

CITY OF SOUTH PASADENA PLANNING COMMISSION

AGENDA REGULAR MEETING TUESDAY, NOVEMBER 14, 2023 AT 6:30 P.M.

AMEDEE O. "DICK" RICHARDS JR. COUNCIL CHAMBERS 1424 MISSION STREET, SOUTH PASADENA, CA 91030

South Pasadena Planning Commission Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Planning Commission Meeting will be conducted in-person from the Amedee O. "Dick" Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: https://us02web.zoom.us/j/83530439651
 Meeting ID: 8353 043 9651

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in the following methods below.

- Go to the Zoom website, https://Zoom.us/join and enter the Zoom meeting information; or
- Click on the following unique Zoom meeting link: https://us02web.zoom.us/j/83530439651

CALL TO ORDER: Chair Laura Dahl

ROLL CALL: Chair Laura Dahl Vice-Chair Lisa Padilla

Commissioner Amitabh Barthakur

Commissioner John Lesak
Commissioner Arnold Swanborn

COUNCIL LIAISON: Mayor Jon Primuth

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with Commission business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Commissioners of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT GUIDELINES (Public Comments are limited to 3 minutes)

The Planning Commission welcomes public input. If you would like to comment on an agenda item, members of the public may participate by one of the following options:

Option 1:

Participate in-person at the Council Chambers, 1424 Mission Street, South Pasadena.

Option 2:

Participants will be able to "raise their hand" using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to PlanningComments@southpasadenaca.gov. Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Planning Commission meeting.

NOTE: Pursuant to State law, the Planning Commission may not discuss or take action on issues not on the meeting agenda, except that members of the Planning Commission or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT

1. Public Comment - General (Non-Agenda Items)

CONSENT CALENDAR ITEMS

- 2. Minutes from the Regular Meeting of May 11, 2021
- 3. Minutes from the Special Meeting of May 26, 2021
- 4. Minutes from the Regular Meeting of July 13, 2021
- 5. Minutes from the Regular Meeting of August 10, 2021
- 6. Minutes from the Special Meeting of August 25, 2021
- 7. Minutes from the Special Meeting of August 21, 2023
- 8. Minutes from the Special Meeting of August 23, 2023

PUBLIC HEARING

9. Project No. 2565-CUP – A request for a Conditional Use Permit for the on-site sale of beer and wine (Type 41 ABC license) for an existing, bona fide restaurant (Rice & Nori) located at 901 Fair Oaks Avenue, #D (APN: 5315-003-058). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities).

Recommendation:

Staff recommends that the Planning Commission adopt a Resolution taking the following actions:

- 1. Finding the project exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 Existing Facilities.
- 2. Approve Project No. 2565-CUP, subject to the recommended conditions of approval.
- 10. <u>Project No. 2592-CUP</u> A request for a Conditional Use Permit for the on-site sale of beer and wine (Type 41 ABC license) for an existing, bona fide restaurant (Modan Ramen) located at 700 Fair Oaks Avenue, #G-H (APN: 5318-004-024). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities).

Recommendation:

Staff recommends that the Planning Commission adopt a Resolution taking the following actions:

- Finding the project exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 – Existing Facilities.
- 2. Approve Project No. 2592-CUP, subject to the recommended conditions of approval.
- 11. Project No. 2500-HDP/DRX/VAR/PM/TRE The proposed project is for a Hillside Development Permit (HDP) and Design Review Permit (DRX) for the construction of a new 3,214-square-foot, two-story, single-family dwelling along with a Parcel Merger (PM) application of the two existing lots within the Southwest Monterey Hills area, located at 4931 Harriman Avenue (APN: 5312-016-016 & 5312-016-017). The project includes two Variance (VAR) requests: 1) for a side yard setback of five feet in lieu of required seven feet and 5 inches, and 2) for an attached garage in front of the main structure. The project includes a Tree Removal Permit (TRE) for the removal four (4) trees. In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15303, Class 3 (New Construction or Conversion of Small Structures).

Recommendation:

Staff recommends that the Planning Commission adopt a Resolution taking the following actions:

- 1. Finding the project exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15303, Class 3 New Construction or Conversion of Small Structures.
- 2. Approve Project No. 2500-HDP/DRX/VAR/PM/TRE, subject to the recommended conditions of approval.

ADMINISTRATION

- 12. Comments from City Council Liaison
- 13. Comments from Planning Commissioners
- 14. Comments from Staff

ADJOURNMENT

15. <u>Adjourn to the Regular Planning Commission meeting scheduled for</u> December 12, 2023.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Planning Commission meeting agenda packets are available online at the City website: https://www.southpasadenaca.gov/government/boards-commissions/planning-commission-agendas-minutes-copy

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk's Division at (626) 403-7230.

ACCOMMODATIONS

The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

11/8/2023

Date Dean Flores, Senior Planner



CITY OF SOUTH PASADENA Planning Commission Meeting Minutes Tuesday, May 11, 2021, 6:30 PM Via Zoom Teleconference

CALL TO ORDER:

A regular scheduled meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, May 11, 2021 at 6:30 p.m. The meeting was held via Zoom.

ROLL CALL:

Present: Chair: John Lesak

Vice-Chair: Lisa Padilla

Commissioners: Amitabh Barthakur, Janet Braun, and Laura Dahl

City Staff

Present: Andrew Jared, City Attorney

Joanna Hankamer, Planning & Community Development Director

Kanika Kith, Planning Manager Jennifer Williams, Contract Planner

Veronica Ortiz-De Anda, Contract Planner

Council

Present: Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA:

Approved, 5-0.

DISCLOSURE OF SITE VISTS AND EX-PARTE CONTACTS:

Commissioner Dahl, Vice-Chair Padilla, and Chair Lesak visited or drove by 23 Short Way and 1502 Indiana Avenue, Items 1 and 2, respectively, on tonight's agenda.

PUBLIC COMMENT:

Director Hankamer announced that there was one (1) written comment and one (1) audio comment from the same commenter, Anthony Deduces, Director of Policy and Research at Abundant Housing LA, which was played for the Commission. Staff confirmed that the public comment was posted to the City's website.

PUBLIC HEARING:

1. 23 Short Way, Project No. 2309-HDP/DRX/PM/NID/TRP, Hillside Development Permit, Design Review, Parcel Merger, Notice of Intent to Demolish and Tree Permit to demolish an existing single-family home and construction of a new single-family home, the merger of two parcels, and the removal of three (3) trees at 23 Short Way (APN 5312-030-007).

Recommendation:

Approve the project as submitted by staff, subject to the conditions of approval.

Staff Presentation:

Contract Planner Williams presented the project.

Questions for Staff:

The Commissioners inquired about the merger of the two lots, the status of the review of the project by the Fire Department (no conditions from the Fire Department were included with the submittal), the requested approval of the ADU, and the location and handling of an oak tree.

In light of written comments from residents concerning construction traffic and parking, staff was asked to confirm where contractors and crews would park, and how traffic would be organized and managed to minimize the impacts on other residents in that area.

Contract Planner Williams referred to Public Works Conditions of Approval Nos. 9, 10, 11, and 12 which specifically addressed these issues, and Planning Commission Conditions of Approval P-13 related to construction management and road haul routes, off-site construction staging areas, and parking areas where workers or contractors could park.

Chair Lesak asked about the front setback, noted the drawings were incorrect and requested drawings which accurately reflect the setback.

Mayor Mahmud expressed concern about the lack of any Fire Department conditions and asked staff to follow up to confirm there were no concerns.

Public Comments:

Two individual comments were received: one (1) from a neighbor in support, but who raised parking issues during construction, and one (1) from a neighbor in opposition to the project who submitted two (2) emails. The comments were posted to the City's website.

Applicant's Presentation:

Contract Planner Williams played the Applicant's prerecorded presentation.

Applicant's Rebuttal:

The property owner, Pokil Wong, addressed comments from a neighbor who expressed a concern about overdeveloping the site, the square footage of the residence, and the lot size. He provided insight as to why the site was selected.

Questions for Applicant:

Vice-Chair Padilla and the architects discussed the materials chosen and the use of a product for siding unfamiliar to the Commission.

Chair Lesak asked the Applicant about the front setback and the placement of the residence on the lot.

Commissioner Discussion:

Several Commissioners expressed concern about the front setback and how it compared to the setbacks of neighboring homes and buildings. They also noted corrections to the Conditions of Approval – P-1 (four (4) trees to be corrected to three (3)) and Condition 21 (reference to the ADU as a Junior ADU). They also discussed the concerns about the materials chosen that were unfamiliar to them, including their availability and longevity.

Planning Manager Kith confirmed that the project falls under the purview of the existing ADU Ordinance.

The Applicant and homeowner expressed flexibility to using a different material for the siding of the house to address the Commissioners concerns. After a short discussion, the Commissioners determined the Applicant should be allowed to use the materials presented to the Commission.

It was decided to include a condition that if a Fire Department condition substantially changed the design of the project, then the Chair of the Planning Commission shall review and approve the design prior to issuance of the building permit. The Chair will have discretion to review and approve the project or refer it to the Planning Commission.

In addition, the Commissioners, City Attorney and staff agreed that the Applicant should provide water flow tests from the City of South Pasadena Water Department along with its submittal.

Decision:

Commissioner Braun motioned, seconded by Vice-Chair Padilla, to approve Project No. 2309-HDP/DRX/PM/NID/TRP, for a Hillside Permit, Design Review,

Parcel Merger, Notice of Intent to Demolish and Tree Permit to demolish an existing single family home and construction of a new single-family home, the merger of two parcels, and the removal of three (3) trees at 23 Short Way (APN 5312-030-007), subject to adding the Conditions discussed, including compliance with the California Building and Fire Codes and any other requirements that the South Pasadena Fire Department may require to be confirmed by the Planning Department. If any of those new requirements from the Fire Department substantially change the design, then the Chair of the Planning Commission will have discretion to either approve or send the project back to the Planning Commission. Also, adding the same Condition FD-11 from Item 2 on today's agenda about the water flow test as a condition to this project, as well. The Tree Permit is to remove three (3) trees. Also, the Resolution approves the Accessory Dwelling Unit (ADU) that has been proposed as part of this project.

Chair Lesak called for Roll Call.

Commissioner Barthakur Aye Commissioner Dahl Aye Commissioner Braun Aye Vice-Chair Padilla Aye Chair Lesak Aye

Motion carried, 5-0.

2. <u>1502 Indiana Avenue, Project No. 2319-HDP/DRX/VAR, Hillside Development Permit, Design Review, Two Variances, Tree Removal Permit to construct a multi-level single-family home and attached accessory dwelling unit at 1502 Indiana Avenue (APN 5314-006-020).</u>

Recommendation:

Approve the project as submitted by staff, subject to the Conditions of Approval.

Staff Presentation:

Contract Planner Ortiz-De Anda presented the staff report.

Questions for Staff:

The Commissioners inquired about: the floor area ratio (FAR) calculation; the natural space requirement; the Public Works Director's recommendation that the project did not need to be reviewed by the NREC; the designated walk easement; and clarification of the requested variance and how it compared with requests on other projects in the area.

Public Comment:

One (1) public comment which concerned storm drain pipes was received from a property owner who lives in the neighborhood above the project.

Applicant Presentation:

None. However, homeowner Kirk Nakagawa provided a background history of his family in the area and insight as to how the site was selected.

Questions for Applicant:

Chair Lesak asked for clarification of the color of the stone siding and for more detail regarding the railings. He noted the sectional drawings were difficult to read and review.

Discussion:

The Commissioners agreed that revisiting some of the standard variances the Commission had considered previously would be informative.

The Commissioners appreciated that this project had been under review by staff for a long time. Given the issues raised tonight about the natural open space and FAR compliance, they would like to see this project again with more accurate information so that they could make a more informed decision on it. The Commissioners concurred that the drawings were difficult to review and need to be improved and clearer. As this is a design review, the Commission needs to have accurate details, *e.g.*, what the railings are going to be; consistency in windows either being horizontally oriented or vertically oriented, *etc.* Chair Lesak offered to meet with the Applicant.

Planning Manager Kith reported on the variance percentages in the area.

Decision:

Chair Lesak motioned, seconded by Vice-Chair Padilla, to continue this project to a subsequent meeting to give the Applicant time to clean up the information on the drawings, look at the cladding materials, design a proper railing for above the garage and the stairs, and further study some of the architectural details, such as the soffits, to June 8th, the next regular meeting.

Chair Lesak called for Roll Call:

Commissioner Barthakur Aye Commissioner Dahl Aye Commissioner Braun Aye Vice-Chair Padilla Aye Chair Lesak Aye Motion carried, 5-0.

3. 89 Monterey Road, Project No. 2197-HDP/DR/VAR, Hillside Development Permit, Design Review and Variance to construct a new single-family detached home located at 89 Monterey Road (APN 5312-031-027).

Recommendation:

Staff recommends to continue this item to the Regular Planning Commission meeting of June 8, 2021.

Decision:

Chair Lesak motioned, seconded by Commissioner Braun, to continue this item to the June 8th meeting.

Chair Lesak called for Roll Call:

Commissioner Barthakur Aye Commissioner Dahl Aye Commissioner Braun Aye Vice-Chair Padilla Aye Chair Lesak Aye

Motion carried, 5-0.

<u>ADMINISTRATION</u>

4. Comments from City Council Liaison:

Council Liaison Mahmud thanked the Commission for all their hard work and dedication.

5. Comments from Planning Commissioners:

Vice-Chair Padilla remarked on the hillside variance topic and would encourage whoever studies it to evaluate the outcome of the projects.

Chair Lesak reported that he attended the Planning Commissioner Academy hosted by the League of California Cities. He would definitely encourage attendance in future years because it was content rich and enlightening.

6. Comments from Staff:

Director Hankamer thanked the Commission for being available on March 26th for the update of the Housing Element. She reminded everyone that on April 21st, City Council had second readings of the Inclusionary Housing Ordinance (IHO) and the ADU Ordinance. She congratulated and thanked the Commission for their input and the City Council for their approval. The IHO is in effect right now due to an

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Urgency Ordinance. The ADU Ordinance will go into effect on May 21st. She also reported that an RFP was distributed yesterday for the In-Lieu Fee study for the IHO. Proposals should be received within the next few weeks and a consultant should be on board by June to help determine what the In-Lieu Fee should be. She added that there is discussion of City Hall opening soon by appointment in some cases and discussion about in-person public meetings returning in the near future.

ADJOURNMENT:

7.	Adjournment to	<u>the Spe</u>	<u>:cial Plan</u>	<u>ning Comn</u>	<u>nission r</u>	<u>meeting s</u>	scheduled	on
	May 26, 2021:							

There being no	further matters.	Chair Les	ak adiourne	d the meeti	ng at 9:00	p.m.

John Lesak, Chair



CITY OF SOUTH PASADENA Planning Commission Meeting Minutes Wednesday, May 26, 2021, 6:30 PM Via Zoom Teleconference

CALL TO ORDER:

A special meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Wednesday, May 26, 2021 at 6:31 p.m. The meeting was held via Zoom.

ROLL CALL:

Present: Chair: John Lesak

Vice-Chair: Lisa Padilla

Commissioners: Amitabh Barthakur, Janet Braun and Laura Dahl

City Staff

Present: Andrew Jared, Assistant City Attorney

Joanna Hankamer, Planning & Community Development Director

Kanika Kith, Planning Manager

Margaret Lin, Long Range Planning Manager Elizabeth Bar-El, Principal Management Analyst

Council

Present: Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA:

Approved, 5-0.

DISCLOSURE OF SITE VISTS AND EX-PARTE CONTACTS:

None.

PUBLIC HEARING:

1. <u>Study Session: Progress on the 2021-2029 Housing Element and General Plan/Downtown Specific Plan Update</u>.

Staff Presentation:

Director Hankamer introduced the project – General Plan/Downtown Specific Plan Update & 2021-2029 Housing Element. LRP Manager Lin, Principal Management

Analyst Bar-El and Consultants Jonathan Nettler and Amy Sinsheimer from PlaceWorks participated in the presentation.

Public Comment

Staff received one (1) written comment and one (1) verbal comment, both from Josh Albrektson, which was played for the Commissioners.

Questions for Staff:

Commissioner Braun asked staff for their reaction to the public comment.

Commissioner Barthakur inquired about affordable housing units.

Commissioner Padilla asked about the lower income inventory and the affordable housing overlay and if there was a map reflecting the overlay. Director Hankamer explained that the overlay was a tool used for rezoning. She remarked that it was a strategy to explore high density and medium density residential properties not necessarily in the downtown area. She noted that a map is in development.

Commissioner Dahl reminded the Commissioners they had received a letter in their last Planning Commission packet that included a lengthy general comment very specific to the discussion tonight.

Vice-Chair Padilla asked about the scoping meeting and would there be a summary of the comments. Jillian Neary from Psomas responded that it had been a Zoom meeting and the presentation was recorded. The comments could easily be summarized and emailed to the Commissioners.

