



Community Development
Department

Memo

DATE: December 13, 2022
TO: Planning Commission
FROM: Matt Chang, Planning Manager
RE: Additional Document, Item No. 3, Public Hearing – Proposed
Zoning Text Amendments

The attached written comments were received by 12:00 p.m. on December 13, 2022, and are attached for your information.

From: [Josh Albrektson](#)
To: [PlanningComments](#)
Subject: Item 3 public comment
Date: Monday, December 12, 2022 8:01:44 AM

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Say you have a 10,000 sq ft lot in a RM or RH zone.

You can build a 4,000 sq ft single family home.

Triplex is 1.0 FAR. 10,000 sq ft / 3 is three 3,333 sq ft apartments

7 unit building is 1.0 FAR. 10,000 sq ft / 7 is seven 1,444 sq ft apartments

10 unit building is 1.25 FAR. 12,500 sq ft / 10 is ten 1,250 sq ft apartments.

11 unit building is 0.5 FAR. 5,000 sq ft / 11 is eleven 454 sq ft apartments.

At some point of time you guys will realize that your NIMBY staff keeps getting you in trouble is because they do stuff like set the FAR at 0.5 for 11+ unit buildings.

One of the biggest reasons you don't have a compliant Housing Element right now is because South Pasadena passed the highest inclusionary housing ordinance in the state and killed all projects in the pipeline.

<https://twitter.com/JalbyMD/status/1601058638595969024?s=20&t=GoTxFXNCDbODcVovnymlfg>

Requirement by Zoning District (1)		
RS	RM	RH
able ratio of building floor area to lot area. See (itions) for a definition and illustration.		
	0.50 <u>1.0 for 3-7 unit projects;</u> <u>1.25 for 8-10 unit projects;</u> <u>.50 for all other projects</u>	Single-family dwellings—0.40 Multi-family projects— 0.50 <u>1.0 for 3-7 unit projects;</u> <u>1.25 for 8-10 unit projects;</u> <u>0.50 for all other projects</u>

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Josh Albrektson MD

From: [Yvonne LaRose](#)
To: [PlanningComments](#)
Subject: Public Comment: Introduction
Date: Monday, December 12, 2022 9:11:42 PM

CAUTION: This email originated from outside of the City of South Pasadena. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Yvonne LaRose. My purpose in submitting this written comment is to formally introduce myself. It seems there's some confusion about me and my capacity to speak on subjects.

Not only am I a long-time resident of South Pasadena, because of the pandemic, I am now also a small business person in South Pasadena. My work is focused in consulting regarding the legal issues related to Title VII issues, especially in relation to diversity, harassment, and ethics.

Although I left the city in 1990 to accept a seat in an ABA law school in the Bay Area, I returned in 2019 without the J.D. behind my name but with a compilation of knowledge and interface with those I intended to serve in their need for Public Interest law. My original goal was to practice either Tax or Transactional Law while serving the public interest as an avocation.

In 1999, I had the impression (as with many others like me, including yourselves) that my outstanding career and academic credentials empowered me to have all the answers to the social questions and issues and simply step into the role of public servant with ease. After all, I had a bachelor's degree in addition to two (2) paralegal certificates and more than 20 years of work experience in the Big Five law firms, not to mention other firms of various sizes.

I also had nearly two years of law school training, a year of legal internship for the San Francisco City Attorney's office, as well as training and experience in being a community mediator.

All of that education and work experience brought with it my service on several nonprofit boards of directors. I thought my toolbox was well supplied to do work in Public Interest law. Then the day came when I was allowed to try to persuade two teenagers that life on the streets was not an idyllic path and not a romantic lifestyle. I dismally failed at the attempt to dissuade them. That was the beginning of my 30-year pilgrimage and education about public interest advocacy. That was the beginning of my learning about the avenues to help people resume a productive life while living in a normal domicile, not the streets, and what it takes to be admitted to some type of long-term shelter with the goal of having one's own residence and a new, empowered life.

Today there are issues before your body concerning

- Low Barrier Navigation Centers - rehabilitation centers
- Parking Allowances
- Transportation Accessibility (that justifies the extraordinary dwelling increase)t

in relation to the City's meeting its obligations under the mandated 2,065 housing development and other requirements under the State housing element.

Each of you has a particular expertise in these matters. Likewise, I have my own expertise in some of these things before you. I am qualified to address the issues on which I have focused awareness and expertise.

It is my intention to shed more light on conditions that impact the amount of time a client may live in a rehabilitation center.

It is also my intent to bring awareness of the limited transportation options available in South Pasadena that defeat the notion it is a transportation rich city; it is not.

Viva

Yvonne LaRose

Organization Development Consultant: Diversity/Title VII, Harassment, Ethics

Cell: 626-606-4677

From: [O.Ferguson](#)
To: [PlanningComments](#)
Subject: Agenda Item 3: PROPOSED ZONING TEXT AMENDMENTS
Date: Tuesday, December 13, 2022 11:15:36 AM
Attachments: [2022-0203 South Pasadena ACTIVE PERMITS LIST 2322.pdf](#)
[2022-1208 SmallLotDesignStandards-reduced.pdf](#)
[Pages from SP Design Guidelines - Part V New hillside homes.pdf](#)

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While the Chapter 36 amendments of the South Pasadena Municipal Code represent progress in the right direction, they do not make enough concrete changes in order to meet the intent of the Housing Element, nor do they acknowledge the housing affordability crisis that we are experiencing locally.

Specific areas of the Municipal code that need to be addressed are:

IMPROVED PERMITTING

The City of South Pasadena has several potentially overlapping design criteria that are subjective and inhibit new construction. These practices should be reduced or suspended until they have been consolidated and updated. Having such subjective design approvals delays construction times and limits the pool of local property developers. (See attached example, *Pages from SP Design Guidelines - Part V New hillside homes.pdf* with highlighted section.) The permitting process is poorly communicated, excessively burdensome, and slow. Based upon the most recently available Active Permits list (*2022-0203 South Pasadena ACTIVE PERMITS LIST 2322.pdf*), there are roughly 1,600 active permits – most of which are over a year old. The tracking is opaque and the process is rife with impediments. If this is not addressed in the Municipal Code Revisions – any and all future construction will be bottlenecked thus not meeting housing needs.

DISTRIBUTED DENSITY

South Pasadena needs additional density. To achieve this small lot subdivisions in residential neighborhoods should be permitted until RHNA numbers are met. Given that the City is 3.417 mi²; this should not be consolidated to blocks near freeway off-ramps or major streets - but distributed evenly throughout the city. Also, small lot subdivisions could achieve density without needing a height restriction adjustment via ballot. (See attached *2022-1208 SmallLotDesignStandards-reduced.pdf*). Lastly, if design language is of concern, rather than impede development, the city should release pre-approved designs. This would present a tremendous cost savings for both the city (reduced review time) and developers, as they could more accurately determine costs and would have significantly reduced construction times. Savings that would help achieve affordability for owners or tenants.

Lastly, the City needs to reconsider what the role of a Design Review Committee should be. Clearly documented codes and standards are what the Design Committee should be developing. Every project that gets submitted for permit should not have to be routed to the committee for approval/review. Findings of said committee should update city code not provide location specific approval (spot zoning). The way things are currently being done is a recipe for abuse via subjective interpretation and bias.

DESIGN GUIDELINES FOR NEW SINGLE-FAMILY RESIDENCES ON HILLSIDE SITES

PHYSICAL DESIGN COMPONENTS



This hillside residence employs light colored wood, concrete and glass to project its design aesthetic.



The upper residence in this picture is not as successful in its use of materials and window placement. From below it overwhelms the hillside.

- New designs in the traditional styles should be comprehensive in massing, forms, details and materials, with quality design and workmanship. Hillside designs in these styles should be respectful to the contours of the site, and be stepped back with the slope of the site.
- Contemporary designs are also appropriate, when they are designed with attention to height, form, massing, proportion, size, scale and roof form. Consideration should be taken to provide articulated details and careful attention should be given to quality workmanship.

Exterior Cladding and Roofing Materials

The City's Planning and Building Department maintains a list of exterior wall finishes that are generally acceptable for projects in South Pasadena. Materials are categorized into two groups: "encouraged" and "generally unacceptable". The term "generally" is used to imply that exceptions may be made in certain unique situations. An "encouraged" material may not be acceptable if used in the wrong context. At the same time, a "generally unacceptable" material may be acceptable if the material is uniquely befitting the design and the argument is convincing.

Exterior Wall Finishes – Encouraged with Traditional Styles

Stucco, with appropriate texture (e.g. sand or smooth finish and half-timbering)
Wood clapboard siding
Wood shingles
Wood board and batten
Brick

Exterior Wall Finishes – Encouraged with Modern Aesthetic

Stucco
Metal
Concrete and concrete block
Wood
Glass

Active Permits List
02/03/22

Permit #	Address #	Street Name	Status	Permit Type	Issuance
19016	920-922	Adelaine	Active	Reroof	5/12/21
46582	1010	Adelaine	Final	Building	6/28/21
46583	1010	Adelaine	Final	Electrical	6/28/21
48580	807	Adelaine	Active	Building	3/25/21
48581	807	Adelaine	Active	Electrical	3/22/21
48581	807	Adelaine	Active	Electrical	3/25/21
49017	920-922	Adelaine	Active	Reroof	5/12/21
49363	810	Adelaine	Active	Electrical	7/14/21
49659	1019	Adelaine	Active	Reroof	8/24/21
50595	1021	Adelaine	Active	Plumbing	1/18/22
49363	810	Adelaine Avenue	Active	Electrical	7/14/21
48512	1916	Ahambra	Active	Miscellaneous	2/18/21
48319	1916	Alhambra	Active	Building	2/1/21
48320	1916	Alhambra	Active	Electrical	2/1/21
48321	1916	Alhambra	Active	Mechanical	2/1/21
48322	1916	Alhambra	Active	Plumbing	2/1/21
48350	1916	Alhambra	Active	Building	1/26/21
48359	1916	Alhambra	Active	Building	1/27/21
48361	1916	Alhambra	Active	Building	1/26/21
48423	1916	Alhambra	Active	Building	2/4/21
48433	1916	Alhambra	Active	Building	2/2/21
48441	1916	Alhambra	Active	Plumbing	2/9/21
48472	1916	Alhambra	Active	Building	2/22/21
48475	1916	Alhambra	Active	Plumbing	2/22/21
48507	1916	Alhambra	Active	Building	2/18/21
48508	1916	Alhambra	Active	Electrical	2/18/21
48524	1916	Alhambra	Active	Reroof	2/23/21

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48565	1916	Alhambra	Active	Building	3/1/21
48566	1916	Alhambra	Active	Electrical	3/1/21
48567	1916	Alhambra	Active	Mechanical	3/1/21
48568	1916	Alhambra	Active	Plumbing	3/1/21
49495	1714	Alhambra	Active	Building	8/4/21
49496	1714	Alhambra	Active	Electrical	8/4/21
49589	1422	Alhambra	Active	Building	8/24/21
50393	1704	Alhambra	Active	Mechanical	12/8/2021
48431	1916	Alhambra Road	Active	Building	2/17/21
46671	1506	Alhambra Roas	Active	Reroof	3/2/20
48473	1916	Alhanbra	Active	Electrical	2/22/21
48474	1916	Alhanbra	Active	Mechanical	2/22/21
49051	2021	Alpha	Active	Building	8/4/21
49052	2021	Alpha	Active	Electrical	8/4/21
49513	1906	Alpha	Active	Plumbing	8/5/21
50603	2029	Alpha	Active	Building	1/18/22
50604	2029	Alpha	Active	Electrical	1/18/22
46313	2041	Alpha Street	Active	Electrical	1/9/20
46314	2041	Alpha Street	Active	Mechanical	1/9/20
46422	1818	Alpha Street	Active	Building	1/29/20
46423	1818	Alpha Street	Active	Electrical	1/29/20
46424	1818	Alpha Street	Active	Mechanical	1/29/20
46425	1818	Alpha Street	Active	Plumbing	1/29/20
46587	2021	Alpha Street	Active	Building	2/19/20
46588	2021	Alpha Street	Active	Electrical	2/19/20
46589	2021	Alpha Street	Active	Plumbing	2/19/20
47612	2041	Alpha Street	Active	Building	12/1/20
47613	2041	Alpha Street	Active	Building	12/1/20

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47614	2041	Alpha Street	Active	Electrical	12/1/20
47615	2041	Alpha Street	Active	Mechanical	12/1/20
47616	2041	Alpha Street	Active	Plumbing	12/1/20
47736	2028	Alpha Street	Active	Mechanical	10/22/20
48071	1825	Alpha Street	Active	Electrical	12/15/20
48091	2049	Alpha Street	Active	Reroof	12/10/20
48092	2049	Alpha Street	Active	Reroof	12/10/20
48313	1930	Alpha Street	Final	Electrical	6/9/21
48314	1930	Alpha Street	Final	Mechanical	6/9/21
48315	1930	Alpha Street	Final	Plumbing	6/29/21
48435	2028	Alpha Street	Active	Building	2/4/21
47004	401	Alta Vista	Active	Building	6/22/20
47005	401	Alta Vista	Active	Electrical	6/22/20
47214	629	Alta Vista	Active	Electrical	8/5/20
47338	308	Alta Vista	Active	Building	8/26/20
47339	308	Alta Vista	Active	Electrical	8/26/20
47340	308	Alta Vista	Active	Plumbing	8/26/20
47821	311	Alta Vista	Active	Electrical	11/4/20
47822	311	Alta Vista	Active	Plumbing	11/4/20
47875	311	Alta Vista	Active	Electrical	11/17/20
47876	311	Alta Vista	Active	Mechanical	11/17/20
48096	311	Alta Vista	Active	Mechanical	12/14/20
48289	423	Alta Vista	Active	Building	2/10/21
48289	423	Alta Vista	Active	Building	2/10/21
48296	629	Alta Vista	Active	Electrical	1/19/21
48297	629	Alta Vista	Active	Plumbing	1/19/21
48561	423	Alta Vista	Active	Electrical	2/25/21
48562	423	Alta Vista	Active	Mechanical	2/25/21

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48563	423	Alta Vista	Active	Plumbing	2/25/21
48623	335	Alta Vista	Active	Plumbing	3/23/21
48721	304	Alta Vista	Active	Plumbing	4/1/2021
49013	411	Alta Vista	Active	Building	5/24/21
49014	411	Alta Vista	Active	Electrical	5/24/21
49550	551	Alta Vista	Active	Electrical	8/24/21
49662	520	Alta Vista	Active	Electrical	8/25/21
50115	370	Alta Vista	Active	Reroof	10/25/21
50153	335	Alta Vista	Active	Building	10/28/21
50353	365	Alta Vista	Active	Reroof	12/6/2021
50433	370	Alta Vista	Active	Electrical	12/14/2021
48373	1664	Amberwood	Final	Reroof	2/22/21
48375	1670	Amberwood	Final	Reroof	2/22/21
50328	1681	Amberwood	Active	Reroof	12/1/2021
46366	1675	Amberwood Drive	Active	Building	1/21/20
46412	1675	Amberwood Drive	Active	Electrical	1/28/20
46420	1675	Amberwood Drive	Active	Building	1/29/20
47789	2045	Amherst Drive	Final	Building	6/8/21
49670	2053	Amherst Drive	Active	Reroof	8/26/21
49750	2016	Amherst Drive	Active	Plumbing	9/8/21
50303	2041	Amherst Drive	Active	Building	11/29/2021
50304	2041	Amherst Drive	Active	Electrical	11/29/2021
50305	2041	Amherst Drive	Active	Mechanical	11/29/2021
50306	2041	Amherst Drive	Active	Plumbing	11/29/2021
50303	2041	Amherst Drive	Active	Building	11/29/2021
50099	2017	Amherst Drive	Active	Plumbing	12/8/2021
48472	531	Arroyo Square	Active	Plumbing	4/8/21
48848	530	Arroyo	Active	Reroof	4/19/21

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50252	512	Arroyo	Active	Building	11/15/21
48847	530	Arroyo	Active	Reroof	4/19/21
47269	1016	Arroyo Drive	Active	Building	10/27/20
47304	658	Arroyo Drive	Active	Electrical	9/3/20
47305	658	Arroyo Drive	Active	Mechanical	9/3/20
48143	520	Arroyo Drive	Active	Electrical	12/17/20
48184	520	Arroyo Drive	Active	Plumbing	12/17/20
48473	531	Arroyo Drive	Active	Building	4/8/21
48642	1016	Arroyo Drive	Active	Mechanical	3/9/21
48659	1016	Arroyo Drive	Active	Electrical	3/16/21
49001	1022	Arroyo Drive	Active	Plumbing	5/12/21
48471	531	Arroyo Square	Active	Electrical	4/8/21
49261	531	Arroyo Square	Active	Electrical	7/6/21
47496	2050	Ashbourne	Active	Building	10/14/20
48194	1101	Avon	Active	Electrical	1/20/21
50640	1125	Avon	Active	Electrical	1/24/22
48217	1426	Bank	Active	Mechanical	1/7/21
48218	1426	Bank	Active	Plumbing	1/7/21
48892	1624	Bank	Final	Mechanical	6/21/21
49319	1730	Bank	Active	Building	8/4/21
49320	1730	Bank	Active	Electrical	8/4/21
49787	807	Bank	Active	Building	9/15/21
50093	1507	Bank	Active	Mechanical	10/26/21
50092	1507	Bank	Active	Mechanical	10/26/21
50431	840	Bank	Active	Mechanical	12/16/2021
50454	1507	Bank	Active	Mechanical	12/21/21
50710	809 B	Bank	Active	Building	1/31/22
49276	1726	Bank Street	Active	Reroof	7/12/21

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49326	1726	Bank Street	Active	Reroof	7/12/21
46292	815	Banks Street	Active	Plumbing	1/7/2020
47817	846	Banks Street	Active	Reroof	11/5/20
46477	226 1/2	Beacon	Active	Electrical	2/5/20
46707	1427	Beech Street	Final	Building	6/24/21
46708	1427	Beech Street	Final	Electrical	6/24/21
46709	1427	Beech Street	Final	Mechanical	6/24/21
46710	1427	Beech Street	Final	Plumbing	6/24/21
47276	1107	Beech Street	Active	Plumbing	9/1/20
47791	1113	Beech Street	Final	Building	6/16/21
47793	1113	Beech Street	Final	Electrical	6/16/21
47794	1113	Beech Street	Final	Mechanical	6/16/21
47795	1113	Beech Street	Final	Plumbing	6/16/21
48538	1504	Beech Street	Active	Electrical	3/4/21
46245	2020	Berkshire Avenue	Active	Mechanical	1/2/20
46604	2043	Berkshire Avenue	Active	Reroof	2/24/20
46605	2043	Berkshire Avenue	Active	Reroof	2/24/20
49642	2031	Berkshire Avenue	Active	Mechanical	8/24/21
50582	1240	Blair	Active	Electrical	1/12/22
48780	809	Bonita	Active	Building	4/26/21
50233	811	Bonita	Active	Building	11/9/21
47516	831	Bonita Drive	Active	Reroof	9/23/20
48413	736	Bonita Drive	Active	Mechanical	2/2/21
48487	809	Bonita Drive	Active	Reroof	2/17/21
48503	736	Bonita Drive	Active	Electrical	2/17/21
49682	869	Braewood	Active	Reroof	8/26/21
50113	829	Braewood	Active	Building	10/25/21
48677	805/807	Brent	Active	Plumbing	3/16/21

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49530	1030	Brent	Active	Reroof	8/10/21
49611	1032	Brent	Active	Plumbing	8/17/21
49705	1128	Brent	Active	Building	8/31/21
49706	1128	Brent	Active	Electrical	8/31/21
50680	700-702	Brent	Active	Electrical	1/26/22
50507	1124	Brent	Active	Mechanical	1/31/22
46315	730	Brent Avenue	Active	Electrical	1/9/20
46410	824	Brent Avenue	Active	Building	1/27/20
46991	1032	Brent Avenue	Active	46991	8/19/20
47347	1030-1032	Brent Avenue	Active	Mechanical	8/20/20
47348	1030-1032	Brent Avenue	Active	Plumbing	8/20/20
50552	1220	Brunswick	Active	Building	1/4/22
46447	1305	Brunswick Avenue	Active	Building	2/3/20
46448	1305	Brunswick Avenue	Active	Grading	2/3/20
46475	1023	Buena Vista Street	Expired	Reroof	2/5/20
46476	1023	Buena Vista Street	Expired	Reroof	2/5/20
47657	1124	Buena Vista Street	Active	Plumbing	10/15/20
47714	1124	Buena Vista Street	Active	Mechanical	10/21/20
49811	99	Buena Vista Street	Active	Reroof	9/21/21
48817	1616	Bushnell	Active	Building	4/13/21
48818	1616	Bushnell	Active	Electrical	4/13/21
48819	1616	Bushnell	Active	Mechanical	4/13/21
48820	1616	Bushnell	Active	Plumbing	4/13/21
50499	811	Bushnell	Active	Building	1/31/22
47293	1700	Bushnell Ave	Active	Mechanical	9/1/20
49054	1616	Bushnell Ave	Final	Building	6/30/21
48403	4979	Callis	Active	Electrical	3/11/21
49644	2007	Cambridge	Active	Mechanical	8/25/21

