria A/1, archival did not reveal that the subject property was associated with a significant historic event in South Pasadena. The residence was considered under the theme of Post-World War II Residential Development (1945-1965) and was found ineligible against the city's registration requirements for the theme.



## CONTINUATION SHEET

Property Name: 1222 Brunswick Avenue

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3. *Its identification with a person, persons or groups who significantly contributed to the culture and development of the city, state or the United States;*

As discussed in NRHP/CRHR Criteria B/2, research does not indicate that the subject property is associated with a person, persons or groups who significantly contributed to the culture and development of South Pasadena, California, or the United States.

4. *Its exemplification of a particular architectural style of an era of history of the city;*

As discussed in NRHP/CRHR Criteria C/3, the subject property does not exemplify a particular architectural style of Post-World War II residential development in South Pasadena.

5. *Its exemplification of the best remaining architectural type in a neighborhood;*

As discussed in NRHP/CRHR Criteria C/3, the subject property does not exemplify the best remaining architectural type in a neighborhood as it does not reflect a specific architectural type.

6. *Its identification as the work of a person or persons whose work has influenced the heritage of the city, the state or the United States;*

As discussed in NRHP/CRHR Criteria C/3, the subject property is not the work of a person or persons whose work has influenced the heritage of South Pasadena, California, or the United States. According to building permits, the property was constructed by S.J. Barge and "Day Laborers;" neither of whom is recognized as a person whose work has influenced the heritage of the city, state, or the United States.

7. *Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials, or craftsmanship;*

As discussed in NRHP/CRHR Criteria C/3, the subject property does not embody elements of outstanding attention to architectural design, engineering, detail design, detail, materials, or craftsmanship.

8. *It is part of or related to a square, park or other distinctive area that should be developed or preserved according to a plan based on a historic cultural or architectural motif;*

The subject property has not been determined to be part of or related to a square, park or other distinctive area that should be developed or preserved according to a plan based on a historic cultural or architectural motif. Therefore, it is recommended not eligible for listing under City Criterion 8.

9. *Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;*

The subject property is located within the northmost section of the City of South Pasadena in a residential neighborhood on the east side of Brunswick Avenue, between Monterey Road and Kelle

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Avenue. It is a non-descript residential property located mid-block in a residential area. The residence does not possess a distinct architectural style or characteristics as a unique visual feature in the area. Therefore, it is not sited in a unique location or contain a singular physical characteristic representing an established and familiar visual feature of the neighborhood and is not eligible under City Criterion 9.

10. *Its potential of yielding information of archaeological interest;*

As discussed in NRHP/CRHR Criteria D/4, the subject property was not considered in the evaluation, because it generally applies to archeological resources. The residence on the subject property is not significant under City Criterion 10 as a resource that has the potential to yield information of archaeological interest.

11. *Its significance as a distinguishable neighborhood or area whose components may lack individual distinction.*

The subject property was not considered in the evaluation of City Criterion 11, because it generally applies to a neighborhood or area. The subject property does not appear likely to contribute to a potential historic district. The residence on the subject property is not significant under City Criterion 11 as a distinguishable neighborhood or area whose components may lack individual distinction.

### Integrity Discussion

Integrity is the ability of a property to convey its significance. Historic properties either retain integrity (that is, convey their significance) or they do not. Within the concept of integrity, there are seven aspects or qualities that define integrity. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association. In order to retain historic integrity, "a property will always possess several, and usually most, of the aspects."<sup>20</sup> The subject property's period of significance is its construction date of 1946.

The residence at 1222 Brunswick Avenue retains integrity of location. The location of the building never shifted nor was it relocated; it maintains the physical location where the residence was constructed in 1946.

The subject property does not retain integrity of design. Major alterations include an addition to the kitchen (1952); the addition of a bedroom and bathroom above the garage (1959); reroofing (1962); the replacement of some siding (2006); window replacements (date unknown); an added security door (date unknown); added window security bars (date unknown); and the addition of a balcony and exterior staircase (date unknown). Because the property has been heavily altered since

<sup>20</sup> "How to Apply the National Register Criteria for Evaluation bulletin," Andrus, Patrick W. and Rebecca H. Shrimpton. 2002. [https://www.nps.gov/nr/publications/bulletins/nrb15/December 5, 2018](https://www.nps.gov/nr/publications/bulletins/nrb15/December%205,%202018).

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its construction in 1946, it no longer represents the intentions of the original work. Therefore, the property does not retain integrity of design.

The subject property lacks integrity of setting. From historical aerial findings discussed, upon the residence's completion in 1946, the surrounding neighborhood was partially developed with single-family residences and the area southwest of the residence remained undeveloped. The subject property as well as the other homes remain intact; however, the scale and massing of surrounding development has changed and has diminished overall integrity of setting. Therefore, the property has diminished integrity of setting.

The subject property does not retain integrity of materials. Since its construction in 1946, many alterations have occurred, including an addition to the kitchen in 1952; the addition of a bedroom and bathroom above the garage in 1959; reroofing in 1962; the replacement of some siding in 2006; window replacements (date unknown); an added security door (date unknown); added window security bars (date unknown); and the addition of a balcony and exterior staircase (date unknown). These changes have diminished the property's overall integrity of materials from its date of construction (1946). Therefore, the property does not retain integrity of materials.

The subject property does not retain integrity of workmanship. The physical evidence of the craftsmanship required to create the 1946 residence has been diminished since its construction. The essential features, such as its height, and stucco siding remain. However, the property no longer represents its original design because of the major alterations to the building that have obscured the original workmanship of the property. Therefore, the property does not retain integrity of workmanship.

The subject property does not retain integrity of feeling. Because the property does not retain integrity of design, materials, and workmanship it no longer conveys a sense of a particular period. The present physical features are the result of multiple alterations since it was constructed in 1946. Although minimal changes to the neighborhood over time have preserved its ability to convey the feeling of one residence in a low-scale, single-family home neighborhood, the property no longer conveys its historic character. Therefore, the subject property does not retain integrity of feeling.

Finally, the subject property does not retain integrity of association. The residence was constructed in 1946 by day laborers and was inhabited by several occupants between 1946 and 1974. The property is not associated with an important historic event, architectural style, or builder. Therefore, there is no historic association. Therefore, the subject property does not retain integrity of association.

In summary, the subject property at 1222 Brunswick Avenue retains integrity of location but does not retain integrity of design, setting, materials, workmanship, feeling, or association. Therefore, the property does not maintain the requisite integrity to warrant significance in the NRHP, CRHR, or as a historic resource in the City of South Pasadena.



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### Summary of Evaluation Findings

In conclusion, the subject property does not appear eligible for listing in the NRHP, CRHR, or as a historic resource in the City of South Pasadena due to a lack of important historical associations, lack of architectural merit, and lack of integrity. As such, the subject property is not considered a historical resource for the purposes of CEQA. The recommended California Historical Resource Status Code for the property is 6Z (found ineligible for the NRHP, CRHR, or local designation through survey evaluation).

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### Exhibit 1. Primary (west) and north elevations, view looking east.



Source: Dudek, IMG\_1419



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Exhibit 2. North and rear (east) elevations, view looking southwest.



Source: Dudek IMG\_011



# Design Review Board Agenda Report

ITEM NO. 4

**DATE:** May 4, 2023

**FROM:** Angelica Frausto-Lupo, Community Development Director  
Matt Chang, Planning Manager

**PREPARED BY:** Braulio M. Madrid, Associate Planner

**SUBJECT:** **Project No. 2531-DRX – A request for a Design Review Permit for a 1,358 sq. ft. two-story addition and exterior remodel of an existing single-family residence. The residence, after addition, will measure a total of 4,374 sq. ft. The subject property is located at 1411 Oak Street (Assessor’s Parcel Number: 5319-006-015). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities).**

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## Recommendation

Staff recommends that the Design Review Board (DRB):

1. Find the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1 (Existing Facilities).
2. Approve Project No. 2531-DRX, subject to the conditions of approval.  
**(Attachment 1)**

## Background

The subject site at 1411 Oak Street was first developed in 1918 with a 2,751 sq. ft. single-family dwelling with a 275 sq. ft. basement. The permit history on record shows various building permits for interior remodels, reroofing, installation of mechanical equipment's, and electrical permits. Per the applicant's project narrative, the previous property has had various unpermitted additions made in the early 1990's constructed by the previous owner (**Attachment 2**). The unpermitted additions are on the ground level and second floor. The existing home remains with no specific architectural style as it has been significantly modified from its original form. The property is not registered as a historic resource at either the national, state, or local level.

In June of 2022, the property obtained approvals for an Accessory Dwelling Unit (ADU), attached to a newly proposed garage.

### **Project Description**

The applicant is requesting the approval of a Design Review Permit (DRX) for the remodel and expansion of an existing single-family residence. A Design Review Permit is required for the proposed project pursuant to section 36.410.040(B)(1)(a) of the South Pasadena Municipal Code (SPMC), as the proposed project is for a 1,358 sq. ft. addition. As part of the proposal, the applicant will be constructing a new attached carport, a new pool and spa, and exterior remodel of an existing house.

### **Project Analysis**

The existing residence is a two-story single-family dwelling with three major unpermitted additions. The project proposes to demolish and rebuild any unpermitted additions, to be in compliance with the SPMC. The project is proposing to legalize a 265 sq. ft. unpermitted addition, a 500 sq. ft. addition to the west of the first floor, and an 858 sq. ft. second story addition.

The new floor plan proposes a one-bedroom suite, one and a half bathrooms on the ground level with a shared common area of a living room, family room, dining room, a kitchen and a music room. The second floor will include a master suite with a private master bathroom and closet, three additional bedrooms, a loft area, a laundry room, and a shared balcony facing Oak Street. In total, the residence will measure 4,374 sq. ft.

Additionally, the project proposes an attached 370 sq. ft. car port, a 720 sq. ft. pool, a 49 sq. ft. spa, a 300 sq. ft. rear patio cover, and exterior facade remodel. In total, the property will have two covered parking spaces as required by code.

### *Zoning Code Compliance & Development Standards*

The subject property is located within the Residential Single-Family (RS) zoning district and carries a land use classification of low density residential, which is intended for areas appropriate for development of single-family homes. The purpose of Residential Zoning District General Development Standards (SPMC, Section 36.220.040) is to ensure that development of single-family homes are suitable and compatible with the applicable development standards. Residential Development Standards from SPMC sections were applied to the proposed project. The following table list the project's conformance with applicable development standards.



**Residential Single-Family (RS) Development Standards Compliance**

Standard	Requirement	Existing	Proposed
<b>Minimum Lot Size</b>	10,000 SF	17,751 SF	No Change
<b>Lot Coverage</b>	40% (7,100 SF max. allowed)	17% ( 3,050 SF)	18% (3,293 SF)
<b>Floor Area Ratio (FAR)</b>	35% (6,212 SF max. allowed)	15% (2,751 SF)	26% (4,699 SF)
<b>Building Height</b>	35 feet max.	Approximately 21 ft.	25 ft.
<b>Off-Street Parking</b>	2-Covered Spaces	One on-site garage parking	2-Covered Spaces
<b>Front Setback</b>	35 ft. maximum	40 ft. 6 in	40 ft. 6 in
<b>West Side Setback</b>	10% of lot width, 10 foot minimum	23 feet 4 in	10 feet
<b>East Side Setback</b>	10% of lot width, 10 foot minimum	33 ft.	16 ft. 7 in
<b>Rear Setback</b>	25 feet	Approx. 85 feet	70 ft.

*Design Review*

The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s adopted design standards and guidelines. The applicant is proposing a craftsman-style architectural design that is an existing style to the neighborhood. Below is a colored elevation of the newly proposed façade.



The project complies with the design guidelines to take consideration of building placement, as well as the scale and massing of the existing homes in the neighborhood. Details of the building materials and colors can be referenced in the development plans (**Attachments 3 and 4**).

As described in the Design Guidelines, single-family residential homes should take special consideration of the placement, proportions, and sizes of proposed windows and doors. *“Exterior building materials on a new residence should complement that of the surrounding neighborhood. Use of materials should be compatible in the number of materials used, the quality of the materials, and the use of architectural detail and ornamentation.”*

The proposed design with proposed materials and finishes are compatible with the surrounding neighborhood as it incorporates craftsman style architecture. A craftsman-style home can be identified by some character defining features such as but not limited to; its porches at front are either full or partial width of the façade, porch roof supported by columns, exposed rafter tails, and the façade treatments.

The project proposes the use of asphalt shingles roofing material, hardie fiber cement shingle siding, and stone veneer for exterior finishes. All windows include decorative trim, with a mix of wood and aluminum clad. The concrete porch at the front façade will be renovated to include large stucco columns, normally seen in traditional craftsman style homes.

The neighborhood is comprised of a variety of single and two-story residences as well as multifamily properties that vary in size. (**Attachment 5**) The project complies with all applicable setbacks and height limitations, massing, and as such, the proposed project is in compliance with the City’s adopted design standards and guidelines.

## **Environmental Analysis**

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities.

## **Findings**

### *Design Review Required Findings*

In order to approve a Design Review application, the Design Review Board shall first find that the design and layout of the proposed development:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The project site has a General Plan land use designation of Low Density Residential. General Plan policies for this land use designation specify this land use category for single-family dwelling uses—as part of this review only one dwelling unit is proposed, as such, it remains consistent with the General Plan. The proposed project meets design guidelines adopted by the city, in that the proposed new single-family residence will be of a similar massing as the surrounding buildings.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project involves an addition to an existing single-family residence compliant to the zoning code and design guidelines. The residence will continue to be utilized as a single-family dwelling. Therefore, the use and density would be consistent with the surrounding neighborhood. The project is located within a neighborhood that is comprised of single and two-story homes as well as multifamily properties, for this reason, the remodeled home will be compatible with the surrounding neighborhood. As proposed and conditioned, the project would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,**

The project site is surrounded by adjacent one-story and two-story single-family residential structures of varying architectural styles but mostly consistent with craftsman-styled homes. The new proposed architectural design of the project, craftsman-style, was deliberately selected in consideration of the existing composition of the neighborhood. Lastly, the project will replace the existing deteriorating home and add a design that will maintain the attractive, harmonious, and orderly development of the neighborhood.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The proposed project has been designed with the consideration to its residents of the home and provides adequate indoor and outdoor space. The proposed



project uses materials and colors to enhance the architecture style and will remain appealing with a reasonable level of maintenance.

### **Alternatives to Consider**

If the Design Review Board does not agree with Staff's recommendation, the following options are available:

1. The Design Review Board may Approve the project with modified/added conditions; or
2. The Design Review Board may Continue the project to address comments discussed; or
3. The Design Review Board may Deny the project if it finds that the project does not meet the City's requirements.

### **Public Noticing**

A Public Hearing Notice was published on April 21, 2023 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on April 20, 2023. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

### **Next Steps**

If the Design Review Board approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

### **Attachments**

1. Conditions of Approval
2. Project Narrative
3. Project Plans and Material Board
4. Window and Door brochures
5. Neighborhood Images

# **ATTACHMENT 1**

## **Conditions of Approval**

## CONDITIONS OF APPROVAL Design Review

**PROJECT NO. 2531 – DRX  
1411 Oak Street (APN: 5319-006-015)**

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**The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on May 4, 2023:**

**Design Review** for a 1,358 sq. ft. two-story addition and exterior remodel of an existing single-family dwelling. The residence, after addition, will measure a total of 4,374 sq. ft.

*Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.*

### **PLANNING DIVISION:**

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission/Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P5. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P6. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.



- P7. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
  - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
  - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
  - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P8. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, per the landscape plans, prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition.
- P9. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Community Development Director. The final landscape plans shall provide, but not limited to the following:
- a. Screening of all above ground equipment from public view.
  - b. Incorporating any required Tree Removal Permit permits.
- P10. A Tree Removal Permit shall be issued by Public Works for the removal of any trees. All requirements and conditions of the permit shall be met prior to initiating grading and shall continue in effect as described in the permit or until project is complete.
- P11. A construction sign with contact information for the contractor shall be posted on-site during construction. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P12. The construction plan shall show that all lighting on the site will be directed downward and shielded to prevent off-lighting on adjacent properties.
- P13. Any recreation facilities, including, but not limited to, swimming pool, spa, or sports court shall be submitted for review and approval under a separate review process.

**BUILDING DIVISION:**

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division

- for review prior permit issuance.
- B3. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
  - B4. Park Impact Fee to be paid at the time of permit issuance.
  - B5. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
  - B6. Plans shall be prepared under the supervision of an architect licensed in the State of California or a civil or structural engineer registered in the State of California. Each sheet of the plans and the cover sheet of the calculations is to be stamped and signed by the person preparing the plans. 5353 and 6730 of the State Business and Professions Code
  - B7. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
  - B8. Demolition permit is required for any existing permitted or unpermitted buildings which are to be demolished.
  - B9. Separate plan review and permit is required for the swimming pool and spa.

**PUBLIC WORKS DEPARTMENT:**

- PW1. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. This includes all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW2. The applicant shall obtain City approvals for any modification or revisions to the approval of this project.
- PW3. The applicant shall provide a copy of a current Title Report (effective date shall be within the last 60 days). The applicant shall show all easements (if any) per the Title Report to the satisfaction of the Public Works Department. The applicant shall identify all on-site existing City easements. Any conflict with and/or presence of existing easements must be addressed.
- PW4. All sheets shall be stamped, if necessary, and signed by the appropriate persons in responsible control of plans, specifications, and instruments of service per Business and Professions Code Section 5536.2.
- PW5. If applicable, the applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- PW6. If applicable, the applicant shall provide a covenant for unconditional and indefinite maintenance of any private improvements within the public right-of-way. This covenant

- shall be reviewed and approved by the Public Works Department and the City Attorney and a fully executed covenant, in recordable form, shall be provided to the City prior to obtaining a permit.
- PW7. Oak Street shall be videotaped before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The applicant will be responsible to restore the road to its original condition before the start of construction. These video tapes shall be submitted to the City before the start of the project and immediately upon completion of the project.
- PW8. The applicant shall be responsible for posting project signs at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of weather-resistant durable material. The applicant shall provide a 24-hour emergency contact number for a designated person who will be responsible for maintaining the public right-of-way during all stages of construction until the project is complete.
- PW9. The applicant shall provide a Construction Management Plan to the Public Works Department for review and approval prior to issuance of permits. The Construction Management Plan shall include, but not be limited to, types of proposed construction activities, an on-site staging plan, haul route, construction schedule, and shall indicate a contractor parking location. All vehicles including workers' vehicles shall not be parked on the streets or public right-of-way. An offsite parking with a shuttle service should be provided if necessary.
- PW10. The applicant shall provide a construction schedule for each stage of any major activities (i.e. demolition, grading, material delivery, etc.) and the timing of special access if necessary, as it relates to site staging, traffic, and access. If there are any changes to the construction schedule, the applicant shall submit a revised schedule to the Public Works Department.
- PW.11 Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. At least 48 hours advance notice shall be given to all impacted businesses and residents for street and lane closures. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed within the time limits specified in SPMC Chapter 19A. Approved street closures require Portable Changeable Message Signs (PCMS) to be placed in advance of the project site.
- PW12. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc
- PW13. The applicant shall post temporary "No Parking " signs along the entire perimeter of the property prior to the start of any construction. The temporary "No Parking" signs shall be covered at the end of each working day and uncovered at the start of the following working day prior to any construction activity.



- PW14. Prior to issuance of a grading permit, the applicant shall provide an erosion control plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, use of appropriate BMPs, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas.
- PW15. The applicant shall provide a detailed drainage plan signed and stamped by a CA licensed civil engineer. Cross lot drainage is not permitted. Provide a copy of the approved plan from the Building & Safety Department.
- PW16. Temporary bins (low boy), if used, shall be “roll off” style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain a dumpster permit from the Public Works Department.
- PW17. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW18. The applicant shall show all existing and proposed trees, including size and species, and indicate their disposition. If any trees are to be removed, the applicant shall apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on the site, the applicant shall note on the plans “no trees to be removed” and provide methods of protecting existing trees during construction.
- PW19. The applicant shall show the existing grade, location, and dimensions of all existing and proposed conditions within the public-right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- PW 20. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer. In addition, existing sidewalk and driveway approaches that are below current City standards shall be replaced regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW21. If applicable, the applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department depending on the condition of the existing concrete pavement adjacent to the property.

- PW22. The applicant shall provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- PW23. The applicant shall show all utility poles adjacent to the properties and note to protect-in-place.
- PW24. The applicant shall show the location of all existing utilities (i.e. sewer lateral and water utility service lines) on adjacent street(s), as well as location and size of all existing or proposed utility service lines serving the property. Show all utility points of connection (POC).

**FIRE DEPARTMENT:**

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code and NFPA standards.
- FD2. Fire Sprinklers are required. Submit a separate plan to City for approval.
- FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD4. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD5. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD6. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code.
- FD7. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD8. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD9. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD10. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
  - 1) An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work

were being built new today, an automatic sprinkler system would be required under this code;

- 2) Any addition to an existing building which has fire sprinklers installed;
  - 3) Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
  - 4) Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
  - 5) An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.
- FD11. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
- FD12. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD13. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
  - 2) In each room used for sleeping purposes.
  - 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels



and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- FD14. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).
- FD15. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD16. Carbon monoxide alarms combined with smoke alarms shall comply with all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms.
- FD17. Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, an automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft<sup>2</sup> (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD18. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustibles materials have accumulated.
  - 2) In every storage and construction shed.
  - 3) Where special hazards exist included but not limited to, the storage and use of combustible and flammable liquids.
- FD19. For any questions regarding water meter, please contact Public Works at 626-403 7240.
- FD20. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

## **ATTACHMENT 2**

### Project Narrative



## 1411 Oak Project Narrative

Dear South Pasadena Planning Department,

The proposed project at Oak consists of a whole house transformation and addition to the existing main floor along with a new 2<sup>nd</sup> floor addition. The original 1929 home has seen significant modification throughout the years and has been neglected on general maintenance. The home experienced major modifications in 1990's when several unpermitted 2<sup>nd</sup> floor additions were built on the front of the home. There was also a large single-story addition that was built within 5" of west property line. We are proposing removing all illegal additions and rebuilding to the new building code standards.

The original residence's architectural defining elements are no longer detectable, and it is hard to define an architectural classification to the home. All the original windows have been replaced with retrofit vinyl windows. The roof structures and porches have been rebuilt and reconfigured. The existing 2<sup>nd</sup> floor flat roof has a HVAC roof pack on the roof that is visible from the street. We are proposing the new pitched roof design to conceal the HVAC equipment in the new attic space.

We have chosen to transform the property into a Craftsman inspired residence. We felt the large street front property lent itself to the long defining roof forms of the craftsman style. The proposed design intends to re-create a new front porch feature and Porte cochere to compliment the craftsman architectural style. The new entry porch will be built in the location of the original front porch. Our proposal will address the windows and replace with appropriate window style and detailing. The new design will introduce exposed rafter tail over hangs and outlookers that are prominent to the craftsman style architecture. We will introduce large corbel overhangs and new roof massing on the proposed 2nd floor addition that create a cohesive composition to the front façade.

The new homeowner is the son of the previous owner. He grew up in the home and helped his dad as a teenager construct some of the un-permitted work done over the years. His father recently passed away and his mother wanted to stay on the property. He decided to take on the task to clean up the property and invest in a rebuild to create a new family home for his young family. We are currently finishing up the construction of an ADU to allow for multi-generational living on a single-story home for his mom to stay on the property.

Thank you for your consideration.

Sincerely,

Patrick Szurpicki





Studio Build CA is where your vision becomes reality. Studio Build CA owner, Patrick Szurpicki, is a licensed architect with over 20 years of experience in residential home design. He knows the client relationship is as important as the final project. Studio Build CA works to provide concierge style home design, aiding their clients through architecture & interior design along with comprehensive product, material, and color selections. Feel confident choosing a team that knows how to get your project built with beauty and efficiency.

