



**CITY OF SOUTH PASADENA
PLANNING COMMISSION
REGULAR MEETING AGENDA**

Tuesday, October 13, 2020 at 6:30 p.m.

South Pasadena Planning Commission Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the regular meeting of the Planning Commission for July 14, 2020 will be conducted remotely and held by video conference. The meeting will be broadcast live on the City's Planning Commission website and can be viewed by [clicking here](#) or put in **ID 861 8429 7512 in Zoom**.

Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chambers will not be open for the meeting. Commission members will be participating remotely and will not be physically present in the Council Chambers.

The Planning Commission welcomes your input. Members of the public may provide comments to the Planning Commission by emailing: PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a **3-minute** voicemail message to be played during the meeting. Public comments must be received by **12:00 p.m. on Tuesday, October 13, 2020** to ensure adequate time to compile and post. Please provide: 1) your name and address; and 2) agenda item for the comments/questions. All comments/questions received will be distributed to the Commission for consideration and will also be posted on the City's website prior to the meeting.

CALL TO ORDER:

Chair Janet Braun

ROLL CALL:

Laura Dahl, Commissioner, Richard Tom, Commissioner, Lisa Padilla, Secretary, John Lesak, Vice-Chair and Janet Braun, Chair

COUNCIL LIAISON:

Diana Mahmud, Mayor Pro Tem, Council Liaison

STAFF PRESENT:

Teresa L. Highsmith, City Attorney
 Joanna Hankamer, Planning & Community Dev. Director
 Kanika Kith, Planning Manager
 Margaret Lin, Manager of Long Range Planning &
 Economic Development
 Malinda Lim, Associate Planner

<p>APPROVAL OF AGENDA</p>

<p>Majority vote of the Commission to proceed with Commission business.</p>

<p>DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS</p>

<p>Disclosure by Commissioners of site visits and ex-parte contact for items on the agenda.</p>

<p>PUBLIC COMMENTS AND SUGGESTIONS</p>

<p>If you wish to address the Planning Commission on items not on the agenda and within the subject-matter jurisdiction of the Planning Commission, members of the public may submit their comments in writing to PlanningComments@southpasadenaca.gov or by calling (626) 403-7720 and leaving a 3-minute voicemail message to be played during the meeting. Public comments must be received by 12:00 p.m. on Tuesday, October 13, 2020 to ensure adequate time to compile and post. Please make sure to indicate: 1) your name; and 2) stating it is for general public comments/suggestions.</p>

<p>The public should be aware that the Planning Commission may not discuss details or vote on non-agenda items. Your concerns may be referred to staff or placed on a future agenda.</p>
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<p>PUBLIC HEARING</p>

1. 804 Valley View Road, Project No. 2298-DRX/HDP/TRP - A Design Review and Hillside Development Permit for a New Single-Family Residence on a Hillside Lot and Tree Removal Permit Located at 804 Valley View Road (APN 5310-020-029) (Continued).

Recommendation

1. Adopt an addendum to a Negative Declaration for the proposed project, Project No. 2298-DRX/HDP/TRP, Design Review and Hillside Development Permit; and
2. Approve Project No. 2298-DRX/HDP/TRP, Design Review and Hillside Development Permit for the construction of a new 3,125 square- foot tri-level single-family residence and Tree Removal Permit located at 804 Valley View Road, subject to conditions of approval.

- 2. 1312 Meridian Ave, Project No. 2205-NID/HDP/DRX/VAR, Notice of intent to demolish Design Review, Hillside Development Permit, and Variance for modification and addition to a single-family residence at 1312 Meridian Avenue (APN:5319-029-017)**

Recommendation

Adopt a Resolution approving Project No. 2205-NID/DRX/HDP/VAR (Notice of Intent to Demolish, Hillside Development Permit, Design Review, and Variances) for the property located at 1312 Meridian Avenue, subject to conditions of approval.

DISCUSSION

- 3. Tenant Protection - Impacts of State Law relating to Tenant Protection Act of 2019 (Assembly Bill 1482) on local tenant protection opportunity**

Recommendation

Discuss and consider a recommendation to the City Council.

ADMINISTRATION

- 4. Comments from City Council Liaison**
- 5. Comments from Planning Commissioners**
- 6. Comments from Staff**

ADJOURNMENT

- 7. Adjourn to the regular Planning Commission meeting scheduled for November 10, 2020.**

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Planning Commission meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/test-planning-commission-agendas-minutes-copy>

Agenda related documents provided to the Planning Commission are available for public review on the City's website. Additional documents, when presented to Planning Commission, will also be uploaded and available on the City's website. The meeting will be broadcast live on the City's website via Zoom, and a recording of the meeting will be available on the website within 48 hours of adjournment.

AGENDA NOTIFICATION SUBSCRIPTION


Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk’s Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.

10/8/20	
Date	Elaine Serrano, Administrative Secretary



Planning Commission Agenda Report

ITEM NO. 1

DATE: October 13, 2020

TO: Chair and Members of the Commission

FROM: Joanna Hankamer, Director of Planning and Community Development
Kanika Kith, Planning Manager

PREPARED: Nick Pergakes, AICP, Contract Planner
Malinda Lim, Associate Planner

SUBJECT: Project No. 2298 - DRX/HDP/TRP (Continued) – A Design Review and Hillside Development Permit for a New Single-Family Residence on a Hillside Lot and Tree Removal Permit Located at 804 Valley View Road (APN 5310-020-029)

Recommendation

It is recommended that the Planning Commission adopt a resolution taking the following actions:

1. Adopt an addendum to a Negative Declaration for the proposed project, Project No. 2298-DRX/HDP/TRP, Design Review and Hillside Development Permit; and
2. Adopt a resolution approving Project No. 2298-DRX/HDP/TRP, Design Review and Hillside Development Permit for the construction of a new 3,125 square-foot tri-level single-family residence and Tree Removal Permit located at 804 Valley View Road, subject to conditions of approval.

Background

On September 8, 2020, the Planning Commission reviewed the project and voted 5-0 to continue the project to the next regular meeting of October 13, 2020. The Commission continued the project to allow the Applicant and Staff time to provide additional information to address neighboring resident's concerns with the project as well as comments from Planning Commission. The staff report for the September 8, 2020 meeting is included as Attachment 3.

At this meeting, the Planning Commission requested for the following:

- Revised Arborist Report to show the age and designation of trees on the property
- New focused HRE report to evaluate the historical significance of the trees
- More information regarding how the proposed house fits into the existing context of the neighborhood
- More details on how to mitigate construction traffic movement and impacts of construction

Planning Commission
October 13, 2020

804 Valley View Drive
Project No. 2298-HDP/DRX/TRP

Since that meeting, four public comments were received (see Attachment 4). Public comments received concerned the protection of trees and landscape features on the property, soil instability, and truck traffic from construction. More details of the public comments received after the meeting are included in the public comment section below.

Historic Resources and Trees

A Historical Resources Evaluation analysis of the trees on the property was performed to determine if they contribute to the historical significance of the Valley View Heights District. An updated arborist report was also prepared to determine the age and conditions of the trees.

Historic Evaluation of Trees

Several public comments were submitted regarding several trees on the site and their potential historic importance within the Valley View Heights neighborhood. Architectural Resources Group, the firm that prepared the Historic Resources Evaluation (HRE) report in 2017, was asked to conduct additional research to determine if the trees on the property contribute to the historical significance of the district. The results of this additional analysis are shown in Attachment 5 to this staff report.

The oldest tree on the lot is the Canary Island Palm tree near the front of the property, which is approximately 52 years old. The review of the onsite trees concludes that, while these trees are notable on account of their maturity, they do not appear to be associated with a deliberate landscape or planting plan that is associated with the origins or historical development of the neighborhood. There does not appear to have been a uniform street tree plan or other landscape scheme for the neighborhood; rather, the owners of individual lots appear to have planted trees, shrubs, and other landscaping independent of one another and in accordance with their own personal taste.

This is reflected in the existing condition of the landscape in Valley View Heights. Throughout the neighborhood, properties are planted with trees that exhibit considerable variety with respect to species, age, size, and canopy. None of the streets appear to conform to a uniform planting plan.

For the above-listed reasons, trees and other onsite landscape features (with the exception of the stone wall along Valley View Drive, which has been noted as a resource to be protected) do not appear indicative of any special aspects of the neighborhood's history. The trees are not historically significant and do not merit further historic preservation review under the California Environmental Quality Act (CEQA).

Tree Removals, Replacement, & Protection

An updated arborist report (see Attachment 6) was prepared to determine the specific age, condition, and designation of trees by the City. According to the report, the landscape plan provided by the project's landscape architect shows a total of four trees proposed for removal.

The native live coast oak, which is not on the property but overhangs onto it, will not be impacted during construction. One native Toyon (*Heteromeles arbutifolia*), is located in the middle eastern section of the parcel, where the garage is currently proposed. In accordance with the City's Tree Ordinance, the Applicant's landscape architect has proposed to plant 11 replacement trees (24-inch box trees) to mitigate the removal of the Canary Island Palm, Toyon, and Peruvian Pepper Tree. Based the type and size of the trees proposed for removal, the project is required to provide 11 replacement trees and each shall be 24-inch box.

All tree removals will be administered through the Public Works Department. The Public Works Director has reviewed the tree permit application submitted by the applicant. The Public Works Department has conditionally approved all of the tree removals and provided a list of replacement trees with the quantity required of each replacement tree species per the South Pasadena Municipal Code (SPMC) 34.12-5(b), (see Table 1 below).

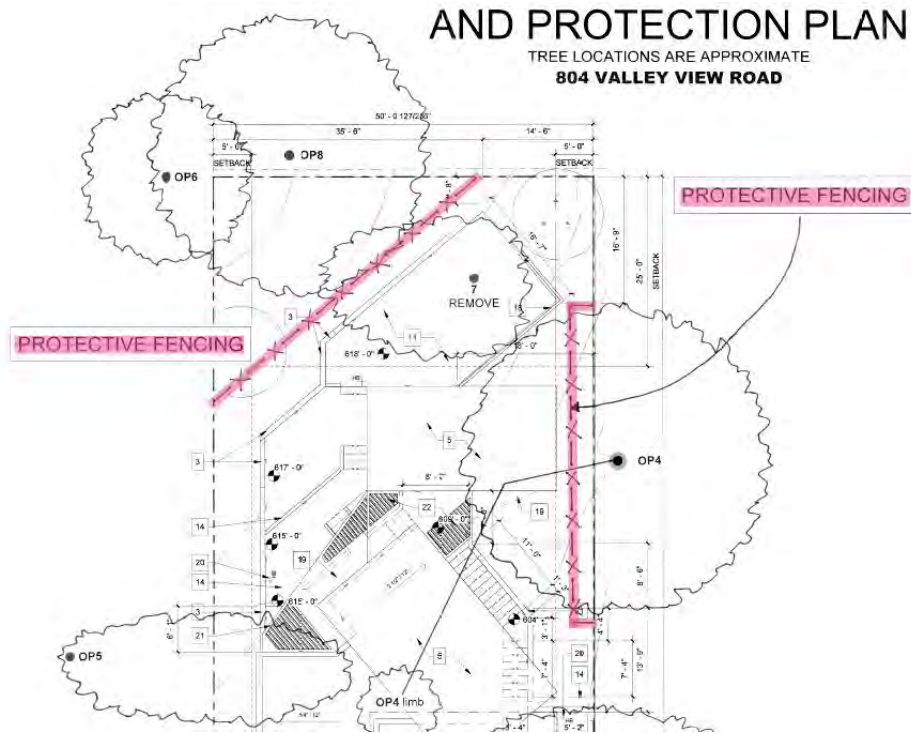
The applicant has provided a Tree Replacement Plan that the arborist certified as meeting the requirements of the SPMC and has been approved by Public Works.

Table 1 – Tree Removal & Replacement

Tree	Species	Condition	Tree Trunk Size (DBH)	Required Replacement Trees
1	Canary Island Palm	Fair	18"	3
2	Toyon	Fair	11" (multi-stem, 6",5")	4
PL3	Chinese Elm	Fair	21" (multi-stem, 12",9")	4
7	Peruvian Pepper Tree	Poor	10"	Not protected
Total				11 replacement trees required

A recommended condition of approval, per the recommendation from the Arborist, requires protective fencing be installed around the Peruvian Pepper, Canary Island Date Palm, and Coast Live Oak (trees OP4, OP6, and OP8 respectively) as shown in **Figure 1** below and on the attached Tree Removal and Protection Plan (**Attachment 6**). This protection plan is after brush clearance takes place and before any other construction activity on the site begins. The Project and City Arborist will inspect all protective fencing upon installation.

Figure 1 – Tree Protection Plan



Requirements for the tree protection fencing include:

- Fencing will be chain-link, at least 5 feet high, and held in place by steel stakes driven directly into the ground.
- Gates will be installed as required for operational access and shall not be utilized for construction activities.
- All protective fencing shall remain intact until construction is completed.
- At project completion, the applicant shall submit a tree report from the arborist certifying that all protection methods were followed, health of the remaining trees, and document the tree disposition after construction.

Planning Commission Requests

The Commission had several comments and requested additional information from the Applicant relating to design. The requested changes with responses from the Applicant are below.

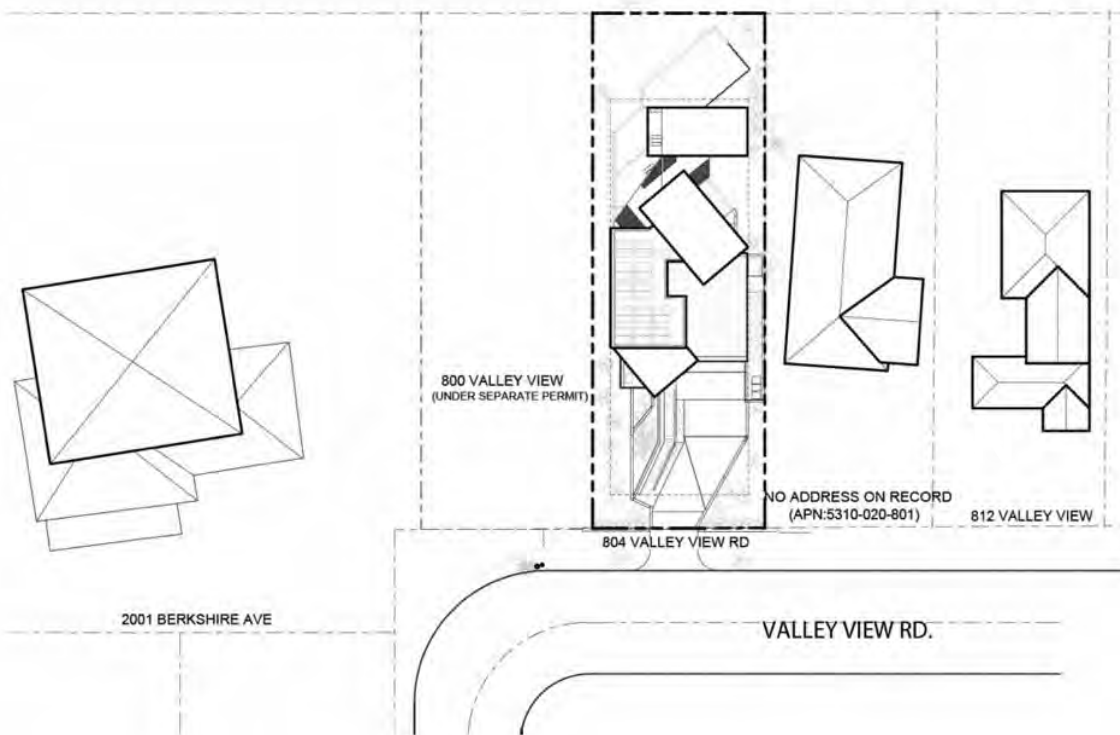
Comment #1 How does the proposed house's design fit into the existing context of the neighborhood?

Applicant's Response: The proposed residence is designed to fit the scale and eclectic nature of the neighborhood. The neighborhood is a mixture of different architectural styles from various historical periods and the 804 Valley View house will add to this mix reflecting a current design aesthetic. The design of the house is proposed in a modern style with modern aesthetic exterior finishes using concrete, smooth stucco, and slatted wood siding which are found on homes in the

neighborhood. All of the proposed materials are within the City's Design Guidelines and encouraged with a modern aesthetic for South Pasadena.

A site plan showing the proposed house in relationship to neighboring homes, as shown in **Figure 2**. The design of the home follows the City's design guidelines for hillside properties by terracing the residence to reduce visual mass and mitigate tall walls. Roof forms will include a combination of flat and low-pitched roof forms broken into a series of smaller building components/roof lines which ascend the hillside in an effort to reduce the scale of the project. These varying roof forms are found on several homes throughout the neighborhood.

Figure 2: Proposed House in Relationship to Surrounding Houses



Comment #2 Describe how the landscape materials will conceal the concrete of the house and fit into the existing hillside landscape.

Applicant Response: The applicant has proposed to site the house further back from the street and nestle it into the hillside in an effort to reduce the impacts of the house on the surrounding residential neighborhood. The property will be landscaped to augment and maintain the natural appearance of the hillside and create garden areas in several locations. New trees and plantings will be utilized to screen the house and retaining walls, but the landscaping will not block views from adjacent residences.

Planning Commission
October 13, 2020

804 Valley View Drive
Project No. 2298-HDP/DRX/TRP

Comment #3: Construction traffic and construction impacts should be mitigated from the construction of the house and new conditions should be reviewed and incorporated.

Applicant Response: The issues discussed during the Planning Commission meeting and afterwards from local residents have been reviewed and discussed with City staff. The conditions of approval have been updated to help mitigate construction traffic and potential impacts to neighborhood residents.

Public Comments

Four public comments have been received (see Attachment 4). Public comments received concerned the protection of trees and landscape features on the property (addressed above), soil instability, construction traffic, and construction impacts.

Soil Instability and Stormwater Movement

According to the Geotechnical Investigation Report for the property, the subject site is suitable to be developed as proposed and will be safe against landslides, settlement, or slippage provided that the recommendations outlined in the report are implemented. No groundwater was encountered during field exploration and test pit exploration up to a depth of 6.5 feet. Additionally, no seepages were observed, nor was there any evidence of a past, sustained shallow ground water level present.

The project site is not in a surveyed liquefaction or landslide zone based on review of the City's GIS database and the Geotechnical Investigation Report. According to the report, the subject site is suitable to be developed as proposed and will be safe against landslides, settlement, or slippage.

The Geotechnical Investigation Report states that the project site is underlain with Siltstone of the Monterey Formation with bedrock overlain by artificial fill. The report also states that the onsite material expansion potential is Low to Medium. The construction recommendations provided in the report will mitigate any potential expansion effect.

Soil control measures are required of the Applicant during the plan check process with the Public Works Department and the Building and Safety Division. The Applicant is proposing a landscaping plan that incorporates plantings and substantial tree replacements including a rainwater retention system (3,500 gallon rain harvest tank located at the lower end of the site), which would limit potential for soil erosion.

Construction Traffic and Impacts

Neighborhood residents have expressed issues during construction of the house and impacts to neighborhood streets in the local vicinity. SMART Families provided suggestions to help address the issues.

Staff recommends adding one new condition that prohibits the use of Meridian Avenue for the haul route and revised other construction related conditions to address the concerns expressed by the residents. The revised conditions include most of the suggested changes from SMART Families. These are included in the updated conditions of approval attached to this staff report (Attachment 1) and tracked changes to conditions from the previous meeting included as Attachment 2 for Commission's review.

Planning Commission
October 13, 2020

804 Valley View Drive
Project No. 2298-HDP/DRX/TRP

Findings

Staff recommends that the Planning Commission make the findings for approval as described in more detail in the Resolution, included as **Attachment 1**, pursuant to South Pasadena Municipal Code Section 36.410.040(I).

Alternatives to Consider

If the Planning Commission does not agree with staff's recommendation, the following options are available:

1. The Planning Commission can Approve with condition(s) added; or
2. The Planning Commission can Continue the project to address comments discussed; or
3. The Planning Commission can Deny the project.

Next Steps

1. If approved, the Applicant will proceed through the plan check process with the Building Division and Staff will review the construction plans to ensure that all conditions are satisfied.

Fiscal Impact

Not Applicable.

Environmental Analysis

An Initial Study/Negative Declaration was prepared and adopted for the previous project submittal in 2017 under the provision of the California Environmental Quality Act (CEQA). An Addendum to the Negative Declaration was prepared by the City's planning consultant, since the proposed project is closely similar to the approved project in 2017. As shown in the attached Addendum (**Attachment 1**), the project will not result in or create any significant environmental impacts. No mitigation is necessary as part of the Negative Declaration because the conditions of approval contained in the Hillside Development Permit will mitigate any potential impacts to the "less than significant" level.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, publication in the *South Pasadena Review* newspaper, and individual property mailings to those within 300 feet of the project site.

Attachments

1. P.C. Resolution
 - a. Conditions of Approval (Exhibit A)
 - b. CEQA Addendum to Original Negative Declaration Document (Exhibit B)
2. Conditions of Approval from Sept. 8th (with track changes)
3. Staff Report from September 8, 2020 Planning Commission Meeting
4. Public Comments Received Since September 8, 2020
5. Updated Historical Resource Evaluation (Oct. 2020)
6. Updated Arborist Report (Sept. 2020)
7. Tree Protection Plan (Sept. 2020)

ATTACHMENT 1
Planning Commission Resolution and CEQA Addendum

P.C. RESOLUTION NO. 20-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA ADOPTING AN ADDENDUM TO A NEGATIVE DECLARATION FOR PROJECT NO. 2298-DRX/HDP/TRP, AND APPROVING DESIGN REVIEW, HILLSIDE DEVELOPMENT PERMIT, AND TREE REMOVAL PERMIT (PROJECT NO. 2298-DRX/HDP/TRP) FOR THE CONSTRUCTION OF A NEW TRI-LEVEL 3,125 SQUARE FOOT SINGLE-FAMILY RESIDENCE WITH AN ATTACHED 2-CAR GARAGE LOCATED AT 804 VALLEY VIEW ROAD (APN: 5310-020-029).

WHEREAS, on September 6, 2016, David Streshinsky, an architect with DKY Architects, Inc. submitted an application for a Hillside Development Permit, Design Review and environmental assessment for a new single-family hillside residence on behalf of the property owner, Victor Tang of PD Home, LLC. The application proposed a new five bedroom 4,992 square foot single-family hillside residence with three covered parking spaces in a modern architectural style on a 15,000 square foot parcel located at 804 Valley View Road (the “project”) in the (RS) zoning district; and

WHEREAS, on October 18, 2016, the City’s retained Architectural Historian consultant, HRG, provided Staff with a memo regarding the Arroyo stone retaining wall, along with a brief analysis of the formerly potential Valley View Heights Historic District; and

WHEREAS, on December 2, 2017, the applicant visited with the Chair of the Cultural Heritage Commission (CHC) for a preliminary assessment of what information will be required by the Chairman for review regarding the Arroyo stone wall; and

WHEREAS, on January 12, 2017, the applicant provided an Architectural Historian’s report, conducted by Architectural Resources Group, on the Arroyo stone retaining wall, mitigation plan, and overview of the formerly potential Valley View Heights Historic District. The report provided in depth insight into neighborhood and site development along with the historic significance of the Arroyo wall and surrounding neighborhood. The report concurred with the findings determined by the City’s retained Architectural Historian; and

WHEREAS, on January 12, 2017, the applicant submitted the Architectural Historian’s findings along with a restoration plan of the Arroyo stone retaining wall to the Chairman of the Cultural Heritage Commission for review and approval. The applicant was issued corrections by the Chair for missing details in the drawings; and

WHEREAS, on February 2, 2017, the applicant received approval of the restoration plan of the Arroyo stone retaining wall by the CHC Chair. The restoration plan called for a cut of approximately 12 feet for driveway access and 18-inch board-formed concrete end cap pillars at either side of the driveway opening. The cut was to occur at an existing wide opening in the wall. The Arroyo wall was to be restored with salvaged or new stones set in mortar to match the existing; and

WHEREAS, on February 14, 2017, the applicant resubmitted drawings for a 4,992 square foot tri-level hillside residence incorporating previous corrections and the Arroyo stone wall restoration plan. A copy of the submitted drawings were routed to the Building and Safety Division for their preliminary review; and

WHEREAS, on February 23, 2017, the application was deemed incomplete for missing information, mislabeled drawings, grading plan, missing elevations, and a missing landscape plan. Building and Safety informed Planning that the subject property is actually two lots of equal size (Lots 11 and 12) that are currently tied together with the proposed project sitting directly in the middle of both parcels. The applicant was informed that if the building is to sit atop the parcel line separating both lots, the applicant will need to apply for a parcel merger; and

WHEREAS, on April 3, 2017, the applicant resubmitted drawings to Planning; and

WHEREAS, on April 26, 2017, the application was deemed incomplete for incorrect project data information, missing annotations, contextual information, dimensions, landscape plan, and parcel merger; and

WHEREAS, on May 3, 2017, the applicant informed Planning that the owner, through the County, has untied the lots into their original two legal parcels of Lot numbers 11 and 12. The lots were assigned new Assessor Parcel Numbers and are approximately 7,500 square feet each; and

WHEREAS, on July 18, 2017, the applicant resubmitted drawings for a completely new design of the project on Lot #12 (804 Valley View Road). The project now consists of a tri-level residence of approximately 3,125 square feet including an attached 2-car garage. The house is designed as interlocking forms that ascend the hillside in a modern architectural style. The project will now sit on a 7,500 square foot parcel. The applicant also submitted an application for a new hillside residence on the adjacent parcel (Lot #11) as 800 Valley View Road (under separate permit). The applicant also submitted a revised Geotechnical Report; and

WHEREAS, on July 20, 2017, the application received CHC Chair approval for a revised restoration plan for the Arroyo stone retaining wall based upon the new design of the project; and

WHEREAS, on August 2, 2017, the application was deemed incomplete due to missing project data information, incorrect and missing annotations, contextual information, and a missing revised Arborist Report that reflected the new design; and

WHEREAS, on August 29, 2017, the applicant submitted a revised Arborist Report along with revised project drawings to Planning; and

WHEREAS, on October 2, 2017, the application was deemed complete; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act, Public Resources Code Section 21000 et. seq. (“CEQA”), and the State’s CEQA Guidelines, Section 15070 et seq, staff conducted an Initial Study and determined that the project would not have a significant impact on the environment, so a Negative Declaration was prepared; and

WHEREAS, after notices issued pursuant to the requirements of South Pasadena Municipal code, and the CEQA Guidelines, the Planning Commission held a duly noticed public hearing on October 23, 2017 at which time all interested parties were given the opportunity to be heard and present evidence; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on October 23, 2017, at which time it considered the staff report, oral report, the testimony, and the written evidence submitted by and on behalf of the applicant and by members of the public concerning Project No. 1955-HDP and approved the proposed Hillside Development Permit for the construction of a new single-family residence; and

WHEREAS, on February 11, 2020, the applicant resubmitted an application for a Design Review and Hillside Development Permit for a redesigned new single-family hillside residence on behalf of the new property owner, Siyu Zhou. The application proposed a new 3-bedroom 3,125 square foot single-family hillside residence including attached 2-car garage in a modern architectural style on a 7,500 square foot parcel located at 804 Valley View Road (the “project”) in the (RS) zoning district; and

WHEREAS, on April 6, 2020, the application was deemed incomplete for incorrect project data information and mislabeled drawings; and

WHEREAS, on May 18, 2020, the applicant submitted a revised hillside application, revised landscape concept plan, protected tree report, landscape concept plan, architectural drawings to Planning; and

WHEREAS, on June 1, 2020, the application was deemed incomplete for incorrect project data information and mislabeled drawings; and

WHEREAS, on July 1, 2020 the applicant submitted a revised set of architectural drawings to Planning; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act, Public Resources Code Section 21000 et. seq. (“CEQA”), and the State’s CEQA Guidelines, Section 15070 et seq, staff prepared an Addendum to the Negative Declaration that was adopted for the previous approved project in 2017, as the proposed project is closely similar and will not result in or create any significant or potentially significant environmental impacts; and

WHEREAS, on July 30, 2020, the public hearing notice indicating the date, time, and location of the public hearing was published outside City Hall and said public hearing notice was mailed to each property owner within a 300-foot radius of the project site in

accordance with the requirements of South Pasadena Municipal code declaring the project review by the Planning Commission for the hearing on August 11, 2020; and

WHEREAS, on July 31, 2020, the City of South Pasadena Planning Division, published a legal notice in the *South Pasadena Review*, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law concerning Project No. 2298-DRX/HDP/TRP; and

WHEREAS, on August 11, 2020, the Planning Commission continued the project to September 8, 2020 as requested by staff; and

WHEREAS, on August 27, 2020, the public hearing notice indicating the date, time, and location of the public hearing was published outside City Hall and said public hearing notice was mailed to each property owner within a 300-foot radius of the project site in accordance with the requirements of South Pasadena Municipal code declaring the project review by the Planning Commission for the hearing on September 8, 2020; and

WHEREAS, on August 28, 2020, the City of South Pasadena Planning Division, published a legal notice in the *South Pasadena Review*, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law concerning Project No. 2298-DRX/HDP/TRP; and

WHEREAS, after notices issued pursuant to the requirements of South Pasadena Municipal code, and the CEQA Guidelines, the Planning Commission held a duly noticed public hearing on September 8, 2020 at which time all interested parties were given the opportunity to be heard and present evidence concerning Project No. 2298-DRX/HDP/TRP and considered the proposed Project No. 2298-DRX/HDP/TRP for the new single-family residence. The project was continued at the next Planning Commission meeting of October 13, 2020 for the applicant and staff to provide additional information to address Planning Commission and public comments; and

WHEREAS, after notices issued pursuant to the requirements of South Pasadena Municipal code, and the CEQA Guidelines, the Planning Commission held a duly noticed public hearing on September 8, 2020 at which time all interested parties were given the opportunity to be heard and present evidence concerning Project No. 2298-DRX/HDP/TRP and considered the proposed Project No. 2298-DRX/HDP/TRP and Addendum to the Negative Declaration for the new single-family residence. The project was continued at the next Planning Commission meeting of October 13, 2020 for the applicant and staff to provide additional information to address Planning Commission and public comments; and

WHEREAS, on October 13, 2020, the Planning Commission held a duly noticed public hearing, at which time all interested parties were given the opportunity to be heard and present evidence concerning Project No. 2298-DRX/HDP/TRP, and considered the proposed Project No. 2298-DRX/HDP/TRP and Addendum to the Negative Declaration for the new single-family residence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

Pursuant to the provisions of the California Environmental Quality Act, Public Resources Code Section 21000 et. Seq. (“CEQA”), and the State’s CEQA Guidelines, the Planning Commission finds that the project will not have a significant effect on the environment and hereby adopts the attached Addendum to the Negative Declaration (Exhibit “B”).

SECTION 2: DESIGN REVIEW FINDINGS

The Planning Commission finds that the proposed project is consistent with all applicable findings for approval of a Design Review Permit pursuant to South Pasadena Municipal Code (SPMC) Section 36.410.040(I), as follows:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The proposed project is consistent with the General Plan and the City’s adopted Design Guidelines for new single-family residences on hillside sites. The proposed new hillside home is designed in consideration of the character and scale of the existing single-family developments in the vicinity and complies with height and Floor Area Ratio (FAR) requirements. The mass and scale of the proposed project is well proportioned, respectful of the topography, and consistent with recommended design techniques for new hillside homes in established residential neighborhoods.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The proposed project will accommodate the single-family functions and activities proposed for the site. The new home will provide sufficient size and space for residential living, with indoor/outdoor living incorporated into the architectural design. The ground level will accommodate the required garage parking, while the two terraced upper floors will house the living space. The design of the house meets all the required setbacks and height limits, including grading percentages of the driveway. Based upon the height and mass of the house and its terraced form on the hillside, and the compatibility with surrounding residential homes, the house will not interfere with the use and enjoyment of neighboring, existing, or future developments. The proposed house is sited on a currently vacant hillside lot and sits within a developed single-family residential neighborhood. The site will be accessed along its Valley View Road street frontage with a garage that is set far back from the street and not impose adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and**

The existing character of the surrounding neighborhood consists of single-family residential and is predominately two-story homes of eclectic styles from Mediterranean Revival, to Minimal Traditional. The proposed project incorporates a modern aesthetic with pure simple geometric volumes that terrace up the hillside in accordance to the City's Design Guidelines. The primary material palette includes smooth cement plaster and horizontal siding to further reduce the visual mass of the proposed home. The overall design of the project will maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The proposed home will incorporate indoor and outdoor design elements through its outdoor decks, rear yard terrace, and large windows and doors that should provide an abundance of air and natural light into the home. The proposed decks also serve as volume setbacks to reduce the visual mass of the proposed home as it ascends up the hillside. Large windows and doors will be located along areas that open up to outdoor spaces to bring in light, reduce mass, and provide visual relief from the proposed development. The proposed home will also incorporate a pleasing and simple composition of materials and colors that further assist in helping the home recede into the hillside. Proposed materials include an interplay of horizontal siding and smooth cement plaster on the interconnecting volumes. The proposed home's modern aesthetic will also transfer to its proposed windows and doors, of which will be a simple frame. This is a custom home and will rely upon high quality and durable materials, which can be found on many homes throughout the City as they remain aesthetically appealing with a reasonable level of maintenance and upkeep.

SECTION 3: HILLSIDE DEVELOPMENT PERMIT FINDINGS

The Planning Commission finds that the proposed project is consistent with all applicable findings for approval of a Hillside Development Permit pursuant to South Pasadena Municipal Code (SPMC) Section 36.410.065(F), as follows:

- 1. The proposed use complies with the requirements of Division 36.340 (Hillside Protection) and all other applicable provisions of this Zoning Code.**

The proposed project is located within a Residential Low Density zoning district. The proposed project satisfies the design guidelines as outlined in the findings listed above. The design is consistent with the design standards as stated in the South Pasadena Zoning Code, Section 36.340.040 (Hillside Development Design Guidelines).

2. The proposed use is consistent with the General Plan and any applicable specific plan;

The South Pasadena General Plan (Section 2.5G) outlines the goals for Hillside Development. Goal No. 19 of the General Plan is to ensure that new development within the hillside areas of South Pasadena does not adversely impact the character of the City. The project proposal is to construct a new single-family residence on a vacant hillside lot in a neighborhood of existing single-family homes. For ensuring compatibility with the neighborhood's architectural characteristics and hillside context, meeting that criteria and satisfying those findings are necessary.

3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of the persons residing or working in the neighborhood of the proposed use;

The proposed use of the project is a single-family residence in a Single Family zoning district. As such, the establishment, maintenance, and operation of the use is anticipated and permitted by the General Plan and Zoning Code. This use is consistent with the single-family residential use of neighboring properties. The proposed project will be constructed within the parameters allowed by the City's Zoning and Building Codes, including the provision of a two-car garage and one open guest parking space.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City: and

The proposed single-family residence would be compatible with the neighborhood context. Structures in the neighborhood are single to multi-story single-family homes. Therefore, the proposed use of a new single-family residence on the subject site would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City. There are no significant environmental areas or features on the subject site such as a riparian habitat or significant ecological areas. Nor are there geologic or hydrologic features such as ridgelines, knolls, fault lines, or liquefaction zones that are important to the physical and environmental character of the property.

5. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, and view protection.

The Design Review findings outlined above indicate that the proposed project design, location, operation characteristics, and size are compatible with the existing and future land uses in the vicinity in terms of aesthetics, character, scale, and view protection. The design of the proposed new house complements the character of the hillside in that it conforms to the maximum height limits, the required setbacks, the maximum allowable lot coverage and Floor Area Ratio, and

its reduction in visual massing through the use of terraced volumes ascending up the slope along with its interplay of façade finish materials.

SECTION 4: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission's decision is based, which include, but are not limited to, the staff reports, as well as all materials that support the staff reports for the proposed project, and are located in the Planning and Building Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 5. DETERMINATION

Based upon the findings outlined in Sections 1 through 5 above and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby approves the application for a Hillside Development Permit and Design Review for the construction of a new single-family residence and a Tree Removal Permit for the removal of four trees (Project No. 2298-DRX/HDP/TRP), subject to the Conditions of Approval that are attached hereto as Exhibit "A."

SECTION 6: APPEALS

Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must be filed with the City, in writing, and with appropriate appeal fee, no later than (15) days, following the date of the Planning Commission's final action.

SECTION 7: CERTIFICATION OF THE RESOLUTION

The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 13th day of October 2020.

PASSED, APPROVED, AND ADOPTED this 13th day of October 2020 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Janet Braun, Chair

ATTEST:

Lisa Padilla, Secretary to the Planning Commission

EXHIBIT "A" CONDITIONS OF APPROVAL

PROJECT NO. 2298-DRX/HDP/TRP 804 Valley View (APN: 5310-020-029)

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on October 13, 2020:
 - a. Hillside Development Permit and Design Review for a new three-bedroom single-family residence on a vacant hillside lot; and
 - b. Tree Permit for the removal of four (4) trees and planting of 11 trees for the proposed single-family residence. The Tree Permit was reviewed by the Public Works Department and was recommended for approval to the Planning Commission.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Planning Commission concerning this use.

Notes on Construction Plans

The contractor shall be responsible to implement and monitor compliance with the following conditions:

- P7. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
- P8. The hours of all construction activities shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P9. During construction, the clearing, grading, earth moving, excavation operations, or transportation of cut or fill materials that cause fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to prevent fugitive dust; and
 - b. All material excavated or graded shall be sufficiently watered to prevent dust from leaving the construction area and to create a "crust" after each day's activities ceases. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - c. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent fugitive dust;
 - d. All area of vehicle movement shall be water appropriately to prevent dust from leaving the construction site;
 - e. Soil stockpiles for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation;
 - f. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
 - g. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P10. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.
- P11. Prior to the issuance of any building permit, the property owner shall retain a licensed architectural historian/historic preservationist to perform the following tasks:
- a. Provide recommendations for the rehabilitation and preservation of the existing Arroyo stone wall along the frontage of the property meeting the Secretary of the Interior Standards. The recommendations shall be reviewed and approved by the Chair of the CHC.

- b. Review and stamp the construction drawing relating to rehabilitation and preservation of the Arroyo stone wall along the frontage of the property. A note shall be placed on the construction drawing that the selected architectural historian/historic preservationist will oversee certain phases during construction relating to the Arroyo stone wall. The construction drawing shall be reviewed and approved by the Chair of the CHC.
- P12. Prior to final inspection, the selected architectural historian/historic preservationist shall provide a letter certifying the completion of the rehabilitation of the Arroyo stone wall along the frontage of the property meeting the Secretary of the Interior Standards.

Prior to Issuance of Grading Permit

- P13. The applicant shall submit a construction management plan for approval by the Building, Planning, and Public Works Departments. The construction management plan shall include, but not be limited to:
- a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park, and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as part of the staging plan. Meridian Avenue shall not be used as part of the haul route. The applicant shall obtain input from Public Works to identify haul route and staging area. The applicant shall provide notification of at least 48 hours prior to any road closure to all affected property owners, including Smart Families (email: SMART-Families@outlook.com).
 - b. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas (refer to Condition No. P9).
 - c. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses and residents (including SMART Families) impacted by any parking restrictions, road closure, and any off-site staging areas during construction.
 - d. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other state-required noise-attenuation devices.
 - e. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
 - f. A sign of at least 24" x 36", legible at a distance of 50 feet, shall be posted at the project site and shall contain the following information:
 - i. Indicate the dates and duration of construction activities.
 - ii. A construction manager (name and telephone number) responsible for maintaining the public right of way and project site during all stages of construction until the project is completed.

A 24-hours emergency contact person (name and a telephone number) where residents and affected public stakeholders can inquire about the construction process and register complaints. This person shall also be responsible for responding to any complaints about construction noise or activities associated with this project, and shall notify the City to determine

the cause and implement reasonable measures to the complaint, as deemed acceptable by the City. All complaints shall be addressed within 24 hours and the person who registered the complaint shall be notified of the resolution.

Prior to issuance of Building Permits

- P14. The applicant shall pay for all applicable City development impact fees, and all other public agency fees including plan review and permit fees.
- P15. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P16. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Community Development Director. The applicant shall be responsible for consultant cost for reviewing the landscape and irrigation plans. The final landscape plans shall provide, but not limited to the following:
 - a. Screening of all above ground equipment from public view.
 - b. Incorporate the Tree Removal Permit conditions listed below.

Prior to Final Inspection

- P17. The applicant shall install all landscaping and irrigation per the approved final landscape plans pursuant to the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). The applicant shall provide documentations as required under SPMC Section 35.50, which shall include, but not limited to the following:
 - a. A Certification of Completion certifying that landscape and irrigation have been installed per the approved final landscape plan and complies with the City Water Efficient Landscape Ordinance.
 - b. A Landscape Irrigation Audit Report from a certified landscape irrigation auditor shall be submitted to the City. The landscape irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape irrigation.

BUILDING AND SAFETY DIVISION

- B1. Prior to the application of a building or grading permit, a preliminary Geotechnical report that specifically identifies and proposes mitigation measures for any soils or geological problems that may affect site stability or structural integrity shall be approved by the Building Official or his/her designee. The applicant shall reimburse the City for all costs incurred to have the project soils report evaluated by an independent, third-party, peer-level soils and /or geological engineer. Approval letter of the third-party review shall be copied and pasted on the first sheet of building and grading plans.
- B2. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B3. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.

- B4. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B5. Per Ordinance 2280 that took effect on April 9, 2015, unless specifically exempt Sewer/Water Impact fees shall be paid to Public Works Department prior or at the time City receives an application for utility service. Contact Public Works Department to calculate the sewer/water impact fee.
- B6. Park Impact Fee to be paid at the time of permit issuance.
- B7. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B8. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B9. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B10. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B11. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B12. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B13. At the time of plan submittal, the pdf copy of the soils report shall be provided by the applicant
- B14. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B15. Hillside project shall comply with LID requirements per City Ordinance.
 - a. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.
 - b. Foundation inspection will not be made until the excavation has been surveyed and the depth of the footings has been determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
 - c. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.

- d. Separate plan review and permit is required for each detached retaining wall.
 - e. Separate plan review and permit is required for each detached structure, including but not limited to common space open trellis.
- B16. All fire sprinkler hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B17. B22. Separate permit is required for Fire Sprinklers

DEPARTMENT OF PUBLIC WORKS

- PW1. The applicant shall pay for all applicable city fees including PW plan review and permit fees.
- PW2. The applicant shall pay City water and sewer connection charges.
- PW3. Provide a covenant for unconditional and indefinite maintenance of any private improvements within public right of way.
- PW4. Contact the City Water Department to coordinate size, location, and associated fee for the water meter connection as applicable.
- PW5. Provide Los Angeles County Sanitation District letter of approval/fee receipt for sewer connection fee.
- PW6. Submit sewer video of City mainline showing new active sewer lateral connection.
- PW7. Show the location of all existing utilities on Valley View Road, as well as location and size of all existing or proposed services serving the property.
- PW8. The applicant shall provide copies of Title reports. Based on the Title reports, all property dimensions shall be correctly shown on proposed civil plans.
- PW9. Replace all broken, damaged, or out-of-grade sidewalk, driveways, curb and gutter, painted curb markings, signs, asphalt/concrete damaged or disturbed during construction to the satisfaction of the City Engineer. Applicant shall document existing condition of the roadway, curbs, retaining wall, and other features in the public right-of-way prior to the start of construction. Applicant shall provide copies of photographs and/or video recordings of documented conditions to the City prior to the start of construction.
- PW10. The applicant shall provide a Drainage/ Hydrology Study that shows how differential run-off water and the size of the filtration system due to development accordance with City's Low Impact Development (LID) Ordinance (Ord. No. 2283). Based on the hydrology report, the applicant will be required to prepare a drainage improvement plan to mitigate the project's drainage impact. The proposed drainage improvement plan must be approved by the Building & Safety Department prior to the issuance of any grading and building permits.
- PW11. The applicant shall provide street plans show all existing condition within public right-of-ways, curb/gutter, driveway, existing features, trees, dimensions, and proposed improvements.
- PW12. The applicant shall provide a detailed drainage plan prepared by a licensed civil engineer and signed and stamped by the civil engineer and the project geotechnical engineer. Provide a copy of approved plan from Building & Safety Department.
- PW13. Per City Municipal Code, Section 23.14, provide the necessary BMP measures and the SUSMP package for construction and post-construction phases. Applicant must comply with requirements of the City's Low Impact Development (LID) Ordinance (Ord. No. 2283). The

proposed BMP must be approved by the Building & Safety Department. Need to record maintenance covenant prior to PW approval.

- PW14. The applicant shall show all existing and proposed trees (including parkway trees), including size and species, and indicate their disposition. The applicant shall show methods of protecting existing onsite and on the parkway trees during construction on the plans. The applicant shall submit an arborist report for all trees (including parkway trees) at project completion to the City, demonstrating that all protection methods were followed and document the tree disposition after construction.
- PW15. The removal of 4 trees at 804 Valley View, two Significant trees (Date palm 18", Chinese elm multi trunk 21"), one Native tree (Toyon multi trunk 11") one Mature tree (Peruvian pepper tree 10"). The applicant is subject to replace the four trees tree with (11) 24" box trees approved by the City.
- PW16. Tree removals associated with development shall only be conditionally approved subject to the applicant receiving their development building permit, paying all fees associated with the tree removal as established by resolution of the city council, and paying a deposit in the amount of \$3,960 for the 11 replacement trees. Upon the planning review authority's approval of the development application and satisfaction of all conditions of approval, and payment of all required fees, the applicant shall be issued a tree removal permit.
- PW17. Replacement trees shall be planted per SPMC section 34.12-5 (b). The applicant is required to plant 1 replacement trees based on the trees proposed for removal. The South Pasadena Public Works Department shall inspect the replacement trees before being planted.
- PW18. Upon the applicant's proof to the city's satisfaction that the applicant has complied with the approved tree replacement plan, the city shall reimburse the applicant's replacement tree deposit. Should the applicant fail to plant any replacement trees per the approved replacement tree plan, the city shall retain the amount of the replacement tree deposit necessary to cover the cost to plant any required replacement trees in alternative locations within the city (public right-of-way, park, etc.), as permitted by SPMC chapter 34.
- PW19. No trees shall be removed from the site until Tree Removal Permits are issued.
- PW20. The applicant shall provide a haul route and staging plan for review and approval to the Public Works Department prior to issuance of permits. Any construction activity that may require closing the roadway shall be discussed and mitigated in the staging plan.
- PW21. The applicant shall provide a storm water pollution prevention plan (SWPPP) per City Municipal Code, Section 36.540.060, A, 2. Provide a copy of approved plan from Building & Safety Department.
- PW22. The applicant shall be responsible for posting a project sign. The project sign shall be posted at the entrance to the site. The project sign shall be 24" x 36" and made of weather-resistant durable material. The applicant shall provide designated person and 24-hours emergency contact number who will be responsible maintaining the public right-of-way during the all stages of construction until the project is completed.
- PW23. The applicant shall post "Temporary No Parking " signs along the entire length of the property prior to start of any construction. The temporary no parking signs will be covered at the end of every working day, and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, traffic will be mitigated through use of flagmen and/or detouring.
- PW24. There shall be a minimum of 16' roadway clearance maintained at all times, unless a roadway closure has been approved. The applicant shall post temporary 'No Parking' signage as deemed necessary directly in front of and across the street from the project to facilitate

deliveries and traffic. Any time there is equipment or materials which occupy the public roadway and the roadway clearance of 16' is not available, at least two flagmen shall be required for traffic control purposes.

- PW25. The applicant shall provide street improvement plans show all existing condition within public right-of-ways, power pole, existing features, dimensions, and proposed improvements including right-of-way adjacent properties.
- PW26. The applicant shall remove and replace 1" of existing asphalt fronting the property of entire length and width of the roadway.
- PW27. The applicant shall apply for a change of address permit for the new home prior to final occupancy is approved.
- PW28. The applicant shall provide copies of soil report.
- PW29. Provide a traffic sight distance study prepared by a licensed civil engineer for vehicular ingress and egress to the project.
- PW30. Provide detail of proposed retaining wall elevations along the property line.
- PW31. The applicant shall provide detail how to protect existing neighbor's block wall during the excavation and construction.
- PW32. The applicant shall construct retaining curb/wall along frontage of the property. Provide slope protection to prevent sloughing of hillside onto the street.
- PW33. SPMC 36.340 Hillside Protection: The applicant shall provide copy of approved grading plans from Building & Safety Department.
- PW34. SPMC 35.60 Grading Design Plan: Project is subject to a Landscape Grading Plan. The applicant shall submit Landscape Grading Plans as applicable.
- PW35. SPMC Chapter 23 Requirements: Hillside development has slopes grader than twenty-five (25) percent shall comply with all requirements of Low Impact Development (LID) Ordinance No. 2283.
- PW36. SPMC Article III. Water Efficient Landscape: The applicant shall submit landscape documentation package of the Model Water Efficient Landscape Ordinance (MWELo). Please contact Senior Management Analyst, Jenna Shimmin at (626) 403-7311 for additional information.

FIRE DEPARTMENT

- FD1. Required Code References: 2017 South Pasadena Municipal Code (SPMC); 2016 California Fire Code (CFC); 2016 California Building Code; NFPA standards, Title 19 applicable NFPA and related fire standards.
- FD2. Fire Sprinklers are required. Submit plans to City for approval.
- FD3. Fire Alarm: Required. Submit plans to City for approval.
Section 903 Automatic Sprinkler Systems
- FD4. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD5. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD6. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

- FD7. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the fire department prior to beginning of work.
- FD8. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD9. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD10. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD11. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD12. 907.1.6 Where Required. An approved manual, automatic or manual and automatic fire alarm system complying with Sections 907.2.1 through 907.2.29 shall be provided in all new buildings with a fire area exceeding 3,000 square feet.
- FD13. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
- 1) An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
 - 2) Any addition to an existing building which has fire sprinklers installed;
 - 3) Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
 - 4) Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
 - 5) An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.
- FD14. Address Identification. New and existing buildings shall have approved address numbers,

building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.

Special Provisions related to Roof Types.

- FD15. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD16. Exception: Any re-roofing shall provide Class A roof material for the entire roof when the aggregated reroofing for the same building during any consecutive twelve months exceeds fifty percent of the existing roof. (14.4 SPMC).

Smoke Alarms.

- FD17. Groups R-2, R-2.1, R-3.1 and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - 2) In each room used for sleeping purposes.
 - a) Exception: Single- or multiple-station smoke alarms in Group I-1 shall not be required where smoke detectors are provided in the sleeping rooms as part of an automatic smoke detection system (CFC 907.2.11.2).
 - 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
 - 4) In a Group R-3.1 occupancy, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.
- FD18. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).

Carbon Monoxide Alarms

- FD19. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages (CBC 420.4.1).
- FD20. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection (CBC 420.4.1.1).

FD21. Exceptions

- 1) In dwelling units where there is no commercial power supply, the carbon monoxide alarm may be solely battery operated.
- 2) In existing dwelling units, a carbon monoxide alarm is permitted to be solely battery operated where repairs or alterations do not result in the removal of wall and ceiling finishes or there is no access by means of attic, basement or crawl space.
- 3) Other power sources recognized for use by NFPA 720.

FD22. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).

FD23. Exception. Interconnection is not required in existing dwelling units or within sleeping units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.

FD24. Alarm Requirements. Single and multiple station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. Carbon monoxide alarms and carbon monoxide detectors shall be installed in accordance with this code, the current edition of NFPA 720 "Standard for the Installation of Carbon Monoxide (CO) Detection and Warning Equipment" and the manufacturer's installation instructions. Other carbon monoxide alarm and detection devices are recognized in NFPA 720 are also acceptable. Carbon monoxide alarms required by 420.4.1 and 420.4.2 shall be installed in the following locations:

- 1) Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).
- 2) On every level of a dwelling unit including basements.
- 3) For R-1.
 - a) On the ceiling of sleeping units with permanently installed fuel-burning appliances (CBC 420.4.3).

Multiple-Purpose Alarms

FD25. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms. (CBC 420.4.3.1).

FD26. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 gpm/ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.

FD27. Exception: An automatic residential fire sprinkler system shall not be required when additions or alterations are made to existing carports and/or garages that do not have an automatic residential fire sprinkler system installed in accordance with this section.

(CBC 406.1) Private garages and carports.

- FD28. 406.1.1 Classification. Buildings or parts of buildings classified as Group U occupancies because of the use of character of the occupancy shall not exceed 1,000 square feet in area or one story in height except as provided in Section 406.1.2. Any building or portion thereof that exceeds the limitations specified in this section shall be classified in the occupancy group other than Group U that it most nearly resembles.
- FD29. 406.1.4 Separation. Separations shall comply with the following:
- 1) The private garage shall be separated from the dwelling unit and its attic area by means of a minimum ½ inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than a 5/8-inch (15.9mm) Type X gypsum board or equivalent. Door openings between a private garage and the dwelling unit shall be equipped with either solid wood doors or solid or honeycomb core steel doors not less than 1 3/8 inches (34.9 mm) thick, or doors in compliance with Section 715.4.3. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Doors shall be self-closing and self-latching.
 - 2) Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48 mm) sheet steel and shall have no openings into the garage.
 - 3) A separation is not required between a Group R-3 and U carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.
- FD30. 406.1.5 Automatic garage door openers. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. See Health and Safety Code Sections 19890 and 19891 for additional provisions for residential garage door openers.
- FD31. 406.2.6 Floor surface. Parking surfaces shall be concrete or similar noncombustible and nonabsorbent materials. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
- FD32. Exceptions:
- 1) Asphalt parking surfaces shall be permitted at ground level.
 - 2) Floors of Group S-2 parking garages shall not be required to have a sloped surface.
- Section 1029 Emergency Escape and Rescue (B)
- FD33. 1029.1 General. In addition to the means of egress required by this chapter, provisions shall be made for emergency escape and rescue in Group R occupancies. Basements and sleeping rooms below the fourth story above grade plan shall have at least one exterior emergency escape and rescue opening in accordance with this section. Where basements contain one or more sleeping rooms, emergency escape and rescue openings shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Such openings shall open directly into a public way or to a yard or court that opens to a public way.
- FD34. Exceptions:
- 1) In Groups R-1 and R-2 occupancies constructed of Type I, Type IIA, Type IIIA, or Type IV construction equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1.
 - 2) The emergency escape and rescue opening is permitted to open onto a balcony within an atrium in accordance with the requirements of Section 404 of the California Building Code, provided the balcony provides access to an exit and the dwelling unit or sleeping unit has a means of egress that is not open to the atrium.

- 3) Basements with a ceiling height of less than 80 inches (2032 mm) shall not be required to have emergency escape and rescue windows.
 - 4) High-rise buildings in accordance with Section 403 of the California Building Code.
 - 5) Emergency escape and rescue openings are not required from basements or sleeping rooms that have an exit door or exit access door that opens directly into a public way or to a yard, court or exterior exit balcony that provides access to a public way.
 - 6) Basements without habitable spaces and having no more than 200 square feet (18.6 m²) in floor area shall not be required to have emergency escape window.
- FD35. 1029.2 Minimum size. Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).
- FD36. Exception: The minimum net clear opening for emergency escape and rescue grade-floor openings shall be 5 square feet (0.46 m²).
- FD37. 1029.21.1 Minimum Dimensions. The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
- FD38. Chapter 49 Requirements Wildland Urban Interface Fire. Section 4901 General.
- FD39. 4901.3 General Scope. The mitigation of conditions where a wildfire burning in vegetative fuels may readily transmit fire to buildings and threaten to destroy life, overwhelm fire suppression capabilities, or result in large property losses shall comply with this chapter and the 2012 International Wildland-Urban Interface Code developed by the International Code Council (ICC).
- Wild Land Urban Interface Requirements.
- FD40. This residence is in the City of South Pasadena High Fire Severity Zone. Please note the following Wild Land Urban Interface Fire Requirements:
- 1) 504.2 Roof Coverings – Class A only. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eaves ends shall be fire stopped to preclude entry of flames or embers.
 - 2) Eaves and soffits shall be protected on the exposed underside by materials approved for a minimum 1-hour fire resistance rated construction, 2-inch nominal dimension lumber or 1-inch nominal fire-retardant treated lumber or ¾ inch nominal fire retardant treated plywood, identified for exterior use.
 - 3) Attic ventilation openings, foundation or other ventilation openings shall not exceed 144 square inches each. Such vents shall be covered with noncombustible corrosion resistant mesh with openings not to exceed ¼ inch or shall be designed to prevent flame or ember penetration into structure.
 - 4) Attic ventilation openings shall not be located in soffits, eave overhangs, between rafters at eaves or in overhang areas. Gable end or dormer vents shall be located at least 10 feet from property lines. (Also see 504.11 Detached Accessory Structures).
 - 5) Defensible space requirement per section 603.2 and Table 603.2 is 100 feet. Nonfire-resistive vegetation or growth shall be kept clear of buildings or structures in a manner as to provide a clear area for fire suppression operations.
- FD41. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree Crowns within defensible space shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Portions of tree crowns that extend within 10 feet of the outlet of a chimney shall be pruned to maintain a

minimum horizontal clearance of 10 feet.

- FD42. Buildings under construction shall meet the conditions of "Chapter 14 – Fire Safety During Construction and Demolition" of the 2016 California Fire Code. Structures under construction, alteration or demolition, shall be provided with not less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustible materials have accumulated.
 - 2) In every storage and construction shed.
 - 3) Where special hazards exist including but not limited to the storage and use of combustible and flammable liquids.
- FD43. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7302.
- FD44. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

September 1, 2020

ADDENDUM TO THE NEGATIVE DECLARATION FOR A HILLSIDE DEVELOPMENT PERMIT AT 804 VALLEY VIEW ROAD

City of South Pasadena



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City of South Pasadena

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TABLE OF CONTENTS

SECTION	PAGE
1. ADDENDUM TO ADOPTED NEGATIVE DECLARATION.....	2
1.1 BACKGROUND/PROJECT SUMMARY	2
1.2 PROJECT DESCRIPTION.....	2
1.2.1 New Project Documentation.....	5
2. CEQA ANALYSIS.....	5
3. FINDING.....	7

FIGURES	PAGE
Figure 1, Vicinity Map.....	3
Figure 2, Previously Approved and Proposed Project Site Plan.....	4

1. Addendum to Adopted Negative Declaration

1.1 BACKGROUND/PROJECT SUMMARY

The proposed project involves the construction of a new three-bedroom single-family residence on a vacant hillside lot located at 804 Valley View Road in South Pasadena, CA. The applicant for the project has submitted an application for a Design Review and Hillside Development Permit for a new single-family residence. A Design Review and Hillside Development Permit for a substantially similar single-family home on the subject property was previously approved by the City of South Pasadena Planning Commission on October 23, 2017 and a Negative Declaration was adopted for the project. The Negative Declaration was filed with the Los Angeles County Clerk on October 2, 2017. The project approvals for that application expired in November 2019.

The subject property was sold to a new owner and a revised application and new design for a proposed single-family residence was submitted in February 2020.

1.2 PROJECT DESCRIPTION

The applicant is requesting approval of a Hillside Development Permit and Design Review to build a new three-bedroom single-family residence of 3,125 square feet including an attached 572 square foot two-car garage on a vacant upsloping hillside lot. The previous approved single-family residence was four-bedrooms with 3,085 square feet with a 460 square foot two-car garage. The proposed single-family residence will incorporate three living levels that terrace up the hillside similar to the previous design.

The subject site is rectangular in shape, and is located before the bend of Valley View Road as it turns into Berkshire Ave. The approximate depth of the lot is 150 feet and the approximate width is 50 feet. The size of the lot is 7,500 square feet with an average south-facing slope of approximately 38 percent. To the immediate west of the subject site is another vacant hillside lot of similar size and description. To the north, south, and west of the subject site are existing single-family residential units on similar sized parcels.

The parcel frontage also contains a historic Arroyo stone retaining wall that will be retained and restored. Modification and restoration of this wall was previously reviewed and approved by the Cultural Heritage Commission Chairperson in 2017 and the current proposal is identical to the previously approved plans for the wall. Similar to the previous submittal, four trees are proposed for removal with eight trees proposed as replacements. A tree removal permit was submitted with the original application and approved by the City of South Pasadena in 2017.



Figure 1, Vicinity Map

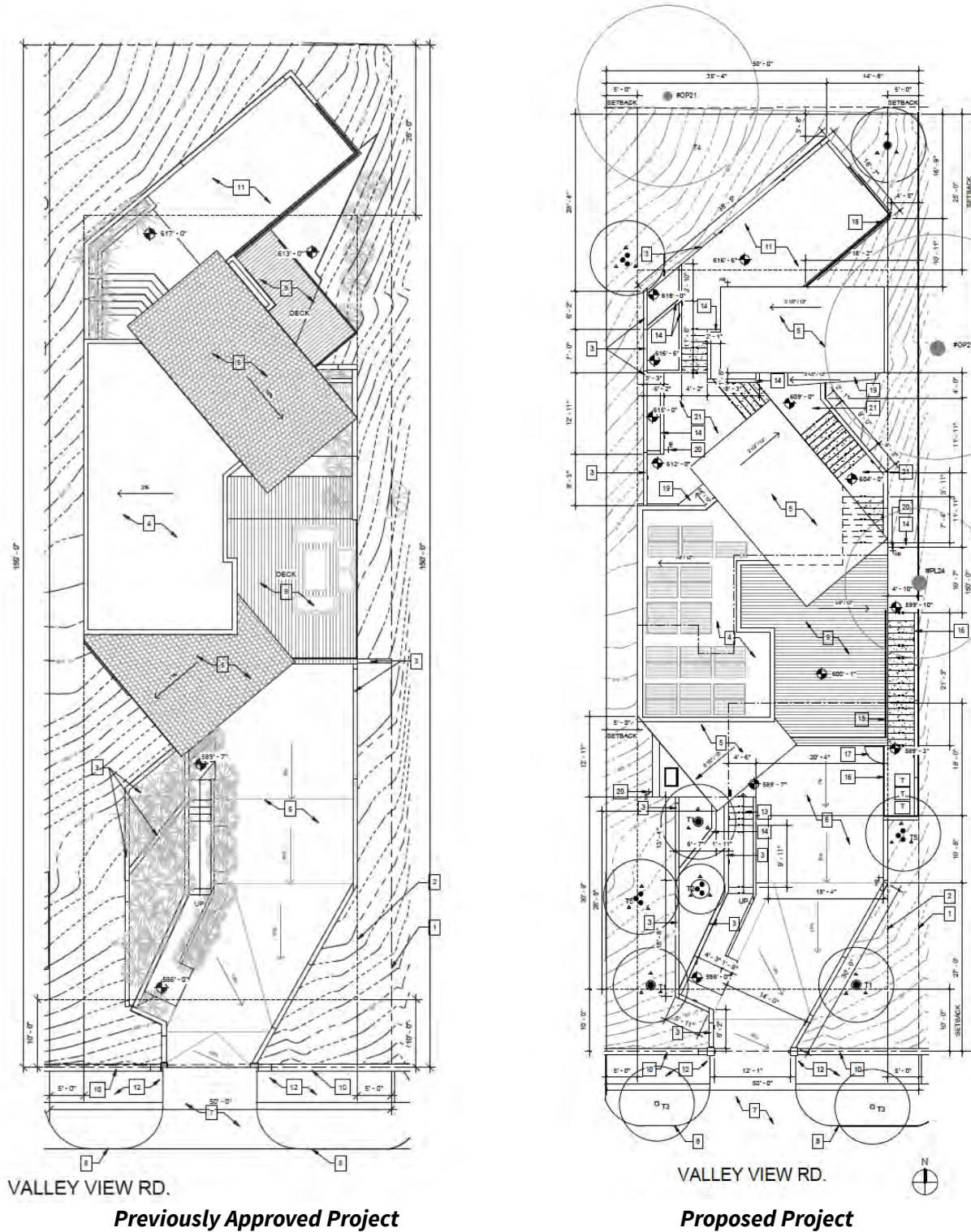


Figure 2, Previously Approved and Proposed Project Site Plans

1.2.1 NEW PROJECT DOCUMENTATION

A copy of this document, and all supportive documentation, may be reviewed or obtained at the City of South Pasadena Planning Division office, 1414 Mission Street, South Pasadena, CA 91030.

2. CEQA Analysis

Under CEQA Guidelines Section 15164, an addendum to a Negative Declaration may be prepared if only minor technical changes are required or if none of the conditions identified in Guideline Section 15162 are present. In the absence of substantial evidence to support a fair argument that the project changes may result in significant environmental impacts not previously studied, an addendum to the Negative Declaration is appropriate. The following review proceeds with the requirements of CEQA Guidelines Section 15162 in mind. The following discussion concludes that the conditions set forth in Section 15162 are not present, and that an addendum is appropriate for the proposed updates of the Design Review and Hillside Development Permit for 804 Valley View Road in South Pasadena.

DISCUSSION

The discussion in this addendum confirms that the proposed changes to the previously approved project have been evaluated for significant impacts pursuant to CEQA. The determination here is that the potential impacts of the proposed project were addressed in the previously adopted Negative Declaration for 804 Valley View Road (1955-HDP New Hillside Home) and that the Negative Declaration provides a sufficient and adequate analysis of the environmental impacts of the proposed new hillside single-family home. Thus, the City determined that an addendum is the appropriate environmental document.

The following identifies the standards set forth in Section 15162 as they relate to the project. The text that follows the provisions of the law relates to the proposed updates to the development application for the proposed new hillside single-family home.

- 1. No substantial changes are proposed in the project which would require major revisions of the previous Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.**

The proposed project consists of a similar single-family hillside residential use and contains relatively the same square footage as the previously analyzed project for 804 Valley View Road. The proposed site design, layout, and improvements of the new house is closely similar to the previous submittal. The construction, design and setbacks, and parking remain essentially the same as the original application. The

proposed single-family residence will remain consistent with the City's General Plan and City's design guidelines.

The improvements for the project include a new driveway in the same location as was previously analyzed and approved by the City, and the historic Arroyo wall will be retained and restored as described in the Negative Declaration. Four trees are proposed to be removed on the property, which are the same identical trees identified for removal in the previously approved project.

2. The project will have one or more significant effects not discussed in the previous EIR or negative declaration.

The Negative Declaration prepared for the previously approved development application did not identify any potentially significant impacts or potentially significant impacts with mitigation. Since the proposed application for the single-family house is very similar in the site design and layout on the vacant property as the previously submitted application, no potentially significant impacts are identified for the new proposed project.

3. Significant effects previously examined will be substantially more severe than shown in the previous EIR.

No significant or potentially significant impacts were identified in the Negative Declaration for the previously approved project. Since the proposed new single-family residence is essentially the same project as the previously approved single-family hillside residence, no significant impacts or issues are associated with the proposed project.

4. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or Association of Environmental Professionals 2019 CEQA Guidelines 192.

No mitigation measures were required with the original Negative Declaration and no mitigation measures were found to be infeasible, since there were no significant or potentially significant impacts identified. Therefore, no new mitigation measures or alternatives will be required for the new proposed project.

5. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Because no significant or potentially significant impacts were identified for the previous project, and because the proposed project is essentially identical to the previous project for purposes of CEQA analysis, there is no requirement to evaluate new mitigation measures or alternatives.

3. Finding

The City of South Pasadena has reviewed the proposed project and on the basis of the whole record before it, has determined that there is substantial evidence to support the determination that the original Negative Declaration remains relevant in considering the environmental impacts of the proposed changes. As indicated in this Addendum, the impacts of the proposed new single-family residence do not represent a substantial change from those impacts analyzed in the 2017 Negative Declaration. Furthermore, impacts beyond those identified in the 2017 Negative Declaration would not be expected to occur as a result of the similarity of the proposed project to the previously approved project, and the Negative Declaration would continue to be applicable. There is no new information of substantial importance that suggests the proposed project would have new or more severe impacts, would require new mitigation measures, or that new or revised alternatives from what was identified in the 2017 Negative Declaration would be required or appropriate. Therefore, a subsequent or new Negative Declaration is not required. This Addendum to an adopted Negative Declaration has been prepared pursuant to Title 14, Sections 15162 and 15164 of the California Code of Regulations.

ATTACHMENT 2
Conditions of Approval (Tracked Changes)

EXHIBIT "A"
CONDITIONS OF APPROVAL

PROJECT NO. 2298-DRX/HDP/TRP
804 Valley View (APN: 5310-020-029)

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on October 13, 2020:
 - a. Hillside Development Permit and Design Review for a new three-bedroom single-family residence on a vacant hillside lot; and
 - b. Tree Permit for the removal of four (4) trees and planting of 11 trees for the proposed single-family residence. The Tree Permit was reviewed by the Public Works Department and was recommended for approval to the Planning Commission.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Planning Commission concerning this use.

Notes on Construction Plans

The contractor shall be responsible to implement and monitor compliance with the following conditions:

- P7. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
- P8. The hours of all construction activities shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P9. During construction, the clearing, grading, earth moving, excavation operations, or transportation of cut or fill materials that cause fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to prevent fugitive dust; and
 - b. All material excavated or graded shall be sufficiently watered to prevent dust from leaving the construction area and to create a "crust" after each day's activities ceases. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - c. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent fugitive dust;
 - d. All area of vehicle movement shall be water appropriately to prevent dust from leaving the construction site;
 - e. Soil stockpiles for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation;
 - f. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
 - g. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P10. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.
- P11. Prior to the issuance of any building permit, the property owner shall retain a licensed architectural historian/historic preservationist to perform the following tasks:
- a. Provide recommendations for the rehabilitation and preservation of the existing Arroyo stone wall along the frontage of the property meeting the Secretary of the Interior Standards. The recommendations shall be reviewed and approved by the Chair of the CHC.

- b. Review and stamp the construction drawing relating to rehabilitation and preservation of the Arroyo stone wall along the frontage of the property. A note shall be placed on the construction drawing that the selected architectural historian/historic preservationist will oversee certain phases during construction relating to the Arroyo stone wall. The construction drawing shall be reviewed and approved by the Chair of the CHC.
- P12. Prior to final inspection, the selected architectural historian/historic preservationist shall provide a letter certifying the completion of the rehabilitation of the Arroyo stone wall along the frontage of the property meeting the Secretary of the Interior Standards.

Prior to Issuance of Grading Permit

- P13. The applicant shall submit a construction management plan for approval by the Building, Planning, and Public Works Departments. The construction management plan shall include, but not be limited to:
- a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park, and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as part of the staging plan. Meridian Avenue shall not be used as part of the haul route. The applicant shall obtain input from Public Works to identify haul route and staging area. The applicant shall provide notification of at least 48 hours prior to any road closure to all affected property owners, including Smart Families (email: SMART-Families@outlook.com).
 - b. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas (refer to Condition No. P9).
 - c. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses and residents (including SMART Families) impacted by any parking restrictions, road closure, and any off-site staging areas during construction.
 - d. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other state-required noise-attenuation devices.
 - e. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
 - f. A sign of at least 24" x 36", legible at a distance of 50 feet, shall be posted at the project site and shall contain the following information:
 - i. Indicate the dates and duration of construction activities.
 - ii. A construction manager (name and telephone number) responsible for maintaining the public right of way and project site during all stages of construction until the project is completed.

A 24-hours emergency contact person (name and a telephone number) where residents and affected public stakeholders can inquire about the construction process and register

complaints. This person shall also be responsible for responding to any complaints about construction noise or activities associated with this project, and shall notify the City to determine the cause and implement reasonable measures to the complaint, as deemed acceptable by the City. All complaints shall be addressed within 24 hours and the person who registered the complaint shall be notified of the resolution.

Prior to issuance of Building Permits

- P14. The applicant shall pay for all applicable City development impact fees, and all other public agency fees including plan review and permit fees.
- P15. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.
- P16. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SPMC Section 35.50), for approval by the Community Development Director. The applicant shall be responsible for consultant cost for reviewing the landscape and irrigation plans. The final landscape plans shall provide, but not limited to the following:
 - a. Screening of all above ground equipment from public view.
 - b. Incorporate the Tree Removal Permit conditions listed below.

Prior to Final Inspection

- P17. The applicant shall install all landscaping and irrigation per the approved final landscape plans pursuant to the City's Water Efficient Landscape Ordinance (SPMC Section 35.50). The applicant shall provide documentations as required under SPMC Section 35.50, which shall include, but not limited to the following:
 - a. A Certification of Completion certifying that landscape and irrigation have been installed per the approved final landscape plan and complies with the City Water Efficient Landscape Ordinance.
 - b. A Landscape Irrigation Audit Report from a certified landscape irrigation auditor shall be submitted to the City. The landscape irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape irrigation.

BUILDING AND SAFETY DIVISION

- B1. Prior to the application of a building or grading permit, a preliminary Geotechnical report that specifically identifies and proposes mitigation measures for any soils or geological problems that may affect site stability or structural integrity shall be approved by the Building Official or his/her designee. The applicant shall reimburse the City for all costs incurred to have the project soils report evaluated by an independent, third-party, peer-level soils and /or geological engineer. Approval letter of the third-party review shall be copied and pasted on the first sheet of building and grading plans.
- B2. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.

- B3. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first recheck shall be paid for on an hourly basis in accordance with the current fee schedule.
- B4. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B5. Per Ordinance 2280 that took effect on April 9, 2015, unless specifically exempt Sewer/Water Impact fees shall be paid to Public Works Department prior or at the time City receives an application for utility service. Contact Public Works Department to calculate the sewer/water impact fee.
- B6. Park Impact Fee to be paid at the time of permit issuance.
- B7. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B8. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B9. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B10. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B11. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B12. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B13. At the time of plan submittal, the pdf copy of the soils report shall be provided by the applicant
- B14. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B15. Hillside project shall comply with LID requirements per City Ordinance.
 - a. The building permit will not be issued until the property has been surveyed and the boundaries marked by a land surveyor licensed by the State of California.
 - b. Foundation inspection will not be made until the excavation has been surveyed and the depth of the footings has been determined to be in accordance with the approved plans

by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.

- c. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
 - d. Separate plan review and permit is required for each detached retaining wall.
 - e. Separate plan review and permit is required for each detached structure, including but not limited to common space open trellis.
- B16. All fire sprinkler hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B17. B22. Separate permit is required for Fire Sprinklers

DEPARTMENT OF PUBLIC WORKS

- PW1. The applicant shall pay for all applicable city fees including PW plan review and permit fees.
- PW2. The applicant shall pay City water and sewer connection charges.
- PW3. Provide a covenant for unconditional and indefinite maintenance of any private improvements within public right of way.
- PW4. Contact the City Water Department to coordinate size, location, and associated fee for the water meter connection as applicable.
- PW5. Provide Los Angeles County Sanitation District letter of approval/fee receipt for sewer connection fee.
- PW6. Submit sewer video of City mainline showing new active sewer lateral connection.
- PW7. Show the location of all existing utilities on Valley View Road, as well as location and size of all existing or proposed services serving the property.
- PW8. The applicant shall provide copies of Title reports. Based on the Title reports, all property dimensions shall be correctly shown on proposed civil plans.
- PW9. Replace all broken, damaged, or out-of-grade sidewalk, driveways, curb and gutter, painted curb markings, signs, asphalt/concrete damaged or disturbed during construction to the satisfaction of the City Engineer. Applicant shall document existing condition of the roadway, curbs, retaining wall, and other features in the public right-of-way prior to the start of construction. Applicant shall provide copies of photographs and/or video recordings of documented conditions to the City prior to the start of construction.
- PW10. The applicant shall provide a Drainage/ Hydrology Study that shows how differential run-off water and the size of the filtration system due to development accordance with City's Low Impact Development (LID) Ordinance (Ord. No. 2283). Based on the hydrology report, the applicant will be required to prepare a drainage improvement plan to mitigate the project's drainage impact. The proposed drainage improvement plan must be approved by the Building & Safety Department prior to the issuance of any grading and building permits.
- PW11. The applicant shall provide street plans show all existing condition within public right-of-ways, curb/gutter, driveway, existing features, trees, dimensions, and proposed improvements.
- PW12. The applicant shall provide a detailed drainage plan prepared by a licensed civil engineer and

signed and stamped by the civil engineer and the project geotechnical engineer. Provide a copy of approved plan from Building & Safety Department.