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50429	2027	Cambridge	Active	Plumbing	12/16/2021
49577	1717	Camden	Active	Reroof	8/16/21
49578	1717	Camden	Active	Building	8/16/21
50169	1700	Camden	Active	Reroof	11/3/21
47683	1725	Camden Avenue	Active	Building	2/8/21
47683	1725	Camden Avenue	Active	Building	1/11/21
47684	1725	Camden Avenue	Active	Electrical	2/8/21
47684	1725	Camden Avenue	Active	Electrical	1/11/21
47685	1725	Camden Avenue	Active	Mechanical	2/8/21
47685	1725	Camden Avenue	Active	Mechanical	1/11/21
47686	1725	Camden Avenue	Active	Plumbing	1/11/21
47686	1725	Camden Avenue	Active	Plumbing	2/8/21
48079	1717	Camden Avenue	Final	Electrical	6/8/21
47951	621	Camino Cerrado	Active	Building	11/30/20
47952	621	Camino Cerrado	Active	Building	11/30/20
50003	621	Camino Cerrado	Active	Electrical	10/12/21
50004	621	Camino Cerrado	Active	Plumbing	10/12/21
50417	621	Camino Cerrado	Active	Mechanical	12/13/2021
50238	319	Camino del Cielo	Active	Mechanical	11/10/21
50626	319	Camino del Cielo	Active	Electrical	1/19/22
47898	354	Camino del sol	Active	Building	1/7/21
48364	342	Camino del sol	Active	Plumbing	1/20/21
48543	354	Camino del sol	Active	Reroof	2/25/21
48734	354	Camino del sol	Active	Plumbing	3/25/21
48754	354	Camino del sol	Active	Mechanical	3/30/21
48766	354	Camino del sol	Active	Electrical	3/25/21
48781	354	Camino del sol	Active	Electrical	4/5/21
49787	218	Camino del Sol	Active	Electrical	9/15/21

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50013	206	Camino del Sol	Active	Building	10/13/21
50144	366	Camino del Sol	Active	Reroof	10/27/21
50385	366	Camino del Sol	Active	Building	12/7/2021
50386	366	Camino del Sol	Active	Electrical	12/7/2021
50420	365	Camino del Sol	Active	Building	12/13/2021
50421	365	Camino del Sol	Active	Electrical	12/13/2021
50422	365	Camino del Sol	Active	Mechanical	12/13/2021
50423	365	Camino del Sol	Active	Plumbing	12/13/2021
50545	272	Camino del Sol	Active	Reroof	1/3/22
50581	272	Camino del Sol	Active	Electrical	1/12/22
50608	272	Camino del Sol	Active	Plumbing	1/13/22
50757	365	Camino del Sol	Active	Building	2/2/22
46268	1748	Camino Lindo	Active	Building	1/6/20
46269	1748	Camino Lindo	Active	Mechanical	1/6/20
46270	1748	Camino Lindo	Active	Plumbing	1/6/20
46826	1748	Camino Lindo	Active	Electrical	4/13/20
46916	1507	Camino Lindo	Active	Reroof	5/4/20
47021	1628	Camino Lindo	Final	Reroof	6/22/21
47155	1748	Camino Lindo	Active	Mechanical	7/27/20
47219	1507	Camino Lindo	Active	Building	8/5/20
47220	1507	Camino Lindo	Active	Electrical	8/5/20
47581	1612	Camino Lindo	Active	Electrical	10/14/20
47582	1612	Camino Lindo	Active	Mechanical	10/14/20
47583	1612	Camino Lindo	Active	Plumbing	10/14/20
47654	1748	Camino Lindo	Active	Building	10/22/20
47655	1748	Camino Lindo	Active	Electrical	10/22/20
48050	1701	Camino Lindo	Active	Building	1/20/21
48051	1701	Camino Lindo	Active	Electrical	1/20/21

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48219	1657	Camino Lindo	Active	Mechanical	1/5/21
48374	1525	Camino Lindo	Final	Electrical	7/6/21
48845	1748	Camino Lindo	Active	Electrical	4/26/21
49776	1737	Camino Lindo	Active	Building	9/13/21
50236	1704	Camino Lindo	Active	Mechanical	11/10/21
50237	1704	Camino Lindo	Active	Electrical	11/10/21
50243	1672	Camino Lindo	Active	Building	11/10/21
50244	1672	Camino Lindo	Active	Electrical	11/10/21
50245	1672	Camino Lindo	Active	Plumbing	11/10/21
50597	1601	Camino Lindo	Active	Reroof	1/12/22
50583	1725	Camino Lindo	Active	Building	1/12/22
50584	1725	Camino Lindo	Active	Electrical	1/12/22
50585	1725	Camino Lindo	Active	Reroof	1/12/22
46719	325	Camino Verde	Active	Building	3/4/20
46720	325	Camino Verde	Active	Building	3/4/20
46721	325	Camino Verde	Active	Building	3/4/20
46723	325	Camino Verde	Active	Pool and Spa	3/4/20
46724	325	Camino Verde	Active	Grading	3/4/20
47242	606	Camino Verde	Active	Building	8/20/20
47243	606	Camino Verde	Active	Electrical	8/20/20
47244	606	Camino Verde	Active	Mechanical	8/20/20
47245	606	Camino Verde	Active	Plumbing	8/20/20
48925	328	camino verde	Active	Reroof	5/10/21
49738	325	Camino verde	Active	Electrical	9/7/21
49934	307	Camino verde	Active	Building	9/28/21
49934	307	Camino Verde	Active	Building	10/4/21
49738	325	Camino verde	Active	Electrical	10/4/21
50017	307	Camino verde	Active	Building	10/13/21

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50017	307	Camino Verde	Active	Building	10/28/21
50197	301	Camino Verde	Active	Electrical	11/4/21
50198	301	Camino Verde	Active	Mechanical	11/4/21
50199	301	Camino Verde	Active	Plumbing	11/4/21
50277	325	Camino Verde	Active	Building	11/17/2021
50278	325	Camino Verde	Active	Electrical	11/17/2021
50279	325	Camino Verde	Active	Mechanical	11/17/2021
50280	325	Camino Verde	Active	Plumbing	11/17/2021
50434	401	Camino Verde	Active	Building	12/20/21
50435	401	Camino Verde	Active	Electrical	12/20/21
50197	307	Camino Verde	Active	Electrical	12/20/21
50198	307	Camino Verde	Active	Mechanical	12/20/21
50199	307	Camino Verde	Active	Plumbing	12/20/21
50750	625	Camino Verde	Active	Building	2/2/22
50751	625	Camino Verde	Active	Electrical	2/2/22
50752	625	Camino Verde	Active	Mechanical	2/2/22
50753	625	Camino Verde	Active	Plumbing	2/2/22
48110	188	Cedar Crest	Final	Electrical	6/8/21
50114	203	Cedar Crest	Active	Electrical	10/25/21
50112	206	Cedar Crest	Active	Plumbing	10/25/21
47053	708	Charter Oak	Active	Electrical	7/6/20
47054	708	Charter Oak	Active	Mechanical	7/6/20
47055	708	Charter Oak	Active	Plumbing	7/6/20
47193	708	Charter Oak	Active	Electrical	8/17/20
48670	1215	Chelton	Active	Reroof	3/15/21
46728	1225	Chelton Way	Active	Mechanical	6/30/20
48304	1509	Chelton	Active	Building	1/19/21
48305	1509	Chelton	Active	Electrical	1/19/21

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48306	1509	Chelton	Active	Mechanical	1/19/21
48307	1509	Chelton	Active	Plumbing	1/19/21
48671	1215	Chelton	Active	Reroof	3/15/21
50730	1525	Chelton	Active	Plumbing	2/1/22
47608	5049	Colis	Active	Building	1/25/21
48707	4980	Colis	Active	Building	3/18/21
48708	4980	Colis	Active	Electrical	3/18/21
48710	4980	Colis	Active	Plumbing	3/18/21
48601	4979	Collins	Active	Mechanical	4/20/21
48911	5002	Collis	Active	Building	4/27/21
48912	5002	Collis	Active	Electrical	4/27/21
49582	5049	Collis	Active	Building	8/16/21
49640	4963	Collis	Active	Plumbing	8/24/21
46303	4926	Collis Avenue	Active	Building	1/8/20
46304	4926	Collis Avenue	Active	Electrical	1/8/20
46305	4926	Collis Avenue	Active	Plumbing	1/8/20
46715	1127	Columbia Street	Active	Building	3/4/20
46917	1127	Columbia Street	Active	Plumbing	5/5/20
47048	1127	Columbia Street	Active	Electrical	7/8/20
47850	1127	Columbia Street	Active	Mechanical	11/18/20
48026	1127	Columbia Street	Active	Electrical	12/7/20
46481	2027	Crestlake	Active	Building	2/5/20
46482	2027	Crestlake	Active	Electrical	2/5/20
46483	2027	Crestlake	Active	Mechanical	2/5/20
46484	2027	Crestlake	Active	Plumbing	2/5/20
47142	2040	Crestlake	Active	Reroof	7/23/20
47143	2040	Crestlake	Active	Reroof	7/23/20
48886	2027	Crestlake	Active	Building	4/21/21

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48887	2027	Crestlake	Active	Electrical	4/21/21
48888	2027	Crestlake	Active	Mechanical	4/21/21
48889	2027	Crestlake	Active	Plumbing	4/21/21
50369	2066	Crestlake	Active	Building	12/7/2021
50370	2066	Crestlake	Active	Electrical	12/7/2021
50369	2066	Crestlake	Active	Building	12/16/2021
50370	2066	Crestlake	Active	Electrical	12/16/2021
48432	1823	Diamond	Active	Plumbing	2/17/21
48704	1307	Diamond	Active	Building	3/22/21
48705	1307	Diamond	Active	Electrical	3/22/21
48706	1307	Diamond	Active	Plumbing	3/22/21
48880	1706	Diamond	Active	Building	5/4/21
48929	1225	Diamond	Final	Building	7/6/21
50639	1210	Diamond	Active	Building	1/19/22
50645	1111	Diamond	Active	Electrical	1/20/22
50716	1128	Diamond	Active	Plumbing	1/31/22
46732	1215	Diamond Avenue	Active	Electrical	6/17/20
49245	1136-38	Diamond Avenue	Active	Electrical	7/6/21
49246	1136-38	Diamond Avenue	Active	Mechanical	7/6/21
49556	1512	Diamond Avenue	Active	Reroof	8/12/21
49604	1705	Diamond Avenue	Active	Mechanical	8/23/21
49993	1705	Diamond Avenue	Active	Electrical	10/12/21
50440	1127	Donaldo	Active	Electrical	12/14/2021
47298	1127	Donaldo Ct	Active	Building	9/14/20
47595	1127	Donaldo Ct	Active	Electrical	10/15/20
47596	1127	Donaldo Ct	Active	Plumbing	10/15/20
47722	1127	Donaldo Ct	Active	Mechanical	11/2/20
48869	1127	Donoldo	Active	Building	4/20/21

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48990	1127	Donoldo	Active	Building	5/11/21
43803	2008	Edgewood Drive	Expired	Electrical	3/7/20
46745	2056	Edgewood Drive	Active	Building	3/9/20
46746	2056	Edgewood Drive	Active	Electrical	3/9/20
46747	2056	Edgewood Drive	Active	Plumbing	3/9/20
46979	1920	Edgewood Drive	Active	Plumbing	5/27/20
47578	1920	Edgewood Drive	Active	Electrical	12/21/20
47579	1920	Edgewood Drive	Active	Reroof	12/21/20
47626	1920	Edgewood Drive	Active	Electrical	4/14/21
47627	1920	Edgewood Drive	Active	Mechanical	4/14/21
47784	2056	Edgewood Drive	Active	Reroof	11/2/20
47785	2056	Edgewood Drive	Active	Reroof	11/2/20
47901	1920	Edgewood Drive	Active	Electrical	4/20/21
49067	1920	Edgewood Drive	Active	Building	5/24/21
49985	2043	Edgewood Drive	Active	Reroof	10/5/21
50070	2043	Edgewood Drive	Active	Electrical	10/5/21
46312	720	El Centro	Active	Building	1/13/20
46585	521	El Centro	Active	Electrical	2/19/20
46599	515	El Centro	Active	Electrical	2/24/20
46600	515	El Centro	Active	Mechanical	2/24/20
46601	515	El Centro	Active	Plumbing	2/24/20
46881	720	EL Centro	Active	Building	4/26/20
47167	720	EL Centro	Active	Electrical	7/30/20
47168	720	EL Centro	Active	Mechanical	7/30/20
47169	720	EL Centro	Active	Plumbing	7/30/20
47718	521	EL Centro	Active	Building	10/26/20
47919	505	El Centro	Active	Electrical	4/1/21
48114	1100	EL Centro	Active	Mechanical	12/17/20

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48221	720	El Centro	Active	Reroof	1/5/21
48222	720	El Centro	Active	Reroof	1/5/21
48281	521	El Centro	Active	Electrical	1/13/21
48411	616	El Centro	Active	Building	2/1/21
48412	616	El Centro	Active	Electrical	2/1/21
48412	616	El Centro	Active	Electrical	2/1/21
49572	515	El Centro	Active	Mechanical	8/12/21
50143	606	El Centro	Active	Reroof	10/27/21
50360	720	El Centro	Active	Building	12/6/2021
50361	720	El Centro	Active	Electrical	12/6/2021
50362	720	El Centro	Active	Mechanical	12/6/2021
50363	720	El Centro	Active	Plumbing	12/6/2021
50310	525	El Centro	Active	Plumbing	12/6/2021
50360	720	El Centro	Active	Building	12/13/2021
50361	720	El Centro	Active	Electrical	12/13/2021
50362	720	El Centro	Active	Mechanical	12/13/2021
50363	720	El Centro	Active	Plumbing	12/13/2021
50638	614	El Centro	Active	Electrical	1/20/22
50185	1412	El Centro	Active	Building	2/1/22
50186	1412	El Centro	Active	Electrical	2/1/22
46717	1234	El Cerrito Circle	Active	Plumbing	3/4/20
47924	2049	Empress	Active	Building	1/7/21
47925	2049	Empress	Active	Electrical	1/7/21
48424	2030	Empress	Active	Electrical	4/14/21
50530	2056	Empress	Active	Building	12/27/21
46672	625	Fair Oaks	Active	Building	3/2/20
46767	1019	Fair Oaks	Active	Electrical	3/10/20
46768	1019	Fair Oaks	Active	Mechanical	3/10/20

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46769	1019	Fair Oaks	Active	Plumbing	3/10/20
46981	625	Fair Oaks	Active	Electrical	5/27/20
47238	1326	Fair Oaks	Active	Building	8/13/20
47287	1305	Fair Oaks	Active	Building	9/16/20
47288	1305	Fair Oaks	Active	Electrical	9/16/20
47306	901#A	FAIR OAKS	Active	Electrical	9/2/20
47584	424	Fair Oaks	Active	Miscellaneous	10/8/20
47628	245	Fair Oaks	Active	Electrical	10/15/20
47633	901 #E	FAIr Oaks	Active	Building	10/19/20
47634	901	Fair Oaks	Active	Electrical	10/19/20
47643	209	Fair Oaks	Active	Building	10/22/20
47867	1714	Fair Oaks	Active	Electrical	11/5/20
47882	424	Fair Oaks	Active	Miscellaneous	11/8/20
48199	901	Fair Oaks	Active	Building	1/11/21
48200	901	Fair Oaks	Active	Electrical	1/11/21
48344	1023	Fair Oaks	Active	Building	1/26/21
48569	2052	Fair Oaks	Active	Electrical	3/1/21
48718	1100	Fair Oaks	Active	Electrical	4/20/21
48865	1100	Fair Oaks	Active	Building	4/20/21
48866	1100	Fair Oaks	Active	Electrical	4/20/21
48867	1100	Fair Oaks	Active	Mechanical	4/20/21
48868	1100	Fair Oaks	Active	Plumbing	4/20/21
48954	901	Fair Oaks	Active	Building	5/4/21
48955	901	Fair Oaks	Active	Electrical	5/4/21
48956	901	Fair Oaks	Active	Mechanical	5/4/21
48957	901	Fair Oaks	Active	Plumbing	5/4/21
49588	1213	Fair Oaks	Active	Reroof	8/16/21
49680	1609	Fair Oaks	Active	Reroof	8/30/21

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49671	2012	Fair Oaks	Active	Building	8/30/21
49672	2012	Fair Oaks	Active	Electrical	8/30/21
49708	2016	Fair Oaks	Active	Building	8/31/21
49709	2016	Fair Oaks	Active	Electrical	8/31/21
49753	710	Fair Oaks	Active	Building	9/14/21
49754	710	Fair Oaks	Active	Plumbing	9/14/21
49755	710	Fair Oaks	Active	Mechanical	9/14/21
49756	710	Fair Oaks	Active	Electrical	9/14/21
49822	2010	Fair Oaks	Active	Building	9/20/21
49823	2010	Fair Oaks	Active	Electrical	9/20/21
49822	2010	Fair Oaks	Active	Building	9/23/21
49823	2010	Fair Oaks	Active	Electrical	9/23/21
49968	901 C	Fair Oaks	Active	Building	10/4/21
49967	901 C	Fair Oaks	Active	Building	10/5/21
50405	460	Fair Oaks	Active	Building	12/13/2021
50406	460	Fair Oaks	Active	Electrical	12/13/2021
50708	1000	Fair Oaks	Active	Building	2/1/22
50709	1000	Fair Oaks	Active	Electrical	2/1/22
50774	901	Fair Oaks	Active	Building	2/3/22
50777	901	Fair Oaks	Active	Mechanical	2/3/22
46980	625	Fair Oaks	Active	Building	5/27/20
46247	1326	Fair Oaks Avenue	Active	Building	1/7/2020
46248	1326	Fair Oaks Avenue	Active	Electrical	1/7/2020
46297	1023	Fair Oaks Avenue	Active	Miscellaneous	1/13/20
46344	1023	Fair Oaks Avenue	Active	Building	1/14/2020
46545	901	Fair Oaks Avenue	Active	Building	2/18/20
46401	625	Fair Oaks Avenue #231	Active	Building	1/27/20
46550	408	Fairview Avenue	Active	Plumbing	2/18/20

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47103	408	Fairview Avenue	Active	Plumbing	7/21/20
47470	414	Fairview Avenue	Active	Reroof	9/17/20
47855	533	Five Oaks	Active	Building	11/10/20
46977	2071	Fletcher	Active	Reroof	5/28/20
46978	2071	Fletcher	Active	Reroof	5/28/20
47000	2006	Fletcher	Active	Plumbing	6/3/20
49420	1700	Fletcher	Active	Building	7/22/21
49488	2029	Fletcher	Active	Reroof	8/3/21
50133	1954	Fletcher	Active	Building	10/27/21
50134	1954	Fletcher	Active	Electrical	10/27/21
45548	533	Floral Park	Cancelled	Building	Cancelled 3/10/20
45549	533	Floral Park	Cancelled	Electrical	Cancelled 3/10/20
47857	515	Floral Park	Active	Reroof	11/9/20
49664	504	Floral Park	Active	Reroof	8/25/21
49205	418	Floral Park	Active	Building	6/17/21
49206	418	Floral Park	Active	Electrical	6/17/21
49207	418	Floral Park	Active	Mechanical	6/17/21
49208	418	Floral Park	Active	plumbing	6/17/21
49781	504	Floral Park	Active	Building	9/13/21
49782	504	Floral Park	Active	Electrical	9/13/21
49832	515	Floral Park	Active	Electrical	9/21/21
50152	418	Floral Park	Active	Mechanical	10/28/21
50439	532	Floral Park	Active	Building	12/14/2021
50700	418	Floral Park	Active	Building	2/3/22
50758	515	Floral Park	Active	Mechanical	2/2/22
46983	822	Flores De Oro	Active	Building	6/17/20
48141	863	Flores De Oro	Active	Building	12/21/20
49580	845	Flores De Oro	Active	Electrical	8/16/21