Commissioner Discussion:

The Commissioners reviewed and discussed the *Planning Commission Discussion Questions* slide in the presentation, including City-owned property, Affordable Housing Programs, church sites supporting affordable housing units, higher densities and possibly conducting a tour or site visits as a Commission.

They also considered ADU strategies and incentives and suggested a possible program for homeowners – such as a pre-permit ultra-high interest/commitment to an ADU. A separate suggestion was to consider a structure for applicants to pay more for expediting service.

The Commissioners were supportive of the overlay strategy (with enough clusters of parcels for the overly to make sense) and would not automatically rule out all historic sites. They discussed increased densities in the downtown and Ostrich Farm areas, and the possibility of having a minimum density. The PlaceWorks consultant commented that a minimum density proposal was part of the draft plan submitted to HCD.

The Commissioners discussed calibrating affordable housing production in terms of density against inclusionary housing or the state density bonus or other incentives related to affordable housing that already exist.

The Commissioners expressed concern about staff capacity to process all of these programs. A suggestion was made to consider having a housing department or housing staff dedicated to producing housing and affordable housing.

They also spoke about residential demolitions, a reminder to keep the balance of what is allowed to be demolished and the scope of the environmental impact.

The Commissioners all felt the history and context of the presentation and packet information were considerable, informative and well done.

ADMINISTRATION

2. Comments from City Council Liaison:

Council Liaison Mahmud spoke about staffing challenges. She expressed concern about staff burnout. With the passage of Measure A, City Council will be able to augment the staff once budget stability has been determined. She remarked that a more aggressive publicity of the ADU Amnesty Program would be beneficial. She inquired if HCD acknowledged in anyway the challenge the City is facing with the huge 3000 plus percentage increase in the number of units assigned pursuant to the RHNA analysis, particularly given that the City is only three and a half square miles where we do not have very much open space.

3. Comments from Planning Commissioners:

Commissioner Dahl stated that she was available and supportive of an additional meeting in June or whenever.

Commissioner Braun thanked Director Hankamer and staff for all the great work they are doing.

Commissioner Barthakur echoed thanks for the great work. The study sessions are informative and the materials will help the public as well. He echoed the offer of willing to meet an additional time to delve into the details.

Vice-Chair Padilla echoed her fellow Commissioners and thanked everyone.

Chair Lesak reiterated that the presentation was excellent and it was impressive how they condensed a lot of information into a relatively short amount of slides. He also appreciated staff and consultants having the informational meeting with HCD. He thought it was a good strategy and appreciated the effort. He appreciated the slide on senior housing. Supportive housing for disabled people is also something that is important to many residents in town.

4. Comments from Staff:

Director Hankamer appreciated tonight's comments. She will forward an email to check on availability for a subsequent meeting. She was happy the Commissioners have the staff report and the attachments to dig into a little bit deeper. She announced that staff had posted the presentation online.

Assistant City Attorney Jared explained there are two ways to have a walking tour or field trip visit consistent with the Brown Act. It requires posting where you are going to go, actually showing up and essentially reconvening a meeting at a specific spot at a specific time. He recommended against traveling together from site to site (as in a quorum) because that travel time together, three or more in a car or van, creates its own sort of mini meeting that could occur. If going to a site, go in pairs or individually. Alternatively, as with most Planning Commission meetings, there are site visits that individuals take and then just report on them and discuss your findings.

ADJOURNMENT:

5. Adjournment to the Regular Planning Commission meeting scheduled on June 8, 2021:

There being no further matters, Chair Lesak adjourned the meeting at 9:30 p.m.



CITY OF SOUTH PASADENA Planning Commission Meeting Minutes Tuesday, July 13, 2021, 6:30 PM

Via In-Person Hybrid Meeting

CALL TO ORDER

A regular meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, July 13, 2021 at 6:30 p.m. The meeting was held via in-person hybrid.

ROLL CALL

Chair John Lesak Vice-Chair: Lisa Padilla

Commissioners: Amitabh Barthakur, Janet Braun, and Laura Dahl

STAFF PRESENT:

Andrew L. Jared, Assistant City Attorney
Joanna Hankamer, Planning & Community Dev. Director
Kanika Kith, Planning Manager
Malinda Lim, Associate Planner
Elizabeth Bar-El, AICP, Interim Manager of Long Range Planning
Jeff Anderson, Contract Planner

COUNCIL

Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA

Chair Lesak made a motion to adopt the agenda as submitted by staff. Commissioner Braun seconded the motion

Motion carried, 5-0

DISCLOSURE OF SITE VISTS AND EX-PARTE CONTACTS

Chair Lesak visited the site and received two emails. Commissioner dahl visited the site. Vice-Chair Padilla visited the site.

PUBLIC COMMENT:

None.

PUBLIC HEARING:

1. 89 Monterey Rd. Project No. 2197-HDP/DRX/VAR – Hillside Development Permit, Design Review and Variance to allow the construction of a 2.317 sq. ft. single-family resident and a detached garage. (Continue)

Recommendation

Continue to July 22, 2021 Planning Commission meeting.

Motion:

Chair Lesak motioned to move this item to the July 22, 2021 special meeting of the Planning Commission.

Commissioner Braun seconded.

Motion carried, 5-0

2. 1818 Peterson Ave. Project No. 2237 – HDP/DRX/VAR/TRP – Hillside Development Permit, Design Review, Variance and Tree Removal Permit to allow the construction of a 1,219 sq. ft single-family residence, a 2 car garage on a 3,740 sq. ft. vacant lot, a variance to reduce the front and side yard setbacks and a tree permit for the removal of trees. (Continue)

Recommendation:

Continue to the July 22, 2021 meeting Planning Commission meeting.

Motion:

Chair Lesak motioned to move this item to the July 22, 2021 special meeting of the Planning Commission.

Commissioner Braun seconded.

Motion carried, 5-0

3. 521 and 523 Mission St. Project No. 2396-CUP/MOD – Conditional Use Permit and an Administrative Modification to allow the sale of beer produced onsite at a microbrewery and for an 8 ft. wall along the west property line in front of the lot.

Staff Presentation:

Contract planner Anderson presented the project.

Staff recommendation:

Approve the CUP and an administrative modification for the construction of an 8 ft. wall along the west property line.

Condition prohibiting amplified sound and require one employee to live on the property.

Questions for Staff:

Commissioner Dahl asked if the microbrewery would be allowed without a live-in employee. Contract Planner Anderson replied the microbrewery is allowed within the Mission Street Specific Plan. Commissioner Dahl asked if the owner had to be the live-in employee. Contract Planner Anderson replied someone who works there has to live on the premises.

Vice-Chair Padilla confirmed there were 61 total seated guests, and asked how that related to occupancy. Contract Planner Anderson replied that inside they are limited by building code, outside they aren't limited by building which is why there is a condition to limit it to 16. Vice-Chair Padilla asked for an explanation of the ban on amplified sound. Contract Planner Anderson replied that the condition was to prevent loud music from being played out of the front of the shop.

Assistant City Attorney Jared clarified that the applicant asked for 45 seated occupants, but building code allows for more standing occupants.

Commissioner Braun asked what the zoning on the project and its neighbors were. Contract Planner Anderson replied it was all Mission Street Specific Plan zoning. Commissioner Braun asked what the parking situation was for the Mission Street, and for food trucks. Director Hankamer replied that food rucks have to have a business license and obey other parking permits.

Commissioner Dahl asked about the wall's adjacency to a historic resource. Assistant City Attorney Jared replied that it would be covered by CHC, but the commission could comment on it.

Applicant Presentation:

Owner Steve Martin presented. Mentioned he is married to Planning Manager Kanika Kith.

Questions for Applicant:

Vice-Chair Padilla asked how the outside space would be monitored. Applicant Martin replied it would depend on the situation, but if people were outside, an employee would be there to supervise.

Chair Lesak asked the applicant if he had looked at the building code. Applicant Martin said he calculated 32 inside, 16 outside, which is less than the estimated. Chair Lesak asked if currently the applicant parked in the back. Applicant Martin confirmed he did.

Commissioner Braun asked what time the brewing would take place. Applicant Martin replied it could happen at any time since it was noiseless. The only noise is the grinding of the grain. Chair Braun asked how the raw materials would be delivered. Applicant Martin replied that at the most it would take a few deliveries.

Public Comment:

Suzanne Endicott expressed concerns about bringing alcohol, food trucks, noises and rowdy customers to a residential neighborhood. Strongly opposed.

Ray Endicott expressed concerns about the increased traffic and alcohol. Strongly opposed.

Dale Pelch, an attorney for the neighbors of the project, brought up concerns with the legality of the zoning.

Shelly Stevens expressed suspicion given how fast the applicant was processed, given that the applicant's wife is the City Planning Manager. Doubted the traffic study, noise levels,

David Plenn expressed concern about the noise levels of the project.

Eric Ostby expressed concern about disrupting the neighborhood and alcohol and smokers next to his home and kids.

Carolina Santoro Blengini expressed concern about the distress and disturbance to the neighbors. She would not feel comfortable playing with her daughter on her lawn.

Fernanda Opperman expressed concern that the brewery would create an environment that would make it hard for her kids to play outside.

Commenter expressed concern about disruption to the neighbors.

Taylor Plan expressed concern about the feasibility of the business and did not feel that he would ever go to a brewery in a residential area. Suggested they open in one of the open lots in the downtown area.

Commenter expressed suspicion about a conflict of interest that led to the zoning being changed, and the location of a brewery in a residential area.

Christina Vaugh thought that the small business was charming and supported it.

Odom Stamps supported the project, he felt it fits in with the General Plan for mixed use projects.

Stephanie Williams supported the project, she felt that it complied with the mixeduse zoning of the Mission Street Plan.

Vance Sanders expressed strong opposition to having a bar open next to a family's house.

Commenter expressed strong opposition to opening a bar next to a family's house. Brought up the perceived "ugliness" of the current property that was owned by a planner. Thought it contradictory.

Commenter expressed support for the project, citing the mixed use zoning.

Taylor expressed suspicious of corruption due to one of the owners being a Planner. Mentioned none of the supporters lived nearby.

Carol Yeager opposed the opening of a beer bar in a family neighborhood.

William Fiala brought up the impact of the bar on the neighbors. Brought up suspicion of conflicts of interest due to an owner being a City Planner.

Michael Ramirez expressed concern about bringing a bar into a residential neighborhood.

Commenter expressed support

Josh Albrektson expressed support, he felt that it brings liveliness to a quiet commercial district.

William Fiala expressed concern about parking, food trucks and additional noise to neighbors.

Commenter expressed concern about having a brewery next to a home with two small kids. Brought up concerns of favoritism/corruption.

Applicant Rebuttal:

Applicant Martin brought up the concept of off-sale, expressed a lack of constructive criticism from neighbors. Applicant Martin mentioned that it took an exemption to put residents in the area. Applicant Martin's noise study found that the wall reduced sound by 8 decibels.

Vice-Chair Padilla asked the applicant if the chemicals used fell under the health department. Applicant Martin thought it fell under public health.

Commissioner Braun asked if there were any ordinances that would control the business hours in the area. Director Hankamer replied that there are requirements for extra hours of a CUP.

Assistant City Attorney Jared addressed the legality issues brought up by commenters. Clarified there is no requirement that food be served. Told the commission that they need to find evidence to back each of the 6 findings Staff has given to approve the project, same with the wall. Clarified that the zoning was not changed, the Director's interpretation of cottage industry was changed. Reminded commission that South Pasadena has an ordinance that does not allow smoking inside the building or on the sidewalk.

Chair Lesak asked if the municipal code only allowed for on-site sale. Assistant City Attorney Jared confirmed that.

Commissioner Dahl asked if there was a land-use in the zoning code that allowed for sale off-site. Assistant City Attorney Jared clarified it was allowed in the BP zone.

Vice-Chair Padilla asked what the 8 ft. wall was based on, and how high it was in comparison to the neighbor's property. Applicant's Architect Mark replied it was based on the patio and the idea of the wall was to provide mass to block sound. Vice-Chair Padilla asked what the height on the neighbor's side was. Architect Mark replied it was also 8 ft.

Chair Lesak asked if the wall was started further back from the sidewalk would the dampening be lessened. Applicant Martin added that the wall was also for privacy.

Commissioner Discussion:

Commissioner Dahl felt that the project was not in the spirit of cottage industry but fit the description of microbrewery.

Vice-Chair Padilla was comfortable with the Director's interpretation.

Commissioner Braun felt that since under cottage industry a welding business would be eligible, a microbrewery was not out of scope.

Chair Lesak asked if hours could be restricted to reduce noise to the neighborhood. Commissioner Braun thanked everyone for the public participation and wished the procedural complaints be put aside. Commissioner Braun brought up no outdoor patio, no wall, and reduced hours as ways to satisfy everyone.

Vice-Chair Padilla brought up that the applicant had suggested no on-site drinking and wondered if that was a solution. Discussed limited outdoor hours, limiting days, and lower occupancy. Mentioned that the parking issues were a community-wide issue.

Commissioner Dahl did not feel that finding 3 could be made and asked the applicant for suggestions given the commission's comment.

Chair Lesak brought up the whole point of the Mission Street plan was to preserve historic resources. Chair Lesak thought that finding 3 was the hardest to justify and his personal inclination was to limit hours and peak number of people. Felt that there was a consensus to deny the project. Assistant City Attorney Jared recommended the commission no prejudice deny the project and allow the applicant to come back with a project 2.0 given the comments heard.

Commissioner Dahl thought that customers would often bring the alcohol off-site. Chair Lesak asked how the city could limit food trucks without an ordinance.

Commissioner Braun asked what the difference between denying and continuing. Assistant City Attorney Jared replied that it would be a difference in administrative record if and when there is litigation. Director Hankamer added that much of the concern was not limited to the project. Commissioner Braun thought that a neighbor might want their concerns heard before the project was re-submitted. Vice-Chair Padilla requested to go through each finding.

Chair Lesak read the first finding. Commissioner Braun, Commissioner Dahl, Vice-Chair Padilla and Chair Lesak: Yes

Chair Lesak read the second finding. Commissioner Braun, Commissioner Dahl, Vice-Chair Padilla and Chair Lesak: Yes

Chair Lesak read the third finding. Commissioner Braun, Commissioner Dahl, Vice-Chair Padilla and Chair Lesak: No

Chair Lesak read the fourth finding. Commissioner Braun, Commissioner Dahl, Vice-Chair Padilla and Chair Lesak: Yes

Chair Lesak read the fifth finding. Commissioner Braun, Commissioner Dahl, Vice-Chair Padilla and Chair Lesak: Yes

Chair Lesak read the sixth finding. Commissioner Braun, Vice-Chair Padilla: Yes. Commissioner Dahl, Chair Lesak: No

Chair Lesak denied finding 6 due to the wall being part of the project.

Commissioner Braun voted yes on the wall. Vice-Chair Padilla, Chair Lesak and Commissioner Dahl voted no.

Chair Lesak read the second section: Commissioner Braun, Commissioner Dahl, Vice-Chair Padilla and Chair Lesak: Yes.

Chair Lesak read the third section: Commissioner Braun, Commissioner Dahl, Vice-Chair Padilla: Yes. Chair Lesak: No.

Motion:

Chair Lesak motioned to deny the application.

Motion carried, 5-0

ADMINISTRATION

4. Comments from City Council Liaison

Mayor Mahmud thanked the commission and added she would not be there for the next meeting.

5. Comments from Commissioners

Chair Lesak thought that it would take some time to get used to the in-person meetings.

Vice-Chair Padilla thanked staff.

Commissioner Braun thanked Director Hankamer.

6. Comments from Staff

Director Hankamer updated the commission that due to turn-over the draft would be delayed but they have contract staff in place. More community outreach will be done.

ADJOURNMENT

<u>7.</u> Adjournment to the Planning Commission meeting scheduled on July 22, 2021.

There being no further matters.	Chair Lesak ad	ligurned the meetir	na at 10	1.05 n m
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John Lesak, Chair	



CITY OF SOUTH PASADENA Planning Commission Meeting Minutes Tuesday, August 10, 2021, 6:30 PM

Via In-Person Hybrid Meeting

CALL TO ORDER

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, August 10, 2021 at 6:30 p.m. The meeting was held via in-person hybrid.

ROLL CALL

Chair John Lesak Vice-Chair: Lisa Padilla

Commissioners: Amitabh Barthakur, Janet Braun, and Laura Dahl

STAFF PRESENT:

Andrew L. Jared, Assistant City Attorney
Joanna Hankamer, Planning & Community Dev. Director
Kanika Kith, Planning Manager
Malinda Lim, Associate Planner
Elizabeth Bar-El, AICP, Interim Manager of Long Range Planning

COUNCIL

Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA

Chair Lesak made a motion to adopt the agenda as submitted by staff. Commissioner Braun seconded the motion

Motion carried, 5-0

DISCLOSURE OF SITE VISTS AND EX-PARTE CONTACTS

None

PUBLIC COMMENT:

None

PUBLIC HEARING:

1. 521 and 523 Mission St. Project No. 2396-CUP/MOD – Conditional Use Permit and an Administrative Modification to allow the sale of beer produced onsite at a microbrewery and for an 8 ft. wall along the west property line in front of the lot.