PW13. Per City Municipal Code, Section 23.14, provide the necessary BMP measures and the SUSMP package for construction and post-construction phases. Applicant must comply with requirements of the City's Low Impact Development (LID) Ordinance (Ord. No. 2283). The proposed BMP must be approved by the Building & Safety Department. Need to record maintenance covenant prior to PW approval.

PW14. The applicant shall show all existing and proposed trees (including parkway trees), including size and species, and indicate their disposition. The applicant shall show methods of protecting existing onsite and on the parkway trees during construction on the plans. The applicant shall submit an arborist report for all trees (including parkway trees) at project completion to the City, demonstrating that all protection methods were followed and document the tree disposition after construction.

PW15. The removal of 4 trees at 804 Valley View, two Significant trees (Date palm 18", Chinese elm multi trunk 21"), one Native tree (Toyon multi trunk 11") one Mature tree (Peruvian pepper tree 10"). The applicant is subject to replace the four trees tree with (11) 24" box trees approved by the City.

PW16. Tree removals associated with development shall only be conditionally approved subject to the applicant receiving their development building permit, paying all fees associated with the tree removal as established by resolution of the city council, and paying a deposit in the amount of \$3,960 for the 11 replacement trees. Upon the planning review authority's approval of the development application and satisfaction of all conditions of approval, and payment of all required fees, the applicant shall be issued a tree removal permit.

PW17. Replacement trees shall be planted per SPMC section 34.12-5 (b). The applicant is required to plant 1 replacement trees based on the trees proposed for removal. The South Pasadena Public Works Department shall inspect the replacement trees before being planted.

PW18. Upon the applicant's proof to the city's satisfaction that the applicant has complied with the approved tree replacement plan, the city shall reimburse the applicant's replacement tree deposit. Should the applicant fail to plant any replacement trees per the approved replacement tree plan, the city shall retain the amount of the replacement tree deposit necessary to cover the cost to plant any required replacement trees in alternative locations within the city (public right-of-way, park, etc.), as permitted by SPMC chapter 34.

PW19. No trees shall be removed from the site until Tree Removal Permits are issued.

PW20. The applicant shall provide a haul route and staging plan for review and approval to the Public Works Department prior to issuance of permits. Any construction activity that may require closing the roadway shall be discussed and mitigated in the staging plan.

PW21. The applicant shall provide a storm water pollution prevention plan (SWPPP) per City Municipal Code, Section 36.540.060, A, 2. Provide a copy of approved plan from Building & Safety Department.

PW22. The applicant shall be responsible for posting a project sign. The project sign shall be posted at the entrance to the site. The project sign shall be 24" x 36" and made of weather-resistant durable material. The applicant shall provide designated person and 24-hours emergency contact number who will be responsible maintaining the public right-of-way during the all stages of construction until the project is completed.

PW23. The applicant shall post "Temporary No Parking " signs along the entire length of the property prior to start of any construction. The temporary no parking signs will be covered at the end of

every working day, and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, traffic will be mitigated through use of flagmen and/or detouring.

- PW24. There shall be a minimum of 16' roadway clearance maintained at all times, unless a roadway closure has been approved. The applicant shall post temporary 'No Parking' signage as deemed necessary directly in front of and across the street from the project to facilitate deliveries and traffic. Any time there is equipment or materials which occupy the public roadway and the roadway clearance of 16' is not available, at least two flagmen shall be required for traffic control purposes.
- PW25. The applicant shall provide street improvement plans show all existing condition within public right-of-ways, power pole, existing features, dimensions, and proposed improvements including right-of-way adjacent properties.
- PW26. The applicant shall remove and replace 1" of existing asphalt fronting the property of entire length and width of the roadway.
- PW27. The applicant shall apply for a change of address permit for the new home prior to final occupancy is approved.
- PW28. The applicant shall provide copies of soil report.
- PW29. Provide a traffic sight distance study prepared by a licensed civil engineer for vehicular ingress and egress to the project.
- PW30. Provide detail of proposed retaining wall elevations along the property line.
- PW31. The applicant shall provide detail how to protect existing neighbor's block wall during the excavation and construction.
- PW32. The applicant shall construct retaining curb/wall along frontage of the property. Provide slope protection to prevent sloughing of hillside onto the street.
- PW33. SPMC 36.340 Hillside Protection: The applicant shall provide copy of approved grading plans from Building & Safety Department.
- PW34. SPMC 35.60 Grading Design Plan: Project is subject to a Landscape Grading Plan. The applicant shall submit Landscape Grading Plans as applicable.
- PW35. SPMC Chapter 23 Requirements: Hillside development has slopes grader than twenty-five (25) percent shall comply with all requirements of Low Impact Development (LID) Ordinance No. 2283.
- PW36. SPMC Article III. Water Efficient Landscape: The applicant shall submit landscape documentation package of the Model Water Efficient Landscape Ordinance (MWELo). Please contact Senior Management Analyst, Jenna Shimmin at (626) 403-7311 for additional information.

FIRE DEPARTMENT

- FD1. Required Code References: 2017 South Pasadena Municipal Code (SPMC); 2016 California Fire Code (CFC); 2016 California Building Code; NFPA standards, Title 19 applicable NFPA and related fire standards.
- FD2. Fire Sprinklers are required. Submit plans to City for approval.
- FD3. Fire Alarm: Required. Submit plans to City for approval.
Section 903 Automatic Sprinkler Systems

- FD4. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD5. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD6. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD7. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the fire department prior to beginning of work.
- FD8. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD9. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD10. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD11. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD12. 907.1.6 Where Required. An approved manual, automatic or manual and automatic fire alarm system complying with Sections 907.2.1 through 907.2.29 shall be provided in all new buildings with a fire area exceeding 3,000 square feet.
- FD13. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
 - 1) An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
 - 2) Any addition to an existing building which has fire sprinklers installed;
 - 3) Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
 - 4) Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;

- 5) An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.

FD14. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.

Special Provisions related to Roof Types.

FD15. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.

FD16. Exception: Any re-roofing shall provide Class A roof material for the entire roof when the aggregated reroofing for the same building during any consecutive twelve months exceeds fifty percent of the existing roof. (14.4 SPMC).

Smoke Alarms.

FD17. Groups R-2, R-2.1, R-3.1 and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:

- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
- 2) In each room used for sleeping purposes.
 - a) Exception: Single- or multiple-station smoke alarms in Group I-1 shall not be required where smoke detectors are provided in the sleeping rooms as part of an automatic smoke detection system (CFC 907.2.11.2).
- 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- 4) In a Group R-3.1 occupancy, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.

FD18. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).

Carbon Monoxide Alarms

- FD19. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages (CBC 420.4.1).
- FD20. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection (CBC 420.4.1.1).
- FD21. Exceptions
- 1) In dwelling units where there is no commercial power supply, the carbon monoxide alarm may be solely battery operated.
 - 2) In existing dwelling units, a carbon monoxide alarm is permitted to be solely battery operated where repairs or alterations do not result in the removal of wall and ceiling finishes or there is no access by means of attic, basement or crawl space.
 - 3) Other power sources recognized for use by NFPA 720.
- FD22. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).
- FD23. Exception. Interconnection is not required in existing dwelling units or within sleeping units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.
- FD24. Alarm Requirements. Single and multiple station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. Carbon monoxide alarms and carbon monoxide detectors shall be installed in accordance with this code, the current edition of NFPA 720 "Standard for the Installation of Carbon Monoxide (CO) Detection and Warning Equipment" and the manufacturer's installation instructions. Other carbon monoxide alarm and detection devices are recognized in NFPA 720 are also acceptable. Carbon monoxide alarms required by 420.4.1 and 420.4.2 shall be installed in the following locations:
- 1) Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).
 - 2) On every level of a dwelling unit including basements.
 - 3) For R-1.
 - a) On the ceiling of sleeping units with permanently installed fuel-burning appliances (CBC 420.4.3).
- Multiple-Purpose Alarms
- FD25. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms. (CBC 420.4.3.1).
- FD26. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California

Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 gpm/ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.

FD27. Exception: An automatic residential fire sprinkler system shall not be required when additions or alterations are made to existing carports and/or garages that do not have an automatic residential fire sprinkler system installed in accordance with this section.

(CBC 406.1) Private garages and carports.

FD28. 406.1.1 Classification. Buildings or parts of buildings classified as Group U occupancies because of the use of character of the occupancy shall not exceed 1,000 square feet in area or one story in height except as provided in Section 406.1.2. Any building or portion thereof that exceeds the limitations specified in this section shall be classified in the occupancy group other than Group U that it most nearly resembles.

FD29. 406.1.4 Separation. Separations shall comply with the following:

- 1) The private garage shall be separated from the dwelling unit and its attic area by means of a minimum ½ inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than a 5/8-inch (15.9mm) Type X gypsum board or equivalent. Door openings between a private garage and the dwelling unit shall be equipped with either solid wood doors or solid or honeycomb core steel doors not less than 1 3/8 inches (34.9 mm) thick, or doors in compliance with Section 715.4.3. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Doors shall be self-closing and self-latching.
- 2) Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48 mm) sheet steel and shall have no openings into the garage.
- 3) A separation is not required between a Group R-3 and U carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.

FD30. 406.1.5 Automatic garage door openers. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. See Health and Safety Code Sections 19890 and 19891 for additional provisions for residential garage door openers.

FD31. 406.2.6 Floor surface. Parking surfaces shall be concrete or similar noncombustible and nonabsorbent materials. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.

FD32. Exceptions:

- 1) Asphalt parking surfaces shall be permitted at ground level.
- 2) Floors of Group S-2 parking garages shall not be required to have a sloped surface.

Section 1029 Emergency Escape and Rescue (B)

FD33. 1029.1 General. In addition to the means of egress required by this chapter, provisions shall be made for emergency escape and rescue in Group R occupancies. Basements and sleeping rooms below the fourth story above grade plan shall have at least one exterior emergency escape and rescue opening in accordance with this section. Where basements contain one or

more sleeping rooms, emergency escape and rescue openings shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Such openings shall open directly into a public way or to a yard or court that opens to a public way.

FD34. Exceptions:

- 1) In Groups R-1 and R-2 occupancies constructed of Type I, Type IIA, Type IIIA, or Type IV construction equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1.
- 2) The emergency escape and rescue opening is permitted to open onto a balcony within an atrium in accordance with the requirements of Section 404 of the California Building Code, provided the balcony provides access to an exit and the dwelling unit or sleeping unit has a means of egress that is not open to the atrium.
- 3) Basements with a ceiling height of less than 80 inches (2032 mm) shall not be required to have emergency escape and rescue windows.
- 4) High-rise buildings in accordance with Section 403 of the California Building Code.
- 5) Emergency escape and rescue openings are not required from basements or sleeping rooms that have an exit door or exit access door that opens directly into a public way or to a yard, court or exterior exit balcony that provides access to a public way.
- 6) Basements without habitable spaces and having no more than 200 square feet (18.6 m²) in floor area shall not be required to have emergency escape window.

FD35. 1029.2 Minimum size. Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).

FD36. Exception: The minimum net clear opening for emergency escape and rescue grade-floor openings shall be 5 square feet (0.46 m²).

FD37. 1029.21.1 Minimum Dimensions. The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.

FD38. Chapter 49 Requirements Wildland Urban Interface Fire. Section 4901 General.

FD39. 4901.3 General Scope. The mitigation of conditions where a wildfire burning in vegetative fuels may readily transmit fire to buildings and threaten to destroy life, overwhelm fire suppression capabilities, or result in large property losses shall comply with this chapter and the 2012 International Wildland-Urban Interface Code developed by the International Code Council (ICC).

Wild Land Urban Interface Requirements.

FD40. This residence is in the City of South Pasadena High Fire Severity Zone. Please note the following Wild Land Urban Interface Fire Requirements:

- 1) 504.2 Roof Coverings – Class A only. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eaves ends shall be fire stopped to preclude entry of flames or embers.
- 2) Eaves and soffits shall be protected on the exposed underside by materials approved for a minimum 1-hour fire resistance rated construction, 2-inch nominal dimension lumber or 1-inch nominal fire-retardant treated lumber or ¾ inch nominal fire retardant treated plywood, identified for exterior use.
- 3) Attic ventilation openings, foundation or other ventilation openings shall not exceed 144

square inches each. Such vents shall be covered with noncombustible corrosion resistant mesh with openings not to exceed ¼ inch or shall be designed to prevent flame or ember penetration into structure.

- 4) Attic ventilation openings shall not be located in soffits, eave overhangs, between rafters at eaves or in overhang areas. Gable end or dormer vents shall be located at least 10 feet from property lines. (Also see 504.11 Detached Accessory Structures).
 - 5) Defensible space requirement per section 603.2 and Table 603.2 is 100 feet. Nonfire-resistant vegetation or growth shall be kept clear of buildings or structures in a manner as to provide a clear area for fire suppression operations.
- FD41. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree Crowns within defensible space shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Portions of tree crowns that extend within 10 feet of the outlet of a chimney shall be pruned to maintain a minimum horizontal clearance of 10 feet.
- FD42. Buildings under construction shall meet the conditions of "Chapter 14 – Fire Safety During Construction and Demolition" of the 2016 California Fire Code. Structures under construction, alteration or demolition, shall be provided with not less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustible materials have accumulated.
 - 2) In every storage and construction shed.
 - 3) Where special hazards exist including but not limited to the storage and use of combustible and flammable liquids.
- FD43. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7302.
- FD44. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 3

Staff Report for September 8, 2020

[\(Click Here\)](#)

Additional Document No. 1

[\(Click Here\)](#)


Additional Document No. 2

[\(Click Here\)](#)

Additional Document No. 3

[\(Click Here\)](#)

ATTACHMENT 4
Public Comments Received

From: Kanika Kith kkith@southpasadenaca.gov 
Subject: FW: Follow-up: 804 Valley View Road Project No. 2298 - DRX/HDP/TRP: Proposed Revisions by SMART Families on Certain Permit Conditions
Date: October 1, 2020 at 12:58 PM
To: Nick Pergakes npergakes@nterwestgrp.com, Kevin Koko koko@nterwestgrp.com, Omar A-Hnd oa-hnd@southpasadenaca.gov
Cc: Joanna Hankamer jhankamer@southpasadenaca.gov, Manda L m m m@m@southpasadenaca.gov, Garrett Crawford gcrawford@southpasadenaca.gov, Omar A -H nd oa-hnd@southpasadenaca.gov



[The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin.]

Nick & Kevin,

Could you please review the suggested conditions and review her comment from the last meeting to see if we need to add more conditions to address their concerns?

Thanks,

Kanika

From: D.W. Shane <SMART-Families@outlook.com>
Sent: Thursday, October 1, 2020 12:37 PM
To: Kanika Kith <kkith@southpasadenaca.gov>
Cc: Joanna Hankamer <jhankamer@southpasadenaca.gov>; Janet Braun <[REDACTED]>; [REDACTED]; [REDACTED]; Stephen Rossi <srossi@southpasadenaca.gov>; Stephen Rossi <[REDACTED]>; jack [REDACTED]; Tamara Binns <tbinns@southpasadenaca.gov>; Margaret Lin <mmlin@southpasadenaca.gov>; Dr. [REDACTED]; Richard D. Schneider <rschneider@southpasadenaca.gov>; [REDACTED]; Robert Joe <rjoe@southpasadenaca.gov>; [REDACTED]; ezneimer <[REDACTED]>; [REDACTED]; [REDACTED]
Subject: Follow-up: 804 Valley View Road Project No. 2298 - DRX/HDP/TRP: Proposed Revisions by SMART Families on Certain Permit Conditions
Importance: High

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Kith:

SMART Families has reviewed the proposed permit conditions for the subject project. We have suggested changes to certain conditions to make them more relevant and more specific with respect to our community. Generic conditions can be interpreted too broadly that might lead to either inaction or inappropriate actions on the part of the applicant's contractors.

Our residents have experienced poor practices by construction contractors and their crews on other projects over several years now. We do not consider such activities as short-term. While building a home is quite different from building a mixed-use development, our older housing stock is densely packed including the hilly areas, and with an approximate 18-24 months construction period for each new house, is for us quite a burden in terms of ongoing dust, noise, traffic, parking, and access. Neighbors are also concerned with the aesthetic aspects of this project and any project with a very steep

concerned with the geotechnical aspects of this project and any project with a very steep slope that might have a potential risk involving landslides, fractures, subsidence, and unstable soil conditions. We have included our previous letter that was provided during the September 8th public hearing by the Planning Commission to consider the Addendum to the original Negative Declaration as a reminder of these concerns.

We also recommend that while the Planning Commission is the decision-making body for new structures built on steep slopes, other applicable commissions and boards should be providing recommendations to the Planning Commission regarding these types of projects, including MTIC for traffic, Design Review Board and Cultural Heritage Commission for architectural/historical resources, and the Natural Resources & Environmental Commission for trees.

Since an ad hoc committee is looking at how to empower commissions, the Planning Department could propose that a representative from each applicable commission, board, and committee meet once a month to hear a 5-10 minute presentation for each proposed development that will eventually go to the Planning Commission and provide some initial consultation/suggestions to the applicant. This pre-application/pre-consultation gathering would allow for a more robust and objective discussion of potential planning and environmental issues that need to be holistically considered and provide the applicant with the information needed to be more prepared and have a more complete application that will better inform the planner. In turn, the community will be provided with a more detailed and transparent analysis for comment, leading to more positive outcomes for all.

Please let us know when this project is placed on the agenda for consideration by the Planning Commission.

Thank you.

Sincerely,

SMART Families



From: D.W. Shane

Sent: Monday, September 7, 2020 5:48 PM

To: Kanika Kith <kkith@southpasadenaca.gov>;

PlanningComments@southpasadenaca.gov

Cc: Janet Braun [REDACTED]; Joanna Hankamer

<jhankamer@southpasadenaca.gov>; mhim@southpasadenaca.gov; Samuel Zneimer

<[REDACTED]>; Larry Abelson [REDACTED]; Hughes, Kimberley

[REDACTED]; Michelle Hammond [REDACTED];

John Fisher <[REDACTED]> Shahid Abbas
<sabbas@southpasadenaca.gov>; Kristine Courdy <kcourdy@southpasadenaca.gov>;
Leaonna Dewitt <ldewitt@southpasadenaca.gov>; Maria Ayala
<mayala@southpasadenaca.gov>; Robert Joe <rjoe@southpasadenaca.gov>;
dmahmud@southpasadenaca.gov; richard schneider <[REDACTED]>
mcacciotti@southpasadenaca.gov; srossi@southpasadenaca.gov; Tamara Binns
<tbinns@southpasadenaca.gov>; Margaret Lin <mclin@southpasadenaca.gov>; Ben
Tansey <[REDACTED]>
Subject: Public Comment: Planning Commission Meeting on September 8 2020: Agenda
No. 1: 804 Valley View Road Project No. 2298 - DRX/HDP/TRP
Importance: High

Dear Ms. Kith:

Enclosed please find our comment letter on Agenda Item No. 1 for the Planning Commission meeting scheduled for September 8, 2020.

This letter is provided to you as part of the administrative record related to the proposed development on 804 Valley View Road. **SMART Families** will also be leaving a brief voicemail to be replayed at the Commission's meeting. Our major concerns are focused on potential transportation and related environmental impacts both on Valley View Road and Meridian Avenue, and at the intersection of those two streets that appear not to be discussed in the two environmental documents.

We are surprised that given the extreme steepness of the slope on the property and the proximity to the intersection of Valley View Road and Meridian Avenue (a dangerous roadway due to excessive speeding by cut through drivers) that a mitigated negative declaration with a mitigation monitoring and reporting program were not prepared for the entire development, even if it phased over time (i.e., luxury homes being built on 800, 804, and 808 Valley View Drive) to comply with the California Environmental Quality Act. We are not against development, though affordable housing developments need to be encouraged by the City. However, we are concerned about the lack of well-defined mitigations related to our concerns that need to be included in the Planning Commission's permit conditions.

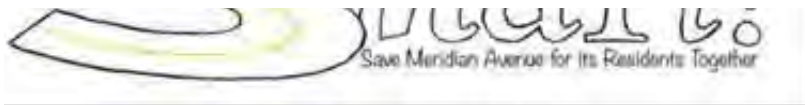
We appreciate the opportunity to comment on this project and request that further electronic notifications and documentation concerning this project and the other developments on Valley View Road be sent to our attention at smart-families@outlook.com.

Thank you.

Sincerely,

SMART Families





Planning
Commi...nts.pdf



Proposed
Revisio...ad.pdf

Proposed Revisions to Selected Permit Conditions for 804 Valley View Road
SMART Families' Recommendations

Planning Division

- P7. The construction site and the surrounding area (including sidewalks, parkways, gutters, and streets) shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris will be removed immediately from streets to prevent road hazards or public health issues on Valley View Road, Berkshire Avenue, Cambridge Place, and at the intersection of Meridian Avenue/Valley View Road.
- P8. The hours of all construction activities onsite and within 500 feet of the project site shall be limited to 8:00 am and 7:00 pm Monday through Friday; 9:00 am and 7:00 pm on Saturday; and 10:00 am through 6:00 pm on Sunday.
- P9. During construction, the clearing, grading, earth moving, ~~or~~ excavation operations, or transportation of cut or fill materials that cause ~~excessive~~ fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to reduce fugitive dust;
 - b. All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15mph), to prevent excessive fugitive dust.
 - c. All material excavated or graded shall be sufficiently watered to prevent ~~excessive amounts of~~ dust from leaving the construction area and to create a "crust" after each day's activities cease. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - d. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent ~~excessive amounts of~~ fugitive dust;
 - e. Water trucks or sprinkler systems shall be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the construction area. ~~The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust;~~
 - f. Soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation;
 - g. The contractor shall designate person(s) to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. Their duties shall include even those days (e.g., holidays) when active construction work may not be in progress. ~~and~~
 - h. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
 - i. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P10. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works

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Proposed Revisions to Selected Permit Conditions for 804 Valley View Road SMART Families' Recommendations

Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading. [A summary of the pre-construction meeting will be provided to all parties, along with interested public stakeholders \(including SMART Families\).](#)

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Prior to Issuance of Grading Permit

P11. The applicant shall submit a construction management plan for approval by the Building, Planning, and Public Works Departments. The construction management plan shall include, but not be limited to:

- a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as part of the staging plan. The applicant shall obtain input from Public Works to identify haul route and staging area. [Information regarding the haul route, road closures, and staging areas shall be provided to affected public stakeholders \(including SMART Families\).](#)
- b. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas [\(refer to Permit Condition P9\)](#).
- c. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses and [residents-affected public stakeholders \(including SMART Families\)](#) impacted by any parking restrictions, [road closures, and designated staging/storage areas](#) during construction.
- d. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other state-required noise attenuation devices.
- e. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
- f. A sign, legible at a distance of 50 feet, shall be posted at the Project construction site providing a contact name and a telephone number where [residents-affected public stakeholders](#) can inquire about the construction process and register complaints. This sign shall indicate the dates and duration of construction activities. In conjunction with this required posting, a noise disturbance coordinator shall be identified to address construction noise concerns received. The contact name and the telephone number for the noise disturbance coordinator shall be posted on the sign. [The coordinator shall be responsible for responding to any local complaints about construction noise and shall](#)

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Proposed Revisions to Selected Permit Conditions for 804 Valley View Road
SMART Families' Recommendations

notify the City to determine the cause and implement reasonable measures to the complaint, as deemed acceptable by the City. Both coordinators must resolve the complaints within 24 hours of receiving the complaints, communicate the resolutions to the persons who registered the complaints and inform the City about the causes and how they were resolved. If the complaints are not resolved by the assigned contacts within 24 hours, then the City will designate a City contact for the public to call to resolve the complaints. That City contact's information will also be included in said signage.

DEPARTMENT OF PUBLIC WORKS

PW19. The applicant shall provide a haul route and staging plan for review and approval to the Public Works Department prior to issuance of permits. Any construction activity that may require closing the roadway shall be discussed and mitigated in the staging plan.

PW21. The applicant shall be responsible for posting a project sign. The project sign shall be posted at the entrance to the site. The project sign shall be 24" x 36" and made of weather-resistant durable material. The applicant shall provide designated person and 24-hours emergency contact number who will be responsible maintaining the public right-of-way during the all stages of construction until the project is completed.

PW22. The applicant shall post "Temporary No Parking " signs along the entire length of the property prior to start of any construction. The temporary no parking signs will be covered at the end of every working day, and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, traffic will be mitigated through use of flagmen and/or detouring. If construction equipment and heavy truck traffic travels through the intersection of Meridian Avenue and Valley View Road, flagmen or temporary three-way stop signage will be used to prevent potential vehicular collisions on Meridian Avenue.

Commented [DS1]: This is very close in language to Permit Condition P.11a. Therefore, suggest dropping this and cross-referencing with P.11a. If it won't be dropped, then the recommend language for P.11a should replace this language.

Commented [DS2]: This permit condition may overlap with Permit Condition P.11f? These two conditions should be merged into one, otherwise it may be confusing to the contractor between the construction complaint line, the noise complaint line, and the 24-hour emergency contacts.

Commented [DS3]: This could be a separate condition if the truck haul route uses Meridian, though it is strongly ill advised due to the current pavement conditions and the dangerous speeds by vehicular traffic.

From: Kanika Kith kkith@southpasadenaca.gov
Subject: FW: 804 Valley View site plan
Date: September 14, 2020 at 10:09 AM
To: Nick Pergakes npergakes@nterwestgrp.com, Manda Limm m@southpasadenaca.gov



[The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin.]

Nick, could you please provide answers to the questions below so I can get back to her?

From: L Esposito <[REDACTED]>
Sent: Monday, September 14, 2020 10:07 AM
To: Kanika Kith <kkith@southpasadenaca.gov>
Subject: Re: 804 Valley View site plan

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Kanika,

This is a follow-up to the voicemail I left at the City on Friday. I just spoke with Joan and she advised me to send any concerns via email.

I saw the site plan for 804 Valley View Road.

Answers me and neighbors are requesting:

1. Did applicant submit a geotechnical report, including historic references and seismic activity of the area, as well as soil survey? Is this information open to the public? Concerns/impacts about land stability, etc., especially given Bonita Drive's history with landslides.
2. What are the possible impacts to the hillside at 801 Bonita? (State-owned historic property). Hillside runs continuously from atop 801 Bonita and southbound down to 804 Valley View.
3. Where does the new design nest on the hillside, in relation to my property at 809 Bonita?
4. Is it possible to get a rendering showing the proposed design with a north view (facing Bonita), including setback and what my backyard "view" would be?

If you could kindly provide a timeline for when these questions will be answered.

Thank you,
Linda

On Thursday, September 10, 2020, 8:42:47 AM PDT, L Esposito <lindae99@yahoo.com> wrote:

Good morning Kanika,

I cannot find the link showing the site plan for 804 Valley View. If you could please forward to me.

Also, and I don't believe you were around in 2017, could you clarify why the design review was closed to the public? I want to know the reason myself and neighbors were not properly notified.

Thank you,
Linda

From: L Esposito [redacted] @
Subject: Re: 804 Valley View site plan
Date: September 29, 2020 at 1:59 PM
To: Nick Pergakes npergakes@interwestgrp.com
Cc: Kanaka Kithkkth@southpasadenaca.gov, Ma nda L m m m@southpasadenaca.gov, k mber y dkyarch tects. com
k mber y@dkyarch tects.com



[The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin.]

Good afternoon Mr. Pergakes,

I look forward to receiving the applicant's timeframe for construction.

Thank you for sending the soils report from 2017. Here are my questions:

- Is the soils report still valid?
- Has the original proposed design changed with regard to position on the hillside?
- Are the proposed recommendations applicable to new design?
- Does the soils report acknowledge the slope is in a landslide area? What geologic literature was reviewed? The fact that a site lies outside of a zone does not mean it is free of seismic or geologic hazards such as landslides, etc.
- Is there potential for construction disturbance underneath the canopy of Pepper tree? Could tree destabilize due to trenching? I would like to see arborist's review regarding "deceased" status and if it's not "deceased" could construction kill it? Seems like it's lived a long life.

Best regards,
— Linda Esposito

On Wednesday, September 23, 2020, 5:08:43 PM PDT, Nick Pergakes <npergakes@interwestgrp.com> wrote:

Ms. Esposito:

Attached is a copy of the geotechnical and soils report prepared for the property in 2017, for the project application at the time.

The species of the deceased tree you identified is a Peruvian Pepper tree. The tree is not located on the 804 Valley View property and will not be impacted during construction of the home.

Regarding the timeframe of construction, I will discuss with the client's architect and see if an estimate can be provided.

Best regards,

Nick



NICK PERGAKES
AICP | PRINCIPAL PLANNER

npergakes@interwestgrp.com

626.618.6181

626.676.9533 - cell

interwestgrp.com

On Sep 21, 2020, at 3:11 PM, L Esposito <lindae99@yahoo.com> wrote:

[The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin.]

Thank you, Mr. Pergakes.

—Is it possible to email me the geotechnical and soils report, or attach the link via Planning Commission webpage?

—What is the species of large deceased tree mentioned at the back of the property slated for removal? (See images of California Pepper tree which is most visible from my backyard located to the east of the property line).

—What is the estimated duration of this project from best-case to worst-case scenario?

Many unanswered questions remain that predate the applicant's purchase of 804 Valley View Road in late 2019. I understand a third-party geologist reviewed and approved the soils report; however, there's a lot of history the public was not made aware of, including involvement with recently resigned City staff members.

I would like to have have a virtual meeting when more information is gathered.

Best regards,
—Linda Esposito

On Friday, September 18, 2020, 9:48:21 AM PDT, Nick Pergakes <npergakes@interwestgrp.com> wrote:

Ms. Esposito:

Below are responses to your questions regarding the proposed project at 804 Valley View. Also, attached is an image that shows the small trees/shrub at the rear east side of the property.

City staff and the applicant's architect are available to have a virtual meeting to address your questions, if you would like further clarification.

Best regards,
Nick

NICK PERGAKES
AICP | PRINCIPAL PLANNER

npergakes@interwestgrp.com

626.618.6181

626.676.9533 - cell

interwestgrp.com

From: L Esposito <lindae99@yahoo.com>
Sent: Monday, September 14, 2020 10:07 AM
To: Kanika Kith <kkith@southpasadenaca.gov>
Subject: Re: 804 Valley View site plan

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Kanika,

This is a follow-up to the voicemail I left at the City on Friday. I just spoke with

From: L Esposito [REDACTED]
Subject: 804 Valley View Road Project No. 2298 - DRX/HDP/TRP
Date: October 7, 2020 at 8:50 AM
To: cco@southpasadenaca.gov, Nick Pergakes npergakes@nterwestgrp.com, Kanika Kothakota@southpasadenaca.gov, Mandala Marm@southpasadenaca.gov, Kimberly Dkyarchitects.com kimberly@dkyarchitects.com, Deane Shane wehoa 402@outlook.com

LE

[The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin.]

Good morning,

Mr. Pergakes and I have exchanged email correspondence following the September 8, 2020 City Council Meeting (804 Valley View Road Project No. 2298 - DRX/HDP/TRP).

While I appreciate some of the clarification regarding this development project, land use policies, and historic preservation, there are many unanswered questions. The information below is mainly for the benefit of City Council and to connect the dots.

Since September, I have shared my concerns about land stability and CEQA (California Environmental Quality Act) with the proposed development of luxury homes at 804 and 800 Valley View Road. Additionally, 808 Valley View Road recently sold, as well. These properties are located adjacent to 801 Bonita Drive, a CalTrans-owned home and hillside.

These three properties (a vacant house, and two vacant lots — both listed on the South Pasadena Historic Resources) have been sold to a developer. In addition to requesting the removal of historic tree(s), the applicant at 804 is proposing a tri-level, 3,125 square foot home, despite a CEQA Negative Declaration in 2017. The proposed design at 800 is similar. The Planning and Building Department and Planning Commission have been working with the developer and architect since 2017.

However, residents were not notified about the Public Hearing of Design Review and Hillside Permit for 804 Valley View Road until August 29, 2020.

History of landslides: Bonita Drive

I am extremely concerned about the hillside conditions of these tri-level projects, specifically 804 Valley View. Risks include seismic movement, soil liquefaction, drainage, and disruption caused by removal of the massive root system of the mature trees. The results could cause foundation and land movement issues for residents on Valley View and Bonita Drive.

In 2010 the state-owned property at 801 Bonita Drive (located directly north of 804 Valley View) experienced a devastating landslide during excessive rainfall, and the hillside came crashing down onto my property below. In previous years, landslides occurred at 773 Bonita Drive (also owned by CalTrans, and one property north of

801 Bonita Drive) and the vacant lot east of 769 Bonita Drive. The mud and debris traveling southbound was so powerful it flowed across the street and upended the foundation and the garage of the adjacent home. 773 was declared inhabitable, as has been ever since.

It is not clear if Public Works staff, the Planning Commission and the 804 applicant understand that construction at 804 Valley View impacts 801 Bonita Drive, which impacts my home. In fact, 801 sits atop the hillside, which runs continuously south down to Valley View Road. The 804 site plans include building on a 38 degree angle, which the architect, David Streshinsky previously stated on record was a very steep slope for the project.

The 804 Valley View applicant provided a geotechnical report from 2017 for a different (yet similar) plan. There's no mention of the landslides on Bonita Drive. Why?

The new design plan features the home to be built farther north on the hillside. What about the excavation and installation of pilings to support the house? Will pile driving cause indirect impacts to the neighboring Bonita housing tract due to ground vibration? What about the water table, and will pile driving activities breach the groundwater?

The construction hours are as follows:

Monday - Friday: 8:00 am - 7:00 pm
Saturday: 9:00 am - 6 pm
Sunday: 10:00 am - 6 pm
Holidays are not excluded.

Would you want construction 7-days per week in your backyard? How about two projects? What about three?

CEQA concerns:

- The Valley View construction will have potential significant impacts on Air Quality, Geology and Soils, Historical Resources, Noise/ Vibration, and Traffic.
- Since 2014, we have endured a consistent disruption to our quality of life due to the never-ending construction on Oneonta Drive. 883 Oneonta Drive has been under construction for nearly four years and is nowhere near completed.
- Construction machinery enters and exits from Meridian Avenue to Bonita Drive, a narrow hill, to gain access to Oneonta Drive and surrounding streets.
- In 2018, a cement truck from 883 Oneonta spilled cement on my car and the entire south area street on Bonita Drive. Constant damage to trees, rain gutters, sidewalks and cars have resulted.
- On Saturday afternoon October 3 a car flipped over due to a collision on

Meridian, near Valley View. Yet the City has ignored longstanding and well-documented residents' concerns for traffic safety, including the installation of a three-way stop sign in the vicinity.

Closed-door Meetings

- It appears the City of South Pasadena was negotiating with Caltrans for purchase of properties at 821 Bonita Drive; 728 Bonita Drive, and 804 Valley View Road, among others since 2015.
- Who can confirm if this is accurate?
- I am seeking to understand how our former City Manager, Stephanie DeWolfe could publicize her desire to create affordable housing through CalTrans properties, when the design plans for 804 Valley View and 728 Bonta Drive are inconsistent with this vision. In an article published on October 2, 2019 she was quoted in a news article (SouthPasadenan.com):

“We have had considerable interest from the community in the purchase of Caltrans properties for affordable housing purposes,” DeWolfe said. “And while the City cannot directly purchase these properties, we are able partner with qualified non-profit groups to achieve the same outcomes.”

Are sales records of the aforementioned properties available to the public?

The tri-level luxury homes are lovely, but do not fit the character of the city. A historic expert stated the Canary Palm at 804 is protected; however, the architect for the property said it is not native, therefore unprotected. 879 Oneonta Drive dwarfs the surrounding homes and its height is not consistent with the original site plans. 728 Bonita Drive (designated as an affordable housing unit) sits on a narrow lot which slopes drastically south toward Wolford Lane. The trilevel modern design rendering (seen on Zillow) is not congruent with “affordable housing.”

Nobody is denying applicants the right to build a home, but why should residents in the surrounding area live through more massive, complicated and protracted projects? Many of us are working from home due to the pandemic. Additionally, some residents are elderly and/or immuno-compromised, and sensitive to respiratory pollutants (myself included).

South Pasadena has seen an upheaval in our City leadership recently. The City Manager, Stephanie DeWolfe resigned last month, The City Councilmember, Marina Khubesrian had to resign her seat in August, and the Financial Director, Karen Aceves took an extended leave of absence, despite disclosure errors which have resulted in millions of dollars missing from City budgets. Moreover, turnover on City staff has contributed to the lack of historical knowledge and understanding of incidences such as the hillside collapse in 2010, and its potential impacts on development on adjacent properties.

In fact, after raising some of the concerns at the Planning Commission meeting held on September 8, 2020, the Commissioners noted that this information was just made available to them and they would have to postpone approval of the construction. I question whether most of the information provided to them through our public comments was 'new information'.

District 2 residents especially, have experienced a collective exhaustion due to COVID-19, ongoing construction, crime and homelessness, all compounded by a woefully absent and fractured city government. Who can provide guidance and to help us hold the City accountable for its actions?

I am hoping the aforementioned concerns will be comprehensively addressed during the October 13 City Council meeting.

Sincerely,
Linda Esposito

ATTACHMENT 5
Updated Historical Resources Evaluation Report



Architectural
Resources Group

360 E. 2nd Street, Suite 225
Los Angeles, California 90012

arg-la.com

Memorandum

To: Kanika Kith
Planning Manager
City of South Pasadena
1414 Mission Street, South Pasadena, CA 91030
kkith@southpasadenaca.gov

Project: Focused Historic Resource Evaluation, 804 Valley View Road, South Pasadena

ARG Project No.: 200911

Date: Oct. 7, 2020

Via: E-mail: Nick Pergakes, AICP (npergakes@interwestgrp.com)

Dear Ms. Kith:

Connected with the proposed redevelopment of the vacant property at 804 Valley View Road, the City of South Pasadena has requested additional analysis about a collection of trees on the property. While the trees have not been expressly identified as historic resources, the property falls within the boundaries of a potential planning district (Valley View Heights Planning District) that was identified in the 2015/2016 Historic Resources Survey Update. ARG has been tasked with determining if the trees contribute to the significance of the district, the conclusion of which is included in this memorandum.

In preparation of this analysis, ARG reviewed historic resource survey data related to the property and the Valley View Heights Planning District; reviewed a Tree Inventory and Arborist Report (Jan C. Scow Consulting Arborists, LLC) that was prepared in August 2017 and updated in September 2020; reviewed site photos and landscape concept plans associated with the proposed redevelopment project; and reviewed pertinent environmental documents provided by the City.

This evaluation was completed by ARG staff Katie E. Horak, Principal, and Andrew Goodrich, AICP, Associate, both of whom meet the *Secretary of the Interior's Professional Qualification Standards*, 36 CFR Part 61, in the discipline of Architectural History.

In summary, ARG concludes that the trees associated with the property at 804 Valley View Road do not appear to be contributing features of the Valley View Heights Planning District. There is insufficient evidence demonstrating that the trees contribute to the historical significance of the district. However, ARG recommends that any removal and/or replacement of trees associated with the proposed redevelopment project conform to the standards and prescriptions conveyed in Chapter 34 (Trees and Shrubs) of the South Pasadena Municipal Code.

Physical Description

804 Valley View Road is located in the Valley View Heights neighborhood of South Pasadena, northwest of the intersection of Huntington Drive and Alhambra Road. The currently vacant rectangular parcel is bordered on its southern edge at the sidewalk by an arroyo stone retaining wall. The property is located on the north side of Valley View Road at its intersection with Berkshire Avenue. It is surrounded primarily by early twentieth century, one- and two-story single-family residences of varying dates and designed in the Craftsman, American Colonial Revival or Spanish Colonial Revival styles. Neighboring properties share common features including uniform setbacks, detached garages at the rear of the parcels, and broad front lawns, some of which are sloped and also feature retaining walls of varying materials.

The property historically measured 15,000 square feet, but in 2016 was divided into two lots. 804 Valley View Road is now 7,500 square feet – generally the same size as most other parcels in the neighborhood, which average 7,250 square feet (50' x 145').¹ Its terrain slopes steeply upward toward the northwest. Most of the property's ground is dirt with a few mature trees and natural debris. Some concrete foundations remain from the earlier, demolished residence throughout the site, while a stepped brick masonry wall runs along the property's eastern boundary.

An arroyo stone retaining wall flanks the south property line and is in fair-to-poor condition. The top of the wall is crumbling so that dirt from the site has spilled over parts of the wall onto the sidewalk. The wall has been patched in some places by concrete, but there are significant losses on the east end; a small opening near this end suggests the existence of a staircase that has since been removed. The intact portion of the wall is leaning towards the sidewalk. The west end of the wall is adhered to a modern stone retaining wall, constructed around the mid-2000s.

The property contains a number of trees, shrubs, groundcover, and other plantings. The Tree Inventory and Arborist Report prepared for the property (Jan C. Scow Consulting Arborists, LLC) notes that "vegetation on and near the site consists of native and non-trees and shrubs, non-native ground covers, and non-native annuals."² Specifically, the report notes that the property contains one mature native toyon tree, several mature Peruvian pepper and Canary Island date palm trees, and numerous immature saplings and shoots of various species. The Peruvian peppers (from the genus *Schinus*) and shoots from the genus *Ailanthus* are described in the report as invasive species. Based on current photos of the property, ARG observed that the landscape is in generally poor condition, with significant overgrowth and evidence of at least one dead mature

¹ "Valley View Heights District," Department of Parks and Recreation 523A, Primary Record Form, October 1, 2002.

² "Tree Inventory and Arborist Report at 804 Valley View Road," prepared by Jan C. Scow Consulting Arborists, LLC, Aug. 16, 2017, updated Sept. 21, 2020.

specimen. Analysis of earlier site photos indicates that several trees in the parkway strip were removed circa 2010. There is one mature Canary Island date palm remaining in the parkway strip.

Historical Background

South Pasadena has its origins as part of Rancho San Pasqual, a Mexican land grant comprising present-day Altadena, Pasadena, and South Pasadena. In 1835, the Mexican government awarded the Rancho to Juan Mariné, just one year after it won its independence from Spain. Shortly after, the Rancho was further subdivided and the oldest house in South Pasadena, El Adobe Flores, was constructed on Raymond Hill.³ In 1873, a coalition of settlers from Indiana formed the San Gabriel Orange Grove Association and acquired a large tract of the Rancho, which was then divided between the group's members. By 1875, members of the association voted on a formal name for their settlement, ultimately choosing the name "Pasadena," as a result, those settlers residing in the southern section of the tract began calling themselves "South Pasadenans."⁴ On March 2, 1888, South Pasadena voted to incorporate as a city, becoming the sixth municipality in Los Angeles County; at the time of its incorporation, South Pasadena's population had reached 500.

The Los Angeles & San Gabriel Valley Railroad was extended to South Pasadena in 1885, serviced by a depot at Meridian Avenue and Center Street (now El Centro Street), which facilitated a land boom and the development of a commercial center within the city. South Pasadena experienced its earliest burst of residential development between 1886 and 1888, with the construction of more than 75 residences in the city in 1887 alone.⁵ The development of the Raymond Hotel in 1886 also attracted tourists to the area. By 1888, several commercial and institutional buildings had been established along Center Street, close to the depot. The development of passenger rail connections continued to have a significant effect on South Pasadena's growth. The area's first



The Oneonta Park Station at Fair Oaks Avenue and Huntington Drive, looking north, c. 1906 (South Pasadena Public Library via Flickr).

³ Jane Apostal, *South Pasadena 1888-1988: A Centennial History* (2 ed.) (South Pasadena: Friends of the South Pasadena Library, 2008), 5-7.

⁴ "History," City of South Pasadena, accessed January 5, 2017, <http://www.ci.south-pasadena.ca.us/index.aspx?page=42>.

⁵ Historic Resources Group, *City of South Pasadena Citywide Historic Context Statement* (South Pasadena, CA: Department of Planning and Building, 2014), 77.

interurban railroad, the Pasadena & Los Angeles Railroad, opened in 1895 and connected South Pasadena to both Pasadena to the north and Los Angeles to the south.⁶ In 1902, Henry Huntington purchased the railroad and integrated the line into his Pacific Electric railway. The same year, Huntington began construction of the Pacific Electric Short Line (“Pasadena Short Line”), one of three lines connecting Pasadena to Los Angeles. Running along the borders of South Pasadena, Los Angeles and Alhambra, the Pasadena Short Line diverged into two separate lines to Alhambra and Monrovia at the Oneonta Park Junction (formerly Monrovia Junction), located at the intersection of Huntington Drive and Fair Oaks Avenue. In 1906 a station was constructed at the Oneonta Park Junction, from which the Pasadena Short Line ran half-hourly trips to the Raymond Hotel to the north at Columbia Street.⁷ The other branch of the line turned northward on Fair Oaks running on a private right-of-way to Monterey Road and continuing through the center of the street until Columbia Street, where visitors could stop at the Raymond Hotel.⁸

The busiest of the three Pasadena-Los Angeles lines, the Pasadena Short Line spurred increased commercial development along Mission Street between Meridian and Fairview Avenues. At the height of its use, up to 750 “Red Cars” passed between downtown Los Angeles and South Pasadena in a single day.⁹

At the time of the Oneonta Park Junction’s construction at the turn of the century, South Pasadena had a population of approximately 1,000.¹⁰ This number quickly grew to 4,659 residents by 1910, resulting in a heightened demand for single-family housing.¹¹ Subsequently, large-scale subdivisions sprung up to accommodate the influx of residents. Those subdivisions in proximity to the Pasadena Short Line, including the Raymond Villa Tract (1901), the Oneonta Park Tract (1903), the Oaklawn Tract (1903), and the Valley View Heights Tract (1906), were promoted as streetcar suburbs by their developers. Houses in these tracts were often owned by well-to-do residents and could feature lush landscaping, unifying arroyo stone architectural elements, and popular Arts and Crafts architectural styles.

Valley View Heights Tract

The Pasadena Short Line’s Berkshire Station, located south of the Oneonta Park Station, serviced those neighborhoods located along the southern edge of South Pasadena such as Valley View Heights. Positioned at the northeastern border of the City of Alhambra, the Valley View Heights tract was subdivided in 1906 by proprietors Warren Wilson and Albert Gibbs; the original 1906

⁶ Historic Resources Group, *City of South Pasadena*, 77.

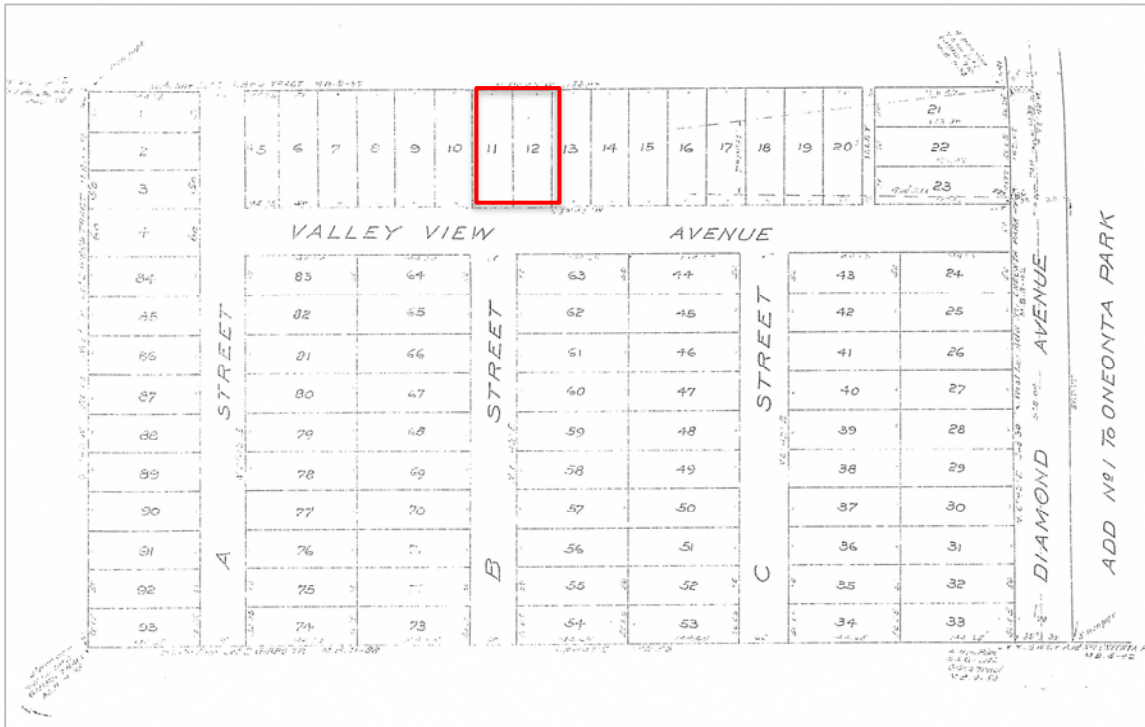
⁷ Historic Resources Group, *City of South Pasadena*, 92.

⁸ Fletcher H. Swan, “The Big Red Cars,” *South Pasadena Quarterly* (Winter 2008): 55.

⁹ Swan “The Big Red Cars,” 55.

¹⁰ Historic Resources Group, *City of South Pasadena*, 92.

¹¹ Historic Resources Group, *City of South Pasadena*, 103.



Valley View Heights Tract Map, 1906. The red box indicates where the subject property was located in the original subdivision (Los Angeles County Assessor). Adjustments to the street pattern evidently occurred after the original plan was issued (Valley View ends in the west at “B” Street (now Berkshire).

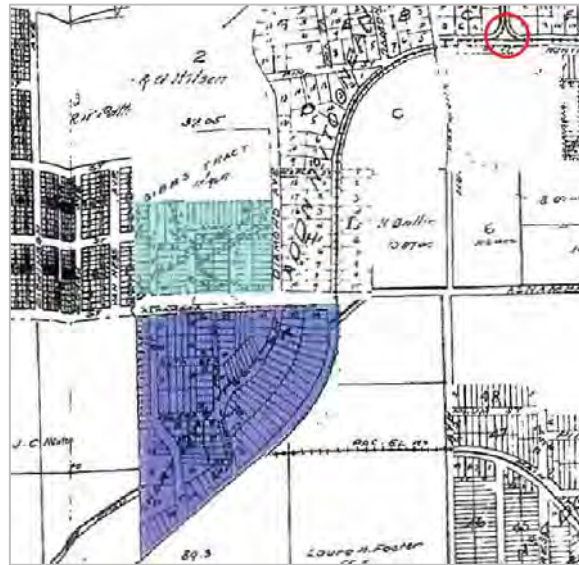
tract map indicates that the tract was originally Lot No. 2 of the Gibbs Tract. While the original tract layout and street names changed at some point between 1906 and 1930, the year the first Sanborn map for the area is available, the tract map conveys the general size and position of parcels at the time of subdivision.¹²

Beginning in 1906, realtor and developer Paul H. Blades placed advertisements in the *Los Angeles Times* boasting Valley View Heights’ proximity to the Pasadena Short Line and South Pasadena’s business center; Blades also advertised the Short Line Villa Tract which lay just south of Valley View Heights across Kendall Avenue in the El Sereno neighborhood of Los Angeles. Blades was actively involved in the development of other neighborhoods in the area, including a development

¹² In reference to the tract map, “A Street” represents present-day Alpha Ave., “B Street” represents present-day Berkshire Ave., “C Street” represents present-day Cambridge Ave., and Diamond Ave. represents present-day Meridian Ave.

of 20 cottages at Sierra Junction adjoining the Oneonta Park Tract, the Pasadena Heights Tract, and the Huntington Boulevard Tract, all of which also lay adjacent to the Pasadena Short Line.

Blades' advertisements assured prospects that "big profits" were "absolutely certain for early investors," and that both tracts, due to their adjacency to the Short Line, were in direct line of anticipated growth in both Los Angeles and South Pasadena.¹³ By 1907, lots in both the Short Line Villa and Valley View Heights tracts were listed beginning at \$400.¹⁴ By 1908 lot prices ranged between \$300 and \$1000, with "very fine high lots" starting at \$500.¹⁵ Blades' efforts in developing Valley View Heights and Short Line Villa appear to have been largely successful, as enough residents living in both tracts by 1908 were able to create the "La Cresta Improvement Association," which attended to matters including "the extension of gas mains, electric lights to all parts of the tract, setting out of shade trees and extension of street work."¹⁶ The neighborhood also underwent a series of street improvements in 1911, according to the *Los Angeles Times*.¹⁷



Short Line Villa Tract (highlighted in dark blue) and the Valley View Heights Tract (highlighted in light blue), 1906. The Oneonta Junction is circled in red (Original map: Huntington Library; annotations made by the El Sereno Historical Society and author).

A Sanborn Map of Valley View Heights shows that the area was substantially infilled by single- and multi-family residences by 1930. Only a handful of large parcels along Valley View Road and Berkshire Avenue, and several smaller parcels throughout the neighborhood appear vacant by this time. By the 1951 Sanborn Map update, all but the larger parcels had been developed.

As evidenced by the Sanborn Maps, dwellings in the neighborhood appear to be of modest size and positioned toward the front of their parcels, with generally uniform setbacks and large backyards, many with a small garage. Many of the residences featured characteristics of the

¹³ "Classified Ad 119," *Los Angeles Times*, September 16, 1906, V7.

¹⁴ "Display Ad 161," *Los Angeles Times*, June 16, 1907, V14.

¹⁵ "For Sale—Profit and Comfort," *Los Angeles Times*, June 11, 1908, 10.

¹⁶ "Organize for Improvements," *Los Angeles Times*, September 9, 1908, 20.

¹⁷ "Improving the Streets," *Los Angeles Times*, October 21, 1911, 14.

Craftsman architectural style. In spite of these standard consistencies, it appears that the residences were constructed by multiple architects or contractors for various owners. The neighborhood also does not appear to have architecturally unifying street features. A distinct arroyo stone retaining wall, subject of this report, spans the southern parcel boundaries of 804 to 812 Valley View Road, but such walls do not appear elsewhere in the adjacent sloped lots.



View south of Cambridge Ave. at Valley View Road (left) and View west of Valley View Road from Meridian Ave. (right), circa 1960s (South Pasadena Public Library via Flickr).

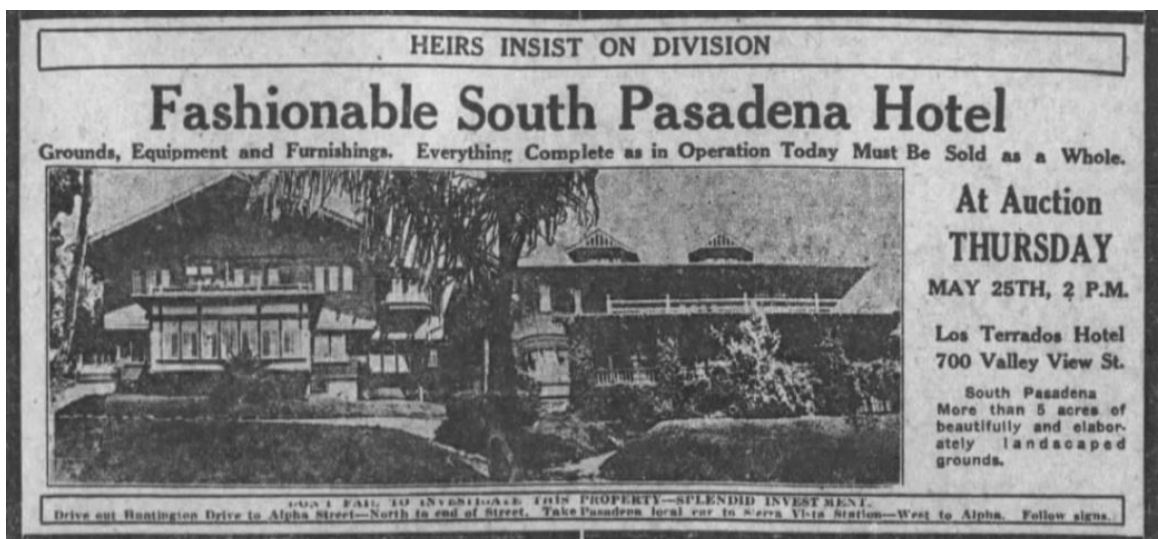
804 Valley View Road

The now-demolished residence at 804 Valley View Road was built in 1913 for N.M. Converse, an Assistant Trust Officer for the Los Angeles Trust & Savings Bank.¹⁸ The two-story, six-room dwelling was constructed by L.F.S. Syndicate, a contracting firm with experience in developing single- and multi-family residential projects. As evidenced by its footprint on Sanborn Maps, the residence appears to have been one of the largest in the neighborhood. Similarly, its steeply sloped site appears to be at least twice as large as those parcels to the east and south along Valley View Road. Little is known about the design of the house, though presumably the arroyo stone retaining wall spanning the front of the lot was constructed at about the same time. By 1945, the residence had been acquired by Hazel G. Johnson, who made interior alterations to the property between 1945 and 1946. By 1950, Mr. and Mrs. Franklin Thomas Kemp lived at the property.¹⁹ The property had again transferred ownership to Frank Leone by 1961, when Leone had a sidewalk and curb constructed on the site. According to historic aerial photographs, the property was demolished between 1972 and 1980 and has remained vacant.

¹⁸ "Display Ad 6," *Los Angeles Times*, May 3, 1915, 13.

¹⁹ "Boom-Cannon Vows Recited in Pasadena," *San Bernardino Sun*, July, 28, 1950, 22.

The subject property is located near the former site of the Los Terrados Hotel, a quaint, suburban style hostelry that was located at 700 Valley View Road.²⁰ Address information puts the former hotel at the northeast corner of Valley View Road and Alpha Street, approximately one block west of the subject property. When it opened, the Los Terrados was described as “a new and attractive suburban hotel, located among the hills of this city [South Pasadena].”²¹ It occupied a Craftsman style building that afforded commanding views of the San Gabriel Valley. The Los Terrados was sold in 1922, and attempts were made to convert the property into a sanitarium and then an orphans’ home, plans that were met with resistance from nearby property owners for threatening to “shatter company harmony.”²² Historic aerial photos show that the hotel had been demolished by 1937.²³ Newspaper articles, building permits, tract maps, and other source materials that were reviewed by ARG all indicate that the subject property at 804 Valley View Road was constructed as a private residence that was adjacent to – but independent of – the Los Terrados Hotel. The available evidence indicates that the subject property was not associated with the former hotel.



Newspaper spread advertising the auction of the Los Terrados Hotel, 700 Valley View Road, in 1922 (Historic Los Angeles Times).

²⁰ The address of the Los Terrados Hotel was gleaned from historic newspaper advertisements.

²¹ “New Suburban Hotel,” *Los Angeles Times*, Feb. 3, 1913.

²² “Judge Crump Overrules Demurrer,” *The Pasadena Post*, Aug. 2, 1923; “Home Permit Plans Recall Vote Flames,” *The Pasadena Post*, Sept. 28, 1928.

²³ A historic aerial photograph dated 1937, the earliest available aerial photo for the area, was accessed from the UC Santa Barbara Library, Special Research Collections.

Development Chronology

Following is a chronology of development of the property at 804 Valley View Road. Source materials include online building permits from the City of South Pasadena’s Planning and Building Department, Sanborn Fire Insurance Maps, historic *Los Angeles Times* articles, and historic aerial photographs.

1906	Lot No. 2 of the Gibbs Tract is subdivided by proprietors Warren Wilson and Albert Gibbs to create the Valley View Heights tract.
1913	<i>Southwest Builder and Contractor</i> reports a building permit for a two-story residence at 804 Valley View Ave.; the owner is listed as N.M. Converse and the contractor as L.F.S. Syndicate. This is confirmed by City of South Pasadena building permit #1189, filed December 8, 1913.
1930	The 1930 Sanborn Map (Pasadena 1930-1931, Volume 6, Sheet 675) shows the footprint of a residence at 804 Valley View Road, at the corner of Valley View Road and Berkshire Ave.; the property line extends slightly south along Berkshire Ave. Lots immediately adjacent to the property remain vacant, but the tract is largely built out.
1945	Alterations are made by owner Hazel G. Johnson to the bathroom, stairway and landing at 804 Valley View Road (City of South Pasadena building permit #13492, July 25, 1945).
1946	Alterations to the property’s plumbing system are made by Johnson (City of South Pasadena building permit #14089, January 9, 1946).
1951	The 1951 Sanborn Map (Pasadena 1930-Oct. 1951, Volume 6, Sheet 675) shows an unchanged building footprint at the subject property.
1961	A permit is filed for a 50 square foot sidewalk and 10 feet of lineal curb by owner Frank Leone (City of South Pasadena building permit #46705, May 16, 1961).
ca. 1970s	The residence at 804 Valley View Road is demolished during this period. (www.historicaerials.com). The property likely came to be owned by Caltrans as part of land acquisition for the proposed 710 Freeway during this time.
ca. 2000s	On the neighboring property to the east, a driveway is constructed at the corner of Valley View Road and Berkshire Ave. extending west from Berkshire Ave. (www.historicaerials.com) The driveway features an arroyo stone retaining wall similar to the existing wall along Valley View Road.
ca. 2010	Street trees are removed from the parkway strip along Valley View Road (Google Street View).

Historical Significance

In 2002, PCR Services Corporation (PCR) updated the City's Inventory of Addresses through a citywide, reconnaissance-level historical survey (Phase I Reconnaissance Level Survey). The survey identified potential historic districts and individual properties in South Pasadena and evaluated them for historical significance. Phase II of the project included intensive-level documentation of six potential historic districts. As part of this phase, PCR evaluated the Valley View Heights neighborhood as a potential historic district with a period of significance of 1906-1929. The Valley View Heights district was assigned a California Historical Resources status code of 5S1; at the time this status code was assigned, it indicated that the district was eligible for local listing or designation.²⁴ Contributors to the district, including 804 Valley View Road (though it was vacant at the time), were assigned status codes of 5D1, which indicated they were eligible as contributors to a locally significant historic district. While the status codes have since been redefined, the property retains this status code in the City's Inventory of Historic Resources.

In 2015-2016, Historic Resources Group (HRG) prepared an updated citywide survey and historic context statement for the City of South Pasadena. As part of this update, HRG re-evaluated the potential Valley View Heights Historic District and the property at 804 Valley View Road for historical significance. HRG found that Valley View Heights did not retain sufficient integrity for designation as a historic district at the federal, state, or local levels. Instead, HRG proposed Valley View Heights as a potential planning district and assigned it a status code of 6L; this status code confirms that the district is ineligible for local listing or designation, but indicates that it may warrant special consideration in local planning (which is the reason for this memorandum).²⁵

The arroyo stone retaining wall along the south property line of 804 Valley View Road had been previously called out as a notable feature of the neighborhood. Accordingly, HRG updated the status code of the subject property to 6L to ensure that the retaining wall is acknowledged and considered by the City of South Pasadena during project review. The significance of the wall was affirmed in a memorandum prepared by HRG in 2016.

In 2017, ARG was retained by the City to conduct focused research and analysis related to the retaining wall. As a result of that study, ARG concurred with the findings of a previous evaluation

²⁴ The California Office of Historic Preservation updated and redefined the historic resource status codes in 2003. As such, the 5S1 status code was updated to 5S3, defined as "Appears to be individually eligible for local listing or designation through survey evaluation." Other definitions for previous and current status codes can be found in the California State Office of Historic Preservation, Department of Parks & Recreation, "Technical Assistance Bulletin #8," August 2003, <http://ohp.parks.ca.gov/pages/1069/files/tab8.pdf>.

²⁵ HRG's findings are further summarized in a memorandum from HRG to the City of South Pasadena, dated October 18, 2016.

by HRG that concluded the arroyo stone retaining wall at 804 Valley View Road is a notable feature of the proposed Valley View Heights planning district and should be acknowledged and considered by the City during project review. ARG prepared a memorandum that summarized the history and significance of the retaining wall and also provided recommendations related to its future treatment. Consistent with earlier survey findings, ARG concluded that while the wall should be considered in local planning, it is not considered to be a historical resource for purposes of the California Environmental Quality Act (CEQA).

Discussion

ARG's research did not uncover evidence demonstrating that trees and landscape features associated with the subject property meaningfully contribute to the significance of the Valley View Heights Planning District.

In 2002, PCR prepared a Department of Recreation (DPR) 523 series form for the proposed Valley View Heights District in accordance with industry standards. The DPR form prepared for the district includes the following narrative description of the district and its notable characteristics:

Situated along the southwest boundary of the city, the Valley View Heights District is bounded by Kendall Avenue to the south, Meridian Avenue to the east, Alpha Avenue to the west, and Valley View Road to the north. The district is comprised of approximately 40 contributing single-family residential structures designed primarily in the Craftsman style. There are also scattered examples of the Colonial Revival and Spanish Colonial Revival styles in the neighborhood. These homes are either one- or two-stories in height and are of wood-frame construction built during the first quarter of the 20th century. Developed on the 'Valley View Heights Tract,' lots average 50 feet by 145 feet. All contributors share a common setback from the street and neighbors. Sidewalks separate the front lawns from the easements and streets. Garages are located at the rear of each lot, accessed via a side driveway from the street. Paved walkways lead from the sidewalks to the front porches of most homes. Of interesting note is the Arroyo stone retaining wall along the north side of Valley View Road at Berkshire Avenue.²⁶

The 2015-2016 survey update completed by HRG generally concurred with these findings, but concluded that the district did not retain enough contributing structures to meet eligibility criteria as a historic district and instead recommended that the area be reclassified as a potential planning district. HRG made the following remarks about the district in a memo dated October 2016:

²⁶ Department of Parks and Recreation (DPR) Primary Record form for the Valley View Heights District, prepared by PCR Services, Oct. 1, 2002.

Although planning districts do not retain sufficient historic integrity for designation, they represent geographically contiguous areas that are united historically or aesthetically by plan or physical development, and they have qualities that may warrant special consideration or approaches to development. Residences in Valley View Heights represent an early period of development, and in general retain consistency of massing, scale, and are relatively consistent in architectural style. It is therefore recommended that the physical features, history, and character of the area be considered during project review.²⁷

Both the 2002 and 2015-2016 survey evaluations of Valley View Heights indicate that the characteristics of the district that contribute to its sense of unity relate to the relatively consistent scale, massing, and architectural styling of its houses. Associated tract features including sidewalks and the arroyo stone retaining wall in front of 804 Valley View Road are also identified as contributing to the character of the district; however, there is no mention of notable trees or landscape features in either the 2002 or 2015-2016 survey evaluations, and therefore insufficient evidence exists in existing survey documentation to suggest that the landscape features associated with properties within the district contribute to its historical significance.

Through supplemental research, ARG did not uncover any evidence suggesting that developers of the Valley View Tract conceived of or implemented any sort of deliberate or cohesive landscape plan upon its subdivision in 1906 or during its subsequent development. There does not appear to have been a uniform street tree plan or other landscape scheme for the neighborhood; rather, the owners of individual lots appear to have planted trees, shrubs, and other landscaping independent of one another and in accordance with their own personal taste.

This is reflected in the existing condition of the landscape in Valley View Heights. Throughout the neighborhood, properties are planted trees that exhibit considerable variety with respect to species, age, size, and canopy. None of the streets appear to conform to a uniform planting plan.

For the above-listed reasons, trees and landscape features do not appear indicative of any special aspects of the neighborhood's history.

Taking this analysis into account, there is insufficient evidence to indicate that the trees at 804 Valley View Road bear a significant association with the history of the Valley View Heights neighborhood. While these trees are notable on account of their maturity, they do not appear to be associated with a deliberate landscape or planting plan that is associated with the origins or historical development of the neighborhood. They do not appear to be historically significant in a manner that would merit further historic preservation review under CEQA.

²⁷ Memorandum from Historic Resources Group to the City of South Pasadena re. 804 Valley View Road, Oct. 18, 2016.

Conclusions and Recommendations

Based on ARG's research and analysis, and consistent with the findings of previous historic resource surveys of the Valley View Heights neighborhood, ARG concludes that none of the existing trees at 804 Valley View Road contribute to the historical significance of the planning district. The trees do not appear to be historical resources for purposes of CEQA.

Prescriptive guidelines relating to the removal, replacement, and management of trees on individual properties in South Pasadena are conveyed in Chapter 34 (Trees and Shrubs) of the South Pasadena Municipal Code. ARG recommends that the proposed redevelopment project at the subject property consult this chapter of the Municipal Code and apply all applicable requirements enumerated therein.

ATTACHMENT 6
Updated Arborist Report

Protected Tree Report
for
Single Family Residence
804 Valley View Road
South Pasadena, CA 91030

Prepared for:
Kimberly Colis
DKY Architects
15375 Barranca Pkwy
Irvine, CA 92618

Prepared by:
Alison Lancaster, ISA #WE-12464A
Jan C. Scow Consulting Arborists, LLC
1744 Franklin Street Unit B
Santa Monica, CA 90404

September 21, 2020

Table of Contents

BACKGROUND (PURPOSE)	1
ASSIGNMENT (PURPOSE)	
OBSERVATIONS	2
Site description	
Project description	3
Tree description	
Tree safety	
IMPACTS (FINDINGS)	
Impact assumptions	
Tree removals	
Tree 1	4
Tree 2	
Tree PL3	
Tree 7	
Tree encroachments	
Soil compaction	
Grubbing	
Excavation	
Clearance pruning	5
Tree planting and irrigation around drought tolerant trees	
MITIGATION (RECOMMENDATIONS)	
Tree replacement requirement	
Specific tree protection measures	
Contractor responsibility	
Project Arborist	

48-hour notice_____	6
Protective fencing	
Grubbing	
Excavation	
Clearance pruning	
Tree planting and irrigation around..._____	7
General tree protection measures	
CONCLUSIONS_____	8

Attachments

Photos_____	10
Field Inventory Data sheet_____	15
Aerial Site Photo_____	16
Arborist Disclosure Statement_____	17
Arborist Qualification Certification_____	18

Enclosures

Tree Removal and Protection Plan (approx. 27x30")

Tree Replacement Plan (approx. 27x30")

Jan C. Scow Consulting Arborists, LLC

Disease and Pest Diagnosis, Hazard Evaluation, Restorative Pruning Advice, Value Assessment

1744 Franklin St. Unit B
Santa Monica, CA 90404
(818) 789-9127

9/21/20

Kimberly Colis
DKY Architects
15375 Barranca Pkwy
Irvine, CA 92618

SUBJECT: Tree Inventory and Arborist Report at 804 Valley View Road

REFERENCE:

- 1) City of South Pasadena Municipal Code Chapter 34: Trees and Shrubs
- 2) rev Proposal for Arborist Report and Tree Plans at 804 Valley View Road, dated 9/14/20, Scow

BACKGROUND

The applicant is proposing construction of a multi-story, single-family residences at a site located on Valley View Road in the City of South Pasadena. There are City designated trees¹ on the property, requiring an inventory of all trees and an arborist report to satisfy the City of South Pasadena Municipal Code (SPMC) for Trees and Shrubs.

We visited the site on September 17, 2020, and did a complete inventory of all trees on the property and all trees near the property that could be impacted by the proposed project. All information below is based on our site visit, upon discussion with the applicant, and upon the site plans that were provided.

ASSIGNMENT

We agreed to do the following work:

Tree Inventory

1. Inventory all trees and protected shrubs on or near the property that are at least 4 inches in trunk diameter.
2. Place a numbered tag on each "on property" tree (tag numbers will be assigned to relevant off-property trees but they will not be tagged).
3. Identify trees by tag number on a topographic survey map provided by client.
4. Create an inventory table with the following information:
 - Tree number
 - Species
 - Trunk diameter(s)
 - Estimated canopy spread
 - Estimated height

¹ City designated trees include heritage trees, mature trees, significant trees, protected shrubs, native species trees, *Quercus* species trees (per SPMC 34.1), and public right-of-way trees.

- Health
 - Structure
 - Status (heritage tree, mature tree, significant tree, protected shrub, native tree, oak tree, and public right-of-way tree)
 - Disposition
5. Photograph each tree.

Arborist Report- Create a report that satisfies the requirements of Reference 1 and includes the following minimum information:

- Proposed project narrative
- Analysis of impacts to protected trees and shrubs as a result of the proposed project
- Reasons for removal of any protected trees and shrubs that will be removed by the proposed project
- Mitigation recommendations for any protected trees or shrubs that will be retained on the site during the proposed project
- Replacement tree requirements based upon the protected trees and shrubs that will be removed by the proposed project
- Photographs of all protected trees and shrubs

Tree Removal and Protection Plan- Provide a Tree Removal and Protection Plan that satisfies the requirements of Reference 1 and includes the following minimum information:

- Tree locations on property and (if relevant²) on adjacent properties
- Tree tag numbers
- Tree canopy drip lines
- Tree Inventory Data Sheet
- Reason for removal of any trees removed by the proposed project
- Protective fencing recommendation

Tree Replacement Plan- If any protected trees or shrubs will be removed by the proposed project, provide a Tree Replacement Plan that satisfies the requirements of Reference 1 and includes the following minimum information:

- Locations of remaining protected trees and shrubs
- Remaining tree tag numbers
- Proposed locations of replacement trees and shrubs
- Size and species of proposed replacement trees and shrubs

OBSERVATIONS

Site description:

The site is an undeveloped hillside lot located on Valley View Road, west of Huntington Drive and south of Monterey Road, in the City of South Pasadena. It is bordered by Valley View Road to the south, a vacant lot to the west, and residences to the north and east. The site currently lacks driveway access. It has a low, stone wall along the southern property line and a block retaining wall along the eastern property line. The slope faces southeast with varying steepness ranging from 2:1 to 5:1. Vegetation on and near the site consists of native and non-native trees and shrubs, non-native ground covers, and non-native annuals.

² Trees on adjacent properties are deemed relevant only if the project is likely to impact them; otherwise they will not be addressed.

Project description:

The proposed project consists of construction of a multi-story, single-family residence. The site will be excavated for the house pad, driveway, additional rear structure, backyard, and planting areas. Site walls will be constructed throughout the site with maximum height of six feet; planter walls will have maximum height of four feet. A wooden perimeter fence will be constructed along a portion of the eastern property line. The stone wall along the southern property line will be repaired. One portion of the new house will feature a rooftop deck. The natural area at the northwest corner of the site will remain undisturbed except for replacement tree planting.

Tree description:

We inventoried all qualifying trees on the site and all trees near the site that could be impacted by the proposed construction. There are a total of eight trees on or near the site, including one coast live oak (*Quercus agrifolia*), one toyon (*Heteromeles arbutifolia*), five significant trees, and one mature tree. Four of the trees are located off-property, including the coast live oak, and one is located on the eastern property line. All required information about the trees is found on the attached Field Inventory Data sheet, and all tree locations are found on the enclosed Tree Removal and Protection Plan.

“Surrounding properties have been evaluated for protected trees that may be affected by the proposed construction.”

Tree safety:

We have not evaluated trees on this property for safety. Without a thorough and focused “risk assessment,” it is difficult to estimate the likelihood that a tree may fail and cause damage to life or property. Even with such an assessment, there are no guarantees that a tree will not fail unexpectedly. Trees are dynamic living organisms subject to many influencing factors. All trees are potentially hazardous, regardless of their apparent health and vigor. It is impossible to be certain that a tree is absolutely safe.

IMPACTS**Impact assumptions:**

The impact analysis below is based on several assumptions, as stated below. Should these assumptions prove to be incorrect, additional impacts could result from the project.