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49579	845	Flores De Oro	Active	Mechanical	8/16/21
49665	878	Flores De Oro	Active	Building	8/25/21
49684	822	Flores De Oro	Active	Building	8/30/21
49686	878	Flores De Oro	Active	Plumbing	8/31/21
49687	878	Flores De Oro	Active	Mechanical	8/31/21
49688	878	Flores De Oro	Active	Electrical	8/31/21
49794	849	Flores De Oro	Active	Building	9/21/21
46575	1041	Foothill Street	Active	Electrical	2/19/20
48980	1111	Foothill Street	Final	Building	6/21/21
48981	1111	Foothill Street	Final	Electrical	6/21/21
49274	1111	Foothill Street	Active	Electrical	7/8/21
50000	1111	Foothill Street	Active	Building	10/13/21
50627	1111	Foothill Street	Active	Electrical	1/19/22
50628	1111	Foothill Street	Active	Plumbing	1/19/22
50642	1102	Foothill Street	Active	Plumbing	1/20/22
48661	630	Forest	Active	Building	4/1/21
50154	657	Forest	Active	Building	10/28/21
46712	641	Forest Avenue	Active	Building	3/4/20
48408	600	Freemont	Active	Reroof	2/2/21
49605	1017	Fremont	Active	Mechanical	8/17/21
49833	612	Fremont	Active	Plumbing	9/20/21
49866	319	Fremont	Active	Electrical	9/22/21
49867	319	Fremont	Active	Mechanical	9/22/21
50039	307	Fremont	Active	Building	10/13/21
50040	307	Fremont	Active	Electrical	10/13/21
50041	307	Fremont	Active	Mechanical	10/13/21
50042	307	Fremont	Active	Plumbing	10/13/21
50098	1625	Fremont	Active	Building	10/21/21

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50104	1625	Fremont	Active	Mechanical	10/21/21
50105	1625	Fremont	Active	Plumbing	10/21/21
50204	1609	Fremont	Active	Reroof	11/8/21
50440	319	Fremont	Active	Building	12/20/21
50441	319	Fremont	Active	Electrical	12/20/21
47807	1119	Fremont Ave	Active	Building	11/30/20
47808	1119	Fremont Ave	Active	Electrical	11/30/20
48479	2015	Fremont Ave	Active	Plumbing	2/10/21
48747	2070	Fremont Ave	Active	Electrical	4/1/2021
49064	1017	Fremont Ave	Final	Mechanical	6/10/21
47249	1711	Fremont Avenue	Active	Building	8/11/20
47251	1711	Fremont Avenue	Active	Plumbing	8/11/20
49321	1629, #7	Fremont Avenue	Active	Mechanical	7/13/21
47250	1711	Fremont Avenue	Active	Electrical	8/11/20
46776	1414	Fremont Avenue #C	Active	Building	3/11/20
46777	1414	Fremont Avenue #C	Active	Electrical	3/11/20
46778	1414	Fremont Avenue #C	Active	Plumbing	3/11/20
48394	706	Garfield	Active	Building	3/1/21
48394	706	Garfield	Active	Building	3/1/21
48497	518	Garfield	Active	Building	2/16/21
48498	518	Garfield	Active	Electrical	2/16/21
48550	805	Garfield	Active	Building	3/9/21
48551	805	Garfield	Active	Electrical	3/9/21
48552	805	Garfield	Active	Mechanical	3/9/21
48553	805	Garfield	Active	Plumbing	3/9/21
48959	435	garfield	Active	Building	5/6/21
49616	1104	Garfield	Active	Electrical	8/19/21
49617	1104	Garfield	Active	Mechanical	8/19/21

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49614	1104	Garfield	Active	Plumbing	8/19/21
49619	1104	Garfield	Active	Building	8/19/21
50329	511	Garfield	Active	Electrical	12/2/2021
50330	511	Garfield	Active	Mechanical	12/2/2021
50331	511	Garfield	Active	Plumbing	12/2/2021
50314	850	Garfield	Active	Electrical	12/6/2021
50555	1040	Garfield	Active	Plumbing	1/4/22
50556	1040	Garfield	Active	Electrical	1/4/22
50596	626	Garfield	Active	Plumbing	1/12/22
47026	506	Garfield #A	Active	Building	6/30/20
47229	506	Garfield #A	Active	Mechanical	8/10/20
47877	814	Garfield Ave	Active	Electrical	11/16/20
47886	1044	Garfield Ave	Active	Building	11/24/20
47887	1044	Garfield Ave	Active	Electrical	11/24/20
48497	518	Garfield Ave	Active	Building	3/2/21
48498	518	Garfield Ave	Active	Electrical	3/2/21
46441	1040	Garfield Avenue	Active	Building	1/30/20
46521	740	Garfield Avenue	Active	Reroof	2/12/20
46591	409	Garfield Avenue	Active	Electrical	2/20/20
46592	409	Garfield Avenue	Active	Plumbing	2/20/20
46903	858	Garfield Avenue	Final	Electrical	7/12/20
49360	1044	Garfield Avenue	Active	Electrical	7/14/21
47113	506	Garfield Avenue #A	Active	Electrical	7/30/20
47114	506	Garfield Avenue #A	Active	Plumbing	7/30/20
48709	4980	Gillis	Active	Mechanical	3/18/21
48830	1116	Glendon	Final	Building	6/30/21
48830	1116	Glendon	Final	Building	6/30/21
48831	1116	Glendon	Active	Electrical	4/26/21

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48831	1116	Glendon	Final	Electrical	6/30/21
50681	1115	Glendon	Active	Reroof	1/24/22
49591	248	Grace	Active	Electrical	8/16/21
49592	248	Grace	Active	Mechanical	8/16/21
49593	248	Grace	Active	Plumbing	8/16/21
49590	250	Grace	Active	Building	8/16/21
49808	250	Grace	Active	Plumbing	9/15/21
49844	348 350	Grace	Active	Electrical	9/21/21
49945	248	Grace	Active	Plumbing	9/28/21
50276	248-250	Grace	Active	Building	11/17/2021
49632	516	Grand	Active	Electrical	8/30/21
50157	416	Grand	Active	Mechanical	10/28/21
50196	416	Grand	Active	Electrical	10/28/21
46674	339	Grand Avenue	Final	Reroof	6/21/21
46764	515	Grand Avenue	Active	Mechanical	3/10/20
47323	504	Grand Avenue	Active	Electrical	10/5/20
47941	517	Grand Avenue	Active	Building	2/24/21
48565	809	Grand Avenue	Active	Building	3/1/21
48566	809	Grand Avenue	Active	Electrical	3/1/21
48567	809	Grand Avenue	Active	Mechanical	3/1/21
48568	809	Grand Avenue	Active	Plumbing	3/1/21
48017	1035	Grevelia Street	Active	Electrical	12/3/20
48662	1742	Grevilia	Active	Reroof	3/15/21
46348	1750	Hanscom Drive	Active	Electrical	1/15/20
46349	1750	Hanscom Drive	Active	Mechanical	1/15/20
46350	1750	Hanscom Drive	Active	Plumbing	1/15/20
46351	1746	Hanscom Drive	Active	Electrical	1/15/20
46352	1746	Hanscom Drive	Active	Mechanical	1/15/20

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46353	1746	Hanscom Drive	Active	Plumbing	1/15/20
46430	1750	Hanscom Drive	Active	Building	1/29/20
46432	1750	Hanscom Drive	Active	Electrical	1/29/20
46433	1750	Hanscom Drive	Active	Mechanical	1/29/20
46434	1750	Hanscom Drive	Active	Plumbing	1/29/20
46506	1722	Hanscom Drive	Active	Building	2/10/20
46512	1750	Hanscom Drive	Active	Electrical	2/11/20
46579	2121	Hanscom Drive	Active	Building	2/19/20
46580	2121	Hanscom Drive	Active	Grading	2/19/20
46662	2121	Hanscom Drive	Active	Electrical	2/27/20
47150	1930	Hanscom Drive	Active	Electrical	7/30/20
47316	2077	Hanscom Drive	Active	Building	12/22/20
47317	2077	Hanscom Drive	Active	Electrical	12/22/20
47351	1719	Hanscom Drive	Active	Mechanical	8/27/20
47369	1815	Hanscom Drive	Active	Reroof	8/26/20
48274	1812	Hanscom Drive	Active	Building	3/23/21
48274	1812	Hanscom Drive	Active	Building	3/23/21
48275	1812	Hanscom Drive	Active	Electrical	3/23/21
48275	1812	Hanscom Drive	Active	Electrical	3/23/21
48469	2121	Hanscom Drive	Active	Building	3/1/21
48516	2072	Hanscom Drive	Active	Building	2/23/21
48915	1935	Hanscom Drive	Active	Building	5/3/21
48916	1935	Hanscom Drive	Active	Electrical	5/3/21
48915	1935	Hanscom Drive	Active	Solar	8/19/21
48916	1935	Hanscom Drive	Active	Solar	8/19/21
49782	1812	Hanscom Drive	Active	Electrical	9/14/21
49768	1951	Hanscom Drive	Active	Building	9/14/21
49769	1951	Hanscom Drive	Active	Electrical	9/14/21

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49770	1951	Hanscom Drive	Active	Plumbing	9/14/21
49780	2121	Hanscom Drive	Active	Electrical	9/20/21
49798	2121	Hanscom Drive	Active	Mechanical	9/20/21
49781	2121	Hanscom Drive	Active	Plumbing	9/20/21
50258	1925	Hanscom Drive	Active	Building	11/15/21
50259	1925	Hanscom Drive	Active	Electrical	11/15/21
50260	1925	Hanscom Drive	Active	Plumbing	11/15/21
50256	2121	Hanscom Drive	Active	Mechanical	11/16/2021
50349	1735	Hanscom Drive	Active	Demo	12/2/2021
50366	1735	Hanscom Drive	Active	demo	12/7/2021
50404	1815	Hanscom Drive	Active	Building	12/13/2021
50497	1733	Hanscom Drive	Active	Building	12/27/21
50498	1735	Hanscom Drive	Active	Building	12/27/21
50496	1733	Hanscom Drive	Active	Gtrading	12/27/21
50707	1853	Hanscom Drive	Active	Electrical	1/31/22
46275	4949	Harriman	Active	Electrical	1/6/20
47781	4935	Harriman	Active	Building	11/30/20
47782	4935	Harriman	Active	Electrical	11/30/20
48427	4949	Harriman	Active	Building	2/17/21
48428	4949	Harriman	Active	Electrical	2/17/21
48429	4949	Harriman	Active	Mechanical	2/17/21
48430	4949	Harriman	Active	Plumbing	2/17/21
48442	408	Hawthorne	Active	Reroof	2/8/21
48443	408	Hawthorne	Active	Reroof	2/8/21
49021	408	Hawthorne	Active	Plumbing	5/17/21
50001	514	Hawthorne	Active	Reroof	10/12/21
50434	319	Hawthorne	Active	Plumbing	12/14/2021
47240	523	Hermosa	Active	Reroof	8/10/20

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49790	301	Hermosa	Active	Building	9/15/21
49791	301	Hermosa	Active	Electrical	9/15/21
50155	412	Hermosa	Active	Building	10/28/21
50574	301	Hermosa	Active	Plumbing	1/5/22
46733	1836	Hill Drive	Expired	Electrical	3/5/20
47461	1605	Hill Drive	Active	Building	9/14/20
47462	1605	Hill Drive	Active	Electrical	9/14/20
47466	1605	Hill Drive	Active	Electrical	9/14/20
47467	1605	Hill Drive	Active	Reroof	9/14/20
49277	1737	Hill Drive	Active	Reroof	7/8/21
47748	255	Hillside Road	Final	Mechanical	6/15/21
48585	1715	Hope	Active	Mechanical	3/3/21
48655	1727	Hope	Active	Electrical	3/11/21
49962	715	Hope	Active	Building	10/4/21
49963	715	Hope	Active	Electrical	10/4/21
50342	1111	Hope	Active	Electrical	12/2/2021
46725	1036	Hope Street	Active	Electrical	3/5/20
46726	1036	Hope Street	Active	Mechanical	3/5/20
49364	1727	Hope Street	Active	Building	7/14/21
47957	2050	Huntington	Active	Building	2/1/21
46397	1611	Huntington Drive	Active	Building	1/27/20
46398	1611	Huntington Drive	Active	Building	1/27/20
46399	1611	Huntington Drive	Active	Electrical	1/27/20
46897	1156	Huntington Drive	Active	Reroof	4/29/20
46898	1156	Huntington Drive	Active	Reroof	4/29/20
47279	1401	Huntington Drive	Active	Building	9/1/20
47280	1401	Huntington Drive	Active	Mechanical	9/1/20
47335	1275	Huntington Drive	Active	Mechanical	9/21/20

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47364	1916	Huntington Drive	Active	Building	9/10/20
47366	1916	Huntington Drive	Active	Mechanical	9/10/20
47367	1916	Huntington Drive	Active	Plumbing	9/10/20
49315	1730	Huntington Drive	Active	Building	7/12/21
49315	1730	Huntington Drive	Active	Building	7/12/21
49514	1234	Huntington Drive	Active	Plumbing	8/5/21
49627	1916	Huntington Drive	Active	Electrical	8/19/21
49771	1234	Huntington Drive	Active	Electrical	9/9/21
49816	1730	Huntington Drive	Active	Building	9/16/21
49897	1318	Huntington Drive	Active	Building	9/27/21
49897	1318	Huntington Drive	Active	Building	10/4/21
50203	1159	Huntington Drive	Active	Plumbing	11/8/21
50250	1910	Huntington Drive	Active	Reroof	11/15/21
50407	1499	Huntington Drive	Active	Building	2/3/22
48598	1936	Illinois	Active	Reroof	3/4/2021
49368	1934	Illinois	Active	Building	7/14/21
48572	1519	Indiana	Active	Plumbing	3/29/21
49045	1300	Indiana	Active	Building	5/26/21
49046	1300	Indiana	Active	Electrical	5/26/21
49441	1327	Indiana	Active	Building	7/13/21
49442	1327	Indiana	Active	Building	7/13/21
49443	1327	Indiana	Active	Electrical	7/13/21
49444	1327	Indiana	Active	Mechanical	7/13/21
49445	1327	Indiana	Active	Plumbing	7/13/21
49446	1327	Indiana	Active	Grading	7/13/21
49562	1200	Indiana	Active	Electrical	8/12/21
49629	1300	Indiana	Active	Reroof	8/24/21
49823	1660	Indiana	Active	Building	9/21/21

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49824	1660	Indiana	Active	Electrical	9/21/21
49933	1660	Indiana	Active	Reroof	9/28/21
50020	1571	Indiana	Active	Reroof	10/13/21
50102	616	Indiana	Active	Reroof	10/26/21
50170	1557	Indiana	Active	Building	11/8/21
50267	1400	Indiana	Active	Plumbing	11/18/2021
50374	1734	Indiana	Active	Plumbing	12/7/2021
50377	1450	Indiana	Active	Building	12/7/2021
50378	1450	Indiana	Active	Electrical	12/7/2021
50379	1450	Indiana	Active	Mechanical	12/7/2021
50380	1450	Indiana	Active	Plumbing	12/7/2021
50598	1025	Indiana	Active	Building	1/13/22
50643	1551	Indiana	Active	Reroof	1/20/22
50702	1241	Indiana	Active	Building	1/31/22
50703	1241	Indiana	Active	Electrical	1/31/22
50704	1241	Indiana	Active	Mechanical	1/31/22
50705	1241	Indiana	Active	Plumbing	1/31/22
50773	1541	Indiana	Active	Electrical	2/3/22
46444	1571	Indiana Ave	Active	Building	2/3/20
46445	1571	Indiana Ave	Active	Mechanical	2/3/20
46727	1631	Indiana Ave	Active	Building	3/5/20
46728	1631	Indiana Ave	Active	Electrical	3/5/20
46729	1631	Indiana Ave	Active	Mechanical	3/5/20
46730	1631	Indiana Ave	Active	Plumbing	3/5/20
46731	1631	Indiana Ave	Active	Reroof	3/5/20
46739	1037	Indiana Ave	Active	Building	3/5/20
46780	1037	Indiana Ave	Active	Building	3/11/20
46809	1533	Indiana Ave	Active	Reroof	4/1/20

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46825	1425	Indiana Ave	Active	Building	4/15/30
46870	1026	Indiana Ave	Active	Building	4/25/20
46871	1026	Indiana Ave	Active	Electrical	4/25/20
47961	1200 #14	INDiana Ave	Final	Building	6/24/21
48003	1501	INDiana Ave	Final	Building	7/6/21
47007	1200	Indiana Ave #14	Active	Mechanical	6/25/20
47274	1660	Indiana Avenue	Active	Electrical	9/3/20
47770	1240	Indiana Avenue	Active	Plumbing	11/4/20
49287	1649	Indiana Avenue	Active	Electrical	7/12/21
49288	1649	Indiana Avenue	Active	Plumbing	7/12/21
49445	1327	Indiana Avenue	Active	Plumbing	7/13/21
49444	1327	Indiana Avenue	Active	Mechanical	7/13/21
49441	1327	Indiana Avenue	Active	Building	7/13/21
49287	1649	Indiana Avenue	Active	Electrical	7/12/21
49288	1649	Indiana Avenue	Active	Plumbing	7/12/21
47696	600	Indiana Terrace	Active	Reroof	10/22/20
48701	1253	Kolle	Active	Electrical	3/25/21
50747	1234	Kolle	Active	Building	2/2/22
50748	1234	Kolle	Active	Electrical	2/2/22
50749	1234	Kolle	Active	Mechanical	2/2/22
50750	1234	Kolle	Active	Plumbing	2/2/22
48559	2013	La Droit	Active	Reroof	2/25/21
48560	2013	La Droit	Active	Reroof	2/25/21
4823	1913	La France	Active	Mechanical	2/22/21
46511	2065	La France	Active	Electrical	2/11/20
46791	2063	LA FRANCE	Active	Electrical	3/12/20
46840	2063	La France	Active	Mechanical	4/20/20
46948	2063	La France	Active	Reroof	5/26/20

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46948	2063	La France	Active	Reroof	5/26/20
46949	2063	La France	Active	Reroof	5/26/20
46949	2063	La France	Active	Reroof	5/26/20
47635	2015	La France	Active	Plumbing	10/21/20
49042	1960	La France	Final	Electrical	6/14/21
49683	1922	La France	Active	Reroof	8/30/21
49714	2028	La France	Active	Mechanical	9/7/21
49924	2011	La France	Active	Building	9/28/21
49925	2011	La France	Active	Electrical	9/28/21
50213	1938	La France	Active	Building	11/10/21
50214	1938	La France	Active	Electrical	11/10/21
46734	1919	La Fremontia	Active	Plumbing	3/5/20
48191	2040	La Fremontia	Active	Plumbing	12/17/20
49463	2050	La Fremontia	Active	Mechanical	8/2/21
49464	2050	La Fremontia	Active	Plumbing	8/2/21
49465	2050	La Fremontia	Active	Electrical	8/2/21
49543	2050	La Fremontia	Active	Building	8/5/20
49454	2050	La Fremontia	Active	Grading	8/5/21
50128	2040	La Fremontia	Active	Building	10/27/21
50129	2040	La Fremontia	Active	Electrical	10/27/21
50121	2033	La Fremontia	Active	Building	11/8/21
50122	2033	La Fremontia	Active	Electrical	11/8/21
48277	700	La Portada	Final	Building	6/29/21
48277	700	La Portada	Active	Building	3/1/21
49354	700	La Portada	Active	Building	7/14/21
49354	700	La Portada	Active	Building	7/14/21
49766	733	La Portada	Active	Reroof	9/9/21
50549	712	La Portada	Active	Mechanical	1/4/22