Recommendation

Adopt resolution denying Project No. 2396-CUP/AMOD, without prejudice, based on Commission action taken on July 13, 2021.

Motion:

Commissioner Braun moved to deny the project without prejudice.

Vice-Chair Padilla seconded.

Motion carried, 5-0

2. Study Session: Update on the Pending Release of the 2021-2029 Public Review Draft Housing Element and Overview of Key Strategies

Recommendation:

- 1. Receive and file the report, which provides an overview of the 2021-2029 Housing Element Public Review Draft, which is soon to be released.
- 2. Provide feedback and whether the Commission is generally supportive of the density proposals and policy strategies described below and included in the Public Review Draft to be released later this month; and
- 3. Provide direction regarding the public outreach to accompany the release of the Public Review Draft.

Staff Presentation:

Manager Lin presented the Housing Element.

Questions for Staff:

Discussion on the timeline of the plans. The Housing Element was identified as having the most immediate deadline. HCD had to approve the Housing Element but the Commission and Staff could work on problems in the interim while waiting for HCD to send the Element back.

Director Hankamer clarified that the central issue was to increase the density code for the commercial and downtown areas, as well as ADUs.

Public Comment:

Commenter expressed concern about viability of Housing Element.

Commissioner Discussion:

Commissioner Braun asked how other cities are handling things. Director Hankamer replied that other cities are frustrated and behind as well. Commissioner Braun asked if PlaceWorks is involved in the drafting process. Director Hankamer replied they were working closely with PlaceWorks. Added that HCD responses will be mainly about the suitable sites and will need more information.

Commissioner Barthakur thought that the City could still attract 100% affordable developers on City owned sites. Commissioner Barthakur asked how the City was presenting the affordable vs. non-affordable breakdown. Director Hankamer replied that HCD set the guidelines but in the interest of encouraging development the rate was no more than 50%.

Chair Lesak asked to start with the site inventory. Commissioner Braun asked what the areas of focus were. Director Hankamer replied it was the Ostrich Farm, Huntington Corridor, Monterey Road and the downtown.

Vice-Chair Padilla thought that if HCD was going to reject so many sites the City would have little choice in where the housing was built, and something should be changed. Chair Lesak added that the majority of the units are on occupied sites. Chair Lesak asked if HCD knew that the city was going to upzone residential areas. Director Hankamer replied that since the sites were under half an acre they weren't eligible unless the owner expresses intent to upzone, however it could help the narrative.

Director Hankamer mentioned that the ADU interest was an upward trend so the current estimates are very conservative. Chair Lesak asked what other cities were doing. Director Hankamer thought every city was negotiating with HCD over ADUs. Commissioner Braun asked if zoning changes had to be done before submitting

sites to HCD. Director Hankamer replied the city didn't, they just had to declare intent.

Commissioner Barthakur asked about other church properties. Director Hankamer replied it was just the one church that approached the city.

Director Hankamer made a correction to the slides, everything on Fair Oaks should be 60 per acre except for Vons which is 70.

Vice-Chair Padilla suggested choosing some examples in terms of massing per acre when community outreach is done, since numbers are very abstract.

Commissioner Dahl asked about the specific density on certain sites. Director Hankamer replied that staff created densities based on areas, such as Fair Oaks vs. Mission.

Commissioner Barthakur thought that on the larger sites it would be easier to change height, massing and have a greater density.

Multiples commissioners suggested contacting the Oneonta Church and other religious organizations. Staff will write a letter to the churches. Commissioner Braun asked if the YMCA had been approached.

Manager Lin asked the commission to look at the City sites. Director Hankamer updated the commission that HCD pushed back on the designation of City Hall, but the City was looking at a site across from the power plant on the edge of South Pas. Chair Lesak asked about the parking lot. Director Hankamer replied it wasn't a half-acre. Commissioner Braun asked if there was any pressure to consider the Arroyo Park space. Director Hankamer replied that there was strong community pushback. Commissioner Braun asked what the plan B was if the current plan failed. Chair Lesak's personal preference was to preserve downtown and look at alternative sites. Chair Lesak suggested the War Memorial site. Director Hankamer replied it had been looked at, but was taken off the list.

Vice-Chair Padilla asked how many units the amnesty program would give. Director Hankamer did not know. Commissioner Braun liked the ADUs as a way of spreading the housing around. Chair Lesak asked if the outreach for the amnesty program is Multi-lingual. Director Hankamer replied there was not. Chair Lesak suggested that they add multi-lingual outreach and do outreach at school events.

Commissioner Braun added that the City should be prepared to field questions about the Caltrans properties.

Commission discussed the best ways to conduct community outreach. Vice-Chair Padilla suggested a joint Planning Commission and City Council meeting. Mayor Mahmud updated the commission on additional city council workshops. Commissioner Braun suggested that the City enlist community groups in outreach meetings. Commissioner Dahl added that there needs to be more specificity in the public noticing.

Motion:

Chair Lesak closed this item.

ADMINISTRATION

3. Comments from City Council Liaison

Mayor Mahmud thought that there should be more press coverage of the Housing Element. Mayor Mahmud also requested the presentation be added in advance so constituents can read up on the issue ahead of time. Mayor Mahmud thanked Director Hankamer for her work and wished her the best.

4. Comments from Commissioners

The Commissioners all thanked Director Hankamer for her work and wished her the best.

5. Comments from Staff

Director Hankamer thanked the commission and said goodbye as she leaves for a new job in Seattle. Updated the commission that Planning Manager Kith will also be leaving the City. Mayor Mahmud brought up the 3 major housing projects that had been approved under Director Hankamer.

<u>ADJOURNMENT</u>

<u>6.</u> Adjournment to the Special Planning Commission meeting scheduled on August 25, 2021.

There being no further matters, Chair Lesak adjourned the meeting at 9:09 p.m.

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CITY OF SOUTH PASADENA Planning Commission Meeting Minutes Wednesday, August 25, 2021, 4:00 PM

Via In-Person Hybrid Meeting

CALL TO ORDER

A special meeting of the South Pasadena Planning Commission was called to order by Vice-Chair Padilla on Wednesday, August 25, 2021 at 4:00 p.m. The meeting was held via in-person hybrid.

ROLL CALL

Vice-Chair: Lisa Padilla

Commissioners: Amitabh Barthakur, Laura Dahl

STAFF PRESENT:

Andrew L. Jared, Assistant City Attorney
Margaret Lin, Acting Planning & Community Dev. Director
Malinda Lim, Associate Planner

COUNCIL

Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA

Motion carried, 3-0

DISCLOSURE OF SITE VISTS AND EX-PARTE CONTACTS

None

PUBLIC COMMENT:

None

PUBLIC HEARING:

1. 1818 Peterson Avenue, Project No. 2380-HDP/DRX/VAR/ADU/TRP- Hillside Development Permit, Design Review, Variances, Accessory Dwelling Unit,

and Tree Permit to allow the construction of a 1,231-square-foot, multi-level single-family home with a 504-square-foot ground floor garage (of which 4 feet is attributed to the living area) and an attached 495-square-foot JADU on a vacant 3,740-square-foot lot. The variances include a reduction of the site to be remediated to its natural slope and vegetation, reduction in the front setback, and to allow retaining walls to exceed 6 feet in height. The Tree Removal Permit is for the removal of 8 trees.

As two commissioners were absent and Commissioner Dahl's residence is within 1,000 ft. of the subject property, the commission is unable to establish a quorum.

Motion:

Vice-Chair Padilla moved this item to the regularly scheduled Planning Commission meeting on September 14, 2021.

2. Zoning Code Amendment to Section 36.230.030 regarding Commercial District Land Uses and Permit Requirements; section 36.395.020 regarding exempt developments from the public art program; and section 4.3 of the Mission Street Specific Plan regarding permit requirements.

Recommendation:

Adopt a resolution recommending that the City Council adopt the proposed Zoning Code amendment ordinance.

Staff Presentation:

Manager Lin presented the proposed Amendment.

Questions for Staff:

Commissioner Dahl asked what the procedure for an administrative use permit. Director Lin replied it was the same as a CUP except it went directly to the director, and the AUP is half the cost. Commissioner Dahl asked how a concerned resident would voice their concerns over the AUP. Director Lin replied the resident could talk to the Director and could request the project be looked at by the Planning Commission. Commissioner Dahl asked if there was a way to appeal the Director's decision. Director Lin replied it would be brought before PC. Commissioner Dahl asked what the time difference was. Director Lin estimated it was 3 months. Commissioner Barthakur asked why the threshold was 3,000 sq. ft. Director Lin replied that it was the average of other cities.

Vice-Chair Padilla asked about deleted changes. Director Lin replied those were unnecessary.

Mayor Mahmud asked if the section which required a restaurant with outdoor dining to use an AUP was for restaurants with only outdoor dining. Director Lin confirmed that. Mayor Mahmud suggested the wording be revised to be clearer.

Commissioner Barthakur asked if there are any current AUP users. Director Lin replied that the libraries, grocery stores, and personal services all require an AUP. Commissioner Barthakur clarified that the concern with an AUP is limited resident outreach. Director Lin clarified that.

Public Comment:

None

Commissioner Discussion:

Vice-Chair Padilla thought that the difference in cost and time was significant and would be helpful for small businesses.

Commissioner Dahl agreed, and thought anything that allows businesses to open faster was a positive.

Motion:

Commissioner Dahl motioned to adopt a resolution recommending the City Council to adopt the Zoning Code Amendment.

Commissioner Barthakur seconded.

Motion carried, 3-0.

ADMINISTRATION

3. Comments from City Council Liaison

Mayor Mahmud thanked the commission and notified the commission of a Yoga studio that wanted to open on Mission Street but was unable to, as an example of how this amendment would help businesses. Mayor Mahmud also shared a suggestion that a resident noticed irregularities among mailbox placement in her district.

4. Comments from Commissioners

Commissioner Barthakur let the commission know of a series of housing element clinics that other cities were participating in if South Pasadena was interested.

5. Comments from Staff

Director Lin notified that commission that due to delays, the Housing Element Draft will be released in September.

ADJOURNMENT

<u>6.</u> Adjournment to the Planning Commission meeting scheduled on September 14, 2021.

There being no further matters, Vice-Chair Padilla adjourned the meeting.

John Lesak, Chair	



CITY OF SOUTH PASADENA Planning Commission Meeting Minutes Monday, August 21, 2023, 6:30 PM Amedee O. "Dick" Richards Jr. Council Chambers 1424 Mission Street, South Pasadena, CA 91030

CALL TO ORDER:

A Special Meeting of the South Pasadena Planning Commission was called to order by Chair Dahl on Monday, August 21, 2023 at 6:34 p.m. The meeting was held at 1424 Mission Street, South Pasadena and via Zoom teleconference.

ROLL CALL:

Present: Chair: Laura Dahl

Vice-Chair: Lisa Padilla

Commissioners: Arnold Swanborn, Amitabh Barthakur and John Lesak

City Staff

Present: David Snow, Assistant City Attorney

Angelica Frausto-Lupo, Community Development Director Alison Becker, Community Development Deputy Director

Matt Chang, Planning Manager Ben Jarvis, Interim Senior Planner Dean Flores, Senior Planner

Council

Present: Council Liaison: Jon Primuth, Mayor

APPROVAL OF AGENDA:

Approved, 5-0.

DISCLOSURE OF SITE VISTS AND EX-PARTE CONTACTS:

Commissioners Swanborn and Lesak participated on an Ad Hoc Committee for Item 3. Commissioner Barthakur disclosed that his firm was involved in the economic development portion of an earlier iteration of the General Plan and he has received a number of emails. Vice-Chair Padilla has spoken with several members of the community.

PUBLIC COMMENT:

1. Public Comment.

Chair Dahl reported the Commission had received many written comments via email and letters.

Jennifer Trotoux, 2010 Oxley Street, President of the South Pasadena Preservation Foundation (SPPF), inquired about which properties were considered historic resources. The SPPF respectfully requested a formal opinion from the City Attorney on the applicability of the SB9 exemption to all properties listed on the City's Cultural Resources Inventory prior to the adoption of the new General Plan and Downtown Specific Plan.

CONSENT CALENDAR ITEM:

2. Minutes from the Regular Meeting of August 8, 2023.

Vice-Chair Padilla moved, seconded by Commissioner Barthakur, to approve the minutes.

Approved, 5-0.

PUBLIC HEARING - CONTINUED ITEM:

3. <u>Proposed General Plan Update, Downtown Specific Plan and Program</u> Environmental Impact Report.

State laws require cities to periodically update their General Plan and Zoning Code to ensure orderly land development and conform with State laws. The City of South Pasadena has prepared a Draft General Plan, Downtown Specific Plan (DTSP), and Program Environmental Impact Report (PEIR).

The General Plan Update will apply Citywide. The DTSP will apply to the Fair Oaks Corridor, bounded by SR110 to the north and Lyndon Street to the south, and Mission Street Corridor generally bounded to the north by Hope Street and to the south by El Centro Street, and to the east by Brent Avenue and Indiana Avenue to the west.

A PEIR has been prepared for this project to analyze any potential effect on the environment pursuant to the California Environmental Quality Act (CEQA). A Notice of Availability was released on July 24, 2023.

Recommendation:

Recommend that the Planning Commission receive the Staff presentation prepared for the project, open the public hearing and take testimony, and then:

- Adopt a Resolution recommending that the City Council adopt and certify the Program Environmental Impact Report (PEIR) prepared for the project; and
- 2. Adopt a Resolution recommending that the City Council adopt the General Plan and the Downtown Specific Plan (DTSP) Update and rescind the Mission Street Specific Plan, inclusive of Planning Commission direction and errata revisions to both the General Plan and DTSP.

Staff Presentation:

Ben Jarvis, Interim Senior Planner, and City Consultant Kaizer Rangwala of Rangwala and Associates presented the PowerPoint presentation. Jillian Neary of PSOMAS, the Environmental Consultant, was available by Zoom.

Questions for Staff:

Commissioner Swanborn asked specifically if the 1,230 additional units mentioned on page 10 of the Staff Report were a maximum number or units. Interim Senior Planner Jarvis answered that his understanding was that it is the contemplated build out, but it is not a maximum. Assistant City Attorney Snow confirmed that is correct.

The Commissioners inquired about several major concerns, including: Commissioner Swanborn's concerns regarding a reduction in commercial space if there is no requirement for parcels to be designed or developed as mixed-use, and that there is no requirement that the amount of land lost during a commercial development would be replaced in the new development.

Interim Senior Planner Jarvis, Deputy Director Becker and Assistant City Attorney Snow addressed the Commission's questions. Deputy Director Becker explained that there is a shift in the way capacity is calculated by planners from Euclidian zoning (a method of calculation which segregated land uses (and made the math very easy) and that the planning practice has shifted to take advantage of underutilized commercial parcels instead of converting existing open space designated lands for residential development. She noted there are two (2) commercial properties in the City's Housing Element inventory that have been identified over the next eight (8) years as possible locations for new mixed-use developments out of all of the properties on Fair Oaks. She added that while the City is sensitive to the concern that we are losing commercial land use resources, Staff feels confident about the conservative estimates for commercial land utilization.

Assistant City Attorney Snow explained that under State law when a Housing Element relies for more than 50% of its housing need for the lower income units sites as mixed-use, there is a limitation regarding how mixed-use can be employed, and those limitations include allowing, not requiring, 100% residential and requiring at least 50% be dedicated to residential. The restriction applies only to mixed-use sites that are listed as part of the site's inventory and nothing would preclude someone from coming forward and still doing, under the form-based codes, a 100% commercial project.

Vice-Chair Padilla thanked Staff and Mr. Rangwala for the presentations. She found it helpful to hear the comments and explanation on the unit capacity numbers and appreciated Mr. Rangwala's added clarification. She suggested that a table like the one included in the PEIR be included in the General Plan so that they are aligned and do not have to be interpreted. Mr. Rangwala agreed.

Vice-Chair Padilla asked if the numbers carved out for office space needed to be adjusted and rebalanced as they seemed to reflect 2015, pre-pandemic numbers. Mr. Rangwala responded that it was an old number that came out of the market study that was done about five (5) years ago and was pre-Covid. He acknowledged the need to have more recent updated numbers.

Deputy Director Becker underscored Mr. Rangwala's point about the universe of potential impact that is evaluated under the PEIR and that those are the numbers shown in the General Plan. However, she reminded the Commission to remember that it is a policy document, a guide, and shows what is possible, but not necessarily what is probable. She added that they recognize this particular item in the General Plan is dated, but it is not irrelevant. She explained that if those numbers do not materialize because other things happen, at least they evaluated the maximum possible and wound up with a strategy for disclosing the potential impact and mitigating it to the best extent possible.