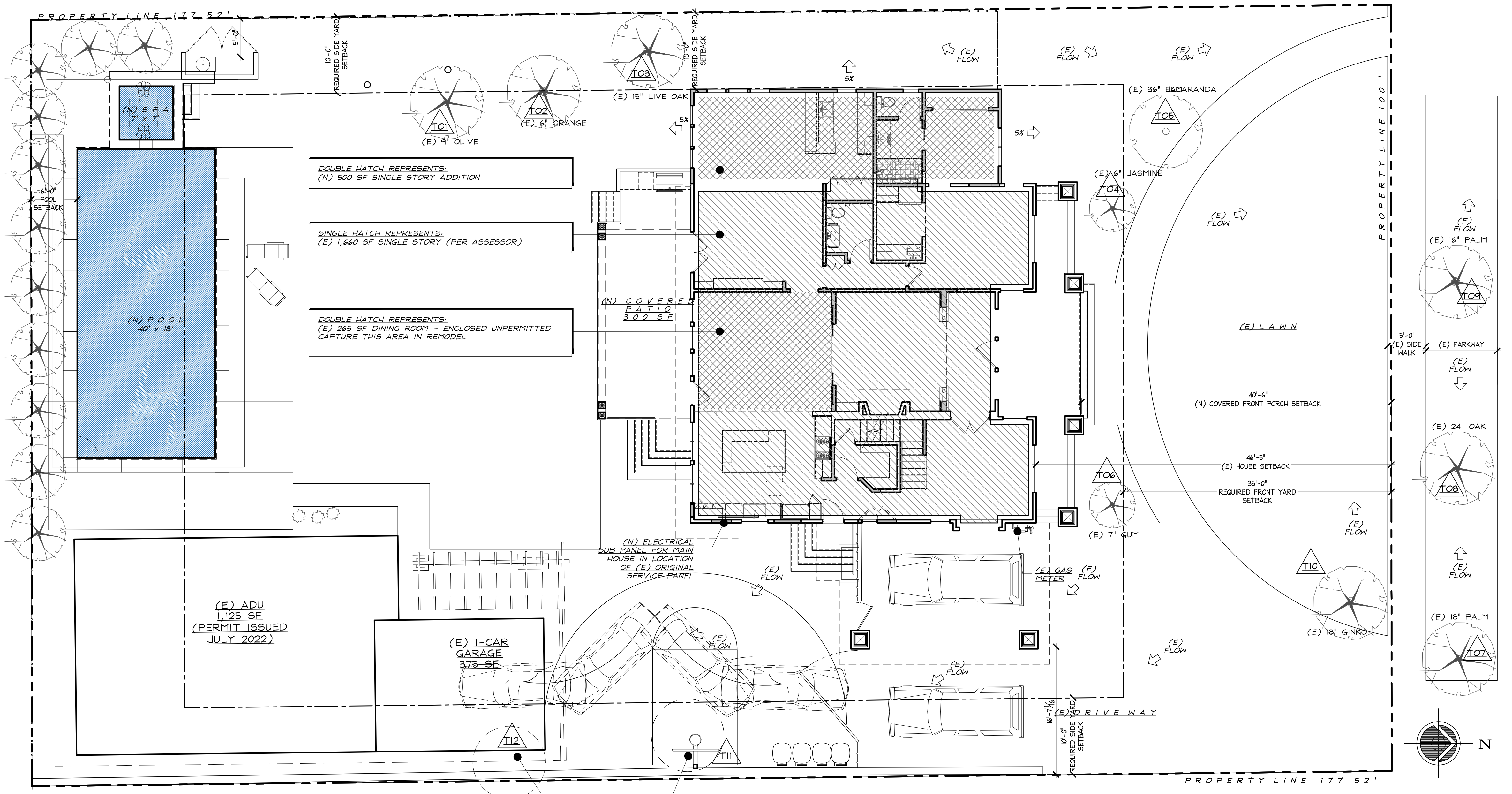
## **ATTACHMENT 3**

Project Plans and Material Board



PROJECT INFO	
PROJECT TITLE:	REMODEL & ADDITIONS
CLIENT:	AZAT FAMILY
PROJECT ADDRESS:	1411 OAK STREET SOUTH PASADENA, CA 91030
A.I.N.:	5319-006-015
LEGAL:	ONEONTA PARK LOT 11 BLK A
ARCHITECT:	PATRICK SZURPICKI LICENSE: C-30750 206 WINCHESTER AVE ALHAMBRA, CALIFORNIA 91801

DRAWING SHEETS	
ARCHITECTURAL	
A1.1	(N) SITE & PROJECT INFO
A1.2	(E) SITE & TOPO BOUNDARY SURVEY
A1.3	(E) SITE PHOTOS
A1.4	PROPOSED SITE SECTION & ADJ HOMES
A1.5	PROPOSED FRONT FACADE RENDERINGS & MATERIAL BOARD
A1.6	PROPOSED REAR FACADE RENDERINGS
A1.7	PRELIMINARY LANDSCAPE PLAN
A2.1	(E) CONDITIONS PLAN 1st floor & (E) CONDITION PHOTOS
A2.2	(E) CONDITIONS PLAN 2nd floor & (E) CONDITION PHOTOS
A2.3	(E) ROOF PLAN & PHOTOS
A2.4	DEMOLITION PLAN 1st floor (ORIGINAL STRUCTURE)
A2.5	DEMOLITION PLAN 2nd floor (ORIGINAL STRUCTURE)
A3.1	(N) 1ST FLOOR PLAN
A3.2	(N) 2ND FLOOR PLAN
A3.3	(N) ROOF PLAN
A4.1	(N) & (E) NORTH ELEVATION
A4.2	(N) & (E) EAST ELEVATION
A4.3	(N) & (E) SOUTH ELEVATION
A4.4	(N) & (E) WEST ELEVATION
A4.5	BUILDING SECTIONS (NOT SUBMITTED 2-14-23)
A6.1	WINDOW SCHEDULE & DETAILS



PROJECT DESCRIPTION	
1.	DEMOLISH (E) ALL UNPERMITTED STRUCTURES
2.	(N) FIRST FLOOR ADDITION 500 SF
3.	REMODEL (E) FIRST FLOOR
4.	(N) 2ND FLOOR ADDITION 858 SF
5.	(N) COVERED PATIO OUTDOOR LIVING AREA 300 SF
6.	(N) POOL (SEPARATE PERMIT)

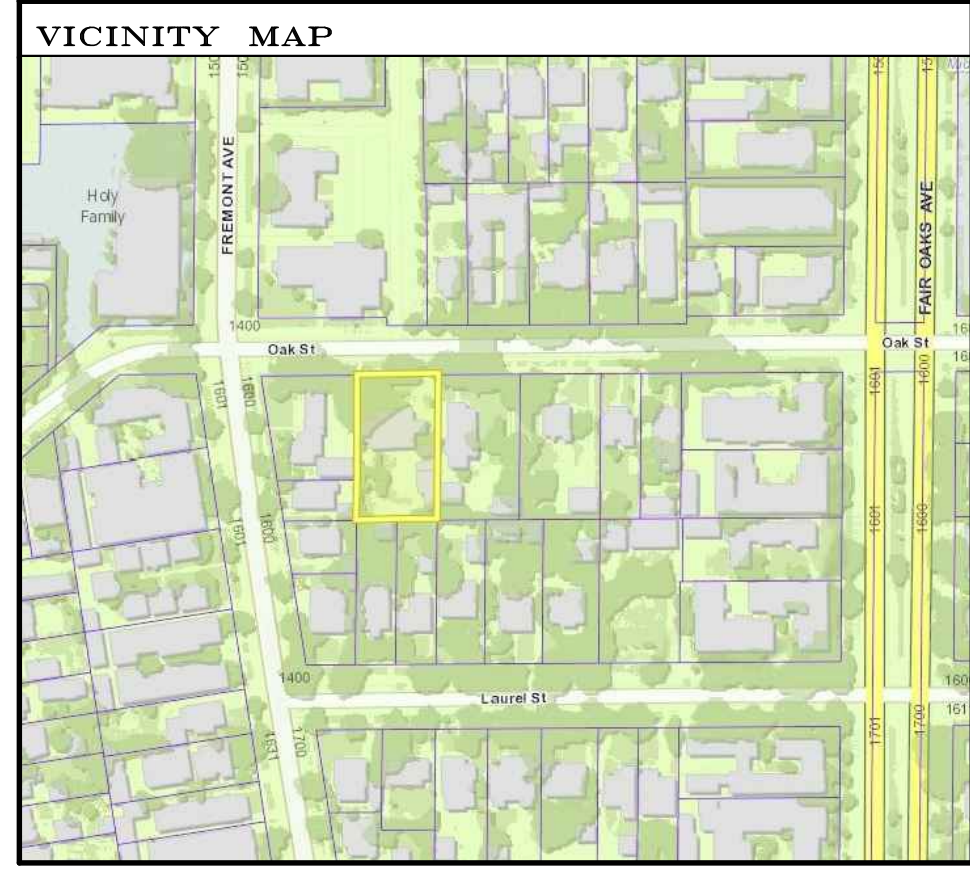
LIVABLE BUILDING AREA	
EXISTING MAIN FLOOR: (PER ASSESSORS)	1,660 SF
EXISTING 2ND FLOOR: (PER ASSESSORS)	1,091 SF
EXISTING DINING ROOM (NOT ORIGINAL SF)	265 SF
<b>NEW ADDITIONS</b>	
PROPOSED MAIN FLOOR:	500 SF
PROPOSED 2ND FLOOR EAST WING:	512 SF
PROPOSED 2ND FLOOR WEST WING:	346 SF
<b>TOTAL:</b>	<b>4,374 SF</b>

MAX FLOOR AREA ALLOWED:	
17,751 SF x 35% =	6,213 SF

FAR BREAKOUT, LIVABLE FLOOR AREA:	
PROPOSED 2 STORY RESIDENCE	4,374 SF
EXISTING ADU LIVABLE AREA	1,125 SF
ATTIC > 7'	0 SF
HIGH CEILINGS > 14'	0 SF
<b>TOTAL PROPOSED (FAR)</b>	<b>5,499 SF</b>

MAX LOT COVERAGE ALLOWED:	
17,751 SF x 40% =	7,100 SF

LOT COVERAGE BREAKOUT:	
PROPOSED LOT COVERAGE AREA:	
PROPOSED RESIDENCE 1ST FLOOR FOOTPRINT	2,163 SF
NEW PORTE COCHERE	370 SF
(E) ADU LIVABLE AREA	1,125 SF
(E) ADU COVERED ENTRY PORCH	145 SF
(E) DETACHED GARAGE FOR ADU	375 SF
EXISTING FRONT COVERED PORCH	175 SF
PROPOSED FRONT COVERED BALCONY	115 SF
NEW COVERED REAR PATIO	300 SF
<b>TOTAL PROPOSED LOT COVERAGE</b>	<b>4,768 SF</b>



TREE SCHEDULE				
SYM.	CONDITION	SCIENTIFIC & COMMON NAME	SIZE (DIAMETER INCHES)	PROPOSED STATUS
T01	EXIST	Olea europaea OLIVE	9"	RETAIN
T02	EXIST	Citrus sinensis ORANGE	6"	RETAIN
T03	EXIST	Quercus agrifolia COAST LIVE OAK	15"	RETAIN
T04	EXIST	Murraya paniculata ORANGE JASMINE	6"	RETAIN
T05	EXIST	Ulmus parvifolia CHINESE ELM	36"	RETAIN
T06	EXIST	Sideroxylon lanuginosum GUM "BULLY" TREE	7"	RETAIN

TREE SCHEDULE				
SYM.	CONDITION	SCIENTIFIC & COMMON NAME	SIZE (DIAMETER INCHES)	PROPOSED STATUS
T07	EXIST	Washingtonia filifera CALIFORNIA FAN PALM	18"	RETAIN
T08	EXIST	Quercus agrifolia COAST LIVE OAK	24"	RETAIN
T09	EXIST	Washingtonia filifera CALIFORNIA FAN PALM	16"	RETAIN
T10	EXIST	Ginkgo biloba GINKGO TREE	18"	RETAIN
T11	EXIST	Magnolia grandiflora SOUTHERN MAGNOLIA	16"	REMOVE
T12	EXIST	Juglans nigra BLACK WALNUT	13"	REMOVE

1411 OAK ST  
DRB PACKAGE - (N) SITE PLAN/TITLE SHEET

SOUTH PASADENA, CA

SCALE: 1/8" = 1'-0" A1.1  
04/18/2023





IN THE CITY OF SOUTH PASADENA  
**SITE PLAN**

BEING A SURVEY OF LOT 11, BLOCK 'A', ONEONTA PARK,  
 MAP BOOK 4, PAGE 93-94, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA  
 MICHAEL A. DUFFY P.L.S. 5113  
 MARCH 2022

OAK STREET

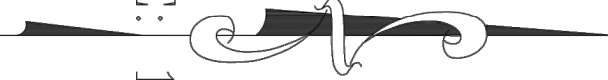
A.C. PAVT

21.00'

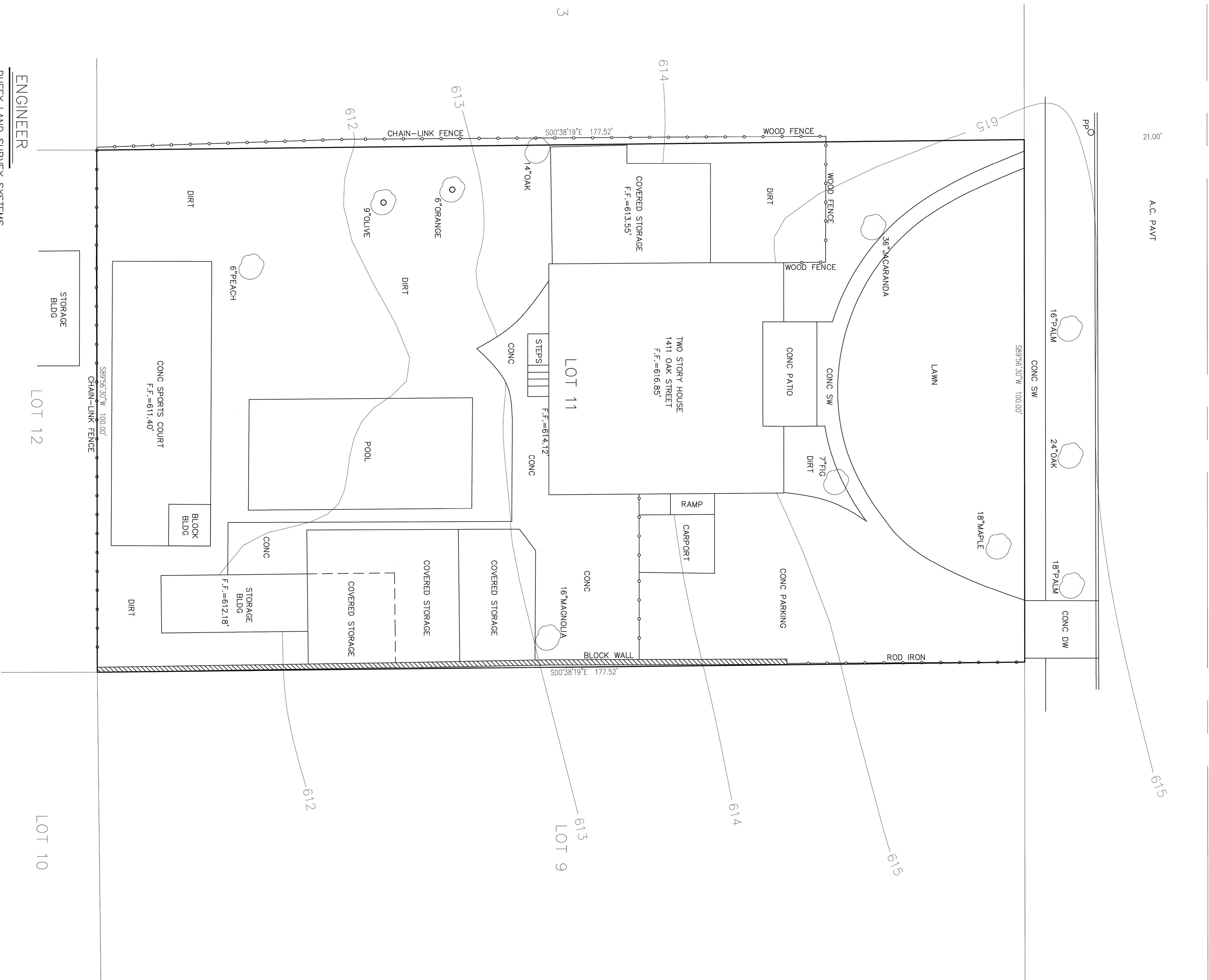
A.C. PAVT

21.00'

SCALE: 1"=10'



SCALE: 1/8"= 1'-0" A1.2  
 04/18/2023



**ENGINEER**

DUFFY LAND SURVEY SYSTEMS  
 MICHAEL A. DUFFY  
 5828 WILLA DR  
 RANCHO CUCAMONGA, CA 91737  
 (909) 210-7013  
 PLS5113@GMAIL.COM

**APN**

5319-006-015

**BENCHMARK**

CURB FLOWLINE AT CONC DRIVEWAY BEING 614.78' ASSUMED

**ACREAGE**

17,751 SQUARE FEET  
 0.41 ACRES NET

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS' ACT, AT THE REQUEST OF THE PATRICK SZURPICKI IN MARCH, 2022.

MICHAEL A. DUFFY P.L.S. 5113



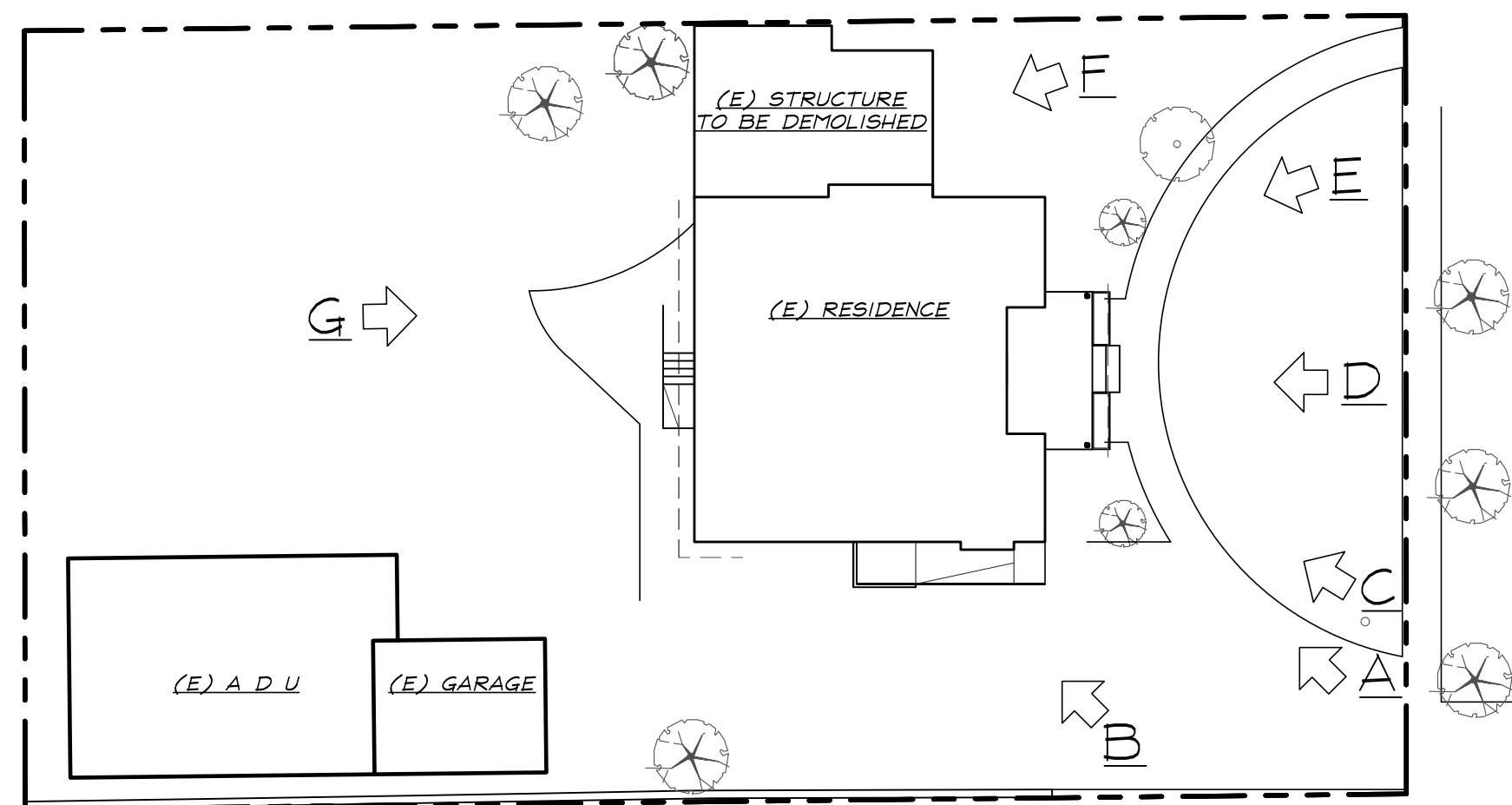
1411 OAK ST

SOUTH PASADENA, CA

DRB PACKAGE - (E) SITE SURVEY PLOT PLAN







INDEX KEY (NOT TO SCALE)