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50179	50179	La Terraza	Active	Electrical	11/8/21
48028	1408	Laurel Street	Final	Building	6/10/21
48029	1408	Laurel Street	Final	Electrical	6/10/21
48030	1408	Laurel Street	Final	Mechanical	6/10/21
48030	1408	Laurel Street	Final	Mechanical	6/10/21
48078	1404	Laurel Street	Active	Electrical	12/21/20
48415	1711	Laurel Street	Active	Electrical	2/17/21
48415	1711	Laurel Street	Active	Electrical	2/2/21
48417	1414	Laurel Street	Active	Building	2/11/21
48545	1720	Laurel Street	Active	Building	7/1/21
48545	1720	Laurel Street	Active	Building	7/1/21
49779	1628	Laurel Street	Active	Building	9/13/21
49780	1628	Laurel Street	Active	Electrical	9/13/21
49812	1703	Laurel Street	Active	Building	9/20/21
49813	1703	Laurel Street	Active	Electrical	9/20/21
49814	1703	Laurel Street	Active	Mechanical	9/20/21
49815	1703	Laurel Street	Active	Plumbing	9/20/21
50007	1824	Laurel Street	Active	Building	10/12/21
50100	1703	Laurel Street	Active	Mechanical	10/25/21
50007	1824	Laurel Street	Active	Building	10/28/21
50094	1824	Laurel Street	Active	Electrical	10/28/21
50095	1824	Laurel Street	Active	Mechanical	10/28/21
50096	1824	Laurel Street	Active	Plumbing	10/28/21
50222	1627	Laurel Street	Active	Electrical	11/9/21
50532	1414	Laurel Street	Active	Electrical	12/27/21
46639	2037	Le Droit	Active	Building	2/26/20
46794	2017	Le Droit	Active	Plumbing	3/18/20
47248	2004	Le Droit	Cancelled	Reroof	11/17/20

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47368	2004	Le Droit	Cancelled	Reroof	11/17/20
49640	2044	Le Droit	Active	Electrical	8/24/21
49795	1951	Leman	Active	Building	9/14/21
49563	1105	Loma Vista	Active	Electrical	8/12/21
49623	1105	Loma Vista	Active	Electrical	8/24/21
50062	1101	Loma Vista	Active	Reroof	10/14/21
48532	312	Los Alisos	Active	Mechanical	2/25/21
47038	1428	Lyndon	Active	Reroof	6/30/20
47253	915	Lyndon	Final	Building	6/29/21
47888	1712	Lyndon	Active	Electrical	12/9/20
47977	1216	Lyndon	Active	Building	12/7/20
47978	1216	Lyndon	Active	Electrical	12/7/20
48570	915	Lyndon	Active	Electrical	3/2/21
48571	915	Lyndon	Active	Plumbing	3/2/21
49799	1722	Lyndon	Active	Mechanical	9/15/21
50234	1716	Lyndon	Active	Building	11/18/2021
50283	1716	Lyndon	Active	Electrical	11/18/2021
50284	1716	Lyndon	Active	Mechanical	11/18/2021
50285	1716	Lyndon	Active	Plumbing	11/18/2021
50624	1735	Lyndon	Active	Electrical	1/19/22
47268	509	Magnolia	Final	Plumbing	6/23/21
48284	920	Magnolia	Active	Building	2/10/21
48285	920	Magnolia	Active	Electrical	2/10/21
48765	1018	Magnolia	Final	Mechanical	6/30/21
48801	1018	Magnolia	Final	Mechanical	6/30/21
49056	913	Magnolia	Final	Reroof	6/28/21
49057	913	Magnolia	Final	Reroof	6/28/21
49494	414	Magnolia	Active	Reroof	8/4/21

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49810	1110	Magnolia	Active	Mechanical	9/16/21
50210	1104	Magnolia	Active	Building	11/10/21
50211	1104	Magnolia	Active	Electrical	11/10/21
50114	1104	Magnolia	Active	Reroof	11/15/2021
50114	1104	Magnolia	Active	Reroof	12/14/2021
46814	1430	Maple	Active	Plumbing	3/31/20
46915	1430	Maple	Active	Electrical	5/14/20
49669	1430	Maple	Active	Electrical	8/25/21
49670	1430	Maple	Active	Mechanical	8/25/21
49668	1430	Maple	Active	Building	8/31/21
49669	1430	Maple	Active	Electrical	8/31/21
49670	1430	Maple	Active	Mechanical	8/31/21
49671	1430	Maple	Active	Plumbing	8/31/21
49670	1430	Maple	Active	Mechanical	11/2/21
46376	1614	Marengo Avenue	Active	Electrical	1/21/20
46446	1330	Marengo Avenue	Active	Electrical	2/3/20
46451	1330	Marengo Avenue	Active	Building	2/3/20
46594	1614	Marengo Avenue	Active	Building	2/20/20
46598	1719	Marengo Avenue	Active	Plumbing	2/24/20
47075	1525	Marengo Avenue	Active	Building	7/8/20
47076	1525	Marengo Avenue	Active	Electrical	7/8/20
47077	1525	Marengo Avenue	Active	Mechanical	7/8/20
47078	1525	Marengo Avenue	Active	Plumbing	7/8/20
47140	1525	Marengo Avenue	Active	Building	7/27/20
47141	1525	Marengo Avenue	Active	Electrical	7/27/20
47190	2045	Marengo Avenue	Active	Electrical	8/4/20
47191	2045	Marengo Avenue	Active	Mechanical	8/4/20
47192	2045	Marengo Avenue	Active	Plumbing	8/4/20

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47276	1014	Marengo Avenue	Active	Reroof	8/25/20
47524	1601	Marengo Avenue	Active	Mechanical	10/9/20
47535	1959	Marengo Avenue	Active	Building	10/7/20
47536	1959	Marengo Avenue	Active	Mechanical	10/7/20
47557	1601	Marengo Avenue	Active	Electrical	10/9/20
47609	1959	Marengo Avenue	Active	Miscellaneous	10/13/20
47646	1967	Marengo Avenue	Active	Building	10/21/20
47709	1959	Marengo Avenue	Active	Electrical	10/22/20
47710	1959	Marengo Avenue	Active	Plumbing	10/22/20
48033	1967	Marengo Avenue	Active	Electrical	12/9/20
48038	1967	Marengo Avenue	Active	Mechanical	12/9/20
48089	1967	Marengo Avenue	Active	Plumbing	12/9/20
48206	1525	Marengo Avenue	Active	Mechanical	12/23/20
48732	1601	Marengo Avenue	Active	Mechanical	3/25/21
48902	2046	Marengo Avenue	Active	Building	4/26/21
48907	2046	Marengo Avenue	Active	Electrical	4/26/21
48908	2046	Marengo Avenue	Active	Plumbing	4/26/21
48958	1121	Marengo Avenue	Active	Plumbing	5/5/21
49167	1959	Marengo Avenue	Active	Building	7/7/21
49168	1959	Marengo Avenue	Active	Electrical	7/7/21
49167	1959	Marengo Avenue	Active	Building	7/7/21
49168	1659	Marengo Avenue	Active	Electrical	7/7/21
49624	2065	Marengo Avenue	Active	Building	8/24/21
49667	1610	Marengo Avenue	Active	Building	8/25/21
49681	1204	Marengo Avenue	Active	Reroof	8/26/21
49857	1807	Marengo Avenue	Active	Building	9/21/21
49893	1964	Marengo Avenue	Active	Building	9/28/21
49894	1964	Marengo Avenue	Active	Electrical	9/28/21

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50012	1807	Marengo Avenue	Active	Building	10/13/21
49989	2025	Marengo Avenue	Active	Electrical	10/13/21
49990	2025	Marengo Avenue	Active	Mechanical	10/13/21
49991	2025	Marengo Avenue	Active	Plumbing	10/13/21
50107	1409	Marengo Avenue	Active	Building	10/25/21
50108	1409	Marengo Avenue	Active	Electrical	10/25/21
50172	1204	Marengo Avenue	Active	Building	11/2/21
50173	1204	Marengo Avenue	Active	Electrical	11/2/21
50123	1409	Marengo Avenue	Active	Building	11/8/21
50124	1409	Marengo Avenue	Active	Electrical	11/8/21
50239	1308	Marengo Avenue	Active	Mechanical	11/10/21
50248	1308	Marengo Avenue	Active	Plumbing	11/15/2021
50265	2045	Marengo Avenue	Active	Building	11/16/2021
50266	2045	Marengo Avenue	Active	Electrical	11/16/2021
50242	1308	Marengo Avenue	Active	Electrical	11/16/2021
50292	2045	Marengo Avenue	Active	Reroof	11/18/2021
50322	1935	Marengo Avenue	Active	Building	12/2/2021
50323	1935	Marengo Avenue	Active	Electrical	12/2/2021
50324	1935	Marengo Avenue	Active	Mechanical	12/2/2021
50325	1935	Marengo Avenue	Active	Plumbing	12/2/2021
50382	1807	Marengo Avenue	Active	Electrical	12/7/2021
50383	1807	Marengo Avenue	Active	Mechanical	12/7/2021
50384	1807	Marengo Avenue	Active	Plumbing	12/7/2021
50611	2061	Marengo Avenue	Active	Electrical	1/13/22
50772	1801	Marengo Avenue	Active	Building	2/3/22
49584	116	Marmion	Active	Mechanical	8/16/21
50356	2010	Maycrest	Active	Building	12/6/2021
50357	2010	Maycrest	Active	Electrical	12/6/2021

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50373	2024	Maycrest	Active	Building	12/7/2021
47702	2020	Maycrest Ave	Active	Building	11/10/20
47703	2020	Maycrest Ave	Active	Electrical	11/10/20
47704	2020	Maycrest Ave	Active	Mechanical	11/10/20
47705	2020	Maycrest Ave	Active	Plumbing	11/10/20
48106	2045	Maycrest Ave	Active	Building	12/17/20
48107	2045	Maycrest Ave	Active	Electrical	12/17/20
48108	2045	Maycrest Ave	Active	Mechanical	12/17/20
48109	2045	Maycrest Ave	Active	Plumbing	12/17/20
48615	2020	Maycrest Ave	Active	Electrical	3/9/21
48770	2021	Maycrest Ave	Active	Electrical	4/6/21
48771	2021	Maycrest Ave	Active	Mechanical	4/6/2021
48832	2021	Maycrest Ave	Active	Reroof	4/19/21
48857	2021	Maycrest Ave	Active	Reroof	4/19/21
48962	2024	Maycrest Ave	Active	Building	5/6/21
48736	2060	Meridian	Active	Building	4/5/21
46263	620	Meridian	Active	Building	1/2/20
46264	620	Meridian	Active	Building	1/2/20
46474	1103	Meridian	Active	Building	2/5/20
46684	1700	Meridian	Active	Building	3/2/20
46800	620	Meridian	Final	Reroof	6/10/21
46835	1130	Meridian	Final	Plumbing	6/10/21
46842	620	Meridian	Active	Electrical	4/15/20
46843	620	Meridian	Active	Mechanical	4/15/20
46844	620	Meridian	Active	Plumbing	4/15/20
47502	1122	Meridian	Active	Building	10/1/20
47844	1912	Meridian	Active	Mechanical	11/9/20
48008	529	Meridian	Active	Building	12/21/20

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48546	1122	Meridian	Active	Electrical	2/24/21
48547	1122	Meridian	Active	Mechanical	2/24/21
48548	1122	Meridian	Active	Plumbing	2/24/21
48549	1122	Meridian	Active	Reroof	2/24/21
48643	2067	Meridian	Active	Reroof	3/9/21
48737	2060	Meridian	Active	Electrical	4/5/21
48738	2060	Meridian	Active	Mechanical	4/5/21
48739	2060	Meridian	Active	Plumbing	4/5/21
48906	1949	Meridian	Active	Plumbing	4/26/21
48949	310	Meridian	Active	Electrical	5/4/21
48950	310	Meridian	Active	Plumbing	5/4/21
49609	801	Meridian	Active	Plumbing	8/17/21
49599	1106	Meridian	Active	Electrical	8/17/21
49598	1106	Meridian	Active	Mechanical	8/17/21
49601	1108	Meridian	Active	Electrical	8/17/21
49601	1108	Meridian	Active	Mechanical	8/17/21
49739	1801	Meridian	Active	Electrical	9/7/21
49792	704	Meridian	Active	Building	9/15/21
49789	704	Meridian	Active	Mechanical	9/15/21
49790	704	Meridian	Active	Plumbing	9/15/21
49791	704	Meridian	Active	Electrical	9/15/21
49739	1801	Meridian	Active	Electrical	9/15/21
50039	1801	Meridian	Active	Electrical	10/13/21
50358	806	Meridian	Active	Building	12/8/2021
50359	806	Meridian	Active	Building	12/8/2021
50631	809 Z	Meridian	Active	Building	1/20/22
50632	809 Z	Meridian	Active	Electrical	1/20/22
50633	809 Z	Meridian	Active	Plumbing	1/20/22

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50728	2021	Meridian	Active	Building	2/1/22
50729	2021	Meridian	Active	Electrical	2/1/22
50730	2021	Meridian	Active	Mechanical	2/1/22
50718	1312	Meridian	Active	Building	2/2/22
50719	1312	Meridian	Active	Grading	2/2/22
46316	1010	Milan Avenue	Active	Building	1/13/20
46317	1010	Milan Avenue	Active	Electrical	1/13/20
46495	1014	Milan Avenue	Active	Building	2/6/20
46694	1217	Milan Avenue	Active	Building	3/3/20
46695	1217	Milan Avenue	Active	Electrical	3/3/20
46696	1217	Milan Avenue	Active	Mechanical	3/3/20
46697	1217	Milan Avenue	Active	Plumbing	3/3/20
46706	1954	Milan Avenue	Active	Electrical	6/3/20
46924	1014	Milan Avenue	Active	Reroof	5/12/20
46938	1318	Milan Avenue	Active	Reroof	5/19/20
46939	1318	Milan Avenue	Active	Reroof	5/19/20
47241	1954	Milan Avenue	Active	Building	8/10/20
47279	1010	Milan Avenue	Active	Building	9/2/20
47280	1957	Milan Avenue	Active	Reroof	8/18/20
47883	1122	Milan Avenue	Active	Building	11/16/20
48049	2055	Milan Avenue	Active	Building	12/4/20
48480	2055	Milan Avenue	Active	Electrical	2/11/21
48481	2055	Milan Avenue	Active	Mechanical	2/11/21
48482	2055	Milan Avenue	Active	Plumbing	2/11/21
48483	1014	Milan Avenue	Active	Electrical	2/17/21
48484	1014	Milan Avenue	Active	Mechanical	2/17/21
48485	1014	Milan Avenue	Active	Plumbing	2/17/21
48499	1122	Milan Avenue	Active	Plumbing	3/2/21

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48521	1122	Milan Avenue	Active	Electrical	2/22/21
48527	1122	Milan Avenue	Active	Mechanical	2/25/21
48603	1954	Milan Avenue	Active	Electrical	3/4/21
48604	1954	Milan Avenue	Active	Plumbing	3/4/21
48730	1934	Milan Avenue	Active	Reroof	3/24/21
48731	1934	Milan Avenue	Active	Reroof	3/24/21
48921	1971	Milan Avenue	Active	Reroof	4/27/21
48961	1122	Milan Avenue	Active	Building	5/6/21
49009	1230	Milan Avenue	Final	Reroof	7/6/21
49010	1230	Milan Avenue	Final	Reroof	7/6/21
49063	1030	Milan Avenue	Final	Reroof	6/15/21
49077	1125	Milan Avenue	Active	Building	5/25/21
49458	1820 B	Milan Avenue	Active	Electrical	7/29/21
49457	1820 B	Milan Avenue	Active	Mechanical	7/29/21
49660	804	Milan Avenue	Active	Plumbing	8/24/21
49655	1915-1917	Milan Avenue	Active	Building	8/24/21
49682	1125	Milan Avenue	Active	Plumbing	8/30/21
49688	1517	Milan Avenue	Active	Mechanical	8/30/21
49764	816	Milan Avenue	Active	Building	9/8/21
49765	816	Milan Avenue	Active	Electrical	9/8/21
49764	816	Milan Avenue	Active	Building	9/9/21
49765	816	Milan Avenue	Active	Electrical	9/9/21
49772	1310	Milan Avenue	Active	Mechanical	9/9/21
49796	1030	Milan Avenue	Active	Building	9/20/21
49774	1030	Milan Avenue	Active	Plumbing	9/20/21
49848	1125	Milan Avenue	Active	Electrical	9/20/21
50024	835	Milan Avenue	Active	Building	10/14/21
50025	835	Milan Avenue	Active	Mechanical	10/14/21

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50026	835	Milan Avenue	Active	Plumbing	10/14/21
50027	835	Milan Avenue	Active	Electrical	10/14/21
50028	835	Milan Avenue	Active	Reroof	10/14/21
50036	1915	Milan Avenue	Active	Reroof	10/14/21
50037	1915	Milan Avenue	Active	Reroof	10/14/21
50158	2063	Milan Avenue	Active	Building	11/9/21
50159	2063	Milan Avenue	Active	Electrical	11/9/21
50160	2063	Milan Avenue	Active	Mechanical	11/9/21
50161	2063	Milan Avenue	Active	Plumbing	11/9/21
50255	2025	Milan Avenue	Active	Building	11/15/21
50249	1617	Milan Avenue	Active	Plumbing	11/15/2021
50309	804	Milan Avenue	Active	Plumbing	11/30/2021
50319	2025	Milan Avenue	Active	Reroof	12/2/2021
50318	2025	Milan Avenue	Active	Reroof	12/2/2021
50381	1617	Milan Avenue	Active	Building	12/7/2021
50410	2025	Milan Avenue	Active	Building	12/13/2021
50411	2025	Milan Avenue	Active	Electrical	12/13/2021
50450	2005	Milan Avenue	Active	Mechanical	12/16/2021
50451	2005	Milan Avenue	Active	Electrical	12/16/2021
50438	1116	Milan Avenue	Active	Building	12/20/21
50439	1116	Milan Avenue	Active	Electrical	12/20/21
50557	2025	Milan Avenue	Active	Building	1/4/22
50558	2025	Milan Avenue	Active	Electrical	1/4/22
50569	804	Milan Avenue	Active	Mechanical	1/12/22
50586	1116	Milan Avenue	Active	Reroof	1/12/22
50745	1943	Milan Avenue	Active	Reroof	2/1/22
50746	1943	Milan Avenue	Active	Reroof	2/1/22
49475	1912	Mill	Active	Reroof	8/2/21

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50111	1900	Mill	Active	Mechanical	10/25/21
46670	1932	Mill Road	Active	Plumbing	3/2/20
50761	1814	Mission	Active	Building	2/3/22
50762	1814	Mission	Active	Electrical	2/3/22
50763	1814	Mission	Active	Mechanical	2/3/22
50764	1814	Mission	Active	plumbing	2/3/22
46277	2011	Mission Street	Final	Reroof	6/16/21
46552	2011	Mission Street	Final	Building	6/16/21
46559	1127	Mission Street	Active	Electrical	2/18/20
46562	2011	Mission Street	Final	Electrical	6/16/21
47008	2001	Mission Street	Active	Reroof	6/18/20
47009	2001	Mission Street	Active	Reroof	6/18/20
47215	838	Mission Street	Active	Mechanical	2/4/21
47239	1326	Mission Street	Active	Electrical	8/13/20
47456	1861	Mission Street	Active	Reroof	9/15/20
47457	1861	Mission Street	Active	Reroof	9/15/20
48356	401	Mission Street	Active	Electrical	3/31/21
48357	401	Mission Street	Active	Mechanical	3/31/21
48358	401	Mission Street	Active	Plumbing	3/31/21
48676	1901	Mission Street	Active	Building	3/25/21
48727	1700	Mission Street	Active	Electrical	3/25/21
48775	1861	Mission Street	Active	Building	4/1/21
48776	1861	Mission Street	Active	Electrical	4/1/2021
48777	1861	Mission Street	Active	Mechanical	4/1/2021
48778	1861	Mission Street	Active	Plumbing	4/1/2021
48919	815	Mission Street	Active	Building	4/27/21
48920	815	Mission Street	Active	Electrical	4/27/21
480770	1502	Mission Street	Active	Plumbing	12/8/20