Vice-Chair Padilla asked for clarification about two (2) densities that were called out for two (2) residential zones which appeared to be a reduction from what is in the current Zoning Code.

Mr. Rangwala explained that the General Plan recognizes the densities that currently exist within these neighborhoods and suggests that these are the areas that are less likely to see dramatic change. He explained that they are trying to suggest the character of a neighborhood and represent that in the General Plan, while at the same time, allowing those anomalies to continue.

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Commissioner Barthakur pointed out that the 434,000 sq. ft. of commercial space on the table is supposed to be incremental. The timeline they are working with in terms of adoption is the service through the Housing Element that the General Plan can provide and there may be other areas that they have to revisit.

Deputy Director Becker shared that she thought we are pretty close to being there and because of the new State law around parking and the concentration of a lot of commercial within commercial districts, a traditionally required in-depth study of the transportation impacts of different types of land uses is removed. Further, at least with respect to the form-based code, we are very agnostic as to what happens inside. She remarked those two (2) things will give the City quite a bit of flexibility as it looks to refresh its economic strategy.

Public Comments:

Kate Sun, owner of 181, 185, and 187 Monterey Road - expressed disappointment in the height and density outlined in the drafted Zoning Code.

Samantha Hill – resident, local architect and affordable housing advocate - spoke on behalf of her clients Kate Sun and Victor Tang who are the owners of a rare vacant property in the Ostrich District. They are requesting that the specific stretch that borders the Arroyo Parkway and the western limits of the City be upzoned to match its neighbors.

Ed Simpson asked several questions about the increase in the number of units to be added and its effect on the City's infrastructure, *e.g.*, sewage and parking. He also asked about the height limit.

Harry Knapp - 417 El Centro - expressed concern regarding rezoning outlined in the Housing Element.

Clarice Knapp - 417 El Centro, former Commissioner on the Cultural Heritage Commission, member of the General Plan Advisory Committee and the Downtown Specific Plan Task Force that generated the last General Plan - asked that the Planning Commission ask Staff to provide the addresses and the actual number of units per parcel which are currently listed as zero (0) or one (1) to more accurately refine the tables as to compliance with the RHNA numbers. She remarked that once you upzone, you cannot downzone, according to SB330. The acceptance of the Housing Element numbers shifted to the General Plan violates the mission of the statements of both the General Plan and the Specific Plan themselves.

Gayle Moulton (via Zoom) – Thanked Mr. Rangwala and the Planning Department for creating an overall really good General Plan. She was impressed with how personal it feels and seems like they understand the community and are doing the

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best they can with what is a horrible situation that the State has put us in. She wanted to know why the table depicting 24,000 units, which commits the City to rezoning needed to be included if it was not realistic. She thought it was confusing. Throughout the document they talk about retaining scale – but there seems to be a conflict between page 58 and page 60, which mentions a possible seven (7) story limit. She is hoping they can omit the seven (7) stories. She would hope that at some point in the future they would look at the Arroyo – but she hopes that for the time being we would not sign any long-term leases for the golf course, which is a tremendously under-utilized asset, as well as the stables.

Joanne Nuckols (via Zoom) – a 56-year resident, a member of the General Plan Committee and the Mission Street Specific Plan Committee in the 1990s - Her comments focused on the maximum development capacity envisioned in the General Plan. Her understanding is that the number is about 13,000 units and the City has to upzone for that capacity even though the anticipated realistic development capacity is much less and, in her opinion, does not matter for discussion purposes for potential allowable development which would be allowed by right in the future. Once the City upzones for 13,000 units, they can never go back and downzone as stated to her by an expert when she asked the question. Her request of the City is to be upfront, honest and transparent with people about this process as to what is about to happen to fundamentally change the character of South Pasadena. It may take a couple of decades for the maximum capacity to be realized, but have no doubt that developers will come because they think they have that right with the upzoning that's proposed.

Chair Dahl asked the Staff and Consultants to follow up on several items from the Public Comments. The first one being the proposed zoning for 181 Monterey Road. It is proposed for medium density neighborhood and the property owners are wondering why it is not being proposed for high density.

Deputy Director Becker reminded everyone that this exercise actually did not contemplate making zoning area changes, so this existing swath of RM is a hillside which, on the other side of the street is flat – that is an RH. This is an existing zoning condition which we are not proposing to change. She added that the strategy all along has been to restore density in these zones, but not change zones. That is why the property in question retains the RM and the 35' height limit.

Chair Dahl wanted to clarify her understanding that the 13,000 units number is inclusive of existing units, so that the actual number of new units that would be added would be closer to the 2,800 number. Deputy Director Becker confirmed that was correct.

Commissioner Barthakur asked for clarification from Staff regarding the height limit. His understanding is that until there is a voter initiative, the height limit stays

unless there is an exemption required as part of a density bonus project or something like that. Deputy Director Becker confirmed that was correct.

Commissioner Lesak asked Staff to verify that the zoning included in the General Plan is effectively the zoning that is included in the Housing Element that was approved and is already in effect. Deputy Director Becker confirmed this is correct and that City Council has adopted the Housing Element.

Discussion:

Chair Dahl thanked Commissioners Lesak and Swanborn for working on the weekends with the Ad Hoc Committee and called for their report.

Chair Lesak provided an overview and explained their mission to test the DTSP as architects for usability. Because they were looking at scenarios, much of what they were looking at focused on Part C of the DTSP. Some general observations:

- They had a difficult time working through the document. They used both digital and printed copies.
- As noted previously, maps and diagrams were difficult to read, particularly the text was often too small to read or faint.
- Maps and aerial drawings often lacked sufficient street names.
- North arrows and boundary lines illustrating various Overlay Zones were frequently missing or too faint to read.
- When using the digital document to find general explanations, keys for tables, or definitions for acronyms, are spread across multiple pages.
 Suggestion: If it is a digital document, each page could be self-sufficient.
- The table of contents lacks a detailed breakdown and there is no index.
 Suggestion: Hopefully, these can be added at a later date.
- The document was primarily authored prior to 2019, so it has a pre-Covid, pre-RHNA feel to it.
- The uses and building types that are emphasized, but not necessarily codified in the DTSP, feel a little bit outdated given the current conditions.
- Several examples were cited, including the School District site, randomly selected, which is a large site.

Suggestion: The requirements call for some adjustment when applied to the actual sites.

- There are several small sites which are pretty well accounted for in the DTSP. If those parcels were all acquired and tied, they could become significantly larger developments in areas that are really transition zones.
- There is information in the other documents, even with form-based code metrics that apply that are found other places, such as Maximum Unit Density Per Acre and Minimum Unit Size.

Suggestion: It would be helpful if the DTSP was a one stop shop and that information was included. There is a density bonus narrative that would be good to confirm aligns with what is included in the Inclusionary Housing Ordinance.

- There was a lack of nuance in the various charts and forms and development standards, both at a building level and at the zone level. These may not be flexible enough. Sometimes, they are too generalized and sometimes too specific. For example, the maximum lot size requirements it may be better if they were more flexible, providing a greater range of floor heights to allow the market to decide what is an acceptable height. Maybe providing minimums. But, they are set right now.
- More flexibility for both stepback dimensions and courtyard proportions to better meet the open space requirements that are layered. There is a 1:1:1 ratio with the courtyards and that may not be the best ratio, depending on building location, orientation, etc.
- There are places where the content could be developed.

Suggestion: Consider adding more Overlay Zones. The transition between the denser elements and the residential may be better to overlay and restrict certain building types.

Suggestion: Street Types could be fleshed out better.

Suggestion: Add a How to Use Flow Chart. Flow charts orient and serve

as a guide.

Suggestion: Highlight areas where you may need to go to a different

part of the Zoning Code or a different planning document in

order to get resolution or test something.

Suggestion: Add material standards.

Suggestion: Add a Consulting City Architect or a bench of architects to help Staff with thinking about good design in the context of the DTSP.

Commissioner Swanborn added:

- The diagrams for a form-based code refer to a primary street, side streets, and alleys on the backside. The reality is that some of these properties may actually not have alleys. They may be fronting on another street.
- The idea or the notion of characterization of streets and how you develop along those streets might be more helpful than creating alleys and setbacks.
- The Meridian Mission Project is an example of a lot of things we intend to happen in the form-based code.
- They tested the basic diagram on the site and the reality is that the formbased code allows you to do something significantly different and that probably would not be within the character of the City.

Suggestion: If that's what we want the way the City to develop, perhaps the zoning could be more specific to the plans.

 They identified sites and a lot of diagrams have been developed along the lines specifically for those sites, but the form-based code is so general in some ways that it does not hit the specifics for any particular potential site.
 Suggestion: Perhaps having more of those diagrams that have been

created for those particular sites as guides for the formbased code would be helpful.

• The minimum heights required for the ground floor plane of potential retail sites make it very difficult to put viable retail in them.

Suggestion: Let the upper portion be market driven so that the lower portion could actually be suitable for active ground floor uses – whether it is retail or something different.

Suggestion: Establish minimum heights that are slightly higher than 12' floor to floor, which would probably be a 10' ceiling.

Be careful how we wrap corners. Mission Meridian is a great example.

Commissioner Swanborn noted some interesting text about average building heights. Deputy Director Becker addressed the question and said that the change has been noted on the Errata Table.

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Commissioner Lesak summarized the Ad Hoc Committee's findings after four (4) hours of testing. He expressed frustration at having to rush something that has to be in place for a while. The intent is to give Staff a written summation of all of their comments and suggestions.

Deputy Director Becker and Commissioner Lesak discussed courtyard dimensions and the requirements for private open space and stepbacks. He suggested providing for more flexibility to allow for design development. He added that the maximum lot standards need to be tested against the actuals.

Commissioner Swanborn added that a big concern of his is that some of the development standards allow for the use of public property for private structures, which seemed incorrect. He pointed to the Arcade Section where the arcades are actually allowed to be within two (2) feet of the curbs, which is presumably 10' over the property line. He noted that somebody could take advantage of that.

Chair Dahl directed Staff to following up on these comments. She also noted the electronic versions of the General Plan and the DTSP are pdfs. She recommended that when those are adopted and are uploaded to the website that there should be more interactivity among those - which would make the documents easier to use.

Deputy Director Becker said that it is currently not budgeted but seems highly desirable.

Vice-Chair Padilla said their views were very much appreciated. She recommended forming a roundtable group in the medium term which would include developers, architects, planners, and residents to evaluate the programs after 18 months or two (2) years and discuss how to adjust things. She added that it is going to take consultant time to do it properly and hopefully can be budgeted.

Commissioner Barthakur added that they are essentially opening the door for a lot of new typologies to the City that have not existed before and there is a lowest common denominator of those typologies, and there is a high-quality version of those typologies. They need enough guidance and is the reason the development standards and the design standards are so important.

Vice-Chair Padilla said she wanted to comment on the importance of encouraging the production of housing.

Commissioner Lesak stated that the discretionary review process was the backstop in South Pasadena and now most of this will be done in a ministerial way. He suggested having consultants who could help bring people through a process to assure a little bit more design quality. He suggested that a City architect is not unusual. Deputy Director Becker added that Staff agrees with the Commission.

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Mayor Primuth, Commissioners, Staff and consultants discussed the issue of minimum ground floor heights in commercial areas where there could be mixed use. City Consultant Rangwala proposed a possible remedy of specifying two different minimums – the commercial requiring a minimum 15' height and the residential could be a minimum 12' height.

Commissioner Swanborn clarified his concern and explained it is not residential vs. commercial, because building stock should have capacity to change over time, be adaptable. His concern is that if we allowed commercial to be built in a way that is not adaptable to different uses, the spaces will become obsolete and there will be a street that has a lot of missing teeth.

To address this concern, City Consultant Rangwala proposed having a 15' height minimum, within the envelope of a 45' height limit, which change could be made to the document before going to City Council.

Vice-Chair Padilla, Commissioner Lesak, Assistant City Attorney Snow discussed the Public Comment that related to historic resources and the reference to the historic sites inventory, including clarification on how that works with regard to RHNA, the Housing Element, etc. There was a robust discussion regarding the provisions of SB9 about urban lot splits and that type of development and the statutory relationship to historic resources written into that specific statute. In particular, they discussed that no longer does a property or district just need to be eligible for a historic designation, it has to actually be designated. Commissioner Lesak noted that most of the 5,000 properties in South Pasadena are on the inventory list because they are eligible for designation, but they are not actually designated. Assistant City Attorney Snow added that there are a number of different statutes that refer to historic resources in different ways which has changed that landscape.

Deputy Director Becker added Staff has scrubbed the lists to make sure that every locally designated landmark, every State landmark, every National landmark, every National District, State District, and local district were clearly removed from the inventory table the Housing Element. Staff will release it.

Commissioner Lesak requested for the next meeting it would be good to better understand this, as requested by the Preservation Foundation, so that the Commission and the Cultural Heritage Commission have a better understanding.

Assistant City Attorney Snow offered a clarification of several comments which referenced SB330 and the no net loss issue on *if you upzone, you cannot downzone again*. It was referenced by the speakers that the benchmark for that provision in SB330 is January 1, 2018. He explained the provision - you cannot

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take away housing opportunities that would have existed as of that time or the amount. Through this program that number is increasing substantially in response to the RHNA obligations. As long as the City does not take away all of that and more to get beneath what was provided on January 1, 2018, there would not be a problem in downzoning. If, however, you are moving pieces on the RHNA side, then you have to make those up again. January 2018 is an important benchmark for SB330.

Chair Dahl suggested making a table, similar to the Errata Table, to acknowledge that the Commission has heard a comment, is recommending a change to the document(s) or not recommending a change to the document(s) based on that comment before the documents go to the City Council. Deputy Director Becker responded that Staff would be happy to do it. She added that Staff had been adding to the Errata Table, but without the commensurate acknowledgement of where the idea came from.

Vice-Chair Padilla suggested considering maintaining the existing zoning for what is being called RF, Residential Low Density, and RE, Residential Estate, the range that is articulated in the Land Use Designation. The details of this were explained in the Zoning Code item of the Staff Report.

City Consultant Rangwala explained the effects of a change in designation and the creation of a range.

Vice-Chair Padilla explained her question and concern regarding transparency, public conversation, socializing ideas as a community. It stood out in the Staff Report because it seemed the only place the capacity was being brought down. It seemed like an important subtle change.

City Consultant Rangwala remarked that it would be reviewed. As Vice-Chair Padilla mentioned, it's over 60% of the City and over 1,000 acres out of the 1,700 acres. He cautioned increasing the unit count number, because a sizable amount of the City falls within that acreage. Increasing it slightly there, would create a larger increase in the overall unit count.

Deputy Director Becker offered to use the table from the PEIR which was clearer in terms of the different designations and the allocations. Staff could test the numbers in the PEIR against what was presented in the table today and use the PEIR numbers. She added it works very well for the purposes of describing capacity. She noted that it does not actually address the concern about the adjustment in the definition from the '98 Land Use Designation to the proposed designations for RE and RS.

Vice-Chair Padilla said her concern about the change being proposed by the General Plan regarding a reduction in the density of the single-family zones RS and RE and an increase in the RS zone range suggests that we are taking it from one area and putting it in another to hit the development capacities that we are trying to achieve. She appreciated the clarifications.

Chair Dahl called for a motion on the CEQA documents and the PEIR.

Decision:

Commissioner Swanborn moved, seconded by Chair Dahl, to recommend that the City Council adopt the Resolution recommending that the Commission certify the Program Environment Impact Report (PEIR) prepared for the project.

Chair Dahl asked Staff to call the Roll:

Commissioner Swanborn	Aye
Commissioner Barthakur	Aye
Commissioner Lesak	Aye
Vice-Chair Padilla	Aye
Chair Dahl	Aye

Motion carried, 5-0.

Chair Dahl asked if Staff felt like they heard all of the things the Commission said tonight. Deputy Director Becker proposed that Staff prepare the meeting minutes detailed similar to last week's meeting minutes and derive the task lists and requested changes from those meeting minutes.

Commissioner Lesak recommended that the Ad Hoc Committee stay together on the DTSP to work with Staff up through the City Council hearings. Deputy Director Becker welcomed the suggestion.

Chair Dahl called for the motion, recognizing the details of the Commission's discussion in the minutes would be passed on to City Council.

Assistant City Attorney Snow suggested wording for a potential motion.

Decision:

Commissioner Barthakur moved, seconded by Commissioner Swanborn, to adopt a Resolution recommending that the City Council adopt the General Plan and the Downtown Specific Plan (DTSP) Update and rescind the Mission Street Specific Plan, inclusive of the Planning Commission direction and errata revisions to both the General Plan and DTSP, including the additional errata recommendations from

the Commission and forwarding recommendations to the City Council as to be summarized in the meeting minutes.

Chair Dahl asked Staff to call the Roll:

Commissioner Swanborn	Aye
Commissioner Barthakur	Aye
Commissioner Lesak	Aye
Vice-Chair Padilla	Aye
Chair Dahl	Aye

Motion carried, 5-0.

The Commission took a 5-minute recess before proceeding to the next item.