(E) EAST EXTERIOR ELEVATION - B



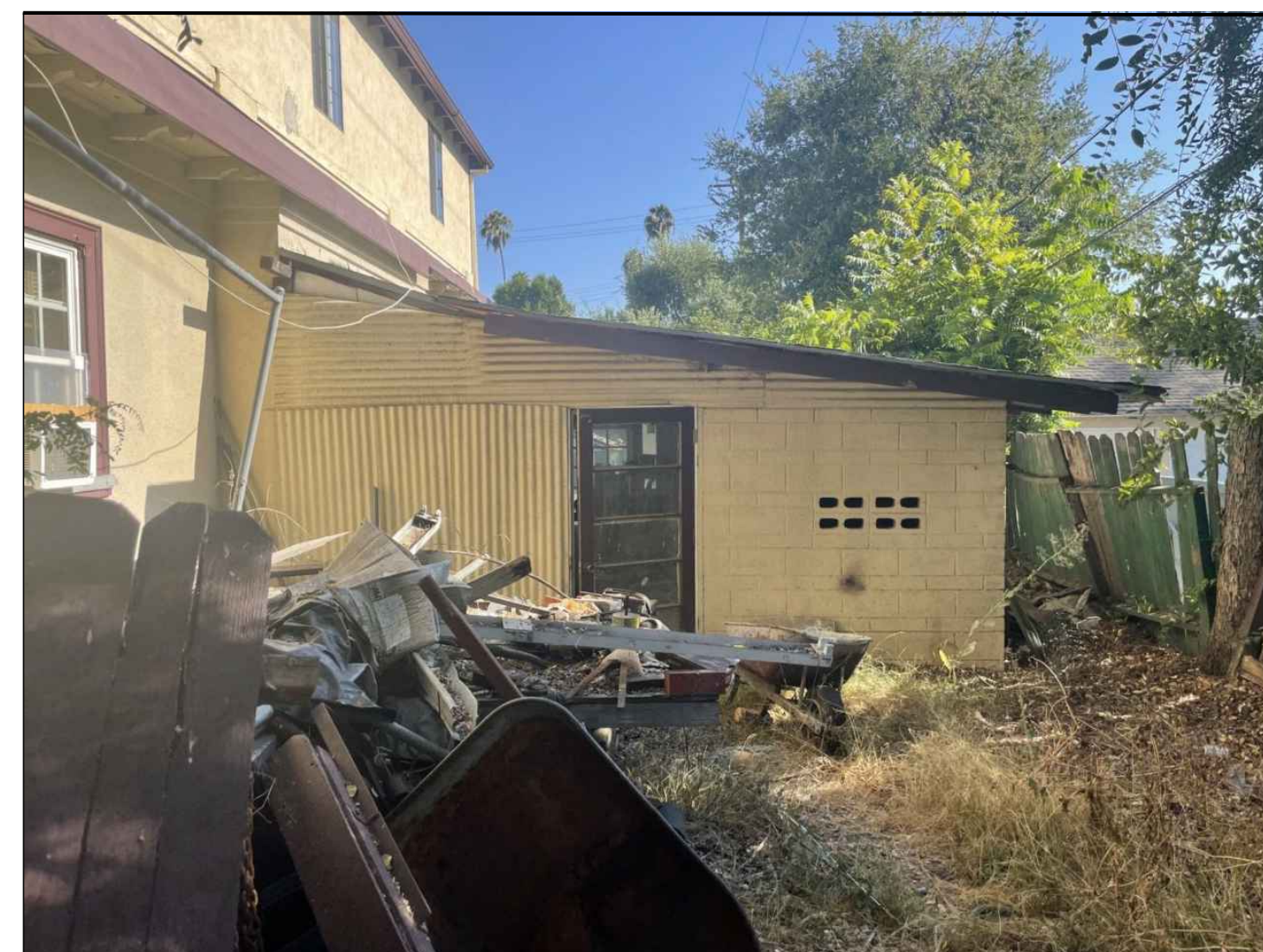
(E) NORTH EAST EXTERIOR ELEVATION - A



(E) NORTH (FRONT) EXTERIOR ELEVATION - C



(E) SOUTH (REAR) EXTERIOR ELEVATION - G



(E) WEST EXTERIOR ELEVATION - F  
UN-PERMITTED STRUCTURE TO BE DEMOLISHED

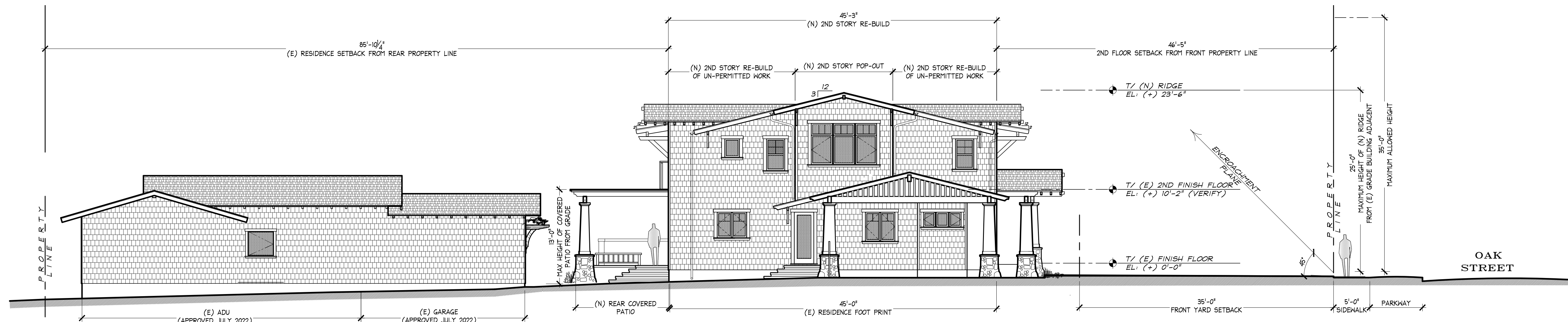


(E) NORTH WEST EXTERIOR ELEVATION - E



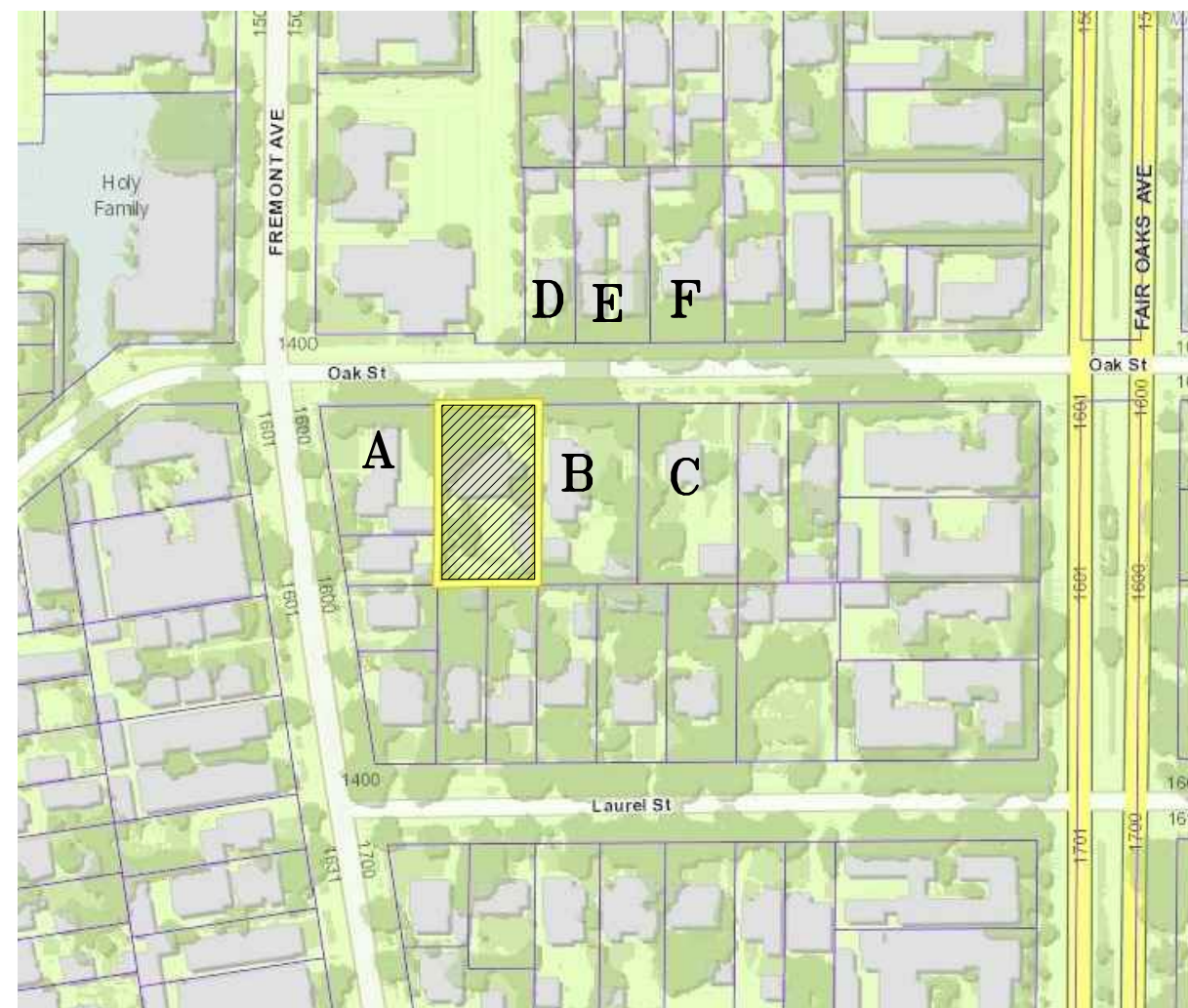
(E) NORTH (FRONT) EXTERIOR ELEVATION - D





**PROPOSED SITE SECTION**

SCALE: 1/8"=1'-0"



1608 FREMONT - ADJ PROPERTY - A



1425 OAK - ADJ PROPERTY - B



1431 OAK - ADJ PROPERTY - C



1418 OAK - ADJ PROPERTY - D



1420 OAK - ADJ PROPERTY - E



1428 OAK - ADJ PROPERTY - F

1411 OAK ST

DRB PACKAGE - (N) SITE SECTION - SET BACK PLANE & (E) ADJACENT PROPERTIES

SOUTH PASADENA, CA

A1.4  
04/18/2023







FACADE - ARTISTIC RENDERING



(N) HARDI-SHINGLE SIDING -WHOLE HOUSE

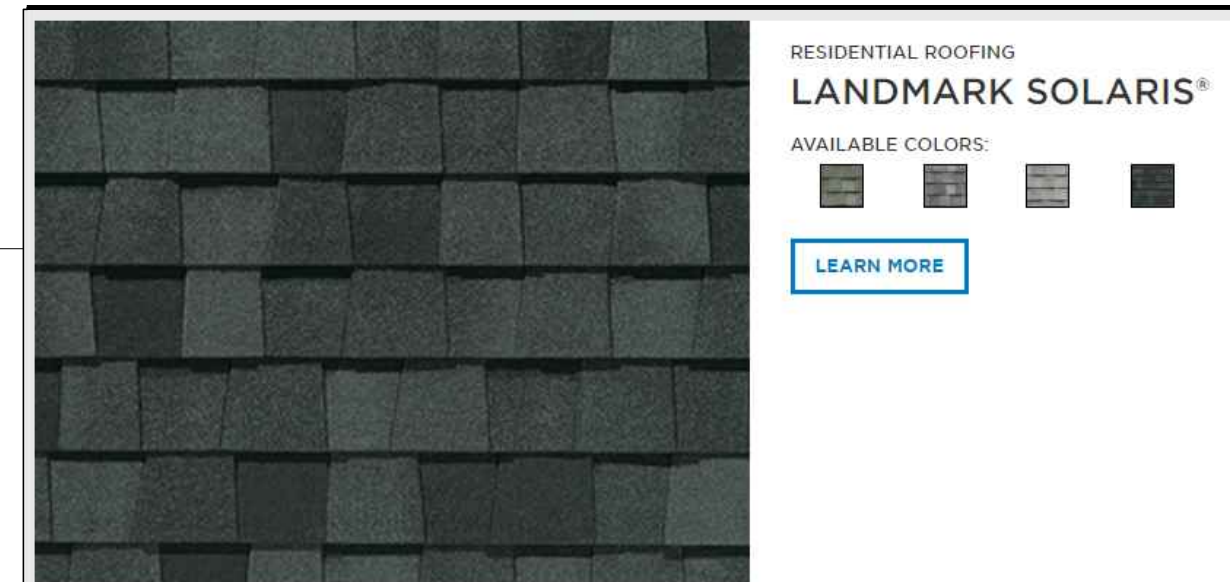
SMOOTH TROWEL STUCCO  
TAPERED COLUMNS

SIERRA PACIFIC ALUMINUM CLAD  
WINDOWS - COLOR BRONZE 24

NATURAL FINISH - WHITE OAK FRONT  
DOOR & SIDE LIGHT WINDOWS

(N) RAISED CONCRETE ENTRY PATIO  
& STEPS (ACID ETCHED CONCRETE)

FRONT FACADE - ARTISTIC RENDERING



(N) ASPHALT SHINGLE ROOF  
WHOLE HOUSE



(N) STONE VENEER OPT B  
RANDOM ASHLAR PATTERN



(N) STONE VENEER OPTION A  
RANDOM IRREGULAR PATTERN



1411 OAK ST

DRB PACKAGE - (N) 3D RENDERINGS NORTH (FRONT FACADE) AND MATERIAL BOARDS

SOUTH PASADENA, CA

04/18/2023 A1.5





FACADE - ARTISTIC RENDERING

REAR FACADE - ARTISTIC RENDERING



1411 OAK ST

DRB PACKAGE - (N) 3D RENDERINGS SOUTH (REAR FACADE)

SOUTH PASADENA, CA

04/18/2023 A1.6





TREE SCHEDULE				
SYM.	CONDITION	SCIENTIFIC & COMMON NAME	SIZE (DIAMETER INCHES)	PROPOSED STATUS
T01	EXIST	Olea europaea OLIVE	9"	RETAIN
T02	EXIST	Citrus sinensis ORANGE	6"	RETAIN
T03	EXIST	Quercus agrifolia COAST LIVE OAK	15"	RETAIN
T04	EXIST	Murraya paniculata ORANGE JASMINE	6"	RETAIN
T05	EXIST	Ulmus parvifolia CHINESE ELM	36"	RETAIN
T06	EXIST	Sideroxylon lanuginosum GUM "BULLY" TREE	7"	RETAIN

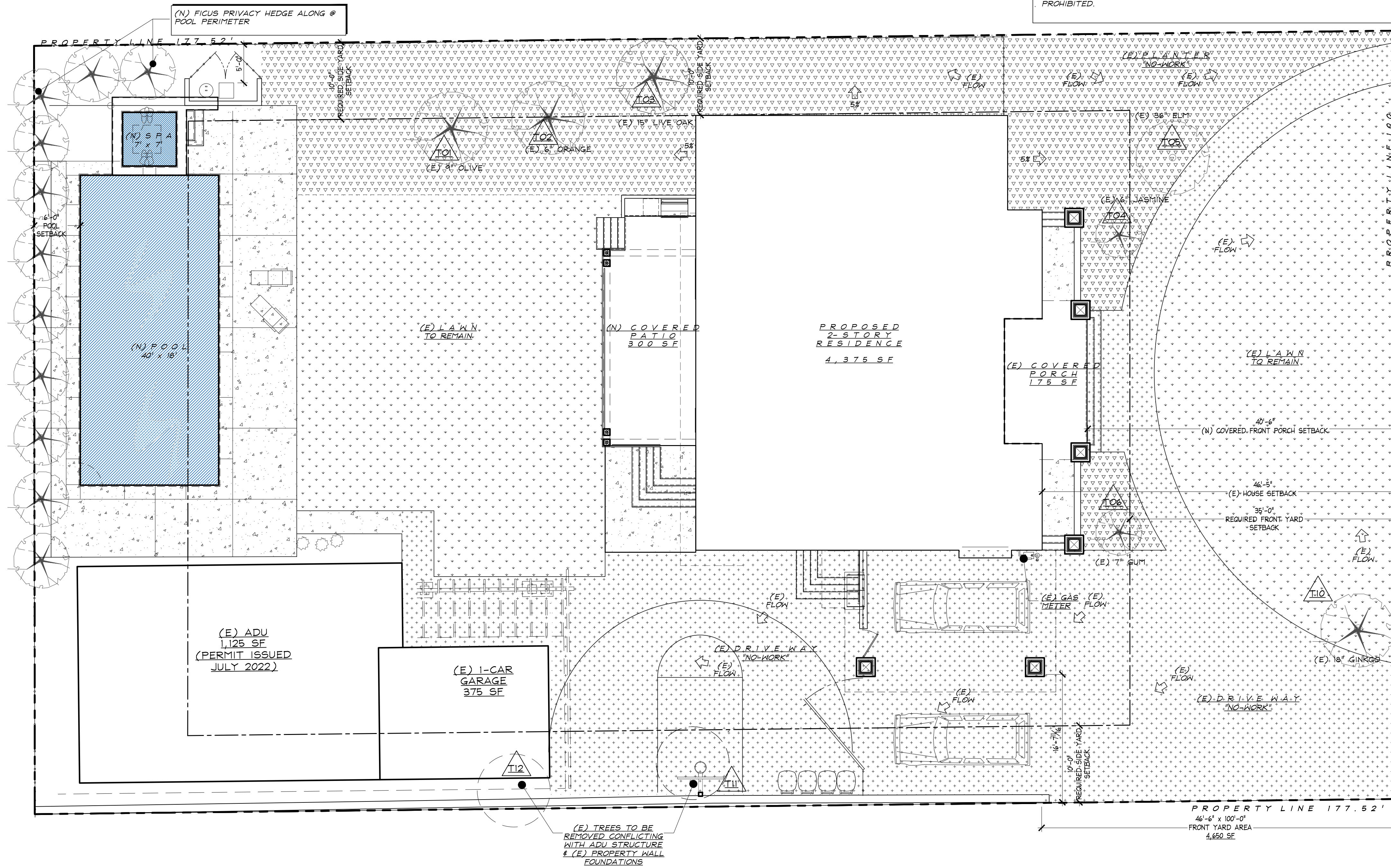
TREE SCHEDULE				
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T10	EXIST	Ginkgo biloba GINKGO TREE	18"	RETAIN
T11	EXIST	Magnolia grandiflora SOUTHERN MAGNOLIA	16"	REMOVE
T12	EXIST	Juglans nigra BLACK WALNUT	13"	REMOVE

**36,330,050 MAINTENANCE OF LANDSCAPE AREAS.**

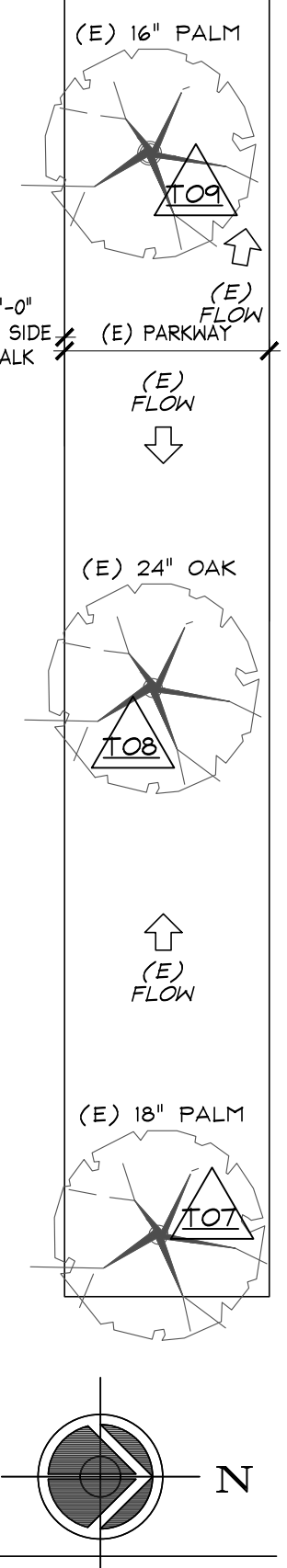
A. MAINTENANCE REQUIRED. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN A HEALTHFUL AND SOUND CONDITION AT ALL TIMES, IN COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN, IRRIGATION SYSTEMS AND THEIR COMPONENTS SHALL BE MAINTAINED IN A FULLY FUNCTIONAL MANNER CONSISTENT WITH THE ORIGINALLY APPROVED DESIGN AND THE PROVISIONS OF THIS DIVISION. THE MAINTENANCE REQUIRED BY THIS SECTION SHALL INCLUDE CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTling AUTOMATIC CONTROLLERS; AERATING AND DETATCHING TURF AREAS; ADDING/REFRESHING MULCH, FERTILIZER, AND SOIL AMENDMENTS; THE REPLACEMENT OF DEAD OR DISEASED PLANTS; PRUNING; AND WEEDING ALL LANDSCAPED AREAS.

B. WATER WASTE PROHIBITED. WATER WASTE IN EXISTING DEVELOPMENTS RESULTING FROM INEFFICIENT LANDSCAPE IRRIGATION LEADING TO EXCESSIVE RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY, AND OTHER SIMILAR CONDITIONS WHERE WATER FLOWS ONTO ADJACENT PROPERTY, NONIRRIGATED AREAS, WALKS, ROADWAYS, OR STRUCTURES IS PROHIBITED.

PROPERTY	100' x 172.55' =	17,751 SF
FRONT YARD AREA	100' x 46'-6" =	4,650 SF
IMPERVIOUS SURFACES IN FRONT YARD: -NO CHANGE-		
(E) CONCRETE PATH:		480 SF
(E) CONCRETE DRIVEWAY		1,286 SF
(E) RAISED CONCRETE FRONT PORCH		175 SF
(N) RAISED CONCRETE FRONT PORCH		80 SF
TOTAL EXISTING LANDSCAPE IMPERVIOUS SURFACE AREA		1,863 SF
TOTAL (E) HARDSCAPE IN FRONT YARD		1,863 SF / 4,650 SF = 40%
PERVIOUS (SOFTSCAPE) FRONT YARD:		
(E) REHABILITATE (E) PLANTER BEDS FLANKING (N) PORCH		854 SF
(E) LAWN AREA FRONT YARD -NO WORK		1,800 SF
REAR & SIDE YARD AREA		= 8,726 SF
IMPERVIOUS SURFACES IN REAR YARD		
(E) CONCRETE PATH:		344 SF
(E) CONCRETE DRIVEWAY TO ADU		1,998 SF
(E) ADU # GARAGE		1,500 SF
(N) RAISED CONCRETE COVERED PATIO		300 SF
(N) POOL DECK		1,050 SF
TOTAL PROPOSED REAR YARD IMPERVIOUS SURFACE AREA		5,192 SF
PERVIOUS REAR YARD (SOFTSCAPE):		
(E) TREE PLANTER BEDS & HEDGES TO REMAIN "NO WORK"		790 SF
(E) LAWN AREA TO REMAIN -NO WORK		1,900 SF

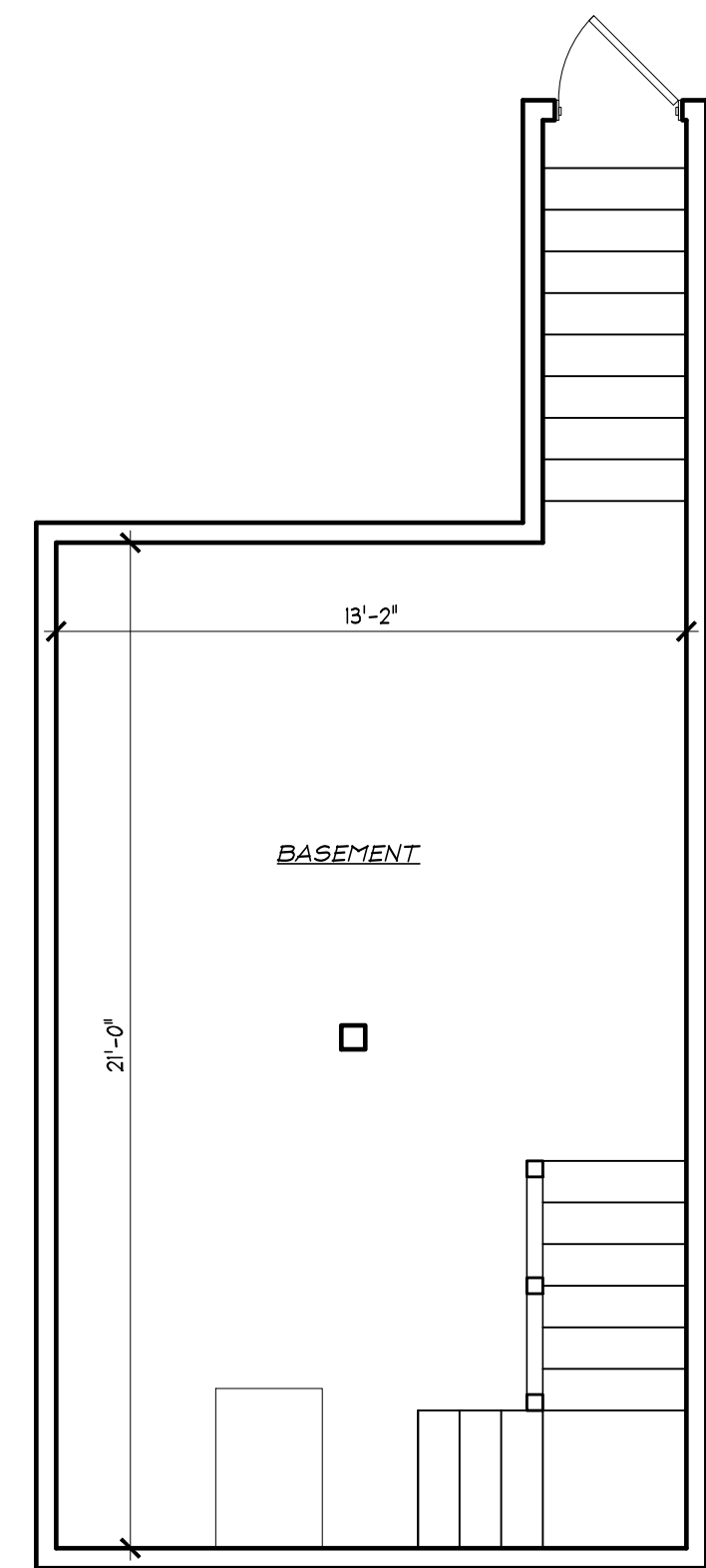


**MELON NOTE:**  
ALL NEW LANDSCAPING SHALL COMPLY WITH CHAPTER WITH ARTICLE III (WATER-EFFICIENT LANDSCAPE ORDINANCE) OF CHAPTER 95 (WATER) OF THE SOUTH PASADENA MUNICIPAL CODE.  
INCLUDING COMPLIANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) REQUIREMENTS. IF OVER 2,500 SQUARE FEET OF LANDSCAPING IS BEING REHABILITATED, THE PROJECT WILL REQUIRE PERFORMANCE COMPLIANCE WITH THE MWELO REQUIREMENTS.