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49901	736	Mission Street	Active	Building	9/27/21
47727	1409 1/2	Monterey	Active	Building	10/27/20
47728	1409 1/2	Monterey	Active	Electrical	10/27/20
48138	2044	Monterey	Active	Building	3/3/2021
48139	2044	Monterey	Active	Electrical	3/3/21
48599	2034	Monterey	Active	Electrical	3/4/21
48905	900	Monterey	Active	Plumbing	4/27/21
48938	2034	Monterey	Active	Plumbing	5/3/21
48963	915	Monterey	Active	Reroof	5/6/21
49030	822	Monterey	Final	Reroof	6/23/21
49041	2045	Monterey	Active	Reroof	5/20/21
49075	2045	Monterey	Active	Electrical	5/25/21
49200	822	Monterey	Active	Building	7/14/21
49201	822	Monterey	Active	Electrical	7/14/21
49489	123	Monterey	Active	Electrical	8/3/21
49704	844	Monterey	Active	Building	8/31/21
49777	818	Monterey	Active	Building	9/13/21
49778	818	Monterey	Active	Electrical	9/13/21
49777	818	Monterey	Active	Building	9/20/21
49778	818	Monterey	Active	Electrical	9/20/21
49779	818	Monterey	Active	Plumbing	9/20/21
50071	1730	Monterey	Active	Building	10/20/21
50412	317	Monterey	Active	Reroof	12/13/2021
50432	844	Monterey	Active	Reroof	12/14/2021
50447	314	Monterey	Active	Building	12/20/21
50448	314	Monterey	Active	Electrical	12/20/21
50449	314	Monterey	Active	Plumbing	12/20/21
47725	1411	Monterey Road	Active	Building	10/22/20

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46531	266	Monterey #B	Active	Building	2/12/20
46532	266	Monterey #B	Active	Electrical	2/12/20
46340	766	Monterey Road	Active	Building	1/13/2020
46354	804	Monterey Road	Active	Electrical	1/15/20
46355	804	Monterey Road	Active	Mechanical	1/15/20
46356	804	Monterey Road	Active	Plumbing	1/15/20
46496	1845	Monterey Road	Active	Electrical	2/6/20
46497	1845	Monterey Road	Active	Mechanical	2/6/20
46498	1845	Monterey Road	Active	Plumbing	2/6/20
47358	2045	Monterey Road	Active	Building	8/31/20
47458	1840	Monterey Road	Active	Reroof	10/22/20
47489	1840	Monterey Road	Active	Reroof	10/22/20
47563	1617	Monterey Road	Active	Reroof	10/14/20
47726	1411	Monterey Road	Active	Electrical	10/22/20
47905	266 #B	Monterey Road	Active	Building	11/17/20
49200	822	Monterey Road	Active	Building	7/12/21
49201	822	Monterey Road	Active	Electrical	7/12/21
46367	1714	Monterey Road #B	Active	Plumbing	1/21/20
49637	1025	Montrose	Active	Reroof	8/24/21
49637	1025	Montrose	Active	Reroof	8/30/21
49767	1104	Montrose	Active	Building	9/13/21
49798	1104	Montrose	Active	Electrical	9/15/21
49799	1104	Montrose	Active	Mechanical	9/15/21
50305	1017	Montrose	Active	Plumbing	11/30/2021
46744	831	Montrose St	Active	Building	6/30/20
46745	831	Montrose St	Active	Electrical	6/30/20
46746	831	Montrose St	Active	Mechanical	6/30/20
46747	831	Montrose St	Active	Plumbing	6/30/20

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47931	1014	Montrose St	Active	Mechanical	11/24/20
50389	625	Mound	Active	Plumbing	12/8/2021
49312	1308	Mountain View	Active	Building	8/26/21
49313	1308	Mountain View	Active	Electrical	8/26/21
49871	1306	Mountain View	Active	Building	9/22/21
49872	1306	Mountain View	Active	Electrical	9/22/21
49871	49871	Mountain View	Active	Building	10/27/21
49872	49872	Mountain View	Active	Electrical	10/27/21
50118	1340	Mountain View	Active	Reroof	10/28/21
50351	1340	Mountain View	Active	Building	12/6/2021
50352	1340	Mountain View	Active	Electrical	12/6/2021
50351	1340	Mountain View	Active	Building	12/16/2021
50352	1340	Mountain View	Active	Electrical	12/16/2021
48751	1134	Oak	Active	Plumbing	3/29/21
50081	1107	Oak	Active	Plumbing	10/20/21
50189	1960	Oak	Active	Plumbing	11/2/21
50304	1621	Oak	Active	Reroof	11/29/2021
50365	1621	Oak	Active	Mechanical	12/6/2021
50010	1440	Oak Crest	Active	Building	10/12/21
50011	1440	Oak Crest	Active	Electrical	10/12/21
50027	1446	Oak Crest	Active	Building	10/13/21
50296	1450	Oak Crest	Active	Building	11/18/2021
50548	1441	Oak Crest	Active	Electrical	1/3/22
47022	1415	Oak Crest Avenue	Active	Building	6/22/20
47023	1415	Oak Crest Avenue	Active	Electrical	6/22/20
47223	1450	Oak Crest Avenue	Active	Building	8/10/20
47223	1450	Oak Crest Avenue	Active	Building	9/10/20
47224	1450	Oak Crest Avenue	Active	Electrical	9/10/20

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47225	1450	Oak Crest Avenue	Active	Mechanical	9/10/20
47226	1450	Oak Crest Avenue	Active	Plumbing	9/10/20
47227	1450	Oak Crest Avenue	Active	Building	9/10/20
47228	1450	Oak Crest Avenue	Active	Grading	9/10/20
46707	1275	Oak Hill	Active	Building	6/8/20
47067	1265	Oak Hill	Active	Reroof	7/8/20
47094	1275	Oak Hill	Active	Electrical	7/15/20
46754	58	Oak Hill Lane	Active	Building	3/9/20
46755	58	Oak Hill Lane	Active	Electrical	3/9/20
46756	58	Oak Hill Lane	Active	Plumbing	3/9/20
46364	1324	Oak Hill Place	Expired	Building	1/16/20
46365	1324	Oak Hill Place	Expired	Electrical	1/16/20
46520	1332	Oak Hill Place	Active	Reroof	2/12/20
50065	426	Oak Lawn	Active	Building	10/19/21
50066	426	Oak Lawn	Active	Electrical	10/19/21
50067	426	Oak Lawn	Active	Plumbing	10/19/21
50301	1519	Oak Meadow	Active	Building	11/29/2021
50302	1519	Oak Meadow	Active	Electrical	11/29/2021
50301	1519	Oak Meadow	Active	Building	12/16/21
50302	1519	Oak Meadow	Active	Electrical	12/16/21
50442	1515	Oak Meadow	Active	Building	12/21/21
50443	1515	Oak Meadow	Active	Electrical	12/21/21
47207	1991	Oak Street	Final	Building	6/16/21
47209	1991	Oak Street	Final	Plumbing	5/11/21
47350	1205	Oak Street	Active	Building	8/26/20
47889	1991	Oak Street	Final	Electrical	5/11/21
47915	1625	Oak Street	Active	Building	11/24/20
47916	1625	Oak Street	Active	Building	11/24/20

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47917	1625	Oak Street	Active	Grading	11/24/20
47994	1621	Oak Street	Active	Building	12/2/20
47994	1621	Oak Street	Active	Building	12/2/20
47995	1621	Oak Street	Active	Electrical	12/2/20
47996	1621	Oak Street	Active	Plumbing	12/2/20
48010	1301	Oak Street	Final	Building	6/29/21
48037	1991	Oak Street	Final	Mechanical	5/11/21
48644	1625	Oak Street	Active	Electrical	3/10/21
48645	1625	Oak Street	Active	Mechanical	3/10/21
48646	1625	Oak Street	Active	Plumbing	3/10/21
48647	1625	Oak Street	Active	Electrical	3/10/21
48648	1625	Oak Street	Active	Mechanical	3/10/21
48649	1625	Oak Street	Active	Plumbing	3/10/21
48682	1976	Oak Street	Active	Building	4/13/21
48683	1976	Oak Street	Active	Electrical	4/13/21
48684	1976	Oak Street	Active	Mechanical	4/13/21
48685	1976	Oak Street	Active	Plumbing	4/13/21
48871	1947	Oak Street	Active	miscellaneous	5/4/21
48942	1947	Oak Street	Active	Building	5/4/21
49367	1816	Oak Street	Active	Building	7/14/21
49367	1816	Oak Street	Active	Building	7/14/21
49678	1134	Oak Street	Active	Building	8/26/21
49675	529 5	Oak Street	Active	Building	8/30/21
49676	529 5	Oak Street	Active	Electrical	8/30/21
49994	1150	Oak Street	Active	Electrical	10/12/21
47918	1625	Oak Street	Active	Plumbing	11/24/20
46709	1515	Oak Street #35	Active	Building	6/8/20
47884	325	Oaklawn Ave	Active	Building	11/24/20

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47885	325	Oaklawn Ave	Active	Electrical	11/24/20
48572	318	Oaklawn Ave	Active	Building	3/3/21
48573	318	Oaklawn Ave	Active	Electrical	3/3/21
50065	423	Oaklawn Ave	Active	Building	12/27/21
50056	423	Oaklawn Ave	Active	Electrical	12/27/21
50067	423	Oaklawn Ave	Active	Plumbing	12/27/21
50572	423	Oaklawn Ave	Active	Building	1/12/22
50751	423	Oaklawn Ave	Active	Plumbing	2/2/22
50760	423	Oaklawn Ave	Active	Plumbing	2/3/22
50759	423	Oaklawn Ave	Active	Building	2/3/22
49331	930	Oliver Street	Active	Mechanical	7/13/21
49331	930	Oliver Street	Active	Mechanical	7/14/21
48493	803	Oneonta	Active	Reroof	2/16/21
49275	857	Oneonta	Active	Reroof	7/14/21
49223	1400	Oneonta	Active	Building	7/14/21
49224	1400	Oneonta	Active	Electrical	7/14/21
49920	1429	Oneonta	Active	Electrical	9/27/21
49960	1409	Oneonta	Active	Building	10/4/21
49961	1409	Oneonta	Active	Electrical	10/4/21
50072	872	Oneonta	Active	Reroof	10/19/21
48117	883	Oneonta Drive	Active	Building	12/16/20
48118	883	Oneonta Drive	Active	Electrical	12/16/20
49275	857	Oneonta Drive	Active	Reroof	7/14/21
48203	1432	Oneonta Knoll	Active	Building	12/23/20
48204	1432	Oneonta Knoll	Active	Electrical	12/23/20
48587	1432	Oneonta Knoll	Active	Electrical	3/22/21
48910	1415	Oneonta Knoll	Active	Building	5/6/21
49223	1400	Oneonta Knoll	Active	Building	7/14/21

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49224	1400	Oneonta Knoll	Active	Electrical	7/14/21
50235	1429	Oneonta Knoll	Active	Mechanical	11/10/21
50623	1409	Oneonta Knoll	Active	Electrical	1/19/22
50770	806	Oneonta Knoll	Active	Electrical	2/3/22
47233	1224	Orange Grove	Active	Mechanical	8/5/20
47307	1020	Orange Grove	Active	Reroof	9/8/20
47488	817	Orange Grove	Active	Demolition	10/13/20
47489	817	Orange Grove	Active	Building	10/13/20
47855	1224	Orange Grove	Active	Electrical	4/27/20
48104	817	Orange Grove	Active	Building	12/12/20
48105	817	Orange Grove	Active	Building	12/12/20
48505	817	Orange Grove	Active	Grading	3/4/21
48530	1224	Orange Grove	Active	Building	5/12/21
48531	1224	Orange Grove	Active	Electrical	5/12/21
48574	821 1/2	Orange Grove	Active	Plumbing	3/2/21
48744	821	Orange Grove	Active	Electrical	4/6/21
48813	817	Orange Grove	Active	Plumbing	4/12/21
48846	821	Orange Grove	Active	Mechanical	4/21/21
48878	300	Orange Grove	Final	Building	6/22/21
48879	300	Orange Grove	Final	Electrical	6/22/21
48967	300	Orange Grove	Final	Reroof	6/22/21
48968	300	Orange Grove	Final	Reroof	6/22/21
49466	647	Orange Grove	Active	Building	8/2/21
49805	628	Orange Grove	Active	Electrical	9/20/21
49987	712	Orange Grove	Active	Building	10/12/21
49988	712	Orange Grove	Active	Electrical	10/12/21
50032	1259	Orange Grove	Active	Mechanical	10/13/21
50103	817	Orange Grove	Active	Mechanical	10/28/21

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50190	820	Orange Grove	Active	Plumbing	11/2/21
50218	1233	Orange Grove	Active	Building	11/9/21
50219	1233	Orange Grove	Active	Electrical	11/9/21
50529	617	Orange Grove	Active	Building	1/3/22
48440	1917	Oxley	Active	Mechanical	2/9/21
48940	1851	Oxley	Active	Reroof	5/11/21
48941	1851	Oxley	Active	Reroof	5/11/21
50195	2006	Oxley	Active	Mechanical	11/3/21
47305	1848	Oxley Street	Active	Building	10/8/20
47306	1848	OXLEY Street	Active	Electrical	10/8/20
47307	1848	Oxley Street	Active	Plumbing	10/8/20
46836	1510	Oxley Street #F	Active	Electrical	5/12/20
46837	1510	Oxley Street #F	Active	Mechanical	5/12/20
50163	925	Palm	Active	Building	11/2/21
50247	928	Palm	Active	Building	11/10/21
46690	924	Palm Avenue	Active	Building	3/2/20
46691	924	Palm Avenue	Active	Electrical	3/2/20
46692	924	Palm Avenue	Active	Mechanical	3/2/20
46699	924	Palm Avenue	Active	Plumbing	3/2/20
47852	1030	Palm Avenue	Final	Electrical	6/28/21
47853	1030	Palm Avenue	Final	Mechanical	6/28/21
47854	1030	Palm Avenue	Final	Plumbing	6/28/21
47636	702	PARK Avenue	Active	Mechanical	10/14/20
47760	702 #201	PARK Avenue	Active	Building	11/12/20
49039	701	Park Avenue	Active	Plumbing	5/18/21
49040	701	Park Avenue	Active	Plumbing	5/18/21
46577	702	Park Avenue #308	Active	Building	2/19/20
48537	351	Pasadena	Active	Mechanical	2/23/21

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48631	220	Pasadena	Active	Building	3/11/21
48632	220	Pasadena	Active	Electrical	3/11/21
48633	220	Pasadena	Active	Mechanical	3/11/21
48634	220	Pasadena	Active	Plumbing	3/11/21
48688	351	Pasadena	Active	Electrical	3/16/21
48715	355	Pasadena	Active	Electrical	3/25/21
48715	355	Pasadena	Active	Electrical	4/21/21
49284	340	Pasadena Avenue	Active	Building	7/7/21
49459	343	Pasadena Avenue	Active	Plumbing	7/29/21
50187	339	Pasadena Avenue	Active	Building	11/2/21
50295	230 238	Pasadena Avenue	Active	Building	12/1/2021
50426	143	Pasadena Avenue	Active	Building	12/20/21
50427	143	Pasadena Avenue	Active	Electrical	12/20/21
50428	143	Pasadena Avenue	Active	Mechanical	12/20/21
50614	339	Pasadena Avenue	Active	Building	1/18/22
50615	339	Pasadena Avenue	Active	Electrical	1/18/22
50617	339	Pasadena Avenue	Active	Electrical	1/18/22
47508	149	Peterson	Active	Building	9/24/20
47509	149	Peterson	Active	Electrical	9/24/20
49472	136	Peterson	Active	Plumbing	8/2/21
50339	1744	Peterson	Active	Electrical	12/2/2021
50345	117	Peterson	Active	Reroof	12/2/2021
50441	1888	Peterson	Active	Reroof	12/14/2021
50515	117	Peterson	Active	Building	1/13/22
50516	117	Peterson	Active	Electrical	1/13/22
49663	1110	Pine	Active	Electrical	8/25/21
49701	2038	Pine	Active	Plumbing	9/2/21
49927	73	Pine Crest	Active	Plumbing	9/28/21

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49937	98	Pine Crest	Active	Building	9/28/21
49938	98	Pine Crest	Active	Electrical	9/28/21
49939	98	Pine Crest	Active	Mechanical	9/28/21
49337	98	Pine Crest	Active	Building	12/6/2021
48589	2000	Pine St	Final	Plumbing	3/2/21
46372	1962	Primrose Avenue	Active	Building	1/21/20
46373	1962	Primrose Avenue	Active	Electrical	1/21/20
46374	1962	Primrose Avenue	Active	Mechanical	1/21/20
46375	1962	Primrose Avenue	Active	Plumbing	1/21/20
49763	1954	Primrose Avenue	Active	Building	9/8/21
50432	1928	Primrose Avenue	Active	Building	12/20/21
50433	1928	Primrose Avenue	Active	Plumbing	12/20/21
50520	2032	Primrose Avenue	Active	Building	12/27/21
50521	2032	Primrose Avenue	Active	Electrical	12/27/21
50522	2032	Primrose Avenue	Active	Plumbing	12/27/21
48626	522	Prospect	Active	Plumbing	3/11/21
48805	522	Prospect	Active	Plumbing	4/7/21
48945	523	Prospect	Active	Building	5/17/21
48946	523	Prospect	Active	Electrical	5/17/21
49471	410	Prospect	Active	Building	8/3/21
49502	516	Prospect	Active	Building	8/4/21
49503	516	Prospect	Active	Grading	8/4/21
49500	516	Prospect	Active	Electrical	8/4/21
49499	516	Prospect	Active	Mechanical	8/4/21
49501	516	Prospect	Active	Plumbing	8/4/21
49785	410	Prospect	Active	Reroof	9/15/21
49890	700	Prospect	Active	Building	9/27/21
49891	700	Prospect	Active	Electrical	9/27/21

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50274	410	Prospect	Active	Reroof	11/17/2021
50390	623	Prospect	Active	Plumbing	12/8/2021
50605	430	Prospect	Active	Building	1/13/22
50606	430	Prospect	Active	Electrical	1/13/22
46453	609	Prospect Avenue	Active	Building	2/3/20
46634	609	Prospect Avenue	Active	Plumbing	2/25/20
47083	714	Prospect Avenue	Active	Reroof	7/8/20
46885	425	Prospect Circle	Active	Reroof	4/20/20
48806	1608	Ramona	Active	Electrical	4/7/21
49534	1534	Ramona	Active	Plumbing	8/5/21
46711	1537	Ramona Avenue	Active	Reroof	6/30/20
46765	1810	Ramona Avenue	Active	Mechanical	3/10/20
49981	1617	Raymond Hill	Active	Building	10/5/21
49982	1617	Raymond Hill	Active	Mechanical	10/5/21
49983	1617	Raymond Hill	Active	Electrical	10/5/21
49984	1617	Raymond Hill	Active	Plumbing	10/5/21
50346	1648	Raymond Hill	Active	Plumbing	12/7/2021
46702	1622	Raymond Hill	Active	Electrical	3/4/20
47545	1733	Raymond Hill	Active	Plumbing	10/1/20
47734	1640	Raymond Hill	Active	Electrical	10/27/20
47515	400 #24	Raymondale	Active	Mechanical	10/14/20
48797	826	Rollin	Active	Reroof	4/7/21
48800	826	Rollin	Active	Electrical	4/6/2021
48853	826	Rollin	Active	Building	4/19/21
48854	826	Rollin	Active	Electrical	4/19/21
48855	826	Rollin	Active	Mechanical	4/19/21
48856	826	Rollin	Active	Plumbing	4/19/21
48934	826	Rollin	Active	Building	4/29/21

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48984	826	Rollin	Active	Electrical	5/10/21
48985	826	Rollin	Active	Mechanical	5/10/21
49035	1414	Rollin	Final	Reroof	6/7/21
49840	1412	Rollin	Active	Reroof	9/20/21
49863	1417	Rollin	Active	Electrical	9/22/21
50101	1419	Rollin	Active	Mechanical	11/3/21
50578	845	Rollin	Active	Building	1/18/22
50578	845	Rollin	Active	Building	1/24/22
50579	845	Rollin	Active	Electrical	1/24/22
50580	845	Rollin	Active	Mechanical	1/24/22
50581	845	Rollin	Active	plumbing	1/24/22
46287	291	Saint Albans	Active	Building	1/6/20
46288	291	Saint Albans	Active	Electrical	1/6/20
46995	269	Saint Albans	Active	Reroof	5/26/20
47341	126	Saint Albans	Active	Building	10/27/20
47342	126	Saint Albans	Active	Electrical	10/27/20
47343	126	Saint Albans	Active	Mechanical	10/27/20
47344	126	Saint Albans	Active	Plumbing	10/27/20
48196	126	Saint Albans	Final	Electrical	6/17/21
48728	296	Saint Albans	Active	Electrical	4/12/21
48729	296	Saint Albans	Active	Plumbing	4/12/21
48840	257	Saint Albans	Active	Building	4/15/21
48841	257	Saint Albans	Active	Electrical	4/15/21
48842	257	Saint Albans	Active	Mechanical	4/15/21
48843	257	Saint Albans	Active	Plumbing	4/15/21
49618	244	Saint Albans	Active	Electrical	8/18/21
49618	289	Saint Albans	Active	Plumbing	8/19/21
49633	218	Saint Albans	Active	Building	8/25/21