PUBLIC HEARING:

4. Zoning Text and Map Amendments.

Proposed Zoning Text Amendments to the South Pasadena Municipal Code (SPMC) Chapter 36 (Zoning) and Zoning Map Amendments related to increased density by rezoning the existing Focused Area Overlay zone to Mixed-Use Overlay zone and increase density in the certain residential zoning districts in compliance with the updated General Plan and the 2021-2029 (6th Cycle) Housing Element.

A Program Environmental Impact Report (PEIR) has been prepared for this project to analyze any potential effect on the environment pursuant to the California Environmental Quality Act (CEQA). A Notice of Availability was released on July 24, 2023.

Recommendation:

Recommend that the Planning Commission receive the staff presentation prepared for the project, open the public hearing and take testimony, and then adopt a Resolution recommending that the City Council:

- 1. Amend certain South Pasadena Municipal Code (SPMC) Sections pertaining to rezoning of properties consistent with the General Plan Update and the 2021-2029 (6th Cycle) Housing Element which will do the following:
 - a. Add Section 36.230.050 (Mixed-Use Overlay Development Standards) for the newly established Mixed-Use Overlay District; and
 - Amend Section 36.250.340 (Focus Area Overlay District), to eliminate the Focus Overlay District and replace it with the newly established Mixed-Use Overlay; and

- c. Increase density in the RM, RH and Mixed-Use Overlay Districts in compliance with the Housing Element Programs; and
- d. Amend other Code Sections relating to ancillary changes to the SMPC regarding reference to the new Downtown Specific Plan (DTSP) and minor changes to the Residential and Commercial zoning district standards in relation to the rezoning.
- 2. Amend the Zoning Map to eliminate the Focus Area Overlay zone and the Mission Street Specific Plan boundary, and replace them with the Mixed-Use Overlay zone and the Downtown Specific Plan boundary, respectively.

Staff Presentation:

Senior Planner Dean Flores presented a PowerPoint presentation.

Questions for Staff:

The Commissioners asked about the requirement that a mixed-use project have 50% residential in the Housing Element.

Assistant City Attorney Snow explained, as with the DTSP, when the City is relying for more than 50% of its lower income sites on mixed-use, it is a requirement in the statute.

Chair Dahl asked about the height limit of 45'.

Deputy Director Becker explained that the City Council, along with support from Staff and the Planning Commission, will formulate a proposal relating to height. It could include properties in multi-family zones. The working assumption is that we are working within the 45' height limit, which can be exceeded in the event of a density bonus waiver or exception determined by the request of the applicant.

Public Comment:

None.

Commissioner Discussion:

Vice-Chair Padilla asked if the form-based code and the DTSP had been compared and were consistent.

Deputy Director Becker explained that this Zoning Code will apply to properties outside of the DTSP area, multi-family, RM, RH and mixed-use overlay areas. It is completely separate from the DTSP. The Objective Design Standards will be back in front of the Commission next month. They are trying to get them as close together as possible.

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Commissioner Barthakur remarked that the Objective Design Standards are Citywide – the DTSP is still independent with its form-based code and its own design standards. Deputy Director Becker concurred.

Chair Dahl asked about the proposed mixed-use standards, and if the minimum ground floor height of 12' should be increased to 15' to be consistent with what was recommended in the DTSP.

The Commissioners had a robust discussion about the Commission's design review authority. Deputy Director Becker stated that the design review authorities need to be aligned.

Commissioner Barthakur inquired about alignment with State law on issues such as no parking minimums in transit areas. He did see parking requirements in a number of places, and was looking to see if there was any place where the City does not have parking requirements.

Deputy Director Becker shared that currently, the Zoning Code applies in areas that might be within ½ mile of a transit station where State law would preclude requiring parking requirements, and then for properties outside of that area, parking requirements would be applied.

Senior Planner Flores noted that language is included in the Development Standards Table under *Parking Location and Design*, and states that parking is reduced, not required, for qualifying development projects within ½ mile of a high quality transit station as defined in Government Code Section 65863.2.

Deputy Director Becker added that with regard to the Zoning Text Amendment, the big thing are the new standards that are in Table 26.

The Commissioners and Staff had a robust discussion regarding what is a design standard versus what is a development standard. Deputy Director Becker explained that initially it was just development standards, but as Staff consulted with the Code Consultant, given the uncertainty of the timeframe before arriving at our objective design standards, there was a desire to at least have backstops with a few critical areas.

The Commissioners expressed a need for more time to review this item and discussed their availability for a Special Meeting later this week.

Decision:

Commissioner Swanborn moved, seconded by Commissioner Lesak, to continue this Planning Commission meeting to review the objective design standards for the mixed-use overlay on Wednesday, August 23, 2023 at 6:30 pm. As noted by the

Assistant City Attorney, the Public Hearing has been closed on this item, so this would be for a continuation of the Commission's deliberations.

The Commission recognized that Commissioner Barthakur cannot attend the meeting.

Chair Dahl asked Staff to call the Roll:

Commissioner Swanborn	Aye
Commissioner Barthakur	Aye
Commissioner Lesak	Aye
Vice-Chair Padilla	Aye
Chair Dahl	Aye

Motion carried, 5-0.

5. Zoning Text Amendments - Housing Element 120-Day Programs.

Proposed Zoning Text Amendments to the South Pasadena Municipal Code (SPMC) Chapter 36 (Zoning) pertaining to applicable programs in the 2021-2029 Housing Element (120-Day Implementation Programs).

A Program Environmental Impact Report (PEIR) has been prepared for this project to analyze any potential effect on the environment pursuant to the California Environmental Quality Act (CEQA). A Notice of Availability was released on July 24, 2023.

Recommendation:

Recommend that the Planning Commission receive the staff presentation prepared for the project, open the public hearing and take testimony, and then adopt a Resolution recommending that the City Council:

- 1. Adopt an Ordinance amending Division 36.370(Affordable Housing Incentives) of Article 3 (Site Planning and General Development Standards) of Chapter 36 (Zoning) of the City Code of the City of South Pasadena to revise regulations to conform to State Density Bonus law (California Government Code Section 65915); and
- Adopt an Ordinance amending Chapter 36 (Zoning) of the City of South Pasadena Municipal Code including Division 36.220 (Residential Zoning Districts) of Article 2 (Zoning Districts, Allowable Land Uses, and Zone-Specific Standards); Division 36.350 (Standards for Specific Land Uses) of Article 3 (Site Planning and General Development Standards); and Division

- 36.700 (Definitions of Specialized Terms and Phrases) of Article 7 (Definitions/Glossary), relating to Employee Housing; and
- 3. Adopt an Ordinance amending Division 36.375 (Inclusionary Housing Requirements) of Article 3 (Site Planning and General Development Standards) of Chapter 36 (Zoning) the City Code of the City of South Pasadena relating to Inclusionary Housing requirements.

Staff Presentation:

Interim Senior Planner Jarvis presented the PowerPoint presentation.

Questions for Staff:

Commissioner Barthakur asked if the density bonus changes were related to projects that would take advantage of the State density bonus. Interim Senior Planner Jarvis responded in the affirmative and that it would make the Municipal Code consistent with the State Density Bonus law.

Assistant City Attorney Snow confirmed that is correct and explained that under the existing provisions in the Code, there are certain provisions that were duplicative of prior iterations of State Density Bonus law. Now the references to the State Density Bonus law include, as it might be amended from time-to-time. This language is added so the City does not have to continually go back and update its Ordinance every time a change is made and keeps the provisions consistent with State law.

Chair Dahl noted Employee Housing is a new land use being added to the Code and asked if that was because the State has required it. Interim Senior Planner Jarvis confirmed this and explained that the State has passed a new law regarding employee housing and the proposed revision to the Municipal Code would bring the Code into compliance with State law.

Assistant City Attorney Snow concurred and clarified that one of the focuses of this Employee Housing law is in the context of farm worker type housing. The definitions which are referenced in the proposed Ordinance refer back to those State law definitions about employee housing.

Chair Dahl inquired why it would not be allowed in the RM and RH zones and only in the single-family residential zones.

Assistant City Attorney Snow explained that the specific provision that is referenced in the Housing Element deals with allowing six (6) or fewer on the same terms as single family residential and therefore, it is focused and written to sync up with the single-family zones, not the multi-family. It is six (6) or fewer being treated on par with a single-family residence.

Vice-Chair Padilla inquired about Planning Commission reviews under Section 36.370.100 of the Density Bonus Multi-Color Redline Section called *Processing of Density Bonus Review and Affordable Housing Review*, Items d and e, and requested clarification.

Chair Dahl explained that if a project is coming to the Planning Commission for some other reason - maybe it needs a zone change or a hillside – then the Planning Commission would review the density bonus plan.

Assistant City Attorney Snow concurred and explained the intent is if it is a ministerial approval, the density bonus would be a ministerial approval. If there is some reason that the project is treated as discretionary and must come before the Planning Commission, then the density bonus would travel with that and be subject to the review in conjunction with the other discretionary review.

Chair Lesak asked about employee housing and how it might impact the short-term housing limits on Airbnb-type arrangements put in place. He asked, with employee housing, if they are transitory workers, would that requirement still go into effect.

Assistant City Attorney Snow explained that the general purpose of the Employee Housing Act is that the residents be treated on the same terms as other single-family residences. He would have to do more research as far as how that implementation would work with an overlay of a short term rental.

Public Comment:

None.

Discussion:

Chair Dahl asked if employee housing was intended to be primarily used by farm workers, is that part of the definition or is the definition any six (6) or fewer employees can live in a single-family home and it would be treated as if it were a family.

Assistant City Attorney Snow said he would have to review the specific definition. His recollection is that it is not restricted simply to farm worker housing. It pertains to farm workers or other specialized employees that have to live at or near a work location.

Chair Dahl noted that it has been the general trend of the State to say that any six (6) people that live in a single-family house are treated the same way as if they were a family – that could include childcare or other people that live together for health-related reasons, etc. – so she assumed that it was continuing in that trend.

Assistant City Attorney Snow commented that there are similarities in that six (6) or fewer threshold. Definitely.

Decision:

Commissioner Lesak moved, seconded by Vice-Chair Padilla, to recommend to City Council to adopt the proposed amendments to the South Pasadena Municipal Code, Chapter 36, pertaining to applicable programs in the 2021-2029 Housing Element that are conditioned on the 120-Day Implementation Program, including amendments to the density bonus to be consistent with State law, adding a new land use category for employee housing, and including some previously discussed modifications to the Inclusionary Housing Ordinance.

Chair Dahl asked Staff to call the Roll Call:

Commissioner Swanborn	Aye
Commissioner Barthakur	Aye
Commissioner Lesak	Aye
Vice-Chair Padilla	Aye
Chair Dahl	Aye

Motion carried, 5-0.

ADMINISTRATION

6. Comments from Staff:

Director Frausto-Lupo informed the Commission that the Staff had added new frequently asked questions to the website. She encouraged the Commission, if asked by residents, to refer them to the website.

She also introduced Senior Planner Dean Flores to the Commission and noted that this is his first meeting.

ADJOURNMENT:

7. Adjournment to the Special Planning Commission meeting scheduled on August 23, 2023 at 6:30 pm:

There being no further matters, Chair Dahl adjourned the meeting at 10:32 p.m.

Laura	Dahl,	Chair		



CITY OF SOUTH PASADENA

Planning Commission Meeting Minutes Wednesday, August 23, 2023, 6:30 PM Amedee O. "Dick" Richards Jr. Council Chambers 1424 Mission Street, South Pasadena, CA 91030

CALL TO ORDER:

A Special Meeting of the South Pasadena Planning Commission was called to order by Chair Dahl on Wednesday, August 23, 2023 at 6:32 p.m. The meeting was held at 1424 Mission Street, South Pasadena and via Zoom teleconference.

ROLL CALL:

Present: Chair: Laura Dahl

Vice-Chair: Lisa Padilla

Commissioners: Arnold Swanborn and John Lesak

Absent: Commissioner: Amitabh Barthakur

City Staff

Present: David Snow, Assistant City Attorney

Angelica Frausto-Lupo, Community Development Director Alison Becker, Community Development Deputy Director

Matt Chang, Planning Manager Ben Jarvis, Interim Senior Planner Dean Flores, Senior Planner

Council

Present: Council Liaison: Jon Primuth, Mayor

APPROVAL OF AGENDA:

Approved, 4-0.

DISCLOSURE OF SITE VISTS AND EX-PARTE CONTACTS:

None.

PUBLIC COMMENT:

1. Public Comment.

None.

DISCUSSION:

2. Downtown Specific Plan (DTSP) Ad Hoc Committee Update.

Recommendation:

Recommend that the Planning Commission review the DTSP Ad Hoc Committee report and incorporate suggested changes into the final documents and report to the City Council.

Discussion:

Commissioner Lesak and Commissioner Swanborn thanked Deputy Director Alison Becker for her summary of the last Special Meeting. Her comments were combined with the Ad Hoc Committee's notes and observations to produce the South Pasadena Downtown Specific Plan Ad Hoc Committee Initial Observations and Recommendations Memorandum.

The Commissioners and Staff considered possible achievable items outlined in the Memorandum and how they could be integrated given current schedule limitations. These included making specific Code revisions; all of the budgetary requests; and addressing some of the recommendations related to the final document, including navigation and readability. It was suggested that the Ad Hoc Committee continue to work with Staff over the next month, into early implementation to make sure all of the issues are addressed.

The Commissioners agreed that all of the ideas outlined in the Memorandum need to be incorporated into the documents.

The Commissioners had a robust, in-depth discussion of each item.

Public Comment:

None.

Decision:

Commissioner Lesak moved, seconded by Vice-Chair Padilla, that a draft of the South Pasadena Downtown Specific Plan Ad Hoc Committee Initial Observations and Recommendations Memorandum be forwarded to the City Council with the Commission's full approval. In addition, that Staff and Consultants will continue to work with the Ad Hoc Committee should there be issues in getting these recommendations to the Council in a timely fashion.

Chair Dahl asked Staff to call the Roll:

Commissioner Swanborn Aye Commissioner Lesak Aye Vice-Chair Padilla Aye Chair Dahl Aye

Motion carried, 4-0.

PUBLIC HEARING – CONTINUED ITEM:

3. Zoning Text and Map Amendments.

Proposed Zoning Text Amendments to the South Pasadena Municipal Code (SPMC) Chapter 36 (Zoning) and Zoning Map Amendments related to increased density by rezoning the existing Focused Area Overlay zone to Mixed-Use Overlay zone and increase density in the certain residential zoning districts in compliance with the updated General Plan and the 2021-2029 (6th Cycle) Housing Element.

A Program Environmental Impact Report (PEIR) has been prepared for this project to analyze any potential effect on the environment pursuant to the California Environmental Quality Act (CEQA). A Notice of Availability was released on July 24, 2023.

Recommendation:

Review the Staff Presentation prepared for the project and then adopt a Resolution recommending that the City Council:

- 1. Amend certain South Pasadena Municipal Code (SPMC) Sections pertaining to rezoning of properties consistent with the General Plan Update and the 2021-2029 (6th Cycle) Housing Element which will do the following:
 - a. Add Section 36.230.050 (Mixed-Use Overlay Development Standards) for the newly established Mixed-Use Overlay District; and
 - Amend Section 36.250.340 (Focus Area Overlay District), to eliminate the Focus Overlay District and replace it with the newly established Mixed-Use Overlay; and
 - c. Increase density in the RM, RH and Mixed-Use Overlay Districts in compliance with the Housing Element Programs; and

- d. Amend other Code Sections relating to ancillary changes to the SMPC regarding reference to the new Downtown Specific Plan (DTSP) and minor changes to the Residential and Commercial zoning district standards in relation to the rezoning.
- 2. Amend the Zoning Map to eliminate the Focus Area Overlay zone and the Mission Street Specific Plan boundary, and replace them with the Mixed-Use Overlay zone and the Downtown Specific Plan boundary, respectively.

Staff Presentation:

Deputy Director Becker offered a refresher presentation; however, no additional material had been added to the original presentation from the last meeting. The Commissioners declined.

Questions for Staff:

Commissioner Lesak and Deputy Director Becker discussed the inclusion of a transit map depicting the ½ mile radius from the transit station.

Chair Dahl asked Staff to explain how the mixed-use development standards are slightly different from commercial standards. Deputy Director Becker explained the process used, which was coordinated with the City's consulting firm experienced in these matters.

Public Comment:

None.

Commissioner Discussion:

The Commissioners reviewed *Table 2-6. Mixed Use Overlay District Development Standards* in considerable detail. In particular, setbacks, stepbacks for residential, surface parking, the ground floor height limit, blank wall definition, combined open space and minimum balcony requirements were discussed at length.

The Commissioners discussed limiting access for driveways to a minimum 24 feet to get cars in and out and a maximum percentage of a site and recommended matching the language in the DTSP.

The Commissioners and Staff discussed the Maximum Floor Area by Story and wedding cake standard, and agreed that the specifications would reflect first story 100%, second story 100%, third story 90%, and fourth story 80%.