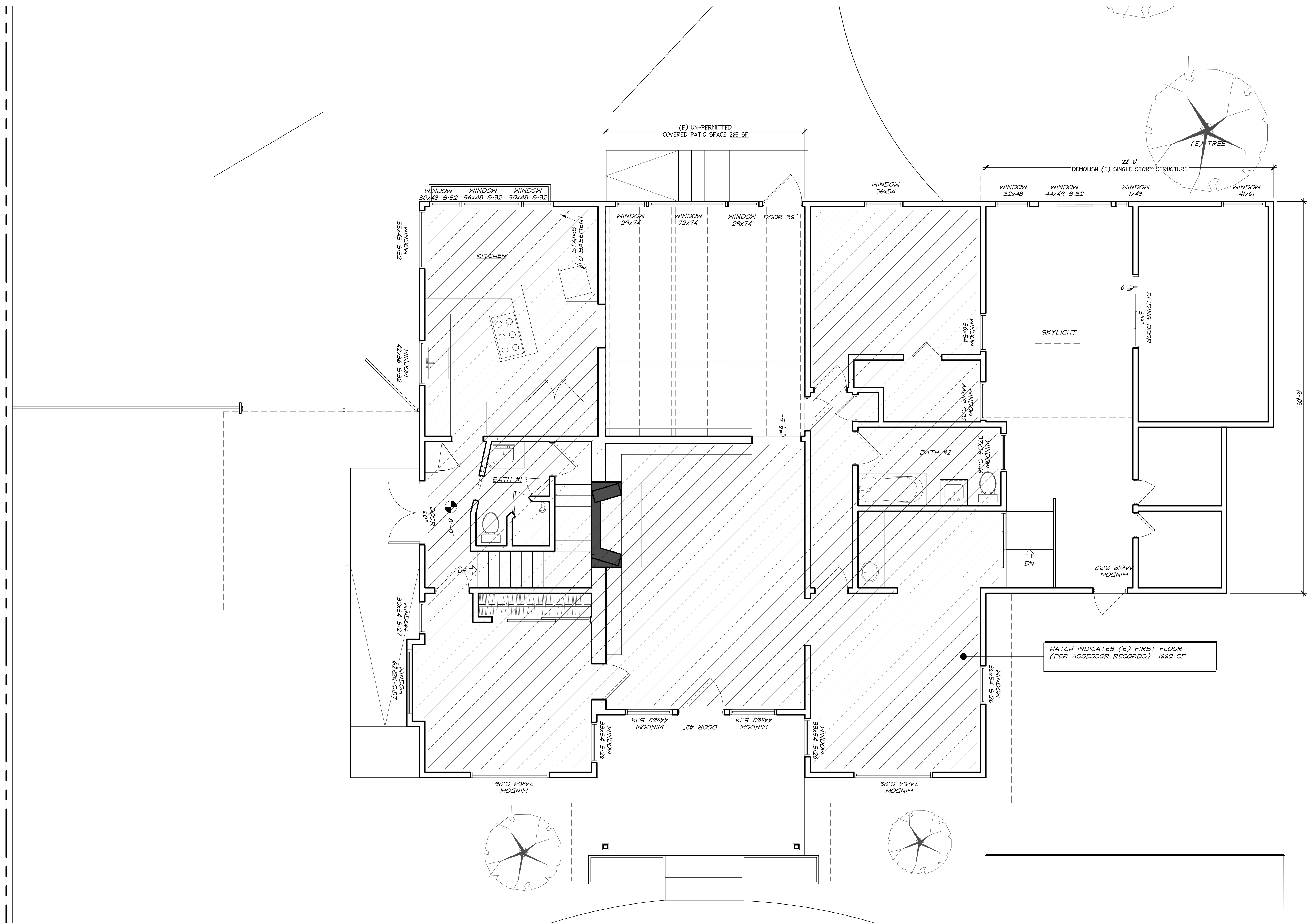


WALL LEGEND	
(Symbol: Dotted pattern)	(E) LAWN
(Symbol: Cross-hatched pattern)	(E) PLANTERS
(Symbol: Solid grey pattern)	(E) HARDSCAPE
(Symbol: Stippled pattern)	(N) HARDSCAPE





**EXISTING BASEMENT**  
SCALE: 1/4"=1'-0"

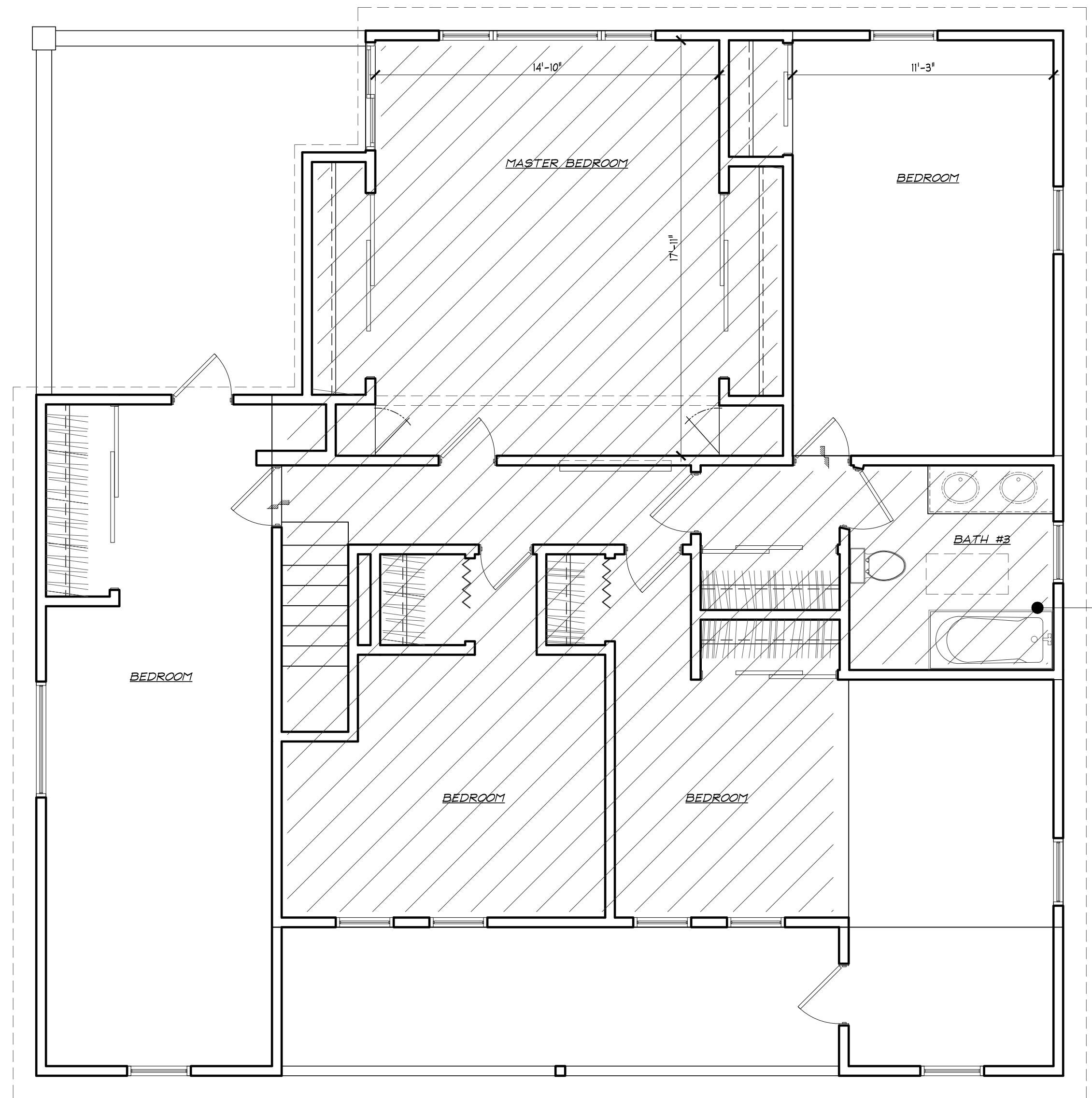


**1411 OAK ST**  
EXISTING 1ST FLOOR PLAN

SOUTH PASADENA, CA

SCALE: 1/4"= 1'-0" A2.1  
04/18/2023





HATCH INDICATES (E) 2ND FLOOR AREA  
(PER ASSESSOR RECORDS) 1031 SF

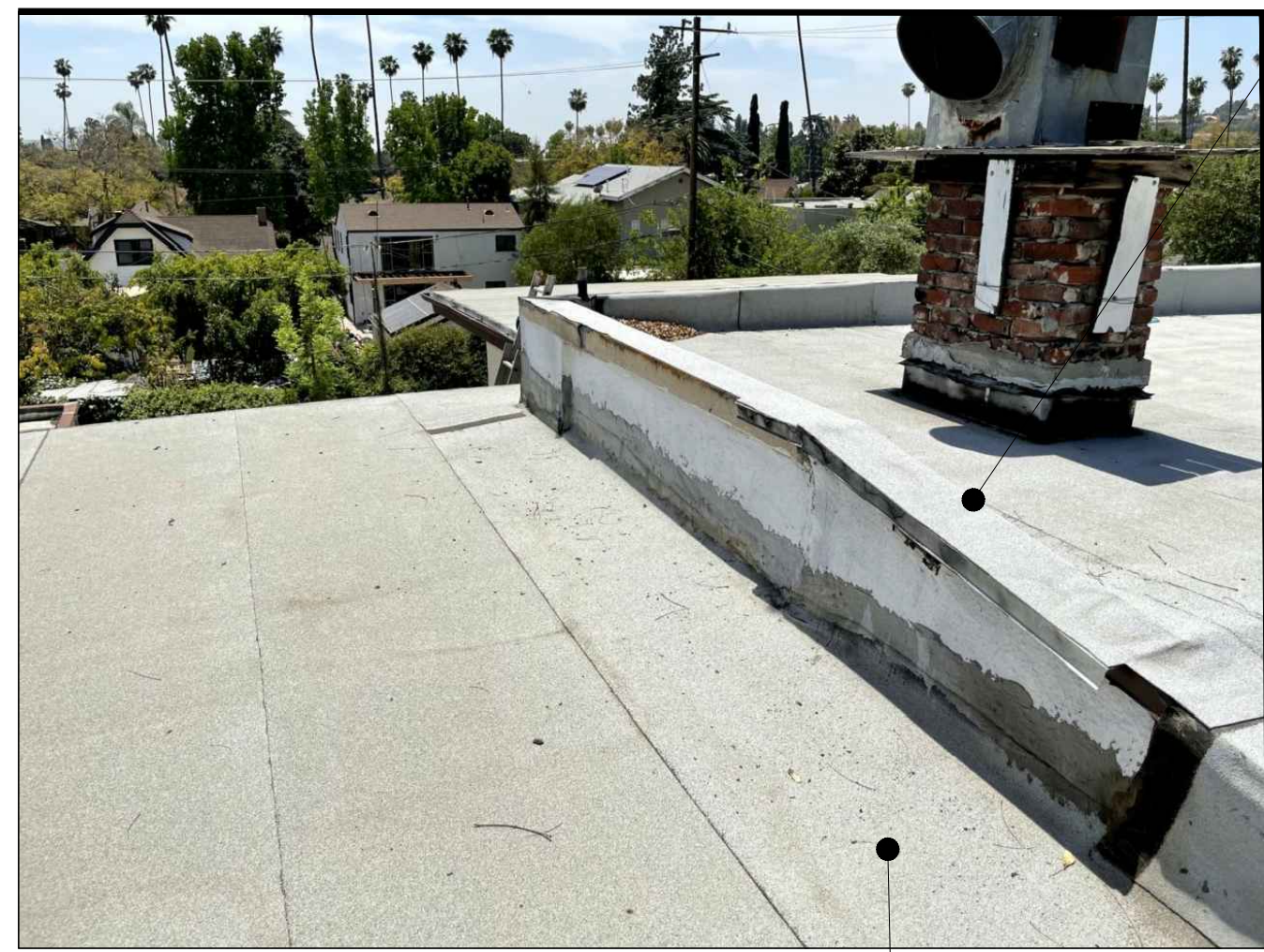
1411 OAK ST  
EXISTING 2ND FLOOR PLAN

SOUTH PASADENA, CA

SCALE: 1/4" = 1'-0" A2.2  
04/18/2023







(E) ROOF CONDITION

A

(E) ROOF PARAPET ROOF STRUCTURE

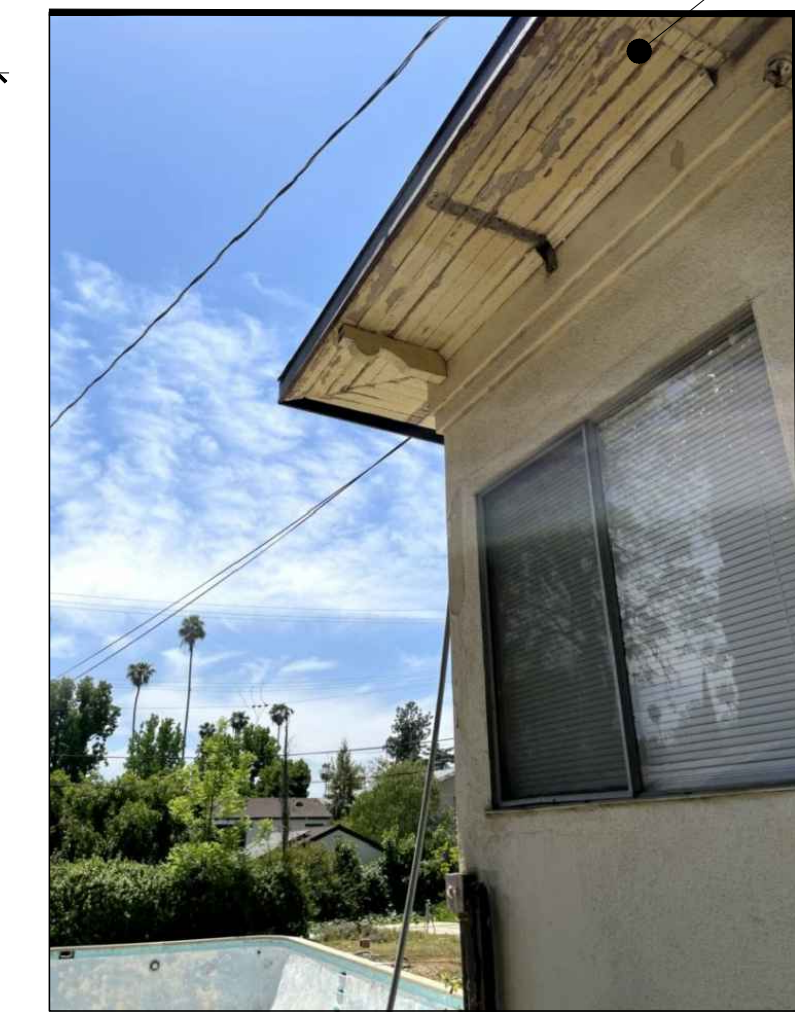
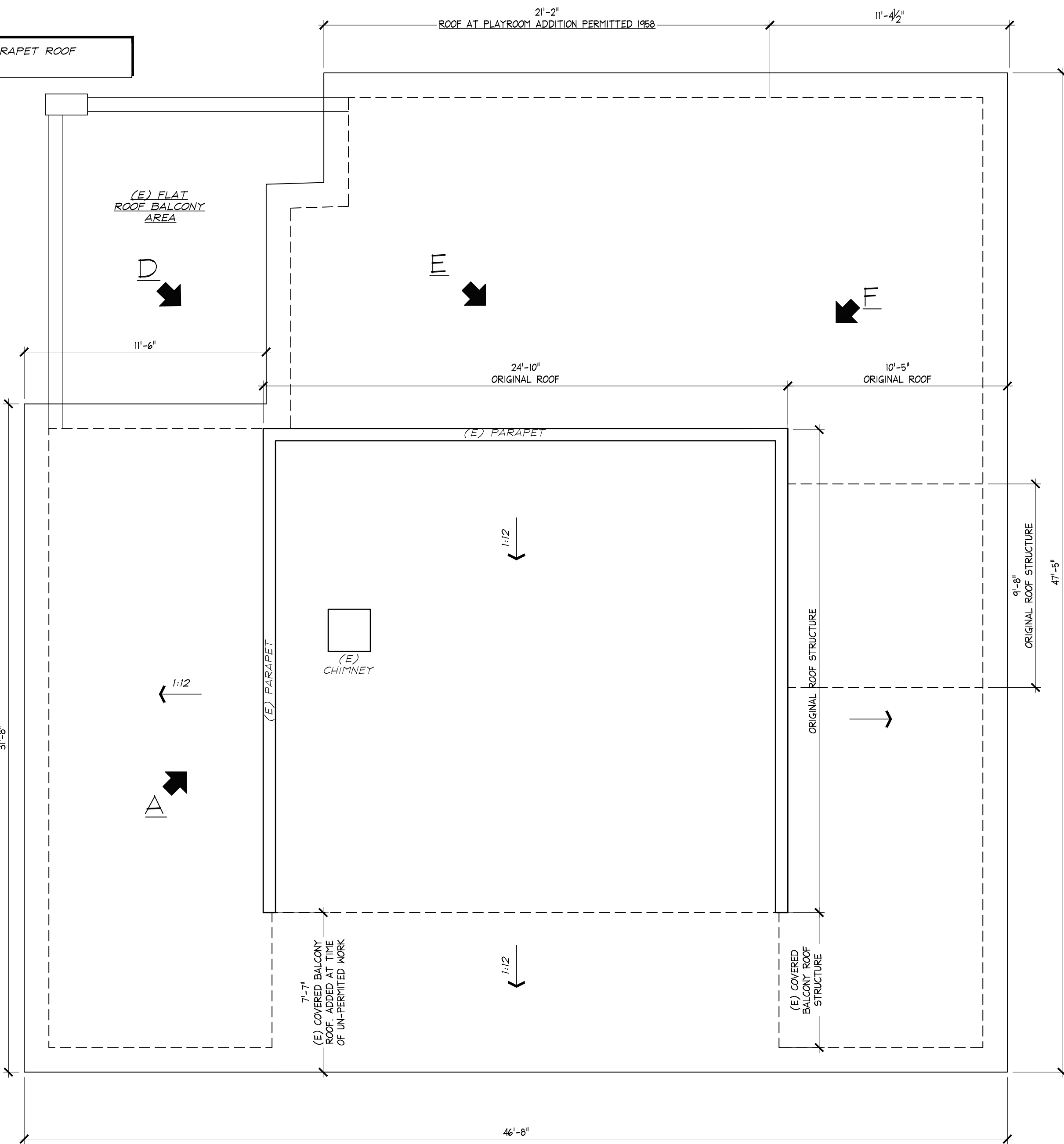


(E) ROOF CONDITION

B

UN-PERMITTED ENCLOSURE OF COVERED PATIO

C



ROOF RAFTER CONDITION

C

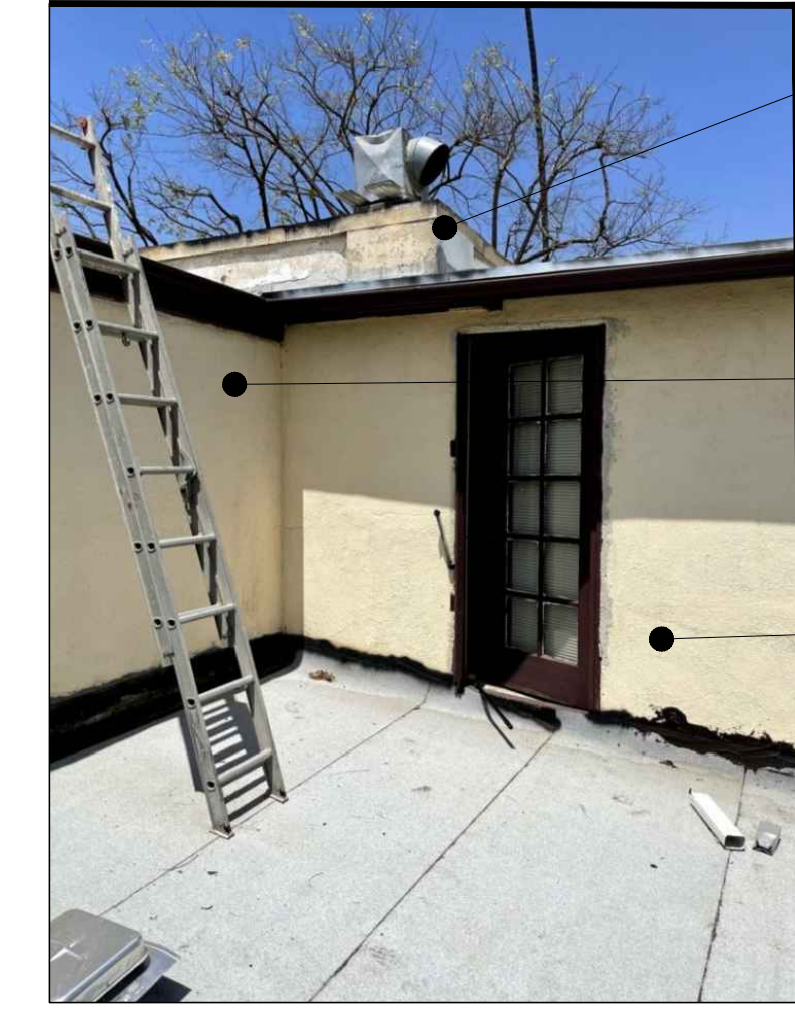


ROOF RAFTER CONDITION

E

(E) RAFTER TAILS MISSING AND HEAVY DRYROT

(E) 1958 PERMITTED PLAYROOM ADDITION



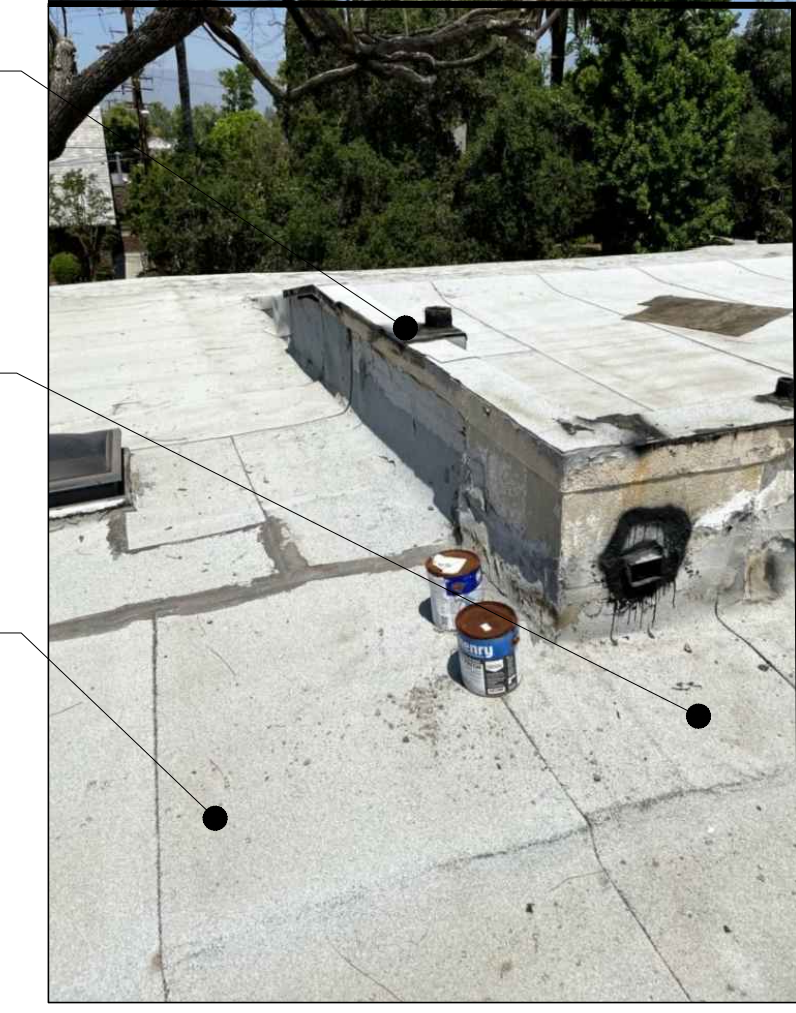
(E) ROOF CONDITION

D

(E) ROOF PARAPET ROOF STRUCTURE

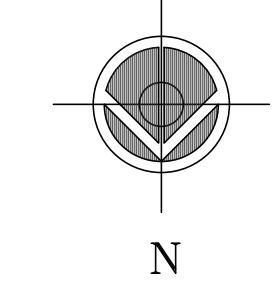
(E) 1958 PERMITTED PLAYROOM ADDITION

UN-PERMITTED 2ND FLOOR ADDITION



(E) ROOF CONDITION

F



1411 OAK ST

(E) ROOF PLAN - DRB PACKAGE

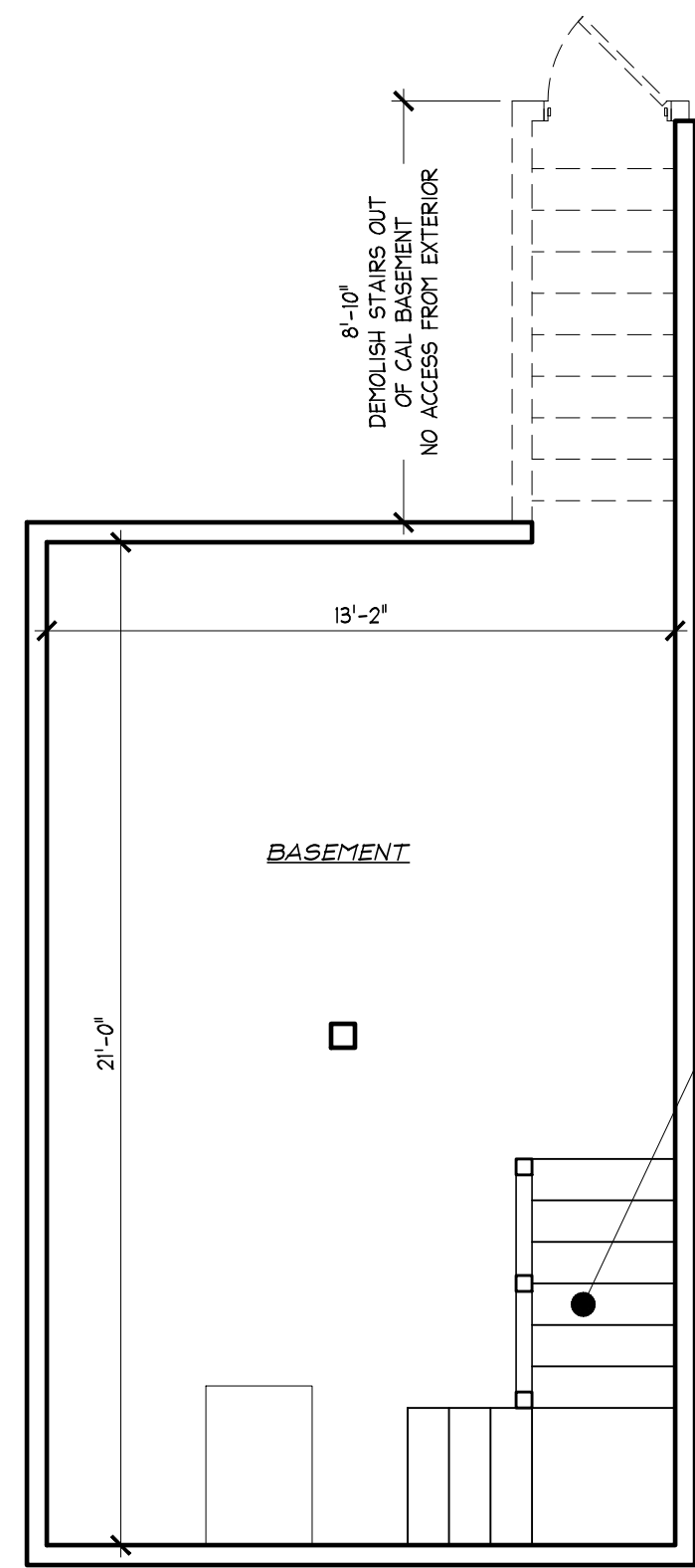
SOUTH PASADENA, CA

SCALE: 1/4" = 1'-0" A2.3

04/18/2023







**EXISTING BASEMENT**  
SCALE: 1/4"=1'-0"

ALL (E) WINDOWS HAVE BEEN REPLACED WITH VINYL DOUBLE-HUNG, ALUMINUM SLIDERS OR DIRECT FIXED GLAZING UNITS. NO ORIGINAL WINDOWS OR EXTERIOR DOORS REMAIN.