1. All protective mitigation measures will be followed carefully as described.
2. Our understanding of the proposed project is accurate.
3. The proposed project design will not change significantly.
4. We have correctly identified where the property lines are.
5. All trees are mapped correctly.
6. There will be no activity (excavation, construction, equipment/debris movement or storage, etc.) besides replacement tree planting and irrigation installation in the northwest corner of the site.

Tree removals:

The proposed project will cause the removal of four City designated trees (Trees 1, 2, PL3, and 7) for the following reasons:

Note: Before removing or impacting any tree that is near a property line it is the owner’s responsibility to discuss this with the adjacent property owners and we

advise that they be notified in writing before doing anything that may affect jointly-owned or off-property trees.

Please note the following important considerations:

- You should never authorize or do any work on any tree unless you are certain of that tree's ownership, and you have confirmed that you solely own the tree, or that anyone else having a claim to the tree has given you permission in writing authorizing your proposed action.
- Before removing a tree, be sure it is your tree to remove.
- Trees on property lines belong to both properties.
- Working on trees hanging into or over your yard that belong to a neighbor may result in "unreasonable damage" to their tree and could expose you to litigation.

Tree 1- This significant Canary Island date palm (*Phoenix canariensis*) is proposed for removal to accommodate grading for the proposed driveway.

Tree 2- This mature, native toyon is located in the proposed building footprint of the house.

Tree PL3- This significant Chinese elm (*Ulmus parvifolia*) is located too close to excavation for the proposed building footprint. We are recommending removal of this tree because root cutting as a result of excavation could destabilize the tree.

Tree 7- This mature Peruvian pepper tree (*Schinus molle*) is proposed for removal to accommodate grading for the proposed backyard.

Tree encroachments:

We anticipate cumulative impacts as a result of the proposed project as follows: major impact to Tree OP4, moderate impact to Tree OP5, minor impact to Tree OP8, and no impact to Tree OP6. However, these impacts should be reduced or eliminated if our specific mitigation measures are followed carefully. The following is an analysis of impacts to trees that will remain on the site during construction.

Soil compaction- Soil compaction reduces pore space, prevents water infiltration, and limits gas exchange in the soil, thereby decreasing or blocking uptake of water and nutrients by tree roots. Soil compaction can be caused by foot traffic during all phases of construction, equipment movement/storage, debris storage, etc. No soil compaction is expected for Trees OP5 or OP6. Soil compaction impacts for Trees OP4 and OP8 will be reduced or eliminated if our specific tree protection measures are adhered to.

Grubbing- Grubbing activities can impact root zones, trunks, and canopies of trees and shrubs. Grubbing may be desired or necessary near Trees OP4 and OP8. Impacts will be reduced or eliminated if our specific tree protection measures are adhered to.

Excavation- An additional rear structure requiring excavation is proposed within eight feet of Tree OP4. Depending on the presence and size of roots at the proposed limit of excavation, there could be major impact to Tree OP4. We have included specific tree protection measures that will help determine an accurate level of impact to this tree.

Clearance pruning- Trees OP4 and OP5 each have limbs running close to or along the ground that will need to be removed to accommodate the proposed project. Additional clearance pruning of Tree OP4's main canopy may be necessary. This is an immitigable impact for both trees that could have moderate impact on Tree OP5 and minor impact on Tree OP4. We have included specific tree protection measures for clearance pruning to ensure there are no additional pruning impacts to these trees beyond what is necessary to accommodate construction.

Tree planting and irrigation around drought tolerant trees- Installation and maintenance of replacement trees and irrigation could impact the root zones of Trees OP4 and OP8. Impacts will be greatly reduced or eliminated if our specific tree protection measures are adhered to.

MITIGATION

Tree replacement requirement:

The applicant is proposing the removal of four City designated trees as a result of the proposed project (see table below). Per SPMC 34.12-5(b), the City requires replacement tree plantings for the removal of significant trees, native trees, oak trees, and heritage trees as follows: one 24-inch box for each six inches of diameter of a significant tree, and two 24-inch boxes for each six inches of diameter of a mature native tree, mature oak tree, or heritage tree. We have calculated the tree replacement requirement for the proposed project in the table below. The applicant has provided a Tree Replacement Plan (enclosed) that we have certified as meeting the requirements of SPMC. Final determination of the number, size, species, and location of the mitigation trees is at the discretion of the Director of the Board of Public Works.

Mitigation trees shall be provided with a drip irrigation system to each tree, a basin for water around each tree, and mulch to 4" deep around each tree.

Tree #	City Designation	Diameter at 4.5' (unless noted otherwise)	Replacement Trees Required
1	Significant	~18	3
2	Native	6,5	4
PL3	Significant	~12,9	4
7	Mature	10	0
Total Replacement Trees Required:			11

Specific tree protection measures:

Contractor responsibility- The project applicant will ensure that all contractors have read and are familiar with the requirements laid out in these tree protection measures. A copy of this document and the Tree Plan shall be kept on site at all times. It is the contractors' responsibility to become familiar with all tree protection measures described below and to adhere to them as they apply to their portion of the work.

Project Arborist- There are certain situations where the ***Project Arborist is required to be on-site***. It is the applicant's responsibility to notify the Project Arborist when those milestones requiring arborist presence are reached.

48-hour notice- The Project Arborist will be notified at least 48 hours before:

- the property is to be cleared or graded;
- any digging, excavating, trenching, or building within the canopy dripline of a protected tree commences;
- any pruning of a protected tree's canopy or roots takes place;
- commencement of any other activity within the canopy dripline of a protected tree.

Protective fencing- Protective fencing shall be installed around Trees OP4, OP6, and OP8 as shown on the enclosed Tree Removal and Protection Plan, after brush clearance takes place and before any other construction activity on the site begins. ***The Project Arborist shall inspect all protective fencing upon installation.***

If it is done properly, protective fencing around trees in construction zones is the best possible means of minimizing impacts related to construction. Fencing will be chain-link, at least 5 feet high, and held in place by steel stakes driven directly into the ground. Gates will be installed as required for operational access, but shall not be utilized for construction activities. All protective fencing shall remain intact until construction is completed.

No workers shall enter the fenced protection zones. No debris or equipment storage, waste disposal, equipment cleanout, outhouse, or vehicle parking will be allowed within the fenced areas. The purpose is to keep the tree's root zone area free from any disturbance of any sort throughout the period of construction activity.

Protective fencing shall only be removed once all other construction activities are complete and installation of replacement trees and irrigation is ready to begin.

Grubbing- There shall be no grubbing around Tree OP8 except as required by the Fire Department. Grubbing around Tree OP4 shall be limited initially to what is required for construction and the Fire Department; additional grubbing may take place after construction when tree planting is ready to begin. Grubbing within the canopy dripline of any protected tree ***shall be completed by hand only.***

Excavation- An exploratory trench shall be dug along the proposed limit of excavation within 10 feet of the trunk of Tree OP4. ***Trenching depth shall be determined in coordination with the Project Arborist***, width shall be as wide as necessary to accommodate digging. Trenching shall be completed using hand tools or a pneumatic excavation device (such as AirSpade). No roots two inches or larger in diameter shall be cut during digging for the exploratory trench. ***The Project Arborist shall inspect the exploratory trench when complete, determine level of impact to Tree OP4, and provide additional direction as needed.***

Clearance pruning- The Project Arborist must be consulted prior to any pruning of Trees OP4 and OP5. All pruning will be carried out by an ISA Certified Arborist, or under the oversight of the Project Arborist. All pruning shall conform to ANSI A-300 standards at a minimum. The horizontal limbs of Trees OP4 and OP5 shall be cut according to ANSI A-300 standards if possible. Pruning shall be completed in winter (December to February) if possible.

Tree planting and irrigation around drought tolerant trees- When planting replacement trees and irrigation around existing drought tolerant trees (Trees OP4 and OP8), the following guidelines should be followed:

- No planting of any type, irrigation, or irrigation overspray shall occur within ten feet of the trunk of a drought tolerant tree;
- Only drought tolerant or native plants shall be planted within twenty feet of a drought tolerant tree;
- No lawn or groundcover requiring frequent irrigation shall be planted within the dripline of a drought tolerant tree;
- Three to four inches of organic mulch (freshly shredded tree trimmings) should be maintained within twenty feet of a drought tolerant tree;
- Underground irrigation lines should be kept out of the dripline to the extent possible, and should be installed (when they are necessary within the dripline) without doing any root damage to the tree. ***Irrigation trenching shall be done using hand tools only.***

General tree protection measures:

The following additional measures should be applied where they are relevant. If there is a conflict between the Specific tree protection measures for this project (see above) and any of these general tree protection measures, the Specific tree protection measures supersede.

1. All work conducted in the ground within the root protection zone of any protected tree should be accomplished with hand tools only. The root protection zone is defined as the area within a circle with a radius equal to the greatest distance from the trunk to any overhanging foliage in the canopy.
2. Where structural footings are required and major roots will be impacted, the footing depth should be reduced to 12". This may require additional "rebar" for added strength. An alternative would involve bridging footings over roots and covering each root with plastic cloth and 2-4" of Styrofoam matting before pouring concrete.
3. Any required trenching which has multiple trench path options should be routed in such a manner to minimize root damage. Radial trenching is less harmful than tangential trenching because it runs parallel to tree roots rather than diagonal or perpendicular to them. Whenever possible trenching should work around roots rather than cutting them. Place pipes and cables below uncut roots, and utilize the same trench for as many utilities as possible.
4. "Natural" or pre-construction grade should be maintained for as great a distance from the trunk of each tree as construction permits. At no time during or after construction should soil be in contact with the trunk of the tree above natural grade.
5. In areas where grade will be lowered, or where footings will be dug, some root cutting may be unavoidable. Cuts should be made cleanly with a sharp saw or pruning tool, far enough behind the damage that all split and cracked root portions are removed. The cut should be made at right angles to the root so that the wound is no larger than necessary. When practical, cut roots back to a branching lateral root. Do not apply any pruning wound treatment to cuts.

6. When removing pavement, as little disruption of soil as necessary should be attempted.
7. Pruning of oaks should be limited to the removal of dead wood and the correction of potentially hazardous conditions, as evaluated by a qualified arborist. Pruning oaks excessively is harmful to them. Removal or reduction of major structural limbs should be done only as required for actual building clearance or safety. If limbs must be removed, cuts should be made perpendicular to the branch, to limit the size of the cut face. The branch bark collar should be preserved (i.e. no “flush cuts”), and cuts should be made in such a way as to prevent the tearing of bark from the tree. All pruning should be done in accordance with ANSI A300 pruning standards. No pruning wound treatment (e.g. “Tree Seal”) should be applied.
8. To minimize soil compaction, keep all activity and traffic to a minimum within the root protection zone.
9. It is important that the root protection zone not be subjected to flooding incidental to the construction work, or to disposal of construction debris such as paints, plasters, or chemical solutions. No equipment fueling or chemical mixing should be done within the root protection zone.
10. In general, it is best to minimize the amount of environmental change which trees will be subjected to. This includes drastic changes in watering practices from historic conditions, including drastic increases as well as decreases in the amount or frequency of water applied.
11. Care should be exercised not to allow equipment to physically damage the tree’s trunk, root crown, or lower scaffold branches during construction. This includes but is not limited to 1) impact damage by scrapers, buckets, or hoes; or 2) damage by tires, wheels, or tracks from operating in close proximity to trees.

CONCLUSIONS

There are eight City designated trees on or near this property. This project causes the removal of four of these trees, requiring the planting of 11 mitigation trees, and will impact up to three additional trees. If our tree protection measures are followed, we expect impacts from this project will be reduced or eliminated.

804 Valley View Road

9/21/20

Please let us know if we can be of any further assistance or if you have any additional questions. Our goal is to satisfy our clients and help them to better care for their trees in the most effective way possible. We look forward to working with you toward that goal!

Sincerely,



Alison Lancaster
Associate Arborist
Jan C. Scow Consulting Arborists, LLC.
ISA Certified Arborist #WE-12464A

Attached: Photos (9)
 Field Inventory Data sheet
 Site Location Map
 Arborist Disclosure Statement
 Arborist Qualification Certificate

Enclosed: Tree Removal and Protection Plan (approx. 27x30")
 Tree Replacement Plan (approx. 27x30")

Tree 1



Tree 2 – underneath, at red arrows



Tree PL3



Tree OP4



Tree OP4 – horizontal limb, at red arrow



Tree OP5 – laying across ground, at red arrows



Tree OP6



Tree 7



Tree OP8



Date: 9/17/20

FIELD INVENTORY DATA

Property: 804 Valley View Road

Tree #	Species	Common Name	DSH (inches)*	Height**	Spread***	Health	Structure	Age****	City Designation	Effect of Project
1	<i>Phoenix canariensis</i>	Canary island date palm	~18	28 BTF	11r	Fair	Good	52	Significant	Remove - Grading
2	<i>Heteromeles arbutifolia</i>	toyon	6.5	8	8SW	Fair	Fair	15	Native	Remove - Building Footprint
PL3 (no tag)	<i>Ulmus parvifolia</i>	Chinese elm	~12.9	35	5/15/20/15	Fair	Fair	40	Significant	Remove - Grading
OP4	<i>Schinus molle</i>	Peruvian pepper tree	~26	35	20r	Poor	Fair	50	Significant	Encroach - Grading, Pruning
OP5	<i>Pinus halepensis</i>	Aleppo pine	~18	20	35E	Fair	Poor	30	Significant	Encroach - Pruning
OP6	<i>Phoenix canariensis</i>	Canary island date palm	~26	15 BTF	11r	Fair	Fair	32	Significant	Save
7	<i>Schinus molle</i>	Peruvian pepper tree	10	22	8/7/10/20	Poor	Fair	20	Mature	Remove - Grading
OP8 (no tag)	<i>Quercus agrifolia</i>	coast live oak	~24	28	18r	Fair	Good	35	Quercus sp.	Save

* Diameter measured at the standard height of 4.5-feet above grade, unless otherwise specified.

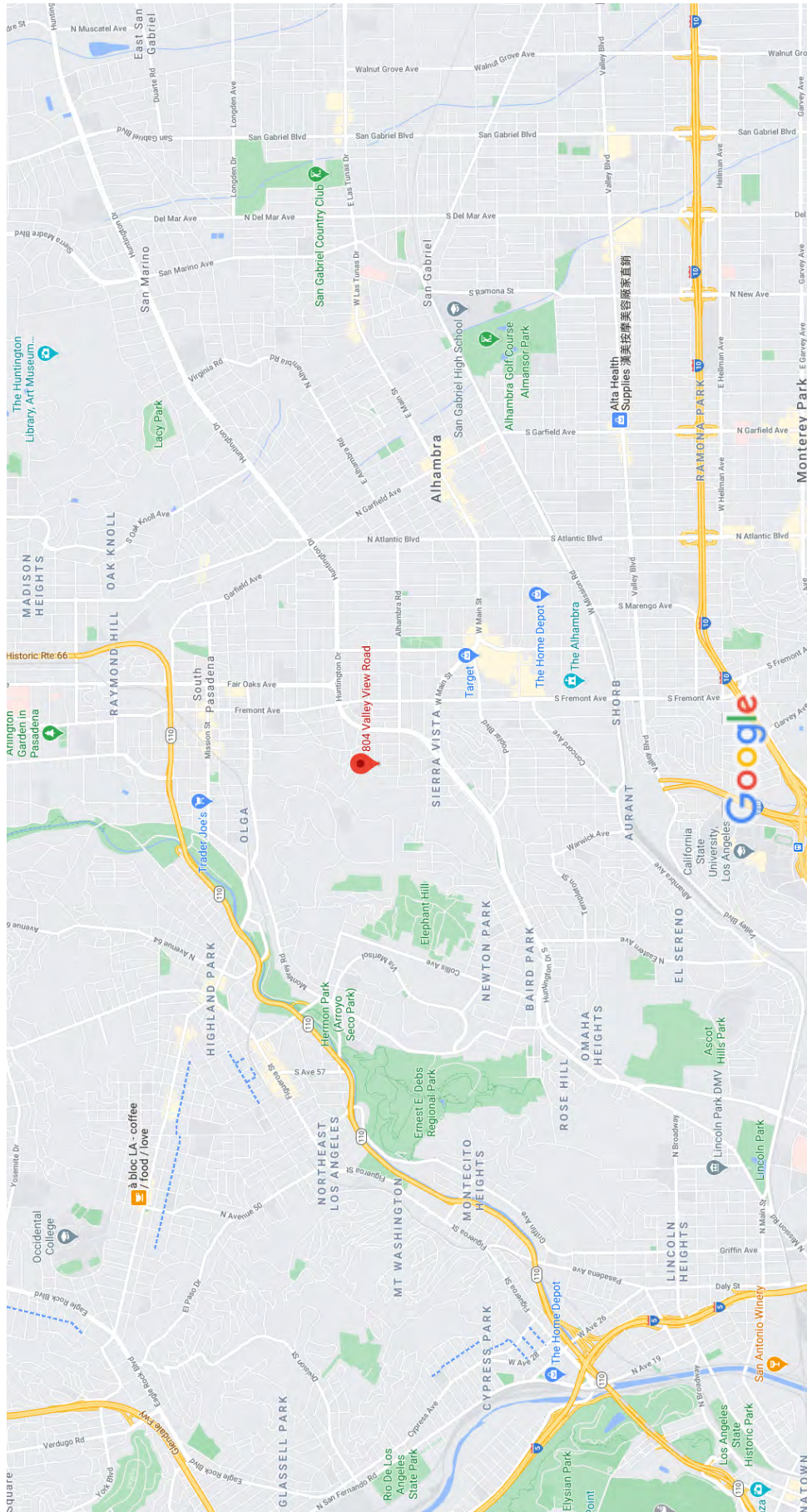
** Estimated in feet. BTF indicates brown trunk height only.

*** Canopy spread is the distance to the North/East/South/West. "r" indicates canopy as a radius estimated in feet.

**** Estimation of tree age in years. We have included this information at the request of the applicant, but it must be noted that tree age estimates are unreliable and should not be used alone in determinations of heritage or historical value.

City Designation: *Heritage, mature (≥4" DSH), significant (≥12" DSH), protected shrub (at least one trunk ≥4" DSH), native, Quercus sp., and public right-of-way (ROW) trees*

Google Maps 804 Valley View Rd



Map data ©2020 Google 2000 ft

Jan C. Scow Consulting Arborists, LLC

Disease and Pest Diagnosis, Hazard Evaluation, Restorative Pruning Advice, Value Assessment

1744 Franklin Street Unit B
Santa Monica, CA 90404
(818) 789-9127

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Please note the following important considerations:

- You should never authorize or do any work on any tree unless you are certain of that tree's ownership, and you have confirmed that you solely own the tree, or that anyone else having a claim to the tree has given you permission in writing authorizing your proposed action.
- Before removing a tree, be sure it is your tree to remove.
- Trees on property lines belong to both properties.
- Working on trees hanging into or over your yard that belong to a neighbor may result in "unreasonable damage" to their tree and could expose you to litigation.

INTERNATIONAL SOCIETY OF ARBORICULTURE
CERTIFIED ARBORIST™

Alison Lancaster

Having successfully completed the requirements set by the International Society of Arboriculture, the above named is hereby recognized as an ISA Certified Arborist®



Luana Vargas

Luana Vargas
Director of Credentialing Services
International Society of Arboriculture

Caitlyn Pollihan

Caitlyn Pollihan
Executive Director
International Society of Arboriculture



#0847
ISO/IEC 17024
Personnel Certification Program
ISA Certified Arborist®

WE-12464A
Certification Number

25 Jan 2019
Certified Since

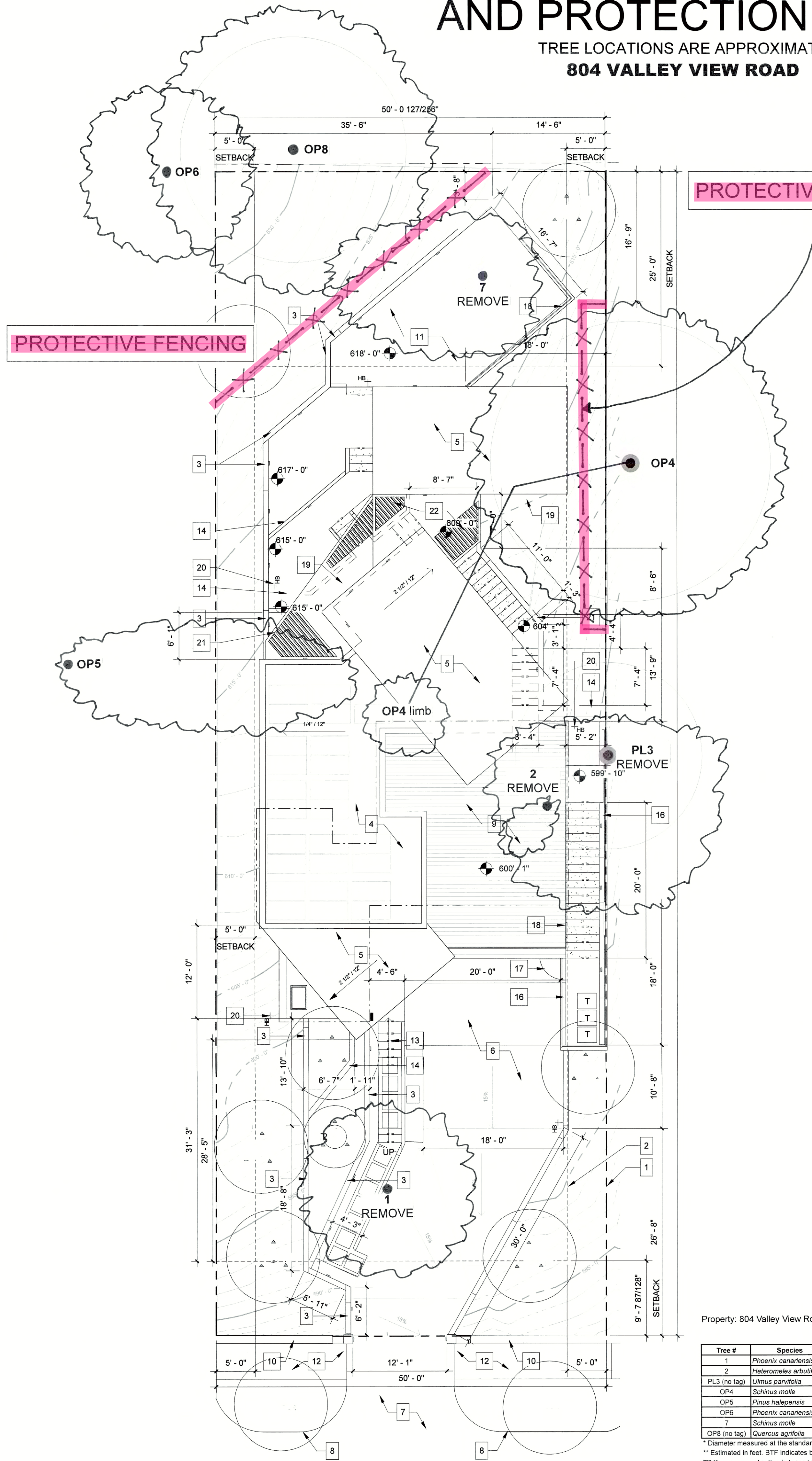
30 Jun 2022
Expiration Date

ATTACHMENT 7
Revised Tree Protection Plan



TREE REMOVAL AND PROTECTION PLAN

TREE LOCATIONS ARE APPROXIMATE
804 VALLEY VIEW ROAD



KEYNOTES

- 1 PROPERTY LINE
- 2 SETBACK LINE
- 3 SITE RETAINING WALL, BOARD-FORMED FINISH, MAX. HEIGHT 6'-0"
- 4 SINGLE-PLY PVC ROOF MEMBRANE, CARLISLE SYNTEC SYSTEM OR EQ. ICC-ESR# 1463, CRRC # 0628 - 0014a
- 5 SLOPED ROOF, CONCRETE ROOF TILE, EAGLE ROOFING- BEL AIR PROFILE, LIGHT GRAY RANGE.
- 6 CONC. PATTERNED DRIVEWAY
- 7 (N) CONCRETE DRIVEWAY APRON
- 8 (E) CURB
- 9 EXTERIOR DECK, 2X PRESSURE TREATED PINE DECKING ON 2X RIPPED SLEEPERS O/ WATERPROOF DECK COATING - WESTCOAT MACOAT ICC-ESR 2201 OR DEX-O-TEX DEX FLEX ICC-ESR-1757. REFER TO DTL 2-A7.0
- 10 (E) STONE WALL TO BE REPAIRED PER APPROVED SITE WALL ANALYSIS
- 11 BACKYARD
- 12 (E) SIDEWALK
- 13 CONC. STAIR, SEE DTL. 3/A-7.0
- 14 PLANTER WALL, BOARD-FORMED FINISH, MAX. 3'
- 15 SITE WALL, BOARD-FORMED FINISH, MAX. 6'
- 16 PRIVACY FENCE, MAX. HEIGHT 4'
- 17 PRIVACY FENCE GATE
- 18 42" CABLE RAIL GUARDRAIL
- 19 SLOPED STANDING SEAM MTL ROOF
- 20 HOSE BIB
- 21 CONCRETE PAVING, SAND FINISH
- 22 ALUMNA WOOD/ COMPOSITE (SYNTHETIC) WOOD TRELLIS BEAMS

15375 Barranca Pkwy. Ste. A-210
Irvine, CA 92618
T: 949.788.9223
F: 949.788.0716



ISSUES/REVISIONS

NO.	DATE	DESCRIPTION
	1/21/20	Planning Submittal
1	5/15/20	Planning Re-submittal

TREE REMOVAL AND PROTECTION PLAN
804 VALLEY VIEW ROAD

Valley View Rd.
Residence

Property
Development

804 Valley View Rd.
Pasadena, CA

SITE PLAN

DRAWN BY: NKC DATE: 7/8/18

CHECKED BY: D.S.

PROJECT NUMBER: 0916
SCALE: As indicated

LANDSCAPE LIGHTING LEGEND

SYMBOL	TYPE	HEIGHT	MATERIAL FINISH	DESCRIPTION
	LANDSCAPE SPOT LIGHT	5.25"	BLACK, POWDER-COATED ALUMINUM	#305445332 HAMPTON BAY, LED
	WALL DECK LIGHT	12"	BLACK, POWDER-COATED ALUMINUM	#JAO2601L HAMPTON BAY, LED 10.625" X 3.375" X 0.625"
	STEP LIGHT	5"	BLACK, POWDER-COATED ALUMINUM	#JAO2601L HAMPTON BAY, LED 10.625" X 3.375" X 0.625"

PROPOSED HARDSCAPE AND LANDSCAPE CALCULATION

% OF LOT TO BE NATURAL SLOPE / VEGETATION	57%
BUILDING FOOTPRINT / HARDSCAPE (ENTRY/ DRIVEWAY) (BACKYARD)	1,935 SF
	142 SF
	1,183 SF
	3,260 SF (43 %)
LANDSCAPE / PLANTING NATURAL SLOPE	1,456 SF
	2,784 SF

Property: 804 Valley View Road

FIELD INVENTORY DATA

Date: 9/17/20

Tree #	Species	Common Name	DSH (inches)*	Height**	Spread***	Health	Structure	Age****	City Designation	Effect of Project
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OP4	<i>Schinus molle</i>	Peruvian pepper tree	-26	35	20r	Poor	Fair	50	Significant	Encroach - Grading, Pruning
OP5	<i>Pinus halepensis</i>	Aleppo pine	-18	20	35E	Fair	Poor	30	Significant	Encroach - Pruning
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* Diameter measured at the standard height of 4.5-feet above grade, unless otherwise specified.
 ** Estimated in feet. BTF indicates brown trunk height only.
 *** Canopy spread is the distance to the North/East/South/West. "r" indicates canopy as a radius estimated in feet.
 **** Estimation of tree age in years. We have included this information at the request of the applicant, but it must be noted that tree age estimates are unreliable and should not be used alone in determinations of heritage or historical value.
 City Designation: Heritage, mature (≥4" DSH), significant (≥12" DSH), protected shrub (at least one trunk ≥4" DSH), native, Quercus sp., and public right-of-way (ROW) trees

Shirley J. J. J.
 #WE-12464A 9/21/20
 Jan C. Scow Consulting Arborists, LLC
 1744-B Franklin Street
 Santa Monica, CA 90404

1 SITE PLAN

1/8" = 1'-0"

A-1.0

TREE REPLACEMENT PLAN

TREE LOCATIONS ARE APPROXIMATE
804 VALLEY VIEW ROAD

KEYNOTES

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SEAL

ISSUES/REVISIONS

NO.	DATE	DESCRIPTION
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TREE REPLACEMENT PLAN
804 VALLEY VIEW ROAD

Valley View Rd.
Residence

Property
Development

804 Valley View Rd.
Pasadena, CA

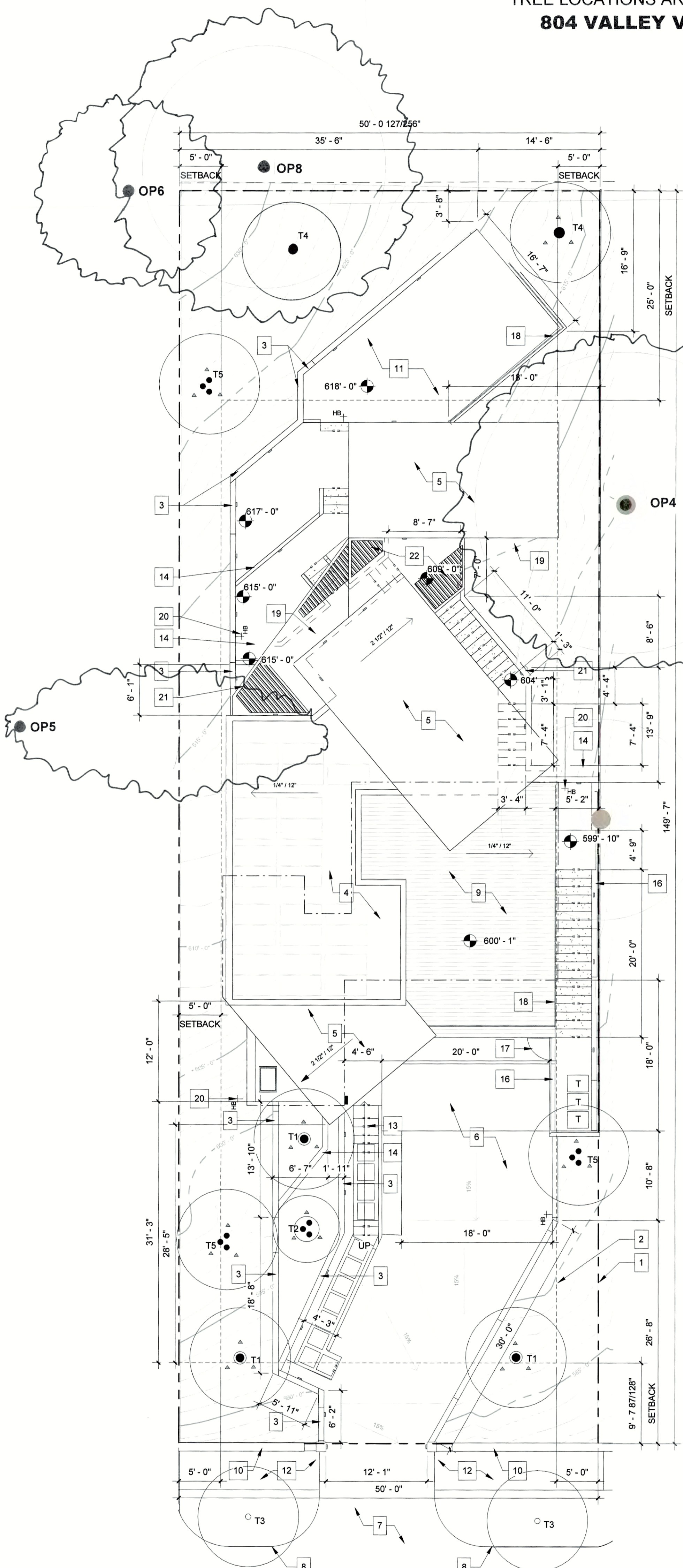
SITE PLAN

DRAWN BY: DATE:
NKC 7/8/18

CHECKED BY: D.S.

PROJECT NUMBER: 0916
SCALE: As indicated

A-1.0



VALLEY VIEW RD.



1 SITE PLAN
1/8" = 1'-0"

Property: 804 Valley View Road

FIELD INVENTORY DATA

Date: 9/17/20

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OP4	<i>Schinus molle</i>	Peruvian pepper tree	-26	35	20r	Poor	Fair	50	Significant	Encroach - Grading, Pruning
OP5	<i>Pinus halepensis</i>	Aleppo pine	-18	20	35E	Fair	Poor	30	Significant	Encroach - Pruning
OP6	<i>Phoenix canariensis</i>	Canary Island date palm	-26	15 BTF	11r	Fair	Fair	32	Significant	Save
7	<i>Schinus molle</i>	Peruvian pepper tree	10	22	8/7/10/20	Poor	Fair	20	Mature	Remove - Grading
OP8 (no tag)	<i>Quercus agrifolia</i>	coast live oak	-24	28	18r	Fair	Good	35	Quercus sp.	Save

** Diameter measured at the standard height of 4.5-feet above grade, unless otherwise specified.

*** Estimated in feet. BTF indicates brown trunk height only.

**** Canopy spread is the distance to the North/East/South/West. "r" indicates canopy as a radius estimated in feet.

***** Estimation of tree age in years. We have included this information at the request of the applicant, but it must be noted that tree age estimates are unreliable and should not be used alone in determinations of heritage or historical value.

City Designation: Heritage, mature (>4" DSH), significant (>12" DSH), protected shrub (at least one trunk >4" DSH), native, Quercus sp., and public right-of-way (ROW) trees

Jan C. Scow Consulting Arborists, LLC
1744-B Franklin Street
Santa Monica, CA 90404
#WE-12464A 9/22/20

PLANTING LEGEND

TREE #	SYMBOL	QNTY	SIZE SPACING	BOTANICAL NAME/COMMON NAME
T1		3	24" BOX	CERCIDIUM 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE
T2		1	24" BOX	DRACAENA MARGINATA DRAGON TREE
T3		2	24" BOX	LAUREL NOBILIS SWEET BABY
T4		2	24" BOX	CERCIS OCCIDENTALIS WESTERN REDBUD
T5		3	24" BOX	HETEROMELES ARBUTIFOLIA TOYON



Planning Commission Agenda Report

ITEM NO. 2

DATE: October 13, 2020

TO: Chair and Members of the Planning Commission

FROM: Joanna Hankamer, Director of Planning and Community Development
Kanika Kith, Planning Manager

PREPARED BY: Malinda Lim, Associate Planner

SUBJECT: **Project No. 2205-NID/DRX/HDP/VAR** – Notice of Intent to Demolish, Design Review, Hillside Development Permit, and Variance for modification and addition to a single-family residence at 1312 Meridian Avenue (APN: 5319-029-017)

Recommendation

It is recommended that the Planning Commission adopt a Resolution approving Project No. 2205-NID/DRX/HDP/VAR (Notice of Intent to Demolish, Hillside Development Permit, Design Review, and Variances) for the property located at 1312 Meridian Avenue, subject to conditions of approval.

Background

The existing one-story, single-family home, approximately 1,049 square feet, was built in 1926 on an approximately 5,249 square foot lot.

On January 29, 2019, the applicant submitted applications for a Notice to Demolish, Hillside Development Permit, Design Review, and Variances for modification and addition to the existing residence.

On January 31, 2019, the Public Works Department approved a tree removal permit for the removal of three trees on the project site.

Part of the project involves demolition of all unpermitted construction, portions of the single-family home, and the existing 174 square-foot detached garage structure. In accordance with the City's Preservation Ordinance, 2.65(e)(3), a Historic Resources Evaluation (HRE) report was prepared to determine the property's historical significance because the home is greater than 45 years old but not on the City's list of historical resources. On May 16, 2019, the Cultural Heritage Commission (CHC) considered the HRE report and voted 5 to 0 determining that the property does not meet the national, state, or local criteria for historic designation. Therefore, the project may proceed through the city's application process without any further restrictions under the Cultural Heritage Ordinance. The staff report for this meeting is included as **Attachment 2**.

Discussion/Analysis

The proposed project consists of the following applications:

- **Notice of Intent to Demolish** all unpermitted construction, portions of the home, and a 174 square-foot detach garage. As mentioned above, the CHC determined that the property does not meet the national, state, or local criteria for historic designation and the project may proceed through the city's application process without any further restrictions under the Cultural Heritage Ordinance; and
- **Hillside Development Permit** to allow construction on a site with an average slope of 20% or greater. The property has an average slope of 25.6%; and
- **Design Review** to allow for an approximately 788 square-foot, two-story addition and an approximately 479 square-foot garage to the existing 1,049 square-foot single-family house on an approximately 5,249 square foot lot. The attic space is being converted into a second story; and
- **Variances** to the allow uncovered stairs to exceed three feet in height and ten feet in length within the front and side yard setbacks, reduction in the percentage of the site to be remediated to its natural slope and vegetation, and for downhill building walls to exceed 15 feet in height.

Further discussion regarding each application is provided in the sections below.

The project site is located on the east side of Meridian Avenue and north of South Pasadena High School and is approximately 5,249 square feet in size. The lot has a slope that ascends uphill from Meridian Avenue with an average slope of 25.6%. A map showing an aerial view of the project site outlined in red is provided in **Figure 1** and in **Figure 2**, it shows the existing house from the street.

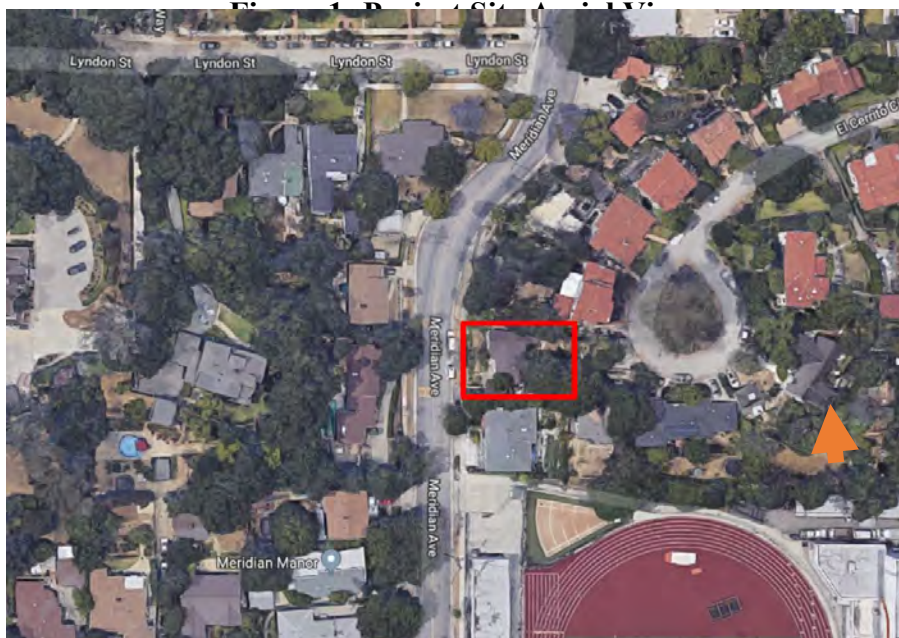


Figure 2: Street View



PROJECT ANALYSIS

General Plan Consistency

The General Plan land use designation of the site is Low Density Residential which allows detached single-family units at a density of 3.5 to 6 units per acre. In order to encourage maintenance of existing structures and to prevent encroachment of higher density development, this designation has been applied to the majority of existing single-family neighborhoods. The proposed project involves the addition to a dwelling unit; therefore, it is consistent with the General Plan.

To approve the project, the Planning Commission must find that the proposed project is consistent with City's Residential Design Guidelines and must make the findings for approval for the Hillside Development Permit. These guidelines and findings require projects to be compatible within the hillside/neighborhood context and surrounding architectural characteristics so as not to adversely impact the character of the City.

The proposed project would be consistent with the goal and applicable policies identified below:

- Quality New Developments Goal 8: To harmonize physical change to preserve South Pasadena's historic character, scale, and "small town atmosphere "
- Policy 8.1 (Require contextual, compatible and responsible design); and
- Neighborhood Protection Goal 10: To preserve the scale, architectural character, infrastructure and landscape assets of South Pasadena's established residential neighborhoods)

- Policy 8.1 (Prevent mansionization). Ensure that remodeling or infill development in established residential neighborhoods is harmonious in scale and building form with its context and that “mansionization” is both avoided and prevented.

Zoning Code Compliance

The zoning for the site is Residential Single-Family (RS) which is intended for the development of detached, single family homes with allowable residential density ranges from 3.51 to 6 dwelling units per acre. The proposed project conforms to the development standards in the RS zone such as building height, lot coverage, and setbacks.

Hillside Development Permit

Pursuant to South Pasadena Municipal Code (SPMC) Section 36.340.020, any development on a site with an average slope of 20% or greater requires a Hillside Development Permit. The purpose of the Hillside Development Permit is to ensure that developments are designed to preserve the City’s scenic resources, encourage appropriate grading practices, and encourage appropriate design to maintain the hillside in a natural, open character.

Standards from both the South Pasadena Zoning Code Section 36.340.050 Hillside Development Standards and Section 36.220.050(F) Development of Small Non-Conforming Residential Parcels were applied to the project. Section 36.220.050(F) allows lot coverage to be 50% for legal non-conforming residential parcels smaller than 10,000 square feet. **Table 1** below gives a breakdown of the allowed/required development standards and the proposed property and its compliance with Sections 36.340.050 and 36.220.050(F) of the Zoning Code.

Table 1: Project Development Standards

HILLSIDE DEVELOPMENT STANDARD COMPLIANCE			
	Allowed	Existing	Proposed
Lot Coverage	50% (2,624.5 sq. ft.)	22% 1,153 sq. ft.	28% 1,470 sq. ft.
Floor Area Ratio (FAR)	35% (1,837 sq. ft.)	20% 1,049 sq. ft.	35% 1,837 sq. ft.
Building Height	28’ for roof pitch 3:12 or greater	23’7”	28’
Off-Street Parking	2 covered spaces	1 car garage	2 car garage
Front Setback	10’	14’11”	No Change
Side Setback	10% of lot width (6’)	North: 2’ 7” South: 15’	North: No Change South: 6’ 2.5”
Rear Setback	25’	29’ 4”	34’ 4”

The proposed project is sited on a currently developed hillside lot and sits within a developed single-family residential neighborhood. The site will be accessed along its Meridian Avenue street frontage with a garage that is set 15 feet back from the street.

The demolition of unpermitted construction helps remove non-compliant structures and the

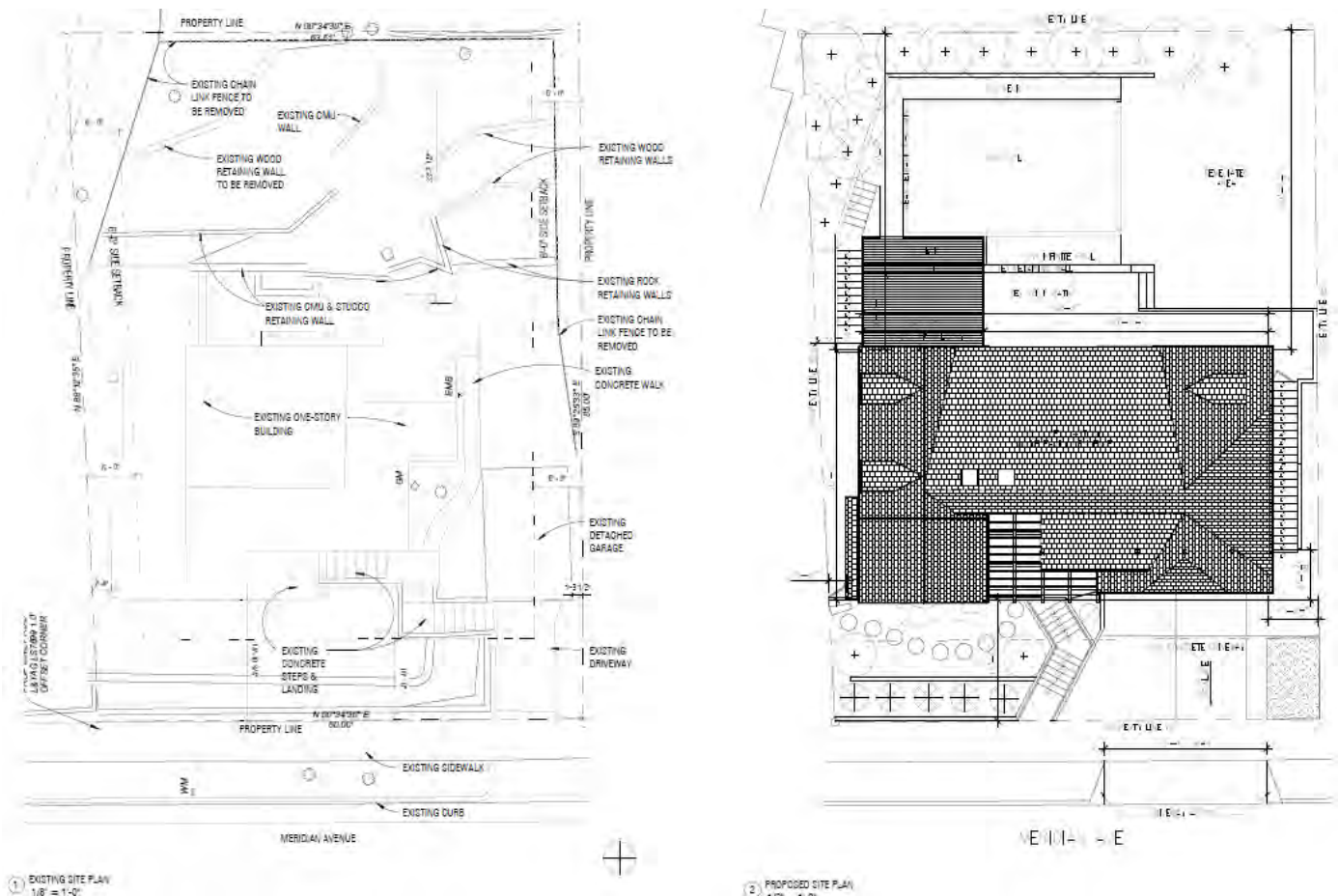
demolition of small non-conforming garage creates room for a larger, code compliant garage. The existing attic will be converted into a second story living area that will create more living area without increasing the lot coverage. An attached garage meeting the required standards of the Zoning Code will also be provided. The design of the house meets all the required setbacks, height limit of the home, and grading percentages of the driveway.

Design Review

The purpose of the Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City's design standards and guidelines. **Figure 3** is an existing and proposed site plan for the project.

The design and size of the proposed home is in compliance with South Pasadena Zoning Code Sections 36.340.50 and 36.220.050F) with the granting of the variances proposed.

Figure 3: Existing & Proposed Site Plan



Architectural Design

The existing architectural style of the house is an English Revival which is a sub-type of the Tudor Revival. English Revival houses are simpler than the Tudor Revival counterparts.

Character-defining features of the English Revival style generally include:

- Asymmetrical façade and irregular massing
- Typically 2-stories in height
- Steeply-pitched, multi-gable roof with wood shake or composition roofing
- Plaster exterior wall cladding; decorative half-timbering or brick details are usually limited or omitted
- Tall, narrow divided-light windows, usually casement, often grouped horizontally or in bays; may have leaded diamond-shaped lights
- Prominent chimney in brick or stone

The existing one-story English Revival-style single-family residence has complex massing, asymmetrical composition, a steeply-pitched cross gable roof with tight eaves, and composition shingle roofing. There is an interior chimney at the south side of the roof. Exterior walls are cement plaster. The front elevations of the house and garage have decorative half-timbering and an arched wood vent at the apex of the gable. Windows are wood sash casement and metal frame double-hung with simple wood surrounds and projecting sills. Some windows have decorative wood shutters; one has a wrought iron railing. There are oriel windows at the north and south façades.

The project proposes to demolish portions of the existing home and the detached garage as well as converting the attic into a second story. The north side of the front portion (west elevation) of the home will remain the same with the legal, non-conforming side yard setback.

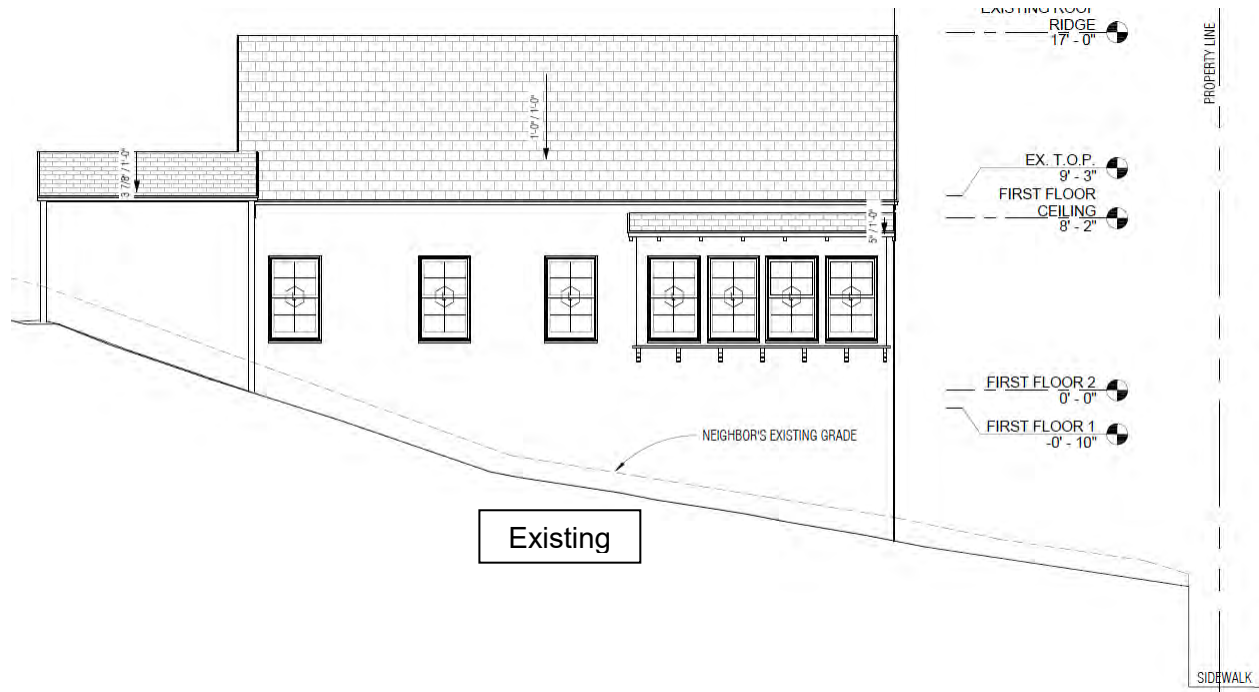
A new gable roof is added behind the existing north gable roof with the same roof pitch. In keeping with the steep roofs found in English Revival styled homes, the portion of the home over the garage has a steep hip roof. The sides of the home will have dormers to help break up the roof forms. Wooden trim on the northern and southern end of the front façade are provided. A majority of the exterior material for the home is sand textured stucco. To help break up the building wall plane, the portion over the garage pops out, has wooden corbels underneath, and the garage has a brick veneer.

Figures 4 through 7 show the existing and proposed elevations for the subject property. Full size of the development plans set is included as **Attachment 7**.

Figure 4: Front Elevation (West Side)



Figure 5: Side Elevation (North Side)



NORTH ELEVATION

Figure 6: Side Elevation (South Side)

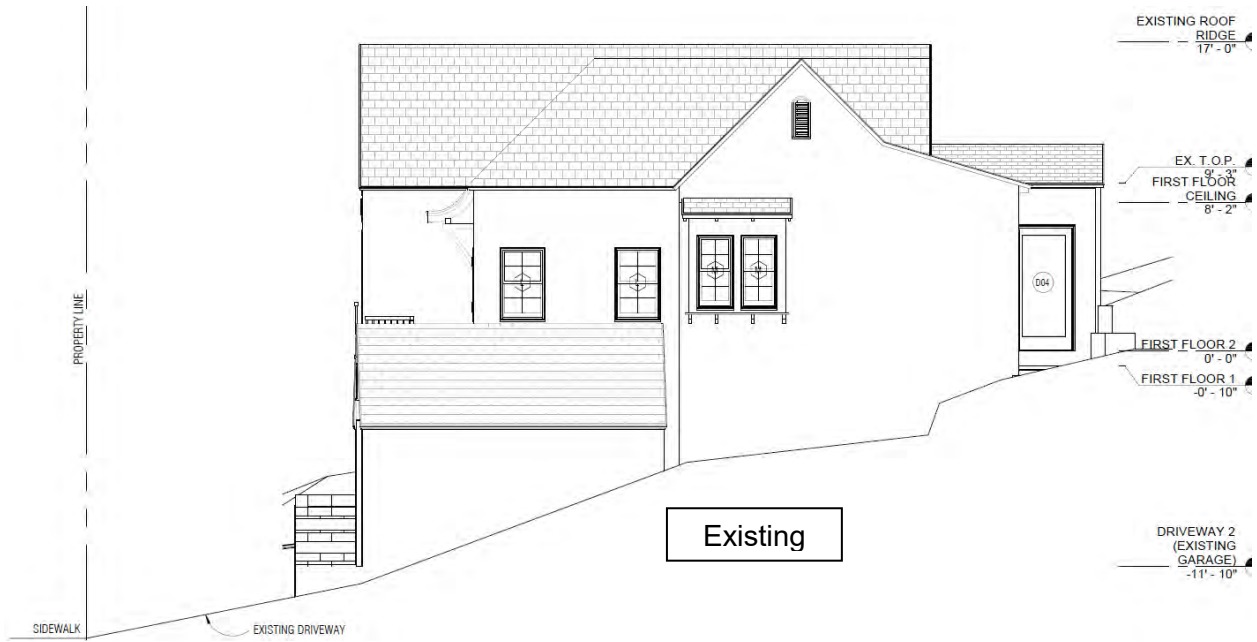


Figure 7: Rear Elevation (East Side)



The house will provide yard space to accommodate indoor and outdoor living that is harmonious with Southern California living. From the front property line are 13 steps which leads to the front walkway entry. The lower living area of the house contains a bedroom, living room, dining room, kitchen, and utility room. From there, one ascends the stairs to the second-level living area including the master suite and a guest bedroom with a personal bathroom.

The architectural style of the home remains the same, Tudor Revival with the same architectural characteristics. The proposed addition and modifications will incorporate same design elements as the existing home.

Neighborhood Compatibility

Section 36.220.050(A) is a development standard that requires the project's design to have exterior colors, forms, and materials that are consistent throughout and visually compatible with adjacent structures and the surrounding neighborhood. The size, mass, and scale of new dwellings shall also be visually compatible with adjacent structures and the surrounding neighborhood.

The existing character of the surrounding neighborhood consists of single-family residential and is predominately two-story homes of various architectural styles. The proposed project does not change the existing English Revival architectural style of the home and in accordance to the City's Design Guidelines for additions with the granting of the variances.

The house retains the existing front setback. The existing retaining walls will be partly cut to make room for an additional car parking space and to re-orientate the walkway to the front door but will retain the same heights. With the conversion of the attic space into a second story, the height of the home increases by four (4) feet from the top existing grade of the home. **Figure 8** below illustrates the existing and proposed house in contrast to the southern neighbor's house; north of the project site is a parking area which was not depicted.

Figure 8: Project in Context of Neighboring Homes



Based on staff's review, the project is consistent with South Pasadena's Design Guidelines for non-historic developments. The proposed addition and modifications to the existing hillside home are designed with consideration of the character and scale of the existing single-family developments in the vicinity. The mass and scale of the proposed project is well proportioned and respectful of the topography. The overall design of the project will maintain the attractive, harmonious, and orderly development contemplated by the General Plan and design guidelines.

Variances

The subject site is surrounded by existing single-family residences of varying architectural styles and sizes. These homes were built before the City Council's adoption of the hillside regulations.

There are special circumstances applicable to the subject property which consists of an average steep upslope of approximately 25.6 percent. The lot is also substandard in size for a Residential Single-Family (RS) zone, consisting of only 5,249 square-feet. To comply with the required maximum allowable slope of the driveway, structural walls for soil erosion control and drainage, and minimum required on-site parking minimize site grading, the variance for a decrease in the amount of site to be remediated is needed.

The granting of the Variance would not constitute a grant of special privileges that are inconsistent with the limitations on other properties in the vicinity and in the same zoning district. The subject site consists of a steep uphill slope in a densely developed residential neighborhood consisting of single-family homes on substandard hillside lots and narrow streets. The site limitations are inconsistent with the limitations imposed on other properties in the neighborhood given that the project has a steep terrain, and is a substandard lot.

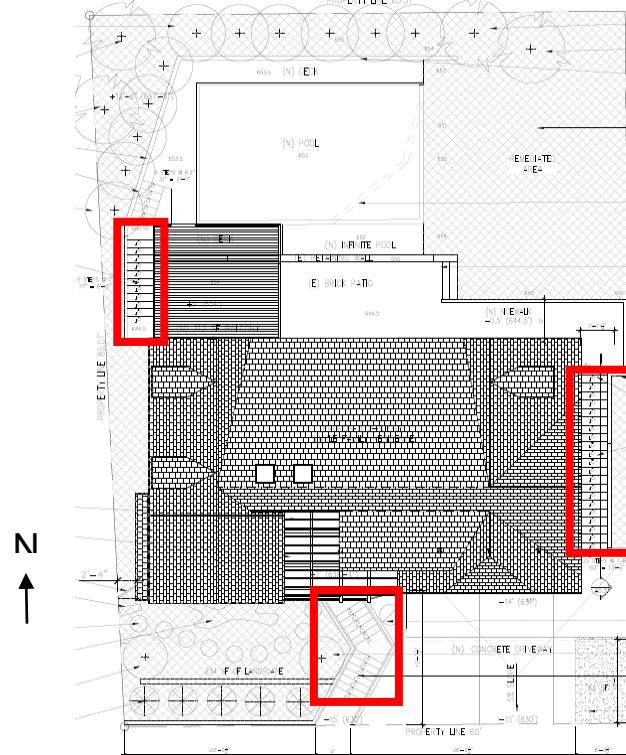
Exceed Three (3) Feet High and Over 10 Feet in Length Exterior Staircase Within the Front and Side Yard Setback

The South Pasadena Municipal Code (SPMC) Section 36.300.030(D) allows a maximum height of three (3) feet for uncovered staircases within the front yard setback area. The applicant is seeking a variance to allow an exterior staircase over three (3) feet in height within the front yard setback due to the following factors:

- The exterior staircase is needed for guests to reach the front door and the rear yard.
- To keep the staircase as close to the natural slope and to reduce excavation.
- Other hillside properties on Meridian Avenue have exterior stairs 36 inches high or more in 10 feet or longer length, uncovered in the front and side setbacks.

There are landscaped areas on sides of the exterior staircases to help screen the railing. **Figure 9** below shows the location of the staircases for the variance and the landscaping proposed to help with the screening the staircase.

Figure 9: Locations of Exterior Staircases



To Reduce the Percentage of Lot to Natural State

The South Pasadena Municipal Code (SPMC) Section 36.340.050(F) requires a minimum of 25 percent of the lot area plus the percentage of the average slope be remediated to its natural state in terms of slope and vegetation. The Applicant is seeking a variance to reduce the percentage of the lot to be remediated due to the following factors:

- Two covered required parking spaces and minimum driveway slope specifications reduce the area to be remediated.
- Driveway area is widened to provide space for safely maneuvering out of the driveway and not to impeded traffic.
- The small 5,249 square-foot lot creates challenges for development. In order to meet the minimum remediation requirement, more than half the property would need to be brought to its natural state.
- The locations of the existing structural walls need to remain to help with erosion control and drainage and therefore could not be moved closer to the home.

The project site is required to remediate 50.6 percent of the site to its natural slope and vegetation. As currently designed, only 32.7 percent of the property would be able to be remediate to its natural state.

For Downhill Building Wall to Exceed 15 Feet in Height

The South Pasadena Municipal Code (SPMC) Section 36.340.050(C)(5) requires no single building wall on the downhill side of a house shall exceed 15 feet in height. The Applicant is

seeking a variance to have downhill building walls exceeding 15 feet in height due to the following reasons:

- Needed to keep the same architectural style of the house and for a balanced look.
- Other homes in the vicinity have downhill building walls greater than 15 feet tall.
- The proposed garage and driveway are at a lower grade compared to the rest of the house. This is due to meeting the minimum driveway slope requirements.
- The first floor starts at 13 feet from the finished grade of the driveway.

The extra wall height is needed to keep the English Revival architectural style and provide additional living space.

Landscaping

The project involves 50% or 299 square-feet of the front yard setback to be landscaped. Additional landscaping in the rear is also proposed. The lot's vegetation includes various groundcover, a few mature trees, and native shrubs. In the rear space off the upper level of the proposed structure on the right, a 1,716 square-foot area will be remediated to its natural slope and vegetation. The remainder of the site will be dedicated to hardscape. A portion of the driveway will consist of turf block concrete pavers to provide an attractive parking area design and helps to reduce storm water runoff. A detailed conceptual landscape plan is included as **Attachment 7**.

Trees

The Applicant applied for a tree removal permit to remove three (3) trees due to the poor condition of the tree and the limited space available for the trees to grow. The Public Works Department approved of all the proposed tree removals and provided the quantity required of each replacement tree species per the South Pasadena Municipal Code (SPMC) 34.12-5(b), (see Table 2 below). Four (4) replacement trees are required but the Applicant is proposing to plant five (5) trees. Conditions pertaining to the removal and replacement of trees are included in the conditions of approval.

Table 2 – Tree Removal & Replacement

Tree	Species	Condition	Tree Trunk Size (DBH)	Required Tree Replacements
A	Coast Redwood	Dead	13"	1
B	Sweet Gum	Significant lean, roots damaging utility, roots constraint	8"	1
C	Shamel Ash	Compromised trunk eating a wall; high risk of failure due to small growth space and lack of support roots	22" (double-stem)	2
Total				4 replacement trees required

Planning Commission Staff Report
October 13, 2020

1312 Meridian Avenue
2205-NID/DRX/HDP/VAR

Findings

Staff recommends that the Planning Commission make the findings as provided in more detail in the Resolution, included as **Attachment 1**, pursuant to South Pasadena Municipal Code (SPMC) Sections 36.410.065, 36.410.080, 36.410.040.

Alternatives Considered

In addition to Staff's recommendation, the following alternatives are offered for the Planning Commission's consideration:

- Approve with condition(s) added; or
- Identify other issues or concerns with the proposed project and provide the applicant with direction to further modify the project and continue the public hearing to a date certain; or
- Deny the project.

Legal Review

The City Attorney has reviewed this item.

Fiscal Impact

Not Applicable.

Environmental Analysis

In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a categorical exemption under Section 15301, Class 1 Existing Facilities. Class 1 exemption includes demolition and removal of individual small structures such as portions of a single-family residence and detached garage. The proposed project involves the partial demolition of a single-family residence and detached garage and the construction of a two-story addition within an established residential neighborhood, and therefore the project qualifies for this exemption.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion in the legally publicly noticed agenda, and posting of the same agenda and reports on the City's website. A notice was published in the *South Pasadena Review* on October 2, 2020, and said notice was mailed to property owners within a 300-foot radius of the project site on October 1, 2020.

Public Comment

As of the date of preparing this report, Staff received a total four public comments (see Attachment 6). Three of those comments were from the neighbors of 1316 Meridian Avenue, located directly south of the project site. Their comments expressed concerns pertaining to their safety and privacy with the construction of the project. The fourth comment was from a neighbor in support of the project.

Attachments:

1. Resolution and Exhibit "A" - Conditions of Approval
2. CHC May 16, 2019 Staff Report & HRE Report

Planning Commission Staff Report
October 13, 2020

1312 Meridian Avenue
2205-NID/DRX/HDP/VAR

3. Site Photographs
4. Variance Requests
5. Tree Removal Permit
6. Public Comments
7. Architectural Plans & Materials Board

ATTACHMENT 1
Resolution and Exhibit A –
Conditions of Approval

P.C. RESOLUTION NO. 20-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA APPROVING PROJECT NO. 2205-NID/DRX/HDP/VAR CONSISTING OF A NOTICE OF INTENT TO DEMOLISH, HILLSIDE DEVELOPMENT PERMIT, DESIGN REVIEW, AND VARIANCES FOR MODIFICATION AND ADDITION TO A SINGLE-FAMILY RESIDENCE AT 1312 MERIDIAN AVENUE (APN: 5319-029-017)

WHEREAS, on January 28, 2019, the property owners, Karen and Cooper Donaldson, submitted applications listed below (Project No. 2205-NID/DRX/HDP/VAR) for the modification and addition to an existing 1,049 square foot single family home on an approximately 5,249 square foot lot located at 1312 Meridian Avenue (Assessor's Parcel Number 5319-029-017). The applications include:

- **Notice of Intent to Demolish** all unpermitted construction, portions of the home, and a 174 square-foot detach garage. As mentioned above, the CHC determined that the property does not meet the national, state, or local criteria for historic designation and the project may proceed through the city's application process without any further restrictions under the Cultural Heritage Ordinance; and
- **Hillside Development Permit** to allow construction on a site with an average slope of 20% or greater. The property has an average slope of 25.6%; and
- **Design Review** to allow for an approximately 788 square-foot, two-story addition and an approximately 479 square-foot garage to the existing 1,049 square-foot single-family house on an approximately 5,249 square foot lot. The attic space is being converted into a second story; and
- **Variances** to the allow uncovered stairs to exceed three feet in height within the front and side yard setbacks, reduction in the percentage of the site to be remediated to its natural slope and vegetation, and for a downhill building wall exceeding 15 feet in height; and

WHEREAS, on January 31, 2019, the Public Works Department approved a tree removal permit for the removal of three trees on the project site; and

WHEREAS, on May 16, 2019, the Cultural Heritage Commission reviewed the Historic Resources Evaluation (HRE) report prepared for the property and voted 5 to 0 determining that the property does not meet the national, state, or local criteria for historic designation, and therefore, the project may proceed through the city's application process without any further restrictions under the Cultural Heritage Ordinance; and

WHEREAS, the proposed project (Project No. 2205-NID/HDP/DRX/VAR) is considered a "Project" as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

WHEREAS, the City determined that the proposed project qualifies for a Categorical Exemption under Section 15301, Class 1 Existing Facilities in accordance with the California Environmental Quality Act (CEQA); and

WHEREAS, the Planning Department evaluated the project for consistency with the City's General Plan, City of South Pasadena Municipal Code, the City's Design Guidelines, and all other applicable state and local regulations; and

WHEREAS, in accordance with state law, on October 2, 2020, City of South Pasadena Planning and Building Department published a legal notice in compliance with South Pasadena Municipal Code in the *South Pasadena Review*, a local newspaper of general circulation, regarding the City of South Pasadena Planning Commission meeting of October 13, 2020. In addition, on October 1, 2020, a public hearing notice was mailed to all property owners and occupants within a 300-foot radius of the project site, indicating the date and time of the public hearing at the Planning Commission meeting of October 13, 2020; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on October 13, 2020, at which time public testimony was taken concerning the proposed project, Project No. 2205-NID/HDP/DRX/VAR, and considered the project; and

WHEREAS, following the public hearing for the Notice of Intent to Demolish, Hillside Development Permit, Design Review, and Variance, the Planning Commission determined that approval of the requested entitlements were in the best interests of the public health, safety and general welfare.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: The Planning Commission has determined that the proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under Article 19 Section 15301 (Existing Facilities), Class 1 of the California Guidelines for Implementation of CEQA. Specifically, the project involves the partial demolition of a single-family residence and detached garage and the construction of a two-story addition involves the addition to an existing single-family residence.

SECTION 2: The Commission finds that the proposed project is consistent with all five applicable findings to grant the Hillside Development Permit for the project pursuant to South Pasadena Municipal Code Section 36.410.065, as follows:

- 1. The proposed use complies with the requirements of Division 36.340 (Hillside Protection) and all other applicable provisions of this Zoning Code.**

The proposed project is located within a Residential Low Density zoning district. The design is consistent with the design standards as stated in the South Pasadena Zoning Code, Section 36.340.040 (Hillside Development Design Guidelines). The proposed

project, as conditioned, also complies with the maximum allowable development standards with the exception of an increase to the downhill building wall height and staircase within the front and side yard setbacks, and reduction to the percentage of lot to natural state for which a Variance is being requested.

2. The proposed use is consistent with the General Plan and any applicable Specific Plan.

The South Pasadena General Plan (Section 2.5G) outlines the goals for Hillside Development. The General Plan land use designation of the site is Low Density Residential which allows detached single-family units at a density of 3.5 to 6 units per acre. In order to encourage maintenance of existing structures and to prevent encroachment of higher density development, this designation has been applied to the majority of existing single-family neighborhoods. The project proposal is to construct an addition to an existing new single-family residence on a hillside lot in a neighborhood of existing single-family homes. The proposal is consistent with findings for Design Review. Meeting that criteria and satisfying those findings are necessary for ensuring compatibility with the neighborhood's architectural characteristics and hillside context.

3. The establishment, maintenance or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

The proposed use of the project is a single-family residence in a Single Family zoning district. As such, the establishment, maintenance, and operation of the use is anticipated and permitted by the General Plan and Zoning Code. This use is consistent with the single-family residential use of neighboring properties. The proposed project will be constructed within the parameters allowed by the City's Zoning and Building Codes, including the provision of a two-car garage parking space.

Furthermore, the applicant is subject to further review by the City's Building and Safety Division, Fire, and Public Works Departments. Such compliance is necessary prior to obtaining building permit and occupancy clearance. Therefore, this project would not be detrimental to the health, safety, or general welfare of adjoining neighbors.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

The proposed single-family residence would be compatible with the neighborhood context. Structures in the neighborhood are single to multi-story single-family homes. Therefore, the proposed conversion of the attic into a second story and the additions to the single-family residence on the subject site would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City. There are no significant environmental areas or features on the subject site such as a riparian habitat or significant ecological areas. Nor are there geologic or hydrologic features such as ridgelines, knolls, fault lines, or liquefaction zones that are important

to the physical and environmental character of the property.

- 5. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, and views protection.**

The Design Review findings outlined above indicate that the proposed project design, location, operation characteristics, and size are compatible with the existing and future land uses in the vicinity in terms of aesthetics, character, scale, and view protection. The design of the proposed new house complements the character of the hillside in that it conforms to the maximum height limits, the required setbacks, and the maximum allowable lot coverage and Floor Area Ratio.

SECTION 3: The Commission finds that the proposed project is consistent with all four applicable findings to approve the Design Review of the project pursuant to South Pasadena Municipal Code Section 36.410.040, as follows:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The proposed project is consistent with the General Plan and the City's adopted Design Guidelines for existing single-family residences on hillside sites. The proposed demolition and addition to the hillside home is designed with consideration of the character and scale of the existing single-family developments in the vicinity. The mass and scale of the proposed project is well proportioned and respectful of the topography.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The proposed project will better accommodate the single-family functions and activities proposed for the site. The demolition of unpermitted construction helps rid the property of non-compliant structures and the demolition of small non-conforming garage creates room for a larger, code compliant garage. The attic will be converted into a second story living area with new addition added to the first floor for a total addition area of 788square feet. This addition to the home will provide sufficient size and space for residential living, with outdoor amenities such as the pool and surrounding deck incorporated into the site. An attached garage meeting the required standards of the Zoning Code will also be provided. The ground level will accommodate the required garage parking, while the two upper floors will house the living space. The design of the house meets all the required setbacks, height limit of the home, and grading percentages of the driveway. The house will not interfere with the use and enjoyment of neighboring, existing, or future developments. The proposed project is sited on a currently developed hillside lot and sits within a developed single-family residential neighborhood. The site will be accessed along its Meridian Avenue street frontage with a garage that is set 15 feet back from the street. Thus, the proposed

project, as conditioned, will not impose adverse pedestrian or traffic hazards, nor will the proposed project interfere with the use and enjoyment of neighboring, existing or future developments.

- 3. Is compatible with the existing character of the surrounding neighborhood and all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan;**

The existing character of the surrounding neighborhood consists of single-family residential and is predominately two-story homes of various architectural styles. The proposed project does not change the existing English Revival architectural style of the home and in accordance to the City's Design Guidelines for additions with the granting of the variances. The overall design of the project will maintain the attractive, harmonious, and orderly development contemplated by the Zoning Code, and the General Plan.

- 4. Provides a desirable environment for its occupants and neighbors, and is aesthetically of good composition, colors, materials, and texture, that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The proposed home will incorporate same design elements as the existing home. A new gable roof is added behind the existing north gable roof with the same roof pitch. In keeping with the steep roofs found in English Revival styled homes, the portion of the home over the garage has a steep hip roof. The sides of the home will have dormers to help break up the roof forms. Wooden trim on the northern and southern end of the front façade are provided. A majority of the exterior material for the home is sand textured stucco. To help break up the building wall plane, the portion over the garage pops out, has wooden corbels underneath, and the garage has a brick veneer. All of these materials are known for their durability and can be found on many homes throughout the City as they remain aesthetically appealing with a reasonable level of maintenance and upkeep.

SECTION 4: The Commission finds that the proposed project is consistent with all three applicable findings to grant a Variance for the project pursuant to South Pasadena Municipal Code Section 36.410.080 as follows:

- 1. There are special circumstances applicable to the subject property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this Zoning Code denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district, or creates an unnecessary and involuntarily created hardship, or unreasonable regulation which makes it impractical to require compliance with the development standards.**

There are special circumstances applicable to the subject property which consists of an average steep upslope of approximately 25.6 percent. The lot is also substandard in size for a Residential Single-Family (RS) zone, consisting of only 5,249 square-feet.

To comply with the required maximum allowable slope of the driveway, structural walls for soil erosion control and drainage, and minimum required on-site parking minimize site grading, the variance for a decrease in the amount of site to be remediated is needed.

2. Granting the Variance would:

- a. Be necessary for the preservation and enjoyment of substantial property rights possessed by other property owners in the same vicinity and zoning district, and denied to the subject property owner;**

The subject site is surrounded by existing single-family residences of varying architectural styles and sizes. These homes were built before the City Council's adoption of the hillside regulations. The applicant has proposed sets of exterior staircases be within the front and side yard setbacks to provide direct access from the sidewalk to the front door and access to the rear yard. Additionally, the applicant is proposing a landscape plan incorporating trees and shrubs that will help to further screen the stairs.

- b. Be consistent with the General Plan and any applicable specific plan, and the limitations established by the 1983 initiative;**

The proposed project is consistent with the General Plan, the City's adopted Design Guidelines for non-historical single-family residences in hillside sites, and the height limit established by the 1983 initiative. The proposed addition to the hillside home is designed with consideration of the character and scale of the existing single-family developments in the vicinity. The height of the proposed house is less than the allowable height of 28 feet, and the scale of the proposed project is similar to the surrounding properties on the street. In addition, the project was designed to minimize grading on this hillside lot.

- c. Not constitute a grant of special privileges inconsistent with the limitations on other properties in the vicinity and in the same zoning district; and**

The granting of the Variance would not constitute a grant of special privileges that are inconsistent with the limitations on other properties in the vicinity and in the same zoning district. The subject site consists of a steep uphill slope in a densely developed residential neighborhood consisting of single-family homes on substandard hillside lots and narrow streets. The site limitations are inconsistent with the limitations imposed on other properties in the neighborhood given that the project has a steep terrain, and is a substandard lot.