The Commissioners suggested having a list of things to review in a year, including reviewing the percentages versus the setbacks, below grade, reducing parking frontages, defining a blank wall and the Total Combined Usable Open Space number, which included a clarification about a balcony as it relates to the Private

Open Space Requirements in order to be counted toward the open space requirement.

Deputy Director Becker summarized that in regard to parking frontages and lot coverages, the Commission wanted to prioritize access from the alley or side street before the front yard. If it must be taken from the front yard, the driveway width is limited to 24 feet.

In addition, the Commission made adjustments to the following Development Features in *Table 2-6*: Maximum Floor Area by Story; Maximum Elevation Above and Below Street and Sidewalk Level; Parking and Driveways Combined; and the Private Open Space Requirements.

Decision:

Chair Lesak moved, seconded by Vice-Chair Padilla, to adopt a Resolution recommending the Ordinance changes in addition to the changes noted by Deputy Director Becker.

Chair Dahl directed Staff to call the Roll:

Aye
Aye
Aye
Aye

Motion carried, 4-0.

Commissioner Lesak remarked on comments received via email challenging some of the math in the tables and asked Staff to verify the numbers being provided are correct.

Deputy Director Becker confirmed receipt of the email, and responded that Staff's goal is to provide accurate tables. They will be able to report back shortly on the outcome of that reconciliation.

ADJOURNMENT:

4. Adjournment to the Regular Planning Commission meeting scheduled on September 12, 2023 at 6:30 pm:

There being no further matters, Chair Dahl adjourned the meeting at 8:08 p.m.

Laura Dahl. Chair	





Planning Commission Agenda Report

ITEM NO. 9

DATE: November 14, 2023

FROM: Angelica Frausto-Lupo, Community Development Director

Matt Chang, Planning Manager

PREPARED BY: Mackenzie Goldberg, Assistant Planner

SUBJECT: Project No. 2565-CUP – A request for a Conditional Use Permit for the

on-site sale and consumption of beer and wine (Type 41 ABC license) for an existing, bona fide restaurant (Rice + Nori) located at 901 Fair Oaks Avenue, #D (APN: 5315-003-058) and finding that the

project is exempt from the California Environmental Quality Act.

RECOMMENDATION

It is recommended that the Planning Commission adopt a Resolution:

- 1. Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301.
- 2. Approving Project No. 2565-CUP (Conditional Use Permit) for on-site sale and consumption of beer and wine (Type 41 License) for an existing restaurant located at 901 Fair Oaks Avenue, #D.

BACKGROUND

On October 5, 2022, the restaurant, Rice & Nori LLC, obtained their business license to operate a sit down, full-service restaurant.

On April 27, 2023, the applicant, Rice & Nori LLC, submitted an application for a Conditional Use Permit for the sale of beer and wine (Type 41 License) for on-site consumption within the suite.

On October 30, 2023, the newly adopted General Plan and Downtown Specific Plan (DTSP) became effective and rezoned certain properties in the City, including the subject property from Commercial General (CG) zoning district to DTSP.

PROJECT DESCRIPTION

The applicant, Rice + Nori LLC, is requesting approval of a Conditional Use Permit (CUP) to allow the sale of beer and wine for on-site consumption (Type 41 License) as an ancillary use to the main restaurant operation in an existing multi-tenant commercial building located at 901 Fair

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Oaks Avenue. Rice + Nori occupies Suite D, an approximately 1,260 square-feet tenant space with 23 patron seats, and an adjacent patio with 16 additional seats. Hours of operation are from 10:00 a.m. to 10:00 p.m. daily. No alterations are proposed to the exterior or interior of the building.

The project site is located within a multi-tenant commercial building at the southwest corner of Fair Oaks Avenue and Mission Street and is surrounded by commercial uses on all sides. Suite D, the tenant space used by Rice + Nori, is located at the west of the commercial building abutting a surface parking lot. Other uses in the same building include two restaurants (Chipotle and The Habit Burger Grill), a Starbucks, and an AT&T store.

Surrounding Land Use Characteristics

Direction	General Plan (Previous)	Zoning (Previous)	Existing Land Use	DTSP
North			Commercial	
South	Conoral Commercial	CG	Commercial	Fair Oaks
East	General Commercial	CG	Commercial	Corridor
West			Surface parking	

An aerial image showing the location of the project site outlined in red is provided in **Figure 1** and **Figure 2** shows the tenant space and patio area within the multi-tenant building.



Figure 1: Aerial View of Project Site

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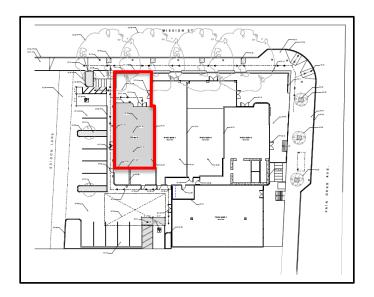


Figure 2: Tenant Space within Multi-Tenant Building Site

The applicant proposes the sales of beer and wine for on-site consumption as an ancillary use to the main restaurant operation. The applicant proposes the sales of beer and wine for on-site consumption to be limited to the tenant space at 901 Fair Oaks Avenue, Suite D, and the adjacent patio area. **Figure 3** shows the floor plan with the dining area outlined in green to indicate where alcohol will be served and consumed.

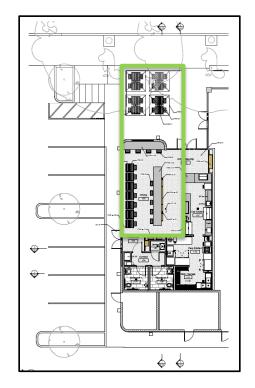


Figure 3: Rice + Nori Floor Plan

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PROJECT ANALYSIS

General Plan Consistency

The current General Plan land use designation of the site is Fair Oaks Corridor. However, as detailed in the "Background" section of this staff report, the CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) (referred to hereinafter as "General Plan") and CG zoning district.

The General Plan land use designation of the site is General Commercial (CG) which allows a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood, and parking facilities. According to the General Plan (1998), the project site sits within subarea A, the "Central District", of Focus Area 3, "The Fair Oaks Corridor".

The proposed project conforms to the following goals and policies of the General Plan:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell and dispense beer and wine at an existing restaurant, which would allow for the growth of local economic activity. The addition of alcohol will not substantially change the nature of the business, but will however, provide a new amenity to the surrounding community. Therefore, the request is consistent with the General Plan.

Zoning Code Compliance

At the time of the project submittal, the zoning for the site was Commercial General (CG), which was intended for a wide range of commercial retail and service land uses. The existing restaurant conforms to the allowable uses within the CG zone and is consistent with the General Commercial land use designation.

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The operation of Rice + Nori with outdoor dining is a permitted use under a separate Conditional Use Permit, which was approved by the Planning Commission on December 17th, 2018, Project No. 2194-DRX-CUP-AUP-PUP.

The sale of alcohol is also permitted in the CG zone with approval of a Conditional Use Permit. Conditional Use Permits are intended to allow for activities whose effect on a site and its surroundings can only be determined after the review of the configuration, design, location, and potential impacts of the proposed use and the suitability of the use to the site.

A Conditional Use Permit is required to authorize proposed activity identified by South Pasadena Municipal Code (SPMC) Section 36.230.030 as being allowable in the applicable commercial zoning district subject to the approval of a Conditional Use Permit.

Conditional Use Permit

Pursuant to SPMC Section 36.410.060(D), the Planning Commission may grant a Conditional Use Permit (CUP) for any use listed in Article 2 of Chapter 36 (Zoning) as requiring a CUP. Alcoholic beverages for "on-site sale and consumption of beer and wine" (Type 41 license) are subject to a CUP pursuant to SPMC Section 36.350.040 and, therefore, would require an approval from the Planning Commission. Pursuant to Section 36.350.040 of SPMC, the considerations required to be reviewed for alcohol sales are the following:

- 1. Whether the proposed use will result in an undue concentration of establishments dispensing alcoholic beverages.
- 2. The distance of the proposed use from the following:
 - a. Residential uses:
 - b. Religious facilities, schools, libraries, public parks and playgrounds, and other similar uses: and
 - c. Other establishments dispensing alcoholic beverages.
- 3. Whether the noise levels generated by the operation of the establishment would exceed the level of background noise normally found in the area or would otherwise be intrusive.
- 4. Whether the signs and other advertising on the exterior of the premises would be compatible with the character of the area.

1. Undue Concentration

The Department of Alcoholic Beverage Control (ABC) puts a limit on the number of on-sale and off-sale licenses based on the population of people within a given census tract. Rice + Nori is located within census tract 4805, as illustrated in **Figure 4**, which allows five (5) on-sale licenses and three (3) off-sale alcohol licenses. According to ABC Licensing Reports, Census Tract 4805 currently holds ten (10) active on-sale licenses and four (4) active off-sale licenses. **Table 1** lists businesses with an active on-sale alcohol license, derived from the ABC Licensing Report for the Zip code 91030.



Figure 4: Census Tract 4805 Boundary

Table 1: Active On-Sale Alcohol Licenses in Census Tract 4805

Туре	Business Name	Address	
41 – On-Sale Beer & Wine - Eating Place	Silverlake Ramen	1105 Fair Oaks Avenue	
47 – On-Sale General Eating Place	Shiro Restaurant	1505-1507 Mission Street	
47 – On-Sale General Eating Place	Ai Japanese Restaurant	1013 Fair Oaks Avenue	
47 – On-Sale General Eating Place	Huntington Catering Company	1929 Huntington Drive	
58 - Caterer's Permit	Huntington Catering Company	1929 Huntington Drive	
41 – On-Sale Beer & Wine - Eating Place	Round Table Pizza	1127 Fair Oaks Avenue	
41 – On-Sale Beer & Wine - Eating Place	Mamma's Brick Oven Pizza	1005-1007 Fair Oaks Avenue	
41 – On-Sale Beer & Wine - Eating Place	Blaze Pizza	1100 Fair Oaks Avenue, STE 1	
41 – On-Sale Beer & Wine - Eating Place	Chipotle Mexican Grill	901 Fair Oaks Avenue	
41 – On-Sale Beer & Wine - Eating Place	Golden China	1115 Fair Oaks Avenue	
TOTAL:	Ten (10) On-Sale License Types		

Giving consideration to the California Department of Alcoholic Bevarage Control's guidelines for undue concentration, concentration can be undue when the addition of a license will negatively impact a neighborhood. However, concentration is not undue when the approval of a license

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provides a public service and benefits the community. The subject site is located in a commercial corridor where a concentration of restaurants is evident and thus, a higher number of alcoholic beverage licenses is to be anticipated. In this case, the approval of a CUP for on-site sales and consumption of beer and wine (Type 41 License) would not result in an undue concentration as the project will enable the provision of an additional unique service and destination to complement the neighborhood and surrounding uses.

2. Distance to Other Uses

The proposed use will not detrimentally affect nearby residentially zoned communities in the area of the City involved, after giving consideration to the distance of the proposd use from residential buildings, churches, schools, hospitals, public playgrounds and other similar uses, and other establishments dispensing, for sale or other consideration, alcoholic beveages, including beer and wine.

The project site is zoned for commercial uses and will continue to be utilized as such. The following sensitive uses are located within an 1,000-foot radius of the site:

- Single-family and multi-family residences
- Mosaic South Pasadena at the Rialto Theatre
- South Pasadena Chinese Baptist Church
- Calvary Presbyterian Church & Preschool
- Garfield Park

Consideration has been given to the subject establishment from the above-referenced sensitive uses. The subject property is located in an urbanized neighborhood with a variety of commercial and residentials uses. The subject site is an existing restaurant. The addition of alcohol will not substantially change the nature of the business. Although the subject property is located close to several residential and educational uses, the approval of a CUP for on-site sales and consumption of beer and wine is typical for this type of business and would be consistent with surrounding uses. The South Pasadena Police Department and Fire Department reviewed the proposed alcohol CUP and had no objections to the proposal. The project is well-conditioned to mitigate any potential detrimental impacts.

3. Noise

The proposed CUP is for an existing restaurant located within a multi-tenant commercial building. The proposal for alcohol sales is considered an ancillary use and does not substantially change the nature of the business. A condition of approval has been included to ensure that the applicant continues to adhere to the City's Noise Ordinance pursuant to Chapter 19A of the SPMC.

4. Signage

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The last consideration for compliance with the City's alcoholic beverage standards concerns the compatibility of signage and other advertising with the surrounding neighborhood. The restaurant is existing and features existing signage in compliance with the Master Sign Plan for the multi-tenant commercial building (Project No. 2287-DRX). No additional signage or advertisement is being proposed. As such, the proposal will continue to be compatible with the surrounding area.

ENVIRONMENTAL ANALYSIS

This project is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 – Existing Facilities. A Class 1 Categorical Exemption includes the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, involving negligible or no expansion of existing use. The project does not involve any expansion or alteration to the size of the commercial building. As such, no significant environmental effects would result from this project and the use of a categorical exemption is appropriate.

CONDITIONAL USE PERMIT FINDINGS

In order to approve a CUP, the Planning Commission must make certain findings listed in SPMC section 36.410.060. The required findings are listed below.

 The proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a restaurant is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for onsite consumption (Type 41 License) as an ancillary use to the main restaurant operation and the project meets all the standards in the underline zoning district.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

The General Plan (1998) land use designation of the site is General Commercial which provides for a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood, and parking facilities. The proposed CUP is within the Central District of the Fair Oaks Corridor focus area which is intended to be a revitalization, adaptive re-use, and new development capitalizing on the historic fabric of commercial shops and storefronts fronting both Mission Street and Fair Oaks Avenue.

The proposed project is consistent with the goals and policies of Chapter IV (Economic Development & Revitalization) or the General Plan by allowing a

business to sell and dispense beer and wine at an existing restaurant, which would allow the growth of local economic activity. The availability of alcoholic beverages in conjunction with food service is an increasingly expected amenity within restaurants. Approval of the request will enable the tenant to maintain viability. Further, a variety of commercial uses, including restaurants, are an intrinsic part of the mix of uses necessary for the success of a vibrant commercial area. As such, authorizing the use would meet the needs of the focus area and improve the economic vitality of the neighborhood.

3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

The proposed sale of beer and wine for on-site consumption is an ancillary use to the restaurant operation, and is reasonable given the restaurant's location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited to hours of operation and all alcohol orders will be in conjunction with food orders. The restaurant's hours of operation are from 10:00 A.M. to 10:00 P.M., seven days a week. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions are included requiring no loitering on the property, and required training for employees who will serve alcohol to ensure that the sales of alcohol would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

5. The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.

Rice + Nori is an existing, bona fide restaurant at 901 Fair Oaks Avenue with additional operating locations in Los Angeles. The proposed request for on-site beer and wine sales (Type 41 license) does not involve any expansion to the size of the existing commercial building or any roadway modifications. Therefore, the project site is adequate in size and has sufficient access to existing streets in order to continue accommodating the existing restaurant use.

6. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.

The proposed Conditional Use Permit is compatible with existing commercial land uses within the vicinity, including similar restaurant uses in the area. No alterations are proposed to the exterior or interior of the building as a part of this Conditional Use Permit. Therefore, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and views protection.

RECOMMENDATIONS

Based on the above analysis, staff recommends that the Planning Commission adopt a Resolution:

- 1. Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301.
- 2. Approving Project No. 2565-CUP (Conditional Use Permit) for on-site sale and consumption of beer and wine (Type 41 License) for an existing restaurant with an outdoor dining area located at 901 Fair Oaks Avenue, #D.

ALTERNATIVES

If the Planning Commission does not agree with staff's recommendation, the following options are available:

- 1. The Planning Commission can Approve the project as is or with modified condition(s) added or removed and provide findings; or
- 2. The Planning Commission can Continue the project, providing the applicant with clear recommendations to revise the proposal; or
- 3. The Planning Commission can Deny the project if it finds that the project does not meet the City's CUP requirements.

PUBLIC NOTIFICATION

A Public Hearing Notice was published on November 3, 2023, in the *South Pasadena Review*. Hearing notices were sent to all properties within a 300-foot radius on November 2, 2023. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, and the posting of the same agenda and reports on the City's website.