**FIRST FLOOR DEMOLITION QUANTITIES:**

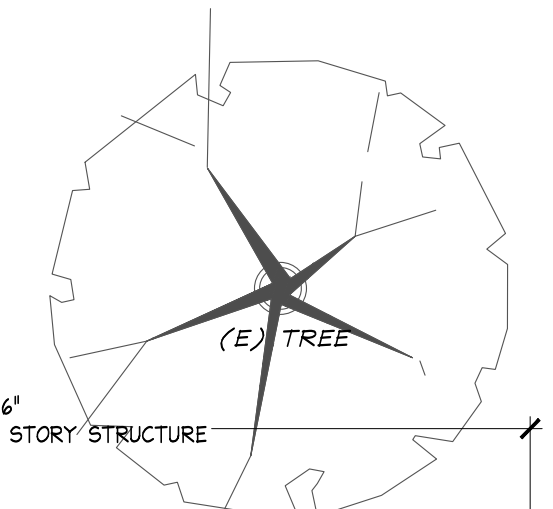
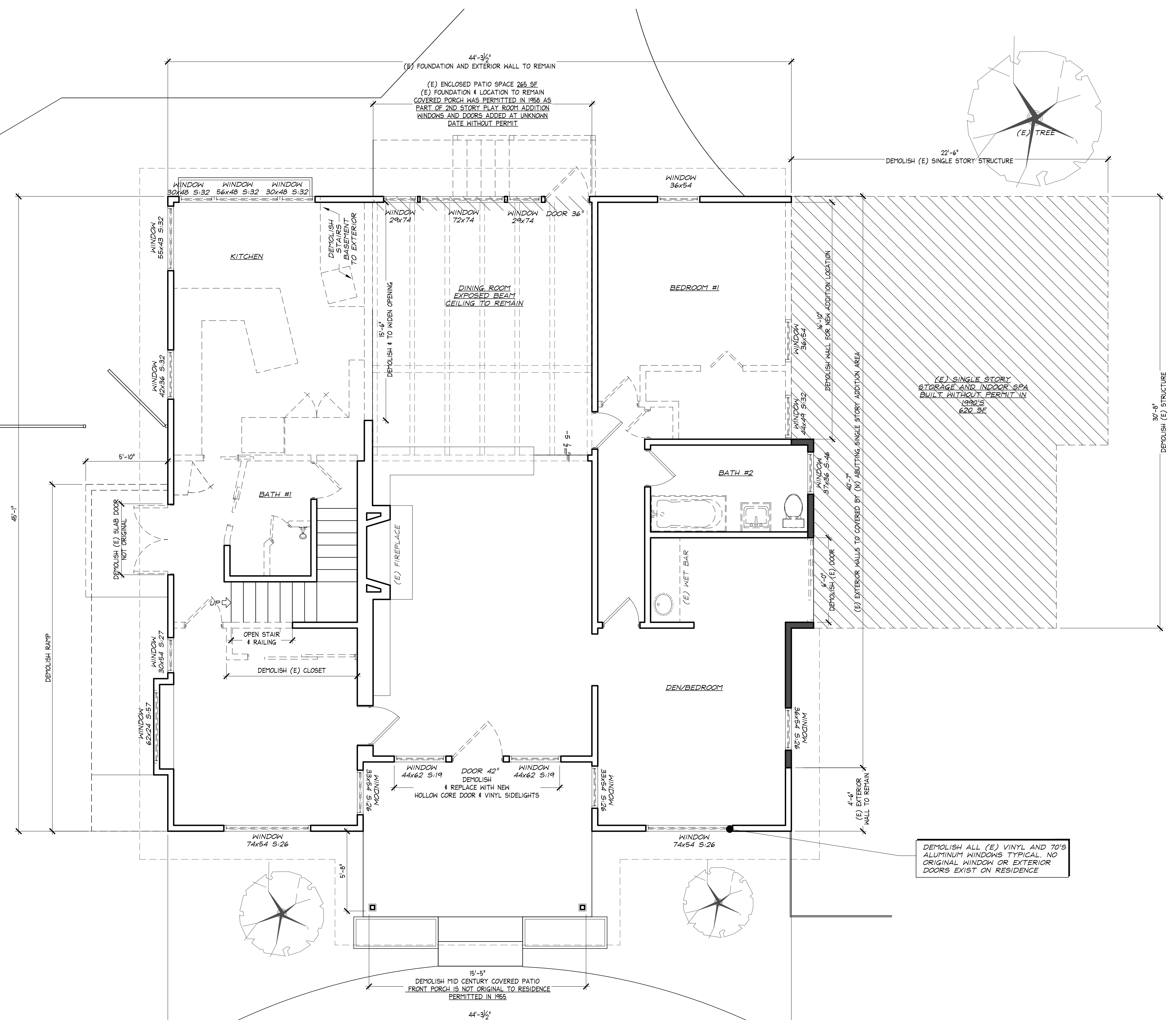
<b>PERCENTAGE OF EXTERIOR WALL/FOUNDATION DEMOLITION:</b>	
TOTAL FOOTAGE OF (E) RESIDENCE WALL	194' LF
(E) EXTERIOR WALL TO BE DEMOLISHED	17' LF
(E) EXTERIOR WALL TO REMAIN BUT COVERED BY ADDITION	26' LF
(E) EXTERIOR WALL TO REMAIN	151' LF
PERCENTAGE EXTERIOR WALL TO BE REMOVED	22%

<b>PERCENTAGE OF FOUNDATION &amp; FLOOR FRAMING DEMOLITION:</b>	
(E) FOOTING, FLOOR FRAMING TO BE DEMOLISHED	0 SF
(E) FOOTING, FLOOR FRAMING TO REMAIN	1,945 SF
PERCENTAGE OF FOUNDATION TO BE REMOVED	0%

<b>TOTAL 1ST &amp; 2ND FLOOR EXTERIOR WALLS DEMOLISHED OR COVERED BY PROPOSED ADDITIONS:</b>	
TOTAL (E) EXTERIOR WALLS	342' LF
TOTAL (E) WALLS DEMOLISHED OR COVERED BY ADDITIONS	138' LF
PERCENTAGE EXTERIOR WALL TO BE REMOVED	40%

**LEGEND**  
 LOCATION OF UN-PERMITTED ADDITIONS

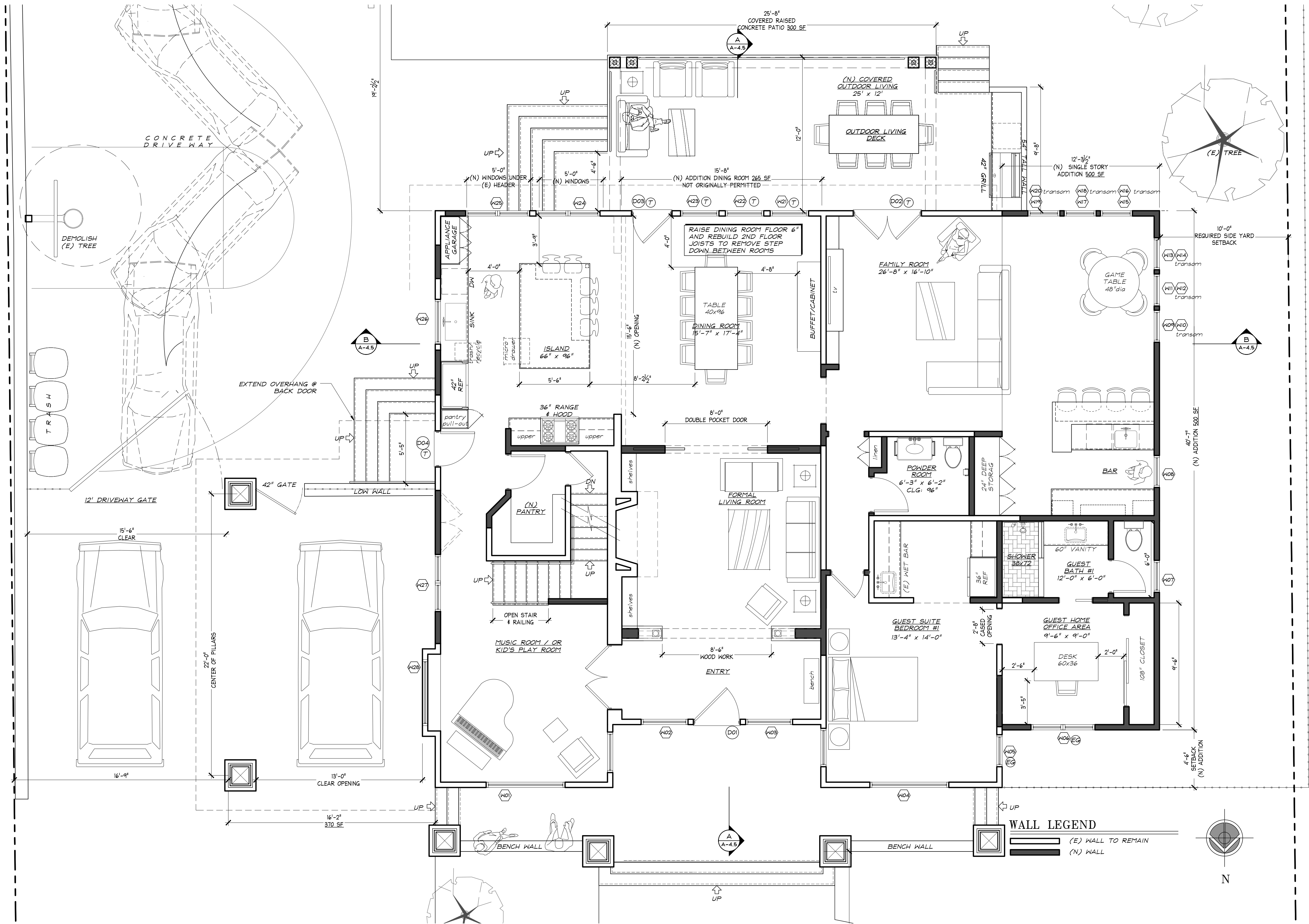
**WALL LEGEND**  
 (E) WALL TO REMAIN  
 (E) EXTERIOR WALL TO REMAIN BUT COVERED BY (N) ADDITION  
 (E) EXTERIOR WALL DEMOLISHED FOR PROPOSED ADDITIONS



DEMOLISH ALL (E) VINYL AND 70'S ALUMINUM WINDOWS TYPICAL. NO ORIGINAL WINDOW OR EXTERIOR DOORS EXIST ON RESIDENCE.





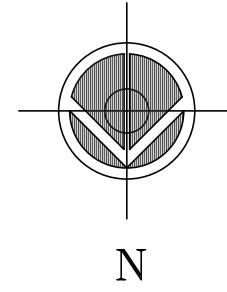
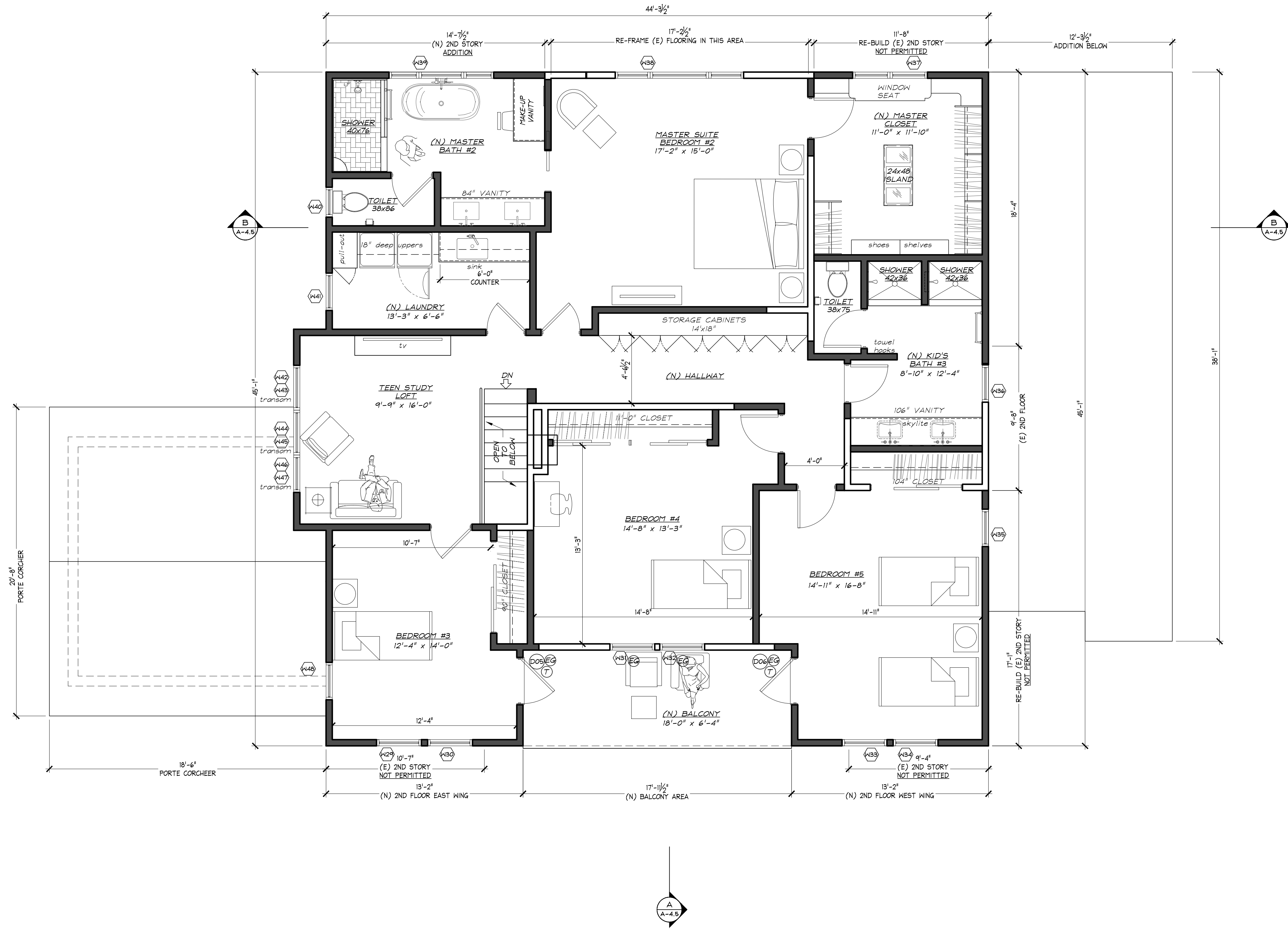


1411 OAK ST  
 (N) 1ST FLOOR PLAN - DRB PACKAGE

SOUTH PASADENA, CA

SCALE: 1/4" = 1'-0" A3.1  
 04/18/2023





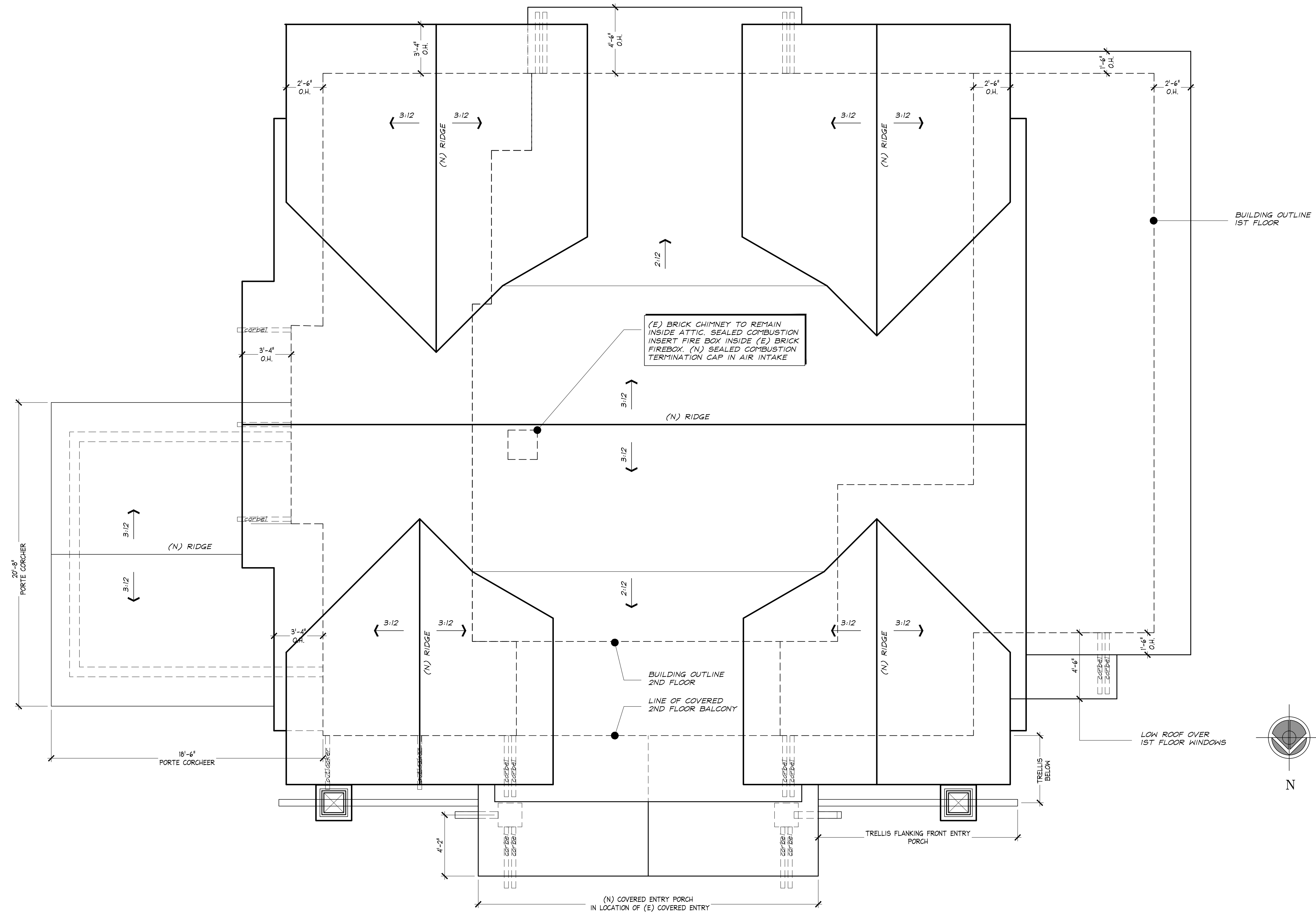
1411 OAK ST  
 (N) 2ND FLOOR PLAN - DRB PACKAGE

SOUTH PASADENA, CA

SCALE: 1/4" = 1'-0" A3.2  
 04/18/2023





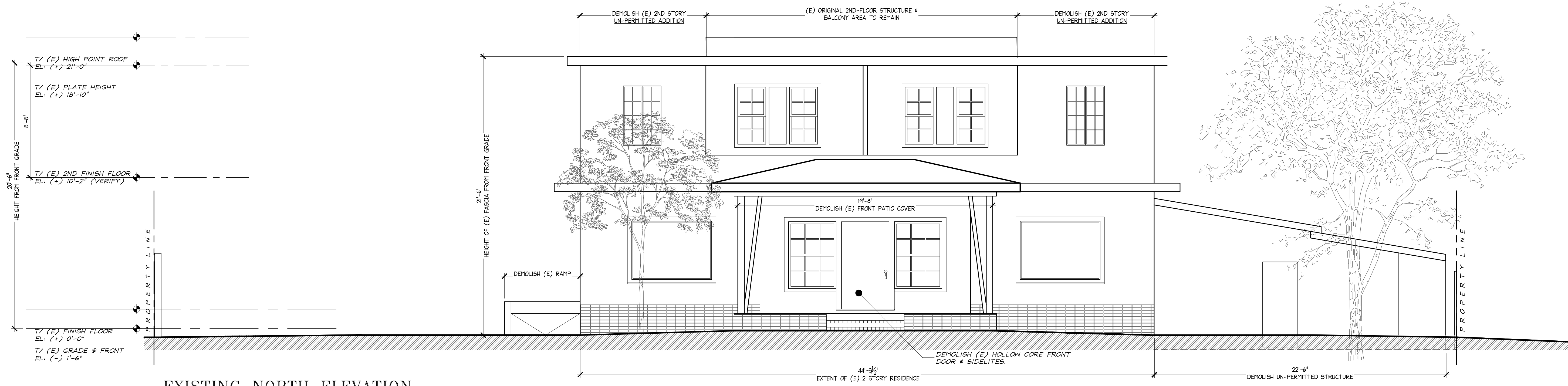
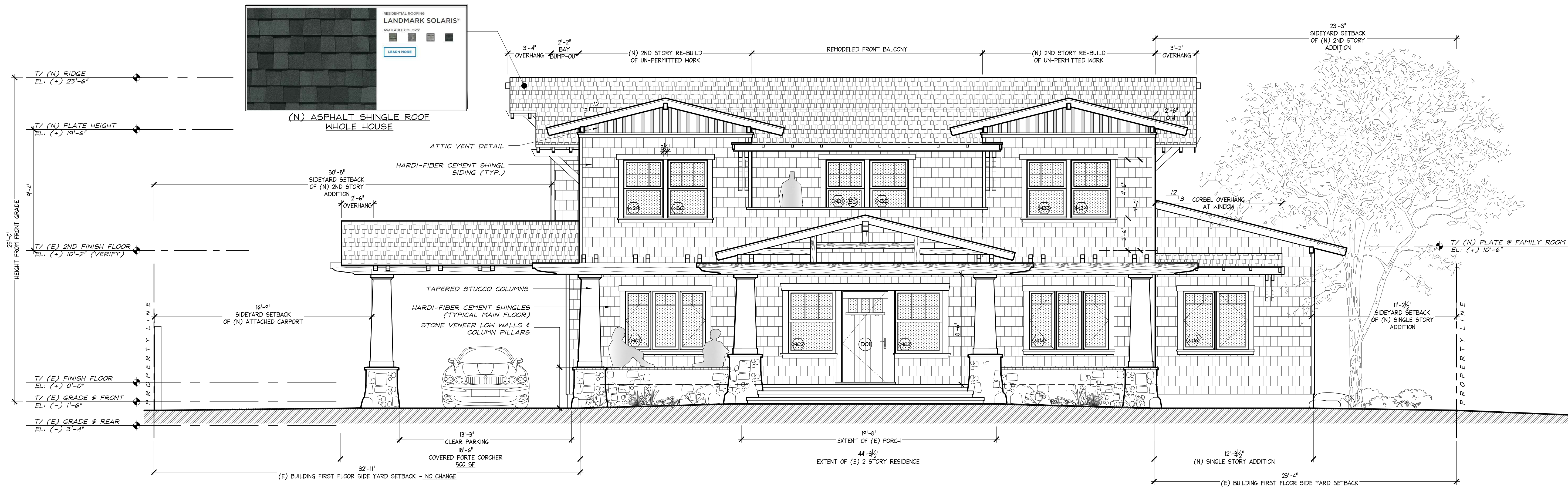