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49679	270	Saint Albans	Active	Electrical	8/30/21
50018	251	Saint Albans	Active	Electrical	10/14/21
50078	298	Saint Albans	Active	Building	10/20/21
50079	298	Saint Albans	Active	Electrical	10/20/21
50080	298	Saint Albans	Active	Plumbing	10/20/21
50246	297	Saint Albans	Active	Mechanical	11/10/21
47260	244	Saint Albans	Active	Building	11/15/21
50273	126	Saint Albans	Active	Electrical	11/16/2021
50573	279	Saint Albans	Active	Building	1/12/22
49807	1520	Santa Teresa	Active	Electrical	9/15/21
46660	1501	Santa Teresa	Active	Electrical	2/27/20
46661	1501	Santa Teresa	Active	Mechanical	2/27/20
49227	95	Short Way	Active	Building	7/1/21
49264	95	Short Way	Active	Demo	7/1/21
49265	95	Short Way	Active	Demo	7/1/21
49266	95	Short Way	Active	Building	7/1/21
49268	95	Short Way	Active	Electrical	7/1/21
49269	95	Short Way	Active	Mechanical	7/1/21
49270	95	Short Way	Active	Plumbing	7/1/21
49271	95	Short Way	Active	Grading	7/1/21
50444	23	Short Way	Active	Demo	1/4/22
48972	1407	Spruce	Active	Building	5/10/21
48973	1407	Spruce	Active	Building	5/10/21
48974	1407	Spruce	Active	Electrical	5/10/21
48975	1407	Spruce	Active	Mechanical	5/10/21
48976	1407	Spruce	Active	Plumbing	5/10/21
49476	1911	Spruce	Active	Reroof	9/7/21
49851	1700	Spruce	Active	Building	9/21/22

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49852	1700	Spruce	Active	Electrical	9/21/22
49958	1306	Spruce	Active	Building	10/4/21
49959	1306	Spruce	Active	Electrical	10/4/21
50231	1822	Spruce	Active	Building	11/9/21
50232	1822	Spruce	Active	Electrical	11/9/21
50723	1411	Spruce	Active	Building	2/1/22
50722	1411	Spruce	Active	Electrical	2/1/22
47411	1606	Spruce Drive	Active	Building	9/17/20
47412	1600	Spruce Drive	Active	Building	9/17/20
47413	1608	Spruce Drive	Active	Building	9/17/20
47414	1612	Spruce Drive	Active	Building	9/17/20
47415	1612	Spruce Drive	Active	Building	9/17/20
47416	1612	Spruce Drive	Active	Building	9/17/20
47417	1612	Spruce Drive	Active	Building	9/17/20
47418	1612	Spruce Drive	Active	Building	9/17/20
47419	1600	Spruce Drive	Active	Electrical	9/17/20
47420	1606	Spruce Drive	Active	Electrical	9/17/20
47421	1608	Spruce Drive	Active	Electrical	9/17/20
47422	1612	Spruce Drive	Active	Electrical	9/17/20
47423	16-6	Spruce Drive	Active	Mechanical	9/17/20
47424	1608	Spruce Drive	Active	Mechanical	9/17/20
47425	1608	Spruce Drive	Active	Mechanical	9/17/20
47426	1612	Spruce Drive	Active	Mechanical	9/17/20
47427	1600	Spruce Drive	Active	Mechanical	9/17/20
47428	1608	Spruce Drive	Active	Plumbing	9/17/20
47429	1606	Spruce Drive	Active	Plumbing	9/17/20
47430	1600	Spruce Drive	Active	Plumbing	9/17/20
47431	1612	Spruce Drive	Active	Plumbing	9/17/20

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47432	1612	Spruce Drive	Active	Grading	9/17/20
47571	1407	Spruce Drive	Active	Building	10/13/20
47572	1407	Spruce Drive	Active	Electrical	10/13/20
47573	1407	Spruce Drive	Active	Mechanical	10/13/20
47574	1407	Spruce Drive	Active	Plumbing	10/13/20
48689	1520	Spruce Drive	Active	Electrical	3/16/21
48699	1839	Spruce Drive	Active	Reroof	3/17/21
48716	1839	Spruce Drive	Active	Electrical	4/7/21
48756	1839	Spruce Drive	Active	Plumbing	3/30/21
48758	1612	Spruce Drive	Active	Electrical	3/29/21
49033	270	St Albans	Active	Building	5/24/21
49034	270	St Albans	Active	Electrical	5/24/21
50698	1744	State	Active	Grading	1/31/22
50126	829	Statford	Active	Electrical	10/28/21
49677	616	Stoney	Active	Building	8/30/21
48099	1014	Stratford	Active	Electrical	2/8/21
48456	1016	Stratford	Active	Building	3/1/21
48596	2022	Stratford	Active	Reroof	3/4/21
48597	2022	Stratford	Active	Reroof	3/4/21
48774	2062	Stratford	Active	Electrical	3/31/21
48798	2062	Stratford	Active	Plumbing	4/7/21
49825	821	Stratford	Active	Building	9/23/21
49826	821	Stratford	Active	Electrical	9/23/21
50127	1422	Stratford	Active	Electrical	10/27/21
50125	829	Stratford	Active	Building	10/28/21
50262	821	Stratford	Active	Building	11/15/2021
50454	1228	Stratford	Active	Electrical	12/20/21
50455	1228	Stratford	Active	Mechanical	12/20/21

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50456	1228	Stratford	Active	Plumbing	12/20/21
50436	1318	Stratford	Active	Building	12/20/21
50437	1318	Stratford	Active	Electrical	12/20/21
50488	1221	Stratford	Active	Plumbing	1/4/22
50599	841	Stratford	Active	Mechanical	1/13/22
50600	841	Stratford	Active	Electrical	1/13/21
47160	2031	Stratford Avenue	Active	Building	12/1/20
47161	2031	Stratford Avenue	Active	Electrical	12/1/20
47162	2031	Stratford Avenue	Active	Mechanical	12/1/20
47163	2031	Stratford Avenue	Active	Plumbing	12/1/20
47504	2051	Stratford Avenue	Active	Plumbing	9/24/20
48186	1319	Stratford Avenue	Active	Building	12/17/20
48187	1319	Stratford Avenue	Active	Electrical	12/17/20
48188	1319	Stratford Avenue	Active	Mechanical	12/17/20
48189	1319	Stratford Avenue	Active	Plumbing	12/17/20
49251	832	Stratford Avenue	Active	Building	7/8/21
49683	640	Stratford Avenue	Active	Building	8/31/21
49684	640	Stratford Avenue	Active	Electrical	8/31/21
49797	1228	Stratford Avenue	Active	Building	9/15/21
49825	821	Stratford Avenue	Active	Building	9/20/21
49826	821	Stratford Avenue	Active	Electrical	9/20/21
48641	901	Summit Drive	Active	Mechanical	3/15/21
48982	912	Summit Drive	Active	Electrical	5/10/21
49473	810	Summit Drive	Active	Building	8/2/21
49414	914	Summit Drive	Active	Mechanical	8/2/21
49473	810	Summit Drive	Active	Building	8/31/21
49474	810	Summit Drive	Active	Electrical	9/1/21
50166	813	Summit Drive	Active	Reroof	11/4/21

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49484	800	Valley View	Active	Mechanical	8/3/21
49969	804	Valley View	Active	Building	10/4/21
49970	804	Valley View	Active	Building	10/4/21
8420	1857	Via Del Rey	Active	Mechanical	2/2/21
46673	1800	Via Del Rey	Active	Building	3/2/20
47068	2031	Via Del Rey	Active	Mechanical	7/6/20
47269	1665	Via Del Rey	Active	Building	8/1/20
47270	1665	Via Del Rey	Active	Electrical	8/1/20
47271	1665	Via Del Rey	Active	Mechanical	8/1/20
47272	1665	Via Del Rey	Active	Plumbing	8/1/20
47697	1560	Via Del Rey	Active	Reroof	10/21/20
48006	1860	Via Del Rey	Active	Building	12/21/20
48418	1857	Via Del Rey	Active	Building	2/2/21
48419	1857	Via Del Rey	Active	Electrical	2/2/21
48421	1857	Via Del Rey	Active	Plumbing	2/2/21
48540	1641	Via Del Rey	Active	Electrical	4/1/21
48595	1665	Via Del Rey	Active	Electrical	3/4/21
48609	1250	Via Del Rey	Active	Reroof	3/4/21
48610	1250	Via Del Rey	Active	Electrical	3/4/21
48802	1800	Via Del Rey	Final	Building	6/8/21
48803	1800	Via Del Rey	Final	Electrical	6/8/21
48833	1665	Via Del Rey	Active	Building	4/14/21
48861	1700	Via Del Rey	Active	Building	5/3/21
48862	1700	Via Del Rey	Active	Electrical	5/3/21
49020	1401	Via Del Rey	Active	Reroof	5/13/21
49300	1719	Via Del Rey	Active	Electrical	7/13/21
49479	1744	Via Del Rey	Active	Building	8/2/21
49482	1744	Via Del Rey	Active	Building	8/3/21

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49485	1744	Via Del Rey	Active	Electrical	8/3/21
49483	1744	Via Del Rey	Active	Plumbing	8/3/21
49204	1627	Via Del Rey	Active	Building	8/4/21
49205	1627	Via Del Rey	Active	Grading	8/4/21
49517	1744	Via Del Rey	Active	Building	8/4/21
49518	1744	Via Del Rey	Active	Electrical	8/4/21
49519	1744	Via Del Rey	Active	Mechanical	8/4/21
49520	1744	Via Del Rey	Active	Plumbing	8/4/21
49694	1301	Via Del Rey	Active	Reroof	8/30/21
49831	1232	Via Del Rey	Active	Mechanical	9/20/21
49845	1214	Via Del Rey	Active	Electrical	9/21/22
49930	1226	Via Del Rey	Active	Building	9/28/21
49931	1226	Via Del Rey	Active	Electrical	9/28/21
49932	1226	Via Del Rey	Active	Mechanical	9/28/21
50110	1319	Via Del Rey	Active	Building	10/25/21
50293	1401	Via Del Rey	Active	Building	11/18/2021
50294	1401	Via Del Rey	Active	pool	11/18/2021
50327	1750	Via Del Rey	Active	Electrical	12/6/2021
50293	1401	Via Del Rey	Active	Building	12/21/21
50294	1401	Via Del Rey	Active	Building	12/21/21
50527	1647	Via Del Rey	Active	Building	1/4/22
50528	1647	Via Del Rey	Active	Electrical	1/4/22
50553	1744	Via Del Rey	Active	Building	1/4/22
50554	1744	Via Del Rey	Active	Electrical	1/4/22
50564	1840	Via Del Rey	Active	Electrical	1/5/22
48554	1729	Virginia	Active	Building	2/24/21
48555	1729	Virginia	Active	Electrical	2/24/21
48556	1729	Virginia	Active	Plumbing	2/24/21

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48698	1729	Virginia	Active	Mechanical	3/18/21
50408	1732	Virginia	Active	Building	12/16/21
50429	1732	Virginia	Active	Electrical	12/16/21
49900	120	Warwick	Active	Mechanical	9/27/21
49902	120	Warwick	Active	Electrical	9/27/21
49903	120	Warwick	Active	Building	9/27/21
50207	101	Warwick	Active	Building	11/8/21
50313	120	Warwick	Active	Building	11/30/2021
49773	1703	Wayne	Active	Mechanical	9/9/21
49792	1608	Wayne	Active	Building	9/14/21
49876	1608	Wayne	Active	Electrical	9/22/21
49875	1608	Wayne	Active	Mechanical	9/22/21
50168	1608	Wayne	Active	Electrical	11/2/21
50625	1812	Wayne	Active	Reroof	1/20/22
46370	1720	Wayne Avenue	Active	Mechanical	1/21/20
46714	1710	Wayne Avenue	Active	Reroof	6/9/20
47289	1430	Wayne Avenue	Final	Plumbing	7/6/21
46613	1119	Windsor Place	Active	Building	2/24/20
46920	1122	Windsor Place	Active	Reroof	5/7/20
46921	1122	Windsor Place	Active	Reroof	5/7/20
46958	1119	Windsor Place	Active	Electrical	6/8/20
47149	1119	Windsor Place	Active	Plumbing	7/27/20
48491	1119	Windsor Place	Active	Electrical	2/16/21
48591	1119	Windsor Place	Active	Mechanical	3/3/21
48651	1119	Windsor Place	Active	Plumbing	3/9/21
48836	1111	Windsor Place	Active	Building	4/29/21
48837	1111	Windsor Place	Active	Electrical	4/29/21
49309	1136	Windsor Place	Active	Reroof	7/13/21

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49362	1114	Windsor Place	Active	Electrical	7/14/21
49362	1114	Windsor Place	Active	Electrical	7/14/21
49309	1136	Windsor Place	Active	Reroof	7/13/21
48790	902	Wolfford	Active	Plumbing	4/5/21
46509	902	Wolford Lane	Active	Building	2/11/20
48611	902	Wolford Lane	Active	Mechanical	3/8/21
48613	902	Wolford Lane	Active	Electrical	3/8/21
48812	902	Wolford Lane	Active	Reroof	4/8/21



Small Lot Design Standards

An Illustrated Guide for
Small Lot Design Standards



Small Lot Design Standard

An Illustrated Guide for
Small Lot Design Standards

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

OVERVIEW

INTRODUCTION

In 2005, the City of Los Angeles adopted the Small Lot Subdivision Ordinance (“Ordinance”) which introduced a new housing typology to the City. The new housing type, a small lot home, was enabled by the Ordinance’s subdivision regulations that permitted fee-simple homeownership of homes located on conventionally smaller lots and in zones where apartment units would be permitted by-right. Such permitting regulations included reduced minimum lot areas, setback and passageway requirements, and the altogether elimination of standardized open space and guest parking requirements. As a result, the Small Lot Subdivision Ordinance enabled new infill housing development, presented as a hybrid between single- and multi-family housing, that has been a smart growth alternative to traditional suburban style single-family subdivisions.

While the Ordinance created new homeownership opportunities to the traditional single-family or condominium, small lot projects faced challenges related to spatial planning and neighborhood compatibility. After over ten years of implementation of the Ordinance, and in response to Council motions, project appeals and ongoing community discussion, the Department of City Planning has updated the regulations and procedures for small lot subdivisions. The intent of the Update was to equip the City with the tools necessary to review and revise proposed small lot subdivisions with the overarching goal to improve a project’s compatibility with existing by-right zoning and neighborhood contexts.

The Update consisted of amending the Ordinance to: 1) recognize a clear set of map standards to be discretionarily administered to all small lot subdivision maps; 2) establish an administrative review process that permits an enforceable design review of individual small lot homes; 3) reduce previous incentives for newly constructed small lot homes by way of requiring greater setbacks and reducing maximum lot coverage; and 4) create a clear path to retain existing dwelling units and convert them small lot homes.

APPLYING THE DESIGN STANDARDS

Supplemental design standards have been created to assist in shaping this type of development with its unique complexities. All small lot subdivision projects are required to comply with the Small Lot Design Standards through an Administrative Clearance process. The application for the Administrative Clearance shall be filed concurrent with the tract or parcel map application and at any time a subsequent building permit is requested following the issuance of initial certificates of occupancy.

The term “Project” includes the erection or construction, reconstruction, rehabilitation, relocation, addition to, or exterior alteration of any building or structure, which require the issuance of a demolition permit, grading permit, or building permit. Projects include the preservation of existing structures in a single lot and the subdivision of land for Small Lot purposes. The term Project excludes work that consists solely of interior remodeling, interior rehabilitation or repair work that does not result in alterations to the façade or change in floor area. The following are examples of building permits that are generally exempt from administrative review:

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

Exempt from Administrative Clearance:

- Re-roof with no alterations to the existing roof form, roof details, eave depth, eave details, or facades of the buildings;
- Maintenance, repair, and/or rehabilitation of existing foundations;
- In-ground swimming pool where permitted by the LAMC;
- Mechanical equipment;
- Roof-mounted solar modules; and
- Exterior lighting.

SMALL LOT DESIGN STANDARDS

The Design Standards create specific and enforceable rules regarding the design for all small lots, including building orientation, primary entryways, façade articulation, roofline variation, building modulation, pedestrian pathways, landscaping, and common open space areas.

This document consists of two parts: the Small Lot Design Standards Checklist (“Checklist”) and the Illustrated Guide. The Checklist should be used by applicants to show compliance with the Design Standards, and should be included in the application packet at the time of filing. The Illustrated Guide provides Small Lot project examples, as well as guidance and direction for applying the Design Standards. Both the Checklist and Illustrated Guide are intended for use by the Planning Department, other City agencies and Department staff, developers, architects, as well as community members in evaluating project applications.

The Checklist includes five sections:

- A. Building Design
- B. Pedestrian Connectivity and Access
- C. Landscaping
- D. Mixed Use Small Lots
- E. Bungalow Courts and Existing Structures

All new small lot dwellings must comply with Section A through C; Mixed-Use projects must comply with Sections A through D; and Bungalow Courts and Existing Structures Small Lot projects must comply with the design standards set out in Section E. If new dwellings are added to a Bungalow Court or Existing Structure Small Lot project, they must also comply with Sections A through C.

The Design Standards should be used in conjunction with relevant policies from the General Plan Framework and Community Plans. Tentative tract and parcel maps for small lot subdivisions must be consistent with the City’s General Plan and Community Plans in order to be approved. The provisions of the Small Lot Ordinance shall supersede the provisions of a Specific Plan or other overlay district. The provisions of a Specific Plan or other legislatively adopted overlay district (not exempted under the Small Lot Ordinance) shall otherwise supersede. It is important to review all relevant City documents for policies that may affect your small lot design and layout.

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

CHECKLIST

	Yes	No	N/A	Plan Sheet
A. BUILDING DESIGN				
1. Dwelling Orientation				
a. Small Lot Homes abutting a right-of-way, including a public street, walk street, public stairways (“right-of-way”) or private street shall orient the primary entryway (“front door”) toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable pedestrian entry to the site from the right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
c. Small Lot Homes that abut an alley shall orient the primary entryway toward the alley, or shall be connected to a pedestrian pathway that leads directly to a right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
2. Primary Entryways				
a. All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. All primary entryways shall incorporate <u>at least four of the following</u> elements:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> i. The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.				
<input type="checkbox"/> ii. The doorway shall be recessed at least 3 inches from the building façade.				
<input type="checkbox"/> iii. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.				
<input type="checkbox"/> iv. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.				
<input type="checkbox"/> v. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.				
<input type="checkbox"/> vi. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.				

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

CHECKLIST (continued)

Yes No N/A *Plan Sheet*

3. Primary Entryways Between Small Lot Homes

- a. Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The separation may include projections as listed in 2.b.iii above, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that provides access to the entryway.

4. Façade Articulation

- a. Façades facing a right-of-way, the project perimeter, and all portions of exterior building elevations located greater than 7 feet from an adjacent Small Lot Home, shall be treated with an equal level of detail and articulation, and shall incorporate all of the following façade articulation techniques:
- i. Change in exterior building materials to include at least two high-quality building façade materials that accentuate or correspond to variations in building massing. Building materials may include, but are not limited to: wood, glass, brick, metal spandrel, cement board siding, or tile.
 - ii. Porticos, awnings, terraces, balconies, eyebrows, or trellises of at least 6 inches in depth that provide variations in the building plane.
 - iii. Window treatments that are extruded or recessed from the building façade a minimum of 3 inches. Windows or doors that are flush with the plane of the building (rather than extruded or recessed at least 3 inches) will not qualify as facade articulation.
 - iv. A break in the façade plane of a minimum of 6 inches in depth that is applied to at least 10 vertical feet of the facade.
 - v. Other additional architectural enhancements to the floor of the primary entrance and below, so as to create a human scale to the building. Examples include handrails, fixed planters, and ornamental details, such as lighting, molding, or tiles.