ATTACHMENTS

- 1. P.C. Resolution with Exhibit "A" Conditions of Approval
- Project Narrative
 Site and Floor Plan

ATTACHMENT 1

Resolution with Recommended Conditions of Approval

P.C. RESOLUTION NO. 23-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA CONDITIONALLY APPROVING PROJECT NO. 2565-CUP CONSISTING OF A CONDITIONAL USE PERMIT FOR ONSITE SALE AND CONSUMPTION OF BEER AND WINE (TYPE 41 LICENSE) AT 901 FAIR OAKS AVENUE, #D (APN: 5315-003-058), AND MAKING A DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

WHEREAS, on April 27, 2023, a representative of Rice + Nori LLC (applicant) submitted an application for a Conditional Use Permit for the sale of beer and wine (Type 41 License) for on-site consumption at the existing restaurant, Rice + Nori, located at 901 Fair Oaks Avenue, #D (Assessor's Parcel Number: 5315-003-058); and

WHEREAS, the proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to 15301, Class 1 – Existing Facilities; and

WHEREAS, the Planning Division evaluated the project for consistency with the City's General Plan, South Pasadena Municipal Code, and all other applicable state and local regulations; and

WHEREAS, on November 2, 2023, the public hearing notice was mailed to each property owner within a 300-foot radius of the project site in accordance with the requirements of South Pasadena Municipal Code declaring the project review by the Planning Commission for the hearing on November 14, 2023; and

WHEREAS, on November 3, 2023, the City of South Pasadena Planning Division, published a legal notice in the *South Pasadena Review*, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law concerning Project No. 2565-CUP; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on November 14, 2023, at which time it considered the staff report, oral report, the testimony, and the written evidence submitted by and on behalf of the applicant and by members of the public concerning Project No. 2565-CUP and considered the proposed Conditional Use Permit for the on-site sale and consumption of beer and wine (Type 41 License) for an existing bona fide restaurant at 901 Fair Oaks Avenue, #D.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ACKNOWLEDGEMENTS

The foregoing recitals are true and correct and are incorporated and made an operative part of this resolution.

SECTION 2: ENVIRONMENTAL REVIEW FINDING

The Planning Commission has determined that the proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under Section 15301, Class 1 – Existing Facilities of the California Guidelines for Implementation of CEQA. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment or topographical features, involving negligible or no expansion of existing use. The project does not involve any expansion or alteration to the size of the commercial building. As such, no significant environmental effects would result from this project and the use of a categorical exemption is appropriate.

SECTION 3: CONDITIONAL USE PERMIT FINDINGS

Based upon the entire record made available at the November 14, 2023 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of a Conditional Use Permit pursuant to South Pasadena Municipal Code (SPMC) Section 36.410.060, as follows:

1. The proposed use is allowed with Conditional Use Permit or Administrative Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a restaurant is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for onsite consumption (Type 41 License) as an ancillary use to the main restaurant operation and the project meets all the standards in the underline zoning district.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

The General Plan (1998) land use designation of the site is General Commercial which provides for a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood, and parking facilities. The proposed CUP is within the Central District of the Fair Oaks Corridor focus area which is intended to be a revitalization, adaptive re-use, and new development capitalizing on the historic

fabric of commercial shops and storefronts fronting both Mission Street and Fair Oaks Avenue.

The proposed project is consistent with the goals and policies of Chapter IV (Economic Development & Revitalization) of the General Plan by allowing a business to sell and dispense beer and wine at an existing restaurant, which would allow the growth of local economic activity. The availability of alcoholic beverages in conjunction with food service is an increasingly expected amenity within restaurants. Approval of the request will enable the tenant to maintain viability. Further, a variety of commercial uses, including restaurants, are an intrinsic part of the mix of uses necessary for the success of a vibrant commercial area. As such, authorizing the use would meet the needs of the focus area and improve the economic vitality of the neighborhood.

3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

The proposed sale of beer and wine for on-site consumption is an ancillary use to the restaurant operation, and is reasonable given the restaurant's location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited to hours of operation and all alcohol orders will be in conjunction with food orders. The restaurant's hours of operation are from 10:00 A.M. to 10:00 P.M., seven days a week. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions are included requiring no loitering on the property, and required training for employees who will serve alcohol to ensure that the sales of alcohol would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

5. The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.

Rice + Nori is an existing, bona fide restaurant at 901 Fair Oaks Avenue with additional operating locations in Los Angeles. The proposed request for on-site beer and wine sales (Type 41 license) does not involve any expansion to the size of the existing commercial building or any roadway modifications. Therefore, the project site is adequate in size and has sufficient access to existing streets in order to continue accommodating the existing restaurant use.

6. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.

The proposed Conditional Use Permit is compatible with existing commercial land uses within the vicinity, including similar restaurant uses in the area. No alterations are proposed to the exterior or interior of the building as a part of this Conditional Use Permit. Therefore, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and views protection.

SECTION 4: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission's decision is based, which include, but are not limited to, the staff reports, as well as all materials that support the staff reports for the proposed project, and are located in the Community Development Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 5: DETERMINATION

Based upon the findings outlined in Sections 2 through 3 above and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby conditionally approves Project No. 2565-CUP consisting of a Conditional Use Permit for the on-site sale and consumption of beer and wine (Type 41 License) for an existing bona fide restaurant at 901 Fair Oaks Avenue #D, subject to the Conditions of Approval attached hereto as Exhibit "A."

SECTION 6: APPEALS

Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must be filed with the City, in writing, and with appropriate appeal fee, no later than (15) days, following the date of the Planning Commission's final action.

SECTION 7: CERTIFICATION OF THE RESOLUTION

The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 14th day of November 2023.

PASSED, APPROVED, AND ADOPTED this 14 th day of November 2023 by the following vote:
AYES:
NOES:
ABSENT:
ABSTAIN:

901 Fair Oaks Avenue, #D 2565-CUP	P.C. Resolution No. 23-11 Page 7 of 7
	Laura Dahl, Planning Commission Chair
ATTEST:	

Amitabh Barthakur, Secretary to the Planning Commission

EXHIBIT "A" CONDITIONS OF APPROVAL PROJECT NO. 2565-CUP 901 Fair Oaks Avenue, #D (APN: 5315-003-058)

PLANNING DIVISION:

- P-1. The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on November 14, 2023:
 - A. Conditional Use Permit for the sale of beer and wine for on-site consumption at an existing restaurant (Type 41 License).
- P-2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless the use is established or action is taken. The on-sale beer and wine license (Type 41) shall be acquired by the California Department of Alcoholic Beverage Control (ABC) prior to the termination period.
- P-3. Approval by the Planning Commission does not constitute a building permit. No structural modifications were proposed as part of this CUP request.
- P-4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P-5. Compliance with and execution of all appropriate conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P-6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P-7. Compliance with the City's Performance Standards of Section 36.300.110, which also include the Noise Standards (Chapter 19A), of the South Pasadena Municipal Code (SPMC) shall be adhered to at all times.
- P-8. The sales of beer and wine shall be limited to the hours of operation of the restaurant, 10 a.m. to 10 p.m. daily.
- P-9. No sale or consumption of beer and wine shall be permitted until the customer/s have been seated.
- P-10. The sale of beer and wine for on-site consumption shall only be incidental to the operation of the restaurant. Sale of alcohol for off-site consumption within the restaurant shall be prohibited.
- P-11. Quarterly gross sales of alcohol shall not exceed quarterly gross sales of food within the restaurant. Quarterly records shall be maintained to separately reflect gross sales of food and gross sales of beer and wine and shall be made available to the City of South Pasadena upon request.
- P-12. The restaurant premises shall be continuously maintained as a bona fide eating establishment, and shall provide a menu containing an assortment of foods typically offered in restaurants.
- P-13. No advertising for alcoholic beverages may be displayed in store windows or outside of the store.
- P-14. All alcohol sales cases/displays shall be located in such a manner to prevent "grab-and-run" thefts of alcohol. The sales cases/displays shall be located in sight of the sales counter at all times, if possible.
- P-15. The employees who will be engaged in the sale of alcohol must complete the State Alcoholic Beverage Control's mandated training, as well as the store's internal training on the sale of alcohol.

P-16. The consumption of beer and wine shall be permitted only within the restaurant and in the adjacent patio area as outlined in green in **Figure 1**.

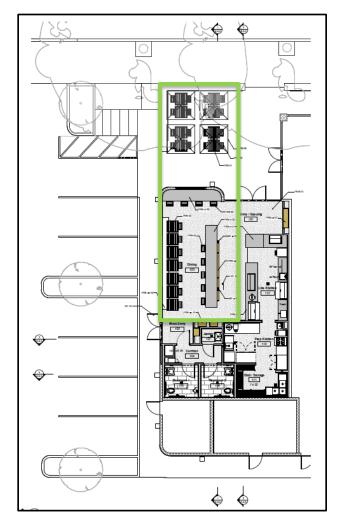


Figure 1: Rice + Nori Floor Plan

- P-17. Any individuals discovered loitering on the property shall immediately be informed to leave the premises, by the owner. Should the owner fail to abate the problems, the South Pasadena Police Department and/or other enforcement agencies reserve the right to take appropriate enforcement actions to abate the problem, and the permit/alcohol licenses may be subject to revocation.
- P-18. The store management shall regulate the arrival and departure of all employees and restrict the "late hour" use of the exit for trash removal and unnecessary opening. Adequate security measures shall be instituted to eliminate any unauthorized access.
- P-19. The Conditional Use Permit issued for the alcoholic beverage establishment and a copy of the conditions of approval for the permit shall be displayed on the premises of the establishment in a place where it may be readily be viewed by any member of the general public.

ATTACHMENT 2

Project Narrative

PROJECT DESCRIPTION

APPLICANT: RICE & NORI, LLC

DBA: RICE & NORI RESTAURANT

LOCATION: 901 FAIR OAKS AVE., UNIT D

SOUTH PASADENA, CA 91030

REQUEST: CONDITIONAL USE PERMIT TO ALLOW THE SALE OF BEER AND WINE FOR

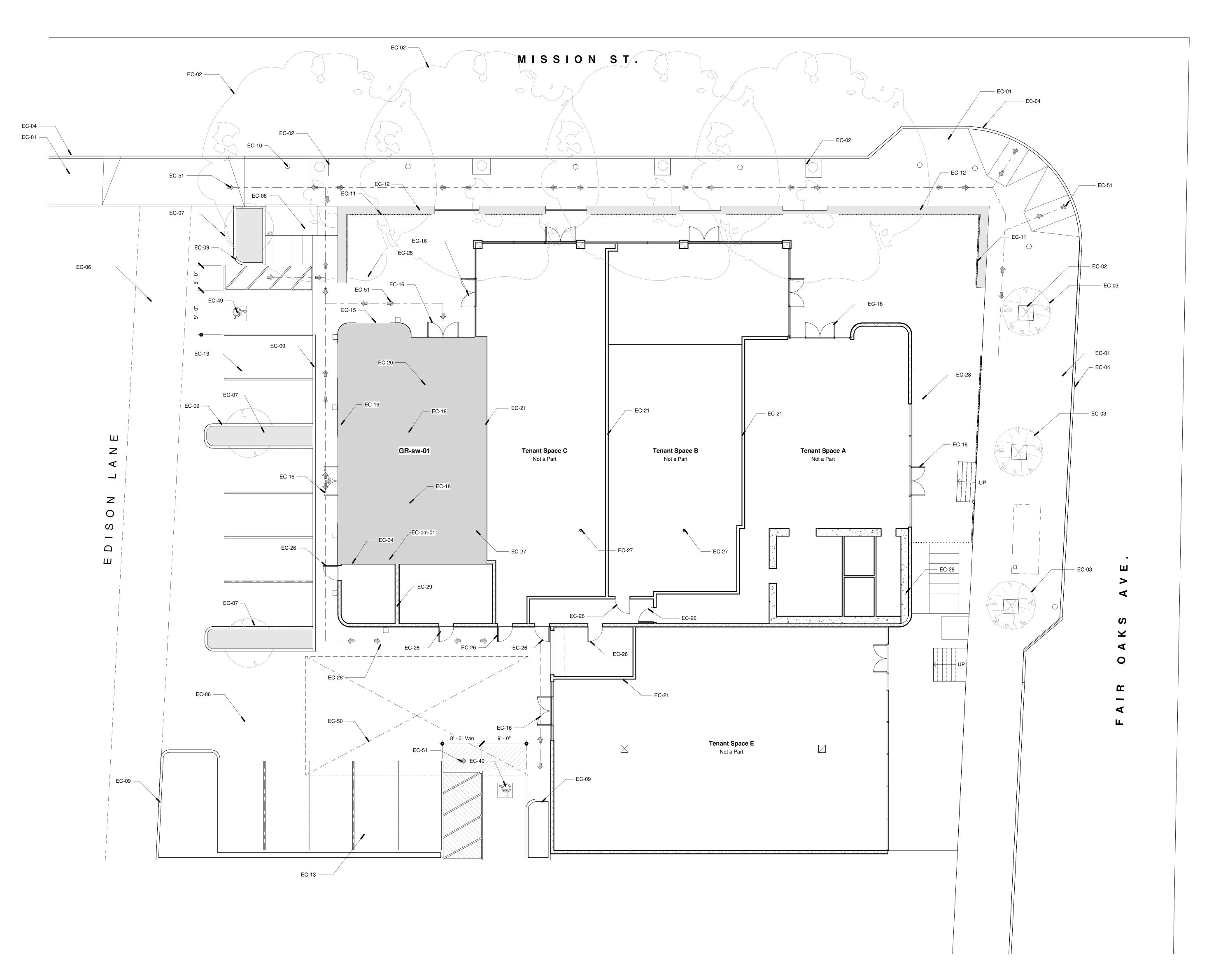
ON-SITE CONSUMPTION IN CONJUNCTION WITH AN EXISTING RESTAURANT

The Applicant Rice & Nori, LLC is requesting a Conditional Use Permit to allow the sale and service of beer and wine for on-site consumption at its restaurant "Rice & Nori" located at 901 Fair Oaks Ave., Unit D, South Pasadena, CA 91030. The site is located within an existing multi-tenant commercial development, which has recently been updated. The restaurant will occupy a 1,260 sf interior tenant space, with 23 patron seats There are an additional 16 seats on the adjacent patio which is located entirely within the parcel and does not encroach into the public right of way. Rice & Nori offers a selection of freshly prepared sushi items. The restaurant will also offer a selection of beverages including beer & wine. Beer and wine will be available for on-site consumption within the restaurant and or in the patio seating area. No off-site consumption of beer & wine is proposed. The restaurant will utilize an ABC Type 41 License. The restaurant's hours of operation will be 10am to 10pm daily, and hours of beer and wine sales will be the same. The Applicant believes the hours are reasonable, and that they are consistent with the variety of commercial uses in the area. This restaurant employs approximately 25 people at this location.

The Applicant believes that its request for the Conditional Use Permit to allow the sale of beer and wine for on-site consumption along with meals at the operating restaurant is reasonable and appropriate. The sale of beer and wine will remain ancillary to the main function of the business which is food preparation and meal service. Nonetheless it has become an expected amenity in many similarly situated restaurants, whereby patrons appreciate having the ability to enjoy a glass of wine or beer with their meals. The Applicant understands the responsibility in serving beer & wine, and will work to continue to operate the restaurant in a professional manner. Per ABC requirements, all restaurant employees involved in the sale of beer & wine will be required to undergo an ABC approved Responsible Beverage Server (RBS) program instructing them how to serve beer & wine in a responsible and safe manner. The Applicant is looking forward to continuing to contribute to the South Pasadena community and would appreciate your support of their Conditional Use Permit request.

ATTACHMENT 3

Site & Floor Plan



These plans and incorporated designs embodied thereon are the property of George Architecture. Visual contact with these documents constitute prima facia acceptance of these conditions and conditions on the site and George Architecture. Visual contact with these documents constitute prima facia acceptance of these conditions and conditions and conditions on the site and George Architecture shall be notified immediately of any variations from the dimensions and conditions indicated on these drawings. Copyright 2018 George Architecture.

1 As-Built First Floor Building / Site Plan

1/8" = 1'-0"

George Architecture

Anthony R. George, Principal

845 Mission Street South Pasadena, CA 91030 O: 626.441.1199 F: 626.441.5599

www.georgearchitecture.com mail@georgearchitecture.com



Revisions

NO. DATE DESCRIPTION

Keynote Legend

Note: To aid in translating **first key** in keynotes, please

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EC-dm-01 (E) Electrical Panel to be removed and relocated.
GR-sw-01 Area of New Work, Unit D, shown shaded.