1411 OAK ST  
 (N) ROOF PLAN - DRB PACKAGE

SOUTH PASADENA, CA

SCALE: 1/4" = 1'-0" A3.3  
 04/18/2023





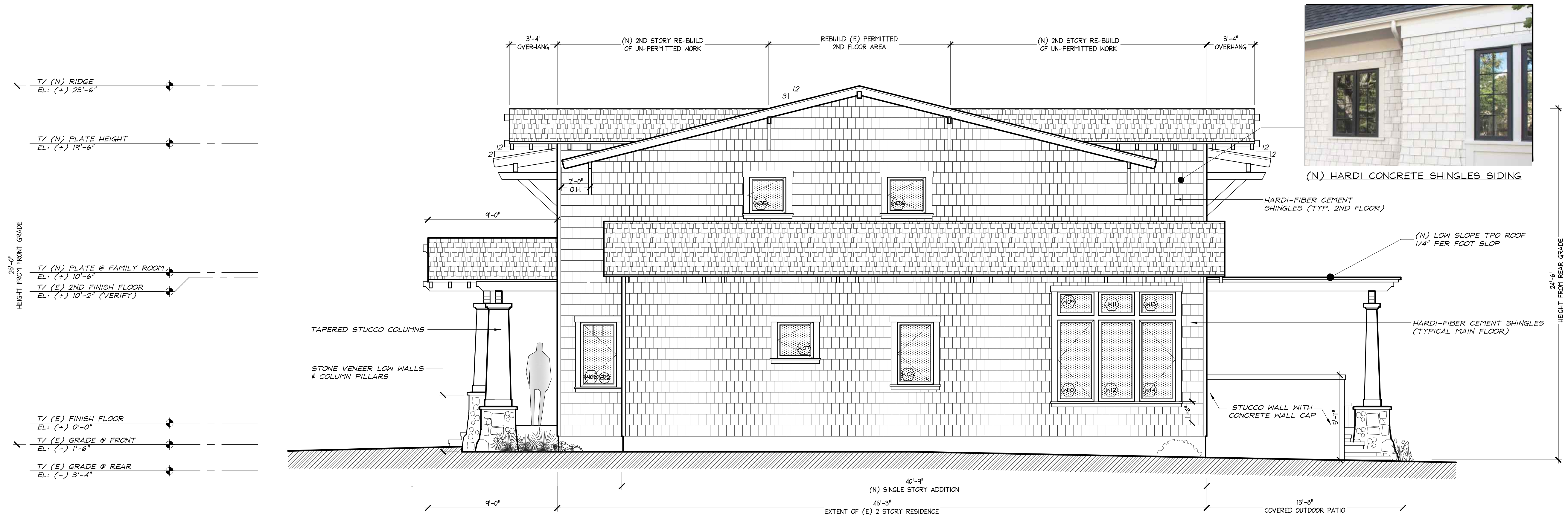
1411 OAK ST  
DRB PACKAGE - (N) & (E) NORTH ELEVATION

SOUTH PASADENA, CA

SCALE: 1/8" = 1'-0" A4.1  
04/18/2023

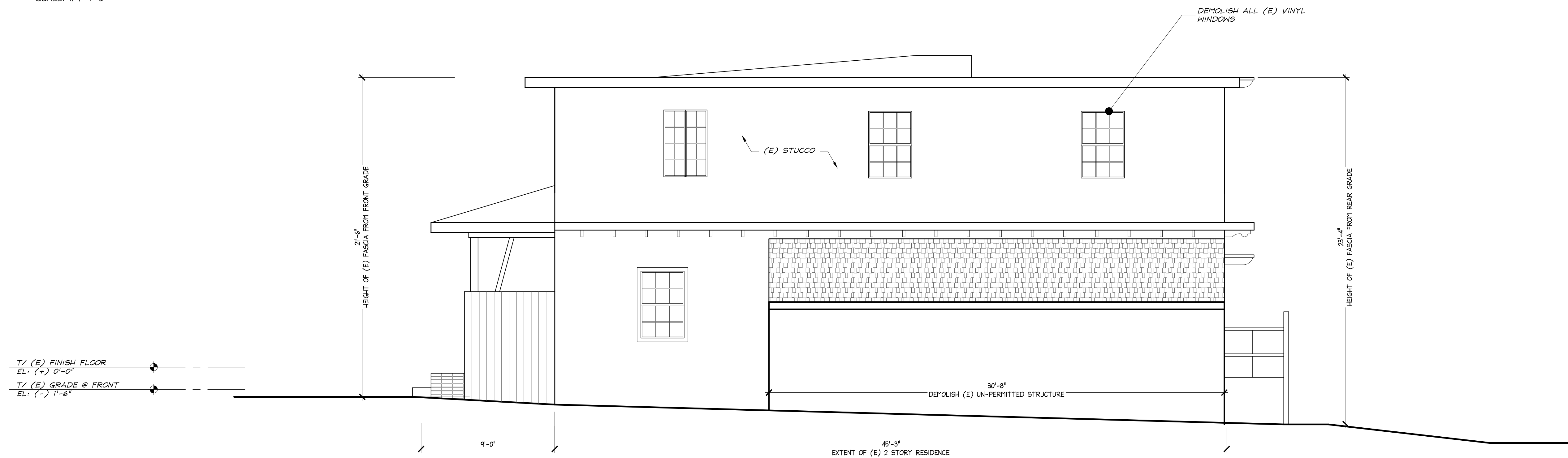






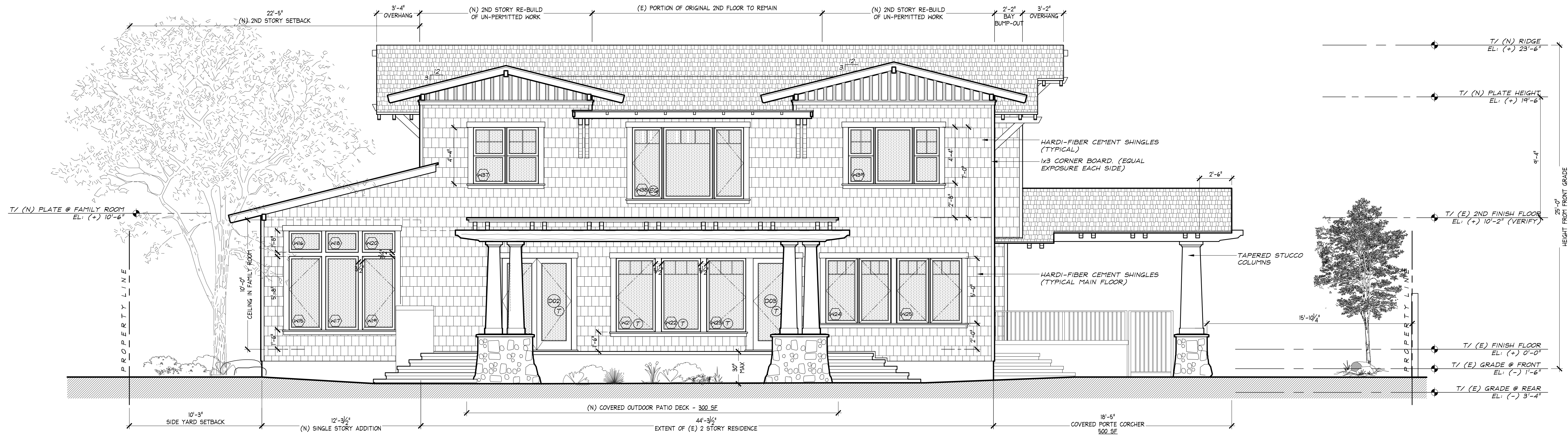
**PROPOSED WEST ELEVATION**

SCALE: 1/4"=1'-0"



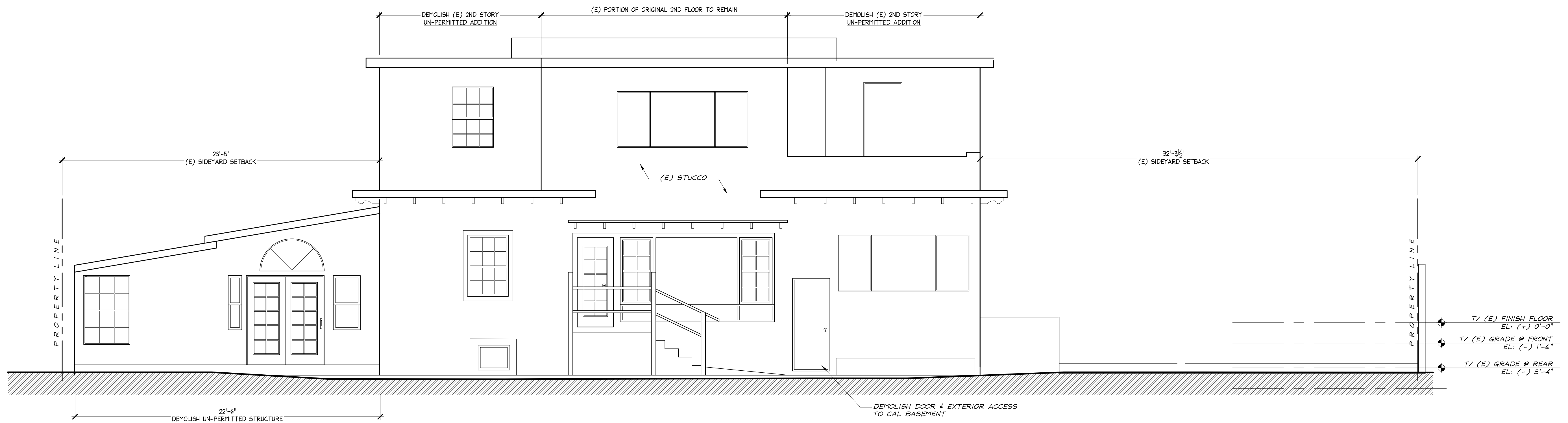
**EXISTING WEST ELEVATION**

SCALE: 1/4"=1'-0"



**PROPOSED SOUTH ELEVATION**

SCALE: 1/4"=1'-0"



**EXISTING SOUTH ELEVATION**

SCALE: 1/4"=1'-0"

1411 OAK ST

DRB PACKAGE - (N) & (E) SOUTH ELEVATION

SOUTH PASADENA, CA

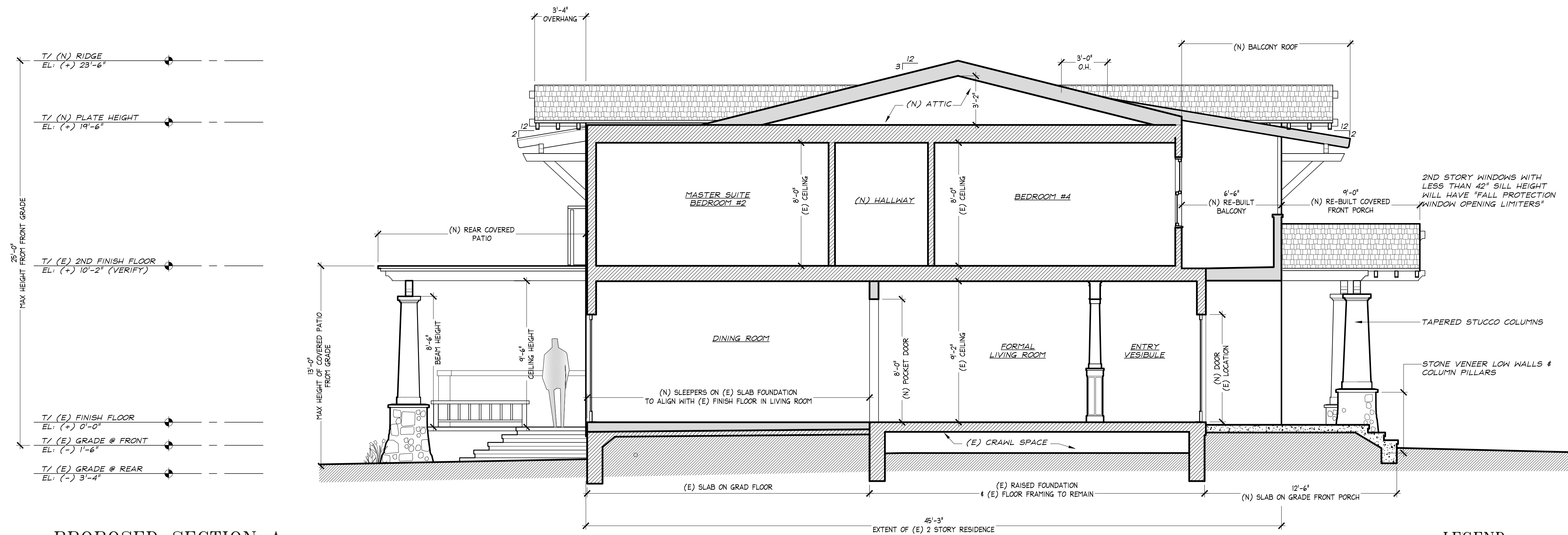
SCALE: 1/4"= 1'-0" A4.3

04/18/2023





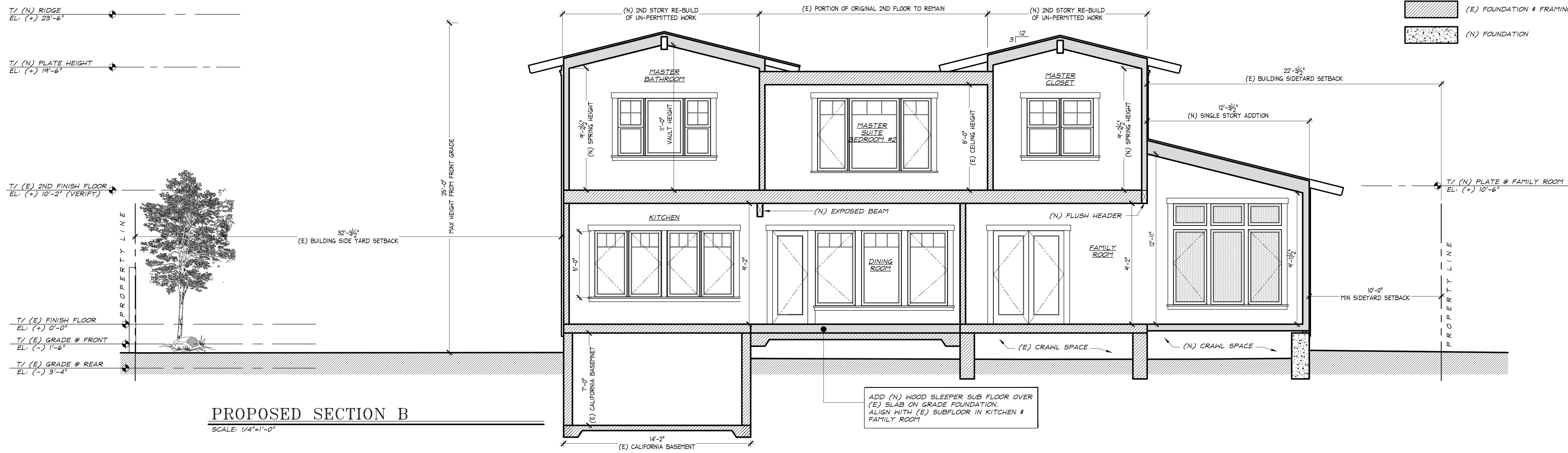




**PROPOSED SECTION A**  
SCALE: 1/4"=1'-0"

**LEGEND**

	(N) FRAMING
	(E) FOUNDATION & FRAMING
	(N) FOUNDATION



**PROPOSED SECTION B**  
SCALE: 1/4"=1'-0"



WINDOW SCHEDULE FIRST FLOOR							
SYM.	CONDITION	LOCATION	SIZE (W x H)	HDGHT	OPERATION	MATERIAL	NOTES
W01	NEW	MUSIC ROOM	74 x 54	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT W/ CENTER PANEL FIXED
W02	NEW	ENTRY	43 x 58	86"	DOUBLE-HUNG	WOOD	
W03	NEW	ENTRY	43 x 58	86"	DOUBLE-HUNG	WOOD	
W04	NEW	BEDROOM #1	74 x 54	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT W/ CENTER PANEL FIXED
W05	NEW	OFFICE	60 x 54	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT
W06	NEW	BEDROOM #1	30 x 54	86"	CASEMENT	ALUMINUM CLAD	EGRESS
W06	NEW	HOME OFFICE	60 x 54	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT - EGRESS
W07	NEW	BATH #1	30 x 30	86"	CASEMENT	ALUMINUM CLAD	
W08	NEW	BAR	30 x 52	86"	CASEMENT	ALUMINUM CLAD	
W09	NEW	FAMILY ROOM	30 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W10	NEW	FAMILY ROOM	30 x 68	86"	CASEMENT	ALUMINUM CLAD	
W11	NEW	FAMILY ROOM	30 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W12	NEW	FAMILY ROOM	30 x 68	86"	FIXED CASEMENT	ALUMINUM CLAD	
W13	NEW	FAMILY ROOM	30 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W14	NEW	FAMILY ROOM	30 x 68	86"	CASEMENT	ALUMINUM CLAD	
W15	NEW	FAMILY ROOM	30 x 68	86"	CASEMENT	ALUMINUM CLAD	TRANSOM
W16	NEW	FAMILY ROOM	30 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W17	NEW	FAMILY ROOM	30 x 68	86"	CASEMENT	ALUMINUM CLAD	TRANSOM
W18	NEW	FAMILY ROOM	30 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W19	NEW	FAMILY ROOM	30 x 68	86"	CASEMENT	ALUMINUM CLAD	TRANSOM
W20	NEW	FAMILY ROOM	30 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W21	NEW	DINING ROOM	36 x 68	86"	CASEMENT	ALUMINUM CLAD	TEMPERED
W22	NEW	DINING ROOM	36 x 68	86"	CASEMENT	ALUMINUM CLAD	TEMPERED
W23	NEW	DINING ROOM	36 x 68	86"	CASEMENT	ALUMINUM CLAD	TEMPERED
W24	NEW	KITCHEN	60 x 60	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT
W25	NEW	KITCHEN	60 x 60	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT
W26	NEW	KITCHEN	48 x 42	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT
W27	NEW	MUSIC ROOM	48 x 48	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT
W28	NEW	MUSIC ROOM	60 x 24	86"	CASEMENT	ALUMINUM CLAD	DOUBLE CASEMENT OPEN LEFT AND RIGHT W/ CENTER PANEL FIXED

WINDOW SCHEDULE SECOND FLOOR							
SYM.	CONDITION	LOCATION	SIZE (W x H)	HDGHT	OPERATION	MATERIAL	NOTES
W29	NEW	BEDROOM #3	36 x 54	86"	DOUBLE-HUNG	ALUMINUM CLAD	
W30	NEW	BEDROOM #3	36 x 54	86"	DOUBLE-HUNG	ALUMINUM CLAD	
W31	NEW	BEDROOM #4	36 x 54	86"	DOUBLE-HUNG	ALUMINUM CLAD	EGRESS
W32	NEW	BEDROOM #4	36 x 54	86"	DOUBLE-HUNG	ALUMINUM CLAD	
W33	NEW	BEDROOM #5	36 x 54	86"	DOUBLE-HUNG	ALUMINUM CLAD	
W34	NEW	BEDROOM #5	36 x 54	86"	DOUBLE-HUNG	ALUMINUM CLAD	
W35	NEW	BEDROOM #5	30 x 30	86"	CASEMENT	ALUMINUM CLAD	
W36	NEW	BATH #3	30 x 30	86"	CASEMENT	ALUMINUM CLAD	
W37	NEW	MASTER CLOSET	60 x 52	86"	(2) DOUBLE-HUNG	ALUMINUM CLAD	
W38	NEW	MASTER SUITE	104 x 66	86"	CASE/FIXED/CASE	ALUMINUM CLAD	(2) CASEMENT W/ CENTER PANEL FIXED
W39	NEW	MASTER BATH	84 x 52	86"	DOUBLE HUNG /FIXED/DOUBLE HUNG	ALUMINUM CLAD	(2) DOUBLE-HUNG W/ CENTER PANEL FIXED
W40	NEW	MASTER BATH	30 x 30	86"	CASEMENT	ALUMINUM CLAD	
W41	NEW	LAUNDRY	30 x 52	86"	DOUBLE-HUNG	ALUMINUM CLAD	
W42	NEW	TEEN STUDY LOFT	36 x 48	90"	CASEMENT	ALUMINUM CLAD	
W43	NEW	TEEN STUDY LOFT	36 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W44	NEW	TEEN STUDY LOFT	36 x 48	90"	FIXED CASEMENT	ALUMINUM CLAD	
W45	NEW	TEEN STUDY LOFT	36 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W46	NEW	TEEN STUDY LOFT	36 x 48	90"	CASEMENT	ALUMINUM CLAD	
W47	NEW	TEEN STUDY LOFT	36 x 20	110"	FIXED CASEMENT	ALUMINUM CLAD	TRANSOM
W48	NEW	BEDROOM #3	36 x 54	110"	DOUBLE-HUNG	ALUMINUM CLAD	

EXTERIOR DOOR SCHEDULE				
SYM.	CONDITION	LOCATION	SIZE (W x H)	OPERATION
D01	NEW	FRONT WOOD DOOR	42 X 84	INSWING
D02	NEW	FAMILY ROOM TO DECK	62 X 85	FRENCH DOOR - INSWING
D03	NEW	DINING ROOM TO DECK	36 X 85	INSWING
D04	NEW	KITCHEN HALLWAY	32 X 85	INSWING
D05	NEW	BEDROOM #3 TO BALCONY	36 X 80	OUTSWING - EGRESS
D06	NEW	BEDROOM #5 TO BALCONY	36 X 80	OUTSWING - EGRESS

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

- FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
  - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
  - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
  - TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
- GLAZING IN GUARDS AND RAILINGS.
- GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMP.
- GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING (R304.2).

EGRESS NOTE:  
ALL EGRESS WINDOWS IN SLEEPING ROOMS MIN. 20" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MIN AREA (5.0 SF @ GROUND FLOOR) & 44" MAX SILL HEIGHT (R310.2.1) (SEE PLAN FOR LOCATION) DESIGNATED WITH (EG)

NOTE:  
(EG) INDICATES EGRESS  
(T) INDICATES TEMPERED

ALL GLAZING TO CONFORM TO THE FOLLOWING SPECIFICATIONS U.N.O.

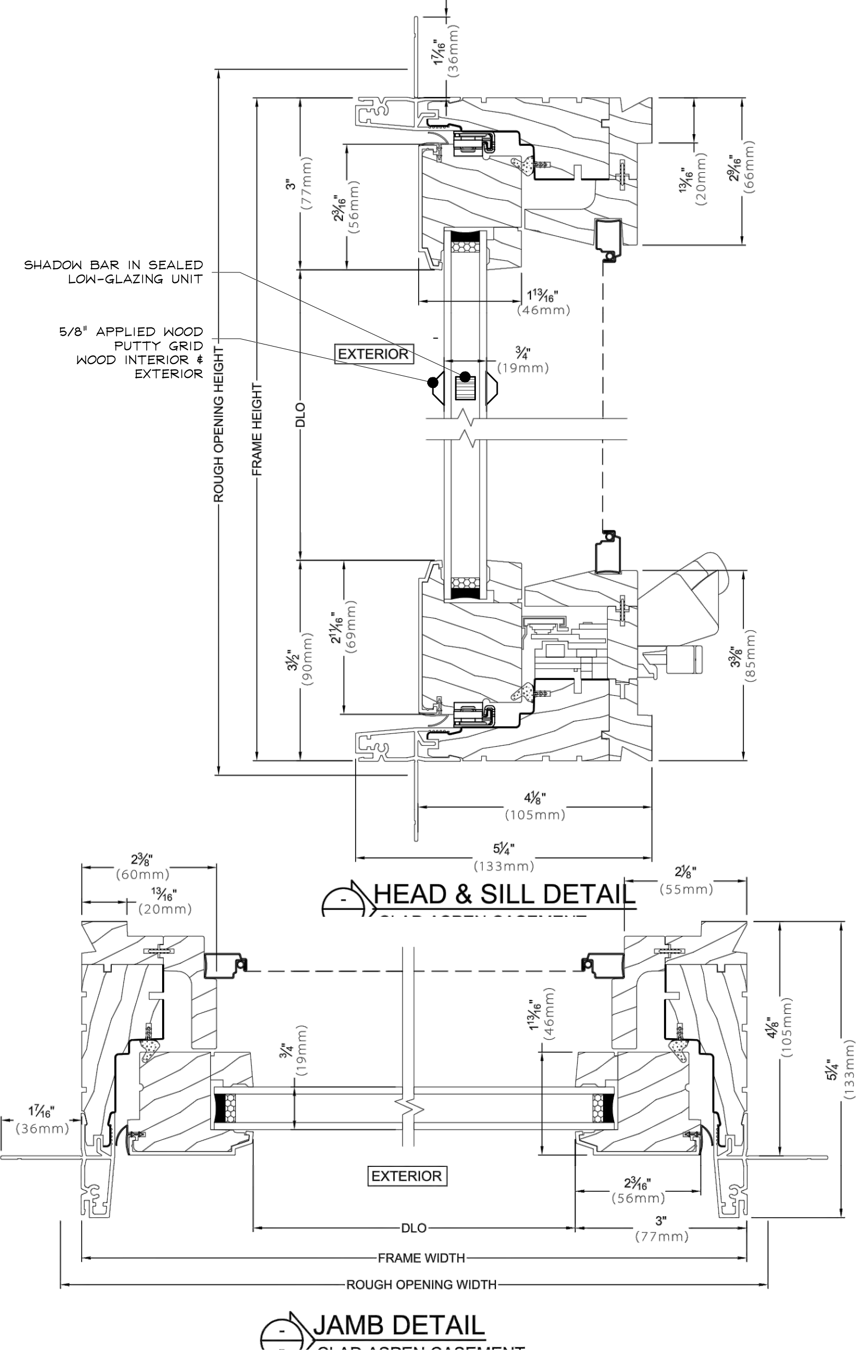
WINDOW  
U-FACTOR .30  
SHGC .21

DOOR  
U-FACTOR .30  
SHGC .21

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON UNIT UNTIL FINAL INSPECTION.