- d. Not be materially detrimental to the public convenience, health, interest, safety, or welfare of the City, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.**

The excavation into the hillside has been minimized as much as possible and safety measures such as guardrails and on-site lighting are proposed. In addition, the proposed project is conditioned to provide a construction plan to minimize impacts

of construction to the surround properties.

3. The proposed project would be compatible with the existing aesthetics, character, and scale of the surrounding neighborhood, and considers impacts on neighboring properties.

The architectural style of the neighborhood surrounding the project site is mixed with various architectural styles. The project is consistent with the existing English Revival style through its materials palette and use of architectural characteristics found on English Revival homes.

SECTION 5: For the foregoing reasons and based on the information and findings included in the Staff Report, and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby approves the application for Notice of Intent to Demolish, Hillside Development Permit, Design Review, and Variance (Project No. 2205-NID/HDP/DRX/VAR) for the proposed project at 1312 Meridian Avenue (APN: 5319-029-017), subject to the Conditions of Approval, attached hereto as Exhibit “A.”

SECTION 6: Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must be filed with the City, in writing, and with appropriate appeal fee, no later than (15) days, following the date of the Planning Commission’s final action.

SECTION 7: The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 13th day of October 2020.

PASSED, APPROVED, AND ADOPTED this 13th day of October, 2020 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Janet Braun, Chair

ATTEST:

Lisa Padilla, Secretary

EXHIBIT "A"
CONDITIONS OF APPROVAL
PROJECT NO. 2205-NID/DRX/HDP/VAR
1312 Meridian Avenue (APN: 5319-029-017)

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on October 13, 2020:
 - a. Notice of Intent to Demolish all unpermitted construction, portions of the home, and a 174 square-foot detach garage. As mentioned above, the CHC determined that the property does not meet the national, state, or local criteria for historic designation and the project may proceed through the city's application process without any further restrictions under the Cultural Heritage Ordinance; and
 - b. Hillside Development Permit to allow construction on a site with an average slope of 20% or greater. The property has an average slope of 25.6%; and
 - c. Design Review to allow for an approximately 788 square-foot, two-story addition and an approximately 479 square-foot garage to the existing 1,049 square-foot single-family house on an approximately 5,249 square foot lot. The attic space is being converted into a second story; and
 - d. Variances to the allow uncovered stairs to exceed three feet in height within the front and side yard setbacks, reduction in the percentage of the site to be remediated to its natural slope and vegetation, and for a downhill building wall exceeding 15 feet in height.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining

any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.

- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or City Planning Commission concerning this use.

Notes on Construction Plans

The contractor shall be responsible to implement and monitor compliance with the following conditions:

- P7. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
- P8. The hours of all construction activities shall be limited to the following: 8:00 am and 7:00pm Monday through Friday, 9:00am and 7:00pm Saturday, and construction on Sundays limited to 10:00am to 6:00pm.
- P9. During construction, the clearing, grading, earth moving, excavation operations, or transportation of cut or fill materials that cause fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to the maximum extent feasible to prevent fugitive dust; and
 - b. All material excavated or graded shall be sufficiently watered to prevent dust from leaving the construction area and to create a "crust" after each day's activities ceases. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - c. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent fugitive dust;
 - d. All area of vehicle movement shall be water appropriately to prevent dust from leaving the construction site;
 - e. Soil stockpiles for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation;
 - f. Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads; and
 - g. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.

Conditions of Approval

1312 Meridian Ave. | 2205-NID/HDP/DRX/VAR

Page 3 of 8

P10. The applicant and the applicant's construction manager shall participate in a pre-construction meeting with the City of South Pasadena Planning and Building Divisions, and Public Works Department, to ensure all parties involved understand and implement appropriate construction measures and practices as required by the City, are aware of when construction will occur, what to expect, and to identify potential conflicts to eliminate otherwise unanticipated problems prior to the start of grading.

Prior to Issuance of Grading Permit

P11. The applicant shall submit a construction management plan for approval by the Building, Planning, and Public Works Departments. The construction management plan shall include, but not be limited to:

- a. A proposed haul route and location of a proposed off-site construction staging area where project construction workers and/or subcontractors will park and equipment will be stored. Equipment and construction staging area shall be located away from adjacent residential uses. Any construction activity that may require closing public roadways shall be identified and mitigation identified as part of the staging plan. The applicant shall obtain input from Public Works to identify haul route and staging area. The applicant shall provide notification of at least 48 hours prior to any road closure to all affected property owners, including SMART Families (email: SMART-Families@outlook.com).
- b. A plan for dust control techniques to be implemented during project construction which shall include, but not be limited to, plans for daily watering of the construction site, limitations on construction hours, and adherence to standard construction practices such as watering of inactive and perimeter areas (refer to Condition No. P9).
- c. A traffic control plan for the duration of the construction prepared by a licensed civil engineer for approval by the City Engineer. The applicant shall notify businesses, residents (including SMART Families) impacted by any parking restrictions, road closure, and any off-site staging areas during construction.
- d. A list of construction equipment, fixed or mobile, showing that all equipment will be equipped with properly operating and maintained mufflers and other state-required noise-attenuation devices.
- e. A plan for limiting the number of noise-generating, heavy-duty off-road construction equipment (e.g., backhoes, dozers, excavators, loaders, rollers, etc.) simultaneously used on the project site to no more than one or two pieces of heavy-duty, off-road equipment to reduce construction noise levels.
- f. A sign of at least 24" x 36", legible at a distance of 50 feet, shall be posted at the project site and shall contain the following information:
 - i. Indicate the dates and duration of construction activities.
 - ii. A construction manager (name and telephone number) responsible for maintaining the public right-of-way and project site during all stages of construction until the project is completed.
 - iii. A 24-hour emergency contact person (name and a telephone number) where residents and affected public stakeholders can inquire about the construction process and register complaints. This person shall also be responsible for responding to any

Conditions of Approval

1312 Meridian Ave. | 2205-NID/HDP/DRX/VAR

Page 4 of 8

complaints about construction noise or activities associated with this project, and shall notify the City to determine the cause and implement reasonable measures to the complaint, as deemed acceptable by the City. All complaints shall be addressed within 24 hours and the person registered the complaint shall be notified of the resolution.

Prior to issuance of Building Permits

- P12. The applicant shall provide photographs to Planning, Building, and Public Works Departments illustrating that proper construction fencing is installed and signs describing construction and noise disturbance coordinator contact information are posted at the construction site.

DEPARTMENT OF PUBLIC WORKS:

- PW1. Video inspect the existing sewer lateral for obstructions and remove any obstructions observed. Provide copy of the inspection video of the cleared lateral.
- PW2. Show the location of all existing utilities on Meridian Avenue, as well as utility point of connection (POC) and size of all existing or proposed services serving the property.
- PW3. The proposed new driveway and sidewalk shall be construction per Caltrans Standard Plan detail A87A.
- PW4. The applicant shall remove and install new traffic sign (W1-2) and pole to the satisfaction of the City Engineer.
- PW5. The applicant shall provide slurry seal surface treatment from curb to curb along the entire street width on Meridian Avenue from property line to property line. Also, reinstate the existing pavement marking and striping to the satisfaction of the City Engineer.
- PW6. The applicant shall provide civil plans show all existing condition within public right-of-ways, curb/gutter, driveway, existing features, trees, dimensions, and proposed improvements.
- PW7. The applicant shall provide a traffic control plans for the duration of the construction (refer to Condition No. P11 for details).
- PW8. The applicant shall provide a traffic sight distance study prepared by a licensed civil engineer for vehicular ingress and egress from the proposed driveway. The applicant shall be responsible for implementing safety measures based on sight distance study.
- PW9. The applicant shall be responsible implement necessary Best Management Practice (BMP) measures Per City Municipal Code, Section 23.14. Provide a copy of approved BMP plan from Building & Safety Department.
- PW10. The applicant shall provide a detailed drainage plan prepared by a licensed civil engineer and signed and stamped by the civil engineer. Cross lot drainage is not permitted. Provide copy of approved plan from Building & Safety Department.
- PW11. The applicant shall provide a haul route map, staging plan, and indicate street parking location for review and approval to the Public Works Department prior to issuance of permits (See Condition No. P11 for details).
- PW12. Street closures are only allowed between 9:00 am and 2:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about

Conditions of Approval

1312 Meridian Ave. | 2205-NID/HDP/DRX/VAR

Page 5 of 8

the street closure to all impacted resident at least 48 hours prior to the street closure. All street closure required to obtain encroachment permit from the Public Works Department.

- PW13. The applicant shall post "Temporary No Parking" signs along the entire length of the property prior to start of any construction. The temporary no parking signs will be covered at the end of every working day, and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, traffic shall be mitigated through use of flagmen and/or detouring. The applicant shall obtain encroachment permit from the Public Works Department.
- PW14. Show all existing and proposed trees (including parkway trees), including size and species, and indicate their disposition. The applicant shall show methods of protecting existing onsite and on the parkway trees during construction on the plans. The applicant shall submit an arborist report for all trees (including parkway trees) at project completion to the City, demonstrating that all protection methods were followed and document the tree disposition after construction.
- PW15. If any trees are to be removed, per City Ordinance No. 2328 amending section 34.10 of the South Pasadena Municipal Code (SPMC), file for a tree removal permit application. See Municipal Code Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC section 34.12-5. A copy of tree removal application and the guidelines are available at the counter in Public Works Department.
- PW16. Building structure shall not be constructed within critical root zone area. For native and protected species the use of the tree's DBH (X5) is the minimum critical root mass. For non-native and protected species use of the tree's DBH (X3) is the minimum critical root mass.
- PW17. The applicant shall provide methods of protecting existing trees during construction.
- PW18. Tree removals associated with development shall only be conditionally approved subject to the applicant receiving their development building permit, paying all fees associated with the tree removal as established by resolution of the city council, and paying a deposit in the amount of \$1,440 for the 4 replacement trees. Upon the planning review authority's approval of the development application and satisfaction of all conditions of approval, and payment of all required fees, the applicant shall be issued a tree removal permit.
- PW19. Replacement trees shall be planted per SPMC section 34.12-5 (b). The applicant is required to plant 1 replacement trees based on the trees proposed for removal. The South Pasadena Public Works Department shall inspect the replacement trees before being planted.
- PW20. Upon the applicant's proof to the city's satisfaction that the applicant has complied with the approved tree replacement plan, the city shall reimburse the applicant's replacement tree deposit. Should the applicant fail to plant any replacement trees per the approved replacement tree plan, the city shall retain the amount of the replacement tree deposit necessary to cover the cost to plant any required replacement trees in alternative locations within the city (public right-of-way, park, etc.), as permitted by SPMC Chapter 34.
- PW21. No trees shall be removed from the site until Tree Removal Permits are issued.

BUILDING AND SAFETY DIVISION:

General conditions for existing building and proposed addition:

- B1. Prior to the application of a building or grading permit, a preliminary Geotechnical report that specifically identifies and proposes mitigation measures for any soils or geological problems that may affect site stability or structural integrity shall be approved by the Building Official or his/her designee. The applicant shall reimburse the City for all costs incurred to have the project soils report evaluated by an independent, third-party, peer-level soils and /or geological engineer. Approval letter of the geotechnical report review shall be copied and pasted on the first sheet of building and grading plans.
- B2. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Planning Commission Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B3. The initial plan check fee will cover the initial plan check and one recheck only. Additional review required beyond the first plan check shall be paid for on an hourly basis in accordance with the current fee schedule.
- B4. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B5. At the time of plan submittal, the pdf copy of the soils report shall be provided by the applicant.
- B6. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B7. Demolition permit is required for any existing buildings which are to be demolished.
- B8. Separate plan review and permit is required for swimming pool.
- B9. Separate plan review and permit is required for each detached structure, including but not limited to common space open trellis.
- B10. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet for dwellings and accessory buildings without automatic residential fire sprinkler protection shall comply with Table R302.1(1)
- B11. All fire sprinkler hangers must be designed and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250 pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B12. Separate permit is required for Fire Sprinklers

Conditions of Approval

1312 Meridian Ave. | 2205-NID/HDP/DRX/VAR

Page 7 of 8

- B13. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
- a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.

GENERAL COMPLIANCE ITEMS/REQUIREMENTS AND INFORMATION

The following items are noted for the applicant's information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for South Pasadena and many other agencies, including but not limited to Los Angeles County, and state and federal agencies.

Planning Department

1. Prior to issuance of building permits, a final landscape and irrigation plans showing compliance with the City's Water Efficient Landscape Ordinance (SPMC Section 35.50) and with Section 36.330.030 for approval by the Community Development Director may be required.

Public Works Department

2. The applicant shall pay for all applicable city and LA County fees including PW plan review and permit fees prior to the issuance of the Building Permits.
3. A copy of a current Title Report (within the last 60 days) shall be provided. The applicant shall show all easements per the Title Report to the satisfaction of the Public Works Department. Any conflict with existing easements resulting in the site being redesigned potentially requires a minor change or amendment approval by the original decision-making body.
4. The applicant shall contact the City Water Division to coordinate size, location, and associated fee for a new water meter connection as applicable. Please contact Water Operation Manager (626) 460-6393 for additional information.
5. Video inspect the existing sewer lateral for obstructions and remove any obstructions observed. Provide copy of the inspection video of the cleared lateral.
6. Replace all broken, damaged, or out-of-grade sidewalk, curb and gutter fronting the property to current city standard per SPMC Section 31.54.
7. Demonstrate compliance with all requirements of the City of South Pasadena Low Impact Development (LID) Ordinance. The applicant shall include the necessary Best Management Practices (BMP) measures and a Standard Urban Storm Water Mitigation Plan (SUSMP) for construction and post-construction phases as part of the LID plan per SPMC Section 23.14. Provide a copy of the approved plan from the Building & Safety Department.
8. Provide a copy of a will-serve letter and receipt for the sewer connection fee from the Los Angeles County Sanitation District (LACSD). A copy of the receipt for any fees to be paid must be submitted before permit issuance.

Conditions of Approval

1312 Meridian Ave. | 2205-NID/HDP/DRX/VAR

Page 8 of 8

9. Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
10. Temporary bins (low boy) will be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
11. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc

Building Division

1. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
2. Park Impact Fee to be paid at the time of permit issuance.
3. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
4. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
5. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
6. Project shall comply with the CalGreen Residential mandatory requirements.
7. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet for dwellings and accessory buildings without automatic residential fire sprinkler protection shall comply with Table R302.1(1&2)
8. No work or construction materials will be permitted to encroach into adjacent property without written approval from the affected property owner.
9. Demolition permit is required for any existing buildings which are to be demolished.

Fire Department:

10. The project shall comply with all current adopted California Building, Fire Codes, NFPA and SPFD standards requirements based on occupancy classification.

ATTACHMENT 2
CHC May 16, 2019 Staff
Report & HRE Report



City of South Pasadena

Planning & Building Department

CULTURAL HERITAGE COMMISSION

• INFORMATIONAL MEMORANDUM

DATE: May 6, 2019

TO: MEMBERS OF THE CULTURAL HERITAGE COMMISSION

FROM: Edwar Sissi - Associate Planner

SUBJECT: 1312 Meridian Avenue
Project No: 2205-NID-HDP

CHC Meeting Date: May 16, 2019

Dear Commissioners:

In accordance to the City's Preservation Ordinance, the City entered into a contract with an Architectural Historian on behalf of the property owner for their proposed demolition of a structure over 45 years old. The applicant is proposing to demolish the existing detached garage, and significant demolition of the primary residential structure.

Recommendation:

The Historic Assessment Report has determined that the property is ineligible as a Historic Resource at either the national, state, or local level. Therefore, the proposed project of demolition, and significant alteration should have no impact on Historic Resources.

Staff is recommending the CHC concur with the report's findings, and clear the project from any further historic review process.





HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena
April 19, 2019

HISTORIC RESOURCES GROUP

PREPARED FOR

Planning & Building Department
City of South Pasadena
1414 Mission Street
South Pasadena, CA 91030

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

TABLE OF CONTENTS

4	Introduction
5	Methodology
6	Regulatory Framework
7	Previous Evaluations/Designations
8	Historic Context
10	Physical Description
12	Evaluation of Eligibility
15	Conclusion
16	Bibliography

Appendix A: Building Permit Chronology

Appendix B: Photographs of Evaluated Resources

Appendix C: Comparative Analysis Photographs

Appendix D: Sanborn Fire Insurance Maps

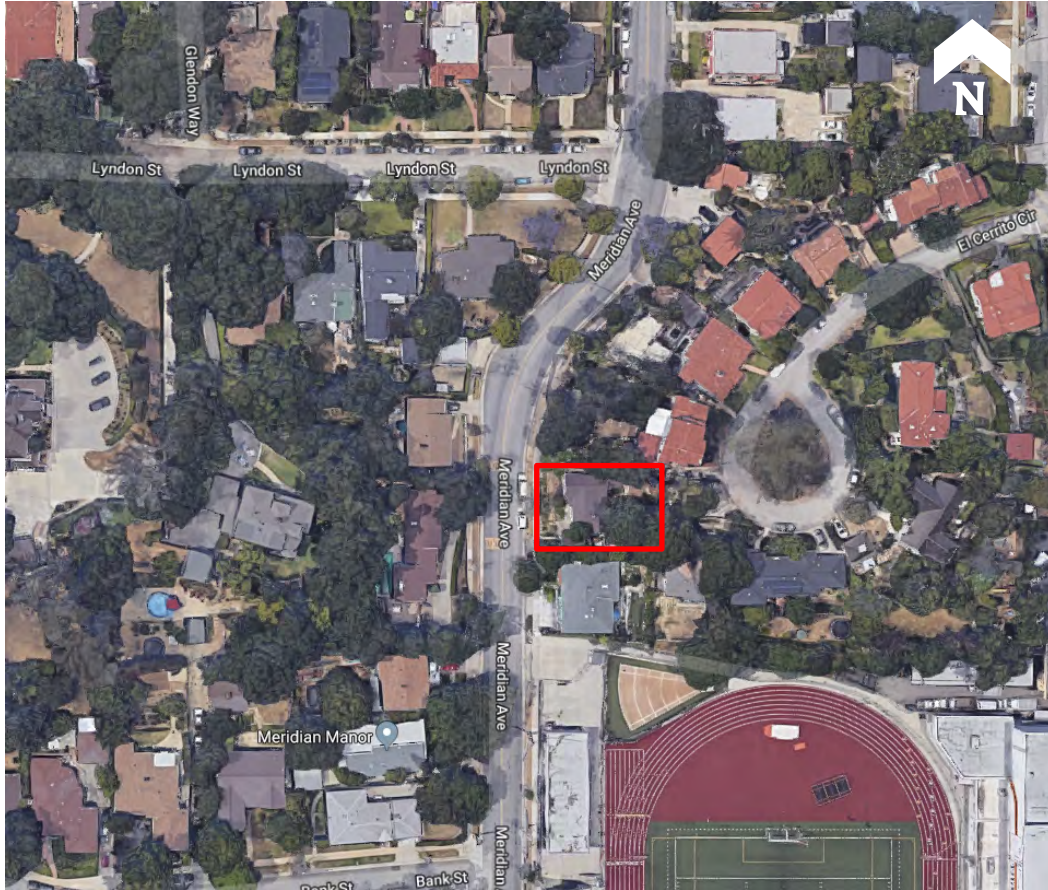
HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

INTRODUCTION

We have evaluated the single-family residence and attached garage at 1312 Meridian Avenue in the City of South Pasadena, California, for potential eligibility for local designation under the City of South Pasadena Cultural Heritage Ordinance. This report concludes that property is not eligible for listing as a City of South Pasadena Landmark. This conclusion is based on a review of previous survey findings for the area, the relevant historic contexts, and an analysis of the eligibility criteria and integrity thresholds for local designation. A site visit from the public right-of-way was conducted on April 17, 2019.



Site map. Subject property outlined in red.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue South Pasadena

HISTORIC RESOURCES GROUP

METHODOLOGY

The property at 1312 Meridian Avenue was evaluated using integrity thresholds and eligibility criteria for listing as a City of South Pasadena Landmark. The field methods and analysis are based on guidance from the National Park Service, the California Office of Historic Preservation, and the City of South Pasadena for evaluating potential historic resources; and an identification of physical features and historic integrity ascertained during the site visit and through building records.

This report was prepared using sources related to the history and development of the proposed historic district. The following sources were consulted:

- Building permits
- Historic aerial photography
- Sanborn Fire Insurance maps
- Other primary and secondary sources relevant to the history of the site
- Citywide historic resources survey findings and historic context statements

Research, field inspection, and analysis were performed by Christine Lazzaretto, Managing Principal; and Molly Iker-Johnson, Associate Architectural Historian/Staff Photographer. Both meet the Secretary of the Interior's Professional Qualifications Standards in History and Architectural History.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

REGULATORY FRAMEWORK

Historic resources may be designated at the federal, state, and local levels. Current designations available in South Pasadena include: National Historic Landmarks, National Register of Historic Places, California Register of Historical Resources, California Registered Historical Landmarks, California Points of Historical Interest, and South Pasadena Landmarks. While some programs place emphasis on architectural character, all use basic criteria relating to a property's place in important events or patterns of development, association with important personages, and architectural significance. This evaluation is for eligibility for designation as a City of South Pasadena Landmark.

On July 19, 2017, the City of South Pasadena adopted Ordinance No. 2315, which repealed the previous Cultural Heritage Ordinance, adopted February 19, 1992, and replaced it with a new ordinance, effective August 18, 2017. The ordinance requires an intensive level Historic Resources Evaluation for any proposed demolition of structures over 45 years old.

The City of South Pasadena Cultural Heritage Ordinance as updated in 2018, contains criteria for the local designation of historic resources in Section 2.63(B):

Designation Criteria for Landmarks and Historic Districts.

Criteria and standards for the designation of landmarks and historic districts shall include any or all of the following, as applicable:

1. Its character, interest or value as a part of the heritage of the community;
2. Its location as a Site of a significant historic event;
3. Its identification (such as the residence, ownership, or place of occupation, etc.) with a person, persons or groups who significantly contributed to the culture and development of the City, state or United States;
4. Its exemplification of a particular architectural style of an era of history of the City;
5. Its exemplification of the best remaining architectural type in a neighborhood;
6. Its identification as the work of a person or persons whose work has influenced the heritage of the City, the state or the United States;
7. Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials or craftsmanship;
8. It is either a part of or related to a square, park or other distinctive area which should be developed or preserved according to a plan based on a historic cultural or architectural motif;
9. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;
10. Its potential of yielding information of archaeological interest; or
11. In designating a Historic District, its significance as a distinguishable neighborhood or area whose components may lack individual distinction.

HISTORIC RESOURCE ASSESSMENT REPORT**1312 Meridian Avenue
South Pasadena****HISTORIC RESOURCES GROUP**

Integrity

In addition to meeting one or more eligibility criteria, a property must retain “historic integrity.” Historic integrity is the ability of a property to convey its significance and is defined as the “authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s...historic period.”¹ The National Park Service defines seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. To retain historic integrity a property will always possess several, and usually most, of the aspects.

PREVIOUS EVALUATIONS/DESIGNATIONS

There have been several historic resources surveys conducted in the city, starting with the first comprehensive historic resources survey in 1991, and continuing with survey updates in 2002-2003. The result of these efforts was the identification of approximately 2,567 eligible properties that were listed in the South Pasadena Inventory of Cultural Resources (the “Inventory”).

The residence at 1312 Meridian Drive was not identified as potentially eligible in any previous survey of historic resources in South Pasadena, either individually or as part of a potential historic district, and it is not listed in the Inventory.

¹ U.S. Department of the Interior, *National Register Bulletin 16: How to Complete the National Register Registration Form* (Washington D.C.: National Park Service) 1997, 4.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

HISTORIC CONTEXT²**1920s Residential Development**

The 1920s was a period of significant population growth in South Pasadena. Residential development from this period is primarily located in neighborhoods that were subdivided in earlier periods. Some undeveloped land remained on Raymond Hill, in the Monterey Hills, and in the western area of the city between Orange Grove Avenue and the Arroyo Seco. A total of 56 tracts were subdivided in the city between 1920 and 1928, with the largest developments taking place between Orange Grove Avenue and Arroyo Drive. 1312 Meridian Avenue comprises lot 6 of Tract 6760, which was originally subdivided in 1924 by Helen E. Browning.³

Single-family and multi-family residences in period revival styles popular in the 1920s were constructed throughout the city. The residential character established in the early 20th century continued during this era, and there remains a strong collection of residential neighborhoods with examples from this period. These neighborhoods are characterized by a mixture of architectural styles designed by both prominent architectural firms and local builders. For the first time there was significant multi-family development in South Pasadena, due to the revised zoning ordinance of 1923.

English Revival

The English Revival style is a sub-type of the Tudor Revival style, which is loosely based on a variety of late medieval English building traditions including Perpendicular Gothic, Tudor, Elizabethan, and Jacobean. It has its origins in the late 19th-century English Arts and Crafts movement, whose leaders drew inspiration in part from English domestic architecture of the 16th and 17th centuries because of its picturesque qualities and sympathetic relationship to the natural landscape. The earliest examples of the style appeared in the United States in large estates of the 1890s. The Tudor Revival style grew in favor after World War I and reached its peak of popularity in the 1920s and 1930s, as architects and developers adapted it to the country's rapidly growing suburban residential communities and advancements in masonry veneering techniques allowed even the most modest examples to emulate the brick and stone exteriors of English prototypes.

² Information in this context was derived from City of South Pasadena, *Citywide Historic Context Statement*, prepared by Historic Resources Group, December 2014.

³ The lot has since been subdivided between 1312 Meridian Avenue and 1314 El Cerrito Circle. No information was found regarding this change in lot size; the 1951 Sanborn Fire Insurance map of the area indicates that the two parcels were tied and included a former portion of Lot 7 of Tract 6760; the Los Angeles County Assessor indicates that they are now two separate parcels.

HISTORIC RESOURCE ASSESSMENT REPORT**1312 Meridian Avenue
South Pasadena****HISTORIC RESOURCES GROUP**

English Revival houses are simpler than their high-style Tudor Revival counterparts. They are typically two stories in height with steeply-pitched, multi-gable roofs usually clad in wood shakes or composition shingles. The buildings are usually rambling compositions of multiple volumes in a variety of sizes and shapes. Exterior walls are usually veneered in plaster, with brick or stone used only at the chimney or around the primary entrance. Half-timbering, if used at all, is usually limited to a primary front-facing gable if featured. Tall, narrow casement windows, sometimes with leaded diamond-shaped lights, are frequently set in horizontal groupings or projecting bays. Projecting exterior chimneys, usually brick or stone, are frequently used as prominent design features.

Character-defining features of the English Revival style generally include:

- Asymmetrical façade and irregular massing
- Steeply-pitched gable roof with wood shake or composition roofing
- Plaster exterior wall cladding; decorative half-timbering or brick details are usually limited or omitted
- Tall, narrow divided-light windows, usually casement, often grouped horizontally or in bays; may have leaded diamond-shaped lights
- Prominent chimney

Ownership/Occupancy history

The single-family residence and detached garage at 1312 Meridian Avenue were constructed for E.J. Bartosh in 1926. However, no evidence was discovered to suggest that Bartosh ever lived at the property, which appeared to function as a rental property for much of its history. Subsequent residents included William D. Martineau (1928-1930; office manager), Orville M. Saltman (1931; salesman), R.E. Restow (1932-1933; occupation unknown); Alfred Thomas (1934; auditor), Fred D. Kyle (1936-1937; steel construction manager), James H. Keeley (1938; engineer), George Breshau (1940; occupation unknown), and Emile Gerhard (1952-1953; salesman).⁴

⁴ City of South Pasadena directories.

PHYSICAL DESCRIPTION⁵

1312 Meridian Avenue is located on the east side of Meridian Avenue, south of the intersection of Lyndon Street and Meridian Avenue in the City of South Pasadena. The property contains a one-story, single-family residence constructed in 1926 and an associated, detached garage constructed by 1931.⁶ The residence is set back from and above the street on a terraced parcel, surrounded by mature landscaping. The detached garage is situated to the south of the residence, accessed by a concrete driveway. The property is flanked to the north, south, and west by single-family residences.

The one-story English Revival-style single-family residence is roughly rectangular in plan, with complex massing, asymmetrical composition, and a steeply-pitched cross gable roof with tight eaves, clad in composition shingle roofing. There is an interior chimney at the south side of the roof. Exterior walls are clad in cement plaster, with decorative half-timbering at the front-facing gable. There is an arched wood vent at the apex of the gable. Fenestration consists of divided-light wood sash casement and metal frame double-hung windows with simple wood surrounds and projecting sills. Some windows have decorative wood shutters; one has a wrought iron railing. There are oriel windows at the north and south façades. The primary entrance is asymmetrically located on the west (primary) façade, and consists of a single paneled wood door sheltered beneath a projecting flared pent roof with supporting brackets. It is accessed from the driveway by a concrete stair with wrought iron railing.

The garage is a modest example of the English Revival style, complementary to the English Revival style single-family residence on the same parcel. It has a rectangular plan, with a steeply-pitched front-gable roof clad in composition shingles with no eaves. The exterior walls are clad in textured cement plaster. The primary entrance is located on the west façade and consists of a wood garage door with decorative half-timbering. There is no fenestration. There is an arched wood vent at the apex of the gable.

⁵ The site visit was conducted from the public right-of-way; therefore, the physical description is limited to those facades and features that are visible from the street.

⁶ No building permits were found for the garage; it was not included on the original building permit for the single-family residence on the parcel. Approximate date of construction based on the 1931 Sanborn Fire Insurance map of South Pasadena.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue South Pasadena

HISTORIC RESOURCES GROUP

Alterations

In 1929, unspecified alterations were carried out at the property.⁷ In 1944, the patio was enclosed.⁸ In 1961, termite damage was repaired.⁹ In 1981, a 4'8" retaining wall was added to the property.¹⁰ In 2005, a failed garage retaining wall and roof system were replaced, and the fireplace and stairs underwent seismic retrofitting.¹¹ Some windows have been replaced with metal sash double-hung windows.¹²

⁷ City of South Pasadena building permit 6494, December 18, 1929.

⁸ City of South Pasadena building permit 12619, August 1, 1944.

⁹ City of South Pasadena building permit 46668, May 9, 1961.

¹⁰ City of South Pasadena building permit, no number, January 26, 1981.

¹¹ City of South Pasadena building permit 13067, February 7, 2005.

¹² No building permit was found for this alteration, which was noted based on visual observation.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

EVALUATION OF ELIGIBILITY

1312 Meridian Avenue is evaluated according to eligibility criteria for designation as a City of South Pasadena Landmark.

Criterion 1, 2 (community heritage/association with historic events)

According to the eligibility standards in the City of South Pasadena Historic Context Statement, residences constructed from the late 19th through the early 20th centuries represent the earliest building stock in the city and reflect early development and settlement patterns. However, individual properties from later periods of development are typically not eligible for representing a trend or pattern of development, unless they have a proven association with, or were a catalyst for, a type or period of development. Properties eligible for development patterns from later periods (1920s through the post-World War II era) are typically significant as contributors to historic districts.

The 1920s was a period of significant population growth in the city, and single-family residences in period revival styles popular during this period were constructed throughout the city. The residential character established in the early 20th century continued during this era, and there remains a strong collection of residential neighborhoods with examples from this period. These neighborhoods are characterized by a mixture of architectural styles designed by both prominent architectural firms and local builders.

1312 Meridian Avenue is an individual example of 1920s residential development, constructed in one of more than 50 tracts that were subdivided during this period. There was a great deal of speculative real estate investment in the city during this period, and the subject property therefore represents one of hundreds of residences constructed during a time of rapid development in the city. It does not represent a catalyst for development during this period, and it does not represent a proven association with an important development pattern. The property is therefore not eligible for local designation under Criterion 1 and 2.

Criterion 3 (association with important people)

According to the National Park Service, properties may be eligible for an association with the lives of persons significant in our past. Persons “significant in our past” refers to individuals whose activities are demonstrably important within a local, state, or national historic context. A property is not eligible if its only justification for significance is that it was owned or used by a person who is a member of an identifiable profession, class, or social or ethnic group. In addition,

HISTORIC RESOURCE ASSESSMENT REPORT**1312 Meridian Avenue
South Pasadena****HISTORIC RESOURCES GROUP**

the property must be associated with a person's productive life, reflecting the time period when he or she achieved significance.¹³

The single-family residence and detached garage at 1312 Meridian Avenue appeared to function as a rental property for much of its history. After a search of federal census data and newspaper records, no evidence was found to suggest that any former owner or occupant of the property significantly contributed to the culture and development of the city, state or United States. The property is therefore not eligible for local designation under Criterion 3.

Criterion 4, 5, 6, 7 (architectural merit)

According to guidance from the National Park Service, to be eligible under Criterion C/3/3, a building must clearly contain enough of the "distinctive characteristics" to be considered a true representative of the style or type. Buildings eligible for artistic merit must embody the distinctive characteristics or a type, period, or method of construction, and they must possess high artistic value. A building possesses high artistic value if it "so fully articulates a particular concept of design that it expresses an aesthetic ideal. A property is not eligible, however, if it does not express aesthetic ideals or design concepts more fully than other properties of its type."¹⁴ A building with some applied detailing is not eligible if the details are not fully integrated into the overall design.

Due to the high quality of architecture in South Pasadena, and a particularly rich collection of residential architecture from the early 20th century, properties that are individually eligible for their architectural merit must represent excellent or rare examples of their style and have a high degree of historic integrity.

1312 Meridian Avenue was designed in the English Revival style. It exhibits the basic character-defining features of the style, including the steeply-pitched cross-gable roof and plaster exterior wall cladding with decorative half-timbering at the front-facing gable. However, it is a modest example of the style and reflects a standard builder plan that was constructed throughout Southern California in the 1920s. The style is prevalent in South Pasadena, and there are numerous examples that reflect similar characteristics to the subject property; it therefore does not express aesthetic ideals or design concepts more fully than other properties of its type. There are a number of excellent examples of the style in the city, all of which were identified in previous surveys and are listed in the City's Inventory, including: 836 Garfield Avenue (1921);

¹³ U.S. Department of the Interior, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (Washington, D.C.: National Park Service, as revised 2002).

¹⁴ *National Register Bulletin 15*.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue South Pasadena

HISTORIC RESOURCES GROUP

1104 Montrose Avenue (1922); 1634 Spruce Street (1922); 1991 Oak Street (1925); 512 Arroyo Square (1927); and 2019 Ashbourne Drive (1927).

1312 Meridian Avenue does not meet established thresholds for designation for architectural merit in South Pasadena. It is not an excellent or rare example of English Revival architecture in the City, it is not the best remaining architectural type in the neighborhood, and it does not reflect outstanding elements of architectural design. The builder is not a recognized master, and therefore, it is not the work of a person who influenced the heritage of the city. Therefore, 1312 Meridian Avenue is not eligible for local designation under Criterion 4, 5, 6, or 7.

Criterion 8 (component of distinctive area)

The property at 1312 Meridian Avenue is not a part of or related to a square, park or other distinctive area. It is therefore not eligible for local designation under Criterion 8.

Criterion 9 (unique location)

The property at 1312 Meridian Avenue does not have a unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood. It is therefore not eligible for local designation under Criterion 9.

Criterion 10 (information potential)

No evidence has been found to suggest that the property at 1312 Meridian Avenue was associated with any historic or prehistoric activity. The potential of the property of yielding information of archaeological interest is outside the scope of this study.

Criterion 11 (historic district)

1312 Meridian Avenue is not part of a historic district. It is therefore not eligible for local designation under Criterion 11.

CONCLUSION

The residence at 1312 Meridian Avenue was constructed during the 1920s, a period of widespread residential development in South Pasadena; it does not reflect a significant association with 1920s development. It is not an excellent or distinctive example of the English Revival style, and it is not the work of a recognized master. 1312 Meridian Avenue was not one of the more than 2,500 properties identified as potentially eligible during previous historic resources surveys of the city. It was not recommended for inclusion in the South Pasadena Inventory of Cultural Resources during the most recent study, based on the framework in the Citywide Historic Context Statement; eligibility standards for evaluating historic resources in the city; a comprehensive review of all residential properties constructed in the city prior to 1972; and survey methodology for evaluating residential properties based on guidance from the National Park Service and the California Office of Historic Preservation. Therefore, it is not eligible for designation as a City of South Pasadena Landmark.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

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U.S. Department of the Interior. *National Register Bulletin 16: How to Complete the National Register Registration Form*. Washington, D.C.: National Park Service, 1997.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

APPENDIX A: PERMIT HISTORY

DATE	PERMIT NUMBER	WORK PERFORMED	ARCHITECT/CONTRACTOR	OWNER
12/8/1925	5260	5-room stucco residence and garage	R.L. Humphrey	E.J. Bartosh
12/18/1929	6494	Alterations	Owner	Robert Behling
8/1/1944	12619	Enclose patio	Day labor	Donald M. Clarke
5/9/1961	46668	Termite repair	Terminex Company, Inc.	Miles Turpin
1/26/1981		Retaining wall 4'8" high	William Staupfl/Joseph G. Kren	Joseph G. Kren
2/7/2005	13067	Replaced failed garage retaining wall and roof system; underpin fireplace and stairs – earthquake retrofit	CTW Engineering/John V. Hole	Sylvia Ramirez

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP



Primary (west) façade, view facing east.



West and south facades, view facing northeast.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP



West and north facades, view facing southeast.



Garage, view facing east.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP



Contextual view of Meridian Avenue, view facing southeast.



Contextual view of Meridian Avenue, view facing northeast.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue South Pasadena

HISTORIC RESOURCES GROUP



836 Garfield Avenue (1921).



1104 Montrose Avenue (1922).

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP



1634 Spruce Street (1922).



1991 Oak Street (1925).

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue South Pasadena

HISTORIC RESOURCES GROUP



512 Arroyo Square (1927).



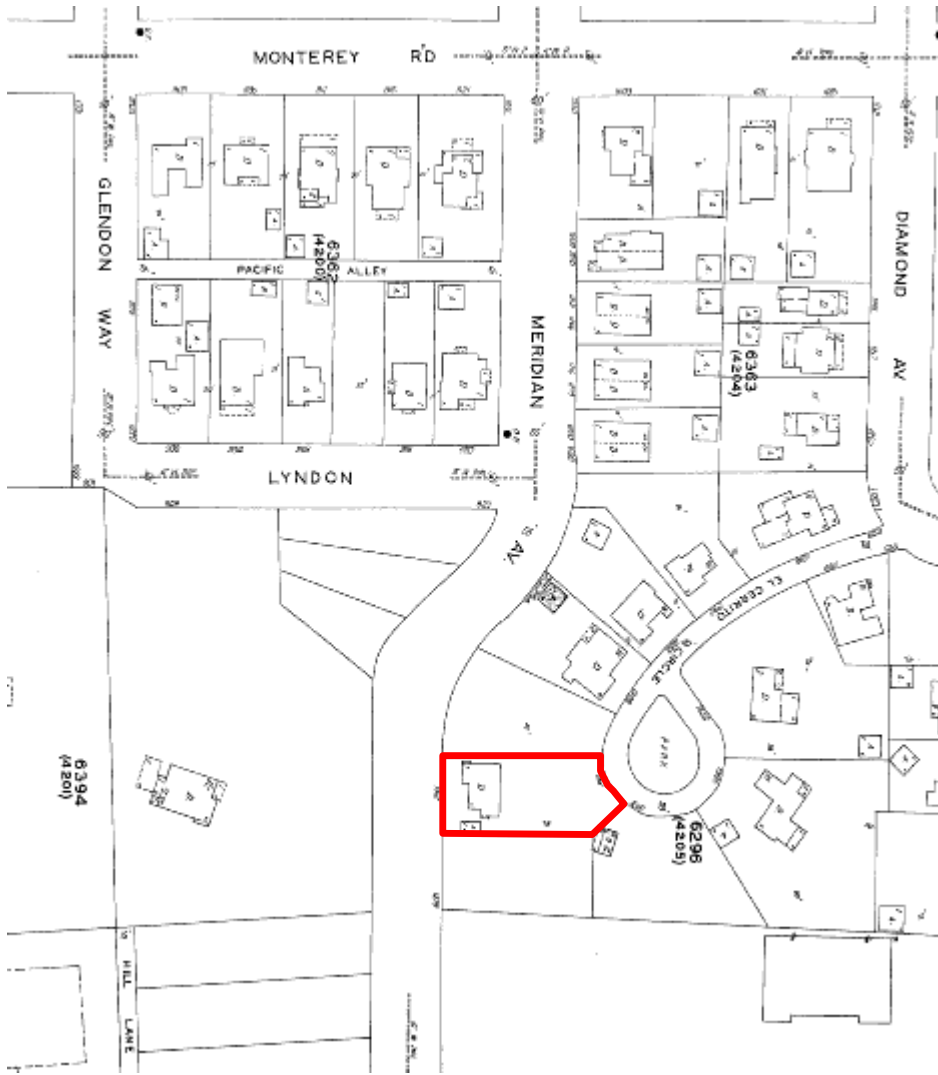
2019 Ashbourne Drive (1927).

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue South Pasadena

HISTORIC RESOURCES GROUP

APPENDIX D: SANBORN FIRE INSURANCE MAPS

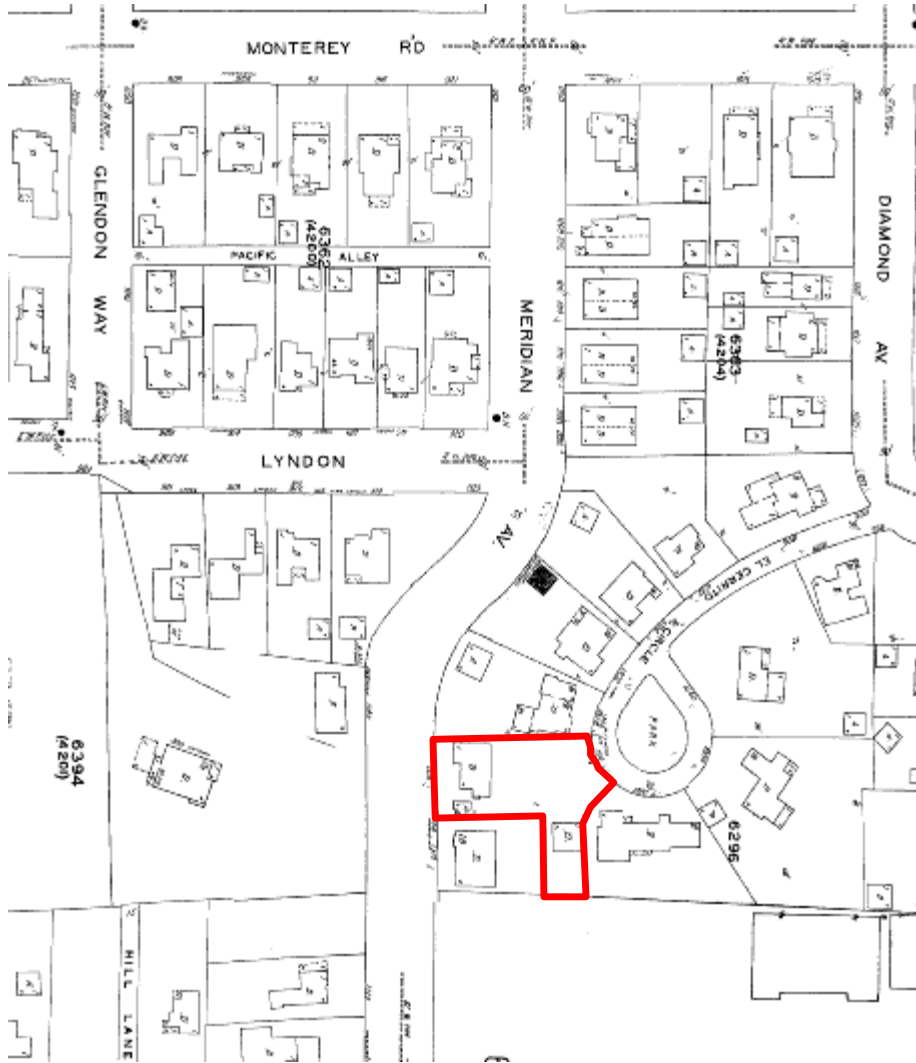


Sanborn Fire Insurance map, 1931. Subject property outlined in red.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP



Sanborn Fire Insurance map, 1951. Subject property outlined in red.

HISTORIC RESOURCE ASSESSMENT REPORT

1312 Meridian Avenue
South Pasadena

HISTORIC RESOURCES GROUP

ATTACHMENT 3
Site Photographs

West side
of
Meridian



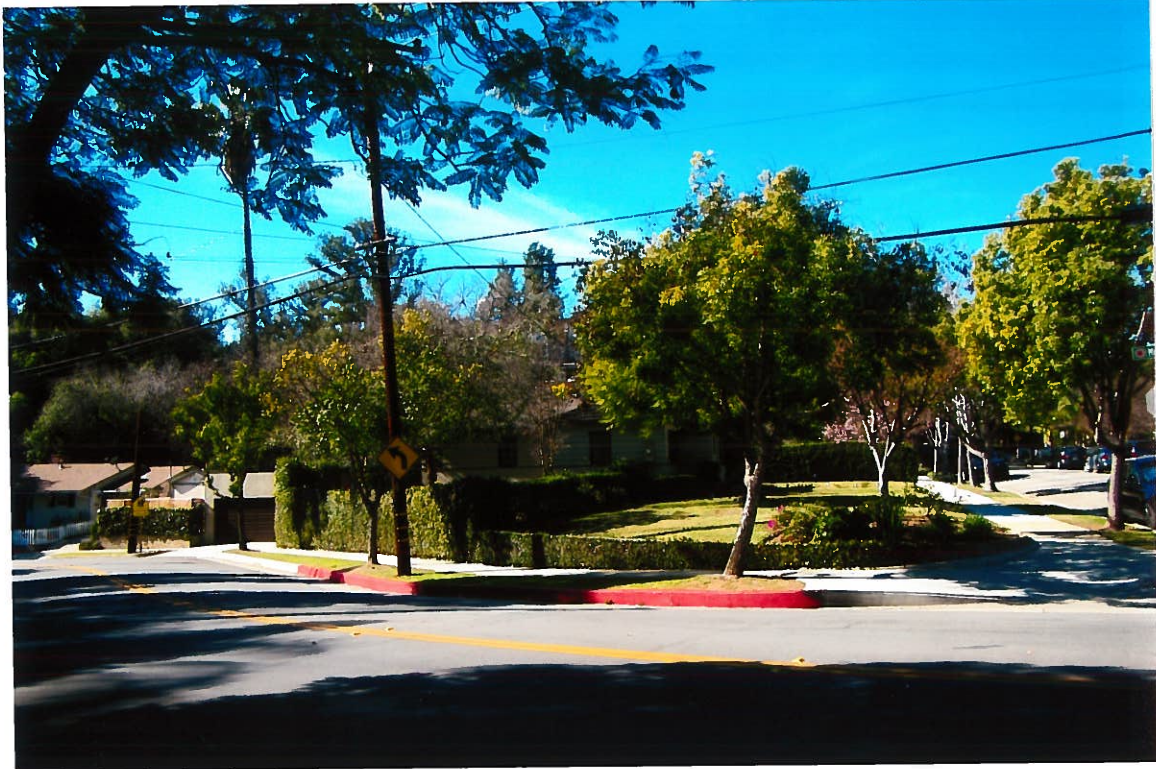
Northwest Corner of Meridian and Lyndon



Facing Lyndon

920 Lyndon St.

2-61



Southwest Corner of Lyndon and Meridian



925 Lydon St.

2-62



1309 Meridian Ave. 2-63



Neighbor across from project
1315 Meridian Ave. 2-64



1321 Meridian Ave.

2-65



1325 Meridian Ave. 2-66



Northwest corner of Bank and Meridian



908 Bank St.

2-67



1401 Meridian Ave.

2-68

Item No. 25
Eastside
of
Meridian



1216 Meridian Ave, 2-69



1220 Meridian Ave. 2-70



Garage of 1232 E 2nd Cir facing Meridian Ave



Back of 1234 El Camino 272 Cir, facing Meridian Av.



Backyard of 1320 El Ce²73Gr.



Direct neighbor on Northeast side of Meridian
Backyard of 1304 E 1st Cer ~~2074~~ Cir. facing Meridian Ave

Project: 1312 Meridón Item No. 2 |



Front of House



1 car driveway
2-75



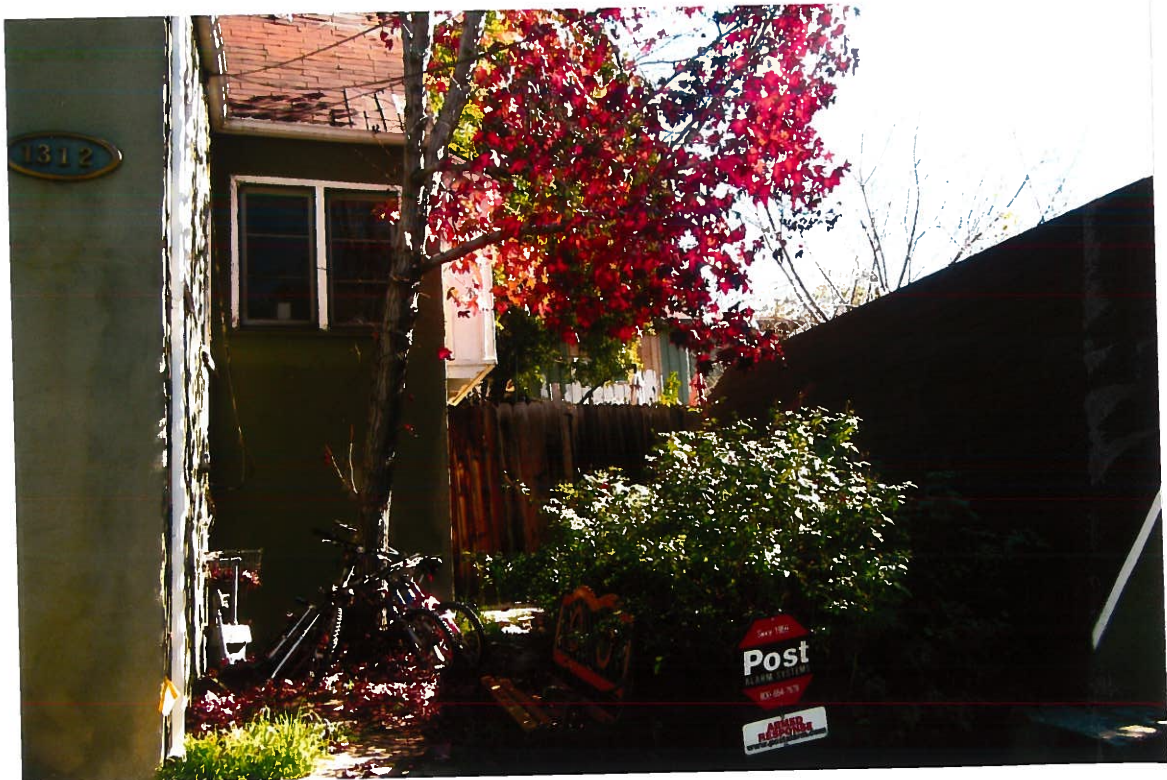
Northbound



Southbound



Front door



Side Gate
2077 side



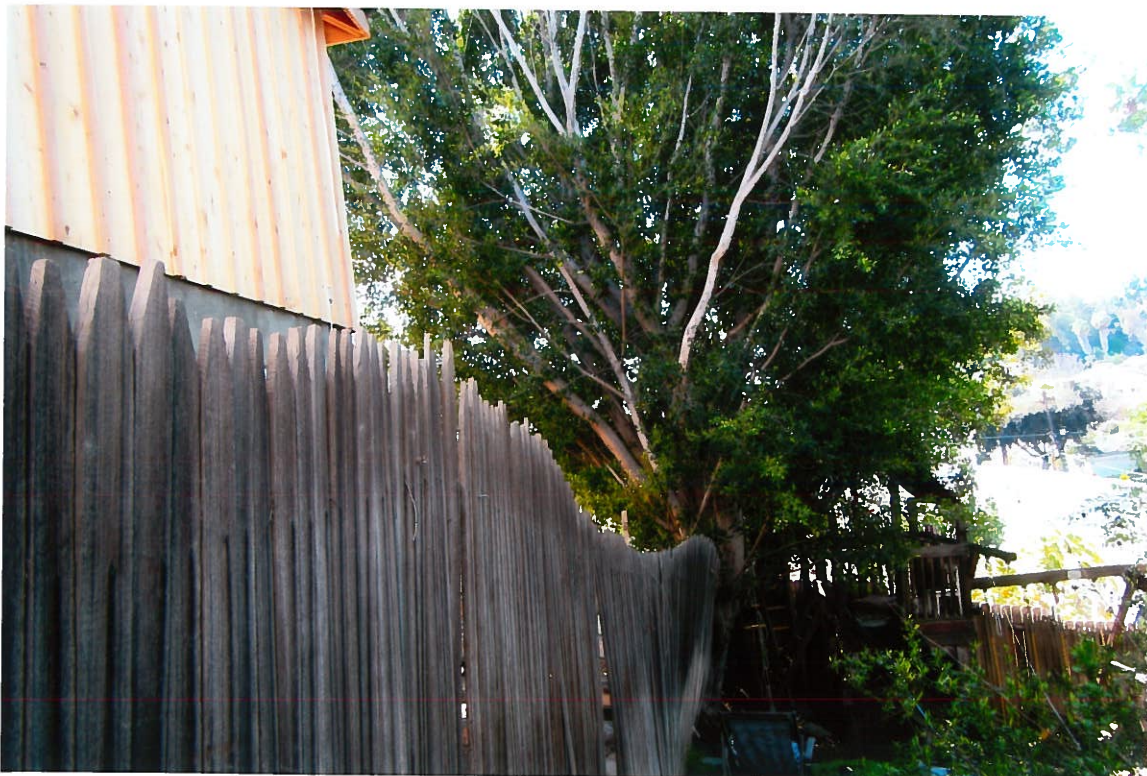
North Neighbor



Northeast Corner of property
2-78



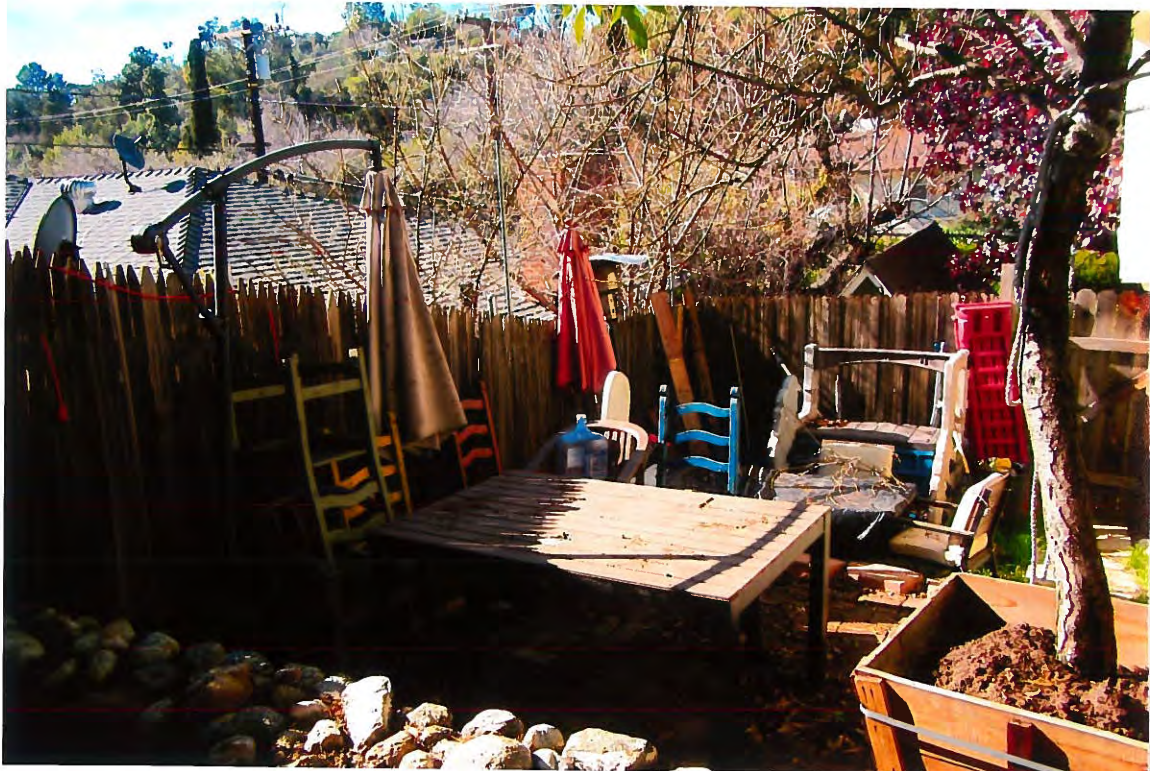
Southeast Corner of property



Southeast corner from top terrace
12179 South



Side of house facing West
Side gate



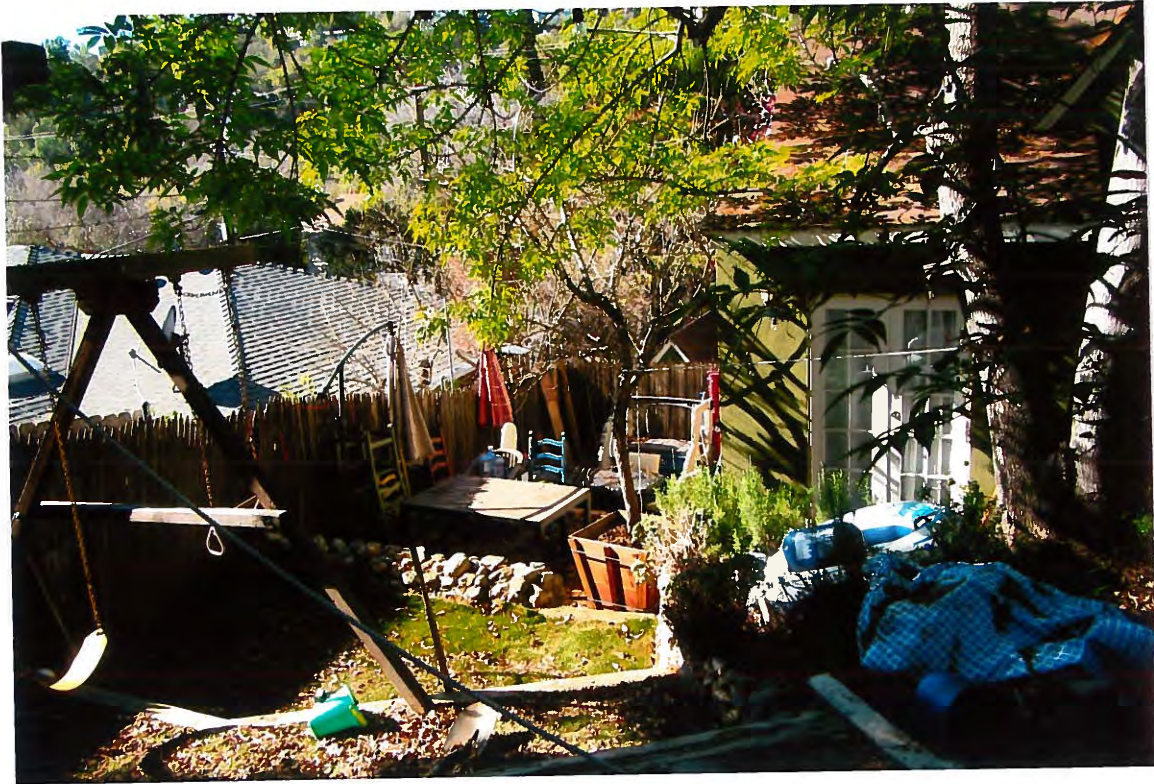
Southwest corner of backyard
2-80 side gate



North facing, outside french doors



West facing from top terrace
of backyard
2-81



Southwest from top terrace
view



South view ²⁻⁸² from top terrace



Northeast corner



West view of property

2-83



Direct neighbor on Southeast ~~2-84~~ 1316 Meridian

↓ 1316 Meridian - neighbor's house



Southbound on Meridian
Entrance to Football field



Entrance to football field

ATTACHMENT 4
Variance Requests



City of South Pasadena Filing Instructions for VARIANCE APPLICATION

I. Application Requirements

To file an application for a Variance, the applicant shall submit the following items to the Planning and Building Department:

Application Form (attached) - This includes a description of the proposed project, a statement of how the request meets the required Variance findings, and an original signature from the property owner and applicant (if not the owner).

Initial Study Questionnaire for review of potential impacts on the environment. See section below and the attached form.

Property Owners and Occupants Map and List - The following must be submitted with application:

- One (1) copy of a map depicting all the properties within the required 300' radius of the project site and a list of the names and addresses of all current owners and occupants of these depicted properties, including all residential and non-residential properties.
- Two sets of envelope labels for the city to mail information to these property owners and occupants (if not owner-occupied).
- A mapping company's affidavit signed and dated. (See attached form.)

Other - Staff will advise applicant regarding additional submittal requirements, if needed (i.e., drawings, photos, maps, technical studies, etc.)

Fees - See Fee Schedule below.

II. Processing Your Application

Pre-Application Review - A preliminary meeting with the Planning Staff is recommended, though not required. The meeting provides you and Staff an opportunity to review the project and the applicable zoning standards, and obtain the appropriate applications form(s) for your request. It also helps planning Staff determine other approvals that might be necessary by other city departments. There is no charge for this service.

Application Submittal - After you have prepared your plans and filled out the application forms, bring them, the required fee, and any other materials advised by the City for processing. You will receive a receipt for your fee payment.

Staff Review of Application to Determine Completeness - Upon submittal, Staff will review your application packet and notify you if additional materials or information are needed. Once your application is deemed "complete", Staff will notify you with the time and date of the Planning Commission hearing. Your application is completed when all relevant materials are adequate for the Planning Commission to make a decision on your request.

Staff Review for Environmental Determination - Staff will review your project for any possible environmental impacts. Staff will notify you if additional information is required to satisfy the environmental review process. If an Environmental Impact Report (EIR) is required, the application will not be complete until a Draft EIR has been prepared. You will then be scheduled for a public hearing at the next available Planning Commission meeting. A deposit is required to obtain a consultant firm to prepare the Draft EIR.

Staff Review of the Variance Request - Staff will examine the application materials, including your plans, justification statement, and other relevant information. Staff will also make one or more site visits to your property.

Decision on the Request - A decision on your request for a Variance will be made by the Planning Commission at a

public hearing. At the hearing, the Planning Commission opens the matter for public comment by interested parties or individuals. Once everyone wishing to speak on the matter has been heard, the Planning Commission will close the public hearing and discuss the application. Their decision could be approval, approval with conditions, continuation for redesign or additional information, or denial.

Appeal - Before the Commission's decision is final, there is a fifteen calendar day appeal period during which the applicant, the City Council, or any person aggrieved by the decision of the Commission, can file a written appeal. An appeal application and current filing fee in the amount of **\$860.00** may be submitted to the City Clerk's office within the fifteen-day appeal period. If no appeal is filed, the Commission's decision is final. If an appeal is filed, the matter is set for a public hearing by the City Council. At the hearing, the Council will either uphold or reverse the Planning Commission's decision, at which time, the decision on the matter is final.

Initial Study Questionnaire

I. Introduction

California law requires that all local governments review any project for its potential effects on the environment. The process for this review is contained in the California Environmental Quality Act (CEQA) and its implementing Guidelines. The first step in this review is the preparation by the City of an Initial Study. The Initial Study is the basis for reviewing your project and determining if additional studies, such as an Environmental Impact Report (EIR), are required. In order to prepare the Initial Study, the City needs information about the project, which you are asked to provide in the attached Initial Study Questionnaire. **Note:** Some projects may be exempt from CEQA. The City will advise you regarding this.

This guide and the attached forms identify the information which you, as applicant, must provide before the City can decide on the possible environmental impacts of your project. You are also encouraged to contact the Planning and Building Department at (626) 403-7220, if you have any questions about your project or the application process.

II. The Initial Study and your project

Typically, an environmental review is conducted as part of the entitlement process for development. However, you may request an environmental review in advance of applying for any permits or approvals. In either case, your project must be sufficiently well defined so that the City can prepare an adequate picture of future environmental conditions.



APPLICATION FOR VARIANCE

Please complete and return the following pages.

1. Property Address for this application: 1312 Meridian Ave.

Assessor's Parcel No.: 5319-029-017

2. Current Zoning Designation of Property: R/S

3. Proposed Project Description (examples: Conduct real estate office in 2,500 sq ft. building; operate preschool for 35 children, single family home, etc.):

The proposal is to demolish all unpermitted construction and an existing 174 square foot detached single car garage and to build a 788 square foot addition with 141 square foot balcony,

And 479 square foot attached garage and install a 442 square foot pool in the backyard.

4. Description of use (Indicate types of activities, hours of operation, number of employees, other relevant information, etc.). Attach additional sheets if necessary:

The use will be a single family residence.

5. Applicant:

Cooper and Karen Donaldson

Name

1312 Meridian Ave. South Pasadena, CA. 91030

Street, City, State, Zip

Home Number

Work Number

(213) 435-8726

Cell Number

Fax No.

E-mail: karentran1@gmail.com

APPLICATION FOR VARIANCE

6. Property Owner(s), if different from applicant:

Name

Street, City, State, Zip

()	()
Home Number	Work Number

()	()
Cell Number	Fax No.

E-mail: _____	

7. **Justification Statement(s)**: Please respond to the conditions and findings listed below. Each one must be met before the application can be deemed complete. Please indicate on the numbered lines below how the proposed project meets each criterion.

Findings for Variance: (See South Pasadena Municipal Code Sec. 36.410.080)

1) There are special circumstances applicable to the subject property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this Zoning Code denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district, or creates an unnecessary and involuntarily created hardship, or unreasonable regulation which makes it impractical to require compliance with the development standards

See attached

2a) The granting of a Variance would be necessary for the preservation and enjoyment of substantial property rights possessed by other property owners in the same vicinity and zoning district, and denied to the subject property owner;

See attached

APPLICATION FOR VARIANCE

2b) The granting of a Variance would be consistent with the General Plan and any applicable specific plan, and the limitations established by the 1963 Initiative;

See attached

2c) The granting of a Variance will not constitute a grant of special privileges inconsistent with the limitations on other properties in the vicinity and in the same zoning district; and

See attached

2d) The granting of a Variance will not be materially detrimental to the public convenience, health, interest, safety, or welfare of the City, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

See attached

3) The proposed project would be compatible with the existing aesthetics, character, and scale of the surrounding neighborhood, and considers impacts on neighboring properties.

See attached

8.

Design Review Justification Statement(s): The City Council approved Resolutions 6979 and 6980 on April 23, 2008, which adopted the citywide commercial and residential design guidelines. The guidelines communicate the City's expectations of high quality design. If the proposed project involves new construction, or design alterations to an existing building or site, the Planning Commission will use the Design Guidelines as a basis for its decision on the proposed project. The guidelines may be found on-line at <http://www.ci.south-pasadena.ca.us/planning/design.html>. Projects located within the Mission Street Specific Plan (MSSP) area are subject to the guidelines contained in this plan. The MSSP available on-line at: http://www.ci.south-pasadena.ca.us/planning/PDFs/Mission_Street_Specific_Plan%20II.pdf

Use the City's Design Guidelines to address each design issue below. Design issues must be addressed in this application in order to be deemed complete. If not applicable, write in "N/A" for a response, or explain why the design standards are not appropriate for the proposed project. Attach additional sheets if necessary.

APPLICATION FOR VARIANCE

Commercial Building

- a. Describe how the proposed project meets the design guidelines for commercial areas (See Commercial Guidelines, pages 8 to 22).

N/A

Residential Building

- b. Describe how the proposed project meets the design guidelines for residential projects (See Residential Guidelines, pages 51 to 58 and 87 to 100)¹.

See attached

Commercial or Residential Building in the Mission Street Specific Plan

- c. Describe how the proposed project meets the design guidelines for new buildings in Districts A and B. (See Mission Street Specific Plan, pages 49 to 62).

N/A

¹ "Spanish," "Mission," and "Mediterranean"-style new homes, multi-family projects, and substantial façade changes are subject to the "Mission and Spanish Colonial Revival" guidelines (as for historic homes), pages 12-13.

APPLICATION FOR VARIANCE

- d. Describe how the proposed project meets the design guidelines for new buildings in District C. (5mi Mission Street Specific Plan, page 63).

N/A

5. All of the following materials are required for a complete application:

- **Application Forms.** Must be signed by the property owner.
- **Written Narrative.** Describe the proposed project in detail. Include the extent of the work, architectural style and exterior materials that will be used.
- **Mailing Labels.** All projects reviewed by the Design Review Board require public notification. Provide two (2) sets of address labels and one (1) photocopy of the labels. Labels must list both the property owners and occupants (if not owner occupied) of every parcel which falls within a 300' radius (100' for signs) of the project site, along with a radius map. The name and address of every property owner/occupant (including applicant) and the local homeowner's association, if any, must be keyed on 8-1/2" x 11" sheets of adhesive labels.
- **Photographs.** One set of (approx) 4"x 6" color photographs showing all existing elevations of the subject property and front elevations of neighboring properties. The photographs should show all street views on both sides of the subject property to adequately portray the appearance of the immediate neighborhood. Photos should be printed on 8 1/2" x 11" sheets (two per page is a good size), and must be labeled with street addresses and referenced to a photo key (a reduced site map). Photo keys do not need to be drawn to scale, but must indicate approximate locations of where the photos were taken and the direction of each shot. Photo keys must also have a north arrow and the subject property address.
- **Plans:** One (1) full set of plans is required at the time the application is submitted. Upon determining the completeness of the application, Staff will notify the applicant, and he/she will be required to submit six (6) full sets of plans to the Planning Department. All site plans must be drawn at a minimum scale of 1/8" and elevations at 1/4". Submitted plans must be folded accordion style to a size of 8 1/2" x 11" or less with the title block showing. The plans shall include, and may not be limited to the following: site plan, demolition plan, elevations, roof plan, window and door schedule and building sections. **A detailed checklist of specific requirements is available for the project architect/project designer's use.**

APPLICATION FOR VARIANCE

I HEREBY CERTIFY that I am the owner of the property which is the subject of this application for a Certificate of Appropriateness, that this application is full and complete, and I have read and understand the City's Design Review Board Guidelines.

Applicant's Signature: 
Signature is required for all applications.

Date: 07/23/2020

10. Owner's Affidavit: As owner(s) of the above described property, I/we affirm that the foregoing statements and answers herein contained and the information submitted are in all respects true and correct to the best of my/our knowledge and belief.

Executed this Twenty-third day of July


Property Owner's Signature (Required)

07/23/2020
Date

1312 Meridian Ave. Variance application:

7-1. Variance for uncovered stairs within the side yard.

The existing property on 1312 Meridian Avenue has a front staircase that leads to a sloped path into the backyard. With the new construction of an attached two car garage, there is a need for a staircase on the south side of the house to access the backyard.

7-2a. Many of the hillside properties on Meridian Ave. have front steps and side steps exceeding the 36 inch uncovered stair height. The proposed stairs would be on the side of the house set back away from the street.

7-2b. As required by the 1983 initiative in the city of South Pasadena, no variance to parking requirements will be needed.

7-2c. The proposal would not grant a special privilege because similar hillside properties on Meridian Ave. have uncovered staircases in the front and side higher than 36 inches and longer than 10 feet as it is necessary for hillside development for example 1730 Meridian Ave., 1734 Meridian Ave. 1800 Meridian Ave., 1103 Beech St., 1934 Meridian Ave. and 1105 Pine Ave. (photos 1-7)

7-2d. The proposed staircase would be on the side of the house obscured by the neighboring hillside slope as well as the neighbors fence and landscaping as seen on Google earth (photos 8 & 9)

7-3. Many hillside properties on Meridian Ave. are developed with long, uncovered staircases for example 1730 Meridian Ave., 1734 Meridian Ave. 1800 Meridian Ave., 1103 Beech., 1934 Meridian Ave. and 1105 Pine St.

8-b. The original stairway needs to be changed because of the owners desire to build a two car attached garage to the new construction. The stairway is then pushed east and south which would necessitate a much longer uncovered stairway for access to the backyard. The scale of the proposed project is similar to the neighboring hillside houses and doesn't exceed what is needed for access to the backyard.

Steps Variance

Photo 1 - 1730 Meridian Ave.



Photo 2 - 1734 Meridian Ave.

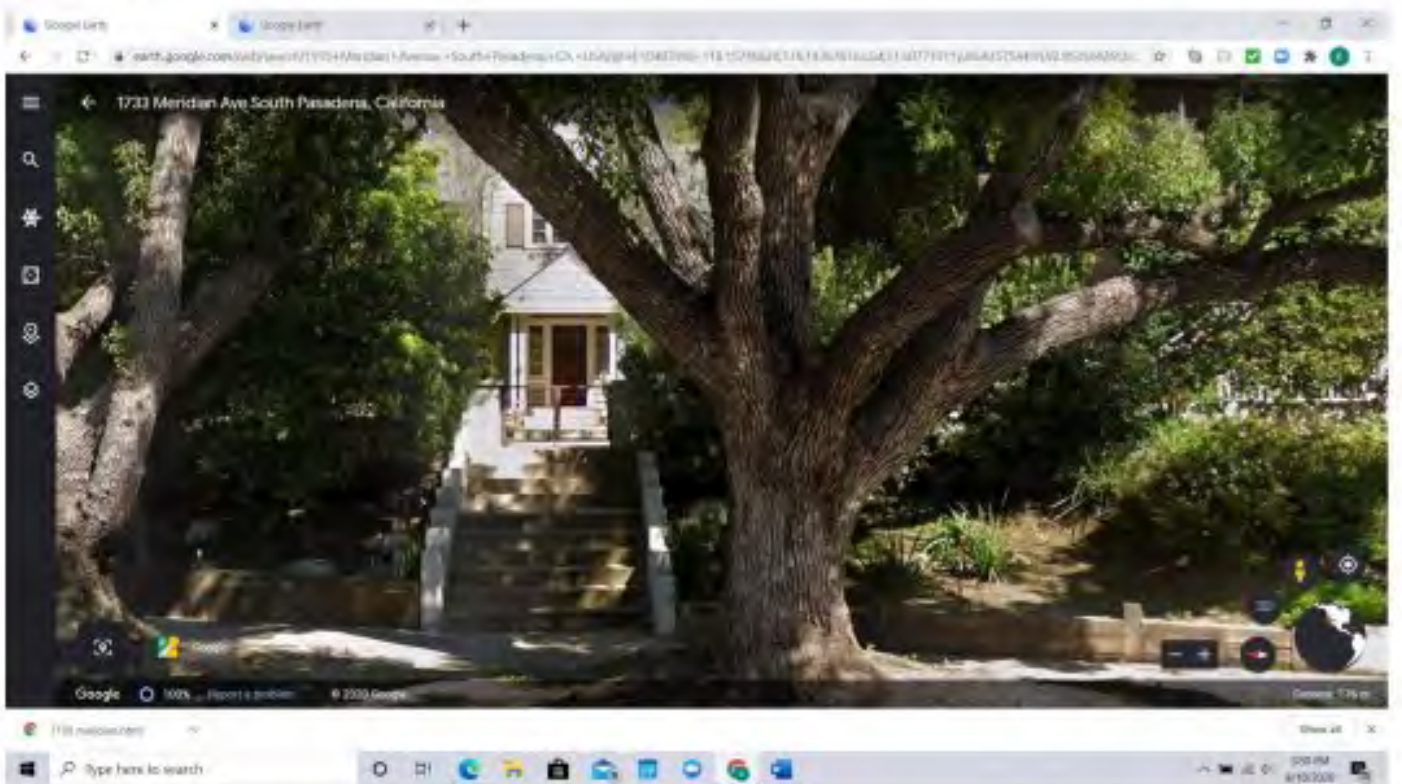


Photo 3 - 1800 Meridian Ave.