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

CHECKLIST (continued)

	Yes	No	N/A	Plan Sheet
5. Varied Roofline				
a. For any Small Lot Home façade fronting a right-of-way exceeding two stories in height, the roofline shall be articulated by incorporating <u>two of the following</u> :	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> i. A roof with a slope equal to or greater than 2 inches to 12 inches, including but not limited to a sloped or curved roofline at the top of the dwelling.				
<input type="checkbox"/> ii. An open deck with a minimum of 6 feet in depth and 8 feet in width.				
<input type="checkbox"/> iii. A flat roof with a minimum of 2 feet vertical height difference for a minimum of 10 horizontal feet along the roofline of each building façade.				
<input type="checkbox"/> iv. A break in façade plane of a minimum of 6 inches in depth that is carried up to the roofline.				
<input type="checkbox"/> v. Any form of roofline modulation such as a step back, an outdoor stairwell, or a corner balcony.				
6. Roof Decks				
a. All roof decks along the project perimeter and abutting residential uses shall be stepped back a minimum of 5 feet from the roof edge, so that they are oriented away from and screened to prevent direct views of abutting residential neighbors. Roof decks facing a right-of-way are not required to be stepped back.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
7. Building Massing Variation				
a. Small Lot Homes shall be grouped into clusters to avoid long spans of building wall. Clusters of Small Lot Homes shall be no more than six Small Lot Homes in a single continuous row or 180 linear feet, whichever is smaller. Clusters of Small Lot Homes shall be separated with a building gap of a minimum of 6 feet in width, which shall be treated with a combination of landscaping, open space, and common walkways or driveways.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Small Lot Homes in a single row shall provide a lateral shift or break in the façade of a minimum of 6 inches for every three Small Lot Homes or 90 linear feet, whichever is smaller.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
c. Small Lot Homes shall be unique in design so that there is variety between Small Lot Homes within a subdivision. For a Small Lot Subdivision containing more than six Small Lot Homes in a single row, there shall be at least <u>two</u> variations in building design, such as changes in dwelling orientation, primary entryways, fenestration pattern, façade articulation, or varied roofline as prescribed in Subsections 1-5. For a Small Lot Subdivision of 20 or more Small Lot Homes, there shall be at least <u>three</u> variations in building design as stated above.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

CHECKLIST (continued)

B. PEDESTRIAN CONNECTIVITY AND ACCESS	Yes	No	N/A	<i>Plan Sheet</i>
1. Pedestrian Pathways				
a. Pedestrian pathways of a minimum width of 3 feet shall be provided from the right-of-way to all primary entryways and common areas, such as common open space areas, guest parking, mailboxes, and centralized trash enclosures.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. A pedestrian pathway located within or parallel to a Common Access Driveway shall be constructed and/or treated with a change of materials, finishes, pattern, or paving that distinguishes the pathway from vehicular traffic.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
c. Small Lot Subdivisions of 20 or more Small Lot Homes shall provide pedestrian and bicycle access to surrounding neighborhood rights-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
2. Fences/Walls				
a. Fences or walls abutting the street or common open space areas shall be decorative, including but not limited to latticework, ornamental fences, screen walls, hedges or dense shrubs or trees. Solid masonry walls along the right-of-way are not permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Fences or walls abutting the right-of-way and within the yard shall provide a point of entry into each lot abutting the right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
C. LANDSCAPING				
1. Landscaping, Common Open Space Areas, and Amenities				
a. All setback and open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, and common open space areas shall be attractively landscaped and maintained.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
b. Required Common Open Space Areas must:				
<input type="checkbox"/> i. Be open to the sky and have no structures that project into the common open space area, except as provided in Section 12.22 C.20 (b).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> ii. Be located at grade level, contiguous or connected, and readily accessible to all residents of the site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> iii. Have a minimum area of 300 sq. ft. with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area. Driveways, parking spaces, or pedestrian pathways cannot be counted toward the open space requirement.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

CHECKLIST (continued)

Yes No N/A *Plan Sheet*

- c. The combination of required Common Open Space Areas shall be multi-functional and designed to accommodate a range of passive, active, or social uses, with enhancements such as landscaping, activity lawns, swimming pools, spas, picnic tables, benches, children's play areas, ball courts, barbecue areas, sitting areas, decorative bike racks, and/or dog washing stations. Common open space areas may include enhanced side yards and rear yards that meet the minimum area and dimension requirement above. _____
- d. All yards of a subdivision abutting the right-of-way shall be improved with landscaping (combination of groundcover, shrubs, and trees) and amenities. Amenities may include: decorative fencing, uncovered patios, enhanced pedestrian pathways, garden walls, seating areas, and/or decorative bike racks. _____

D. MIXED USE SMALL LOTS

Small Lot Subdivisions may provide Small Lot Homes that contain commercial uses at the ground floor ("Mixed Use Small Lot Homes"). Mixed Use Small Lots must comply with all other applicable regulations governing the site with regards to parking, signage, access, and FAR limitations in the LAMC. The following Design Standards shall be required for any Mixed Use Small Lot Home in addition to the other Design Standards contained in this document.

1. Building Orientation and Entry

- a. Mixed Use Small Lot Homes shall be first located along the perimeter of the subdivision abutting the right-of-way. _____
- b. A Mixed Use Small Lot Home shall provide a separate ground floor entrance to the commercial use, or an identifiable lobby that serves both the residential and commercial uses. The commercial entrance shall be directly accessible from the right-of-way and open during the normal business hours posted by the business. _____

2. Building Design

- a. A Mixed Use Small Lot Home shall be designed with an identifiable ground floor commercial component. _____
- b. Store entrances shall be recessed, not flush, with the edge of the building facade to articulate the storefront and provide shelter for persons entering and exiting. _____
- c. The ground floor commercial use shall be visually separated from upper residential floors, with a façade treatment such as an awning, framing, setback, or overhang of at least 18 inches in depth, so as to distinguish the commercial base of the building. _____

SMALL LOT DESIGN STANDARDS

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

CHECKLIST (continued)

Yes No N/A *Plan Sheet*

- d. The storefront of a ground floor non-residential use that fronts a right-of-way shall consist of at least fifty percent transparent windows and doors, unless otherwise prohibited by other sections of the L.A.M.C. _____
- e. Signage for the ground floor commercial use shall be located at or adjacent to the ground level, and be located no higher than 14 feet. _____

E. BUNGALOW COURTS AND EXISTING STRUCTURES SMALL LOTS

Existing bungalow courts and detached single, duplex, or triplex dwelling structures may be subdivided in accordance with the 2018 Small Lot Code Amendment. The conversion of an existing “Bungalow Court or Existing Structure” to a Small Lot Subdivision shall only be required to comply with the following Design Standards.

1. Common Access Driveway

Existing Common Access Driveways, pedestrian pathways, and central common open space areas shall be maintained and not reduced in size. _____

2. Pedestrian Pathway

Pedestrian pathways of a minimum width of 3 feet shall be provided from the public rights-of-way to all primary entryways and common areas, such as centralized trash enclosures, guest parking, and open space easements. If narrower pathways exist, they may be maintained in the same footprint and area and shall not be further reduced in width. _____

3. Existing Structures

New dwelling construction or additions to a designated or identified historic structure shall be in conformance with the Secretary of the Interior’s Standards for Rehabilitation. _____

4. New Dwelling

All new dwellings proposed in addition to a Bungalow Court or Existing Structure Small Lot project shall also meet the applicable design standards in sections A, B, and C of the Small Lot Design Standards. _____

5. Landscaping

All open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, or amenity areas shall be attractively landscaped and maintained. _____

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Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

A. BUILDING DESIGN

1. DWELLING ORIENTATION

Small lot developments can face numerous spatial challenges that require innovative design solutions. Builders and designers should consider all possible configurations that take advantage of the site topography and consider how characteristics of the street and adjacent structures affect the overall form and orientation of the proposed development.

a. Small Lot Homes abutting a public right-of-way, including a public street, walk street, public stairways (“right-of way”) or private street shall orient the primary entryway (“front door”) toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable entry to the site from the right-of-way.

b. Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the public right-of-way or private street.

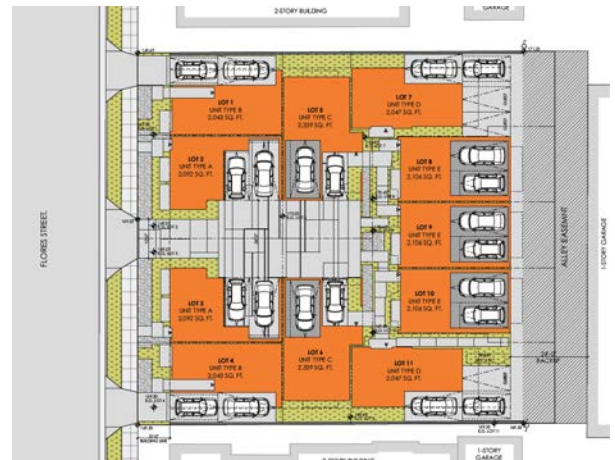
c. Small Lot Homes that abut an alley shall orient the primary entryway toward the alley, or shall be connected to a pedestrian pathway that leads directly to a right-of-way.



The proposed small lot development on Sanborn Avenue takes advantage of the site’s topography and orients the primary entryways towards a common pedestrian pathway that leads to the public right-of-way.



The front units at the 5112 Melrose small lot development have a strong relationship to the street.



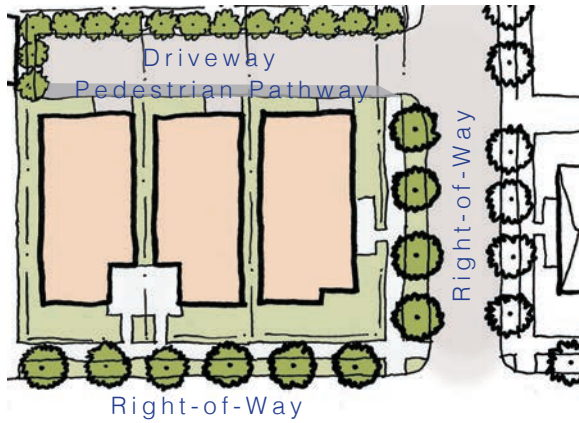
The Flores Street small lot development provides varied driveway access from Flores Street, the alley, and the shared driveway. The four front units have a strong relationship to the street and the interior units have a connection to the shared pedestrian pathway. On Flores St., the center driveway provides access to multiple homes, therefore minimizing the number of driveways and curb cuts.

Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

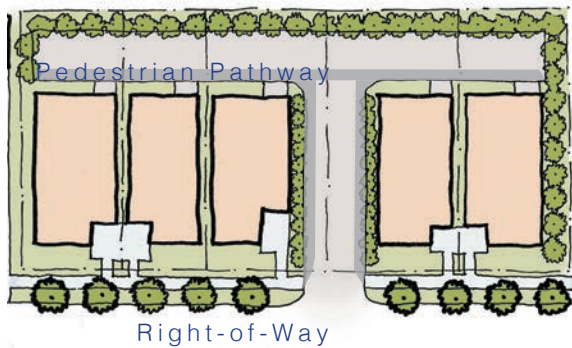
A. BUILDING DESIGN

1. DWELLING ORIENTATION: POSSIBLE CONFIGURATIONS

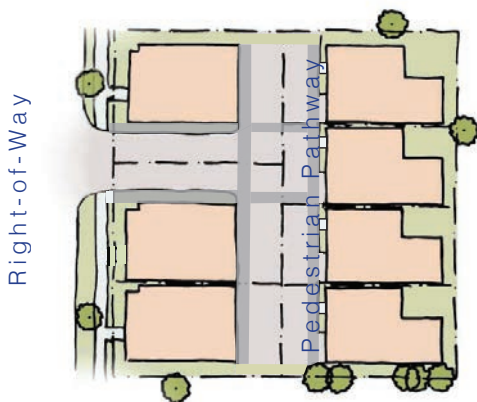


When rear driveways are used:

The right-of-way should give the appearance of an entry. Primary entryways are oriented toward and have direct access to the right-of-way.



When rear T-driveways are used all units should have direct access to the public sidewalk.



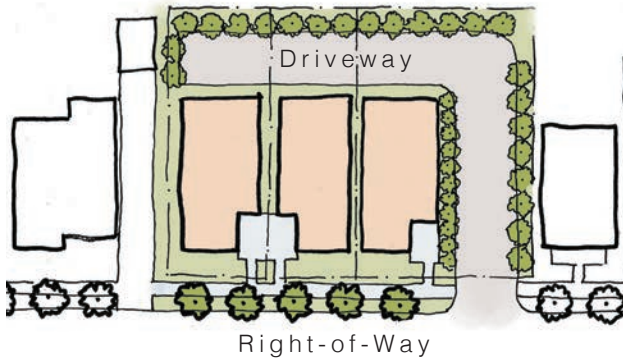
This alternative T-driveway configuration separates rear units from the right-of-way.

The primary entranceways for the rear units have direct access to the pedestrian pathway (as described in section B.1)

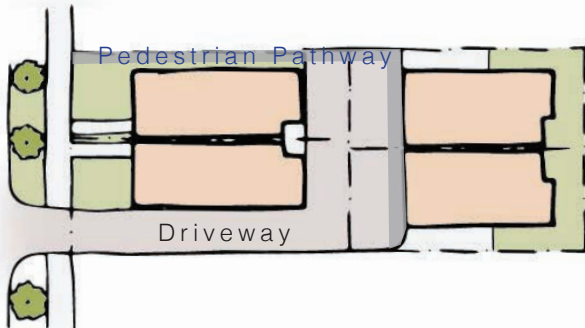
Small Lot Design Standards

A. BUILDING DESIGN

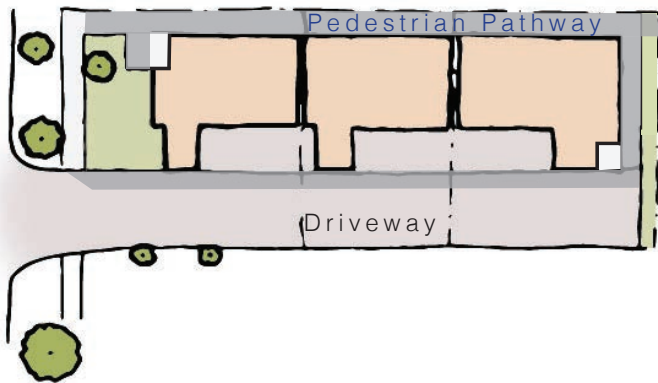
1. DWELLING ORIENTATION: POSSIBLE CONFIGURATIONS (continued)



When rear L-driveways are used, all units front directly onto the public right-of-way.



When an alternate L-driveway is used, all rear units that do not front the right-of way should have access to the pedestrian pathways that connect to the right-of-way (as described in Section B.1).



When side access driveways are used, the primary entranceway of the front home should be accessible from the right-of-way or a pedestrian pathway that is directly connected to the right-of-way.

Interior homes should be accessible from both the driveway and a private walkway directly connected to the right-of-way at the front of the homes.

Small Lot Design Standards

A. BUILDING DESIGN

2. PRIMARY ENTRYWAYS

When entries are well articulated and easy to find, they function as gateways, simultaneously welcoming visitors, allowing for seasonal decorations, and clearly delineating the boundaries of the private realm.

- a. All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the **address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.**



Small Lot Design Standards

A. BUILDING DESIGN

2. PRIMARY ENTRYWAYS (continued)

In addition to the address identification, lighting, and landing area, the primary entryways shall be articulated in order to enhance the overall quality of the project. Entryways may also offer habitable outdoor space in the form of a small front porch or patio.

b. All primary entryways shall incorporate **at least four** of the following elements:

- i.** The entryway shall be recessed at least 2 feet from the building façade to create a porch or landing area.
- ii.** The doorway shall be recessed at least 3 inches from the building façade.
- iii.** The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.
- iv.** The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.
- v.** The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.
- vi.** The landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.



Entryways, porches, landing areas, and stoops clearly delineate public and private realms while maintaining a comfortable relationship between these realms and their users.



Small overhangs above the doors at Maltman Bungalows (left) and Modative's Fay small lot development (right) provides shade and shelter, as well as adding articulation to the entryway.



Small Lot Design Standards

A. BUILDING DESIGN

3. PRIMARY ENTRYWAYS BETWEEN SMALL LOT HOMES

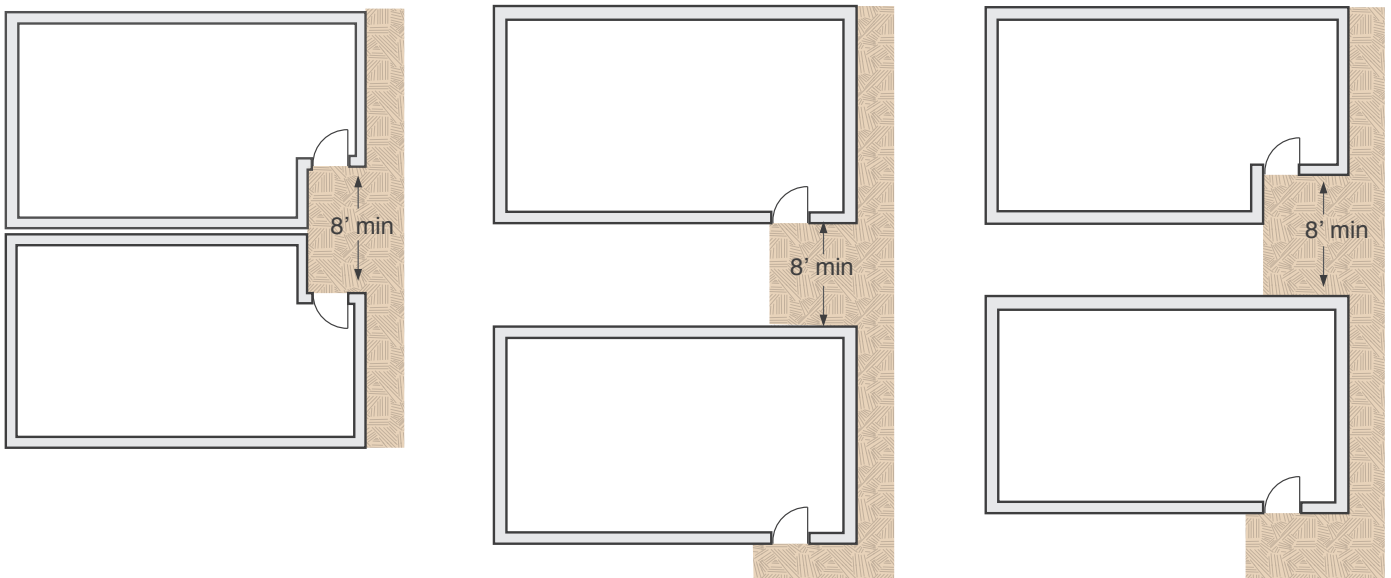
Small lot developments can face several spatial challenges, however designers should consider how the configuration of the building responds to adjacent small lot homes; in particular the relationship between the primary entryway and the abutting properties. Providing access to air, light, and ventilation is more challenging for small lot developments compared to typical single-family designs. Thus, it is important for the design of small lot homes to strive to create livable environments.

- a.** Small Lot Homes shall provide at least an 8 foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The separation may include projections as listed in 2.b.iii, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that provides access to the entryway.

POSSIBLE CONFIGURATIONS

The 8-foot separation from a primary entryway and the adjacent building wall allows for a more livable, inviting space for residents and visitors.

Note: The Design Standards specify the distance between the entryway and abutting wall, not the distance between two entryways.



Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

A. BUILDING DESIGN

4. FAÇADE ARTICULATION

The building facade is a crucial element in relating the building to the street and neighborhood. Effectively placed and articulated doors, windows, and balconies can enhance the overall quality of the project. Additionally, architecture often varies in style even within Los Angeles's neighborhoods. Therefore, context and surrounding structures should inform the choice of materials for small lot development.

a. Façades facing a right-of-way, the project perimeter, and all portions of exterior building elevations located greater than 7 feet from an adjacent Small Lot Home, shall be treated with an equal level of detail and articulation, and shall incorporate **all of the following** façade articulation techniques:

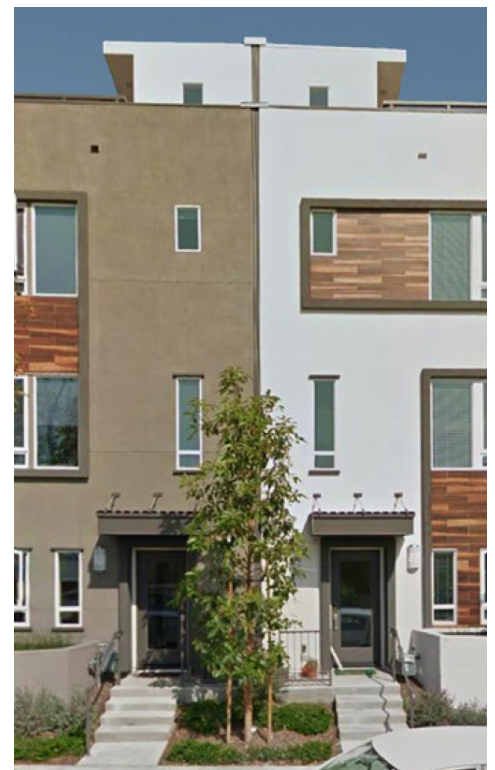
i. Change in exterior building materials to include at least two high-quality building façade materials that accentuate or correspond to variations in building massing. Building materials may include, but are not limited to: wood, glass, brick, metal spandrel, cement board siding, or tile.

ii. Porticos, awnings, terraces, balconies, or trellises that provide variations in the building plane.

iii. Window treatments that are extruded or recessed from the building façade a minimum of 3 inches. Windows or doors that are flush with the plane of the building (rather than extruded or recessed at least 3 inches) will not qualify as facade articulation.

iv. A break in the façade plane of a minimum of 6 inches in depth that is applied to at least 10 vertical feet of the façade.

v. Other additional architectural enhancements to the floor of the primary entrance and below, so as to create a human scale to the building. Examples include handrails, fixed planters, and ornamental details, such as lighting, molding, or tiles.



The Gramercy Place small lot development (right) features varied façade materials.

The Parkman small lot development (left), utilizes Spanish Colonial architectural features that relate to the context and surrounding structures in the neighborhood.

Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

A. BUILDING DESIGN

5. VARIED ROOFLINE

Roofs are an integral part of any house and are one of the most important elements. To design a visually stimulating house, a few different roof types may be used together or several of the same structure may be utilized in different ways. This creates a home that uniquely responds to both its interior function and its exterior individuality. Small lot home roofs should exhibit individuality, but should also be sensitive to context and surrounding structures.



a. For any Small Lot Home façade fronting a right-of-way exceeding two stories in height, the roofline shall be articulated by incorporating **two of the following**:

- i.** A roof with a slope equal to or greater than 2 inches to 12 inches, including but not limited to a sloped or curved roofline at the top of the dwelling.
- ii.** An open deck with a minimum of 6 feet in depth and 8 feet in width.
- iii.** A flat roof with a minimum of 2 feet vertical height difference for a minimum of 10 horizontal feet along the roofline of each building façade.
- iv.** A break in façade plane of a minimum of 6 inches in depth that is carried up to the roofline.
- v.** Any form of roofline modulation such as a step back, an outdoor stairwell, or a corner balcony.



The Blackbirds Small Lot Development (below) in Echo Park features a pitched roof.



Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

A. BUILDING DESIGN

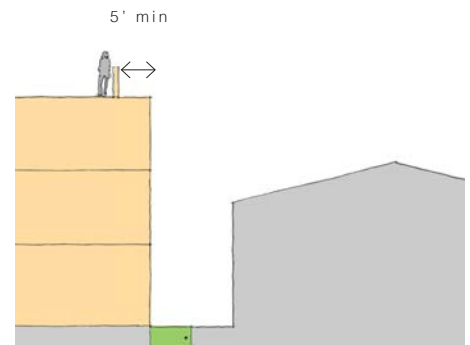
6. ROOF DECKS

Within small lot developments, the addition of roof decks is not intended to provide additional living space, but offers the opportunity for fully private outdoor space for each dwelling. Small lot developments are encouraged to maximize access to private outdoor space, light, and air.

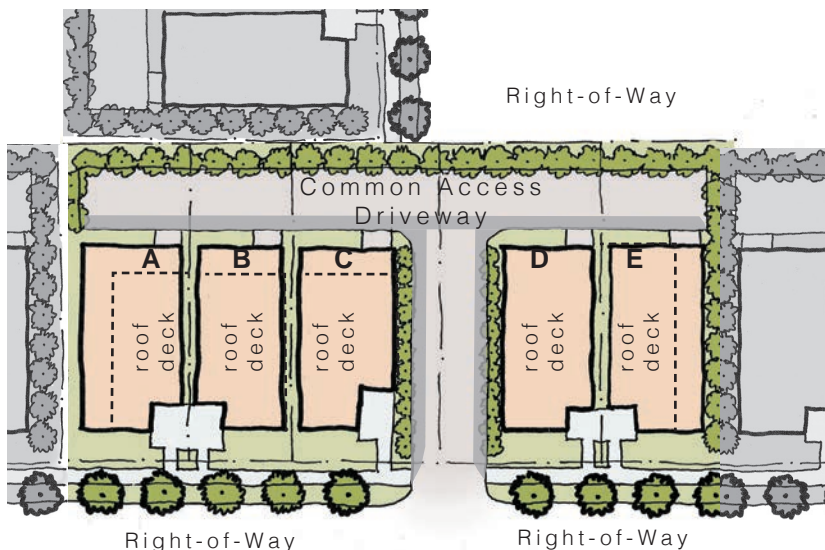
A roof deck is a flat open portion atop a roof, such as a terrace or sundeck, and is the base upon which the entire roofing system is dependent. If a roof deck is located above the maximum permitted building height it shall have an open design with no rooftop structures, as they count towards building height. The setback space between the guardrail and roof perimeter should include buffering or landscaping that does not exceed the maximum allowable height.

- a. All roof decks along the project perimeter and abutting residential uses shall be stepped back a minimum of 5 feet from the roof edge, so that they are oriented away from and screened to prevent direct views of abutting residential neighbors. Roof decks facing a right-of-way are not required to be stepped back.

Note: If rooftop guardrails are located above the maximum permitted building height the applicant will need to request height relief and comply with the requirements for rooftop guardrails specified in the LAMC Section 12.21.1B3(a).



Roof decks facing residential uses stepped back by a minimum of 5 feet provides for greater privacy for all residents.



Small Lot A: Roof deck setback by 5 ft. on the side and rear because home abuts residential uses. No setback in front required because of right-of-way.

Small Lot B: Roof deck setback by 5 ft. on rear only because of abutting residential uses.

Small Lot C: Roof deck setback by 5 ft. on rear only because of abutting residential neighbor.

Small Lot D: No roof deck setback required.

Small Lot E: Roof deck setback on sideyard because of abutting residential uses.

The roof decks for this KTG COVO small lot project are setback from the abutting residential units and face toward the common access driveway.

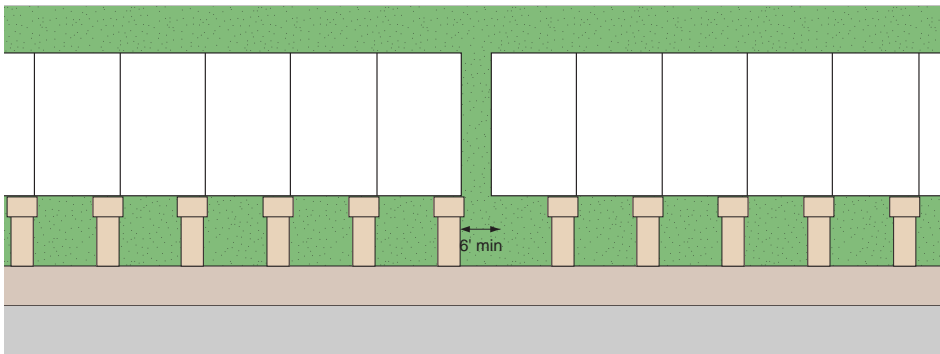
Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

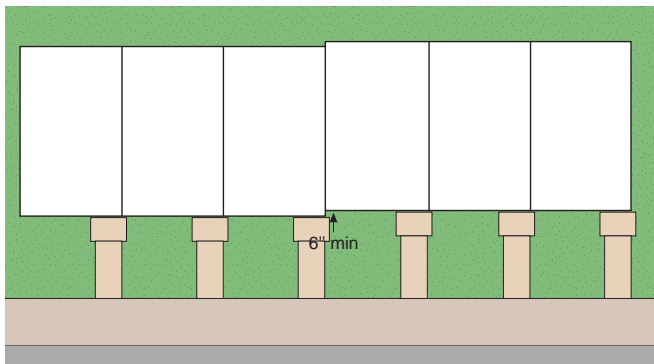
A. BUILDING DESIGN

7. BUILDING MASSING VARIATION

Variation in the building massing and placement creates a greater contrast in the facade and more articulated building edges, which enhances the overall quality of the street by providing visual interest and a pedestrian scale.

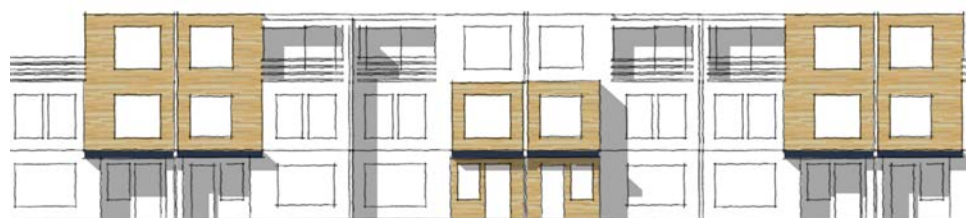


a. Small Lot Homes shall be grouped into clusters to avoid long spans of building wall. Clusters of Small Lot Homes shall be no more than six Small Lot Homes in a single continuous row or 180 linear feet, whichever is smaller. Clusters of Small Lot Homes shall be separated with a building gap of a minimum of 6 feet in width, which shall be treated with a combination of landscaping, open space, and common walkways or driveways.



b. Small Lot Homes in a single row shall provide a lateral shift or break in the façade of a minimum of 6 inches for every three Small Lot Homes or 90 linear feet, whichever is smaller.

c. Small Lot Homes shall be unique in design so that there is variety between Small Lot Homes within a subdivision. For a Small Lot Subdivision containing more than six Small Lot Homes in a single row, there shall be **at least two variations** in building design, such as changes in dwelling orientation, primary entryways, fenestration pattern, façade articulation, or varied roofline as prescribed in Subsections 1-5. For a Small Lot Subdivision of 20 or more Small Lot Homes, there shall be **at least three variations** in building design as stated above.



Small Lot Design Standards

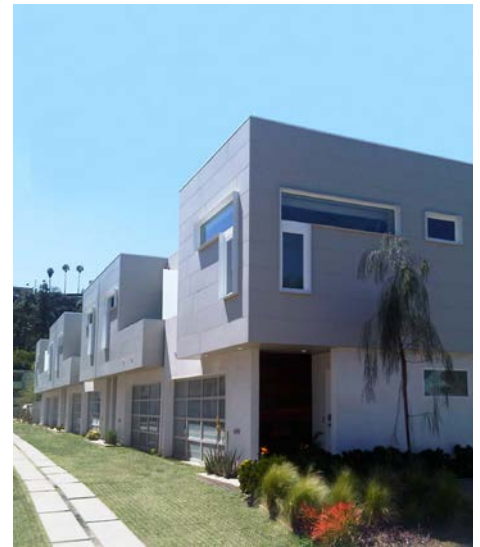
ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

B. PEDESTRIAN CONNECTIVITY AND ACCESS

1. PEDESTRIAN PATHWAYS

Small lot developments should maintain a high-quality public and private living environment, while also accommodating for the automobile. In poor design layouts, parking, driveways, and garages can dominate the landscape, creating conflicts for pedestrians and decreasing the aesthetic quality of the development. Therefore, the small lot development should allow for a pedestrian access path separate from the driveway whenever possible. When the driveway provides pedestrian access to individual dwellings, a distinguishable path should be provided.

- a.** Pedestrian pathways of a minimum width of 3 feet shall be provided from the public rights-of-way to all primary entryways and common areas, such as common open space areas, guest parking, mailboxes, and centralized trash enclosures.
- b.** A pedestrian pathway located within or parallel to a Common Access Driveway shall be constructed and/or treated with a change of materials, finishes, pattern, or paving that distinguishes the pathway from vehicular traffic.
- c.** Small Lot Subdivisions of 20 or more Small Lot Homes shall provide pedestrian and bicycle access to surrounding neighborhood rights-of-way.



Rock Row uses permeable paving to provide a more hospitable pedestrian path along the driveway.



The proposed Parkman Small Lot project integrates pedestrian paths through the center and sides of the site, which allows for a direct connection with the right-of-way.



Pedestrian paths through the center of a project provide both access from parking and common amenity space.

Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

B. PEDESTRIAN CONNECTIVITY AND ACCESS

2. FENCES and WALLS



The Gaspar SLS fences provides a point of entry for each individual home.

Fences and walls facing the public right of way play an important function, since they serve as a bridge between the public and private outdoor spaces, and therefore deserve particular attention.

The Small Lot Ordinance Code Amendment requires that fences and walls within the yard setback areas adjacent to a public right of way, except alleys, and along the perimeter of the proposed subdivision shall be no more than three and one-half feet in height. Fences and walls within the yard setback areas along the perimeter, not adjacent to the public right of way, of the proposed subdivision shall be no more than six feet in height.

- a.** Fences or walls abutting the street or common open space areas shall be decorative, including but not limited to latticework, ornamental fences, screen walls, hedges or dense shrubs or trees. Solid masonry walls along the right-of-way are not permitted.
- b.** Fences or walls abutting the right-of-way and within yard setback area shall provide a point of entry into each lot abutting the right-of-way.



The June Street Collection SLS (left) and the example on the right provide examples of decorative fences facing the public right of way.

Small Lot Design Standards

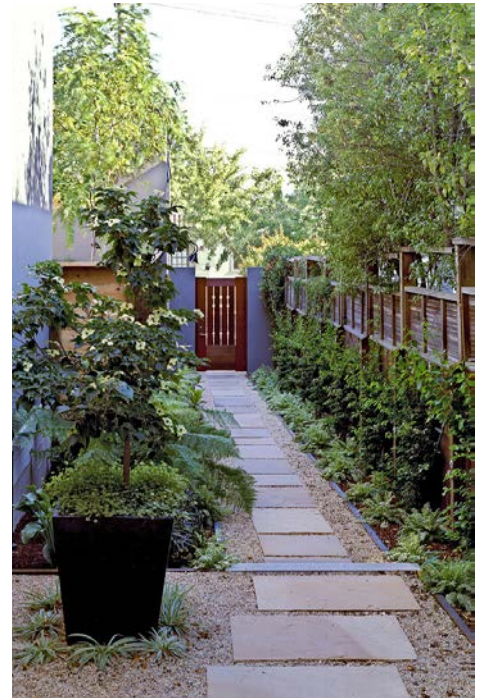
ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

C. LANDSCAPING

1. LANDSCAPING, COMMON OPEN SPACE, AND AMENITIES

Landscaping within small lot development should be visually interesting, sustainable, and relatively easy to maintain. The landscape design should be integrated with the building and the intended use of the space. Ultimately, the landscape should enhance the natural environment of the neighborhood. Open space is encouraged for all small lot communities. Open space, when provided should be usable, safe, and convenient, and should accommodate a wide range of passive, active, or social uses.

- a.** All setback and open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, and common open space areas shall be attractively landscaped and maintained.
- b.** Required Common Open Space Areas must:
 - i.** Be open to the sky and have no structures that project into the common open space area, except as provided in Section 12.22 C.20(b).
 - ii.** Be located at grade level, contiguous or connected, and readily accessible to all residents of the site.
 - iii.** Have a minimum area of 300 sq. ft. with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area. Driveways, parking spaces, or pedestrian pathways cannot be counted toward the open space requirement.
- c.** The combination of required Common Open Space Areas shall be multi-functional and designed to accommodate a range of passive, active, or social uses, with enhancements such as landscaping, activity lawns, swimming pools, spas, picnic tables, benches, children's play areas, ball courts, barbecue areas, sitting areas, decorative bike racks, and/or dog washing stations. Common open space areas may include enhanced side yards and rear yards that meet the minimum area and dimension requirement above.
- d.** All yards of a subdivision abutting the right-of-way shall be improved with landscaping (combination of groundcover, shrubs, and trees) and amenities. Amenities may include: decorative fencing, uncovered patios, enhanced pedestrian pathways, garden walls, seating areas, and/or decorative bike racks.



This side yard with a pedestrian pathway is wide enough to allow for layers of planting and decorative paving.



At grade, common open space with active uses and landscaping.

Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

D. MIXED USE SMALL LOTS

Small Lot Subdivisions may include Small Lot Homes that contain commercial uses at the ground floor (“Mixed Use Small Lot Homes”). Mixed Use Small Lot projects must comply with all other applicable regulations governing the site with regards to parking, signage, access, and FAR limitations specified in the LAMC. The following Design Standards shall be required for any Mixed Use Small Lot Home in addition to the other Design Standards contained in this document.

1. BUILDING ORIENTATION AND ENTRY

- a.** Mixed Use Small Lot Homes shall be first located along the perimeter of the subdivision abutting the right-of-way.
- b.** A Mixed Use Small Lot Home shall provide a separate ground floor entrance to the commercial use, or an identifiable lobby that serves both the residential and commercial uses. The commercial entrance shall be directly accessible from the right-of-way and open during the normal business hours posted by the business.



2. BUILDING DESIGN

- a.** A Mixed Use Small Lot Home shall be designed with an identifiable ground floor commercial component.
- b.** Store entrances shall be recessed, not flush, with the edge of the building façade to articulate the storefront and provide shelter for persons entering and exiting.
- c.** The ground floor commercial use shall be visually separated from upper residential floors, with a façade treatment such as an awning, framing, setback or overhang of at least 18 inches in depth, so as to distinguish the commercial base for the building.
- d.** The storefront of a ground floor non-residential use that fronts a right-of-way shall consist of at least fifty percent transparent windows and doors, unless otherwise prohibited by other sections of the L.A.M.C.
- e.** Signage for the ground floor commercial use shall be located at or adjacent to the ground level, and be located no higher than 14 feet.



Example of a proposed mixed-use Small Lot Development in Eagle Rock by Encore Funds. Individual commercial tenants occupy the ground floor of the single-family homes along a commercial corridor.

Small Lot Design Standards

ILLUSTRATED GUIDE FOR SMALL LOT DESIGN STANDARDS

E. BUNGALOW COURTS AND EXISTING STRUCTURES

Existing bungalow courts and detached single, duplex, or triplex dwelling structures may be subdivided in accordance with the 2018 Small Lot Code Amendment. Existing dwellings and bungalow courts that are nonconforming as to density, yards, or parking may be subdivided provided that the subdivision does not further increase the density nor reduce the yards, and that existing parking be maintained, respectively.

1. Common Access Driveway

Existing Common Access Driveways, pedestrian pathways, and central common open space areas shall be maintained and not reduced in size.

2. Pedestrian Pathway

Pedestrian pathways of a minimum width of 3 feet shall be provided from the public rights-of-way to all primary entryways and common areas, such as centralized trash enclosures, guest parking, and open space easements. If narrower pathways exist, they may be maintained in the same footprint and area and shall not be further reduced in width.

3. Existing Structures

New dwelling construction or additions to a designated or identified historic structure shall be in conformance with the Secretary of the Interior's Standards for Rehabilitation.

4. New Dwellings

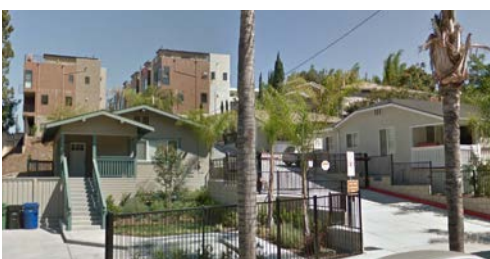
All new dwellings proposed in addition to a Bungalow Court or Existing Structure Small Lot project shall meet the applicable design standards in sections A, B, and C of the Small Lot Design Standards.

5. Landscaping

All open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, or amenity areas shall be attractively landscaped and maintained.



The Morton Village small-lot subdivision consists of 15 newly constructed units at the rear of the property and the remodel of 3 existing bungalows that face the street.



Restoration preserved and enhanced the charm of the original Maltman Bungalows.