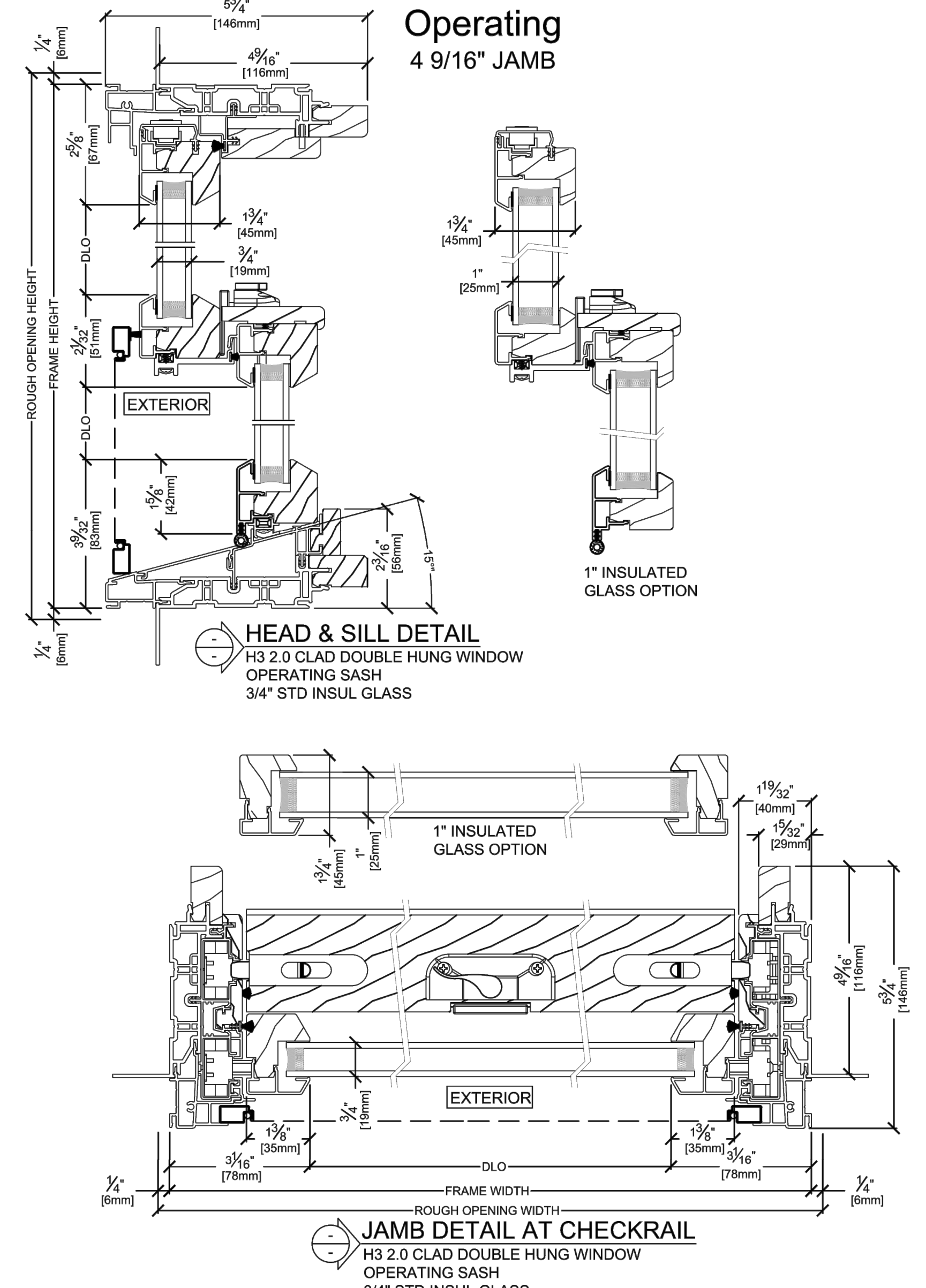
ALL DIMENSIONS NOTED ON SCHEDULE ARE NET FRAME SIZE PROVIDE 1/2" ROUGH ON ALL SIDES.

### Operable 4 1/8" JAMB



(N) WOOD/ALUMINUM CLAD DETAILS - CASEMENT

### H3 Aluminum Clad Double Hung 2.0 - Half Screen Scale:



(N) WOOD/ALUMINUM CLAD DETAILS - DOUBLE HUNG

## **ATTACHMENT 4**

Window and Door Brochures





ye-h photography | Prentiss + Balance + Wickline Architects



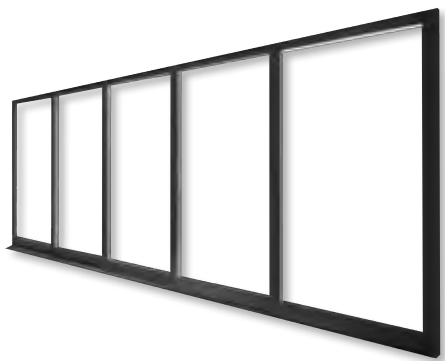
At Sierra Pacific, we've been building exceptional light commercial and residential door designs for some time. With new advancements in door technology, we now have even more configurations to share, each created to highlight or complement any design you can imagine, each crafted with the same meticulous attention to detail and longevity as our windows.

On the following pages, you'll find extraordinary options in specialty, swinging, sliding and entrance doors. Come on in and find the idea your next project needs to open up its full potential.

## MORE POSSIBILITIES, MORE ATTENTION TO DETAIL.



**BI-FOLD**  
Pages 6-9



**MULTI-SLIDE**  
Pages 10-13



**LIFT & SLIDE**  
Pages 14-15



**SWINGING**  
Pages 22-33



**SLIDING**  
Pages 36-39



**SIDELITES & TRANSOMS**  
Pages 42-45



THE POSSIBILITIES REALLY ARE WIDE OPEN.



Experiment with space, with light, with transitions, with boundaries. No matter how expansive your opening or how specific your design needs, our specialty doors are created to please. If it's a design you like, chances are we've done it. If not, we're more than happy to find just the right configuration to fit your space and your life.





# SWINGING DOORS

## LITTLE DETAILS, BIG IMPRESSION.

A grand entrance, an elegant transition between inside and outside, both doors operable, just one door operable - no matter what you need, you'll find every one of our swinging doors carries the meticulous attention to detail and innovative engineering that sets Sierra Pacific windows and doors apart.



Photo: Taylor Proctor & AJ Canaria | Prentiss + Balance + Wickline Architects

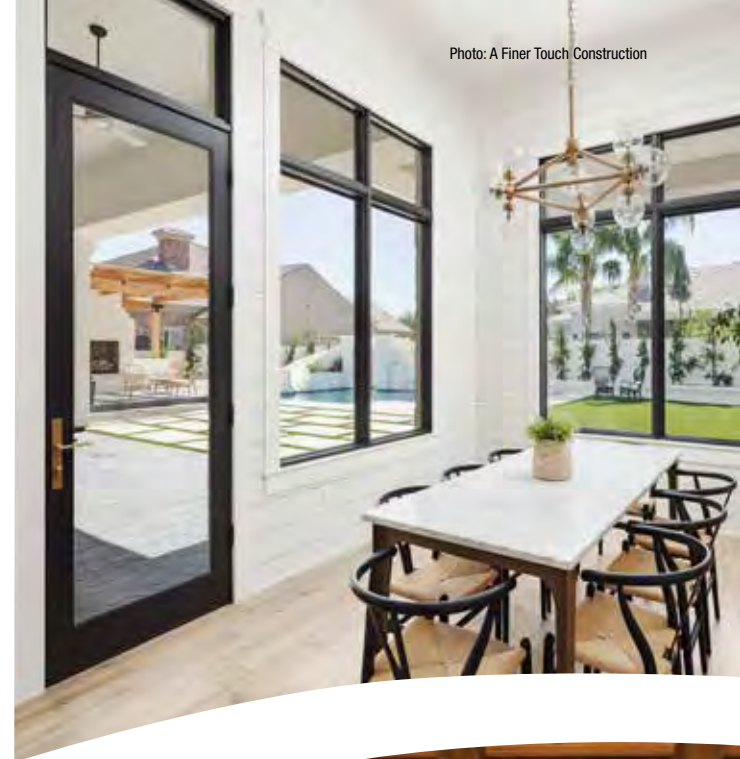


Photo: ©Gibeon Photography



# SO MANY STYLES TO CHOOSE.

Consider adding a radius top to your swing doors, or experiment with the height and width of your door. Look at a Shasta door with one fixed panel and a sliding screen. Anytime you consider a swinging door from Sierra Pacific, you have a lot of other things to consider.



## INSWING, OUTSWING, ANY WAY YOU LIKE IT.

The movement of a door affects movement through the room. With swinging doors offered in nearly every configuration imaginable, we think you'll find a Sierra Pacific combination that moves you.





# PANELS OF DISTINCTION.



When full glass isn't right, panels add a richness and traditional aesthetic that adds warmth and charm. Experiment with our combinations, and find one that opens up a new world of design sensibility.





The combinations of vertical lengths (stiles) and horizontal lengths (rails) give panel doors their unique textured design which can create a striking accent between two spaces.



## YOU COULD GO DUTCH.



Extra ventilation? Easy pass through? Whatever the reason, you're sure to love the utility of a door with a top and bottom panel that operate independently. Sometimes it's smart to be this functional.





# SIDELITES AND TRANSOMS



## ADD A SPECIAL ACCENT

Looking to get a little more inventive with your door style? Look no further than our selection of matching sidelites and transoms. They'll turn any beautiful Sierra Pacific door into something even more dramatic.





## TRANSOMS ADD PRESENCE TO ANY OPENING.

A transom above a doorway can be a beautiful way to let in more light and give your space a roomier appearance. Our transoms can be fitted with a sash and frame to match your door style, or they can be installed as a direct set to let in even more light.



## SIDELITES STUNNING AND USEFUL.

Stationary or vented, add sidelites that are perfectly integrated with your door style. From recognizing a visitor to some additional ventilation, you'll love the expanded view.



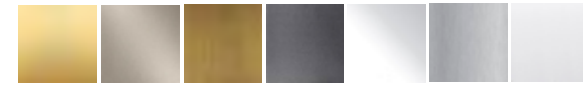


# DRESSING UP YOUR DOORS.



There are so many ways to customize your new Sierra Pacific doors and windows, you'll be able to create the exact look you want. Accessorize your doors to make a statement, or to blend in seamlessly with your design.

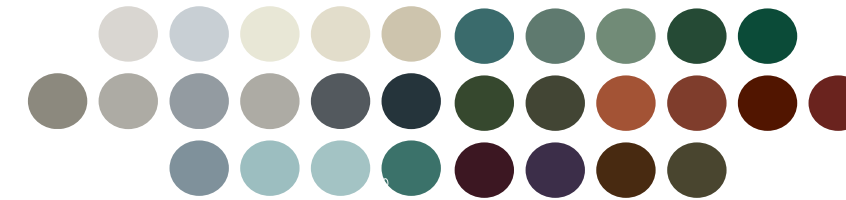
## HARDWARE



Your door handles and locking mechanisms should be pleasing to the eye and to the touch. So we make ours from forged brass and finish them with equal parts beauty and toughness.



## EXTERIOR

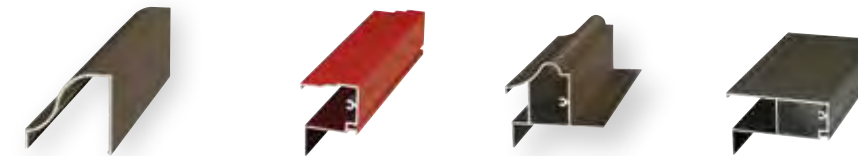


### COLORS INSPIRED BY NATURE.

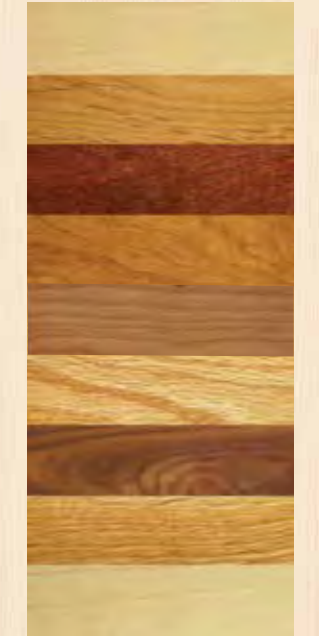
Extruded aluminum twice as thick as roll-form cladding is coated with a unique, industry-leading AAMA 2604 or 2605 powder-coated finish in an unprecedented 75 colors, with textured finishes and custom color matching also available.

### TRIM TO ACCENT YOUR DESIGN.

Several choices of exterior trim in wood or aluminum cladding bring your outside design together completely.



## INTERIOR



### THE NATURAL BEAUTY OF WOOD.

The way natural wood enriches your interior can't be overstated. We offer nine species of exceptional grain and depth to give your interior design a timeless appeal. In fact, as long as the wood is viable, we'll craft your order out of almost any species you choose.



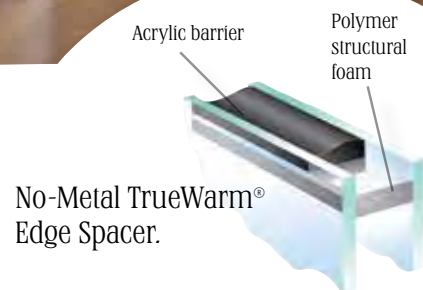
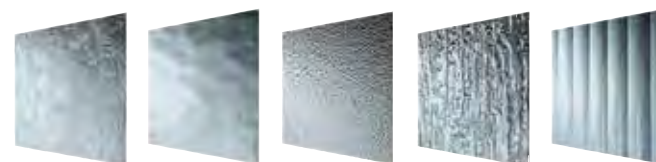
# EVEN YOUR GLASS CAN BE CUSTOMIZED.

Solar heat gain, damaging UV rays, cold climates, hot climates, privacy concerns, all can be fine-tuned to your exact needs thanks to a range of glazing and decorative glass options.



Photo: Vanguard Properties

See more decorative glass examples at [SierraPacificWindows.com](http://SierraPacificWindows.com)



Simulated divided lite grilles can take an ordinary sheet of glass and transform it into a contemporary or traditional masterpiece. To that end, we offer many varieties of simulated divided lite bar profiles and configurations to give your doors a style all their own.

# LIGHT PATTERNS TO TRANSFORM YOUR LOOK.



	5/8"	7/8"	1"	1-1/4"	2"			
Contemporary clad								
Traditional clad								
Butty clad						Prairie	Equal	Many patterns and custom available.



# STILL “THE MOST INNOVATIVE WINDOW OF THE YEAR.”



When we introduced our advanced H3 window, Window & Door magazine gave it the Crystal Achievement Award for innovation.

Since then, all we've done is make it even better.

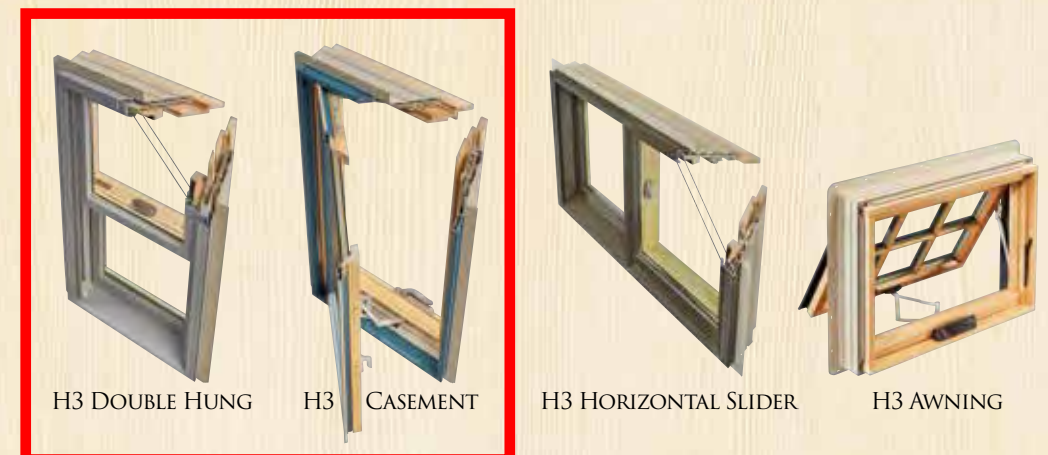
At the core of the H3 is our patented Fusion Technology™. It integrates three perfect materials - extruded aluminum, vinyl and wood - into one perfect window. This unique fusion results in improved energy efficiency & performance, noticeably enhanced aesthetics, an extreme seal, and easier installation.

## MORE IMPROVEMENTS FOR AN INDUSTRY LEADER.

The past few years have seen some incredible improvements to an already over-achieving window line. We recently introduced our H3 Accessory Frame with four available profiles.

Now we've added a completely new lineup of simulated divided lite grille profiles to give our H3 windows even more design options.

You'll also find our H3 FeelSafe product line making a name for itself in Zone III impact-prone locations. Add the continuous head and sill offered on all of our H3 products, and you'll see why our H3 Series remains a game changer.



H3 DOUBLE HUNG

H3 CASEMENT

H3 HORIZONTAL SLIDER

H3 AWNING



# NOBODY'S EVER BUILT A CASEMENT LIKE THIS BEFORE.

## H3



## H3 AWNING WINDOW

Like all our products, Sierra Pacific awning windows are custom made, by hand, to your exact specifications. We think you'll notice the difference in how they look and how they perform.

Awning windows are a great choice when you want the fresh air of an open window even if it's raining. Our awning windows are commonly used alone or combined underneath a large picture window to provide ventilation.



Now available in our FeelSafe impact line.

Wood interior for warmth, beauty and thermal insulation with 4-9/16" standard jamb depth. Not just a veneer like some windows. Select ponderosa pine is standard. Available natural, primed, or factory finished, and in 8 other wood species.

Seamless factory mull system stops water with integral continuous head and sill mulls.

Extra-strong 0.078" vinyl base frame for superior rigidity, tight corners, total protection against rot, and enhanced resistance to air or water leaks. No vinyl components are visible when window is closed.

Proprietary patented Fusion Technology™ integrates 3 perfect materials into 1 perfect window.

Thicker, stronger extruded aluminum cladding. Ours is at least twice as thick as competitors' roll-form cladding for greater durability and dent resistance.

Innovative snap-lock design means no unsightly screws or fasteners on the interior. Only minor nail holes to fill in the screen track.

Protected to the core against water with our exclusive patented CoreGuard Plus™ wood treatment for superior rot resistance.

Available with simulated divided lite grilles or our grilles between the glass.

Top of the line Encore handle and operating hardware are standard.

Premium weatherstripping.

Custom sizing to 1/8" available.

Revolutionary patent-pending H3 Accessory Frame integrates with nail fin to allow easy install of four different profiles with no additional nailing.

Integral rigid nailing fin for greater structural integrity, improved water barrier and easy installation. The H3 virtually eliminates racking problems.

Mix and match the H3 with our premium line to help stay within budget.

Sealed and mitered corners outside, non-mitered inside. Architectural sash setback of 1-1/8".

Choose from nine species of interior wood.



# NOBODY'S EVER BUILT A DOUBLE HUNG LIKE THIS BEFORE.

H3



Now available in our FeelSafe impact line.

Wood interior for warmth, beauty and thermal insulation with 4-9/16" standard jamb depth. Not just a veneer like other mid-priced windows. Select ponderosa pine is standard. Available natural, primed, or factory finished, and in 8 other wood species.

Extra-strong 0.078" vinyl base frame for superior rigidity, tight corners, total protection against rot and enhanced resistance to air or water leaks.

Protected to the core against water with our exclusive patented CoreGuard Plus™ wood treatment for superior rot resistance.

Proprietary patented Fusion Technology™ integrates 3 perfect materials into 1 perfect window.

Innovative snap-lock design means no unsightly screws or fasteners on the interior.

Revolutionary patent-pending H3 Accessory Frame integrates with nail fin to allow easy install of four different profiles with no additional nailing.

Low profile surface mounted lock with easy to operate lever.

Constant force balance for smooth, easy operation.

Integral rigid nailing fin for greater structural integrity, improved water barrier and easy installation. The H3 virtually eliminates racking problems.

Available for new construction applications with an integral nailing fin or as an insert window for replacement applications.

Choose from nine species of interior wood.

Concealed jambliner just like on our custom built, high end windows.

Easy-tilt sash for easy cleaning.

Premium weatherstripping.

Custom sizing to 1/8" available.

Mix and match the H3 with our premium line to help stay within budget.

Available with simulated divided lite grilles or our grilles between the glass.

Sealed and mitered corners outside, non-mitered inside.

Seamless factory mull system stops water with integral continuous head and sill mulls.

Thicker, stronger extruded aluminum cladding. Ours is at least twice as thick as competitors' roll-form cladding for greater durability and dent resistance.





# A TOP PERFORMER IN ZONE III AREAS.

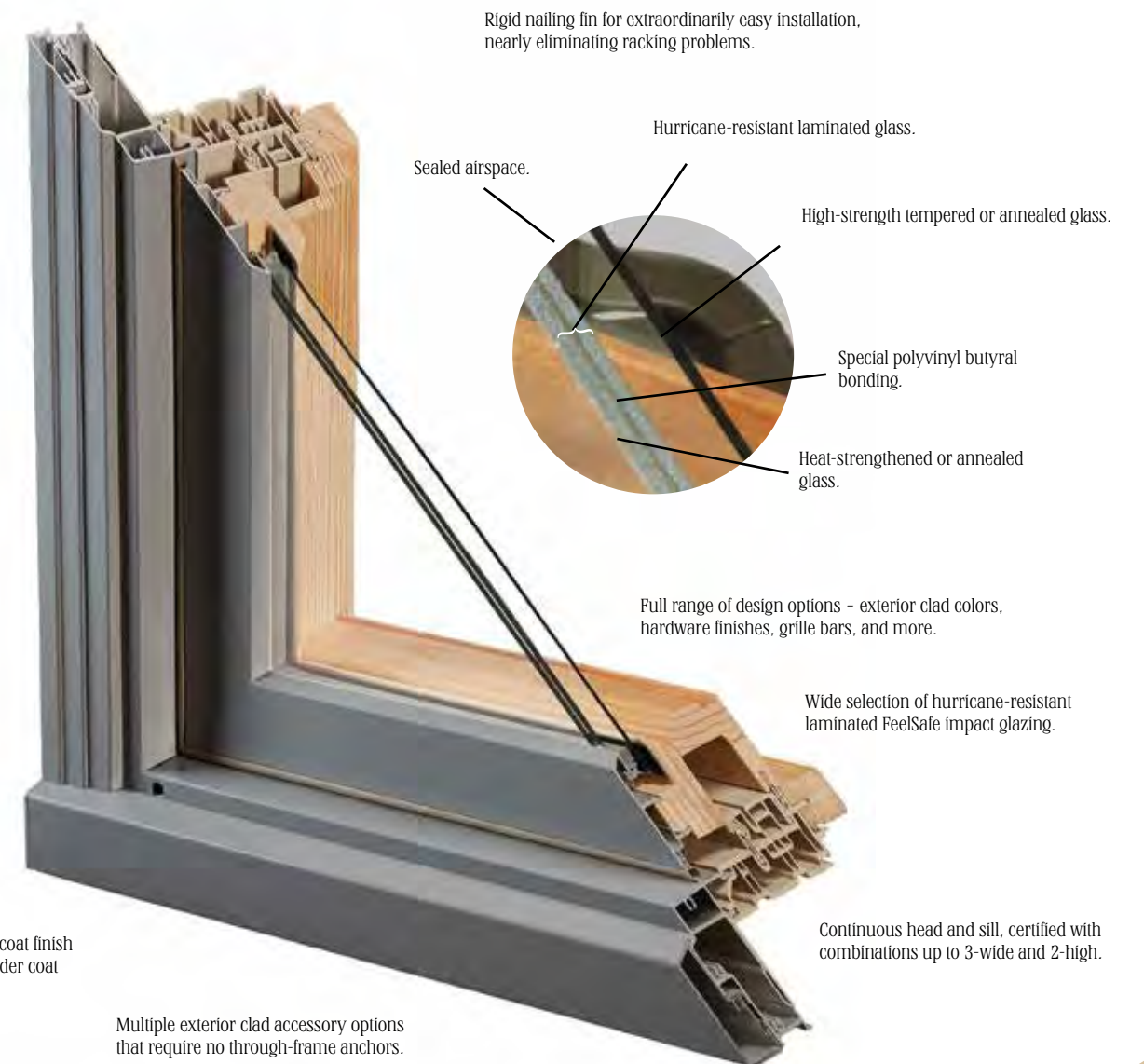
**H3**

**FEELSAFE™**  
HURRICANE-RESISTANT WINDOWS



H3 has long been a favorite with architects, builders and homeowners. With the addition of our hurricane resistant FeelSafe glazing, H3 FeelSafe is an amazing and often necessary choice for zone III homebuilders. Exceptionally easy to install and extremely energy efficient, choose from casement, awning, double hung and direct set. Our full H3 FeelSafe line is perfect for coastal building challenges.

Famous patented H3 Fusion Technology™.



H3 Feelsafe products are available as casements, awnings, double hung and direct set, all with DP +50/-60 zone III rating.



Standard AAMA 2604 powder coat finish with optional AAMA 2605 powder coat finish.

Multiple exterior clad accessory options that require no through-frame anchors.

Continuous head and sill, certified with combinations up to 3-wide and 2-high.