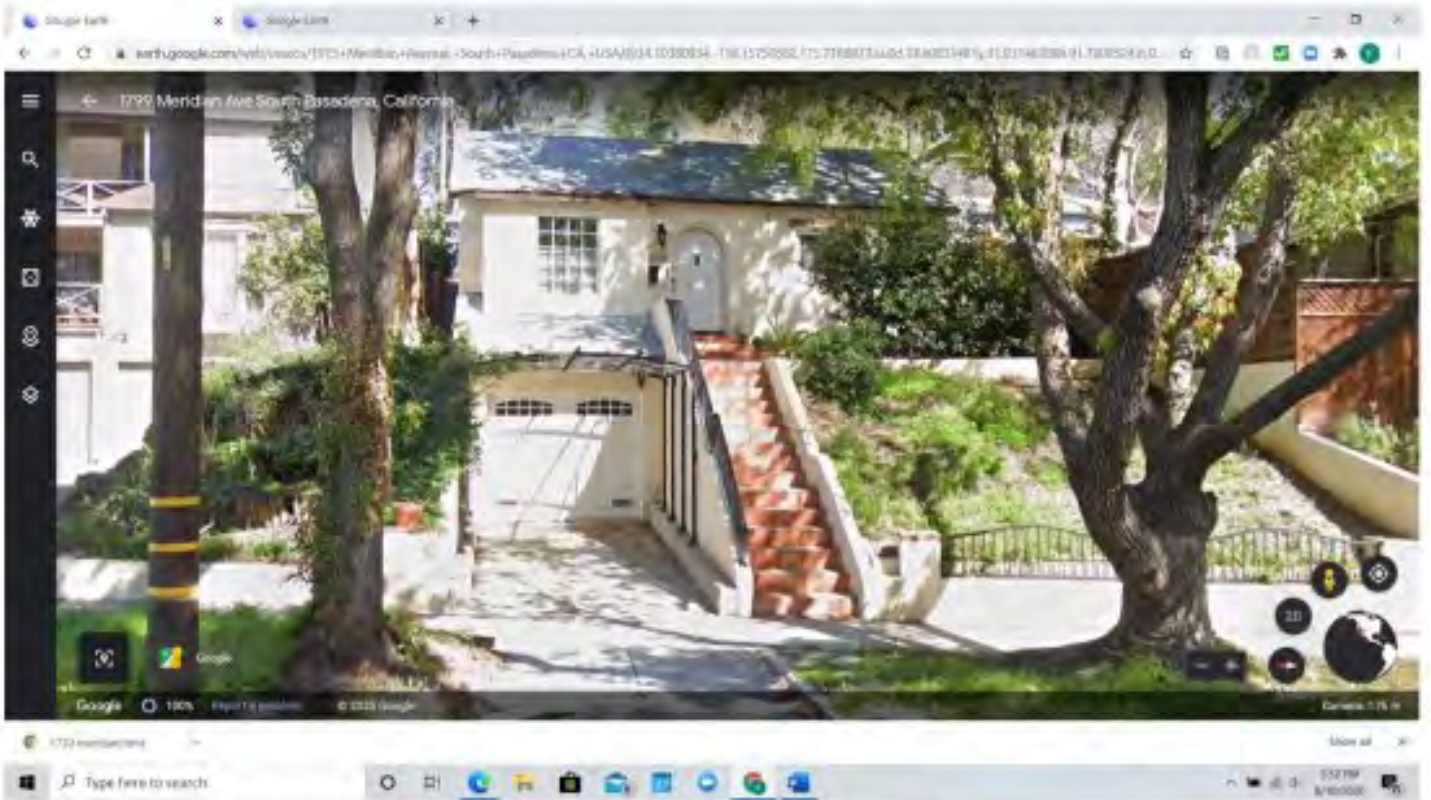


Photo 4 - 1103 Beech St.

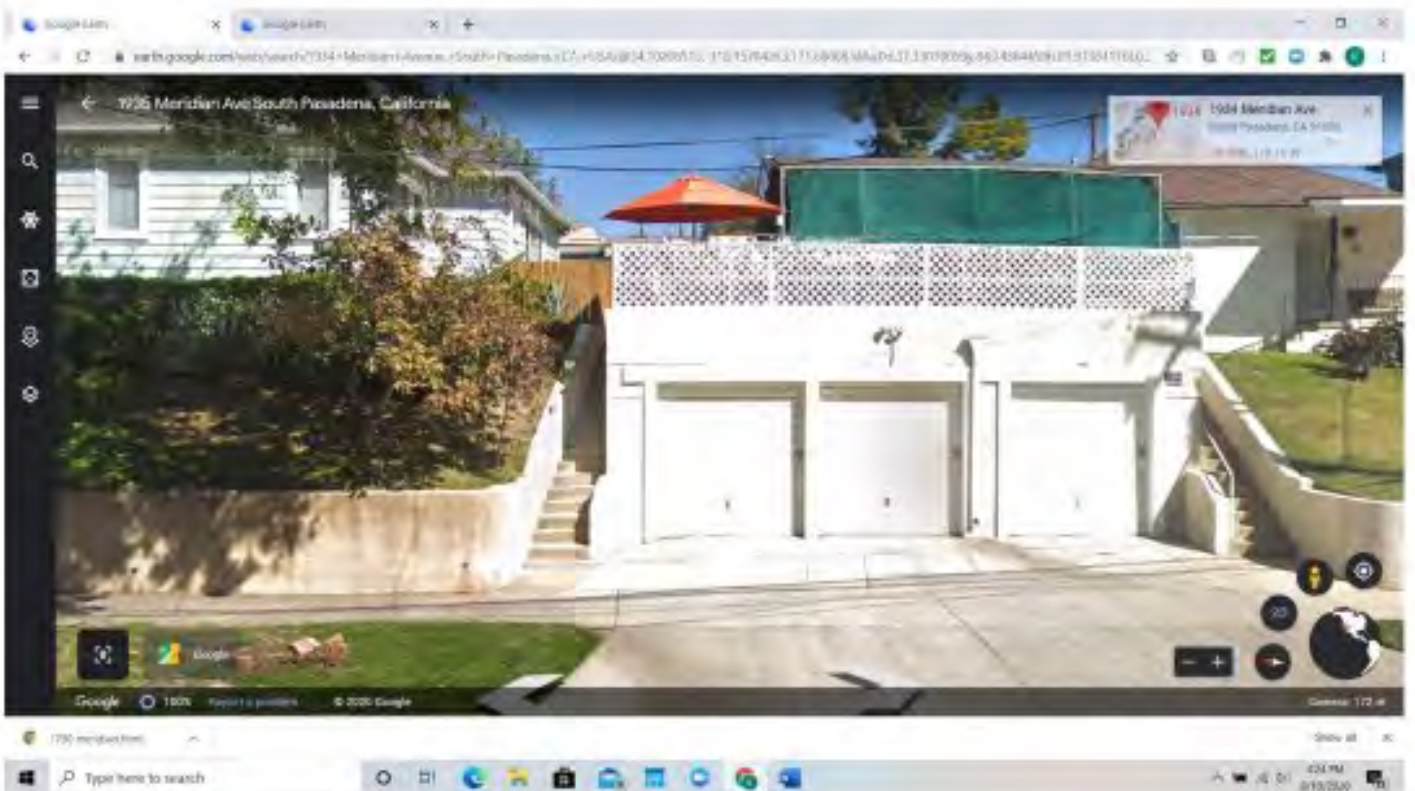


Photo 5 - 1934 Meridian Ave.

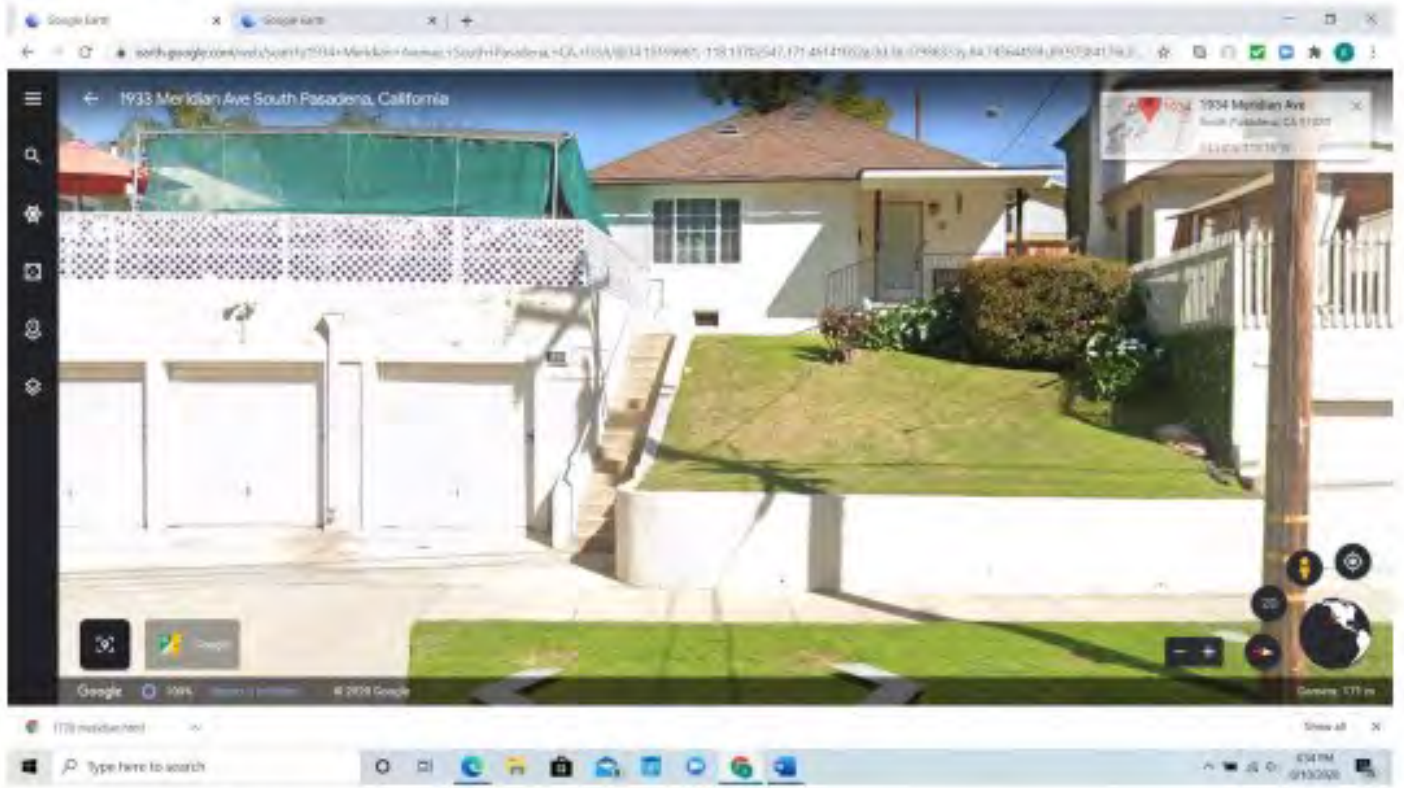


Photo 6 - 1105 Pine St.

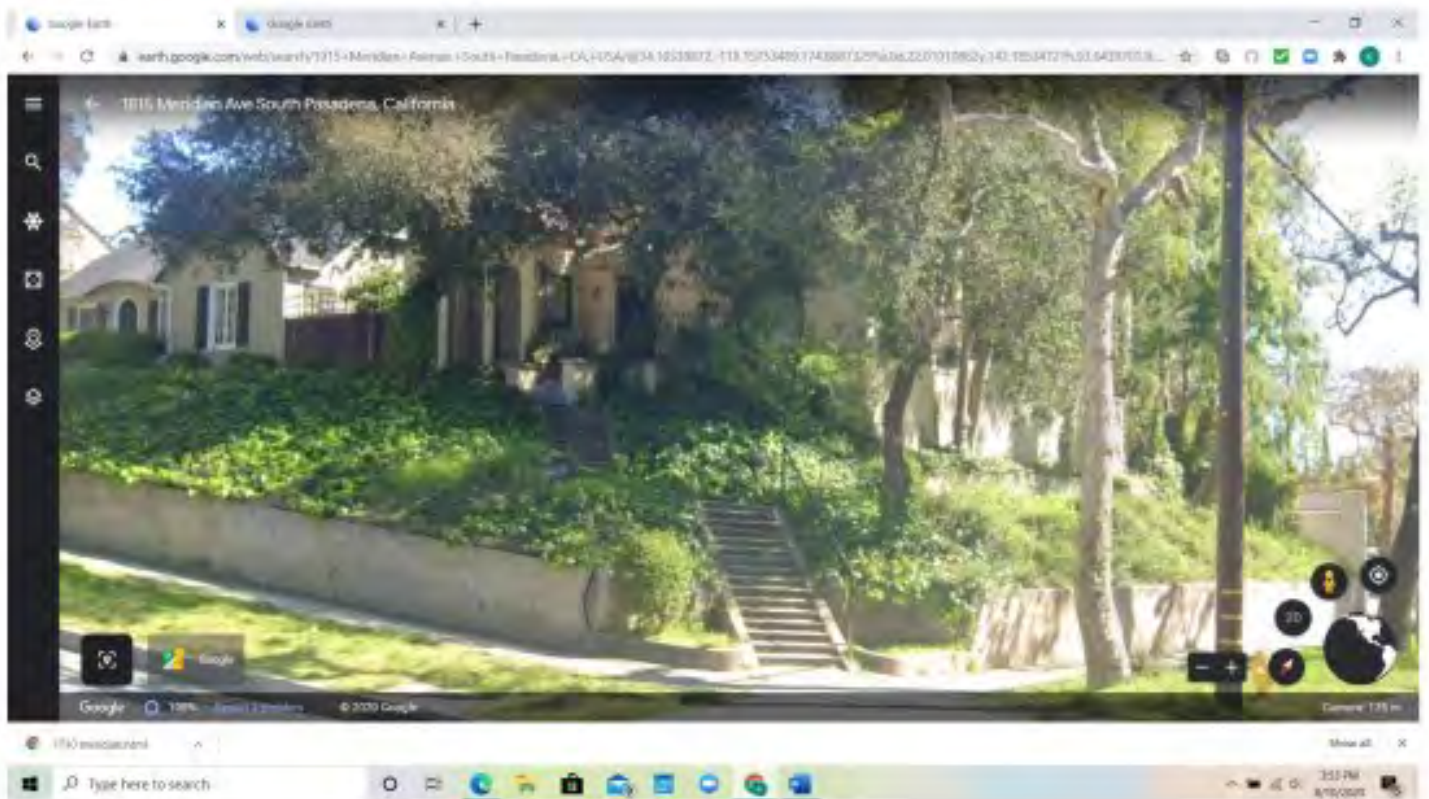


Photo 7 - 1105 Pine St.

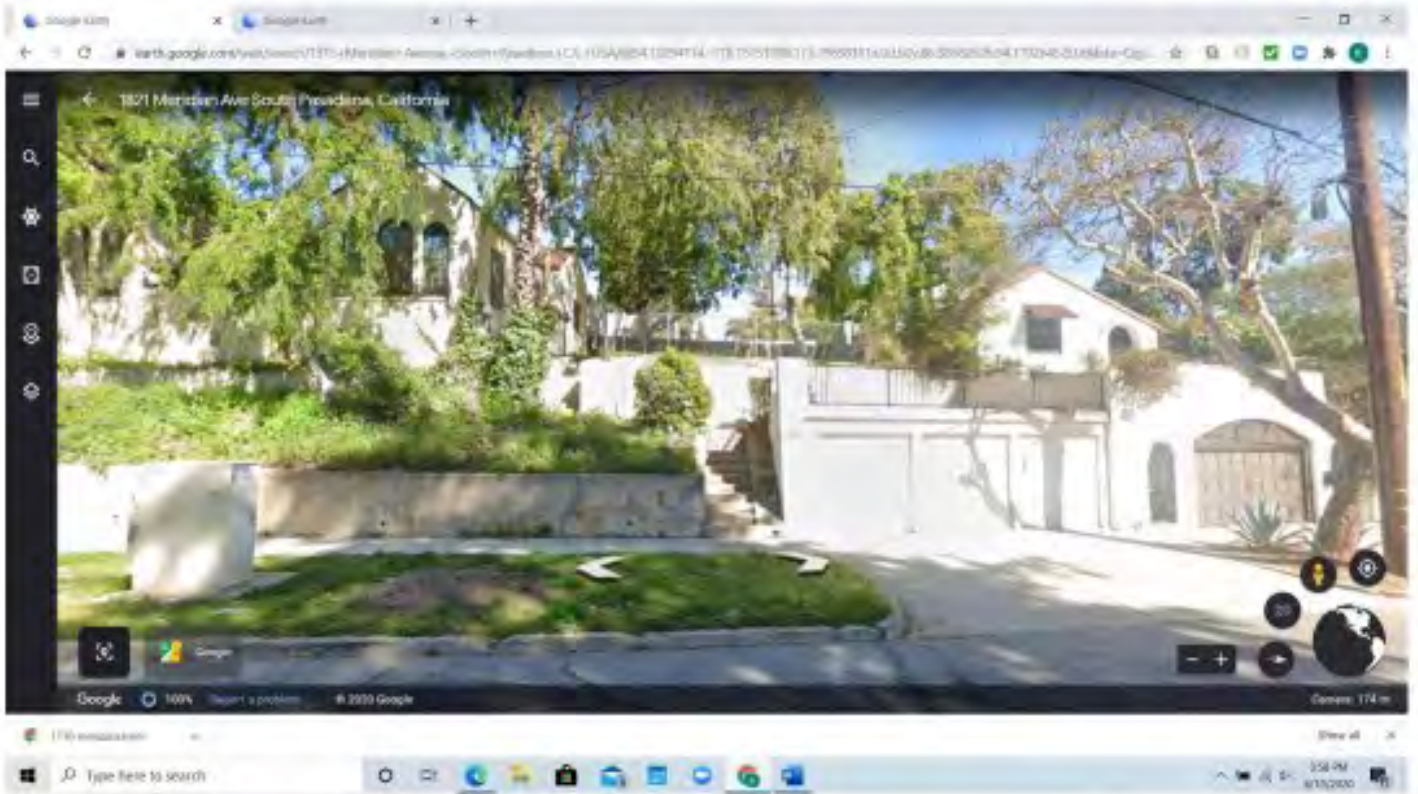


Photo 8 - South side Google Earth birds eye view

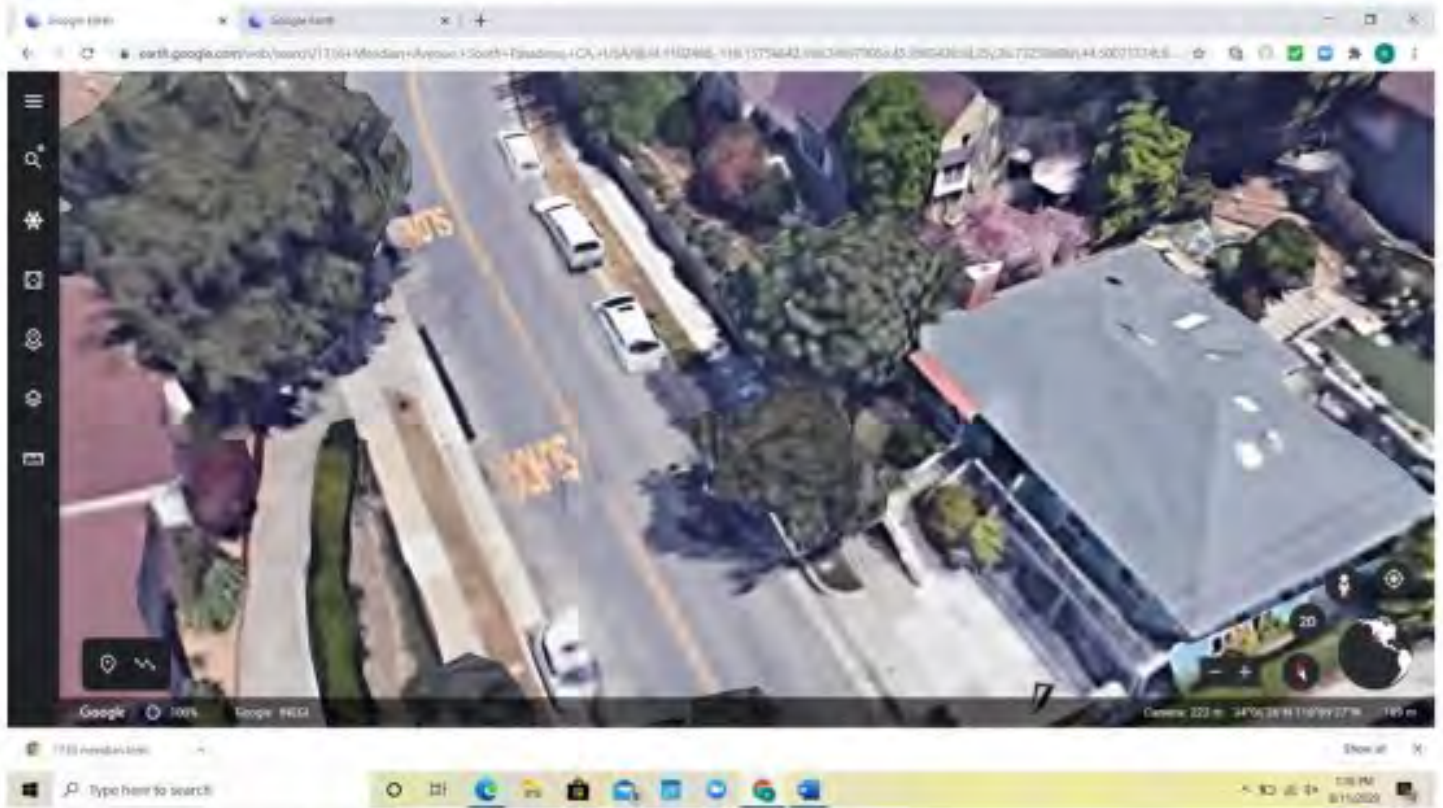


Photo 9 - South side Google earth street view





APPLICATION FOR VARIANCE

Please complete and return the following pages.

1. Property Address for this application: 1312 Mendocino Ave
Assessor's Parcel No.: 5319-029-017

2. Current Zoning Designation of Property: R-5

3. Proposed Project Description (examples: Conduct real estate office in 2,500 sq ft. building; operate preschool for 35 children, single family home, etc.):

The proposal is to demolish all unpermitted construction and an existing 174 SF detached single-car garage and to build a 788 SF addition with 141 SF balcony and 479 SF attached 2-car garage, and install a new 442 SF pool in the backyard

4. Description of use (indicate types of activities, hours of operation, number of employees, other relevant information, etc.). Attach additional sheets if necessary:

The use will be a single-family residence.

5. Applicant:

Cooper and Karen Donaldson
Name

1312 Mendocino Ave
Street, City, State, Zip

(213) 435-8726

Home Number

Work Number

()

Cell Number

()

Fax No.

E-mail: cooper.donaldson@gmail.com
karentran1@gmail.com

APPLICATION FOR VARIANCE

6. Property Owner(s), if different from applicant:

Name

Street, City, State, Zip

() ()

Home Number Work Number

() ()

Cell Number Fax No.

E-mail: _____

7. Justification Statement(s): Please respond to the conditions and findings listed below. Each one must be met before the application can be deemed complete. Please indicate on the numbered lines below how the proposed project meets each criterion.

Findings for Variance. (See South Pasadena Municipal Code Sec. 36.410.080)

1) There are special circumstances applicable to the subject property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this Zoning Code denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district, or creates an unnecessary and involuntarily created hardship, or unreasonable regulation which makes it impractical to require compliance with the development standards

please see attached additional sheet.

2a) The granting of a Variance would be necessary for the preservation and enjoyment of substantial property rights possessed by other property owners in the same vicinity and zoning district, and denied to the subject property owner;

Please see attached additional sheet.

APPLICATION FOR VARIANCE

- 2b) The granting of a Variance would be consistent with the General Plan and any applicable specific plan, and the limitations established by the 1983 initiative;

The granting of this variance would be consistent with the General Plan and any applicable specific plan

- 2c) The granting of a Variance will not constitute a grant of special privileges inconsistent with the limitations on other properties in the vicinity and in the same zoning district; and

There is no special privileges over other properties in the vicinity

- 2d) The granting of a Variance will not be materially detrimental to the public convenience, health, interest, safety, or welfare of the City, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

There will not be any detrimental consequences to the public's convenience, health, interest, safety or welfare of the city

- 3) The proposed project would be compatible with the existing aesthetics, character, and scale of the surrounding neighborhood, and considers impacts on neighboring properties.

The proposal follows all design guidelines established by the city which is compatible with existing aesthetics, character, and scale of the surrounding neighborhood.

8. Design Review Justification Statement(s): The City Council approved Resolutions 6979 and 6980 on April 23, 2008, which adopted the citywide commercial and residential design guidelines. The guidelines communicate the City's expectations of high quality design. If the proposed project involves new construction, or design alterations to an existing building or site, the Planning Commission will use the Design Guidelines as a basis for its decision on the proposed project. The guidelines may be found on-line at <http://www.ci.south-pasadena.ca.us/planning/design.html>. Projects located within the Mission Street Specific Plan (MSSP) area are subject to the guidelines contained in this plan. The MSSP available on-line at: http://www.ci.south-pasadena.ca.us/planning/PDFs/Mission_Street_Specific_Plan%201.pdf

Use the City's Design Guidelines to address each design issue below. Design issues must be addressed in this application in order to be deemed complete. If not applicable, write in "N/A" for a response, or explain why the design standards are not appropriate for the proposed project. Attach additional sheets if necessary.

APPLICATION FOR VARIANCE

Commercial Building

- a. Describe how the proposed project meets the design guidelines for commercial areas (See Commercial Guidelines, pages 8 to 22).

Residential Building

- b. Describe how the proposed project meets the design guidelines for residential projects (See Residential Guidelines, pages 51 to 58 and 87 to 100)¹.

The scale and massing of the proposed project is similar to the existing house. The building's design conforms to the maximum height limit of 28'. The building facade and roof style and materials is similar to the existing home. The proposed exterior wall finish is to be stucco and roof is a composite shingle.

Commercial or Residential Building in the Mission Street Specific Plan

- c. Describe how the proposed project meets the design guidelines for new buildings in Districts A and B. (See Mission Street Specific Plan, pages 49 to 62).

n/a

¹ "Spanish," "Mission," and "Mediterranean"-style new homes, multi-family projects, and substantial facade changes are subject to the "Mission and Spanish Colonial Revival" guidelines (as for historic homes), pages 12-13.

APPLICATION FOR VARIANCE

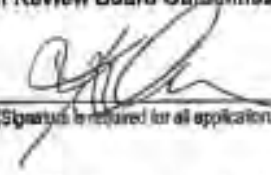
- d. Describe how the proposed project meets the design guidelines for new buildings in District C. (See Mission Street Specific Plan, page 63).

Wa

9. All of the following materials are required for a complete application:
- **Application Forms.** Must be signed by the property owner.
 - **Written Narrative.** Describe the proposed project in detail. Include the extent of the work, architectural style and exterior materials that will be used
 - + **Mailing Labels.** All projects reviewed by the Design Review Board require public notification. Provide two (2) sets of address labels and one (1) photocopy of the labels. Labels must list both the property owners and occupants (if not owner occupied) of every parcel which falls within a 300' radius (100' for signs) of the project site, along with a radius map. The name and address of every property owner/occupant (including applicant) and the local homeowner's association, if any, must be keyed on 8-1/2" x 11" sheets of adhesive labels.
 - + **Photographs.** One set of (approx) 4"x 6" color photographs showing all existing elevations of the subject property and front elevations of neighboring properties. The photographs should show all street views on both sides of the subject property to adequately portray the appearance of the immediate neighborhood. Photos should be printed on 8 1/2" x 11" sheets (two per page is a good size), and must be labeled with street addresses and referenced to a photo key (a reduced site map). Photo keys do not need to be drawn to scale, but must indicate approximate locations of where the photos were taken and the direction of each shot. Photo keys must also have a north arrow and the subject property address.
 - **Plans:** One (1) full set of plans is required at the time the application is submitted. Upon determining the completeness of the application, Staff will notify the applicant, and he/she will be required to submit six (6) full sets of plans to the Planning Department. All site plans must be drawn at a minimum scale of 1/8" and elevations at 1/4". Submitted plans must be folded accordion style to a size of 8 1/2" x 11" or less with the title block showing. The plans shall include, and may not be limited to the following: site plan, demolition plan, elevations, roof plan, window and door schedule, and building sections. A detailed checklist of specific requirements is available for the project architect/project designer's use.

APPLICATION FOR VARIANCE

I HEREBY CERTIFY that I am the owner of the property which is the subject of this application for a Certificate of Appropriateness, that this application is full and complete, and I have read and understand the City's Design Review Board Guidelines.

Applicant's Signature:  Date: 12/18/19
(Signature required for all applications)

10. Owner's Affidavit: As owner(s) of the above described property, I/we affirm that the foregoing statements and answers herein contained and the information submitted are in all respects true and correct to the best of my/our knowledge and belief.

Executed this _____ day of _____

 12/18/19
Property Owner's Signature (Required) Date

Wednesday, May 20, 2020

1312 Meridian Adjustments to the Variance application:

7-1. The current driveway, which has not been updated since 1926, is too steep in grade to park a car. If we parked a car in driveway, there would be no walkway to get from sidewalk to front door. Our neighbors have a clear pathway to their front door from the sidewalk. Backing out of this steep and narrow driveway is unsafe as it requires blocking lanes from both directions on Meridian Ave. The adjacent neighbors have a functional driveway that doesn't impede traffic on this artery street that move heavy, congested, cross-town traffic. The new plans will add a 2 car driveway and give us access to front door from sidewalk. We currently have 6 not useable terraces in the backyard and we want to change that to 4 functional terraces. We are not changing the slope of the backyard. The multi-terraced is not kid-friendly for our 3 children and are dangerous fall hazards as some of the drops are 5 feet high.

7-2a. By reducing the percentage of the site to be remediate to its natural slope and vegetation this will allow us to develop the lot to enhance the quality of life on the property. Along with proposed addition and new pool, the landscaping will be completely redone to provide more privacy between the neighbors and the homeowners. The improvements do not block any views of the adjacent homes since all the addition will be below the sight lines. The new fenestrations do not look onto neighboring windows. The variance will not change any of the neighbors' usage of their properties.

Wednesday, May 20, 2020

7-2b. As required by the 1983 initiative in the city of South Pasadena, no variance to parking requirements shall be granted that reduces parking requirements by more than 5%. The proposed variance would allow grading of a street side hill to create a low incline for a driveway in addition to two car covered parking.

7-2c. It's small lot size creates several challenges to development of the land used permitted in its residential zone. The proposal would not grant a special privilege because a majority of the properties in the vicinity are developed with on-site covered parking. The improvements in the backyard are consistent with the limitations of other hillside designs in the same zoning district. Because of the historical difficulty of drainage in the uphill portion of the property, many structural improvements were made around the time of the construction of the house to assist in drainage. (Attached)

The portion of the backyard that has structural walls to assist in drainage should be kept. The portion of the hill that has been affected by the drainage swale and retaining walls is less than a 20% slope. (Attached)

The portion of the property that has decorative garden walls can be remediated to the original shape of the hill. Contour grading will be utilized to be consistent with the original design of the natural appearing slope.

Code 36.340.050- F. A minimum of 25 percent of the lot area plus the percentage figure of the average slope Will be remediated to its natural state in terms of slope and vegetation.

Wednesday, May 20, 2020

Code 37.340.040-I. Vegetation will be planted in front of the garden walls in the front of the house to break up the length of walls and to screen them from view.

36.340.50-D The deck attached to the house is at the same grade as the backyard.

37.340.50-E. The new ramp to the new garage will not have a grade steeper than 5% within 10 feet of the garage or carport entry. The finish grade of driveways will not exceed an average of 15%.

7-2d. The grading of the street facing slope of the hill is not detrimental to the neighborhood and the general welfare of the city, particularly since the proposed construction offers opportunities for the residents to park their cars in covered parking, opening up more off street parking that would better serve the neighborhood. Widening the apron of the driveway will allow the residents to back out safely, not impeding traffic on Meridian.

7-3. The grading on the street side hill would be consistent with the neighboring houses on both sides which have a gradual incline for the driveway and two car covered parking. The character and scale of the houses on Meridian Avenue ranges from Ranch, Mid-Century to Spanish style homes. please refer to pictures submitted of surrounding houses. The cultural heritage commission has ruled at the property on 1312 Meridian Ave. has no historic significance, however the applicant intend to keep the same aesthetics and material of the English revival sound in the report. The same materials like roof, stucco and window style.

Wednesday, May 20, 2020

8-b. The scale and massing of the proposed project is similar to the existing house. The buildings design conforms to the maximum height limit of 28 feet. The building for sod and roof style and materials is similar to the existing home. The proposed exterior wall finish is to be stucco and the roof is a composite shingle.



Letter of Visual Inspection
For Single Residential House Located at
1312 Meridian Ave, South Pasadena, CA 91030



February 18, 2020

Dear Karen,

Per your request, our firm has performed visual inspection on the swale, retaining walls, and finished grade slope in the backyard of the property located at 1312 Meridian Ave., South Pasadena, CA 91030. This report is a summary of results of this inspection.

Three major structural elements were inspected, including a lower retaining wall, a swale next to the top of the low retaining wall, and a high retaining wall. The low retaining wall is shown in green color in Figure 1b) & Figure 2b). This wall is approximately 4 feet away from the rear entrance door of the house. This is a major retaining wall that retain approximately 4 feet of retained soil. Without this major structural retaining wall, there will be no possible way to have a rear entrance door. Thus, this wall is believed to be the original construction, mostly built at the same period of the house construction.



a) swale & retaining wall b) low and high retaining walls c) high retaining wall

Figure 1 – backyard view

The swale is located right next to the top of the low retaining wall and the rear window, as shown in Figure 1a) and Figure 2a). Swale is a typical construction at the top of a retaining wall. It is a necessary element, and it serves multiple purposes: 1) the swale collects running water and direct it away from major structures such as the house and windows; 2) it helps minimizing the water saturating into the back of the retaining wall and thus help minimizing the hydraulic pressure or force against the retaining wall. As a result, the swale is a necessary structural element, and was built after the initial house construction to relieve the stress on the lower wall.



a) swale & high retaining wall



b) low retaining wall



c) high retaining wall

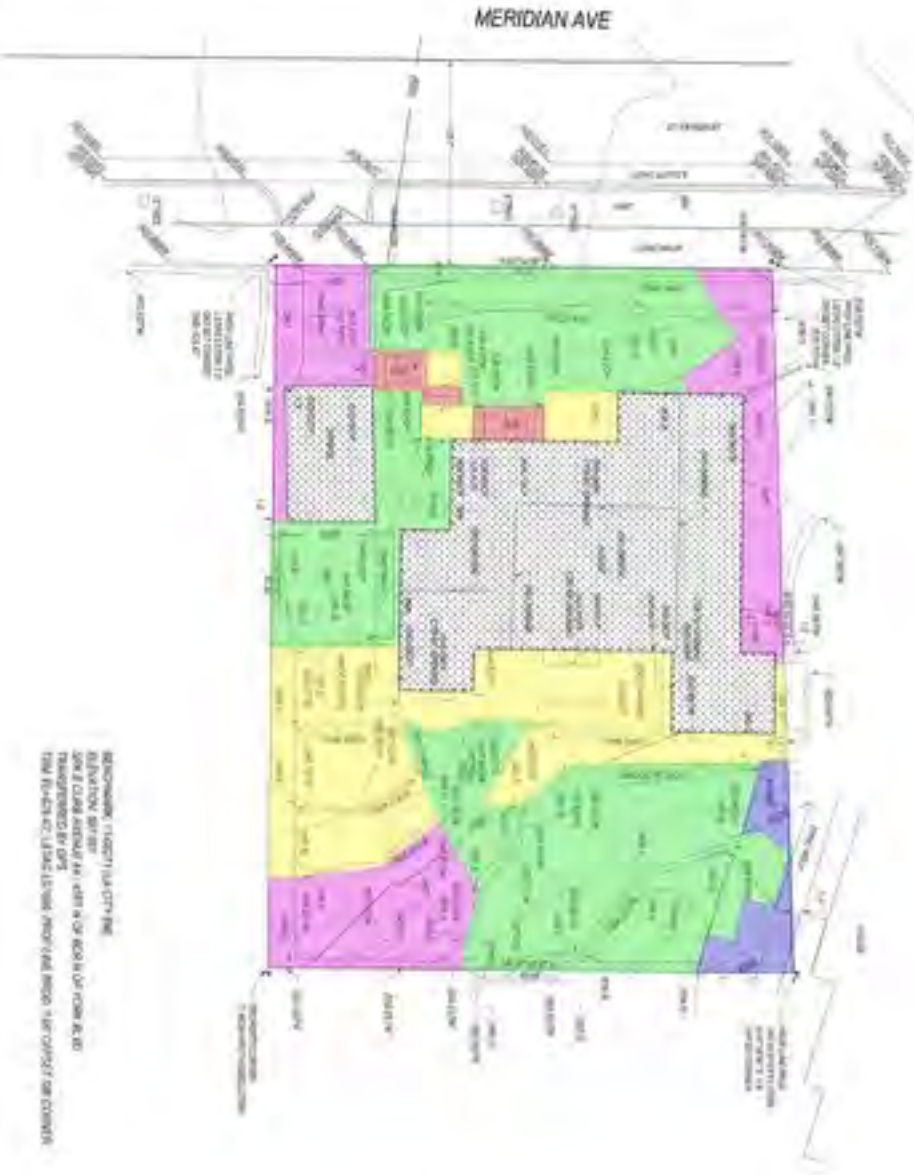
Figure 2 – closer views on swale & retaining walls

The low retaining wall is shown in grayish color in Figure 1c) & Figure 2c). This is a major retaining wall retaining approximately 3 feet of retained soil. With this structural retaining wall, it made possible for flat zone next to the rear window, and possible to build the swale such that running water will not gust into the rear windows. Thus, this high retaining wall is also a major structural retaining wall and believed to be needed improvement built sometime after the initial construction of the lower wall.

Summary & Suggestions:

In summary, we have visually investigated the retaining walls and a swale at the backyard of the subject property. Both retaining walls are major structural retaining walls and are required to provide safety protection for the house. The low retaining wall is believed to be an original construction with the house. The high retaining wall is believed to be built after the initial construction of the house. The swale is a necessary element to direct slope running water away from the rear windows and helps to protect the low retaining wall. The finished grade slope in the backyard, between the top of the low retaining wall and the rear property line, is less than 30%.

SLOPE ANALYSIS MAP



REMARKS: 1. SLOPE ANALYSIS MAP
 2. ELEVATION SET BY
 3. ZONE & CLASSIFICATION SET BY
 4. TRANSPORTATION BY GPS
 5. THIS MAP IS NOT A SUBSTITUTE FOR A PROFESSIONAL ENGINEER'S DESIGN OR CONSULTATION.

LEGEND

SLOPE CLASSIFICATION	SLOPE PERCENTAGE	COLOR
FLAT	0%	White
VERY SHALLOW	0% - 2%	Light Green
SHALLOW	2% - 5%	Green
MODERATE	5% - 10%	Yellow
STEEP	10% - 15%	Orange
VERY STEEP	15% - 20%	Red
EXTREMELY STEEP	20% - 30%	Dark Red
VERTICAL	> 30%	Black

PROPORTION: 1" = 100' (1:12000)
 PROJECT: 2023-01-10
 DRAWN BY: [Name]
 CHECKED BY: [Name]



Map Prepared by: [Name]
 License No. [Number]
 Date: [Date]

CITY OF SOUTH PASADENA
RECEIVED
JAN 28 2019

CITY OF SOUTH PASADENA
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

1414 Mission Street - South Pasadena - CA 91030 - 626-403-7240

PRIVATE PROPERTY TREE REMOVAL/REPLACEMENT PERMIT APPLICATION

Please submit site plan if more than three (3) trees are involved.

PERMIT FEES: Inspection: \$154.50 plus PERMIT NO. _____
Permit: \$121.50

JOB SITE: 1312 Meridian Ave. South P

PROPERTY OWNER'S NAME(S): Karen & Cooper Donaldson PHONE: 213-435-8726

ADDRESS: 1312 Meridian Ave.

CONTRACTOR'S NAME: Earth Renovation

ADDRESS: 2552 Santiago St. PHONE: (714) 904-4114
Santa Ana, CA 92706

CITY BUSINESS LICENSE NO: _____

**Trees 4" in diameter or greater are Mature Trees - Include all conditions warranting the removal
Please Submit plan if more than three (3) trees are involved**

(1) Type/Variety: Cedar Size of Tree: 13.06 diameter, no canopy

Location of Tree: backyard
(specific location on property, i.e. front/side/back yard)

List Reasons for requesting this tree removal: dead
(include all conditions warranting the proposed work.)

(2) Type/Variety: Liquid amber Size of Tree: 8.44 diameter 18 feet canopy

Location of Tree: front
(specific location on property, i.e. front/side/back yard)

List Reasons for requesting this tree removal: City is requiring us to bring house
(include all conditions warranting the proposed work.)

up to code by putting in 2 car covered parking with 1 guest parking
this tree is where the new garage would go,

(3) Type/Variety: Willow Size of Tree: 14 inches wide

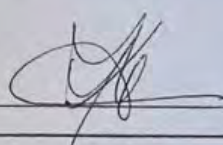
Location of Tree: Save → Center of backyard
(specific location on property, i.e. front/side/back yard)

List Reasons for requesting this tree removal: _____
(include all conditions warranting the proposed work.)

PRIVATE PROPERTY TREE REMOVAL/REPLACEMENT PERMIT CONDITIONS:

- (1) Conditions must exist to warrant the removal of any mature tree. Healthy trees which are not causing a hardship on the property owner shall not be approved for removal.
- (2) Tree removals will include complete removal of the stump and backfill of the hole.
- (3) For every tree approved for removal, multiple replacement trees must be planted anywhere on the owner's property or on City's property upon City's approval. For replacement tree(s) planted in the parkway, root barriers will be required to control the root system. The size of the replacement tree(s) is (are) based on the diameter of the trunk and they type/variety of the approved tree(s) for removal. The replacement three(s) must be a minimum of 24" box size or as specified by the Engineering Division.
- (4) Replacement trees must be planted within 90 days of the **issuance date on the permit.**
- (5) Prior to planting the replacement trees, a final inspection must be conducted by the City inspector to verify conformance with tree replacement requirements. Please call to schedule an appointment at (626) 403-7370, Monday through Friday, 7:30 a.m. to 4:00 p.m.
- (6) **A 100-foot radius map and mailing labels shall be required to provide public notice of the tree removal. Residents within a 100-foot radius of the property shall be given 15-days to comment on the tree removal prior to issuance of the permit.**

APPLICANT SIGNATURE: _____



DATE: 12/17/18

City use only

1. Recommended for Approval or Denial

Type/Variety Inspected: COAST REDWOOD

Size of Tree: 13" Replacement Tree Size: _____ Qty: 1 Due by: _____

Comments: DEAD TREE no

Inspected By: P. Nijja ISA 2355A Date Inspected: JAN 31 2019

2. Recommended for Approval or Denial

Type/Variety Inspected: SWEET GUM

Size of Tree: 8" Replacement Tree Size: # Qty: 1 Due by: _____

Comments: SIGNIFICANT LEAK; ROOTS DAMAGING UTILITY; SPACE CONSTRUCTION POTENTIAL HAZARD

Inspected By: P. Nijja ISA 2355A Date Inspected: JAN 31 2019

3. Recommended for Approval or Denial

Type/Variety Inspected: SHAMEL ASH

Size of Tree: 12" / 22" Replacement Tree Size: _____ Qty: 2 Due by: _____

Comments: DOUBLE STEMMED COMPROMISED TRUNK (GATING A WALL) ALL ROOTS IN FUTURE EXPANSION.

Inspected By: P. Nijja ISA 2355A Date Inspected: JAN 31 2019

HIGH RISK OF FAILURE DUE TO GROWTH SPACE & LACK OF SUPPORT ROOTS.



City of South Pasadena Filing Instructions for VARIANCE APPLICATION

I. Application Requirements

To file an application for a Variance, the applicant shall submit the following items to the Planning and Building Department:

Application Form (attached) - This includes a description of the proposed project, a statement of how the request meets the required Variance findings, and an original signature from the property owner and applicant (if not the owner).

Initial Study Questionnaire for review of potential impacts on the environment. See section below and the attached form.

Property Owners and Occupants Map and List - The following must be submitted with application:

- One (1) copy of a map depicting all the properties within the required 300' radius of the project site and a list of the names and addresses of all current owners and occupants of these depicted properties, including all residential and non-residential properties.
- Two sets of envelope labels for the city to mail information to these property owners and occupants (if not owner-occupied).
- A mapping company's affidavit signed and dated. (See attached form.)

Other - Staff will advise applicant regarding additional submittal requirements, if needed (i.e., drawings, photos, maps, technical studies, etc.)

Fees - See Fee Schedule below.

II. Processing Your Application

Pre-Application Review - A preliminary meeting with the Planning Staff is recommended, though not required. The meeting provides you and Staff an opportunity to review the project and the applicable zoning standards, and obtain the appropriate applications form(s) for your request. It also helps planning Staff determine other approvals that might be necessary by other city departments. There is no charge for this service.

Application Submittal - After you have prepared your plans and filled out the application forms, bring them, the required fee, and any other materials advised by the City for processing. You will receive a receipt for your fee payment.

Staff Review of Application to Determine Completeness - Upon submittal, Staff will review your application packet and notify you if additional materials or information are needed. Once your application is deemed "complete", Staff will notify you with the time and date of the Planning Commission hearing. Your application is completed when all relevant materials are adequate for the Planning Commission to make a decision on your request.

Staff Review for Environmental Determination - Staff will review your project for any possible environmental impacts. Staff will notify you if additional information is required to satisfy the environmental review process. If an Environmental Impact Report (EIR) is required, the application will not be complete until a Draft EIR has been prepared. You will then be scheduled for a public hearing at the next available Planning Commission meeting. A deposit is required to obtain a consultant firm to prepare the Draft EIR.

Staff Review of the Variance Request - Staff will examine the application materials, including your plans, justification statement, and other relevant information. Staff will also make one or more site visits to your property.

Decision on the Request - A decision on your request for a Variance will be made by the Planning Commission at a

public hearing. At the hearing, the Planning Commission opens the matter for public comment by interested parties or individuals. Once everyone wishing to speak on the matter has been heard, the Planning Commission will close the public hearing and discuss the application. Their decision could be approval, approval with conditions, continuation for redesign or additional information, or denial.

Appeal - Before the Commission's decision is final, there is a fifteen calendar day appeal period during which the applicant, the City Council, or any person aggrieved by the decision of the Commission, can file a written appeal. An appeal application and current filing fee in the amount of **\$860.00** may be submitted to the City Clerk's office within the fifteen-day appeal period. If no appeal is filed, the Commission's decision is final. If an appeal is filed, the matter is set for a public hearing by the City Council. At the hearing, the Council will either uphold or reverse the Planning Commission's decision, at which time, the decision on the matter is final.

Initial Study Questionnaire

I. Introduction

California law requires that all local governments review any project for its potential effects on the environment. The process for this review is contained in the California Environmental Quality Act (CEQA) and its implementing Guidelines. The first step in this review is the preparation by the City of an Initial Study. The Initial Study is the basis for reviewing your project and determining if additional studies, such as an Environmental Impact Report (EIR), are required. In order to prepare the Initial Study, the City needs information about the project, which you are asked to provide in the attached Initial Study Questionnaire. **Note:** Some projects may be exempt from CEQA. The City will advise you regarding this.

This guide and the attached forms identify the information which you, as applicant, must provide before the City can decide on the possible environmental impacts of your project. You are also encouraged to contact the Planning and Building Department at (626) 403-7220, if you have any questions about your project or the application process.

II. The Initial Study and your project

Typically, an environmental review is conducted as part of the entitlement process for development. However, you may request an environmental review in advance of applying for any permits or approvals. In either case, your project must be sufficiently well defined so that the City can prepare an adequate picture of future environmental conditions.



APPLICATION FOR VARIANCE

Please complete and return the following pages.

1. Property Address for this application: 1312 Meridian Ave.

Assessor's Parcel No.: 5319-029-017

2. Current Zoning Designation of Property: R/S

3. Proposed Project Description (examples: Construct real estate office in 2,500 sq ft. building; operate preschool for 35 children, single family home, etc.):

The proposal is to demolish all unpermitted construction and an existing 174 square foot detached single car garage and to build a 788 square foot addition with 141 square foot balcony,

And 479 square foot attached garage and install a 442 square foot pool in the backyard.

4. Description of use (Indicate types of activities, hours of operation, number of employees, other relevant information, etc.). Attach additional sheets if necessary:

The use will be a single family residence.

5. Applicant:

Cooper and Karen Donaldson

Name

1312 Meridian Ave. South Pasadena, CA. 91030

Street, City, State, Zip

Home Number

Work Number

(213) 435-8726

Cell Number

Fax No.

E-mail: karentran1@gmail.com

APPLICATION FOR VARIANCE

6. Property Owner(s), if different from applicant:

Name

Street, City, State, Zip

() ()

Home Number Work Number

() ()

Cell Number Fax No.

E-mail: _____

7. Justification Statement(s): Please respond to the conditions and findings listed below. Each one must be met before the application can be deemed complete. Please indicate on the numbered lines below how the proposed project meets each criterion.

Findings for Variance: (See South Pasadena Municipal Code Sec. 36.410.080)

1) There are special circumstances applicable to the subject property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this Zoning Code denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district, or creates an unnecessary and involuntarily created hardship, or unreasonable regulation which makes it impractical to require compliance with the development standards

See attached

2a) The granting of a Variance would be necessary for the preservation and enjoyment of substantial property rights possessed by other property owners in the same vicinity and zoning district, and denied to the subject property owner;

See attached

APPLICATION FOR VARIANCE

2b) The granting of a Variance would be consistent with the General Plan and any applicable specific plan, and the limitations established by the 1963 initiative;

See attached

2c) The granting of a Variance will not constitute a grant of special privileges inconsistent with the limitations on other properties in the vicinity and in the same zoning district; and

See attached

2d) The granting of a Variance will not be materially detrimental to the public convenience, health, interest, safety, or welfare of the City, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

See attached

3) The proposed project would be compatible with the existing aesthetics, character, and scale of the surrounding neighborhood, and considers impacts on neighboring properties.

See attached

8.

Design Review Justification Statement(s): The City Council approved Resolutions 6979 and 6980 on April 23, 2008, which adopted the citywide commercial and residential design guidelines. The guidelines communicate the City's expectations of high quality design. If the proposed project involves new construction, or design alterations to an existing building or site, the Planning Commission will use the Design Guidelines as a basis for its decision on the proposed project. The guidelines may be found on-line at <http://www.ci.south-pasadena.ca.us/planning/design.html>. Projects located within the Mission Street Specific Plan (MSSP) area are subject to the guidelines contained in this plan. The MSSP available on-line at: http://www.ci.south-pasadena.ca.us/planning/PDFs/Mission_Street_Specific_Plan%20II.pdf

Use the City's Design Guidelines to address each design issue below. Design issues must be addressed in this application in order to be deemed complete. If not applicable, write in "N/A" for a response, or explain why the design standards are not appropriate for the proposed project. Attach additional sheets if necessary.

APPLICATION FOR VARIANCE

Commercial Building

- a. Describe how the proposed project meets the design guidelines for commercial areas (See Commercial Guidelines, pages 8 to 22).

N/A

Residential Building

- b. Describe how the proposed project meets the design guidelines for residential projects (See Residential Guidelines, pages 51 to 58 and 87 to 100)¹

See attached

Commercial or Residential Building in the Mission Street Specific Plan

- c. Describe how the proposed project meets the design guidelines for new buildings in Districts A and B. (See Mission Street Specific Plan, pages 49 to 62).

N/A

¹ "Spanish," "Mission," and "Mediterranean"-style new homes, multi-family projects, and substantial façade changes are subject to the "Mission and Spanish Colonial Revival" guidelines (as for historic homes), pages 12-13.

APPLICATION FOR VARIANCE

- d. Describe how the proposed project meets the design guidelines for new buildings in District C. (Zoning Mission Street Specific Plan, page 63).


N/A

5. All of the following materials are required for a complete application:

- **Application Forms.** Must be signed by the property owner.
- **Written Narrative.** Describe the proposed project in detail. Include the extent of the work, architectural style and exterior materials that will be used.
- **Mailing Labels.** All projects reviewed by the Design Review Board require public notification. Provide two (2) sets of address labels and one (1) photocopy of the labels. Labels must list both the property owners and occupants (if not owner occupied) of every parcel which falls within a 300' radius (100' for signs) of the project site, along with a radius map. The name and address of every property owner/occupant (including applicant) and the local homeowner's association, if any, must be keyed on 8-1/2" x 11" sheets of adhesive labels.
- **Photographs.** One set of (approx) 4"x 6" color photographs showing all existing elevations of the subject property and front elevations of neighboring properties. The photographs should show all street views on both sides of the subject property to adequately portray the appearance of the immediate neighborhood. Photos should be printed on 8 1/2" x 11" sheets (two per page is a good size), and must be labeled with street addresses and referenced to a photo key (a reduced site map). Photo keys do not need to be drawn to scale, but must indicate approximate locations of where the photos were taken and the direction of each shot. Photo keys must also have a north arrow and the subject property address.
- **Plans:** One (1) full set of plans is required at the time the application is submitted. Upon determining the completeness of the application, Staff will notify the applicant, and he/she will be required to submit six (6) full sets of plans to the Planning Department. All site plans must be drawn at a minimum scale of 1/8" and elevations at 1/4". Submitted plans must be folded accordion style to a size of 8 1/2" x 11" or less, with the title block showing. The plans shall include, and may not be limited to the following: site plan, demolition plan, elevations, roof plan, window and door schedule, and building sections. **A detailed checklist of specific requirements is available for the project architect/project designer's use.**

APPLICATION FOR VARIANCE

I HEREBY CERTIFY that I am the owner of the property which is the subject of this application for a Certificate of Appropriateness, that this application is full and complete, and I have read and understand the City's Design Review Board Guidelines.

Applicant's Signature:  Date: 07/23/2020
(Signature is required for all applications)

10. Owner's Affidavit: As owner(s) of the above described property, I/we affirm that the foregoing statements and answers herein contained and the information submitted are in all respects true and correct to the best of my/our knowledge and belief.

Executed this Twenty-third day of July

 07/23/2020
Property Owner's Signature (Required) Date

1312 Meridian Ave. Variance application:

7-1. Variance for downhill building wall exceeds 15 feet in height.

The cultural heritage commission has ruled that the property on 1312 Meridian Avenue has no historic significance, however the applicant intends to keep the same aesthetics and material of the English revival shown in the report. The same materials like roof shingles, stucco and window style. On the south side of the house, the bigger gable was included to balance the gabled front of the house. This existing English revival front will be kept and is the inspiration for the side gable.

7-2a. The tall wall with gable is keeping the same architectural style as the northwest front of the house for balance. It is consistent with the current design of the house which has an existing large gabled wall on the south side.

7-2b. As required by the 1983 initiative in the city of South Pasadena, no variance to parking requirements will be needed.

7-2c. The proposal would not grant a special privilege because similar properties in the vicinity are developed with large gabled side walls for example 1509 Meridian Ave., 1589 Meridian Ave., 1730 Meridian Ave., 1913 Meridian Ave., and 1917 Meridian Ave. (photo A through E)

7-2d. The proposed massing would be on the south side of the house below the hillside slope as seen on the site survey. Much of the above ground structure is obscured by the neighbors fence and landscaping as seen on Google earth. (photo F & G)

7-3. Many properties in the vicinity are developed with large gabled side walls for example 1730 Meridian Ave. (photo C), 1913 Meridian Ave. (photo D), and 1917 Meridian Ave. (photo E)

8-b. The scale and massing of the proposed project is similar to the existing house which currently has a large gabled wall on the south side. The buildings design is 2 feet under the maximum height limit which is measured parallel to the existing grade. It has a downhill sloping roofline to reduce the height even further. The building facade and window style and materials is similar to the existing home. The proposed exterior wall finish is to be stucco.

Height Variance

Photo A-1509 Meridian Ave.



Photo B-1589 Meridian Ave.



Photo C-1730 Meridian Ave.



Photo D-1913 Meridian Ave.

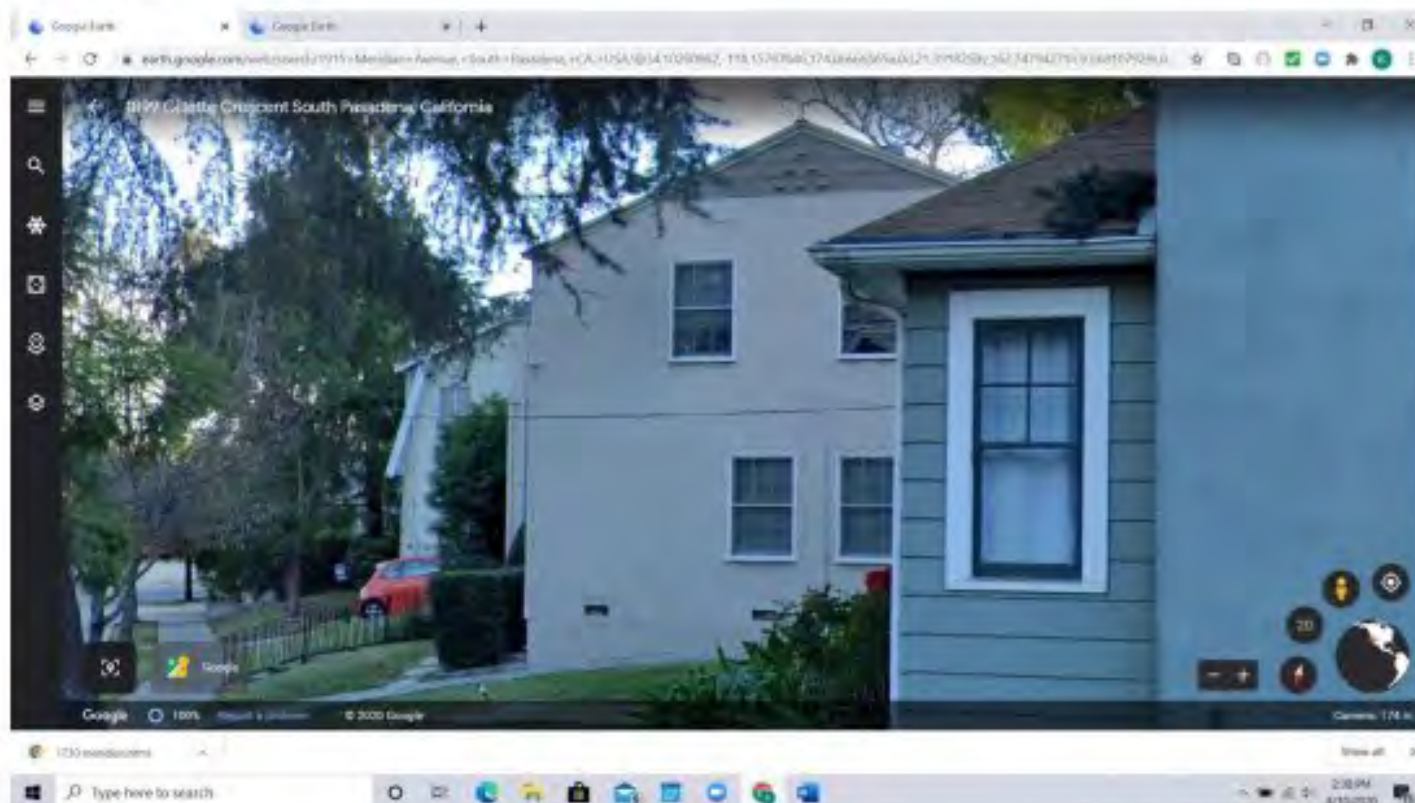


Photo E-1917 Meridian Ave.



Photo F-South side Google Earth birds eye view

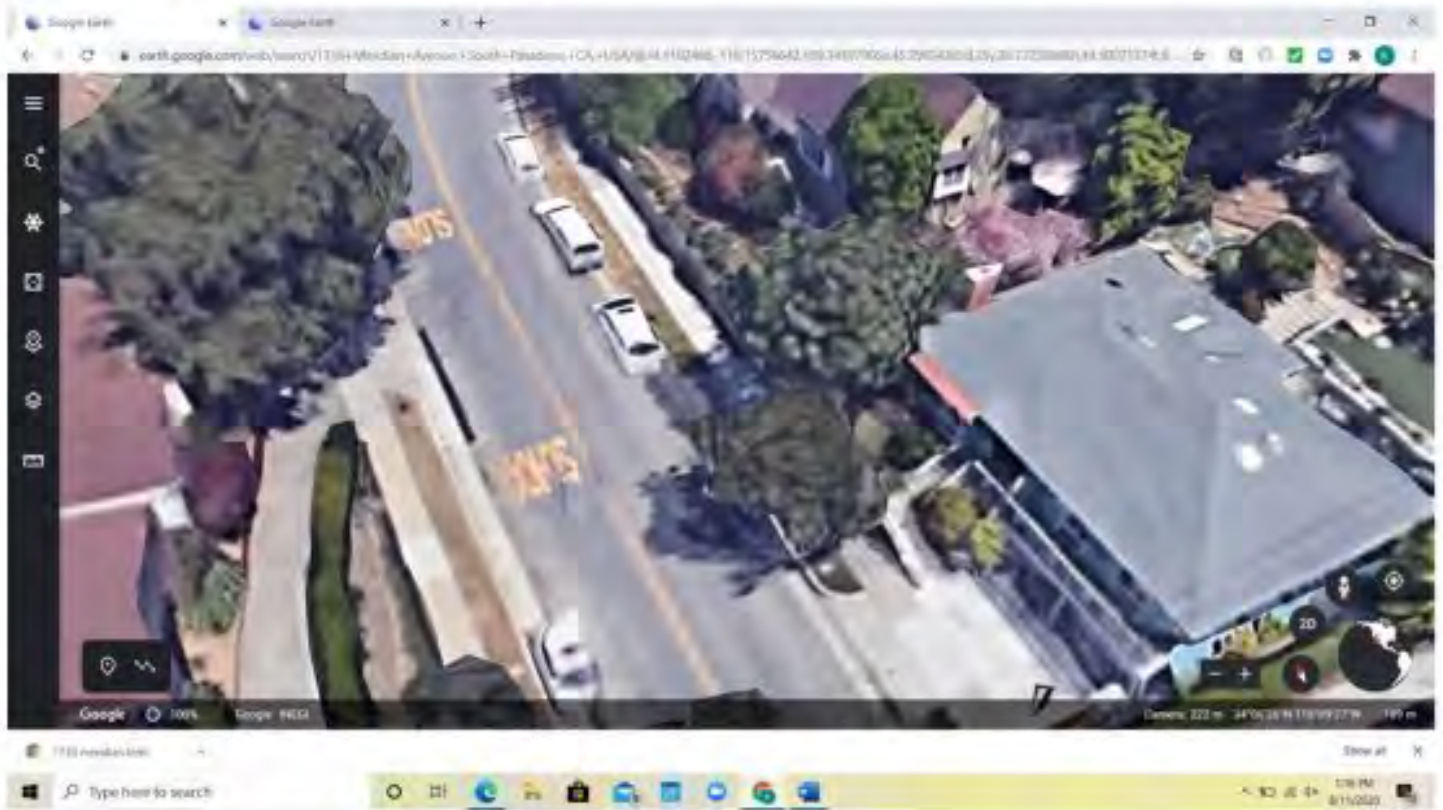


Photo G-South side Google earth street view



ATTACHMENT 5
Tree Removal Permit

CITY OF SOUTH PASADENA
RECEIVED

JAN 28 2019

PUBLIC WORKS DEPT.

**CITY OF SOUTH PASADENA
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION**

1414 Mission Street - South Pasadena - CA 91030 - 626-403-7240

PRIVATE PROPERTY TREE REMOVAL/REPLACEMENT PERMIT APPLICATION

Please submit site plan if more than three (3) trees are involved.

PERMIT FEES: Inspection: \$154.50 plus PERMIT NO. _____
Permit: \$121.50

JOB SITE: 1312 Meridian Ave. South P

PROPERTY OWNER'S NAME(S): Karen & Cooper Donaldson PHONE: 213-435-8726

ADDRESS: 1312 Meridian Ave.

CONTRACTOR'S NAME: Earth Renovation

ADDRESS: 2552 Santiago St. PHONE: (714) 904-4114
Santa Ana, CA 92706

CITY BUSINESS LICENSE NO: _____

**Trees 4" in diameter or greater are Mature Trees - Include all conditions warranting the removal
Please Submit plan if more than three (3) trees are involved**

(1) Type/Variety: Cedar Size of Tree: 13.06 diameter, no canopy

Location of Tree: backyard
(specific location on property, i.e. front/side/back yard)

List Reasons for requesting this tree removal: dead
(include all conditions warranting the proposed work.)

(2) Type/Variety: Liquid amber Size of Tree: 8.44 diameter 18 feet canopy

Location of Tree: front
(specific location on property, i.e. front/side/back yard)

List Reasons for requesting this tree removal: City is requiring us to bring house
(include all conditions warranting the proposed work.)

up to code by putting in 2 car covered parking with 1 guest parking
this tree is where the new garage would go.

(3) Type/Variety: Willow Size of Tree: 14 inches wide

Location of Tree: Center of backyard
(specific location on property, i.e. front/side/back yard)

List Reasons for requesting this tree removal: _____
(include all conditions warranting the proposed work.)

PRIVATE PROPERTY TREE REMOVAL/REPLACEMENT PERMIT CONDITIONS:

- (1) Conditions must exist to warrant the removal of any mature tree. Healthy trees which are not causing a hardship on the property owner shall not be approved for removal.
- (2) Tree removals will include complete removal of the stump and backfill of the hole.
- (3) For every tree approved for removal, multiple replacement trees must be planted anywhere on the owner's property or on City's property upon City's approval. For replacement tree(s) planted in the parkway, root barriers will be required to control the root system. The size of the replacement tree(s) is (are) based on the diameter of the trunk and they type/variety of the approved tree(s) for removal. The replacement three(s) must be a minimum of 24" box size or as specified by the Engineering Division.
- (4) Replacement trees must be planted within 90 days of the **issuance date on the permit.**
- (5) Prior to planting the replacement trees, a final inspection must be conducted by the City inspector to verify conformance with tree replacement requirements. Please call to schedule an appointment at (626) 403-7370, Monday through Friday, 7:30 a.m. to 4:00 p.m.
- (6) **A 100-foot radius map and mailing labels shall be required to provide public notice of the tree removal. Residents within a 100-foot radius of the property shall be given 15-days to comment on the tree removal prior to issuance of the permit.**

APPLICANT SIGNATURE: [Signature] DATE: 12/17/18

City use only

1. Recommended for Approval or Denial Type/Variety Inspected: COAST REDWOOD
 Size of Tree: 13" Replacement Tree Size: _____ Qty: 1 Due by: _____
 Comments: DEAD TREE
 Inspected By: R. Mijia ISA 2355A Date Inspected: JAN 31 2019

2. Recommended for Approval or Denial Type/Variety Inspected: SWEET GUM
 Size of Tree: 8" Replacement Tree Size: # Qty: 1 Due by: _____
 Comments: SIGNIFICANT LEAK; ROOTS DAMAGING UTILITY; SPACE RESTRICTIONS
 Inspected By: R. Mijia ISA 2355A Date Inspected: JAN 31 2019

3. Recommended for Approval or Denial Type/Variety Inspected: SHAMEL ASH
 Size of Tree: 22" Replacement Tree Size: _____ Qty: 2 Due by: _____
 Comments: DOUBLE STEMMED COMPROMISED TRUNK (EATING A WALL) ALL ROOTS IN FUTURE EXPANSION.
 Inspected By: R. Mijia ISA 2355A Date Inspected: JAN 31 2019
HIGH RISK OF FAILURE DUE TO GROWTH SPACE & LACK OF SUPPORT ROOTS.

ATTACHMENT 6
Public Comments

From: nj jj [REDACTED]
Sent: Wednesday, August 12, 2020 2:50 PM
To: AskPlanning
Subject: Safety and Privacy

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name Niratt & Udomsup Jittrikawiphol
Address 1316 Meridian Ave South pasadena ,Ca 91030 Tel # [REDACTED]
To:- City of South Pasadena Planning Dept.
Re:- Safety and Privacy From 1312 Meridian Ave. South Pasadena,Ca 91030 Additional
Constructions
Our property is 1316 Meridian Ave. South pasadena Ca. 91030 is located next from 1312 Meridian Ave. South pasadena, Ca 91030. Will have Additional Construction.
It is Hillside and Slope.
Concerning in our Safety to Ourselves and Property also Privacy.
SAFETY:- 1 Potentials to Accident and Injury

2 Potentials to Property Damages ect. Damage to Foundation & Cracks of Building

3 Strong Vibration, Noise from Excavations and Dusty

Do you have any safety Precautions to Protect us and Properly? We need you Advice.

We do not have any knowledge of Construction and Laws.

We need to ask you some question? Please Advice

1 Before During & After Construction. Do you have Safety Precaution to protect us and our property.

2 Dusty - Hazard to Respiration and Health Specially this Pandemic time.

Do you have any prevention to protect for Respiration, Because we are the Senior Over 65 years old.

Privacy:- New Windows direct to our windows No Privacy

Sincerely Yours,

Niratt & Udomsup. Jittrikawiphol

Kanika Kith

From: pam Jittri <[REDACTED]>
Sent: Wednesday, October 7, 2020 10:24 PM
To: PlanningComments
Subject: Safety and Privacy from New Addition Construction 1312 Meridian Ave

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Project # 2205-NID/HDP/DRX/VAR 1312 Meridian Avenue October 7, 2020 My name is Niratt and Udomsup.
Jittrikawiphol
1316 Meridian Avenue South Pasadena Ca. 91030
[REDACTED]

Concerning for safety to ourselves and property also privacy Our property is located next to new additional constructions and it is hillside and down slope to our property this new constructions will demolish the garage and all unpermitted constructions also additional new constructions and new swimming pool .

Our concern for Safety

1.Potential to accident and injury to persons from the constructions loud noise and dusty.
2.Potential to property damages, to foundation ,cracks to the building from excavation strong vibration of big machines .

Can we suggest to have some prevention before new construction?

- 1.Have pre excavation support and build retaining wall before building new constructions.
- 2.Have something to prevent building materials drop to our property also prevent dusty while doing constructions.
- 3.No direct site windows for our privacy.

We are over 65 years old and 1 disability.

Do you have any suggestions for our safety and Respiratory precaution?

Thank you very much

Sincerely yours

Niratt and Udomsup Jittrikawiphol

Sent from my iPad

[Audio Public Comment](#)
[\(Click Here\)](#)

From: marko chase <[REDACTED]>
Sent: Thursday, October 8, 2020 5:28 PM
To: PlanningComments <PlanningComments@southpasadenaca.gov>
Subject: Planning Commission Public Hearing Meeting 10/13/20. Support of Project # 2205-NID/HDP/DRX/VAR Address 1312 Meridian

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern,

My name is Marko Chase and I am a homeowner at 900 Bank Street which is directly around the corner from 1312 Meridian.

As a South Pas native I have been using Meridian Avenue (south of Monterey Road) for a very long time. I recently received notice of the proposed modification to the residence located at 1312 Meridian, and, after looking at the plans as designed, I think it is a great idea and totally support it.

There has always been a concern about the flow of traffic on Meridian, especially at the curve below Lyndon. The 2 car garage (as designed with additional 2 spots of parking in the driveway) will help get the homeowners' cars off the street. Many other homes near to 1312 Meridian are afforded this amenity.

What is more, and perhaps most importantly, this design clearly retains the design integrity of the original house, and integrates nicely with the aesthetic fabric of the neighborhood.

It will be a welcome improvement to our neighborhood.

Thank you.