# HIGH PERFORMANCE GLAZING OPTIONS.

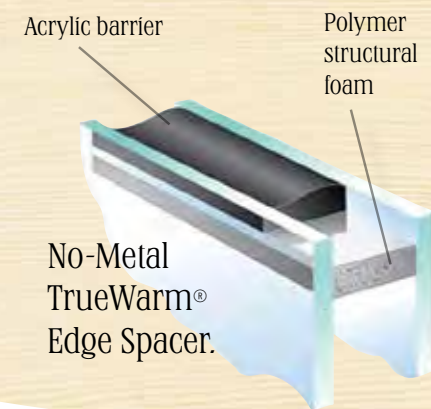


## FINE TUNE YOUR WINDOWS FOR OPTIMAL PERFORMANCE.

What's the best glazing for your windows and patio doors?

Obviously, what's best for a freezing northern winter is not necessarily right for a hot southern summer. We have the answer. With one of the broadest selections of glazing options in the window industry, Sierra Pacific lets you choose exactly the right performance glass for your exact weather and environmental conditions.

You can choose glazing to improve your energy efficiency and lower your energy bills. You can capture the sun's heat, or reflect it. You can also reduce outside noise, block the sun's damaging UV rays, or even enhance your privacy.



## THE ADVANTAGE OF NO-METAL SPACERS.

One of the technological advances that make our Aspen windows perform so well is our patented No-Metal TrueWarm® Edge spacers.

Many window manufacturers use aluminum spacers between their panes of glass. These conduct cold and heat, and that's not good for thermal performance.

Our no-metal warm edge spacers are 100% polymer structural foam, for excellent thermal performance and a superior seal.

### Low-E 366



Cardinal's triple layer silver product with their exclusive XL Edge Spacer for superior performance. 95% UV protection. Solar heat gain coefficient of 0.27\*. Also available with Preserve® protective film or with Preserve and Neat® coating for a naturally cleaner glass.\*\*

### Low-E 366 with i89 Coating\*\*



The same superior performance as regular Low-E 366 (above), but with the addition of i89 coating on the interior surface to increase insulating value and reduce solar heat gain. Meets even the most extreme requirements in the majority of the Canadian Energy Star zones. Also available with Preserve protective film or with Preserve and Neat coating.\*\*

### Low-E 340



Cardinal's newest glazing innovation. It has an amazingly low 0.18\* solar heat gain coefficient to keep out the heat even in the blazing sun. Slightly tinted. Blocks 98% of UV rays. Less heat gain when it's hot, less heat loss when it's cold, and maximum glare control. Also available with Preserve protective film or with Preserve and Neat coating.\*\*

### Low-E 180 Passive Solar



A very high (0.70\*) coefficient for capturing solar heat gain. Ideal for reducing your heating bills in colder climates. Superior insulation value blocks cold and keeps in the heat. Also available with Preserve protective film or with Preserve and Neat coating.\*\*

### Low-E 180 Passive Solar with i89 Coating\*\*



The same superior performance as regular Low-E 180 (above), but with the addition of i89 coating on the interior surface to increase insulating value. Meets even the most extreme requirements in the majority of the Canadian Energy Star zones. Also available with Preserve protective film or with Preserve and Neat coating for a naturally cleaner glass.\*\*

### Dual or Triple Pane Low-E



Insulated for improved energy efficiency. Single surface low-E coating to reduce solar heat gain and block UV rays.

### Insulated Glass



For moderate climates. Basic glazing with basic performance.

### Sound Control

Reduces outside noise by as much as 50% while blocking 99% of damaging UV rays. Laminated for shatter resistance. Available insulated or non-insulated.

### FeelSafe® Insulated Low-E with or without Sea Turtle Glazing



Protect your home and our sea turtle population. FeelSafe windows and patio doors are engineered inside and out to resist hurricane-force winds, pounding rain, wind-borne debris, and rapid pressure changes that could implode your home or literally blow off the roof. Available in low-E, low-E 366 or low-E 340.

### FeelSafe® Laminated with or without Sea Turtle Glazing



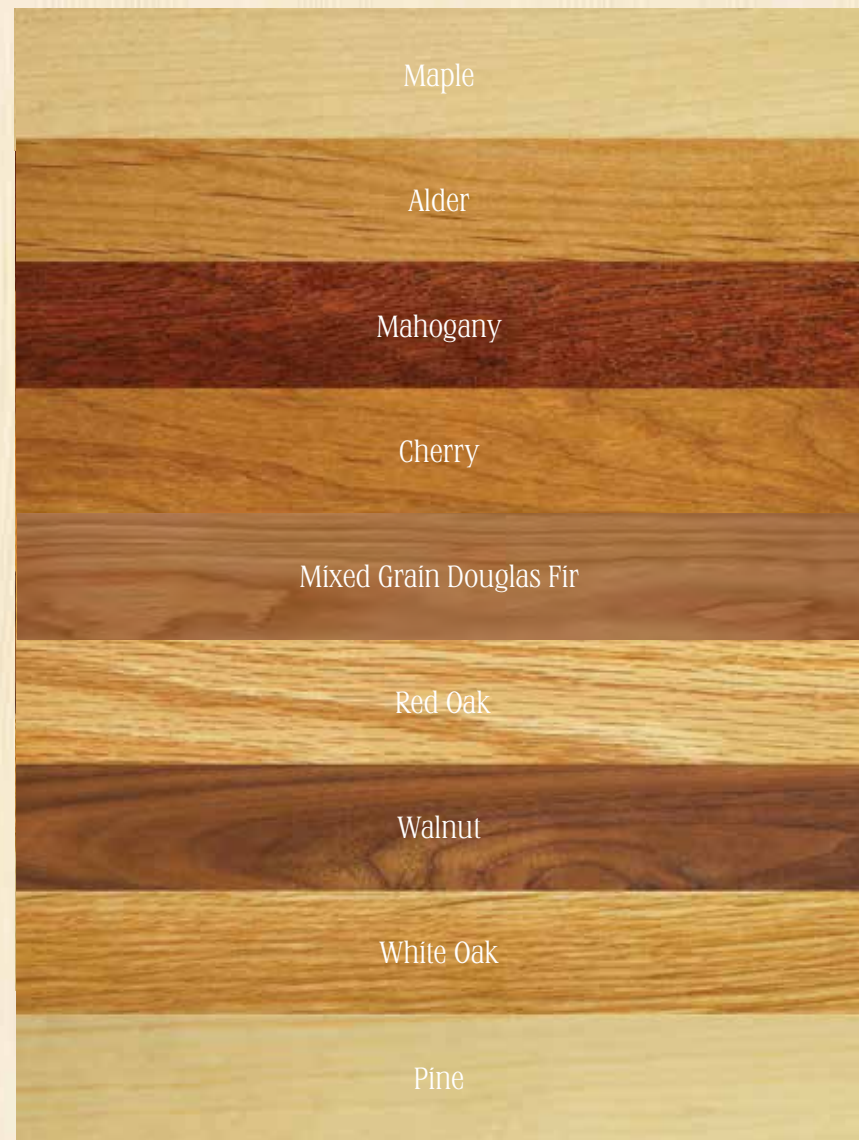
For moderate climates, our non-insulated, shatter-resistant FeelSafe glass provides the utmost security—whether your concern is severe storms or intruders. Also available in low-E 366 or low-E 340.

\*All values shown are center of glass. \*\*Interior surface coatings, also known as surface #4, are applied to the interior (room-side surface) of a dual pane IG unit, resulting in improved thermal performance and lower heating costs. Because the coating reflects heat back into the room, the room-side pane of glass will be slightly colder in winter, causing a higher potential for interior condensation. \*\*\*Available when selecting XL Edge Spacer.



# THE WARMTH & BEAUTY OF SELECT WOODS.

We happen to think that your windows should match your cabinets perfectly. So whether it's your den or your kitchen, or throughout the whole house, Sierra Pacific lets you choose from nine beautiful woods for your windows, patio doors and trim. In fact, as long as it's workable, we're willing to make your windows out of any wood in the world.



Prairie  
Shown in pine  
3-1/2" wide



Tradesman  
Shown in oak  
3-1/2" wide



Tradesman II  
Shown in pine  
3-1/2" wide



Craftsman  
Shown in oak  
3-1/2" wide



Continental  
Shown in oak  
3-1/2" wide



Colonial  
Shown in oak  
3-1/2" wide



Regal  
Shown in pine  
3-1/2" wide



Provincial  
Shown in oak  
3-1/2" wide



Tudor  
Shown in pine  
3-1/2" wide



Heritage  
Shown in oak  
2-3/4" wide



Heritage II  
Shown in pine  
2-3/4" wide



Traditional  
Shown in pine  
2-1/4" wide



Contemporary  
Shown in pine  
2-1/4" wide



Rosettes.  
Available in 2.5"  
or 3.5" sizes in  
matching wood  
species.

## A PREMIUM FACTORY FINISH.

Nothing beats a factory finish performed with state-of-the-art equipment under rigorously controlled, ultra-clean conditions.

Sierra Pacific gives you two premium options: Ultra Stain and Ultra Coat.

Ultra Stain is an advanced, multi-step process that brings out all the beauty of your wood interior. Ultra Coat is a white or black durable interior paint.

Both Ultra Stain and Ultra Coat are so tough, they resist scratching and marring and so superior, they provide advanced protection against moisture.

### Ultra Stain

Clear

Espresso

Toffee

### Ultra Coat

White

Black





CHOOSE CAREFULLY. THESE COLORS STAY A LONG, LONG, LONG TIME.

# EXTERIOR CLAD FINISHES

## COLOR STAY™ COLLECTION

White 001	✓ Linen 032	French Linen 112	Morning Dove Gray 113	Colonial White 313	Sandstone 003	Beige 335
Tan 043	✓ Gull Gray 007	✓ Seawolf 044	Fashion Gray 111	Slate Gray 045	✓ Battleship Gray 321	TW Black 061
✓ Black Sable 060	Slate Blue 008	Light Blue 046	✓ Steel Blue 114	Aqua Mist 115	Hampton Blue 323	Sage Green 005
Teal 047	Hemlock Green 048	Patina Green 051	Forest Green 049	Evergreen 009	Green 004	✓ Hartford Green 050
Moss 031	✓ Greek Olive 081	Terra Cotta 053	✓ Clay 026	ICI Brown 056	✓ Colonial Red 054	Harvest Cranberry 010
Burgundy 055	Deep Plum 116	Deep Taupe 077	✓ Antique Bronze 057	TW Brown 058	✓ Bahama Brown 309	Regal Brown 059
Brown 002	✓ Bronze 024	Black 023				



The Textured Collection

The exterior of Sierra Pacific H3 windows is fully encased in low maintenance, heavy-duty, extruded aluminum. Ours is at least twice as thick as our competitors' roll-form cladding.

What's more, our finishing process leads the industry in durability and environmental safety. Non-hazardous AAMA 2604 and 2605 powder-coatings have the color retention, surface hardness and scratch resistance necessary to withstand even the harshest conditions.

As for colors? Nobody gives you more choices than Sierra Pacific. 75 colors and some sensational textures allow you to add warmth, a splash of cheerfulness or a new statement to your designs. We'll also custom match any color you choose.



### TEXTURED COLLECTION

Peppered Steel 110	Sift Espresso 097	Mocha 098
Cajun Spice 099	Pesto 100	Available AAMA 2604 only.

### WEATHERED COLLECTION

Weathered Cafe Royale 104	Weathered Cocoa 105	Weathered Brown 034
Weathered Bronze 078	Weathered Clay 075	Weathered Red Pepper 106
Weathered Rust 076	Weathered Basil 107	Available AAMA 2605 only.

### INDUSTRIAL COLLECTION

Medium Bronze Industrial 101	Dark Bronze Industrial 102	Available AAMA 2605 only.
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### PEARL METALLIC COLLECTION

El Cajon Silver 068	Platinum 067	Light Bronze Pearl 069
Medium Bronze Pearl 070	Dark Bronze Pearl 071	Available AAMA 2605 only.

### METALLIC COLLECTION

Alpine Silver 062	Metallic Champagne 063	Bronze Classic 064
Classic Copper 088	Copper Penny 065	Available AAMA 2605 only.

### ANODIZED COLLECTION

Clear Anodized 103/332	Medium Bronze Anodized 096/307	Dark Bronze Anodized 095/306
Black Anodized 117/353	Copper Anodized 352	

✓ Colors available in vinyl  
 Printing limits our ability to show colors precisely.  
 See your local representative for actual cladding samples.



# MAKE OUR WINDOWS UNIQUELY YOURS.



With our grille and hardware design options, you can make the look of your H3 windows truly complement your home—whether your décor is traditional, contemporary, or something in between.

## CASEMENT HARDWARE.

Our standard handle is the Encore from Truth. It's the same high-end handle as on our premium casements. It folds out of the way of window treatments, and comes in beautiful hardware finishes, including our newly created black matte finish.



## DOUBLE HUNG HARDWARE.

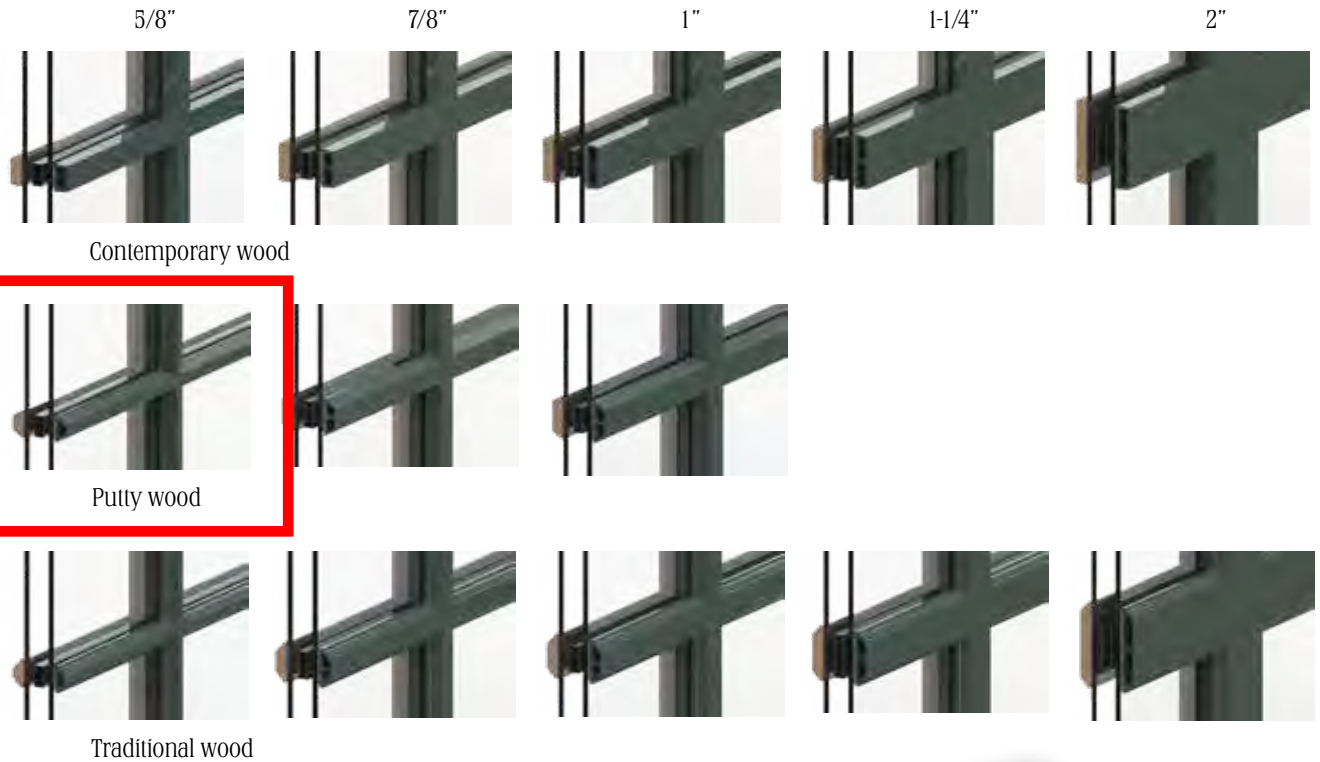
Easy-tilt latches make window cleaning a breeze. Available in multiple finishes.



## CLASSIC APPEAL, MODERN EASE.

Sierra Pacific offers two ways to achieve the classic appeal of traditional divided lights. Our newly expanded selection of simulated divided light profiles, with optional aluminum spacers between the glass, and our grilles between the glass, giving you the visual appeal you want without the grille ever getting in your way.

## SIMULATED DIVIDED LITE PROFILES



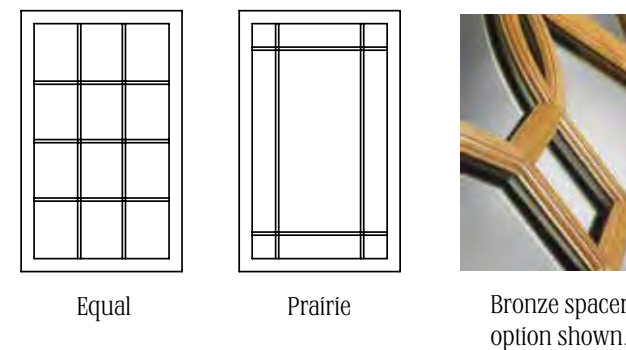
## GRILLES BETWEEN THE GLASS.

Grilles between the glass come in your choice of profiles: 11/16" or 1" contour or 5/8" flat. Available in 8 colors. Two-tone grilles also available.



## GRILLE CONFIGURATIONS.

Your grilles can be as traditional or as unique as you choose. Our standard configurations include equal and prairie. But with our custom configurations, we're ready to transform your inspiration into reality.





## **ATTACHMENT 5**

Neighborhood Pictures

# Annotated Map of Neighborhood Showing Number of Stories and Square Footage: 1411 Oak St, South Pasadena

**Address Legend**

- 1: 1425 Oak St
- 2: 1431 Oak St
- 3: 1501 Oak St
- 4: 1505 Oak St
- 5: 1504 Laurel St
- 6: 1424 Laurel St
- 7: 1420 Laurel St
- 8: 1414 Laurel St
- 9: 1408 Laurel St
- 11: 1400 Laurel St
- 12: 1614 Fremont Ave
- 13: 1610 Fremont Ave
- 14: 1600 Fremont Ave
- 15: 1617 Fremont Ave
- 16: 1609 Fremont Ave
- 17: 1601 Fremont Ave
- 18: 1519 Fremont Ave
- 19: 1501 Fremont Ave
- 20: 1524 Fremont Ave
- 21: 1416 Oak St
- 22: 1420 Oak St
- 23: 1428 Oak St
- 24: 1502 Oak St
- 25: 1506 Oak St
- 26: 1429 Rollin St
- 27: 1425 Rollin St
- 28: 1421 Rollin St
- 29: 1417 Rollin St
- 30: 1401 Rollin St





**Catalog of Neighborhood Homes Showing Address, Square Footage, and One Story or Two Story Configuration: 1411 Oak St, South Pasadena**



1. 1425 Oak St
  - Two Story Home
  - 1748 Sq. Ft



- 2. 1431 Oak St
- Two Story Home
- 2510 Sq. Ft





3. 1501 Oak St
- One Story Home
- 1378 Sq. Ft



4. 1505 Oak St
- Two Story Home
- 2666 Sq. Ft





5. 1504 Laurel St
- Two Story Home
- 2482 Sq. Ft





6. 1424 Laurel St
- Two Story Home
- 2330 Sq. Ft





- 7. 1420 Laurel St
- Two Story Home
- 2375 Sq. Ft



- 8. 1414 Laurel St
- One Story Home
- 1700 Sq. Ft





- 9. 1408 Laurel St
- Two Story Home
- 1954 Sq. Ft



10. 1404 Laurel St
- Two Story Home
  - 2896 Sq. Ft





11. 1400 Laurel St  
- Two Story Home  
- 3260 Sq. Ft



12. 1614 Fremont Ave
- Two Story Home
  - 3234 Sq. Ft





13. 1610 Fremont Ave
- One Story Home
  - 1194 Sq. Ft



14. 1600 Fremont Ave

- Two Story Home

- 3138 Sq. Ft





15. 1617 Fremont Ave
- One Story Multi Unit
  - 1722 Sq. Ft, 1578 Sq. Ft, 3136 Sq. Ft



16. 1609 Fremont Ave
- Three Story Multi Unit
  - 22938 Sq. Ft





17. 1601 Fremont Ave
- One Story Multi Unit
  - 6695 Sq. Ft



18. 1519 Fremont Ave

- Church
- 14112 Sq. Ft





19. 1501 Fremont Ave

- Church
- 9438 Sq. Ft



20. 1524 Fremont Ave

- Church
- 8337 Sq. Ft





21. 1416 Oak St  
- Two Story Home  
- 2712 Sq. Ft



22. 1420 Oak St
- Two Story Multi Unit Apartment
  - 9752 Sq. Ft





23. 1428 Oak St
- Two Story Home
  - 4495 Sq. Ft



24. 1502 Oak St
- Two Story Home
  - 2956 Sq. Ft





25. 1506 Oak St
- Two Story Home
  - 4952 Sq. Ft



26. 1429 Rollin St  
- Two Story Home  
- 2664 Sq. Ft





27. 1425 Rollin St  
- One Story Home  
- 2004 Sq. Ft



28. 1421 Rollin St
- One Story Home
  - 1680 Sq. Ft





29. 1417 Rollin St  
- Two Story Home  
- 2792 Sq. Ft



30. 1401 Rollin St
- Two Story Multi Unit Apartment
  - 9939 Sq. Ft





# Design Review Board Agenda Report

ITEM NO. 5

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**DATE:** May 4, 2023  
**TO:** Design Review Board  
**FROM:** Angelica Frausto-Lupo, Community Development Director  
**PREPARED BY:** Matt Chang, Planning Manager  
**SUBJECT:** 2023 Annual Commission Report

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## Recommendation

It is recommended that the Design Review Board discuss and approve 2023 Annual Commission Report.

## Discussion

The City Clerk's Office recently provided information to all city commissions regarding the upcoming Annual Commissioner Congress scheduled for Wednesday, June 28, 2023. The Commissioner Congress provides an opportunity for City Council to receive a year-end report from each commission on the accomplishments of the previous year and a workplan for the upcoming fiscal year.

A draft 2023 Annual Commission Report for the Design Review Board is provided as **Attachment 1**.

The purpose of this item is for the Board to discuss and finalize the Annual Commission Report to be presented at the Annual Commission Congress.

## Attachment

1. Draft 2023 Annual Commission Report

# **ATTACHMENT 1**

Draft 2023 Annual Commission Report



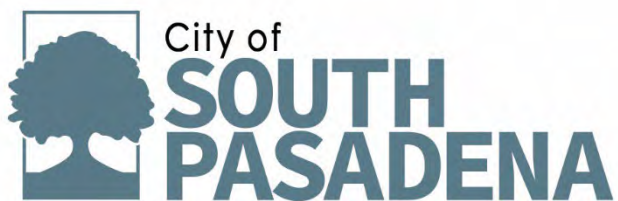


# 2023 ANNUAL COMMISSION REPORT

City of South Pasadena

**(DRAFT)**

**Design Review Board**



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# A Message from the Board Chair

*A brief message from the Chair person should be included.*

Sincerely,

Brian Nichols  
Design Review Board, Chair

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## Purpose Statement

The Design Review Board provides support to the City Council by retaining and strengthening the visual quality of the City, and ensuring that new uses and structures are compatible with the highest standards. The Design Review Board serves to encourage imaginative solutions and high-quality design by focusing on design solutions that will have the greatest effect on enhancing community character and aesthetic.



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# Design Review Board

Brian Nichols	Chair
Melissa Hon Tsai	Vice-Chair
Joe Carlson	Board Member
Samantha Hill	Board Member
Kay Younger	Board Member
Janet Braun	Council Liaison
Matt Chang Planning Manager	Staff Liaison

Design Review Board meetings are held every 1<sup>st</sup> Thursday of the month at 6:30 p.m. Meetings are held at 1424 Mission Street, South Pasadena, CA 91030.

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# Accomplishments

1. City staff and the City consultant are in the process of developing an electronic permitting system. In 2022, the Design Review Board processed 20 design review applications for residential and commercial projects. The Chair of the Board provided feedback and assisted property owners with their projects. Approximately 71 Chair review applications were processed.
2. The Design Review Board reviewed and approved a new commercial building of approx. 1,900 sq. ft. with 1,200 sq. ft. patio space located at 5 Pasadena Avenue and exterior façade remodel project for Bristol Farms Market at 606 Fair Oaks Avenue.
3. City staff and the consultant kicked-off the Objective Development Standards project for multi-family and mixed-use buildings. The Design Review Board held a special meeting and provided comments/direction to the City consultant.



# **ANNUAL WORKPLAN FY 2023-2024**

**(Design Review Board)**



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# Fiscal Year 2023-2024 Work Plan

1. Provide comments to staff on potential Zoning Code update to streamline application process.
2. Coordinate with City staff to review and update design review applications to ensure high-quality design while providing a user-friendly document.
3. Provide comments on the Draft Objective Development Standards for multi-family and mixed-use buildings.

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