Marko Chase
900 Bank Street
South Pasadena

ATTACHMENT 7
Architectural Plans
& Materials Board

CONTACTS:

OWNER:
COOPER AND KAREN DONALDSON
1312 MERIDIAN AVE.
SOUTH PASADENA, CA 91030
213.435.8726

ARCHITECT:
MELISSA HON TSAI
HON TSAI, INC.
1107 FAIR OAKS AVE., #137
SOUTH PASADENA, CA 91030
646.812.5512
hello@melissahon.com

LAND SURVEYOR:
WINN-WINN SURVEYING
REBECCA WINN
1238 OAK VIEW LANE
LA VERNE, CA 91750
909.593.0947

INDEX OF SHEETS:

- A 0.0 SITE PLAN, VICINITY MAP, GENERAL NOTES, INDEX OF SHEETS
- A 0.1 TOPOGRAPHIC MAP
- A 0.2 EXISTING AND PROPOSED SITE PLAN
- A 0.3 LANDSCAPE PLAN
- A 0.3 RETAINING WALL SECTION
- A 1.0 EXISTING GROUND FLOOR PLANS
- A 1.1 DEMO & PROPOSED GROUND FLOOR PLAN
- A 1.2 EXISTING FIRST FLOOR PLAN
- A 1.3 FIRST FLOOR DEMO PLAN
- A 1.4 PROPOSED FIRST FLOOR PLAN
- A 1.5 PROPOSED SECOND FLOOR PLAN
- A 2.1 EXISTING & DEMO WEST ELEVATIONS
- A 2.2 PROPOSED WEST ELEVATION
- A 2.3 NORTH ELEVATIONS
- A 2.4 EAST ELEVATIONS
- A 2.51 SOUTH ELEVATIONS
- A 2.52 SOUTH ELEVATIONS
- A 2.6 DOOR & WINDOW SCHEDULE
- A 3.0 DETAILS
- A 3.1 BUILDING SECTION

PROJECT INFORMATION

ADDRESS:	1312 MERIDIAN AVE. SOUTH PASADENA, CA 91030		
APN:	5319-029-017		
BUILDING TYPE:	TYPE VB		
ZONE:	RS		
LOT SIZE:	5,249.2 SF (0.13 AC)		
SETBACKS	REQUIRED/ALLOWED	EXISTING	PROPOSED
FRONT SETBACK:	10'	14'-11"	EXISTING
SIDE SETBACK:	6'	2'-7"	EXISTING
REAR SETBACK:	25'	29'-4"	34'-4"
MAXIMUM HEIGHT:	28'	21'	28'
FLOOR AREA RATIO:	35% (1,837.2 SF)	1,049 SF	1,837 SF (35%)
LOT COVERAGE:	50% (2,624.5 SF)	1,153 SF	1,470 SF (28%)
GARAGE SPACE REQUIREMENTS:	2 COVERED, 1 UNCOVERED	1 COVERED	2 COVERED, 2 UNCOVERED

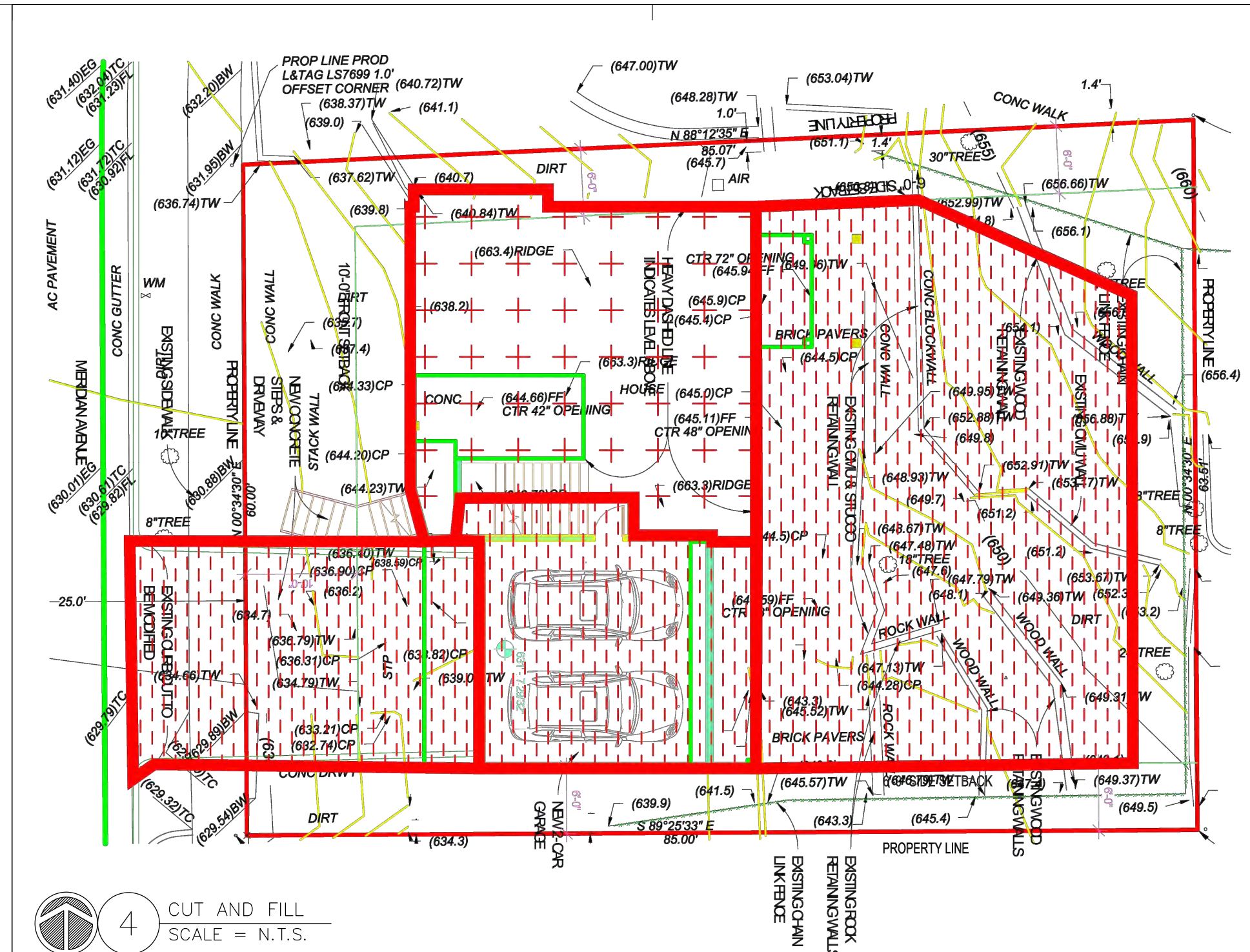
RESIDENTIAL FLOOR AREA	FLOOR AREA RATIO:	LOT COVERAGE:
EXISTING FIRST FLOOR 1,049 SF	FIRST FLOOR: 1,192 S.F.	FIRST FLOOR: 1,192 S.F.
EXISTING GARAGE 174 SF	SECOND FLOOR: 644 S.F.	GARAGE: WITHIN F.F. FOOTPRINT
EXISTING PORCH 0 SF	GARAGE: 479 S.F.	BALCONY: 212 SF
TOTAL EXISTING: 1,153 SF	GARAGE CREDIT: -479 S.F.	COVERED PORCH: 137 S.F.
	PROPOSED TOTAL: 1,836 S.F.	PROPOSED TOTAL: 1,541 S.F.
	PROPOSED FLOOR AREA RATIO: 35%	PROPOSED LOT COVERAGE: 29.4%

PROJECT NARRATIVE:

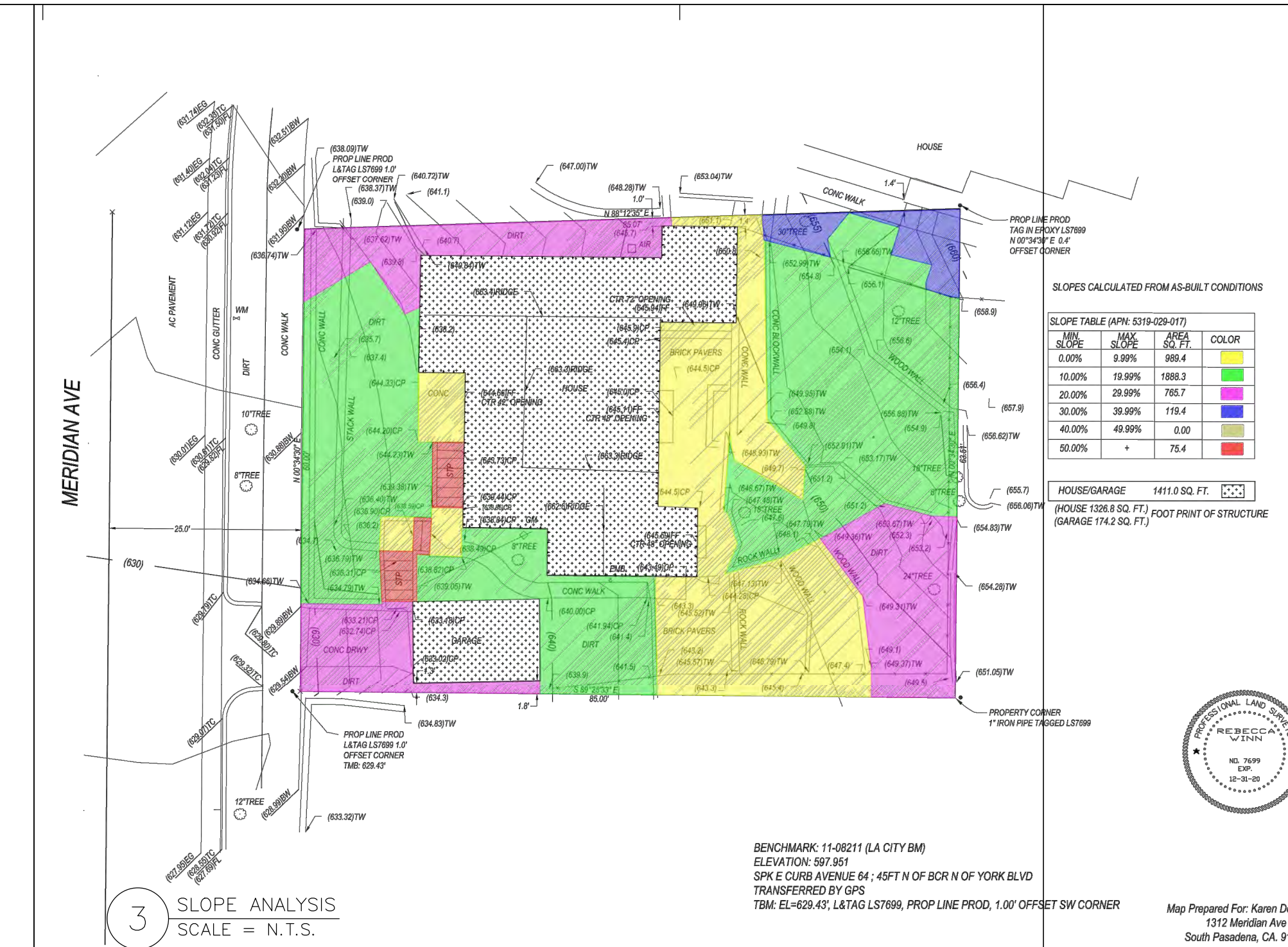
THE PROPOSAL IS TO DEMOLISH ALL UNPERMITTED CONSTRUCTION AND AN EXISTING 174 SF DETACHED SINGLE-CAR GARAGE AND TO BUILD A 788 SF 2-STORY ADDITION TO THE EXISTING 1,049 SF 1-STORY HOUSE. THE EXISTING ATTIC SPACE IS CONVERTED TO SECOND FLOOR LIVING SPACE, WHICH IS ACCOUNTED FOR IN THE ADDITION FLOOR AREA. A 141 SF BALCONY IS PROPOSED ON THE REAR SECOND FLOOR MASTER BEDROOM ADDITION. A NEW 479 SF ATTACHED 2-CAR GARAGE IS PROPOSED UNDERNEATH THE ADDITION. THE EXTERIOR MATERIALS WILL CONSIST OF STUCCO, BIRCH, ASPHALT SHINGLES, AND METAL CLAD WINDOWS.

BUILDING CODES:

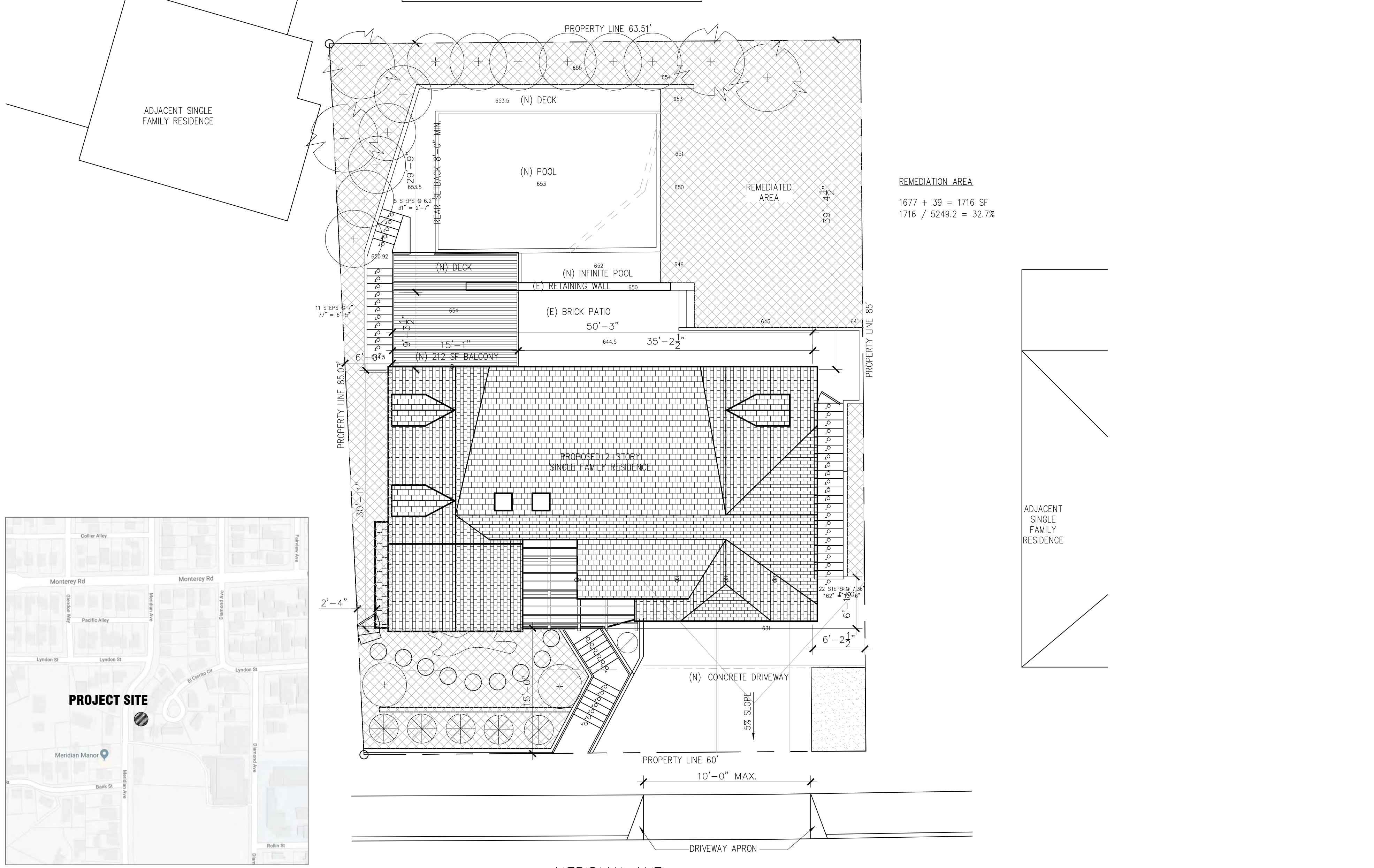
- 2017 LA COUNTY BUILDING CODE
- 2017 LA COUNTY RESIDENTIAL CODE
- 2017 LA COUNTY MECHANICAL CODE
- 2017 LA COUNTY ELECTRICAL CODE
- 2017 LA COUNTY PLUMBING CODE
- 2019 LA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA ENERGY CODE



4 CUT AND FILL
SCALE = N.T.S.

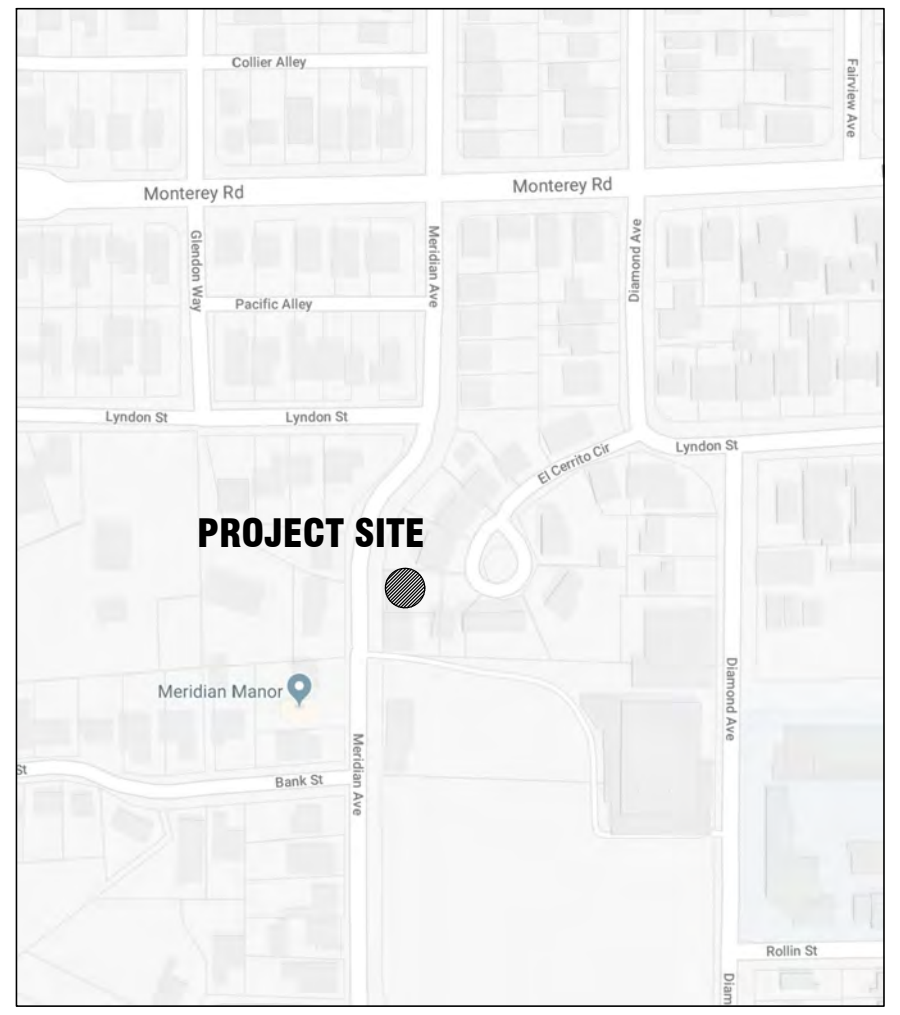


3 SLOPE ANALYSIS
SCALE = N.T.S.



2 VICINITY MAP
SCALE = N.T.S.

1 SITE PLAN
SCALE = 1/8"=1'-0"



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ISSUE / REVISION RECORD	DESCRIPTION
DESIGN REVIEW	10.01.2019
PLANNING REVIEW	12.08.2019

PROFESSIONAL SEAL

PROJECT NAME

MERIDIAN ADDITION AND RENOVATION
1312 MERIDIAN AVE., SOUTH PASADENA, CA 91030

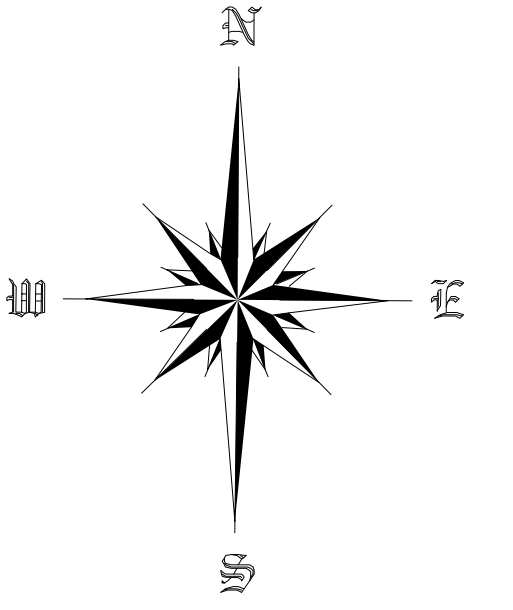
SHEET TITLE
**SITE PLAN,
VICINITY MAP,
GENERAL NOTES,
INDEX OF SHEETS**

SHEET NAME

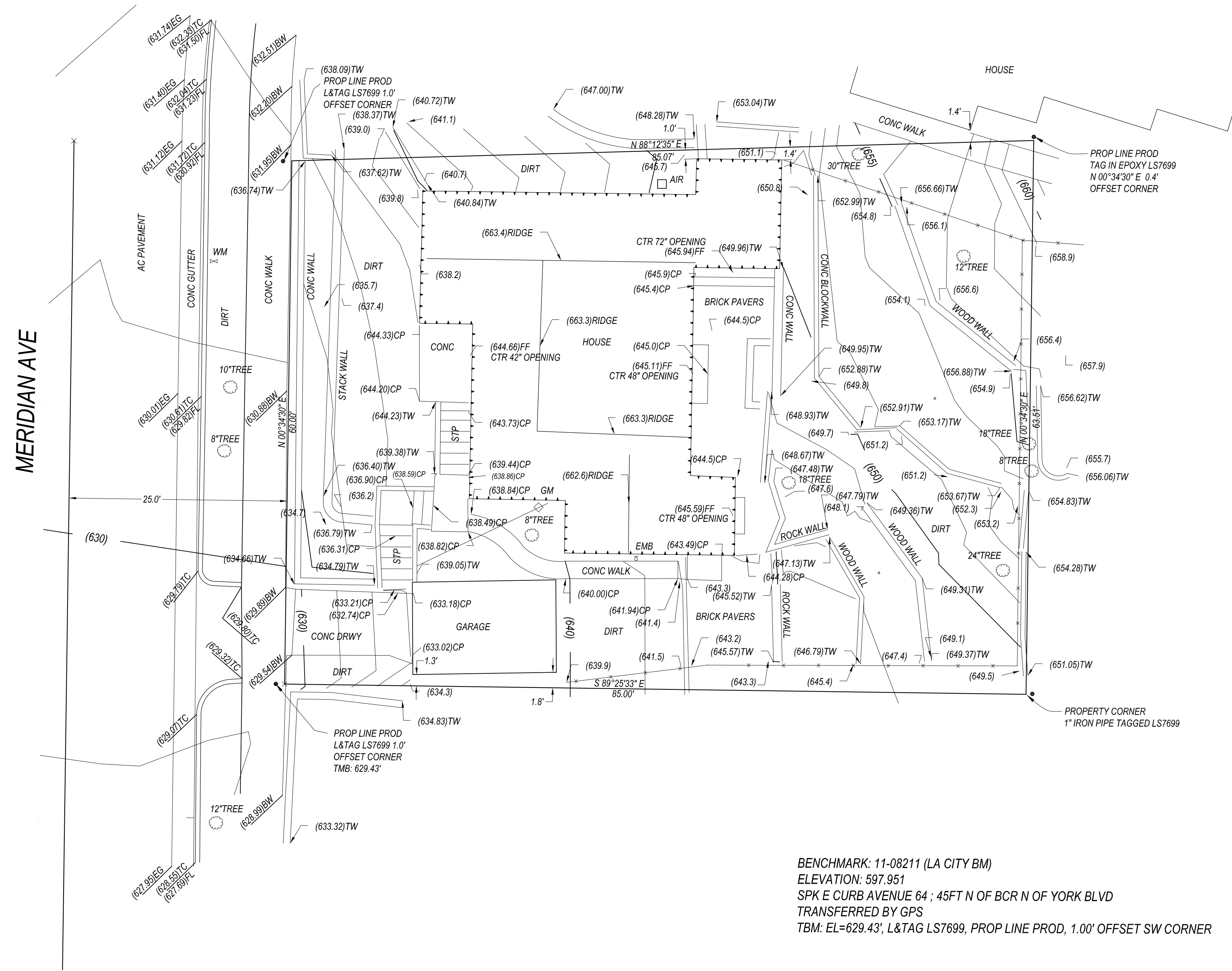
A0.0

NOT FOR CONSTRUCTION

Topographic Map



Scale: 1/8" = 1'



- TW = TOP OF WALL
- CONC = CONCRETE
- TC = TOP OF CURB
- AC = ASPHALT PAVEMENT
- CP = CONCRETE PAVEMENT
- FF = FINISH FLOOR
- STP = STEPS
- FL = FLOW LINE
- EG = EDGE OF CONC GUTTER
- EMB = ELECTRIC METER BOX
- GM = GAS METER
- AIR = AIR CONDITIONER



Map Prepared For: Karen Donaldson
1312 Meridian Ave
South Pasadena, CA. 91030

Map Prepared By: Winn-Winn Surveying
La Verne, CA. 91750
WINNSURVEYING.COM

24X36

Date: November 6, 2017

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SITE PLAN NOTES

- SEE SURVEY (PROVIDED BY OWNER) FOR COMPLETE SITE INFORMATION
- SEE CIVIL FOR ALL CIVIL INFORMATION
- SEE LANDSCAPE FOR ALL LANDSCAPE INFORMATION

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DESCRIPTION

Cultural Heritage Commission Review	12-21-2018
Window & Door Pricing	04-25-2019
Planning Review	01-26-2020

PROFESSIONAL SEAL

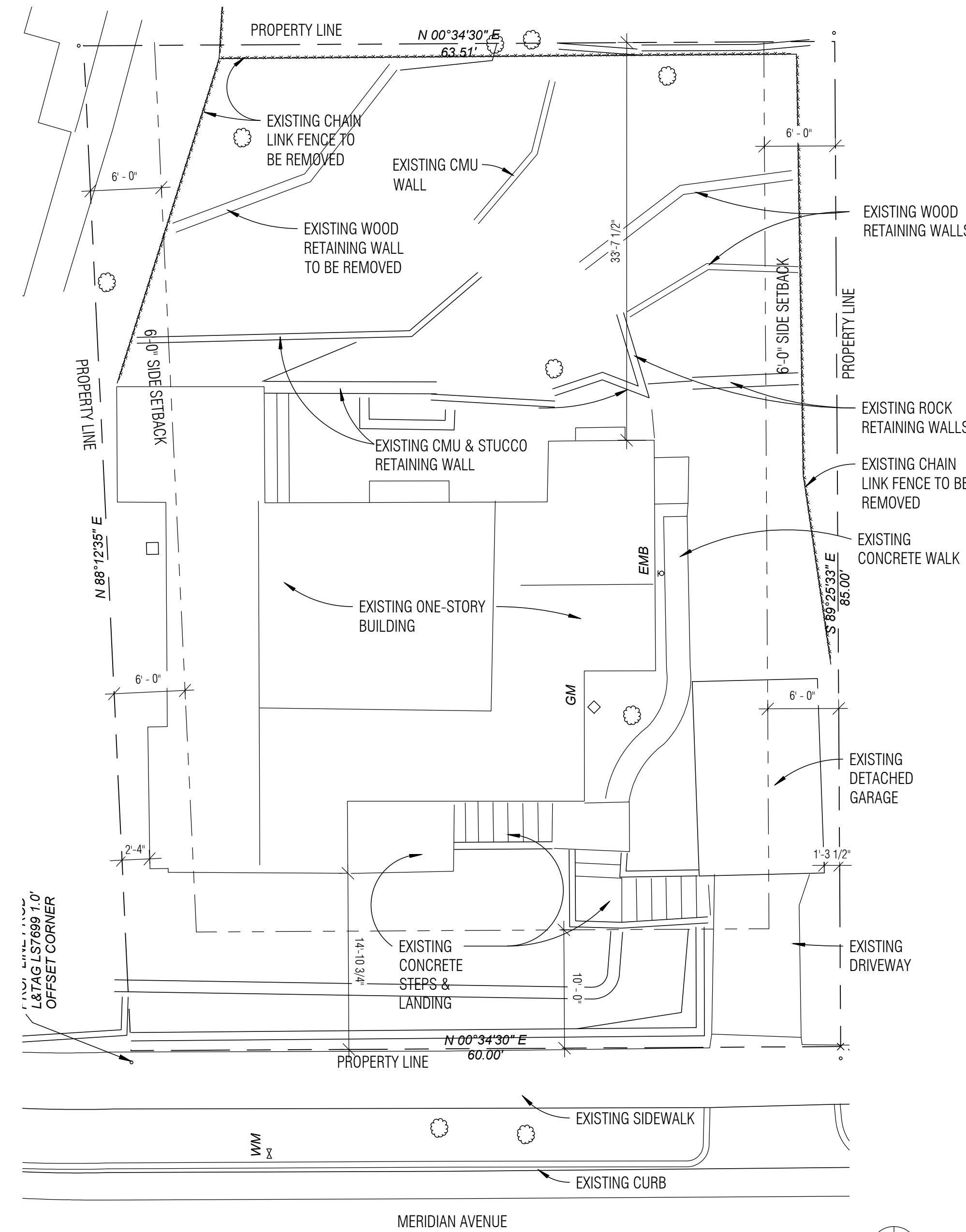
PROJECT NAME

Meridian Addition & Renovation
1312 Meridian Avenue
South Pasadena, CA 91030

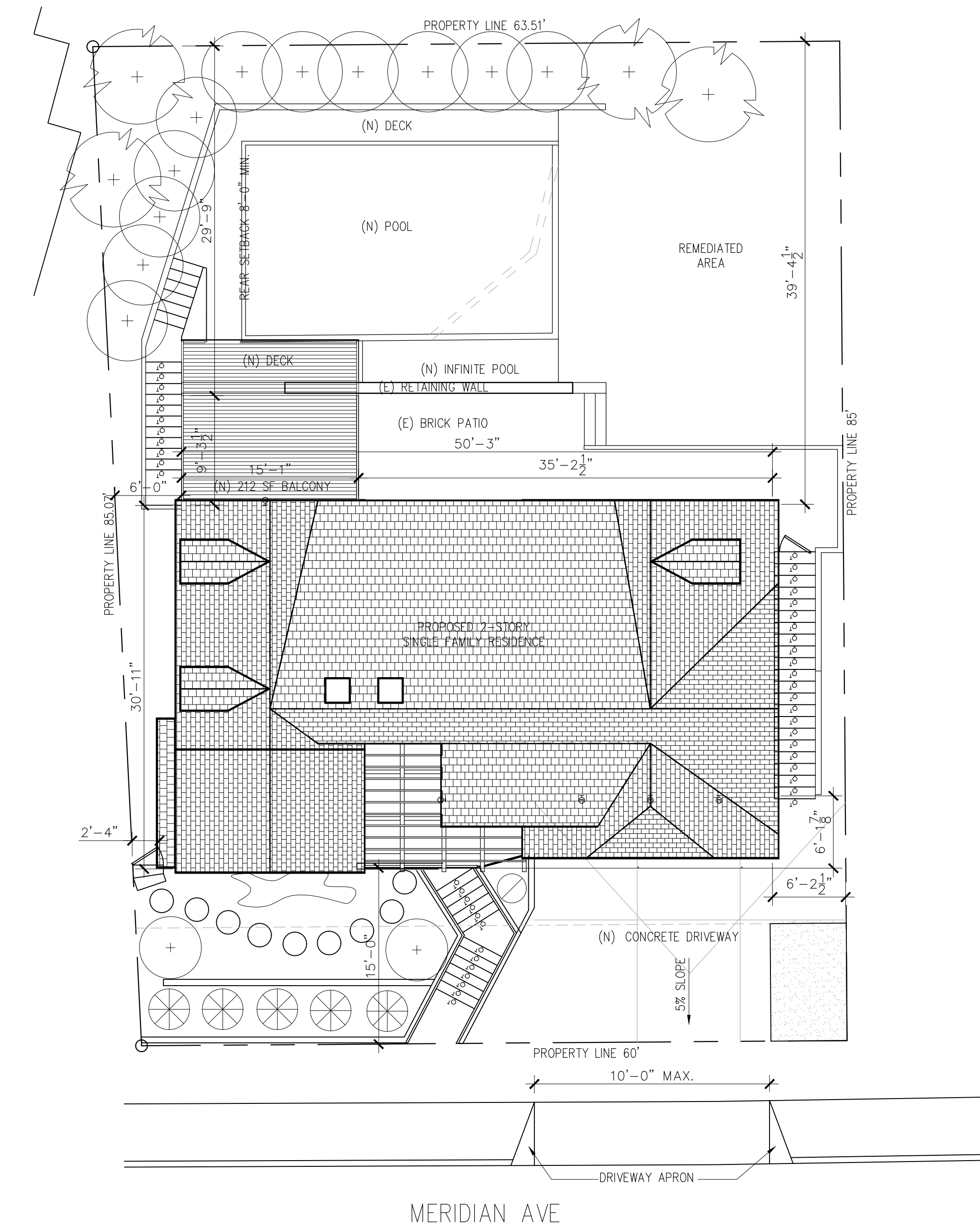
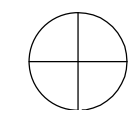
SHEET TITLE
SITE PLANS

SHEET NAME
A0.1

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① EXISTING SITE PLAN
1/8" = 1'-0"



② PROPOSED SITE PLAN
1/8" = 1'-0"

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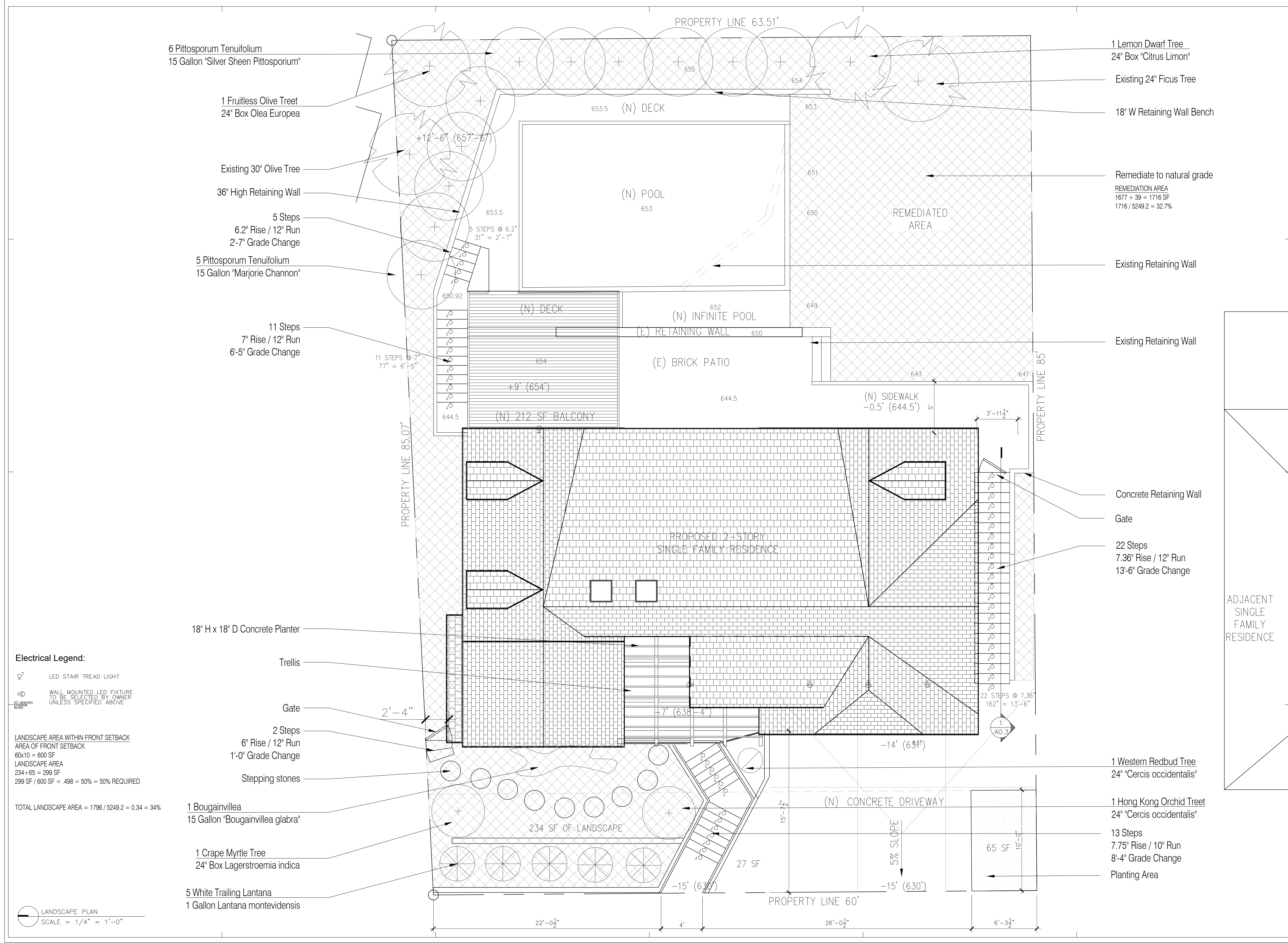
SHEET TITLE

LANDSCAPE PLAN

SHEET NAME

A0.2

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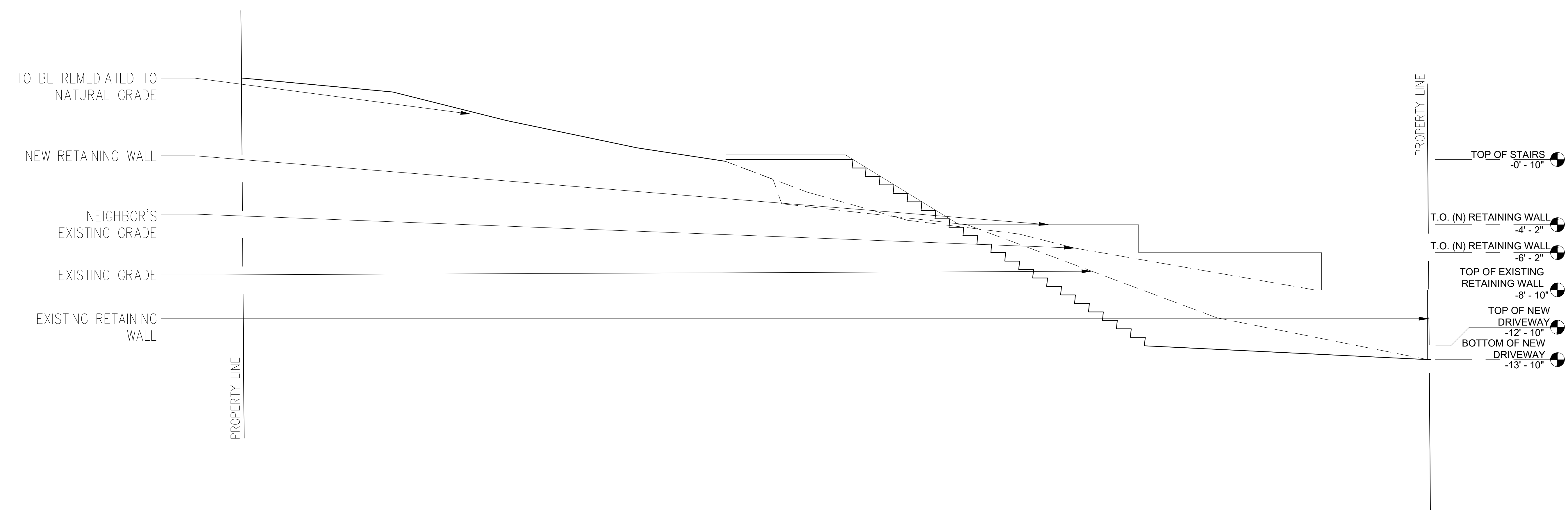
SHEET TITLE

RETAINING WALL SECTION

SHEET NAME

A0.3

NOT FOR CONSTRUCTION



1 SOUTH RETAINING WALL
 SCALE = 1/4" = 1'-0"

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FLOOR PLAN NOTES

- ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD PRIOR TO START OF CONSTRUCTION
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- DASHED LINES ON DEMO PLANS INDICATE PORTIONS OF STRUCTURE TO BE DEMOLISHED UNLESS NOTED OTHERWISE
- ALL EXISTING WINDOWS & EXTERIOR DOORS TO BE REMOED AND REPLACED
- PROPOSED PLANS INDICATE NEW WALLS WITH GREY HATCHING. NEW WALLS TO MATCH CONSTRUCTION AND FINISHES OF EXISTING.

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Planning Review	01-26-2020

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Meridian Addition & Renovation
1312 Meridian Avenue
South Pasadena, CA 91030

SHEET TITLE

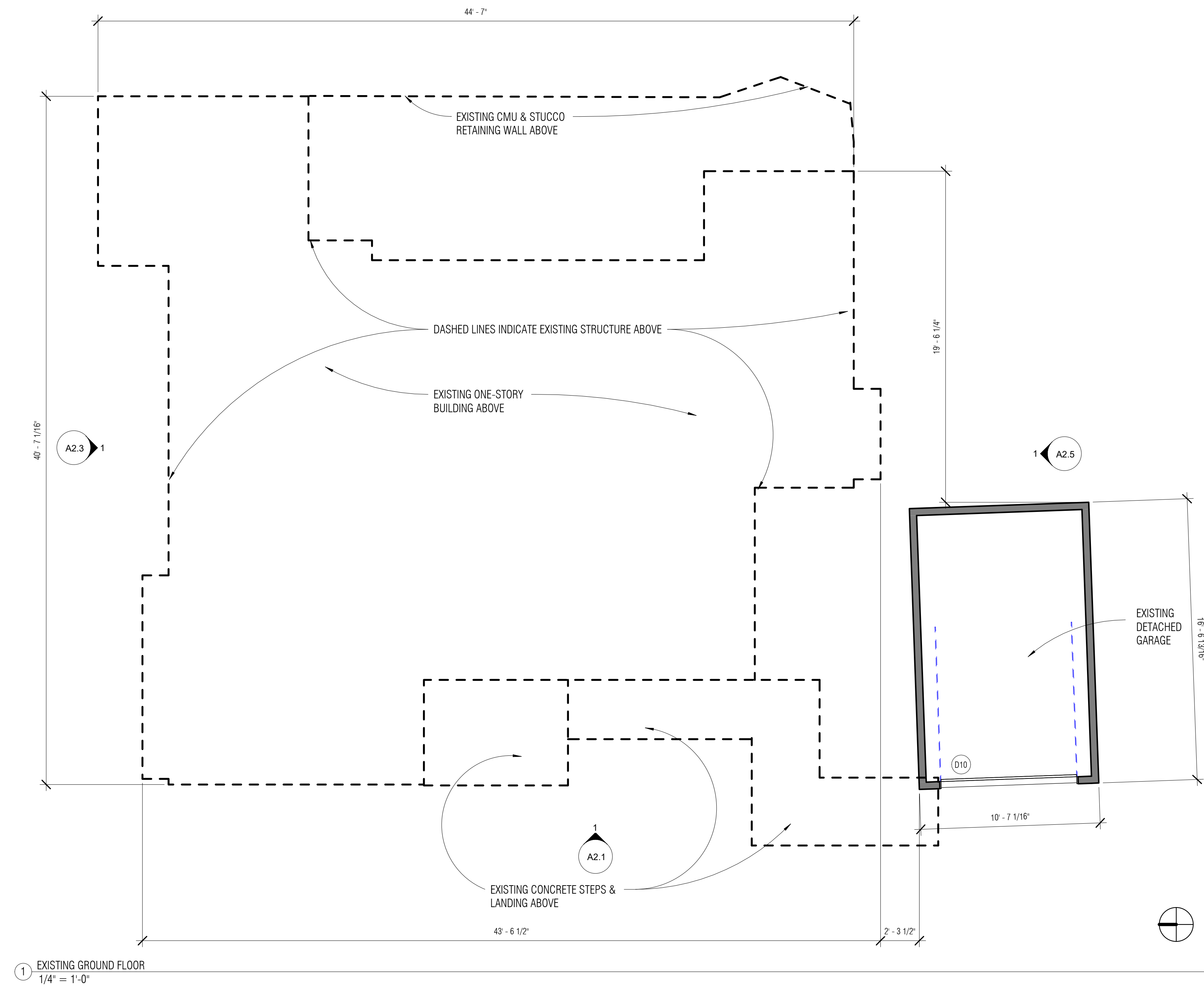
EXISTING GROUND FLOOR PLANS

SHEET NAME

A1.0

NOT FOR CONSTRUCTION

1/26/2020 2:39:20 PM



1 EXISTING GROUND FLOOR
1/4" = 1'-0"

WALL LEGEND

- PROPOSED 4" WOOD STUD WALL. INTERIOR: 5/8" PTD. GYP. BD. EXTERIOR: AS NOTED ON ELEVATIONS
- PROPOSED 6" WOOD STUD WALL. INTERIOR: 5/8" PTD. GYP. BD. EXTERIOR: AS NOTED ON ELEVATIONS
- EXISTING WOOD STUD WALL. VERIFY SIZE & FINISHES IN FIELD

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WALL LEGEND

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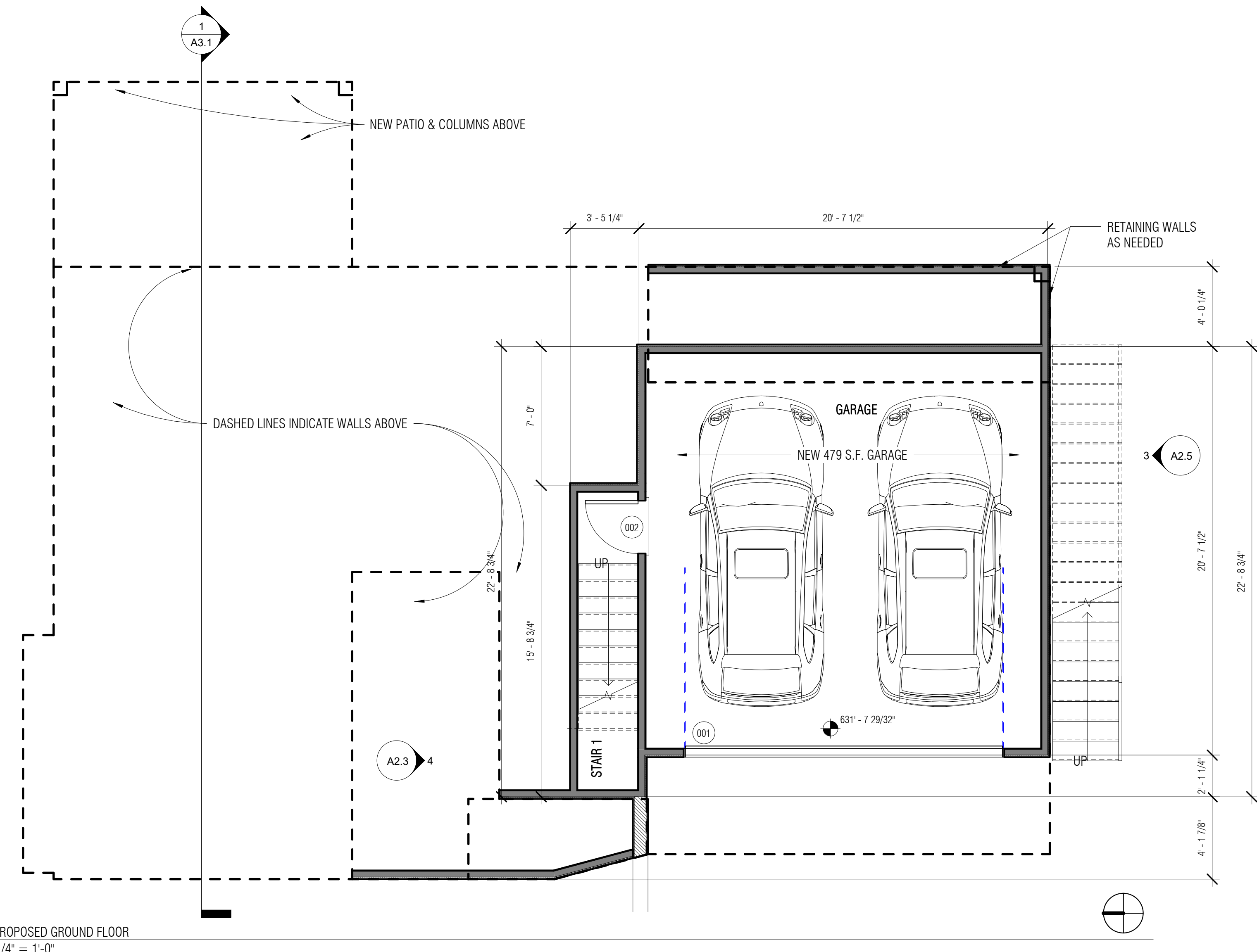
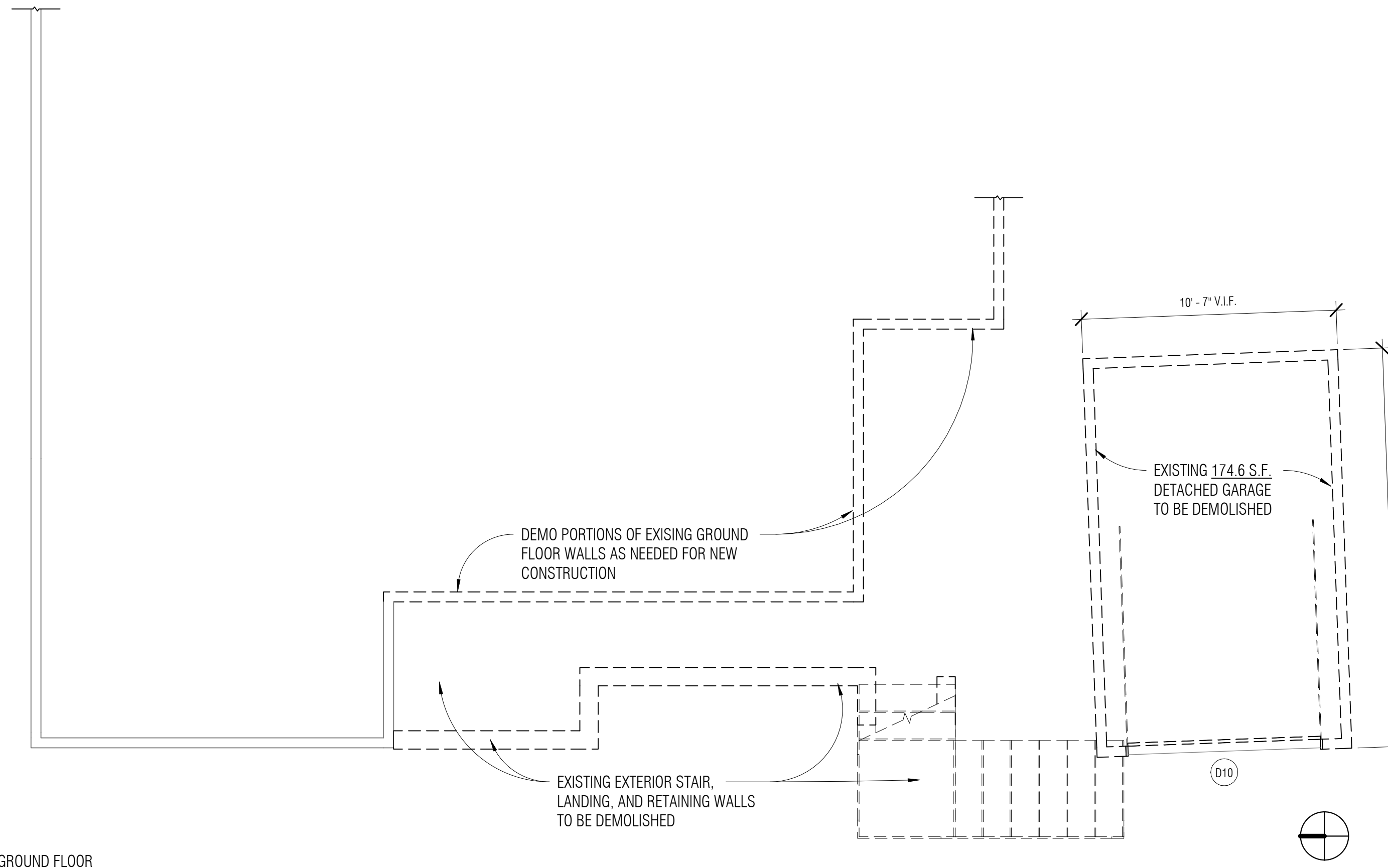
SHEET TITLE

**DEMO & PROPOSED
GROUND FLOOR PLAN**

SHEET NAME

A1.1

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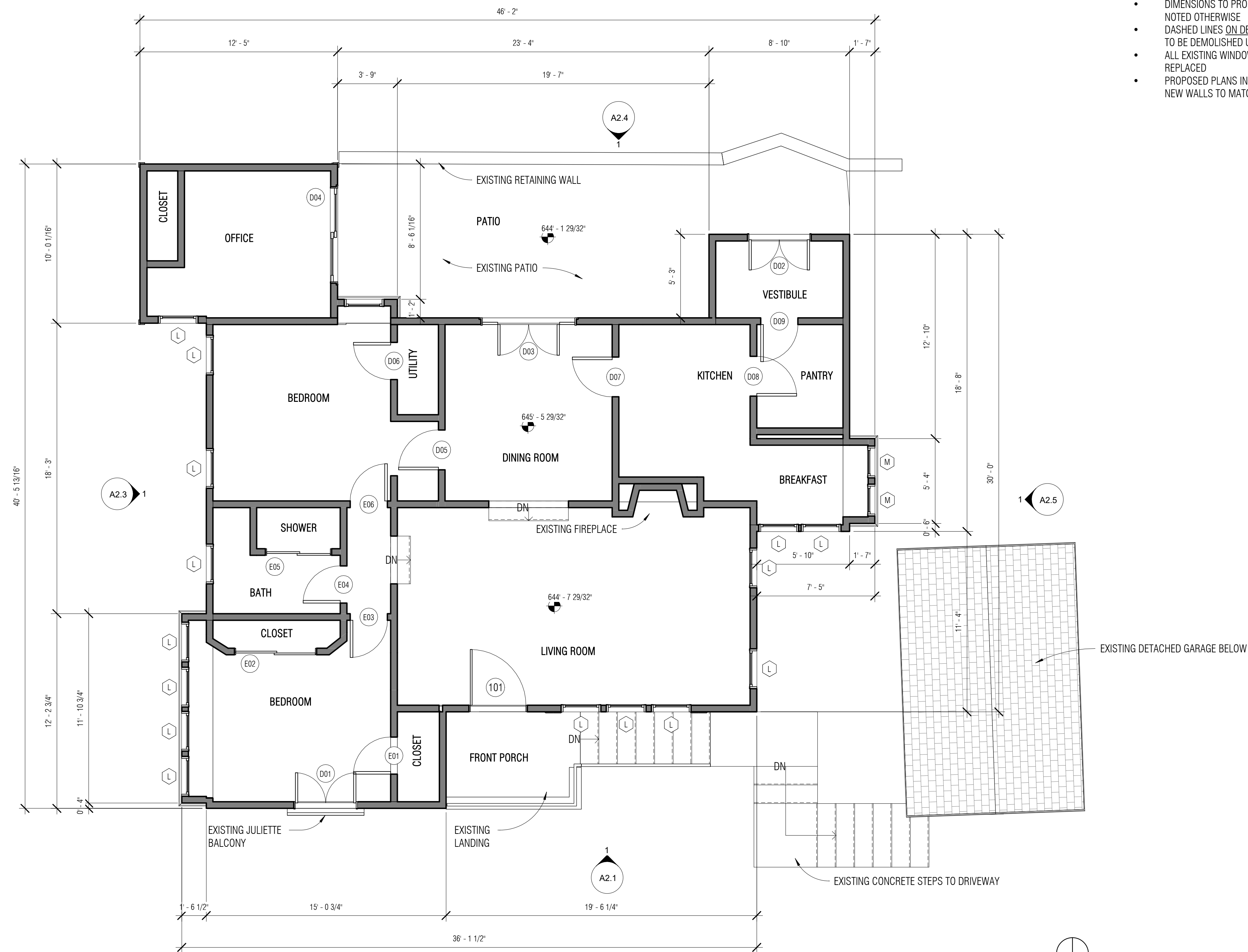
SHEET TITLE

EXISTING FIRST FLOOR PLAN

SHEET NAME

A1.2

NOT FOR CONSTRUCTION



1 EXISTING FIRST FLOOR
1/4" = 1'-0"

WALL LEGEND

- PROPOSED 4" WOOD STUD WALL, INTERIOR: 5/8" PTD. GYP. BD, EXTERIOR: AS NOTED ON ELEVATIONS
- PROPOSED 6" WOOD STUD WALL, INTERIOR: 5/8" PTD. GYP. BD, EXTERIOR: AS NOTED ON ELEVATIONS
- EXISTING WOOD STUD WALL, VERIFY SIZE & FINISHES IN FIELD

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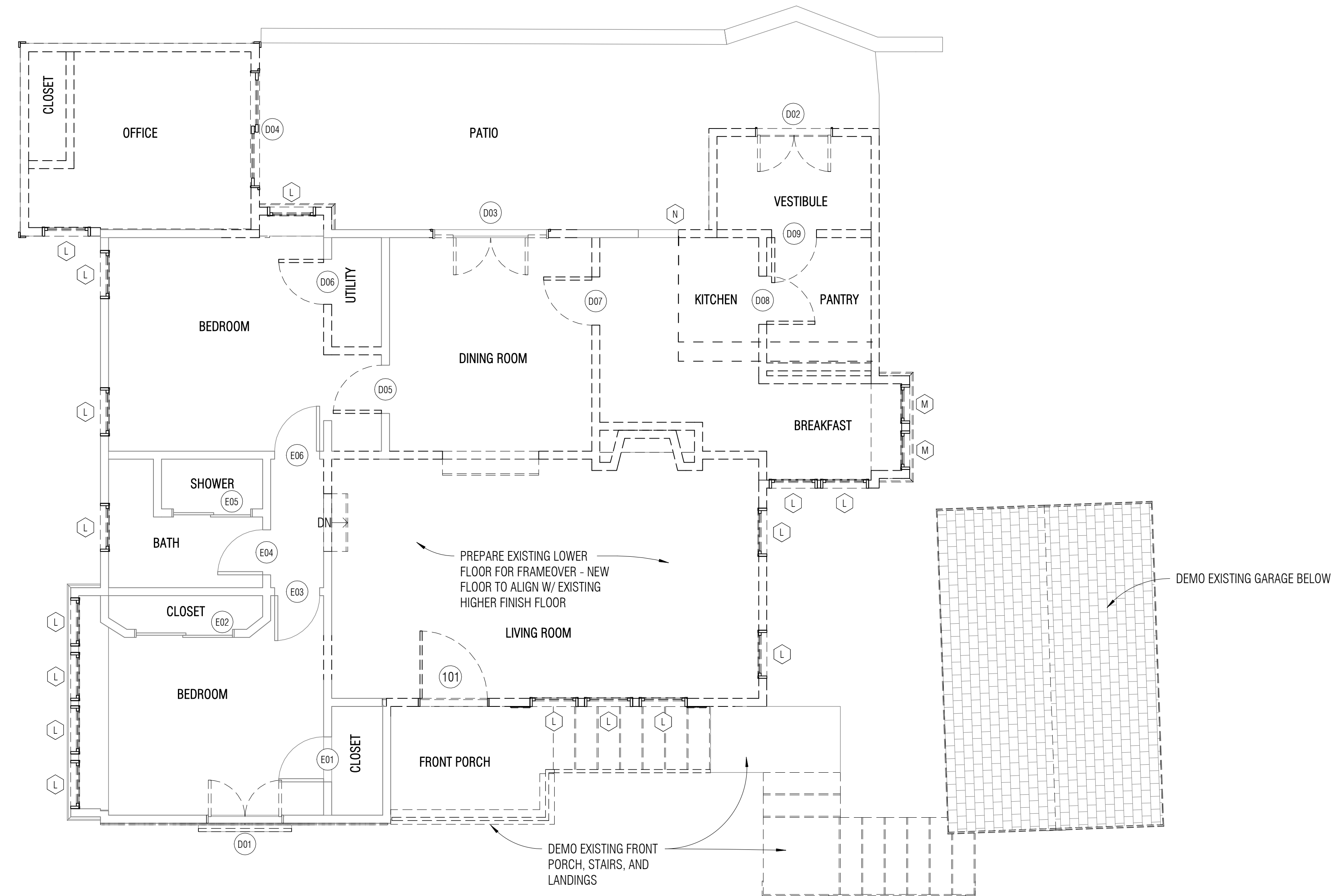
SHEET TITLE

FIRST FLOOR DEMO PLAN

SHEET NAME

A13

NOT FOR CONSTRUCTION



① DEMO FIRST FLOOR
1/4" = 1'-0"

WALL LEGEND

- PROPOSED 4" WOOD STUD WALL. INTERIOR: 5/8" PTD. GYP. BD. EXTERIOR: AS NOTED ON ELEVATIONS
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 South Pasadena, CA 91030

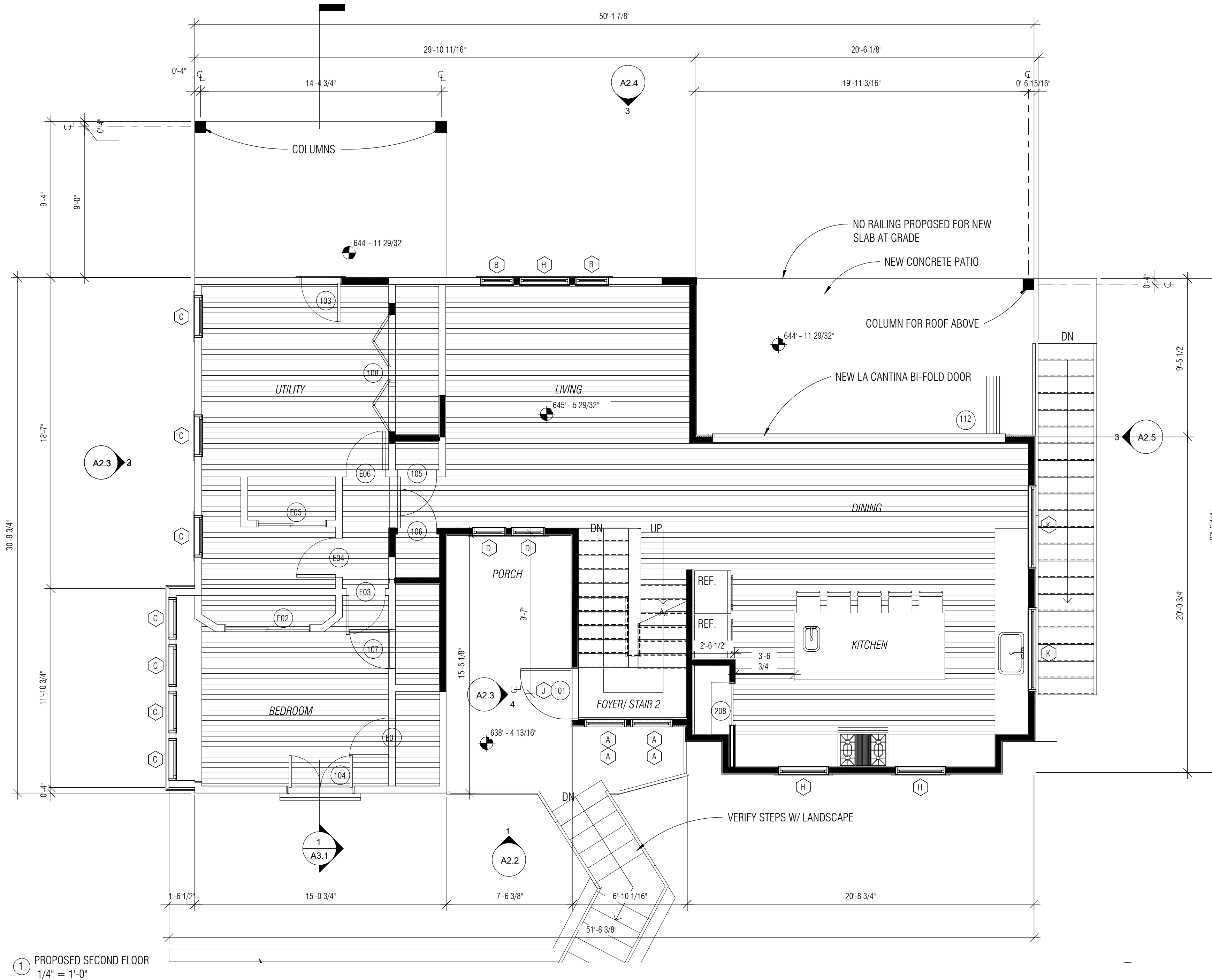
SHEET TITLE

PROPOSED FIRST FLOOR

SHEET NAME

A14

NOT FOR CONSTRUCTION



1 PROPOSED SECOND FLOOR
 1/4" = 1'-0"

WALL LEGEND

- PROPOSED 4" WOOD STUD WALL. INTERIOR: 5/8" PTD. GYP. BD, EXTERIOR: AS NOTED ON ELEVATIONS
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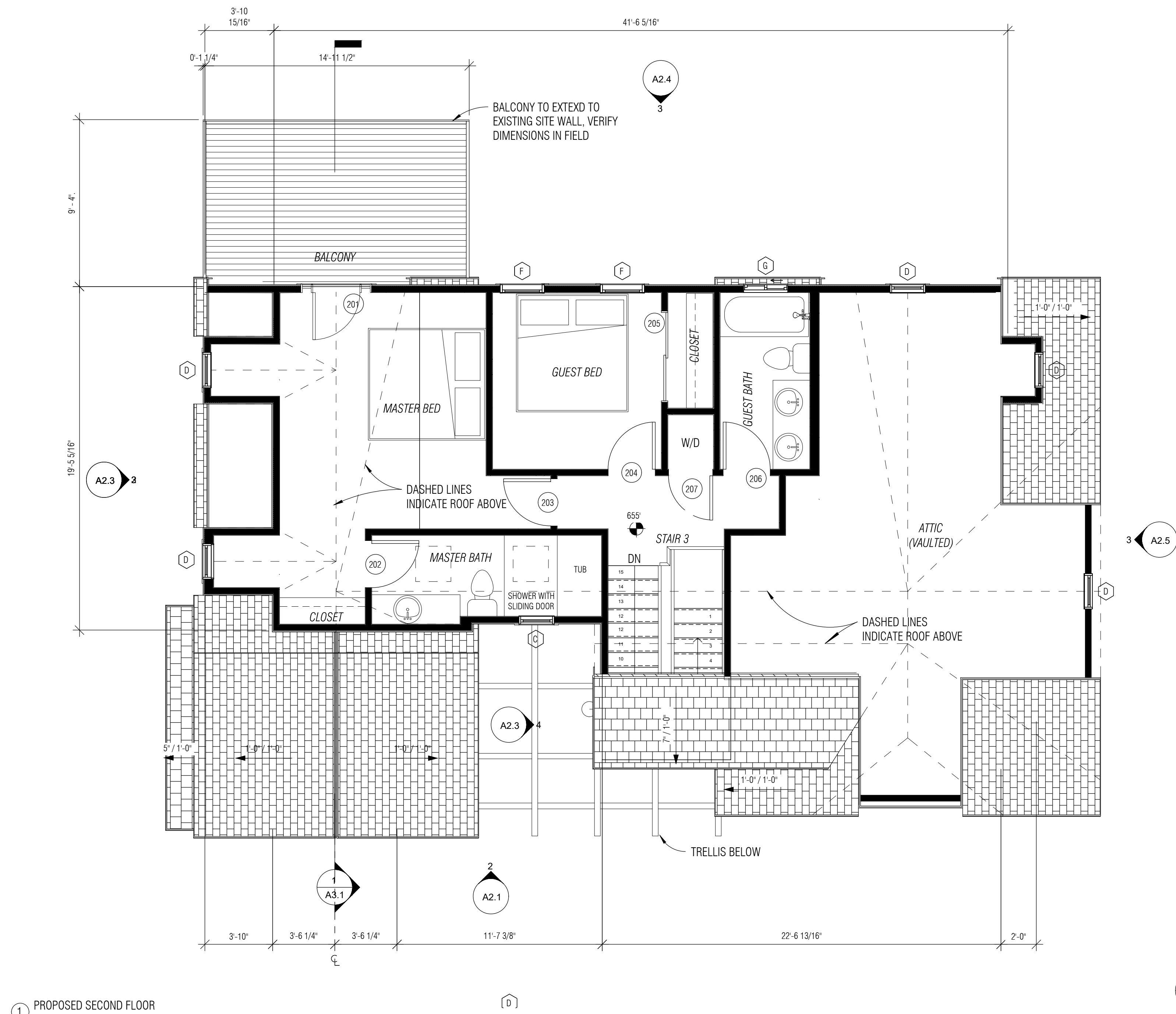
SHEET TITLE

PROPOSED SECOND FLOOR

SHEET NAME

A15

NOT FOR CONSTRUCTION



1 PROPOSED SECOND FLOOR
 1/4" = 1'-0"

WALL LEGEND

- PROPOSED 4" WOOD STUD WALL. INTERIOR: 5/8" PTD. GYP. BD, EXTERIOR: AS NOTED ON ELEVATIONS
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PROJECT NAME

Meridian Addition & Renovation

1312 Meridian Avenue
South Pasadena, CA 91030

SHEET TITLE
EXISTING & DEMO WEST ELEVATIONS

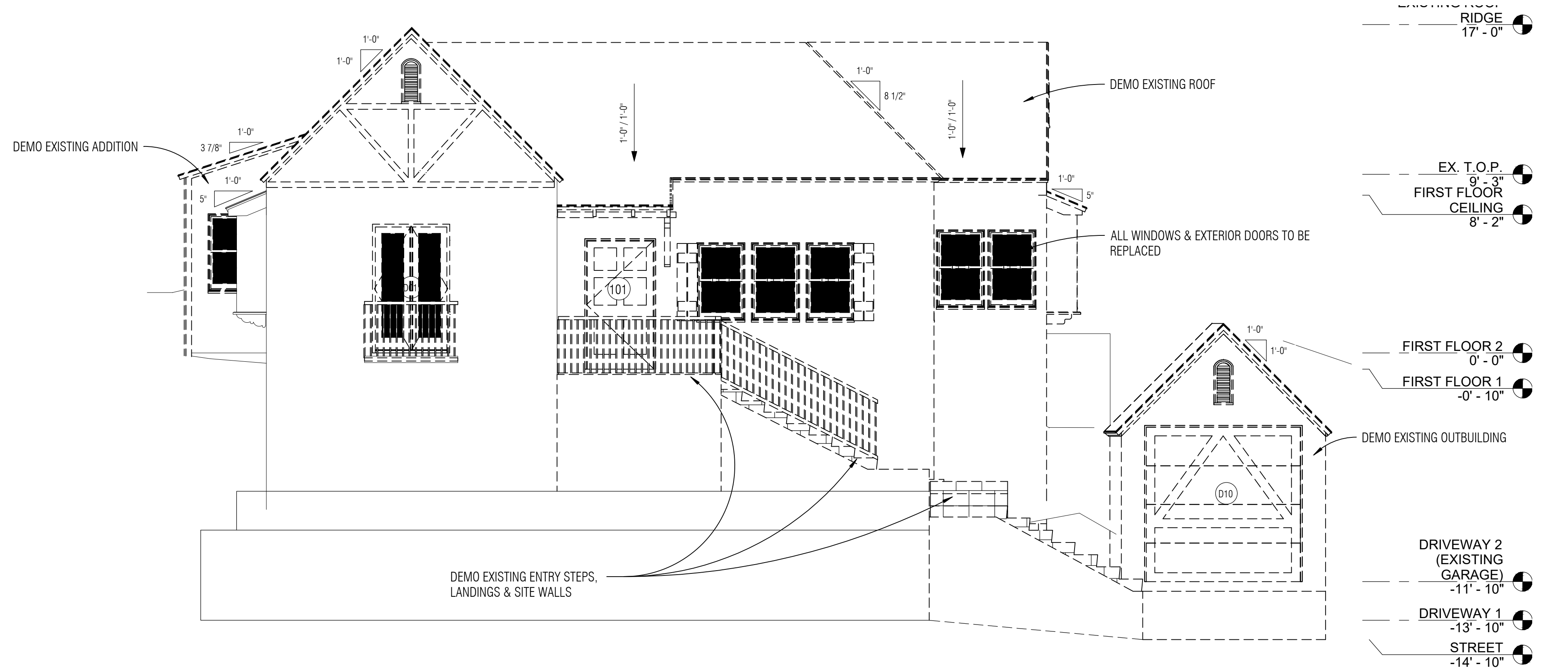
SHEET NAME
A2.1

NOT FOR CONSTRUCTION

3/7/2022 2:52:05 PM



① EXISTING WEST ELEVATION (Front)
1/4" = 1'-0"



② DEMO WEST ELEVATION (Front)
1/4" = 1'-0"

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1312 Meridian Avenue
South Pasadena, CA 91030

SHEET TITLE

PROPOSED WEST ELEVATION

SHEET NAME

A2.2

NOT FOR CONSTRUCTION

ELEVATION NOTES

- ALL DIMENSIONS NEED TO BE VERIFIED IN FIELD PRIOR TO START OF CONSTRUCTION
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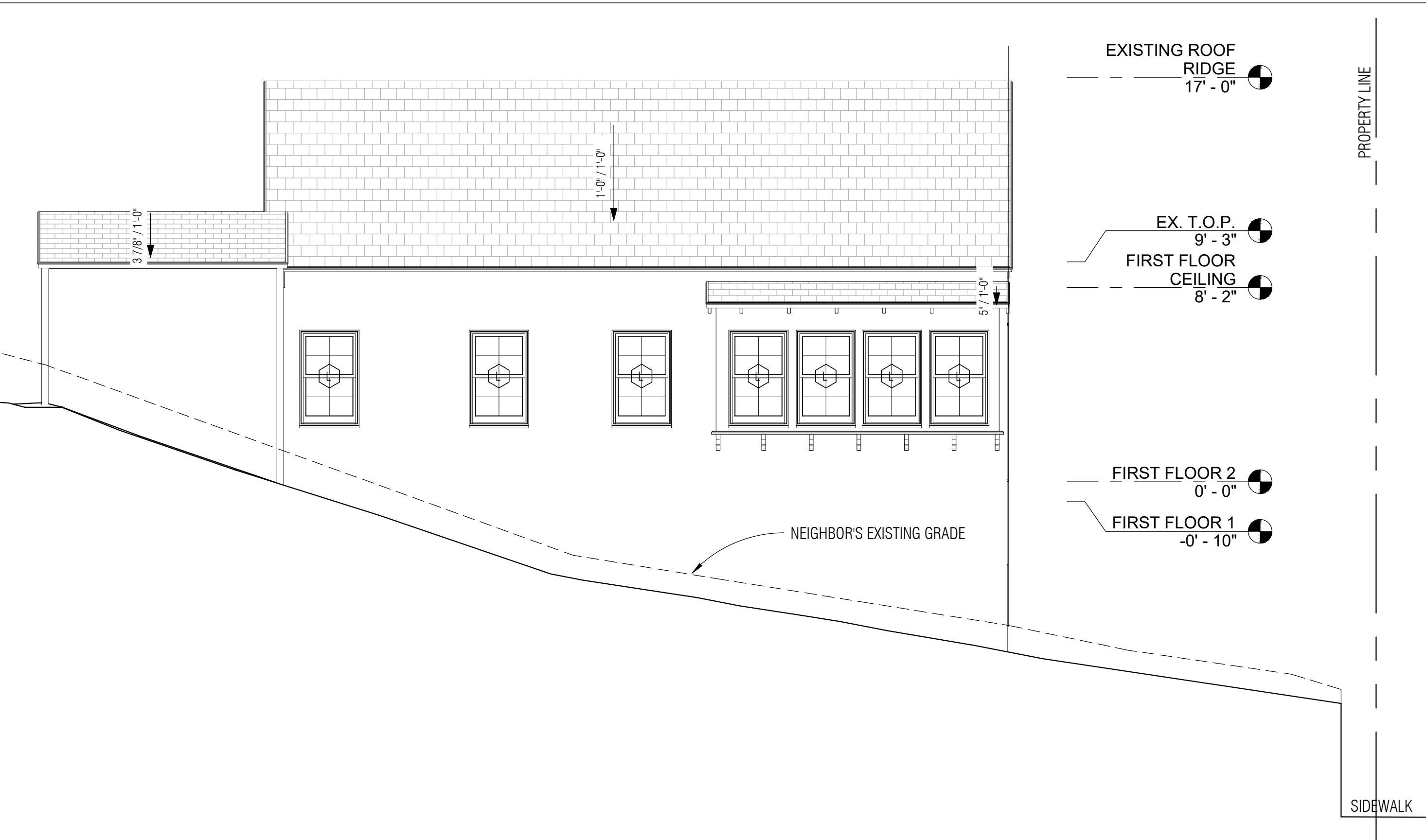
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South Pasadena, CA 91030

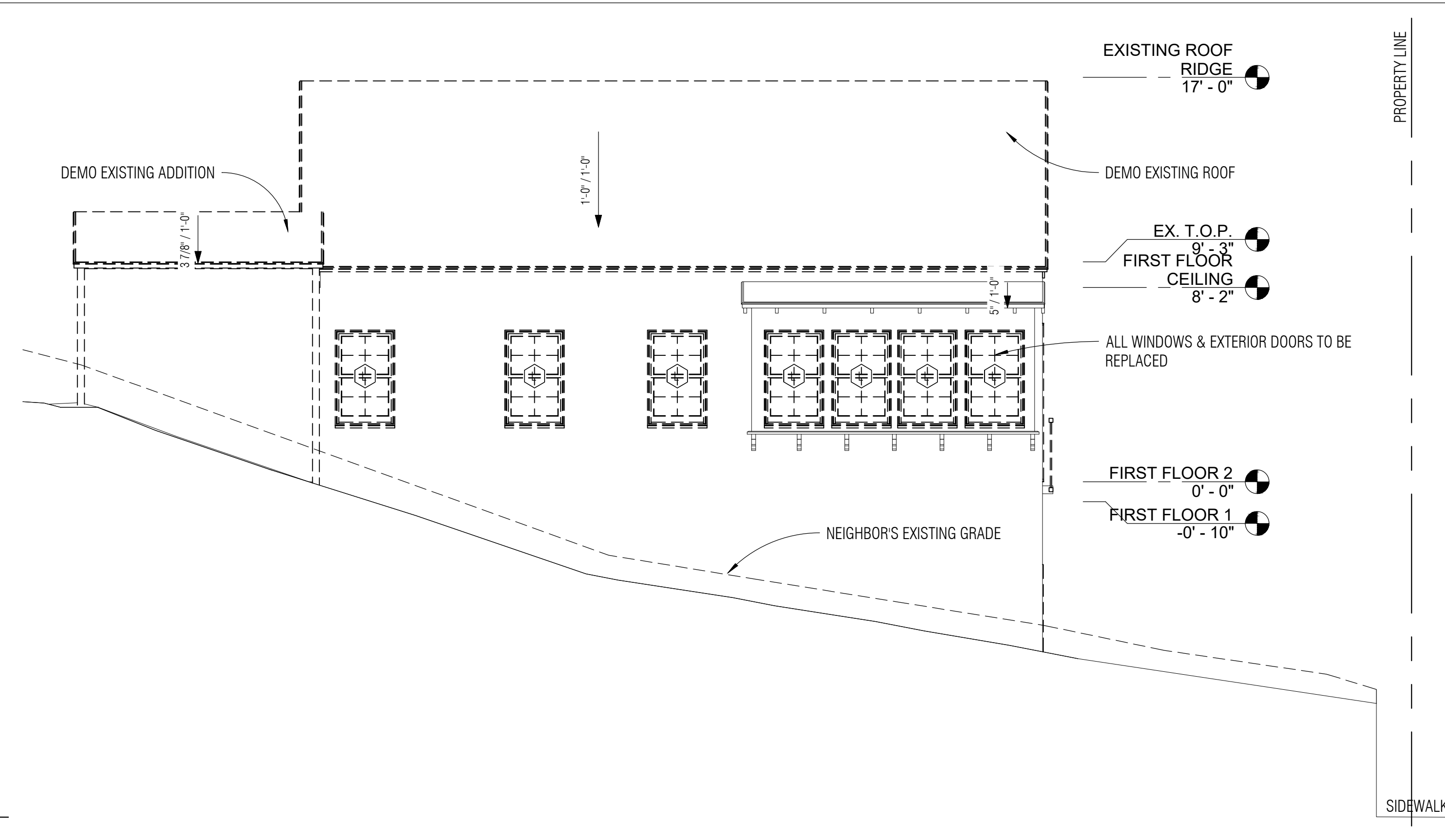
SHEET TITLE
NORTH ELEVATIONS

SHEET NAME
A2.3

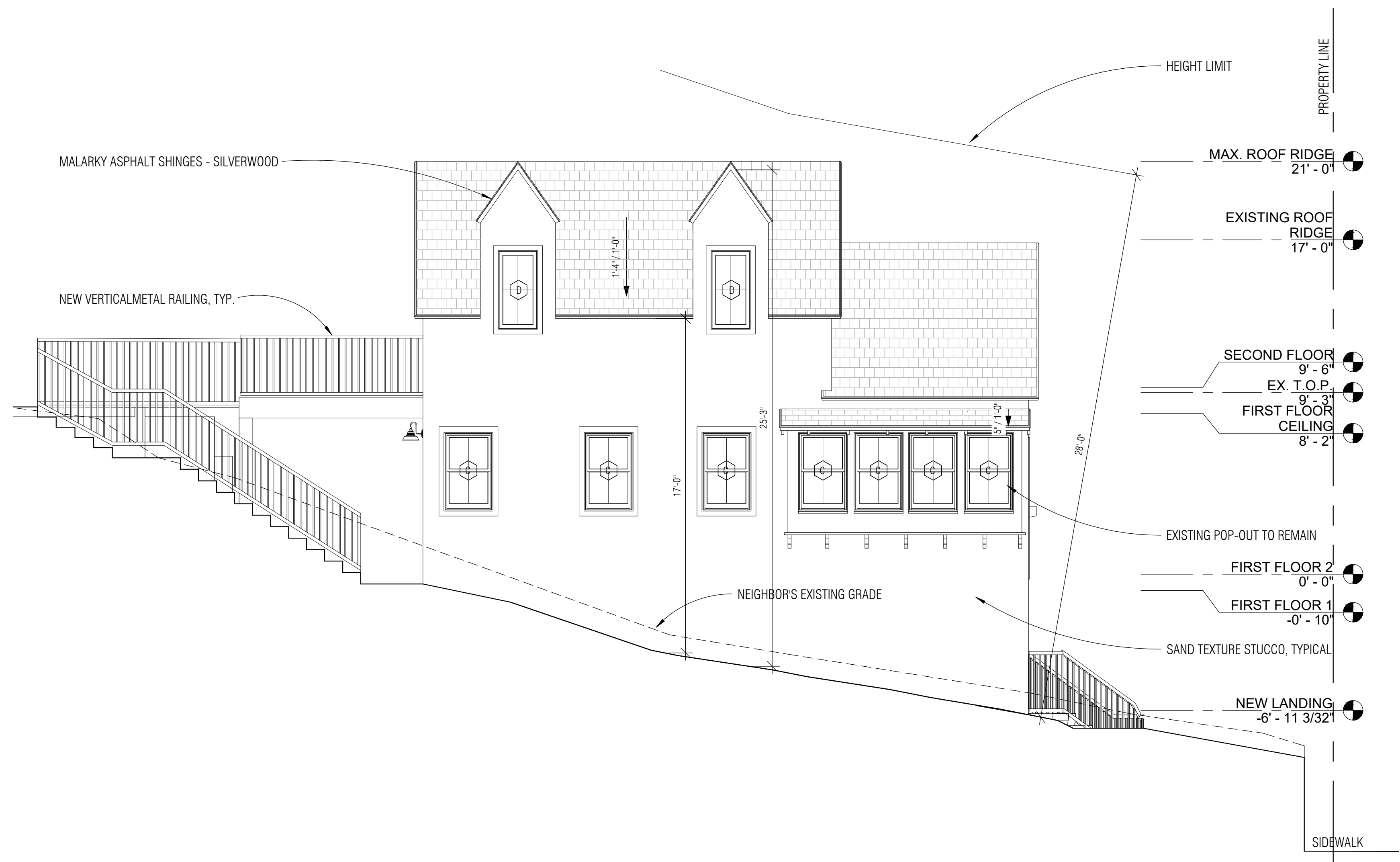
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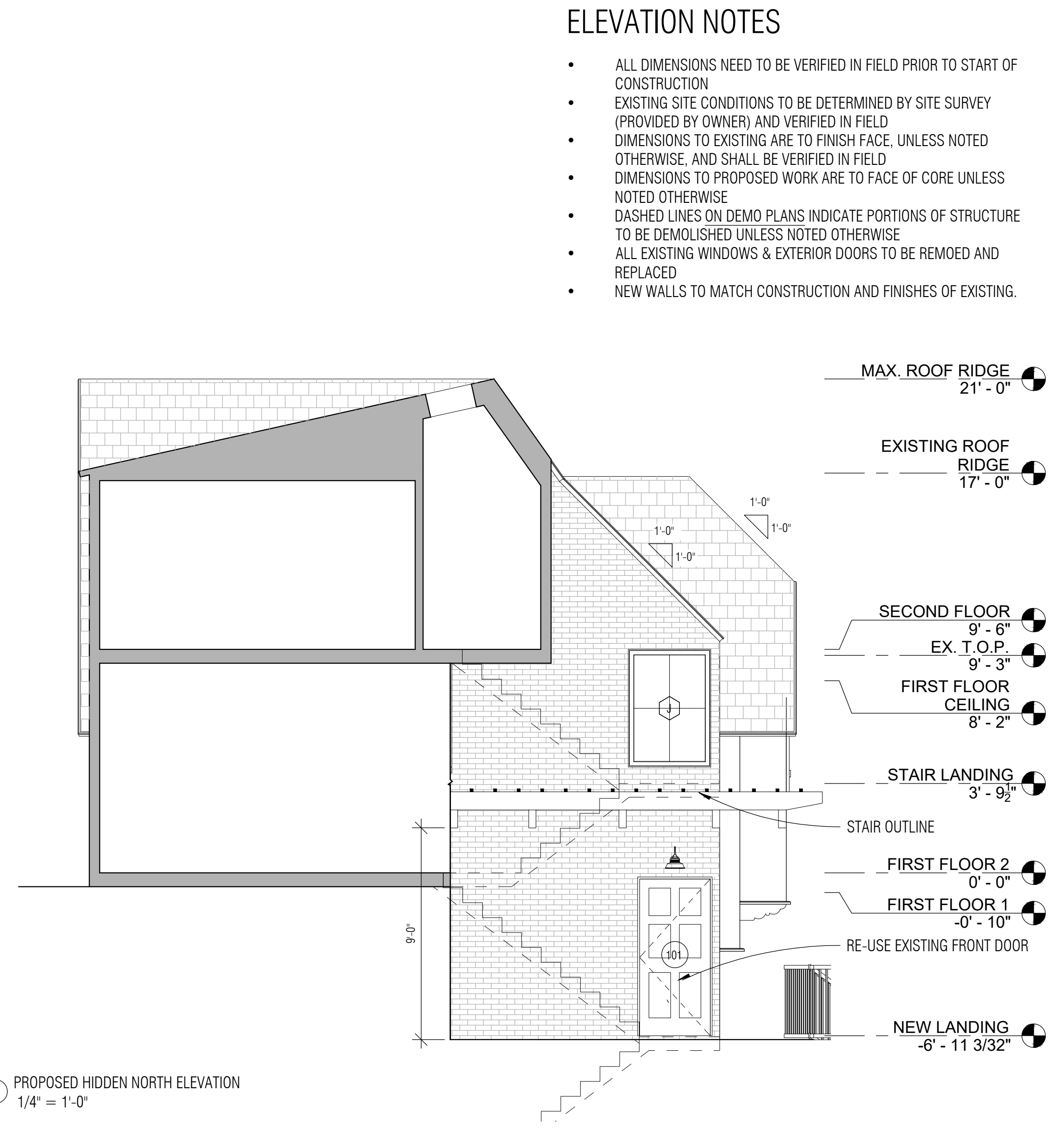
① EXISTING NORTH ELEVATION
1/4" = 1'-0"



② DEMO NORTH ELEVATION
1/4" = 1'-0"



③ PROPOSED NORTH ELEVATION
1/4" = 1'-0"



④ PROPOSED HIDDEN NORTH ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

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PROJECT NAME

Meridian Addition & Renovation
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SHEET TITLE
EAST ELEVATIONS

SHEET NAME
A2.4

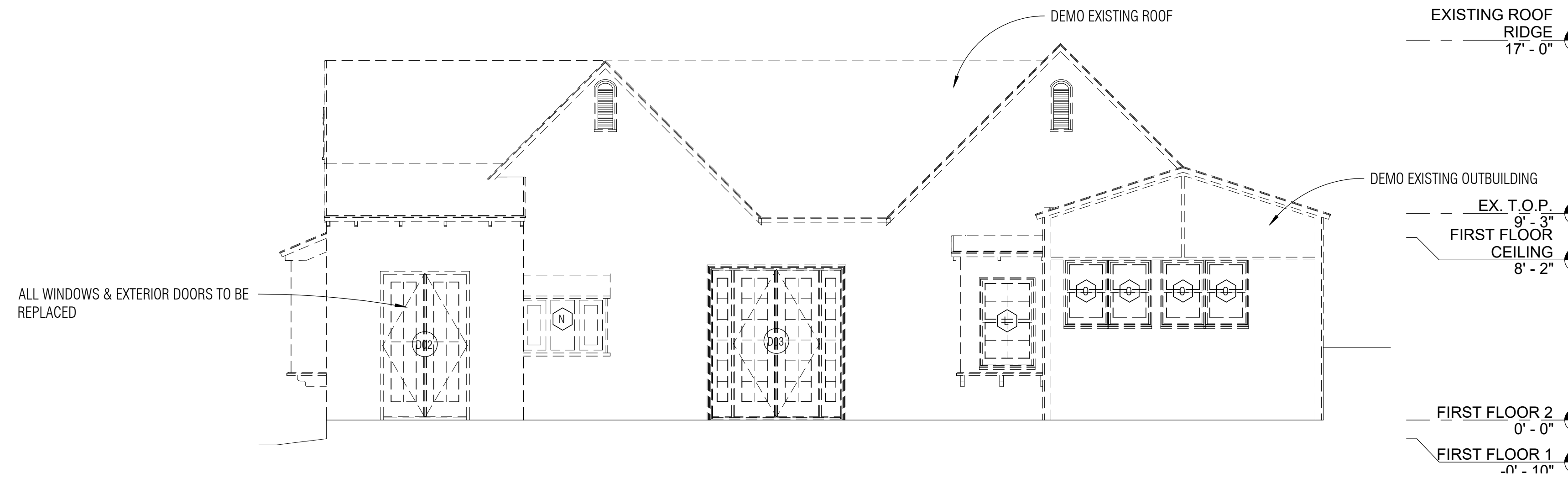
NOT FOR CONSTRUCTION

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① EXISTING EAST ELEVATION
1/4" = 1'-0"



② DEMO EAST ELEVATION
1/4" = 1'-0"



③ PROPOSED EAST ELEVATION
1/4" = 1'-0"

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PROJECT NAME

Meridian Addition & Renovation

1312 Meridian Avenue
 South Pasadena, CA 91030

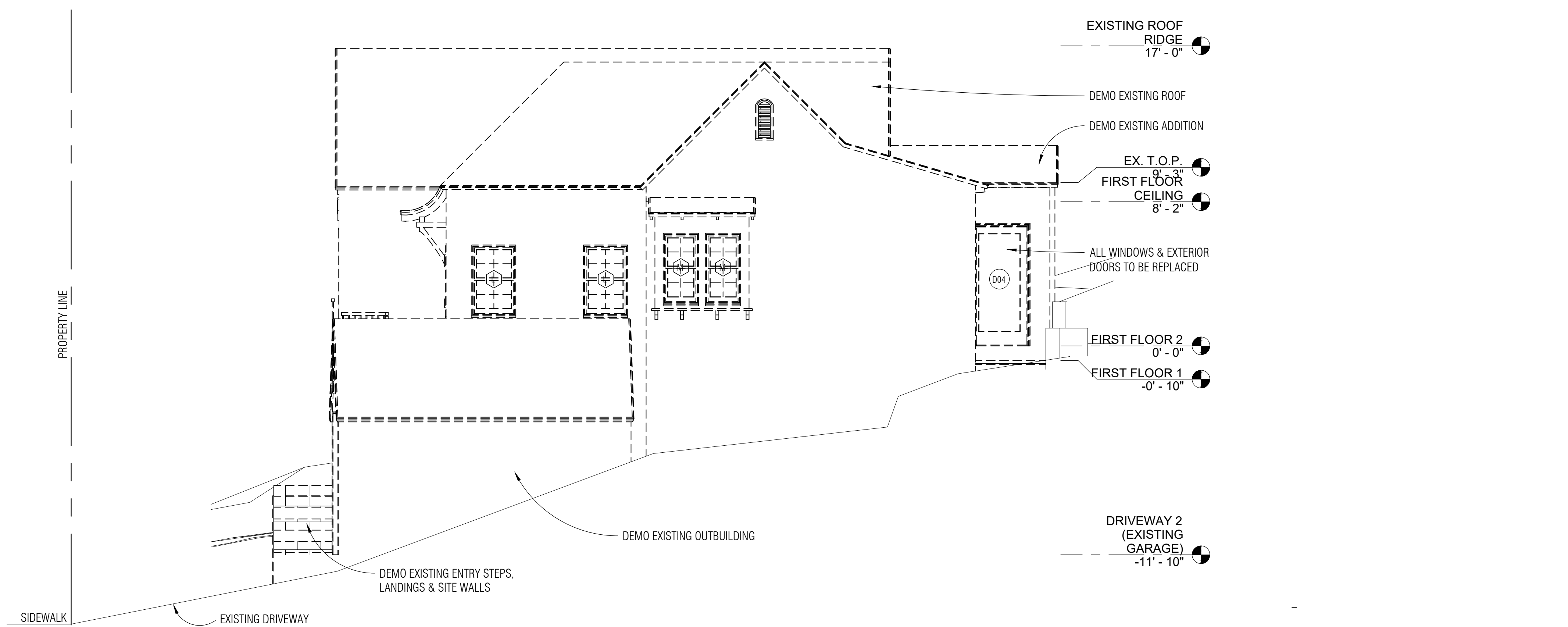
SHEET TITLE
SOUTH ELEVATIONS

SHEET NAME
A2.51

NOT FOR CONSTRUCTION



① EXISTING SOUTH ELEVATION
 1/4" = 1'-0"



② DEMO SOUTH ELEVATION
 1/4" = 1'-0"

HON TSAI, INC.

1107 FAIR OAKS AVE. #137
 SOUTH PASADENA, CA 91030
 t: (646) 812-5512
 www.melissahon.com

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ISSUE / REVISION RECORD

DESCRIPTION	DATE
Cultural Heritage Commission Review	12-21-2018
Window & Door Pricing	04-25-2019
Planning Review	01-26-2020

PROFESSIONAL SEAL

PROJECT NAME

Meridian Addition & Renovation

1312 Meridian Avenue
 South Pasadena, CA 91030

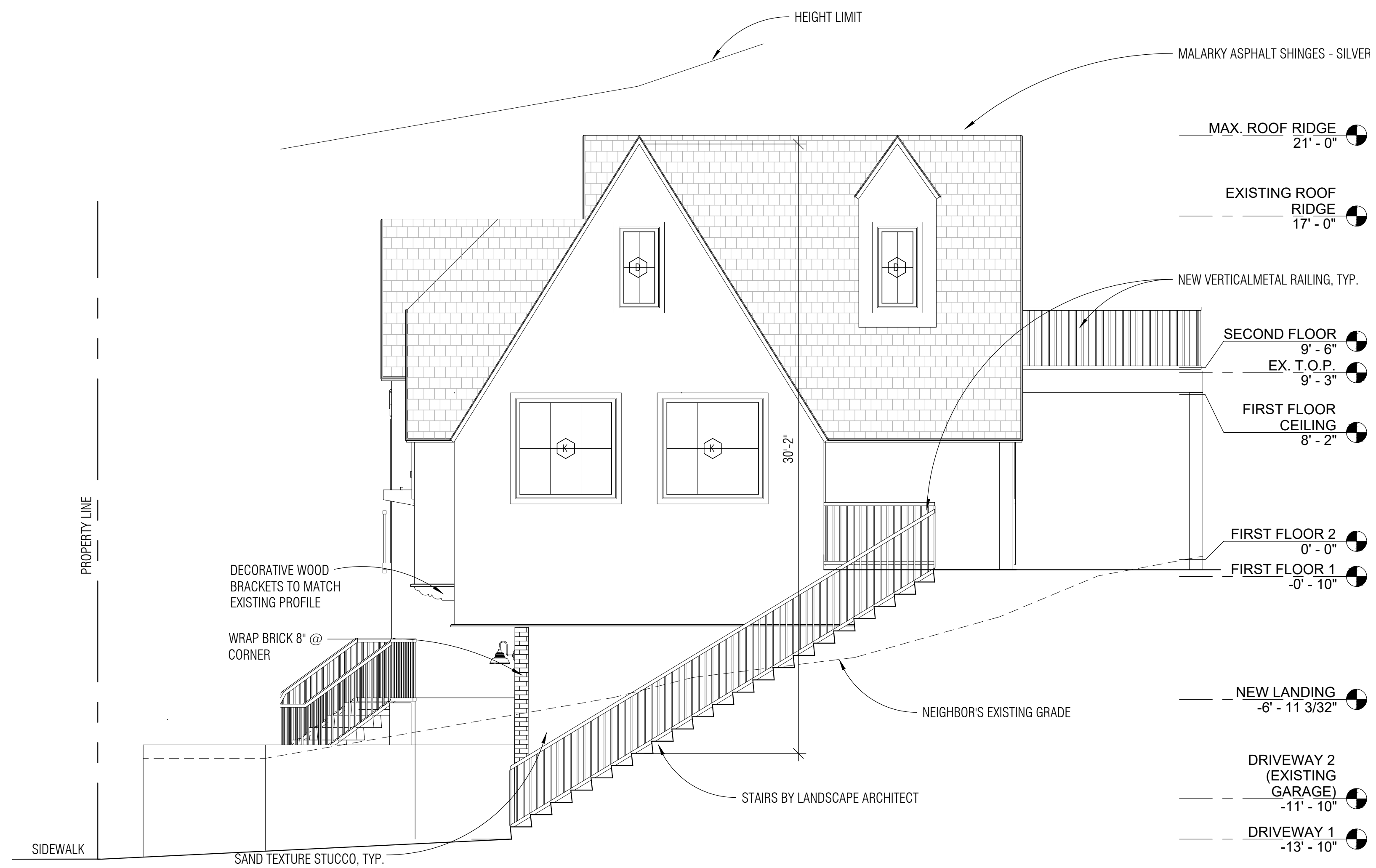
SHEET TITLE

SOUTH ELEVATIONS

SHEET NAME

A2.52

NOT FOR CONSTRUCTION



1 PROPOSED SOUTH ELEVATION
 1/4" = 1'-0"

HON TSAI, INC.
 1107 FAIR OAKS AVE. #137
 SOUTH PASADENA, CA 91030
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DOOR SCHEDULE					
Mark	Width	Height	Type Comments	Comments	
001	16' - 0"	8' - 0"	OVERHEAD SEGMENTED GARAGE DOOR	WAYNE DALTON BRONZE 9405 CARRIAGE HOUSE PROVIDENCE W/ STOCKBRIDGE WINDOW	
002	2' - 8"	6' - 8"	EXTERIOR SINGLE SWINGING DOOR	NEW DOOR	
101	3' - 6"	6' - 8"	EXTERIOR SINGLE SWINGING DOOR	RE-USE EXISTING FRONT DOOR	
103	2' - 6"	6' - 8"	EXTERIOR SINGLE SWINGING DOOR W/ FULL LITE	NEW DOOR	
104	4' - 0"	6' - 8"	EXTERIOR PAIR SWINGING DOOR W/ FULL LITE	NEW DOOR	
105	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
106	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
107	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
108	7' - 0"	6' - 8"	PAIR INTERIOR BI-FOLD DOOR	NEW DOOR	
112	17' - 6"	8' - 0"	(5) PANEL BI-FOLD DOOR	BY LA CANTINA	
201	4' - 0"	6' - 8"	EXTERIOR SWINGING DOOR W/ FULL LITE AND 2 SIDE LITES	NEW DOOR	
202	2' - 8"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
203	2' - 8"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
204	2' - 8"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
205	5' - 0"	6' - 8"	PAIR INTERIOR BYPASSING DOOR	NEW DOOR	
206	2' - 8"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
207	2' - 6"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	NEW DOOR	
208	2' - 6"	6' - 8"	SINGLE INTERIOR POCKET DOOR	NEW DOOR	
D01	4' - 0"	6' - 8"	EXTERIOR PAIR SWINGING DOOR W/ FULL LITE	DEMO EXISTING DOOR	
D02	4' - 0"	6' - 8"	EXTERIOR PAIR SWINGING DOOR W/ FULL LITE	DEMO EXISTING DOOR	
D03	6' - 0"	6' - 10"	EXTERIOR PAIR SWINGING DOOR W/ SIDE LITES	DEMO EXISTING DOOR	
D04	6' - 0 5/8"	6' - 10"	EXTERIOR PAIR SLIDING DOOR	DEMO EXISTING DOOR	
D05	2' - 6"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	DEMO EXISTING DOOR	
D06	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	DEMO EXISTING DOOR	
D07	2' - 6"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	DEMO EXISTING DOOR	
D08	2' - 6"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	DEMO EXISTING DOOR	
D09	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	DEMO EXISTING DOOR	
D10	8' - 0"	8' - 0"	OVERHEAD SEGMENTED GARAGE DOOR	DEMO EXISTING DOOR	
E01	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	EXISTING DOOR TO REMAIN	
E02	5' - 0"	6' - 8"	PAIR INTERIOR BYPASSING DOOR	EXISTING DOOR TO REMAIN	
E03	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	EXISTING DOOR TO REMAIN	
E04	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	EXISTING DOOR TO REMAIN	
E05	4' - 0"	6' - 8"	PAIR INTERIOR BYPASSING DOOR	EXISTING DOOR TO REMAIN	
E06	2' - 4"	6' - 8"	SINGLE INTERIOR SWINGING DOOR	EXISTING DOOR TO REMAIN	

DOOR SCHEDULE NOTES

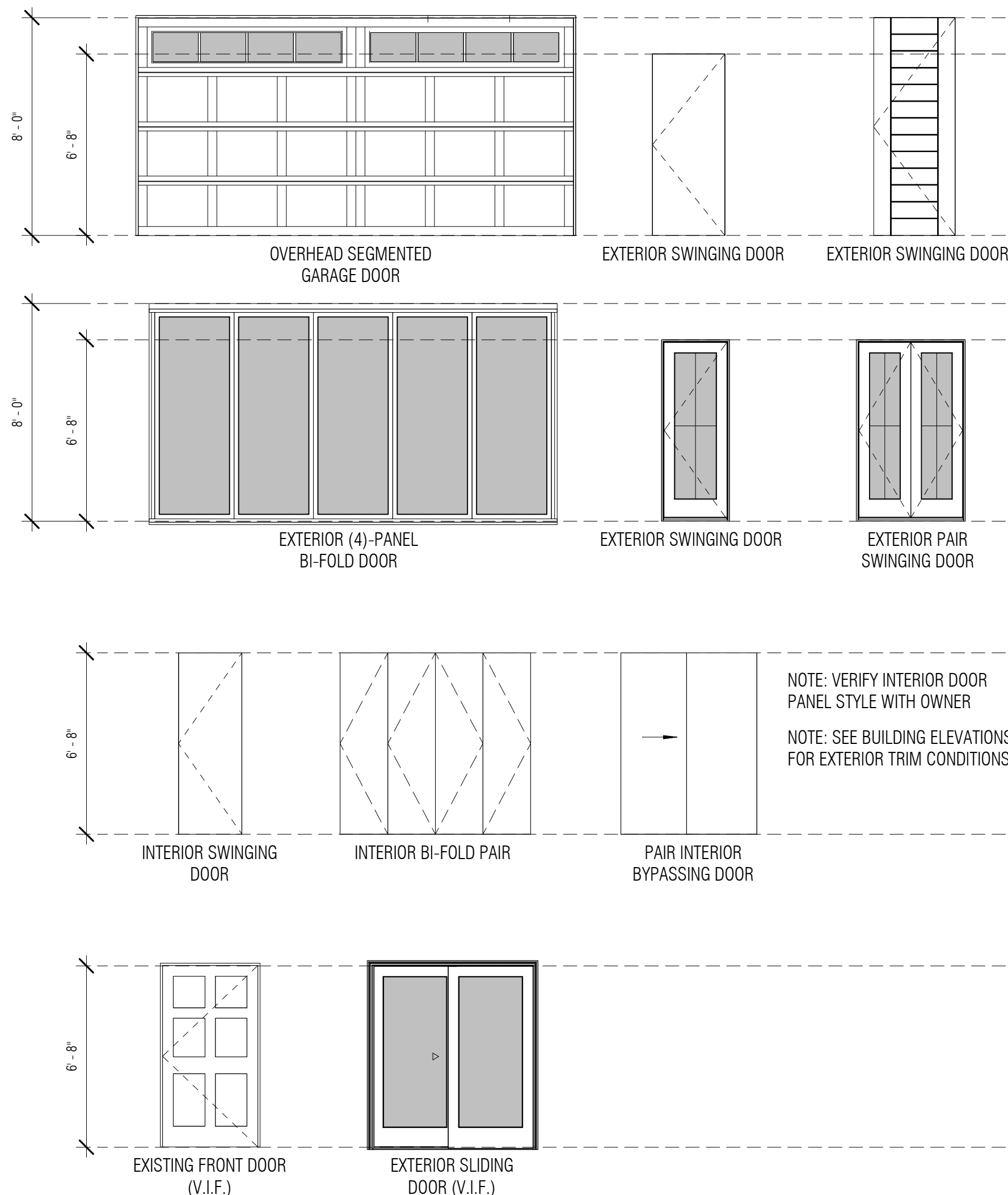
- INSTALL DOORS PER MFR. INSTRUCTIONS.
- EXTERIOR OPENINGS TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP.
- INTERIOR HEAD HEIGHTS TO ALIGN WITH EXTERIOR HEAD HEIGHTS UNLESS NOTED OTHERWISE.
- INSTALL HALF-DUMMY HARDWARE SET ON ALL CLOSET DOORS UNLESS NOTED OTHERWISE.
- ALL DOUBLE DOORS TO HAVE FLUSH BOLTS ON INACTIVE LEAF.
- GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS WITH OWNER.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH DOOR HARDWARE SUPPLIER TO PROVIDE THAT HARDWARE SETS MEET THE INTENT OF THE DRAWINGS.
- GENERAL CONTRACTOR TO ALERT DESIGNER OF ANY ISSUES WITH PROPOSED DOOR SIZES, TYPES, LOCATIONS, OR OTHER POTENTIAL ISSUES PRIOR TO ORDERING AND INSTALLING.

WINDOW SCHEDULE					
Type Mark	Width	Height	Type Comments	Qty.	Comments
A	2' - 6"	5' - 0"	SINGLE CASEMENT WINDOW	4	NEW WINDOW
B	2' - 0"	5' - 0"	SINGLE CASEMENT WINDOW	2	NEW WINDOW
C	2' - 6"	4' - 0"	SINGLE DOUBLE-HUNG WINDOW	8	NEW WINDOW
D	2' - 0"	4' - 0"	SINGLE CASEMENT WINDOW	7	NEW WINDOW
E	2' - 0"	3' - 0"	SINGLE CASEMENT WINDOW	0	NEW WINDOW
F	2' - 6"	3' - 0"	SINGLE DOUBLE-HUNG WINDOW	2	NEW WINDOW
G	2' - 6"	1' - 8"	SINGLE HORIZONTAL SLIDING WINDOW	1	NEW WINDOW
H	3' - 0"	5' - 0"	SINGLE FIXED WINDOW	3	NEW WINDOW
J	3' - 6"	5' - 0"	SINGLE FIXED WINDOW	1	NEW WINDOW
K	5' - 0"	5' - 0"	SINGLE FIXED WINDOW	2	NEW WINDOW
L	2' - 6"	4' - 0"	SINGLE DOUBLE-HUNG WINDOW	16	DEMO EXISTING WINDOW
M	2' - 0"	4' - 0"	SINGLE DOUBLE-HUNG WINDOW	2	DEMO EXISTING WINDOW
N	3' - 10"	2' - 6"	WINDOW BOX	1	DEMO EXISTING WINDOW
O	2' - 0"	3' - 0"	SINGLE DOUBLE-HUNG WINDOW	4	DEMO EXISTING WINDOW

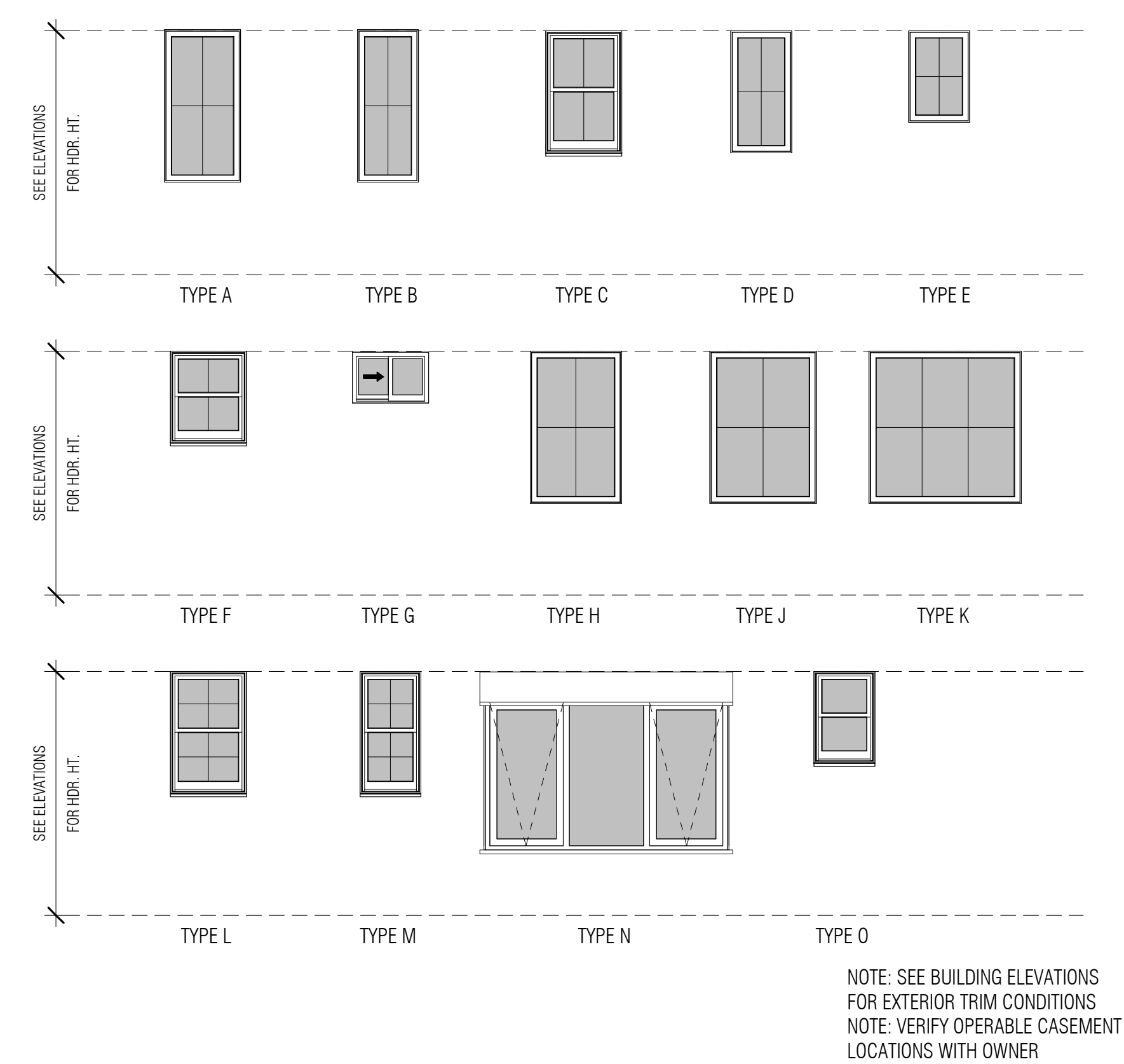
WINDOW SCHEDULE NOTES

- INSTALL WINDOWS PER MFR. INSTRUCTIONS.
- GENERAL CONTRACTOR TO SECURE WRITTEN DOCUMENTATION THAT WINDOWS & DOORS TO BE INSTALLED IN THE PROJECT MEET OR EXCEED WIND LOADING AND ALL OTHER DESIGN CRITERIA AS REQUIRED BY THE ENGINEERS SPECIFICATIONS AND CONTRACT DOCUMENTS. THIS INCLUDES ANY SUBSTITUTIONS MADE DURING THE COURSE OF THE PROJECT.
- WINDOW OPENINGS TO HAVE HEAD FLASHING, WEEPED SEALANT JOINTS, AND DOOR WRAP.
- WINDOW HEAD HEIGHTS TO ALIGN WITH EXTERIOR DOOR HEAD HEIGHTS AND INTERIOR DOOR HEAD HEIGHTS UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO COORDINATE FINAL HARDWARE SELECTIONS WITH OWNER.
- WINDOWS ARE REQUIRED TO MEET ALL CODE REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) LIFE SAFETY AND EGRESS CODES AND REQUIREMENTS.
- WINDOW MEASUREMENTS ARE APPROXIMATE AND RE TO BE VERIFIED WITH THE MANUFACTURER'S DIMENSIONS AND SPECIFICATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH DOOR HARDWARE SUPPLIER TO PROVIDE THAT HARDWARE SETS MEET THE INTENT OF THE DRAWINGS.
- GENERAL CONTRACTOR TO ALERT DESIGNER OF ANY ISSUES WITH PROPOSED WINDOW SIZES, TYPES, LOCATIONS, OR OTHER POTENTIAL ISSUES PRIOR TO ORDERING AND INSTALLING.

DOOR TYPES



WINDOW TYPES



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ISSUE / REVISION RECORD
DESCRIPTION
 Cultural Heritage Commission Review 12-21-2018

Window & Door Pricing 04-25-2019
 Planning Review 01-26-2020

PROFESSIONAL SEAL

PROJECT NAME

Meridian Addition & Renovation
 1312 Meridian Avenue
 South Pasadena, CA 91030

SHEET TITLE
DOOR & WINDOW SCHEDULE

SHEET NAME
A2.6

NOT FOR CONSTRUCTION

1/26/2020 2:39:31 PM

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ISSUE / REVISION RECORD
 DESCRIPTION

PROFESSIONAL SEAL

PROJECT NAME

MERIDIAN ADDITION AND RENOVATION
 1312 MERIDIAN AVE., SOUTH PASADENA, CA 91030

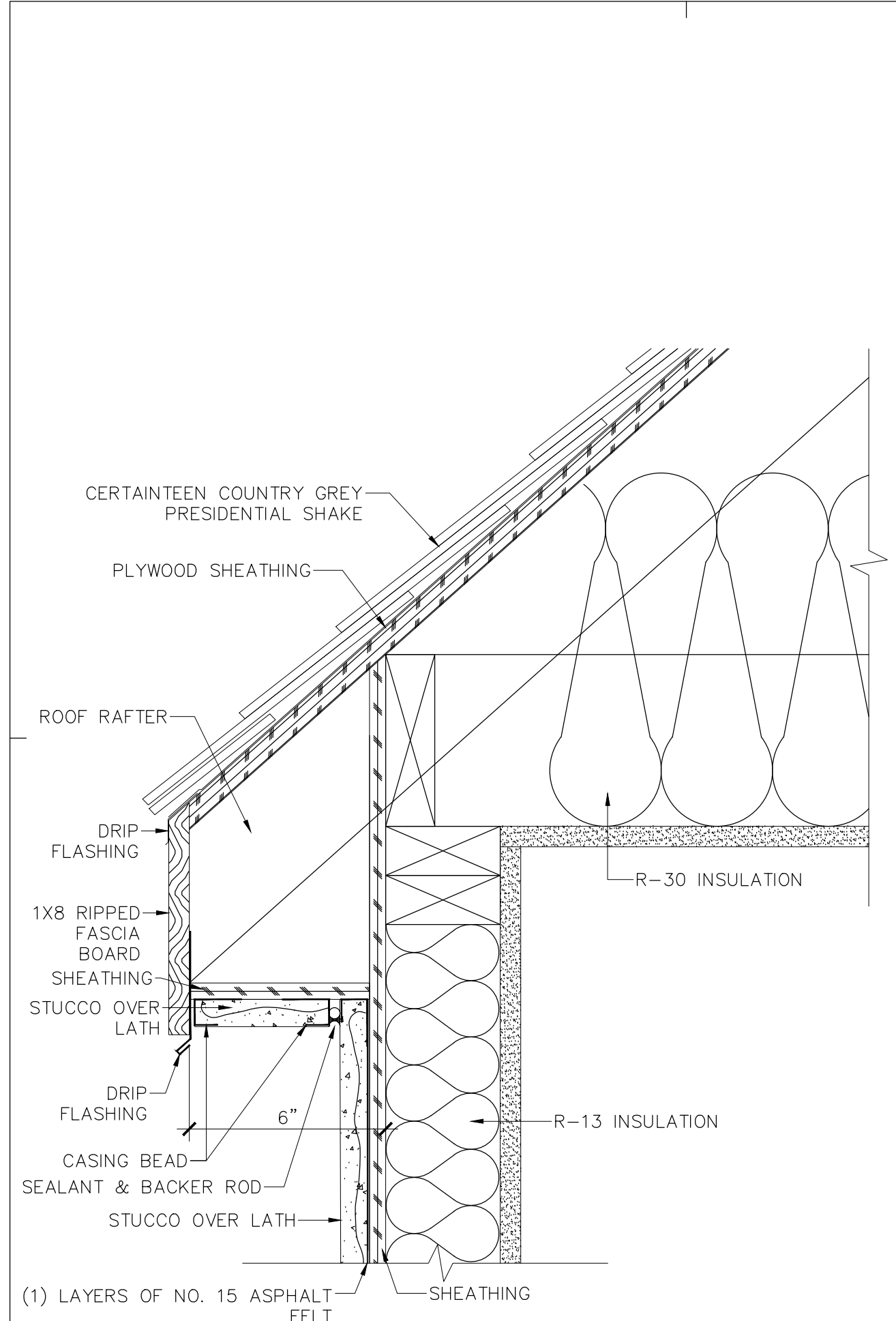
SHEET TITLE

DETAILS

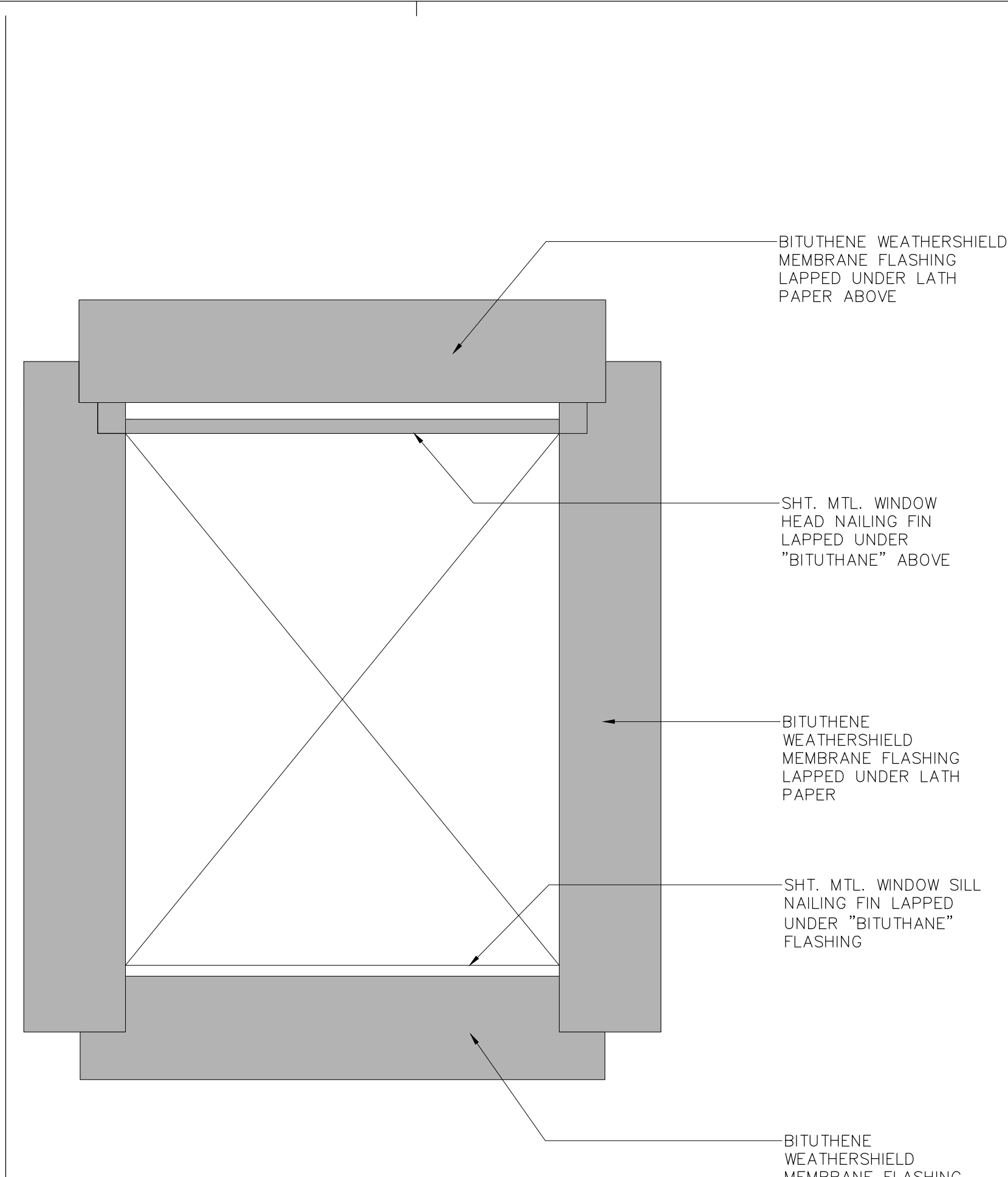
SHEET NAME

A3.0

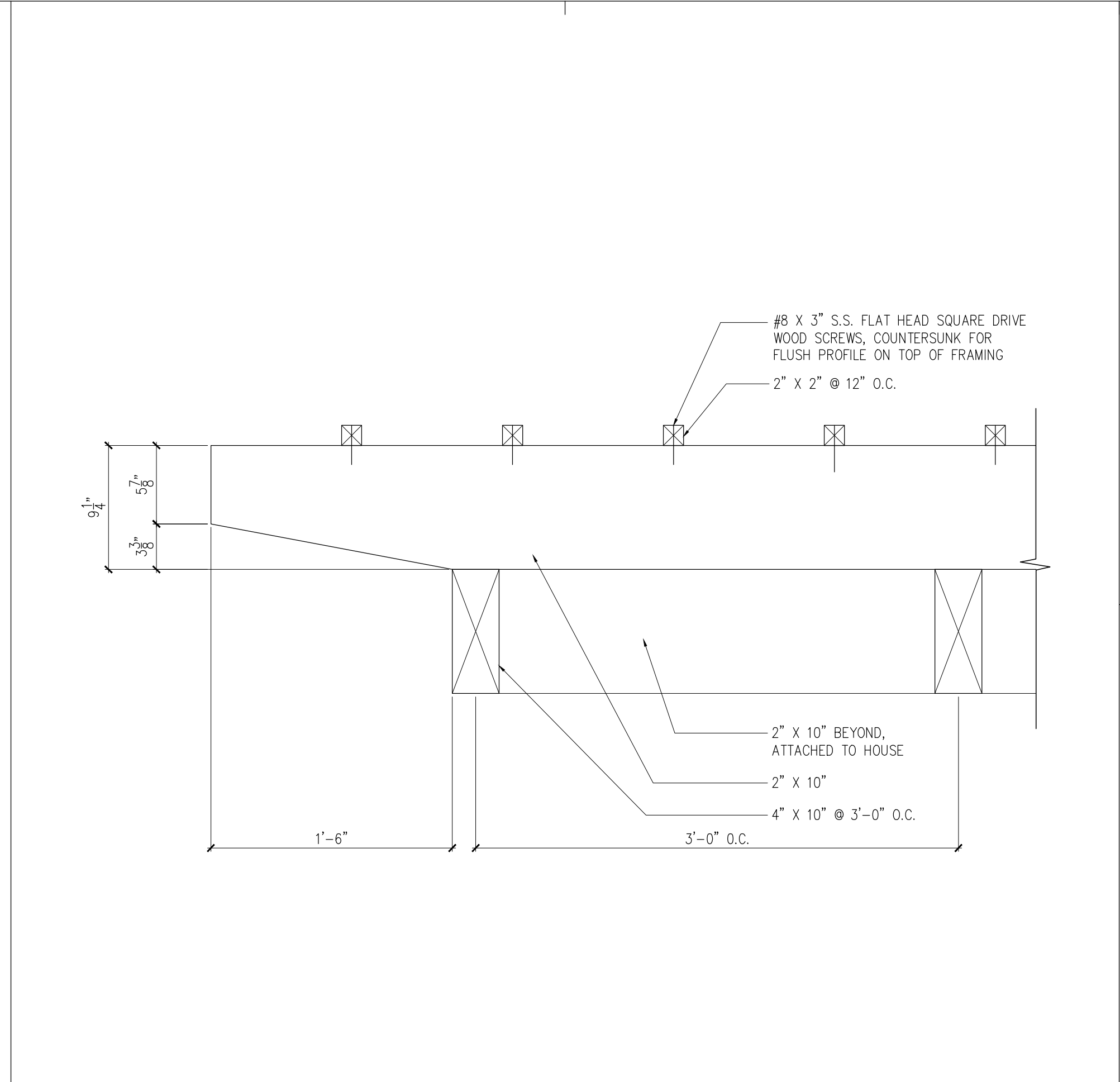
NOT FOR CONSTRUCTION



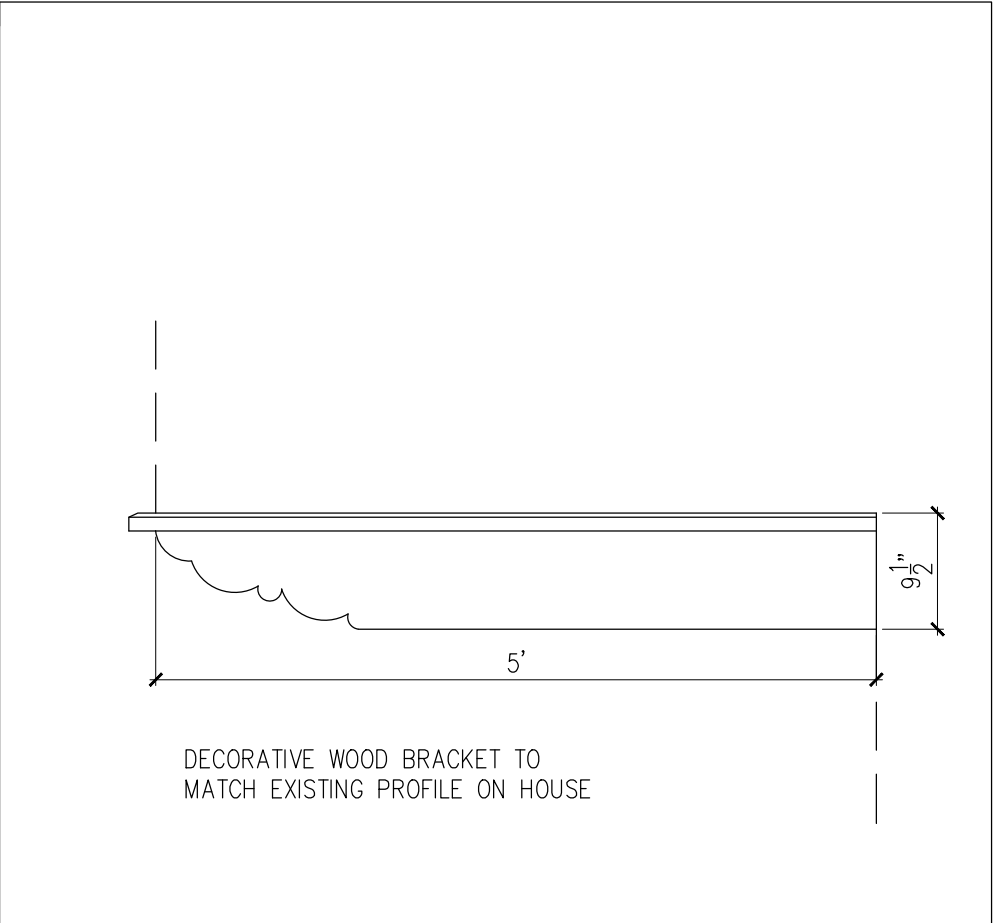
8 EAVE DETAIL
 SCALE = 3" = 1'-0"



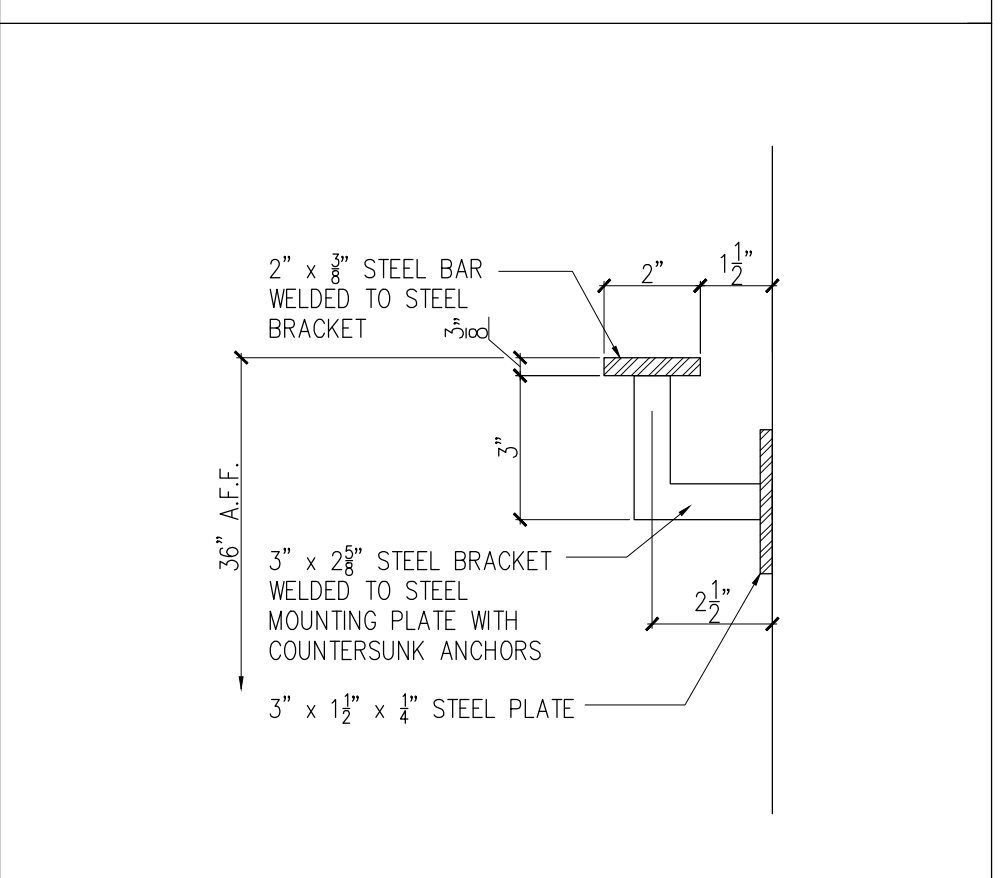
7 WINDOW FLASHING DETAIL
 SCALE = 3" = 1'-0"



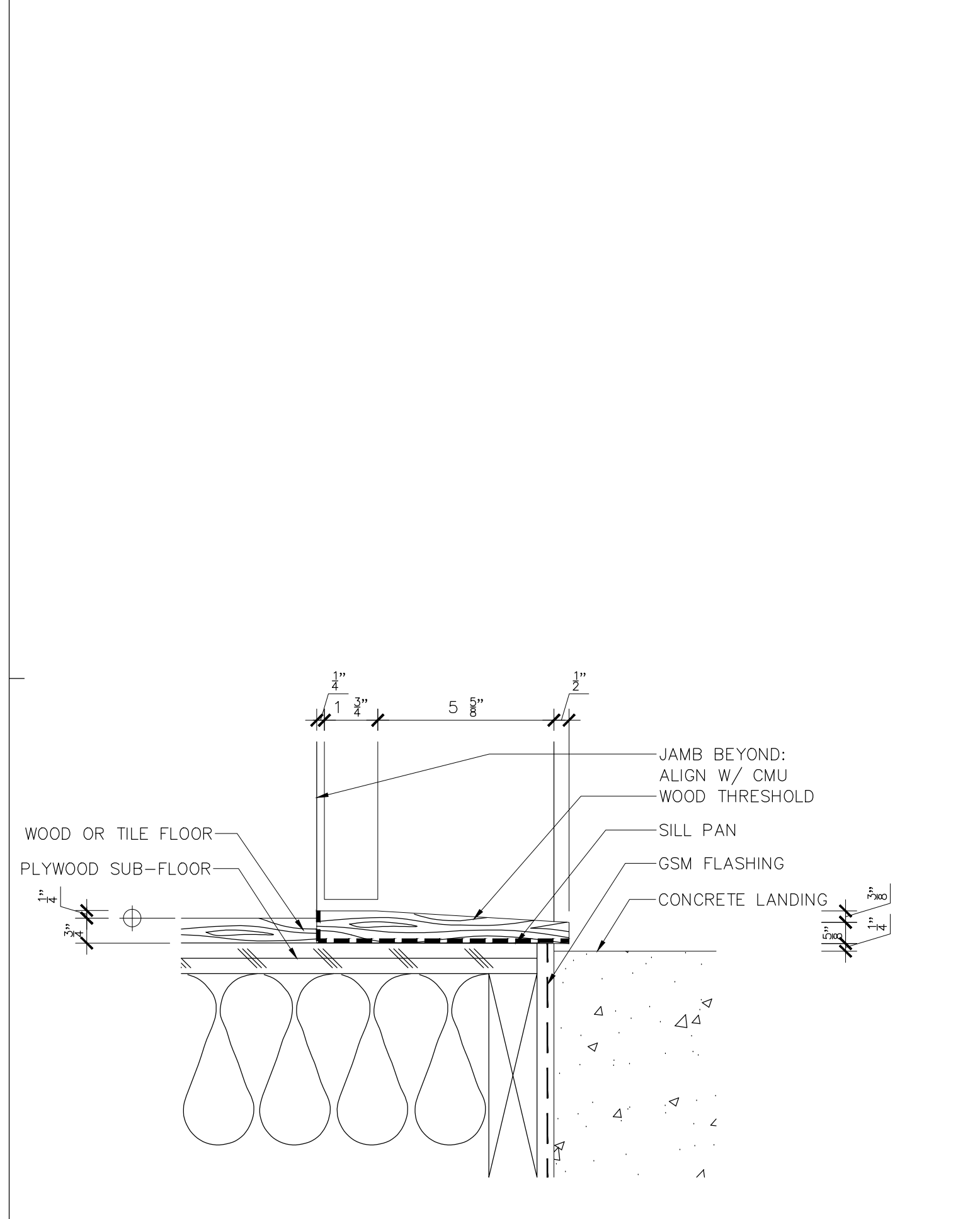
6 TRELLIS DETAIL
 SCALE = 1 1/2" = 1'-0"



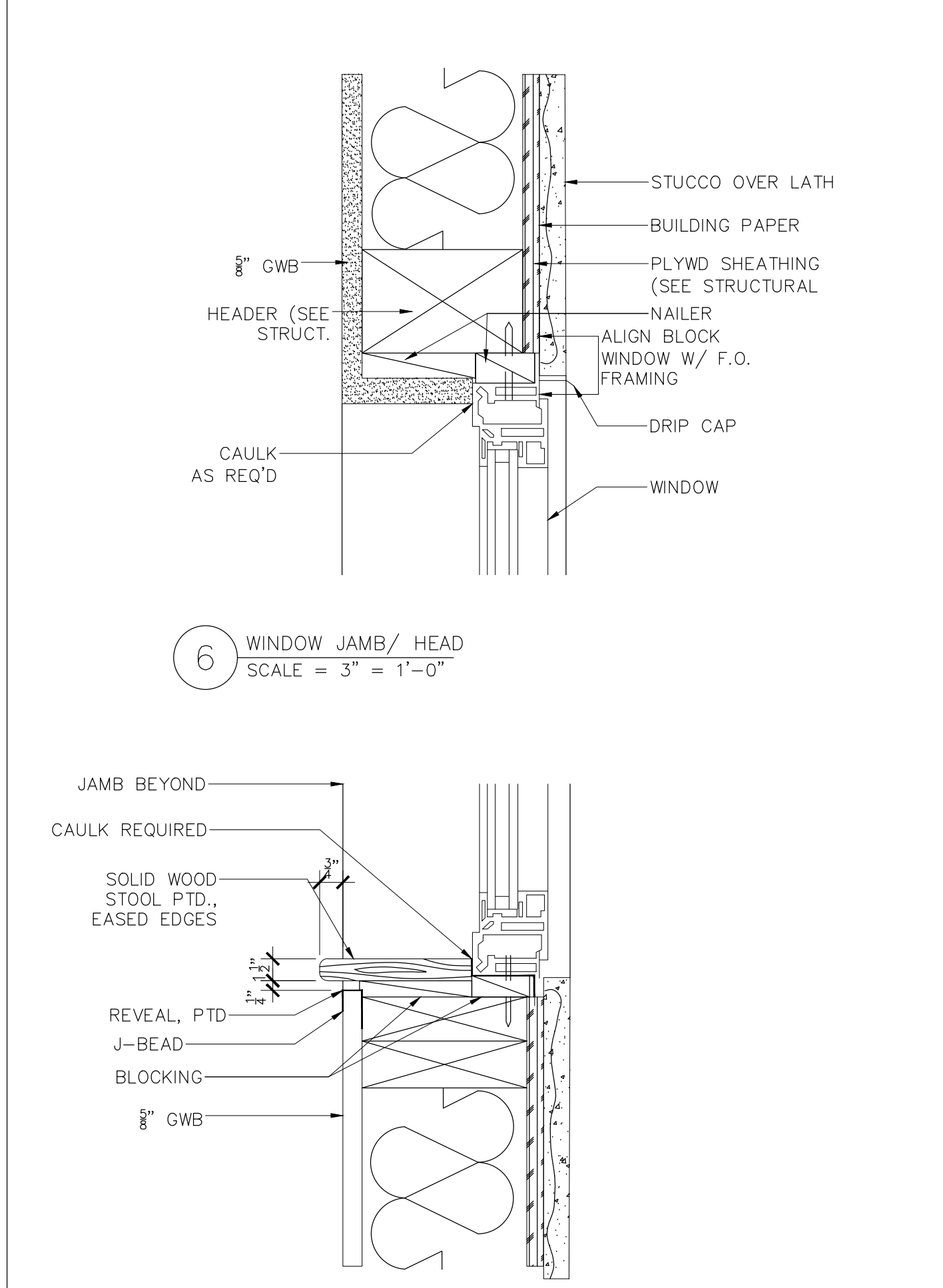
5 CORBEL BRACKET DETAIL
 SCALE = 1/2" = 1'-0"



4 HANDRAIL DETAIL
 SCALE = 3" = 1'-0"

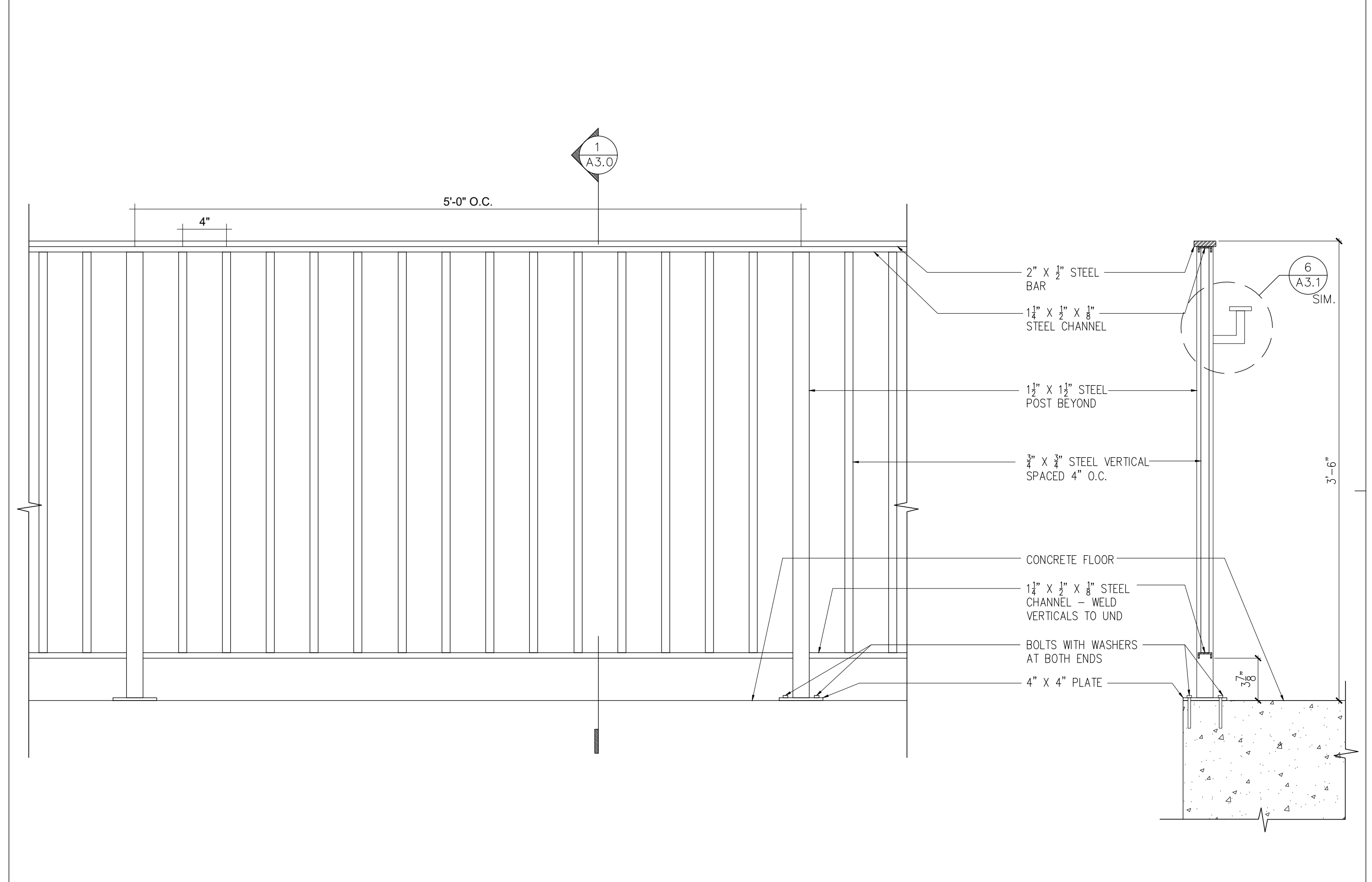


3 DOOR THRESHOLD
 SCALE = 3" = 1'-0"



6 WINDOW JAMB/ HEAD
 SCALE = 3" = 1'-0"

2 WINDOW SILL
 SCALE = 3" = 1'-0"



1 GUARDRAIL DETAIL
 SCALE = 1 1/2" = 1'-0"

HON TSAI, INC.

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PROJECT NAME

Meridian Addition & Renovation

1312 Meridian Avenue
South Pasadena, CA 91030

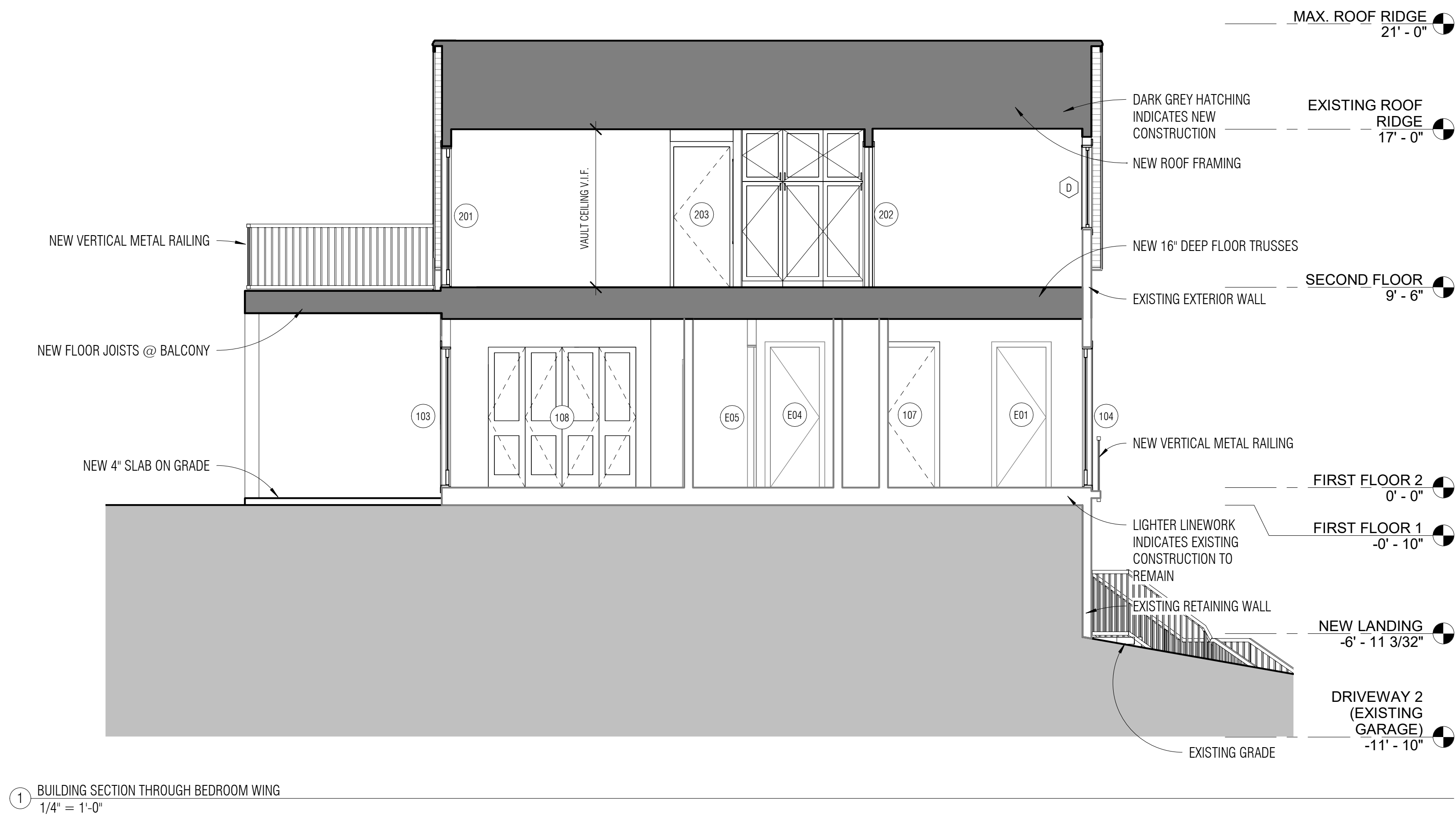
SHEET TITLE

BUILDING SECTION

SHEET NAME

A3.1

NOT FOR CONSTRUCTION



A CHUNK OF HISTORY™



Eldorado Brick isn't simply a great building material; it's a piece of history. Molded from centuries-old European dwellings, Eldorado Brick has distinct earthen textures, irregular size dimensions and comes in both traditional and design-forward colors. Eldorado Brick can help transform any space to your desired style whether it's warm with historical heritage or creative with contemporary sophistication.

Ironside TundraBrick (pg. 59) with a standard grout technique.



Chalk Dust TundraBrick using a standard grout technique.

TUNDRABRICK



Ashland TundraBrick



Chalk Dust TundraBrick



Ironside TundraBrick



Latigo TundraBrick



Hartford TundraBrick



Riverbed TundraBrick



ARCHITECTURAL ACCENTS & ACCESSORIES

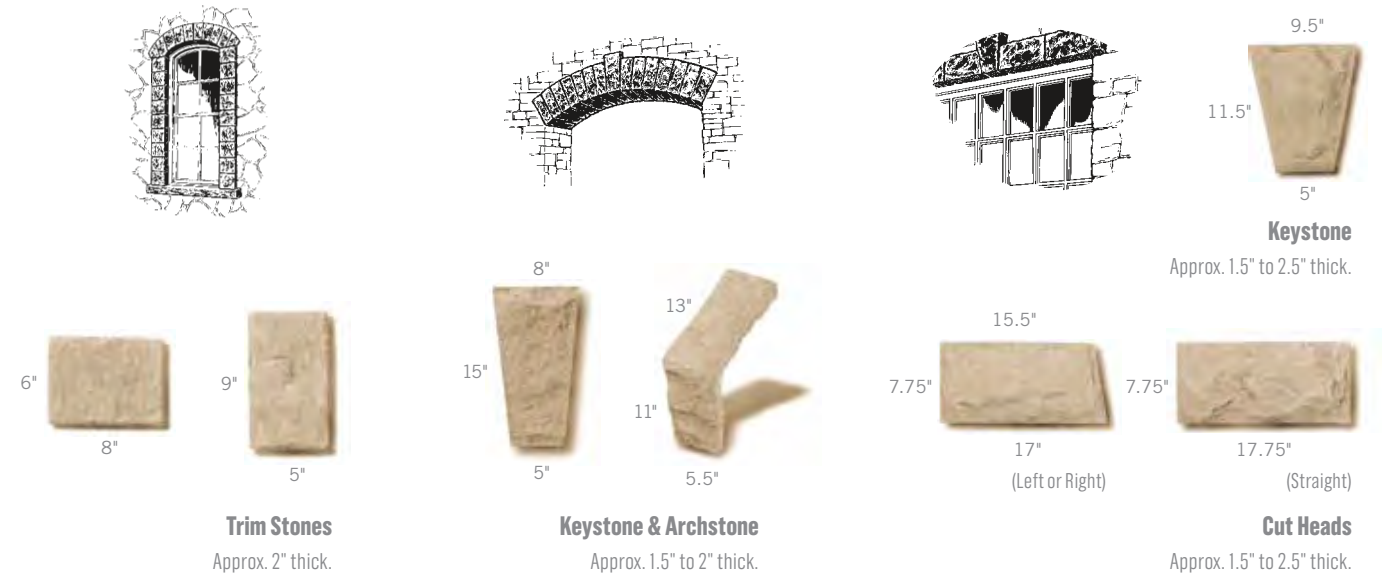
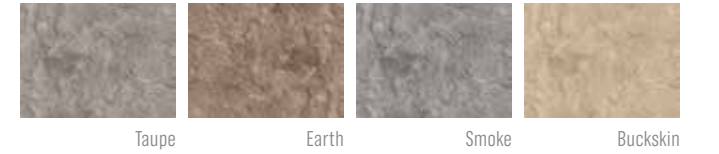


It's the final details that make an ordinary project an extraordinary one, and Eldorado Stone Architectural Accents are no exception to this philosophy. Each accent has been created by hand to meticulously emphasize unique color hues and detailed sculptural characteristics... the essence of true masonry craftsmanship.



ASHLAR ACCENTS

Ashlar Accents have been sculpted to create uniform edge details. The consistent shape simplifies the installation process, while providing the characteristics and texture of natural stone. Available in Taupe, Earth, Smoke & Buckskin.



CRAFTSHIELD™

Preserving the Art of Masonry. CraftShield is a protective treatment that preserves the intended artistry and beauty of architectural stone veneer while safeguarding the surface from nature's elements.

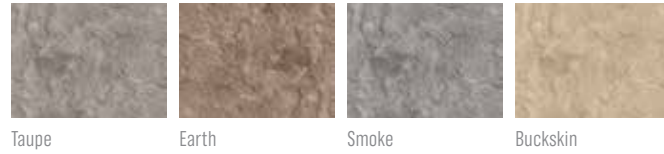
Designed for use on concrete and most masonry surfaces including Eldorado Stone and Eldorado Brick veneer, CraftShield goes on wet and dries invisible to the eye. It's low odor and alkaline-stable formula is ideal for both exterior and interior applications and offers 10-Year Protection to help resist staining, spalling, cracking and other damage related to water intrusion.

Gallon covers 150-200 sq. ft. of surface area.



CHISELED EDGE™ ACCENTS

Historically, masons have worked with natural stone to create unique accent pieces to finalize their projects. Chiseled Edge Accents feature a hand-dressed appearance with a uniform yet rustic detail. Available in Taupe, Earth, Smoke & Buckskin.



Wainscot Sill 90°
8"L (both exterior sides) × 3"D × 2"H (face) to 2.5"H (back)



Wainscot Sill 135°
7.5"L (both exterior sides) × 3"D × 2"H (face) to 2.5"H (back)



Wainscot Sill Straight
19.75"L × 3"D × 2"H (face) to 2.5"H (back)



Hearthstone
20"L × 20"D × 2"H



Peaked Wall Caps
Available in 2 sizes:
20" × 16" (2"H sides with a 3.5"H peak)
20" × 12" (2.375"H sides with a 3.5"H peak)



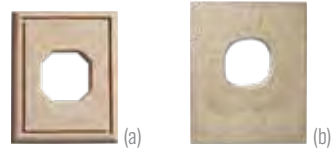
Textured Column Caps
Cap peak approx. 5.5"H.
Available in 3 sizes with or without hole:
26" × 26" (2.5"H sides)
22" × 22" (2.5"H sides)
18" × 18" (2.5"H sides)



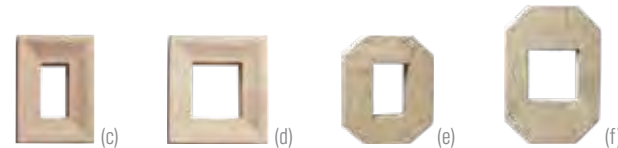
Column & Wall Caps
Column Caps approx. 2.5" thick. Available in 2 sizes:
30" × 24"
24" × 24"
Wall Caps approx. 2.25" thick. Available in 3 sizes:
37" × 12"
37" × 9"
37" × 6"

UTILITY ACCENTS

Utility Accents create a simple yet decorative way of transitioning from the utility to the stone or brick veneer. Available in Taupe, Earth, Smoke & Buckskin (see colors above).



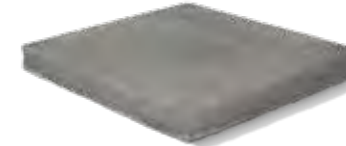
Lightboxes
Approx. 1.75" thick.
(a) 8" × 10"
(b) 9.5" × 11"



Electrical Boxes
(c) 6" × 8" (approx. 2" thick)
(d) 8" × 8" (approx. 2" thick)
(e) 8" × 8" (approx. 1.75" thick)
(f) 8" × 12" (approx. 1.75" thick)

SPLIT EDGE™ ACCENTS

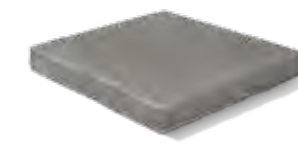
Split Edge Accents feature a 2" guillotined edge to complement our line of modern stones and contemporary color palettes.



Column Caps
Available in 4 sizes:
26"L × 26"D × 2"H
24"L × 24"D × 2"H
22"L × 22"D × 2"H
18"L × 18"D × 2"H



Wall Caps
Available in 2 sizes:
12"L × 30"D × 2"H
9"L × 30"D × 2"H



Hearthstone
20"L × 20"D × 2"H



Wainscot Sill
20"L × 3"D × 2"H (face) to 2.5"H (back)

SNAPPED EDGE™ ACCENTS

Snapped-Edge Accents feature irregular edge details and random undulations that look as if they had been hand chiseled on location. Additionally, each accent features subtle yet contrasting color highlights on the surface and edge details for the ultimate natural appearance. Wainscot Sills have a recessed drip edge on the underside to prevent water from returning behind the stone or dripping onto the face of the stone wall. Available in Walnut, Pewter & Sand.



Column Caps
Available in 3 sizes:
24"L × 24"D × 1.5"H
22"L × 22"D × 1.5"H
18"L × 18"D × 1.5"H



Wall Caps
Available in 2 sizes:
24"L × 14"D × 1.5"H
18"L × 14"D × 1.5"H



Hearthstone
20"L × 20"D × 1.5"H



Wainscot Sill
19.75"L × 3"D × 1.5"H (face) to 2.5"H (back)



ELDORADO PROFILE SIZES

*Sizes are nominal ranges. Actual sizes may vary slightly.

STONE	HEIGHT	LENGTH	THICKNESS	PAGES
Ashlar	4" - 12"	11" - 26"	.625" - 3"	51
Bluffstone	1" - 5.5"	4" - 22"	1.375" - 3.5"	40, 47
Cliffstone	1.25" - 6"	4" - 22"	1" - 2"	1, 10, 18, 38
Coastal Ledge	1" - 4"	4" - 24"	1" - 2.75"	51
Coastal Reef	4" - 12"	4" - 16"	1" - 1.25"	18, 31
Cobblestone	2.5" - 12"	4" - 21"	1.875" - 2.75"	51, 53
Country Rubble	2" - 18"	4" - 18"	1" - 2.5"	42, 47, 51
Cut Coarse Stone	3", 6", 9"	12", 18", 24"	.75" - 2.5"	8, 21, 31
Cypress Ridge	1.25" - 18"	4" - 24"	1" - 3.5"	42, 51
European Ledge Single Stone	1.5"	11"	.75" - 2.125"	8, 33
European Ledge Panel	4.5"	24"	.75" - 2.25"	33
Fieldledge	1.5" - 15"	5" - 18"	1.25" - 1.5"	43, 51
Hillstone	1" - 12"	3" - 18"	1" - 3.25"	43, 51
LedgeCut33	3"	12", 18", 24"	.75" - 2"	8, 32
Limestone	2.25" - 8"	3.5" - 17"	1" - 2.5"	39, 48, 53
Longitude24	12"	24"	1"	28
Marquee24	12"	24"	1"	30
Mountain Ledge	1" - 4"	4" - 18"	1" - 3.5"	36, 47, 52
Mountain Ledge Panels	5"	8", 12", 20"	1" - 2.5"	37, 52
Ridgetop18	9"	18"	1" - 1.625"	27
River Rock	1.5" - 15"	3" - 18"	2" - 3.5"	44
RoughCut	2" - 11"	2" - 18.375"	1.5" - 2.5"	6, 41, 48
Rustic Ledge	1" - 5"	6.5" - 20"	1" - 2.5"	12, 22, 35, 53
Shadow Rock	2" - 10"	5" - 24"	2" - 3.5"	44, 48
SierraCut24	12"	24"	1" - 2.5"	20, 30
Stacked Stone	4"	8", 12", 20"	.625" - 2"	9, 14, 34, 53
Vantage30	6"	30"	1" - 1.625"	27
Vintage Ranch	6"	36"	1.125" - 1.375"	4, 19, 25
Zen24	12"	24"	1"	28
ADOBE				
CaminoAdobe	5"	15.5"	1.375" - 1.5"	54
CapistranoAdobe	3.5"	15"	1.25"	54
BRICK				
TundraBrick	2.5"	7.875"	.875"	18, 56, 59

Ashland TundraBrick (pg. 59) with an overgrout technique.

Wayne Dalton
GARAGE DOORS

M O D E L

Item No. 2
6600

CARRIAGE HOUSE STEEL



Springfield panel, Custom painted after installation, Framed Insert Stockbridge windows

2-166

unique.
durable.
stylish.

Item No. 2

Made with two layers of steel,
polyurethane foam insulation and
DecaTrim™ II Overlays.

The Model 6600 is not only durable,
but a unique way to add style and
curb appeal to your home.



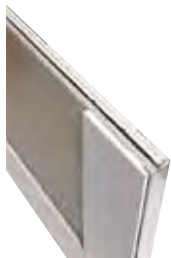
*Brunswick panel, White finish, Routed
Stockton windows, Decorative hardware*

PERFORMANCE FEATURES



Insulation

Model 6600 comes with foamed-in-place polyurethane insulation with an R-value of 12.12*, which can improve the thermal efficiency of your garage space, reduce street noise and make the door operate more quietly.



Durable DecaTrim™ II Overlays

These overlay boards are specially treated to resist termites, weather and fungal decay.

Joint Seals

Snug fitting tongue-and-groove section joints reduces wind and weather from entering the garage.

High Cycle Spring Option

Choose a 25,000 cycle spring for almost twice the life of a standard torsion spring.

Heavy Duty Hinges

Attractive 14-gauge heavy duty hinges provide maximum strength between sections, stability and smoother door operation.

Quiet Rollers

Ball-bearing rollers with nylon wheels and solid steel shafts provide years of smooth, quiet and dependable service.



Windsafe™

Available with optional hardware and reinforcement for high-wind regions. Please consult your dealer for details.

Warranty

Model 6600 offers a Limited Lifetime Warranty on the steel skin and a two year warranty against delamination on factory attached overlay material. See full text of warranty for details.



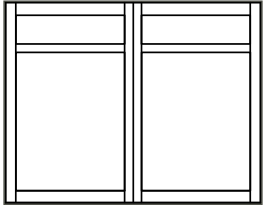
*Wayne Dalton uses a calculated door section R-value for our insulated doors.

1 Choose Your Style

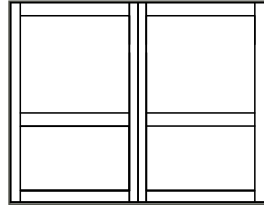
All door top sections are available in arched or square designs.

Double car door designs are equivalent to 2 single-car doors side by side.

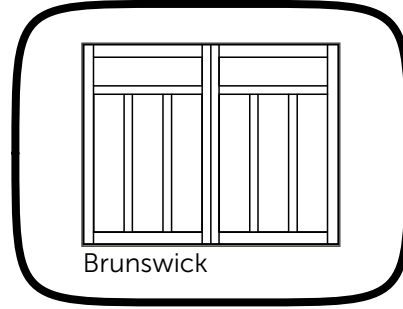
Square Top



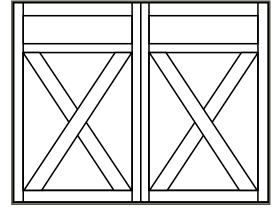
Arlington



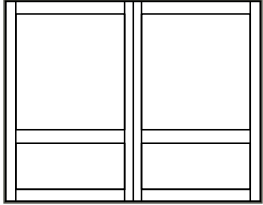
Ashburn



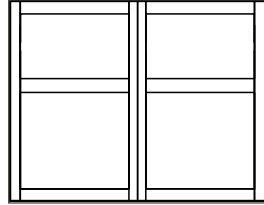
Brunswick



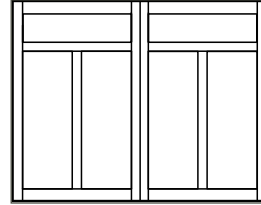
Lexington



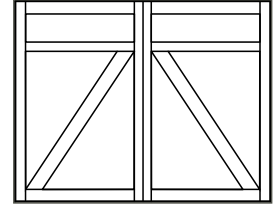
Richmond



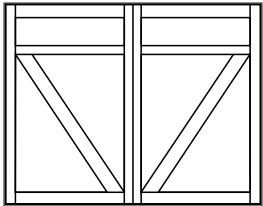
Savannah



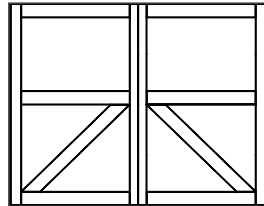
Somerset



Springfield



Bellview

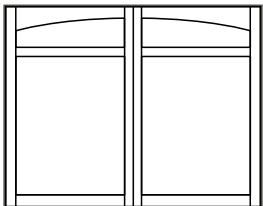


Kingston

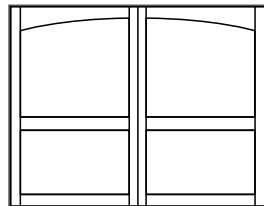


Westfield

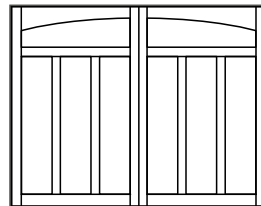
Arched Top (windows not available with arched top overlay designs)



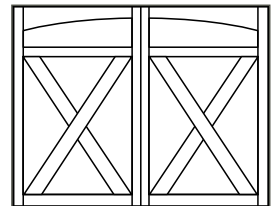
Arlington



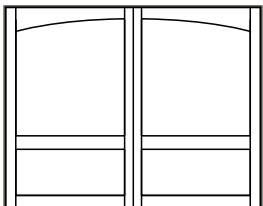
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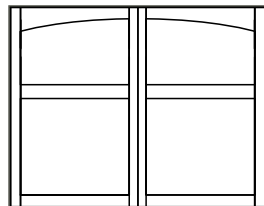
Brunswick



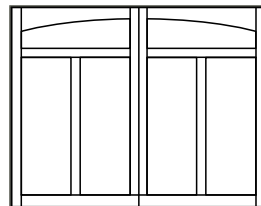
Lexington



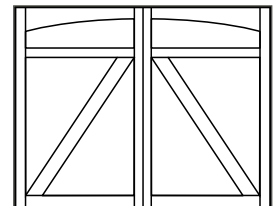
Richmond



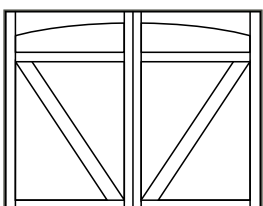
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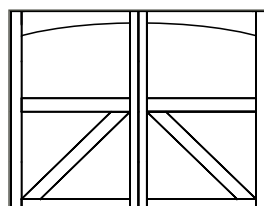
Somerset



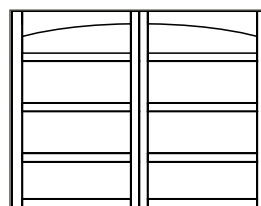
Springfield



Bellview



Kingston



Westfield

2 Choose Your Color

DecaTrim™ II overlays are provided in White only. For a two-toned look, choose from, Almond, Taupe, Terra Bronze, Brown or Black as shown below.



Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Dealer for accurate color matching.

DecaTrim™ II Overlay Texture Options

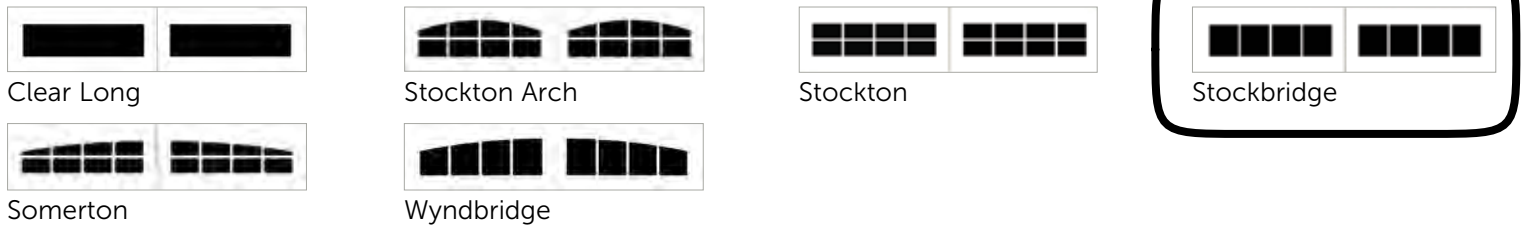


3 Choose Your Windows

Window patterns are shown for an 8' wide single-car door. Spacing of windows may change depending on door size. Not all windows are available in all door sizes.

Routed windows

Routed windows are only available with smooth overlay trim.



Framed Insert windows

Framed Insert windows are available for both smooth and wood grain overlays.





Malarkey® Shingles
WHEN IT MATTERS™

Shown in: Silverwood

REDUCES AIR POLLUTION

3M™ Smog-Reducing Granules harness sunlight to photocatalytically convert smog (NO, NO₂) into water-soluble ions (NO₃), actively reducing smog air pollution.



EACH ROOF HAS THE SMOG-FIGHTING POTENTIAL OF 2 OR MORE TREES.¹

UPCYCLES MATERIALS

Recycled rubber and plastics are elevated into a higher-quality product, improving shingle strength and longevity.



EACH ROOF DIVERTS THE EQUIVALENT OF 5 RUBBER TIRES AND 350 PLASTIC MILK JUGS FROM THE LANDFILL.²

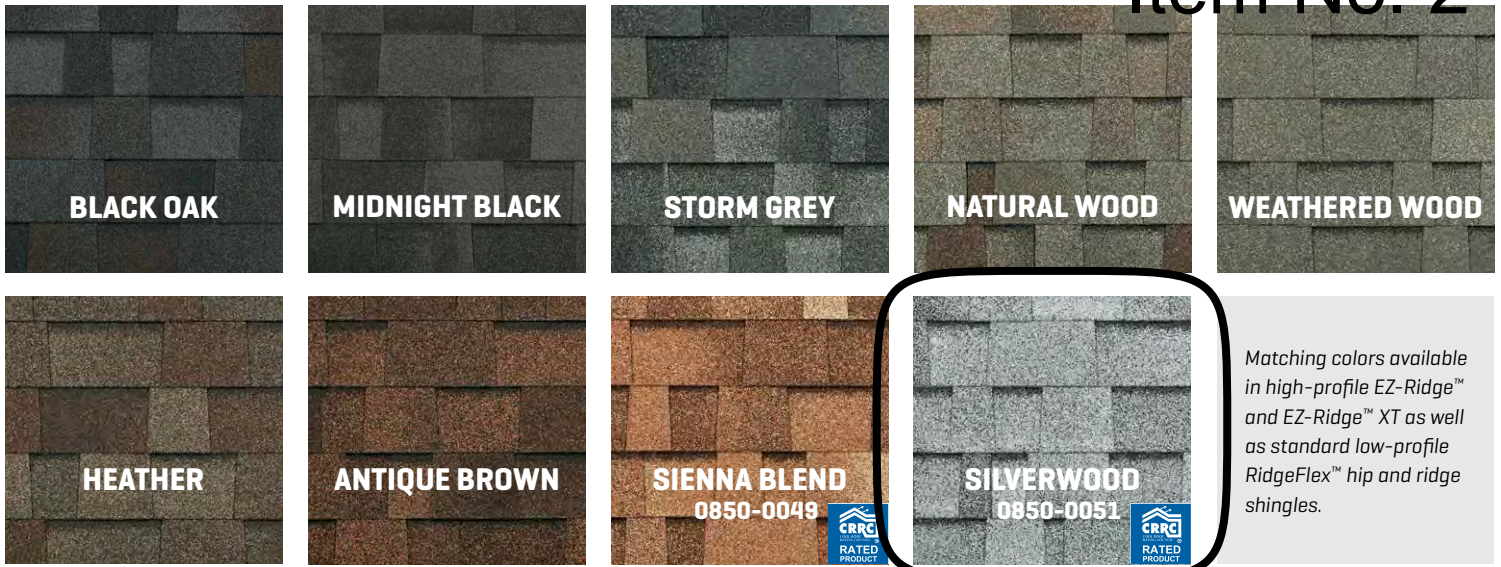
VISTA®

Architectural Shingles
NEX® MODIFIED ASPHALT TECHNOLOGY

Vista® is an architectural shingle engineered with industry-leading, sustainable NEX® Polymer Modified Asphalt Technology (PMA), which combines high-grade asphalt [weathering] with advanced polymers [strength, flexibility] and upcycled materials [durability, sustainability] to **rubberize the shingle for exceptional all-weather performance, superior granule embedment, and longer product life.**

CLASS 3	LIMITED LIFETIME	12 YEAR	110-130 MPH
IMPACT RATING	SHINGLE WARRANTY*	RIGHT START™ PERIOD	WIND WARRANTIES

2-170



Matching colors available in high-profile EZ-Ridge™ and EZ-Ridge™ XT as well as standard low-profile RidgeFlex™ hip and ridge shingles.

PERFORMANCE ENGINEERED

All-Weather Performance – NEX® Technology rubberizes shingles to better respond to varying and extreme weather.

Resists Impact – Synthetic rubber [SBS] polymers add pliability and resilience to resist tears and provide a high level of impact protection [hail]. Class 3 impact rating.

Resists Wind & Rain – Synthetic adhesive [SEBS], double rain seals, and The Zone®, our patented wider nailing area, seal down shingles and block out wind-driven rain. Wind warranties from 110-130 mph.

Resists Fire – Shingles meet highest fire rating [Class A].

‘Your Choice’ Warranty – Select our transferable Limited Lifetime Shingle Warranty or one from a competitor – your choice.

ENVIRONMENTALLY DESIGNED

Reduces Smog – 3M™ Smog-Reducing Granules harness sunlight to reduce smog air pollution.

Cools Roof – Roof-cooling colors reflect the sun’s rays to reduce solar heat entering the home, supporting efforts by the Cool Roof Rating Council [CRRC] to promote energy efficiency.

Upcycles Materials – Recycled rubber and plastics are repurposed to enhance shingle durability.

Lasts Longer – Superior granule adhesion protects shingles from premature aging caused by solar rays.

Cleaner Manufacturing – NEX® Technology results in much lower emissions than the highly-pollutive oxidation process used to make traditional shingles.

Less Waste – Malarkey has earned GreenCircle Certification for *Waste Diversion from Landfill* at all its facilities.



¹ Assumes roof of 30 squares. Source: Lawrence Berkeley National Laboratory and 3M.

² Assumes roof of 30 squares.

Test Compliance – ASTM D7158 Class H, ASTM D3462, ASTM D3161 Class F, ASTM D3018 Type I, ASTM E108 Class A Fire Rating, UL 2218 Class 3 and CSA A123.5. CRRC rated colors can be used to comply with California Energy Code [CEC] Title 24, Part 6 Cool Roof Requirements [Vista® Sienna Blend and Silverwood only].

DISCLAIMER: Photographs of shingles may not accurately represent their true color or the variations of color blends that will appear on the roof. **Before installation, five or six shingles should be laid out and reviewed for desired color.** Colors and specifications subject to change without notice. Shingle colors not available in all regions.

+ For complete Limited Lifetime Warranty and ‘Your Choice’ Warranty details, as well as information on our other warranties [such as Wind and Algae] and the Right Start™ **12-year non-prorated period** against manufacturing defects, please reference Malarkey’s **Shingle and Accessory Warranty available at www.malarkeyroofing.com/warranty-center.**

This version supersedes all previous versions. Rev. 11/19

WARRANTIES⁺

- Limited Lifetime Shingle Warranty
- Right Start™ Period (12 years)
- Limited Wind Warranty (110 mph)
- Enhanced Wind Warranty (130 mph)



Item No. 2 ColorTek SmoothCoat Exterior Stucco

A Portland Cement Stucco Finish



Coverage

8yd² to 10yd² (6.7m² to 8.4m²) with required double coat application.

Coverage may vary due to ambient temperature, surface temperature, surface porosity, mixing methods, and/or application methods.

Packaging

Moisture resistive, 90lb (40.8kg) bags

Storage

1. Store bags in a cool, dry location.
2. Do not store in direct contact with the ground and/or concrete.
3. Store out of direct sunlight.
4. Protect bags from weather and other damage.

Shelf Life

1 year

Color

White (Base 10), grey (Base 2), white/grey (Base 1), dark grey (Base 5) or factory mixed color

Product Description

ColorTek SmoothCoat is a premium, factory blended, portland cement-based stucco finish used to create a smooth Santa Barbara or Mission type finish. It is manufactured from the highest-grade portland cement, hydrated lime, graded aggregates, and specific additives. SmoothCoat is available as a Base 2 (grey), Base 10 (white), Base 1 (white/grey), or Base 5 (dark grey) which may be colored in the field using the Omega ColorPak system. Alternatively, ColorTek is offered as a factory mixed colored stucco. Minimum quantities may apply when ordering factory blended products.

Features	Benefits
<i>Integral Color</i>	Lasting, uniform color that resists fading or discoloration; UV resistant
<i>Durable</i>	Long life-cycle with minimal maintenance
<i>Fire Resistant</i>	Does not burn
<i>Impact Resistant</i>	Resists impact damage
<i>Insect Resistant</i>	Impervious to termites, rot, and fungus

Basic Uses

ColorTek SmoothCoat is intended for use as a decorative, low-cost, low-maintenance finish.

Area of Use

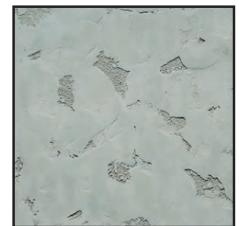
ColorTek SmoothCoat Exterior Stucco may be applied over the following products:

1. One coat stucco
2. Brown coat
3. Existing Stucco
4. CMU/poured-in-place and/or tilt-up concrete/masonry
5. Approved Omega base coats and/or cementitious finishes

NOTE: When ColorTek is applied over polymer-modified base coats, the use of a bonding agent or acrylic admix is strongly recommend or may be required to ensure proper bond. See the applicable Omega system data sheet or base coat data sheet for additional information.



Smooth Coat



Cat Face



Mission

NOTE: More textures may be achieved using this product. Please see the ColorTek Color Chart for more information or contact Omega Products International.

Optional Product Upgrades/Enhancements

PRODUCT	BENEFIT
E-FX Admix	Liquid admix to reduce efflorescence
AquaShield	Integral sealer to improve water-resistance, improve freeze/thaw performance, and reduce staining
AkroLoc/PolyLoc/Admix 500	Liquid admixtures that reduce cracking and increase tensile, bond, and flexural strengths
OmegaCure	Liquid accelerator to improve hydration, increase early strength/hardness, and allow cold weather application
Crack Isolation System	Supplementary system designed to mitigate surface cracking in new and existing plaster systems by integrating woven fiberglass mesh into the base coat or brown coat prior to applying the finish

Application Instructions

Surface Preparation

All surfaces to receive application must be clean and free of debris, dirt, dust, efflorescence, grease, oils, curing agents, and cleaning solutions. Ensure that all surfaces are smooth and free of any irregularities. Repair all cracks with the appropriate patching material for the existing substrate. Painted or glossy surfaces should be sandblasted to expose cementitious substrate and ensure a proper bond. The use of a bonder is recommended over cementitious substrates that are four or more months old. If a bonder is *not* used, just prior to application, dampen all surfaces that are to receive the ColorTek with clean, potable water.

NOTE: Cracking from normal structural movement or shrinkage is more evident in SmoothCoat finish. The use of Omega Crack Isolation System is strongly recommended.

Mixing

1. Add 3.5 gallons (13L) of clean, potable water per bag to an appropriate mixing apparatus.
2. See the ColorPak Product Data Sheet for color mixing instructions (optional).
3. Turn mixer on and add SmoothCoat to the water.
4. Allow the material to mix for a minimum of 15 minutes. In certain colors, ordering factory pre-blended colored SmoothCoat may be required to minimize streaking.
5. Turn mixer off and allow the material to take its initial set.
6. Retemper the material, adding only enough water to reach the desired consistency.
7. Do not over mix.

NOTE: Apply SmoothCoat to a test area to ensure that color has been thoroughly blended prior to a full application.

Application

SmoothCoat shall be applied in two coats to an approximate 1/8" thickness.

1. Using a hawk and trowel apply the material to the receiving surface, beginning at one corner and working to the next, in a single coat of uniform thickness.
2. To ensure consistent color, a uniform thickness of application must be maintained.
3. Following the initial applicator, another person should float the applied material to achieve the desired appearance.

Curing

Curing and/or drying time may vary due to climatic conditions. Drying should occur within 24 hours at an ambient and surface temperature of 70°F (21°C) and 55% R.H. When hot, dry, or windy conditions exist, light moist curing and/or protection should be provided. All freshly applied material must be protected from inclement weather until material has sufficient strength not to be damaged. Full curing strength typically occurs in approximately 28 days.

Limitations

DO NOT apply product when the ambient and surface temperature is below 40°F (4°C).* The ambient and surface temperature must maintain the above requirements until material has sufficient strength not to be damaged (See CURING). Material that is allowed to freeze may suffer irreparable damage.

DO NOT add any other materials to the mixture of the product without written approval from Omega Products International.

DO NOT deviate in the mixing or application procedures contained in this, or any other Omega Product Data Sheets, without written approval from Omega Products International.

DO NOT apply SmoothCoat if there are contaminants on the receiving surface. Contaminates may include, but are not limited to, dust, debris, efflorescence, and/or oils.


DO NOT add any more water than prescribed.

DO NOT saturate the wall during preparation and/or wet curing.

DO NOT use excessive amounts of water when troweling the texture.

NOTE: Failure to follow manufacturer's written specifications could result in the following, but not limited to spalling, cracking, peeling, chipping, delamination, discoloration, wash off, and overall system failure.

Due to job conditions beyond the control of Omega Products International we make no warranty as to the acceptance of the final color. The actual integrally colored finish should be applied on a sample section of the project and verified for color accuracy prior to the actual application process; See Omega Products International's Technical Bulletin OP813 on Jobsite Mockups. It is expressly understood and agreed that color, texture and pigment streaking variations are inherent in all integral colored products and these conditions are not considered defects.

 To ensure proper hydration in cold weather applications (approximately 50°F to 32°F) use OmegaCure admix. Refer to OmegaCure data sheet for additional information.

Cleaning

Cleaning may be accomplished with water immediately after use.

Safety

Avoid contact with eyes or prolonged contact with skin. Wash thoroughly after handling. In case of eye contact, flush immediately with running water for at least 15 minutes. Consult a physician immediately. Do not take internally. Be sure to provide adequate ventilation in enclosed areas. Use of an approved respirator is recommended.

KEEP OUT OF REACH OF CHILDREN

www.omega-products.com

Disclaimer

Omega Products International [Manufacturer] MAKES NO WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO THE PRODUCT(S) SOLD HEREIN. The recommendations, suggestions, statements and technical data are based on the best knowledge available to Manufacturer and are given for informational purposes ONLY and without any responsibility for their use. It is expressly understood and agreed, as a condition of the use of this product, that the buyer's sole and exclusive remedy for any claimed defective product against Manufacturer shall be the replacement of products actually proven to be defective. Handling and use of the products are beyond the control of

Manufacturer; therefore, no warranty is made, expressed or implied, as to the results obtained from the use of the product or against any claims for infringement of patents resulting from use of the product. Under no circumstance shall Manufacturer be liable for incidental or consequential damages arising out of the use or the improper application of the product. Before applying the product, the user shall determine the suitability of the product for his/her independent use, assuming all risks and liability whatsoever in connection therewith. This writing constitutes a complete and exclusive statement of the understanding between Manufacturer and Buyer.

Claims

Any Claimant shall notify Manufacturer immediately in writing of any alleged defect in the material. Claimant will provide Manufacturer with a reasonable and exclusive opportunity to investigate and test for the alleged defect. For any claim that is not valid Claimant agrees to pay Omega's reasonable charges, including travel and labor associated with investigation of such claim.

Technical Assistance

Technical assistance and information is available by calling Omega Products International at (800) 600-6634 or FAX (951) 520-2594 or by e-mail at info@omega-products.com.

Warranty

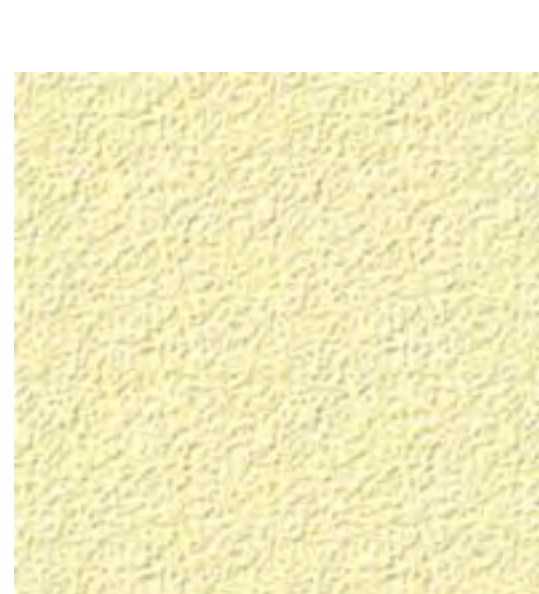
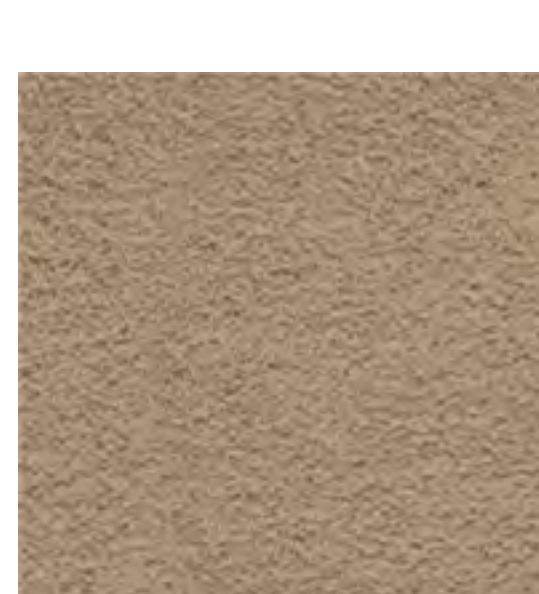
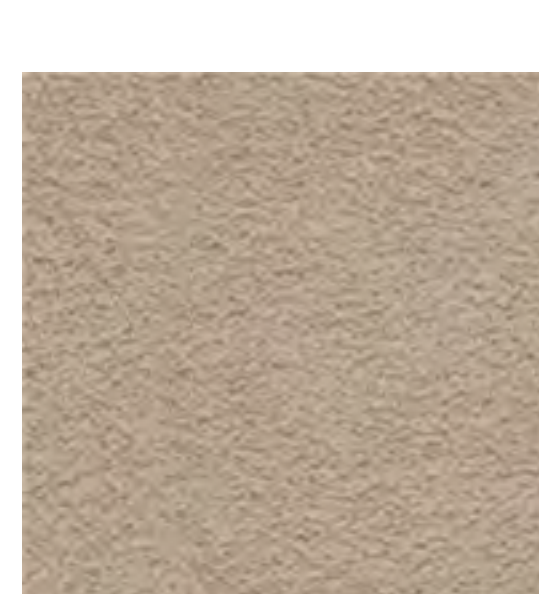
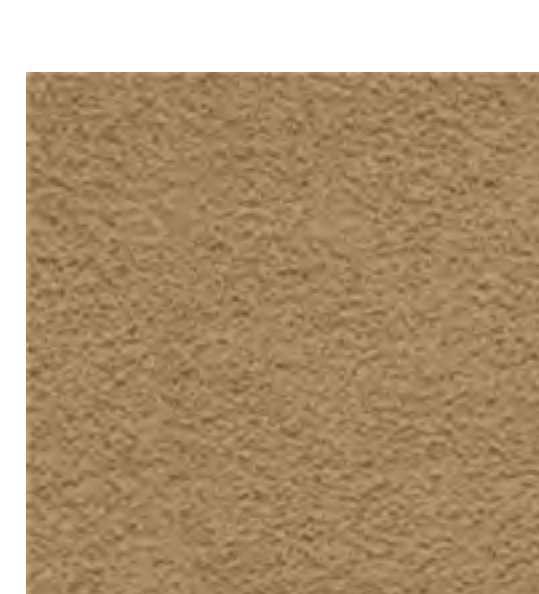

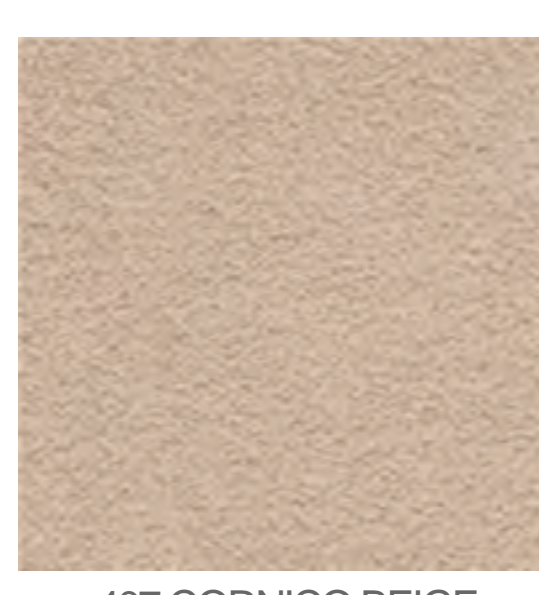
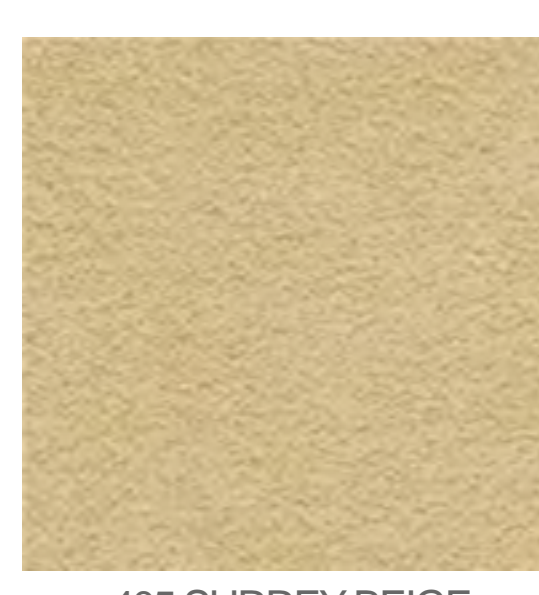
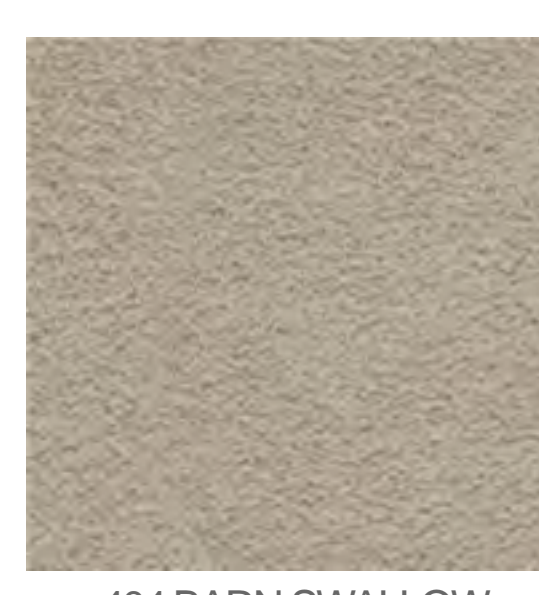
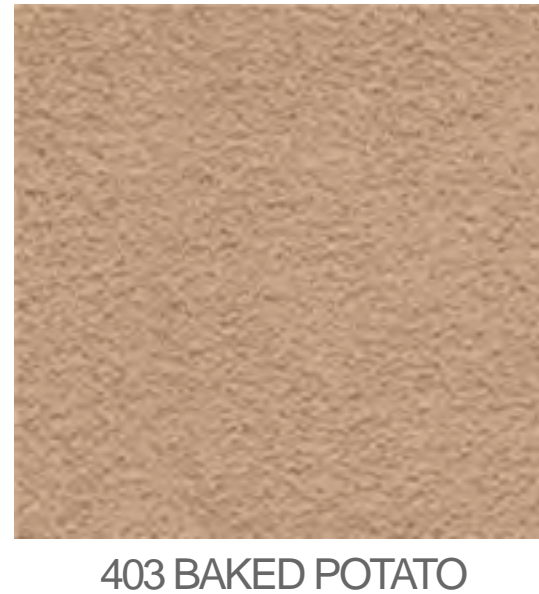
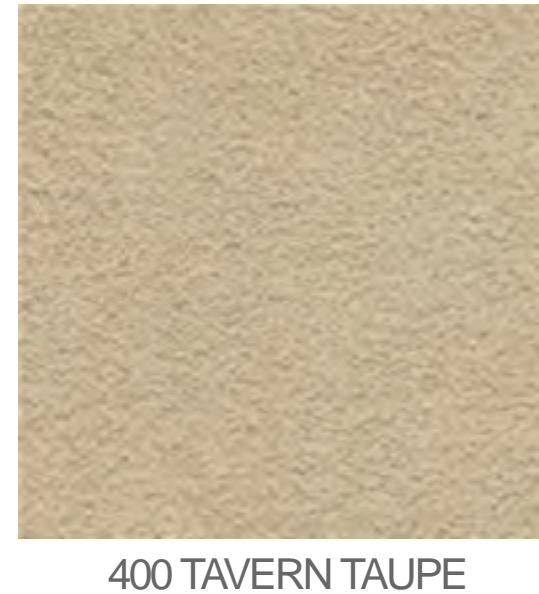
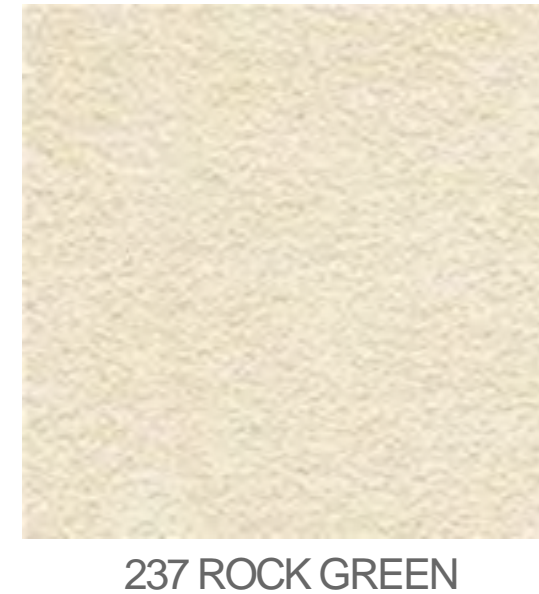















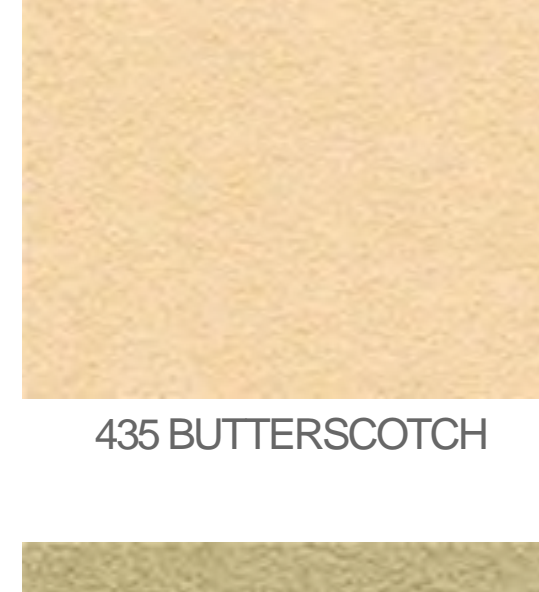
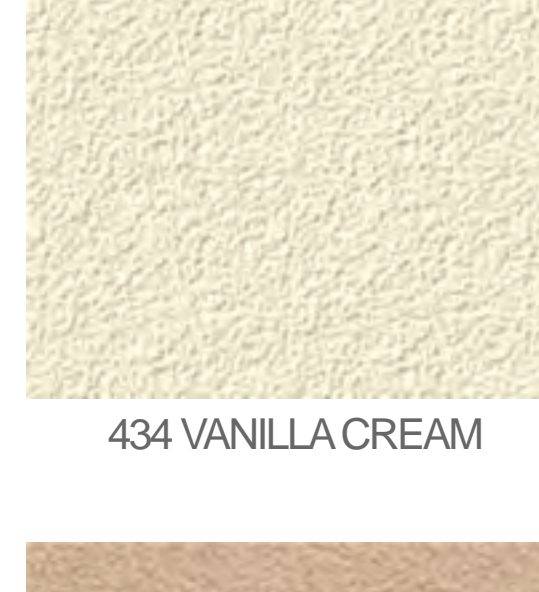




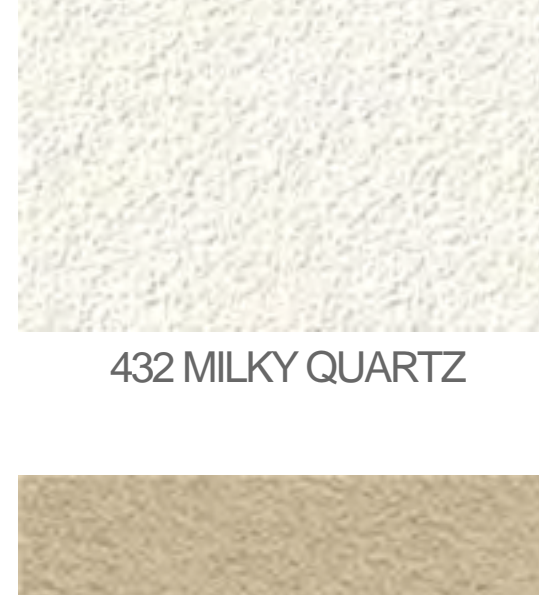
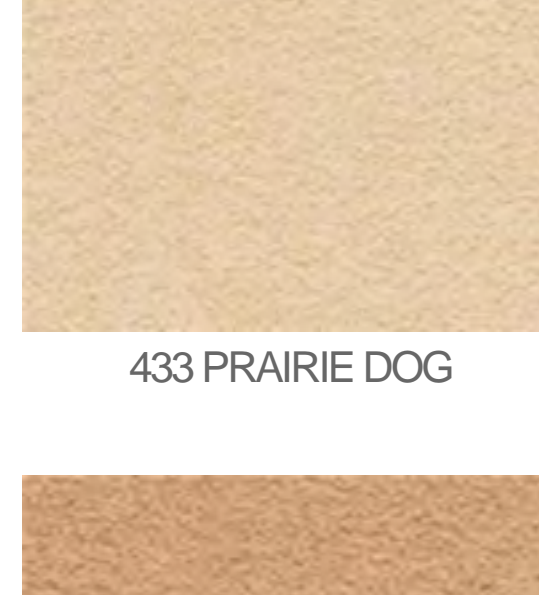
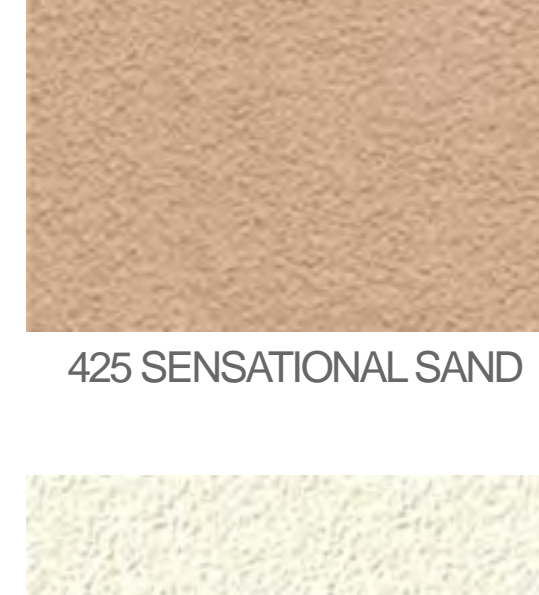

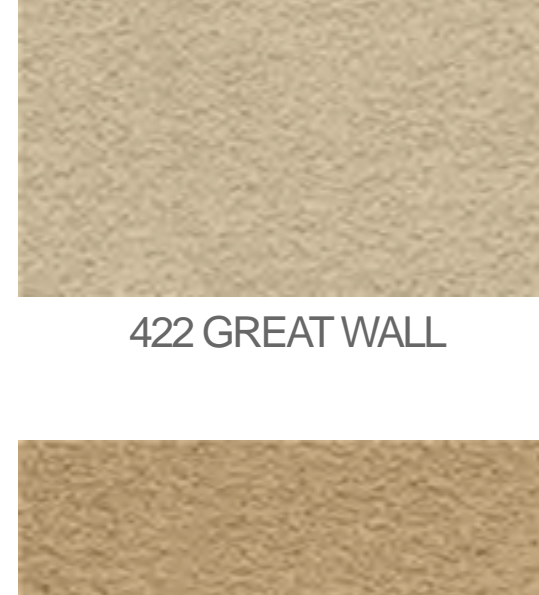
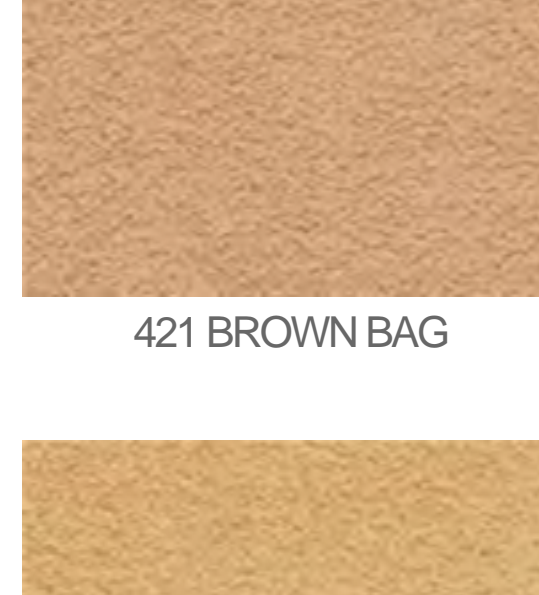


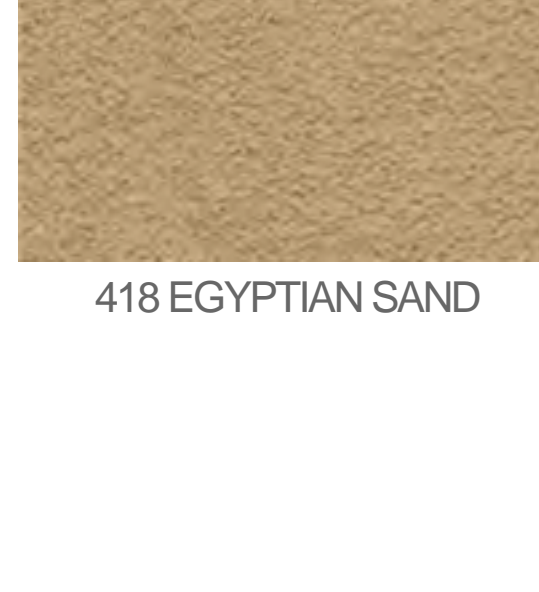
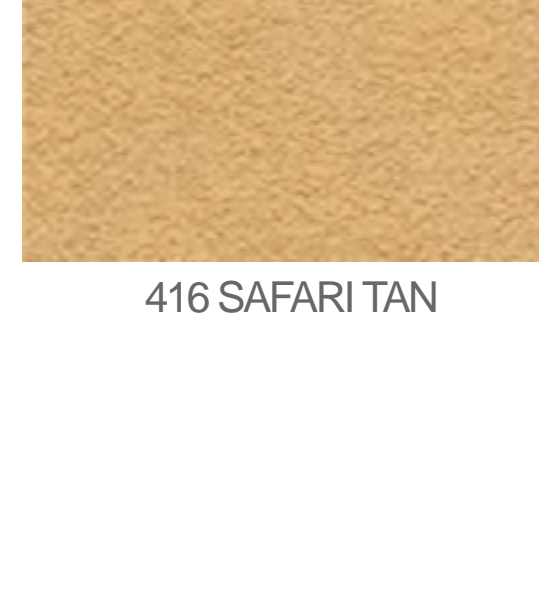
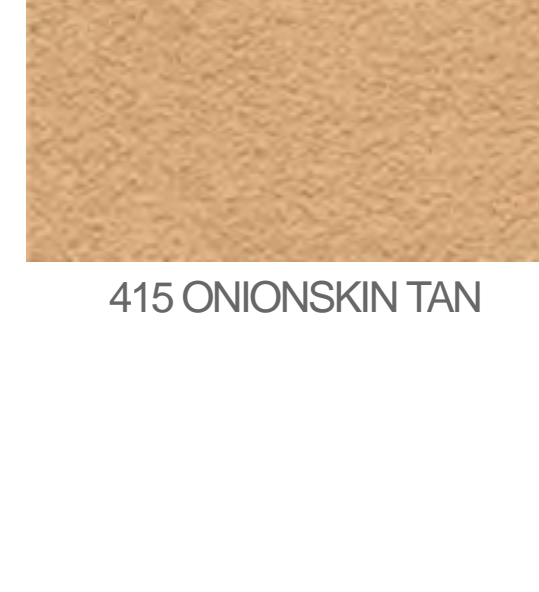
The following is made in lieu of all expressed and implied rights, warranties and conditions, statutory or otherwise. The manufacturer's only obligation shall be to replace such quantity of products proven to be defective within one year following the date of manufacture, provided that the alleged defective product is returned prepaid to the manufacturer's plant and is accompanied with proof of purchase and batch number.



COLORTEK COLORS

Omega Products' ColorTek Stucco Color Collection offers 45 standard colors that are shown in this color chart. Our sophisticated color lab can also produce a spectrum of custom colors. Provide us a color sample and we can match it.

The Stucco Color Collection is used with Omega ColorTek Finishes, OmegaCoat, and Travertino.

IMPORTANT NOTE: While every effort was made to color match the samples, the colors represented in the color collections and on this website are approximations only. The colors displayed on the website may vary depending on the monitor settings. Colors printed from the website may differ from actual colors. Actual color of applied product will vary due to climatic conditions, job conditions, method of application, mixing techniques, and other factors that are beyond the control of Omega Products International. Final selection must be made from actual product applied by the applicator under actual job conditions to ensure color accurately.

[Request A Sample](#)

CHOOSE THE PROFESSIONAL'S CHOICE [CONTACT US](#)

<p>Products</p> <ul style="list-style-type: none"> Finishes Base Coat-Adhesives Air & Water-Resistive Barriers Admixes, Bonders, & Sealers 	<p>Wall Systems</p> <ul style="list-style-type: none"> AkroFlex EIFS Diamond Wall One Coat Three Coat Stucco AkroGold Crack Isolation System 	<p>Colors & Textures</p> <ul style="list-style-type: none"> Colors and Textures Sample Request Request Color Chart 	<p>Contact</p> <p>Phone: 951-737-7447 info@omega-products.com 1681 California Ave Corona, CA 92881</p> <p>Twitter Facebook Instagram LinkedIn</p>
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Item No. 2 TRINSIC™ SERIES

Contemporary Design
Maximum View, Narrow Frame
For New Construction or Replacement



2-175

Contemporary *Stylings*

Item No. 2

Maximum view.

Narrow frame.

Looking for contemporary styling in a vinyl window? Introducing the newest addition to the Milgard vinyl line – Trinsic™ Series.

Trinsic Series offers the maximum available viewable glass area so you can enjoy amazing views outside. The frame profile is so thin, you'll hardly know it's there. Plus, the low profile hardware, uniquely designed for this series, practically disappears from view.

With its sleek and contemporary style, Trinsic Series satisfies your desire for modern design and is backed by the Milgard Full Lifetime Warranty.

TRINSIC™ SERIES

Above: Picture windows, 4-panel and 2-panel sliding patio doors
Cover: Horizontal sliding windows



Picture over casement windows



Picture windows with colonial grids

Full Lifetime Warranty



At Milgard, we build our windows and doors to last. With the dedication to quality that we put into building the best windows in the business, it wouldn't make sense to back them with anything but the best warranty in the business.

That's why we back every properly installed window and door for as long as the homeowner owns their home – including parts and labor. It's why you can be sure you won't find any windows better than Milgard.

For complete warranty details, visit milgard.com.

Why you should choose Milgard windows and doors

Quality

Milgard offers award-winning windows and patio doors built for long-lasting comfort. For over 50 years, industry experts have consistently recognized Milgard as a trusted brand. By producing our vinyl and fiberglass frame materials in-house, we can more closely monitor for quality control. Milgard windows and patio doors stand up, while standing out.

Experience

Since 1962, Milgard Windows & Doors has designed and assembled superior, top quality windows and patio doors, backed with a Full Lifetime Warranty. Milgard engineers are known for their industry-leading designs using patented technologies. Whatever your project calls for, Milgard has the right product that can beautifully reflect your vision. From new construction to home remodeling, all Milgard windows and doors are custom made to your exact specifications.

Service

We serve the Western U.S. and Canada with a dozen full-service facilities and customer care centers. Our belief is that by being close to our customers, we can provide you better service.



PARTNER

Everything *You Need*

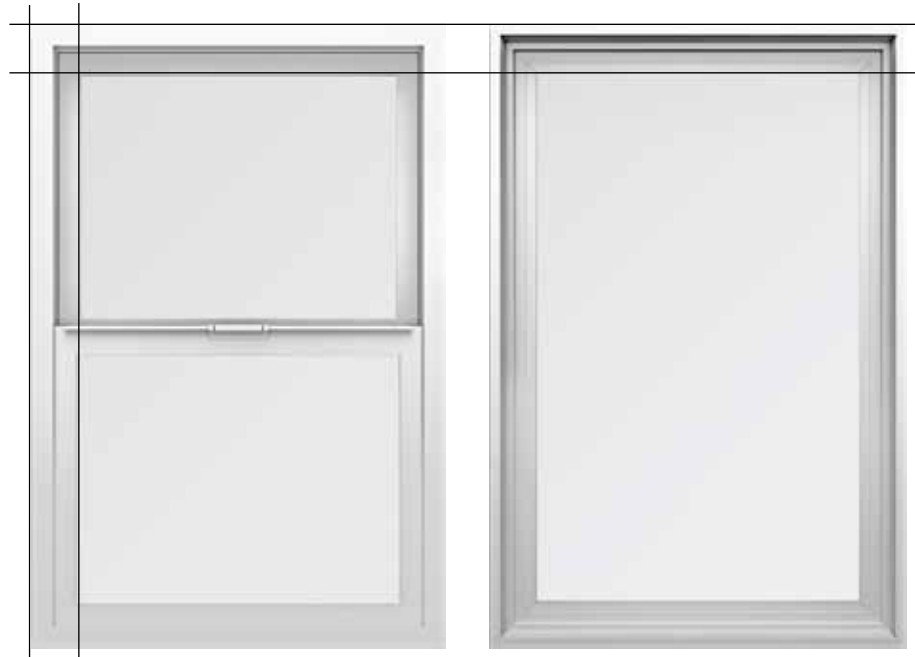
- Minimal and even sightlines across all operating styles provide a clean look that is visually appealing
- Our reimagined contemporary look to the SmartTouch® window lock on single hung and sliders practically disappears from view when closed
- Worry-free vinyl construction that won't corrode and does not need to be painted
- Eight premium exterior vinyl finishes to choose from
- Windows made to custom specifications with 2-7/8" jamb depth, perfect for 2" blinds
- Suitable for new construction and replacement window projects
- ENERGY STAR® packages designed for your specific climate
- Weep hole covers and pull rail screens come standard to help your windows continue to perform their best



Even Sightlines

All Trinsic™ Series windows come with even sightlines, from top to bottom, and across operating styles.

This provides a streamlined and aesthetically pleasing effect throughout your home, no matter which window operating style you choose.



Built for *Performance*

Windows and Doors for the Energy-Conscious Homeowner

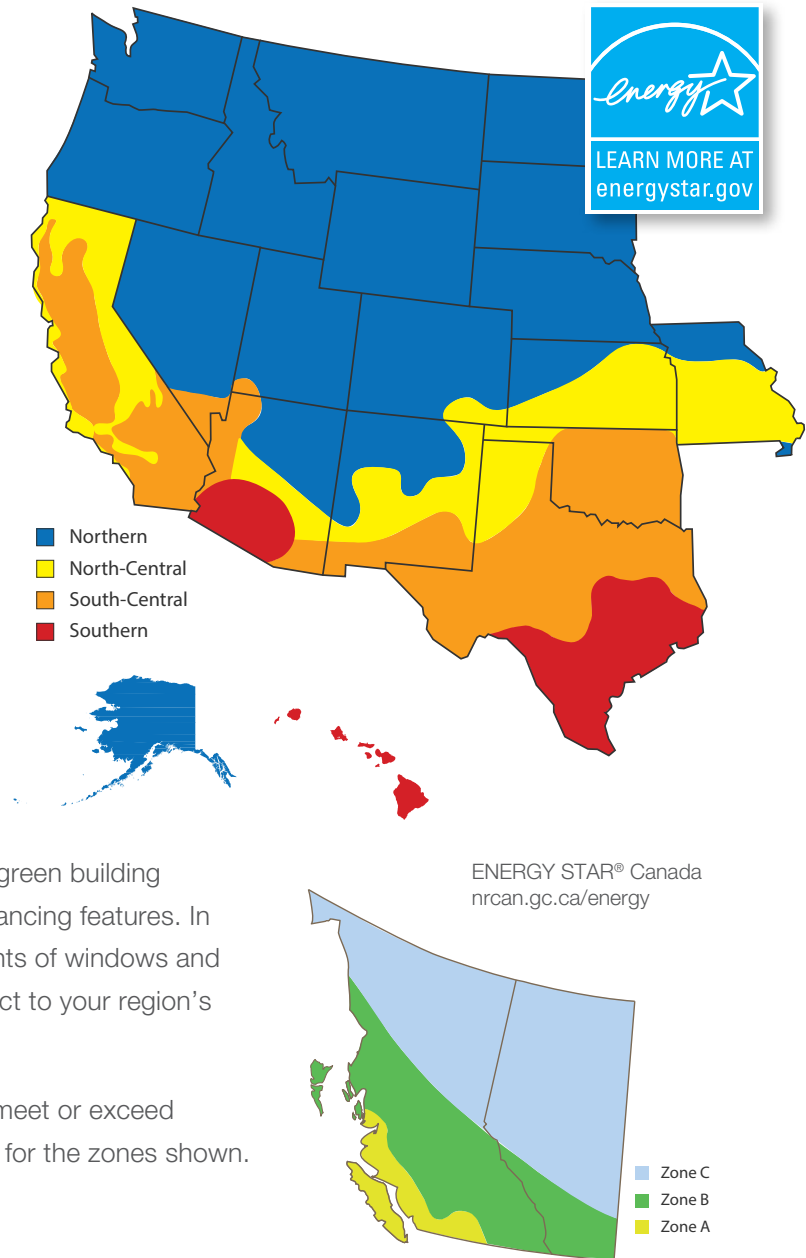
At Milgard, we help homeowners make an impact on their energy consumption through our energy-efficient windows and patio doors. Leaky and inefficient windows and doors account for poor insulation and higher energy usage in households. Energy loss can happen in two ways and a lot depends on where you live:

- Cold climates lose energy in the form of heat
- Hot climates lose energy in the form of cooling

Tested and Built for Your Climate

All Milgard windows and patio doors are designed to meet tough thermal and solar requirements of state and local jurisdictions. We conduct thermal simulations to improve energy performance in our windows and patio doors so our consumers can enjoy a more comfortable home. We make it easy to meet local energy codes and green building efficiency standards with a selection of performance enhancing features. In fact, Milgard has options available to tailor the components of windows and doors to specific climates—perfectly matching the product to your region's energy needs.

Milgard adheres to ENERGY STAR® v6 requirements to meet or exceed U-Factor and Solar Heat Gain Coefficient (SHGC) criteria for the zones shown.



ENERGY STAR® Requirements

Zone	U-Factor	SHGC	Your energy efficient windows could include one or more of the following features based on your climate.
ENERGY STAR v6 Northern	0.27	-	SunCoat® or SunCoatMAX® EdgeGardMAX™ Argon or Krypton 4th Surface
ENERGY STAR v6 North-Central	0.30	0.40	
ENERGY STAR v6 South-Central	0.30	0.25	
ENERGY STAR v6 Southern	0.40	0.25	



Single hung, picture and awning windows

Define your home with *Windows*

Trinsic™ Series offers a complete selection of operating styles you can mix and match throughout your home depending on your need for increased daylight or ventilation. Even sightlines can help create a cohesive look and visually appealing result in every room. Each window is custom made to your exact specifications using our signature vinyl formula.



HORIZONTAL SLIDER



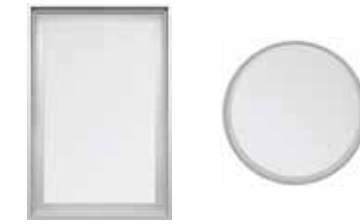
SINGLE HUNG



CASEMENT



AWNING



PICTURE AND RADIUS



SLIDING DOOR



Horizontal Slider windows open with the sash sliding left or right. In a single slider, one sash slides to open. A double vent has two operable sashes on either side of a fixed sash. Since they open and close without protruding, horizontal sliders are an excellent choice for rooms facing walkways, porches or patios.



In the single hung window, the bottom sash moves up to open and allow air flow and the top sash is fixed. Since it opens and closes without protruding, single-hung windows are an excellent choice for first-story rooms. Single hung windows work well in combinations.



A casement window is hinged at the side and opens outward like a door. Unlike single hung or sliding windows, a casement window has no rail for an unobstructed view. If you're installing windows over a sink, countertop or appliance, a casement window with a crank can be the perfect solution.



Awning windows are hinged on top and open outward, enabling ventilation without letting in rain or falling leaves. They are a great choice to pair with non-operable windows, such as above or below a picture window.



Like the art on the walls, picture windows are the frame for your view. Picture windows come in just about any shape or size. Combine picture windows with any operating style, and use in any room.

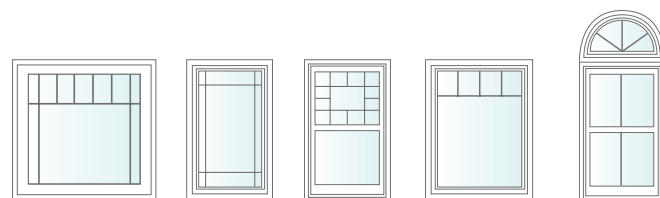


Trinsic Series sliding patio doors are the perfect complement to Trinsic Series windows, designed with a narrow frame profile that can expand your home and your view.

Make it your *Own*

Grids

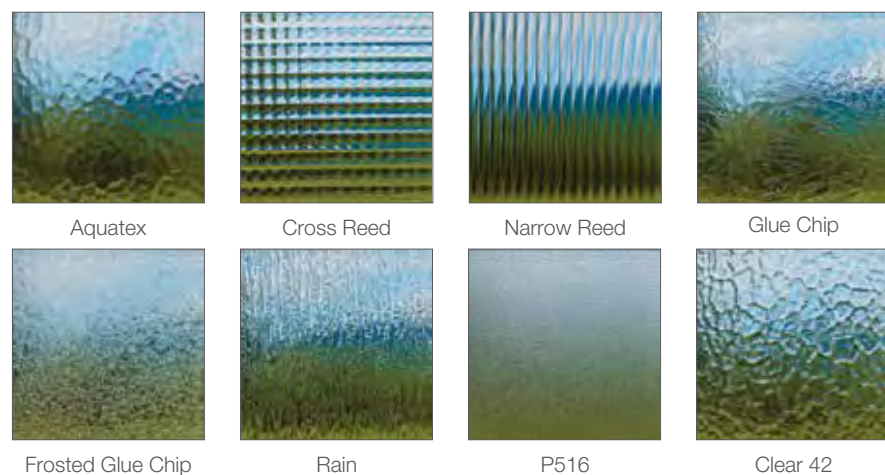
Express your creativity and dramatically increase your home's curb appeal with our virtually endless grid options. Flat and Sculptured grids are placed inside the glass unit for easy cleaning. With Simulated Divided Lites, the grids attach to the glass surface, both interior and exterior, with a spacer in between the glass.



Decorative Glass

Decorative glass can add privacy or design to any room. All decorative glass can be tempered, which turns it into safety glass. Consider this for showers or near a bathtub.

Decorative glass is available in these and many more styles and tints. Ask your Milgard dealer to show you the options.



Make a statement with *Color*

Premium Exterior Vinyl Finishes

Trinsic™ Series gives you design flexibility with eight premium and two standard exterior colors.

Standard
Matching interior



Premium
White interior only



Colors shown are approximate due to printing limitations.

Innovation *Re-imagined*

SmartTouch®



SmartTouch® Window Lock

Horizontal Slider and Single Hung

Responding to the need for easy-to-operate, easy-to-maintain products, Milgard developed the innovative SmartTouch window lock. It's the easiest, smartest way to lock and unlock your window.

Plus, it offers peace of mind you can see. When the handle is down, it's easy to see at a glance that your window is closed and locked.

Specially redesigned for Trinsic™ Series, the new look of this SmartTouch window lock offers a squared off profile that blends into the frame profile and practically disappears from view.



Folding Nesting Operator and Sash Lock Casement and Awning

The ultimate in contemporary style, the folding nesting operator and sash lock have the same clean lines as the window, and don't obstruct window treatments.



Sliding Patio Door Handle

This newly designed handle has a crisp and clean contemporary feel which mirrors the window lock. Consider the optional upgrade for a squared off look and narrower handle that blends seamlessly into the frame.

Sliding *Patio Doors*

Features

- A sliding door custom made to your specifications with a 4-5/8" jamb depth
- Designed with a narrow, contemporary frame profile for an aesthetically pleasing look
- Durable vinyl frames won't absorb moisture and don't need to be painted
- Choose from two contemporary door handles designed specifically for Trinsic™ Series
- Backed by the Milgard Full Lifetime Warranty

Options

- Choose from 2, 3, and 4 panel sliding doors
- Multiple grid options available in coordinating colors

Upgrades

- PureView® screen for enhanced visibility
- Premium patio door handle
- Glass Breakage Coverage





2-panel sliding patio door, awning and picture windows



milgard.com

Connect with Milgard: milgard.com/social



Trinsic™ and SmartTouch® are trademarks of Milgard Manufacturing, Inc.

ENERGY STAR® is a registered trademark of the U.S. Environmental Protection Agency. Milgard Windows is proud to be an ENERGY STAR® partner. Trinsic Series products can be ENERGY STAR® qualified for all U.S. zones.

Milgard windows and doors meet criteria for structural integrity and reliable performance established by the American Architectural Manufacturers Association (AAMA). Consult your Milgard representative for specific test information.

TRNS-0618 © 2018 Milgard Manufacturing, Inc.

2-183



Planning Commission Agenda Report

ITEM NO. 3

DATE: October 13, 2020

TO: Chair and Members of the Planning Commission

FROM: Joanna Hankamer, Director of Planning and Community Development

PREPARED BY: Margaret Lin, Manager of Long Range Planning and Economic Development

SUBJECT: **Tenant Protections - Impacts of State Law Relating to Tenant Protection Act of 2019 (Assembly Bill 1482) on Local Tenant Protection Opportunities**

Recommendation

It is recommended that the Planning Commission review and discuss the impacts of State law relating to the Tenant Protection Act of 2019 on local tenant protections and consider a recommendation to the City Council.

Discussion/Analysis

On October 8, 2019, Governor Newsom signed Assembly Bill 1482 (AB 1482, Chiu), also known as the Tenant Protection Act of 2019. AB 1482 included the following provisions:

- Prevent property owners from terminating a tenancy without just cause;
- Require property owners to provide the tenant with an opportunity to correct violations before being terminated;
- Require property owners to provide tenants relocation assistance limited to one month’s rent, if residency is terminated for certain specified “no cause” reasons, which include the ability of the owner to perform substantial rehabilitation on a unit, or to take it off the market entirely for occupancy by the owner or owner’s family; and
- Prevent property owners from increasing rent over the course of any 12-month period more than five percent plus the rate of inflation, or 10 percent, whichever is lower; this restriction requires the rent in existence as of March 1, 2019 as the “base rent” of a tenant remaining in the unit after January 1, 2020 for purposes of calculating an annual rent increase.

Other Relevant State Legislation

In addition to the Tenant Protection Act of 2019, there are other existing laws that provide certain levels of protection to our local tenants while limiting local control. A brief summary of each is provided below.

Ellis Act of 1985 – Tenants in Rent Control

The Ellis Act of 1985 prohibits cities from creating rent-control ordinances that restrict a landlord from evicting a tenant in any of the following scenarios: a landlord is planning to remove the unit from the rental market; would like to sell the property to another property owner; or if the property owner will occupy the unit. For current rent-control cities, the Ellis Act requires that if an owner of a rent-controlled unit removes it from the market for permissible reasons, the unit may not be rented again for a minimum of five years.

Costa-Hawkins Rental Housing Act of 1995 – Rent Control Prohibition

In addition, the Costa-Hawkins Rental Housing Act of 1995 prohibits cities from establishing rent control over certain residential units (i.e., single-family, condominiums, and newly constructed apartment units). This Act also prohibits cities from practicing “vacancy control” which is the limiting of rent increases between tenants to keep a unit affordable, for example.

COVID-19 Prohibitions on Tenant Evictions

Most recently, the state, Los Angeles County, and several cities in California, adopted prohibitions on evicting tenants who assert they cannot pay their rent due to COVID-19 related impacts on their financial status.

As a result, a couple of lawsuits have been filed by property owners against the state of California, the City of Los Angeles, the County of Los Angeles and various cities which enacted their own eviction moratoria, including Glendale and Burbank. The lawsuits assert, variously, constitutional takings claims (both state and federal), violation of the contracts clause (both state and federal), preemption (state), and violation of due process under 14th Amendment (federal). The lawsuits allege that the governmental entities have singled out landlords and property owners to absorb the residents’ claimed economic losses related to the pandemic health crises, and that the eviction restriction illegally modifies existing contractual relationships.

Opportunities for Local Tenant Protections

Recent community discussions about housing have included requests for increased tenant protections such as:

- Continuing tenant assistance;
- Developing an occupancy inspection program for existing rental units;
- Requiring landlords to pay additional months of relocation benefits for a “no cause” eviction; and
- Requiring owners to sign written declarations under penalty of perjury prior to a “no cause” eviction to remove a unit from the rental market for an owner or owner family member occupancy.

Some rent-control and/or charter cities, such as San Francisco – one of the original 12 rent-control cities – have expanded their tenant protections beyond state mandates. By contrast, South Pasadena as a general law city, must comply with applicable statutory law and therefore has limited authority to place additional restrictions beyond the recent Tenant Protection Act of 2019. Adopting an ordinance that exceeds the protections of the Tenant Protection Act of 2019 (which did not modify the Costa Hawkins Act) could result in a legal challenge due to the limitations from the 1995 Costa Hawkins Act and 1985 Ellis Act places on general law cities like South Pasadena, which is also not one of the original rent-control cities.

Because of the potential of a costly legal challenge, Staff recommends that the City:

1. Continues to provide tenant assistance and develop an Occupancy Inspection Program as described below; and
2. Continues to monitor current legal challenges involving jurisdictions that have exceeded the Tenant Protection Act of 2019 before proceeding with imposing additional local protections in South Pasadena.

Existing South Pasadena’s Tenant Assistance

The City contracts with the Housing Rights Center (HRC) annually to provide a comprehensive fair housing services program which includes the following:

- Fair housing counseling;
- Mediation;
- Discrimination compliant investigation;
- Outreach and education;
- Fair housing legal services; and
- Landlord-tenant mediation services.

All South Pasadena residents are eligible to contact the HRC for assistance with lease terminations and other tenant issues. Contact information for HRC is located on the City’s website at <https://www.southpasadenaca.gov/residents/housing>.

Occupancy Inspection Program

To ensure safe and habitable living conditions for renters, the City could develop an Occupancy Inspection Program. The program could also encourage preventative maintenance and preservation of property values. The program could include the following elements:

<u>Program Elements</u>	<u>Possible Requirements</u>
Development Type	<ul style="list-style-type: none"> • All rental properties with 4 units or more
Inspection Frequency	<ul style="list-style-type: none"> • Before a Certificate of Occupancy is issued • Once every four years, coincide with the City’s existing fire inspection • Greater frequency for properties that are not in compliance

Inspection Checklist	<ul style="list-style-type: none"> • Exterior • Exits/Egress • Stairways/Guardrails • Fire Prevention • Lighting • Ventilation • Heating • Windows • Floors • Walls • Ceilings • Doors • Plumbing • Electrical
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Other cities have implemented similar programs. Pasadena requires all residential development types to be inspected upon sale or change of occupancy; while Long Beach requires an annual inspection on all rental properties of four units or more.

Background

On January 28, 2019, the Planning Commission discussed and provided guidance regarding proposed housing policies to improve the accessibility of affordable housing and to improve the condition of the City’s rental housing stock. These policies included amendments to the Accessory Dwelling Unit ordinance, inclusionary housing, and tenant protection programs.

In September 2019, the City held a series of housing workshops regrading tenant protections, ADUs, and Inclusionary Housing. The purpose of the meetings was to introduce and discuss potential housing policies with community members to obtain public input. During these meetings, participants were supportive of having stronger tenant protections to ensure housing security; and establishing an Occupancy Inspection Program. Participants were receptive to increasing the number of affordable housing units for young professionals and senior relatives through more less restrictive ADU requirements. Participants were also supportive of increasing affordable housing units for moderate to low-income households, but expressed concerns regarding impacts on parking and specific program requirements.

Next Steps

1. October - December 2020: Occupancy Inspection Community Outreach
2. December - January 2021: First Reading and Introduction of Occupancy Inspection Ordinance
3. January - February 2021: Second Reading and Adoption of Occupancy Inspection Ordinance

Legal Review

The City Attorney has reviewed this item.

Planning Commission
October 13, 2020

Tenant Protections
Page 5 of 5

Fiscal Impact

There is no fiscal impact.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda and posting of the same agenda and reports on the City's website and publication in the *South Pasadena Review* newspaper.