Owner

Rice & Nori LLC

Project

Rice & Nori South Pasadena

901 Fair Oaks Avenue Unit D South Pasadena, CA 91030

Job No: Proj. Mgr.
P-2012 Approver

P-2012 Approver Authorisms Date: Issue Date

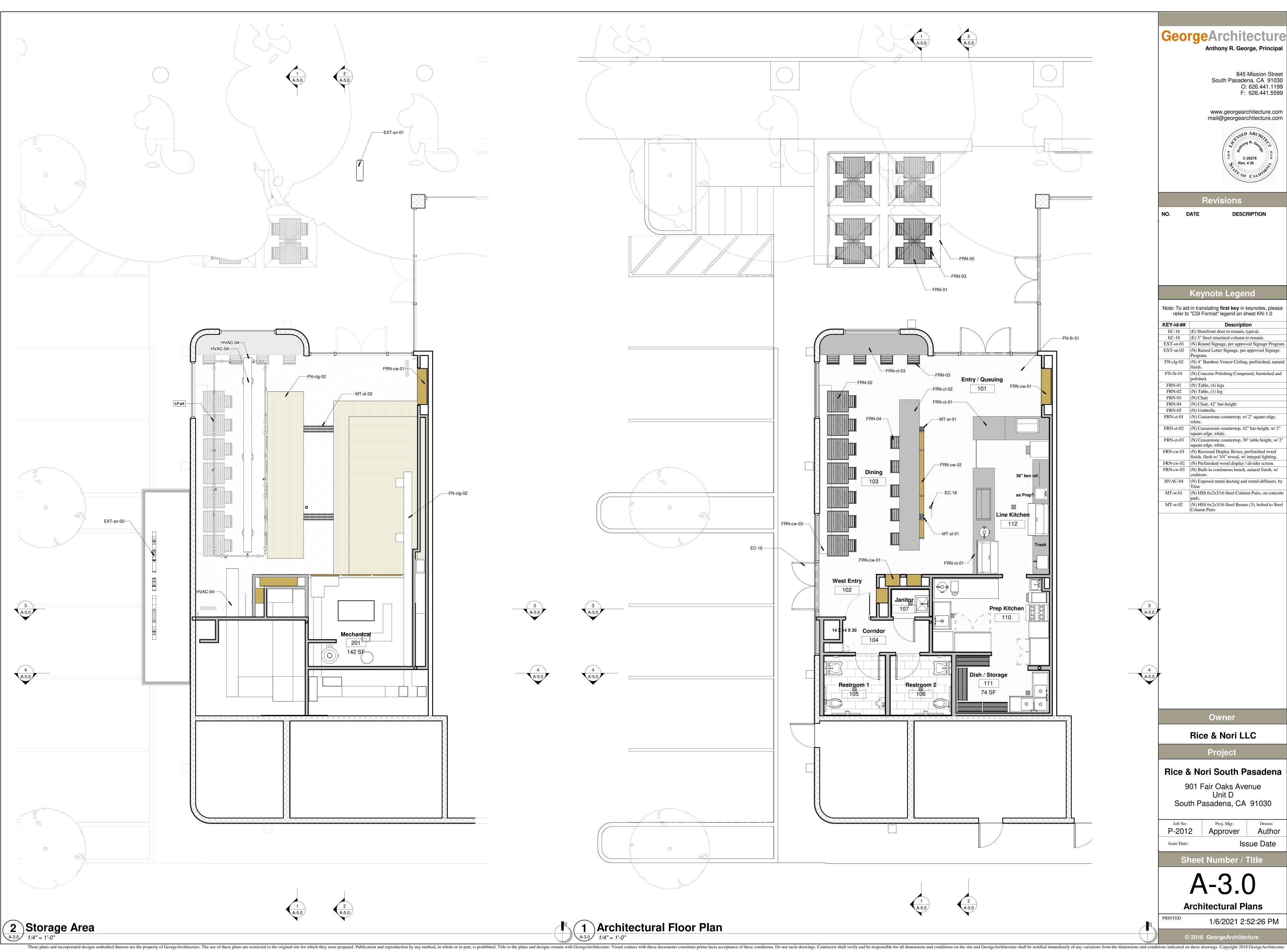
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As-Built Building Plan

1/6/2021 2:52:00 PM

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GeorgeArchitecture Anthony R. George, Principal

845 Mission Street South Pasadena, CA 91030 O: 626.441.1199 F: 626.441.5599

www.georgearchitecture.com mail@georgearchitecture.com



Revisions

DESCRIPTION

Keynote Legend

Note: To aid in translating **first key** in keynotes, please refer to "CSI Format" legend on sheet KN-1.0

KEY-id-## Description EC-16 (E) Storefront door to remain, typical. EC-18 (E) 3" Steel structural column to remain. EXT-sn-01 (N) Round Signage, per approved Signage Program. EXT-sn-02 (N) Raised Letter Signage, per approved Signage

FN-clg-02 (N) 4" Bamboo Veneer Ceiling, prefinished, natural FN-flr-01 (N) Concrete Polishing Compound, burnished and FRN-01 (N) Table, (4) legs

FRN-02 (N) Table, (1) leg FRN-03 (N) Chair FRN-04 (N) Chair, 42" bar-height

FRN-05 (N) Umbrella FRN-ct-01 (N) Ceasarstone countertop, w/ 2" square edge,

FRN-ct-02 (N) Ceasarstone countertop, 42" bar-height, w/ 2" square edge, white.

FRN-ct-03 (N) Ceasarstone countertop, 30" table height, w/ 2" square edge, white. FRN-cw-01 (N) Recessed Display Boxes, prefinished wood finish, flush w/ 3/4" reveal, w/ integral lighting. FRN-cw-02 (N) Prefinished wood display / divider screen.

FRN-cw-03 (N) Built-in continuous bench, natural finish, w/ cushions. HVAC-04 (N) Exposed metal ducting and round diffusers, by

MT-st-01 (N) HSS 6x2x3/16 Steel Column Pairs, on concrete

MT-st-02 (N) HSS 6x2x3/16 Steel Beams (3), bolted to Steel Column Pairs

Owner

Rice & Nori LLC

Project

Rice & Nori South Pasadena

901 Fair Oaks Avenue Unit D South Pasadena, CA 91030

Approver Issue Date

Sheet Number / Title

Architectural Plans

1/6/2021 2:52:26 PM



Planning Commission Agenda Report

ITEM NO. $_^{10}$

DATE: November 14, 2023

FROM: Angelica Frausto-Lupo, Community Development Director

Matt Chang, Planning Manager

PREPARED BY: Robert (Dean) Flores, Senior Planner

SUBJECT: Project No. 2592-CUP – A request for a Conditional Use Permit for the

on-site sale of beer and wine (Type 41 ABC license) for an existing, bona fide restaurant (Modan Artisanal Ramen) located at 700 Fair Oaks Avenue, #G-H (APN: 5318-004-024) and finding that the project is exempt pursuant to California Environmental Quality Act Guidelines

Section 15301.

Recommendation

It is recommended that the Planning Commission adopt a Resolution:

- 1. Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301.
- 2. Approving Project No. 2592-CUP (Conditional Use Permit) for on-site sale and consumption of beer and wine (Type 41 License) for an existing restaurant located at 700 Fair Oaks Avenue, #G-H, subject to the conditions of approval.

Background

Project Timeline

On July 1, 2014, the restaurant, Modan Artisanal Ramen, obtained their business license to operate a sit down, full-service restaurant.

On August 10, 2023, the applicant, Modan Artisanal Ramen, submitted an application for a Conditional Use Permit for the sale of beer and wine (Type 41 License) for on-site consumption within the suite. They also submitted a separate interior tenant improvement project concurrently with their CUP application. On October 4, 2023, the Planning Division provided approval for the tenant improvement project, allowing their submittal of the plans to the Building Division.

Planning Commission November 14, 2023 Page 2 of 12

On October 24, 2023, the CUP application was deemed complete after the applicant resubmitted their project plans and supplemental information such as a revised project narrative and updated menu.

On October 30, 2023, the newly adopted General Plan and Downtown Specific Plan (DTSP) became effective and rezoned certain properties in the City, including the subject property from Commercial General (CG) zoning district to DTSP.

Project Description

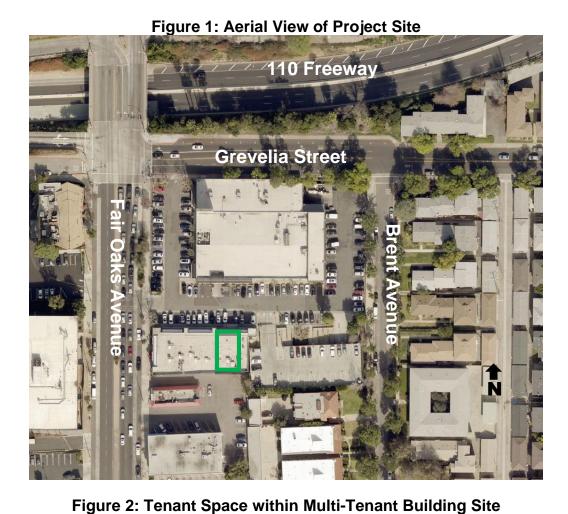
The applicant, Modan Artisanal Ramen, is requesting approval of a Conditional Use Permit (CUP) to allow the sale of beer and wine for on-site consumption (Type 41 License) for an existing restaurant in a multi-tenant commercial building. The applicant is requesting the alcohol be stored behind the cashier counter in a refrigerator. The restaurant tenant occupies approximately 2,012 square foot tenant space, having 49 interior seats, with no outdoor area. The hours of operation are from 11:00 a.m. to 11:00 p.m. daily. No alterations are proposed to the exterior of the building.

The project site is located within the Bristol Farms shopping center, which is located on the southeastern corner of Fair Oaks Avenue and Grevelia Street. Other uses in the same building include one restaurant, three personal service uses, one retail store, and a coffee shop. Adjacent uses within the shopping center include the Bristol Farm supermarket, restaurants, retail, and other commercial uses. All of the properties along Fair Oaks Avenue are now zoned in the Fair Oaks Corridor within the Downtown Specific Plan (DTSP) boundary.

Surrounding Land Use Characteristics

Direction	General Plan (Previous)	Zoning (Previous)	Existing Land Use
North	N/A	N/A	110 Freeway
South	General Commercial	Commercial General	Commercial
		(CG)	
East	High Density Residential	RH (High Density	Parking structure &
		Residential)	Multi-family residential
West	General Commercial	Commercial General	Multi-tenant
		(CG)	

The applicant proposes the sales of beer and wine for on-site consumption as an ancillary use to the main restaurant operation. An aerial image showing the location of the project site outline in green is provided in **Figure 1** and **Figure 2** shows the tenant space within the multi-tenant building. The applicant proposes the sales of beer and wine for on-site consumption to be limited to the tenant space at 700 Fair Oaks Avenue #G-H, which is entirely indoors. In **Figure 3**, it shows the floor plan with the interior dining area outlined in green to indicate where alcohol will be served and consumed.



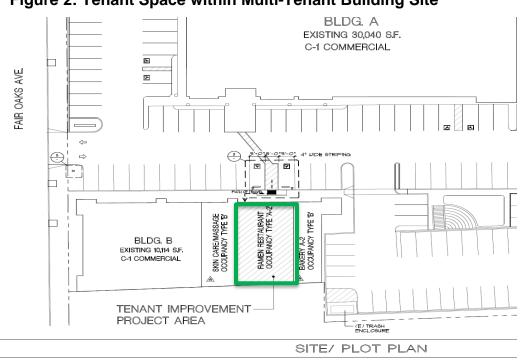
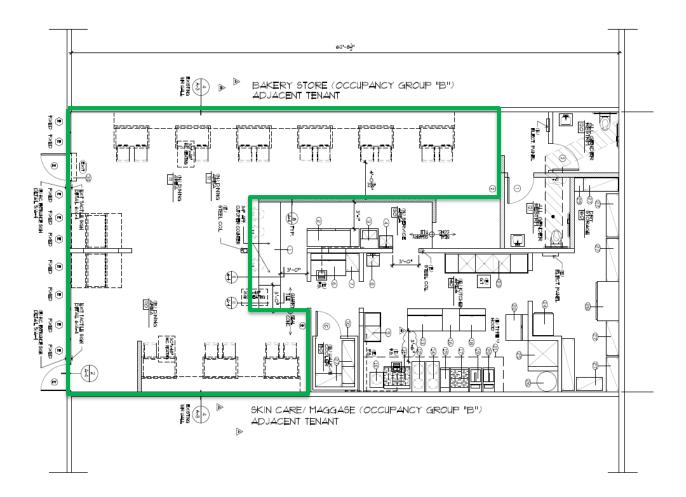


Figure 3: Modan Artisanal Ramen Floor Plan



Project Analysis

General Plan Consistency

The current General Plan land use designation of the site is Fair Oaks Corridor. However, as detailed in the "Background" section of this staff report, the CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) (referred to hereinafter as "General Plan") and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas

Planning Commission November 14, 2023 Page 5 of 12

and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell and dispense beer and wine at an existing restaurant, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change the nature of the business, but will however, provide a new amenity to the surrounding community. Therefore, the request is consistent with the General Plan.

Zoning Code Compliance

At the time of the project submittal, the zoning for the site was Commercial General (CG), which was intended for a wide range of commercial retail and service land uses. The existing restaurant conforms to the allowable uses within the CG zone and is consistent with the General Commercial land use designation in the previous General Plan (1998).

The sale of alcohol is also permitted in the CG zone with approval of a Conditional Use Permit. Conditional Use Permits are intended to allow for activities whose effect on a site and its surroundings can only be determined after the review of the configuration, design, location, and potential impacts of the proposed use and the suitability of the use to the site.

A Conditional Use Permit is required to authorize proposed activity identified by South Pasadena Municipal Code ("SPMC") Section 36.230.030 as being allowable in the applicable commercial zoning district subject to the approval of a Conditional Use Permit.

Conditional Use Permit

Pursuant to SPMC Section 36.410.060(D), the Planning Commission may grant a Conditional Use Permit (CUP) for any use listed in Article 2 of Chapter 36 (Zoning) as requiring a CUP. Alcoholic beverages for "on-site sale and consumption of beer and wine" (Type 41 license) are subject to a CUP pursuant to SPMC Section 36.350.040 and, therefore, would require an approval from the Planning Commission. Pursuant to Section 36.350.040 of SPMC, the considerations required to be reviewed for alcohol sales are the following:

- 1. Whether the proposed use will result in an undue concentration of establishments dispensing alcoholic beverages.
- 2. The distance of the proposed use from the following:
 - a. Residential uses:

- b. Religious facilities, schools, libraries, public parks and playgrounds, and other similar uses; and
- c. Other establishments dispensing alcoholic beverages.
- 3. Whether the noise levels generated by the operation of the establishment would exceed the level of background noise normally found in the area or would otherwise be intrusive.
- 4. Whether the signs and other advertising on the exterior of the premises would be compatible with the character of the area.

1. Undue Concentration

The Department of Alcoholic Beverage Control (ABC) puts a limit on the number of on-site and off-site licenses it uses, based on the population of people within a given census tract. Modan Artisanal Ramen is located within census tract 4806.01, as illustrated in **Figure 4**. The location of the restaurant within Census Tract 4806.01 is shown in Figure 4 near the green arrow.

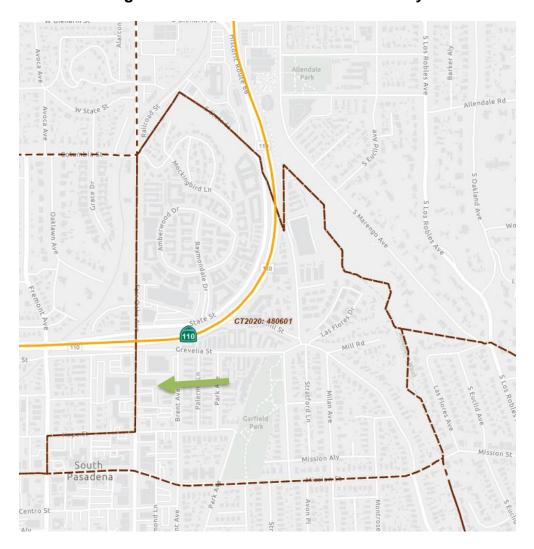


Figure 4: Census Tract 4806.01 Boundary

According to the ABC Licensing Reports, Census Tract 4806.01 currently holds nine (9) active on-site licenses. **Table 1** lists businesses with an active alcohol license, derived from the ABC Licensing Report for the Census Tract 4806.01. However, as shown in the table below, the Type 58 and 77 licenses are ancillary licenses for their respective businesses (Bristol Farms, Gus's BBQ, and Twohey's Restaurant). As a result, there are only 5 businesses that have ABC licenses.

Table 1: Active Alcohol Licenses in Census Tract 4806.01

Type	Business Name	Address
41 – On-Sale Beer & Wine - Eating Place	Bristol Farms	606 Fair Oaks Avenue
41 – On-Sale Beer & Wine - Eating Place	Tokoro Restaurant	802 Fair Oaks Avenue
47 – On-Sale General Eating Place	Canoe House	805 Fair Oaks Avenue
47 – On-Sale General Eating	Gus's BBQ	808 Fair Oaks Avenue
Place		
47 – On-Sale General Eating	Twohey's Restaurant	424 Fair Oaks Avenue
Place		
58 – Caterer's Permit	Bristol Farms	606 Fair Oaks Avenue
58 – Caterer's Permit	Gus's BBQ	808 Fair Oaks Avenue
58 – Caterer's Permit	Twohey's Restaurant	424 Fair Oaks Avenue
77 – Event Permit	Gus's BBQ	808 Fair Oaks Avenue
TOTAL:	Nine (9) On-Sale License Types	

That said, ABC authorizes a certain number of licenses to each census tract for both on-sale and off-sale licenses. In the case of Census Tract 4806.01, **Table 2** shows the number of on-sale and off-sale licenses authorized by ABC.

Table 2: Authorized Licenses by ABC in Census Tract 4806.01

Census Tract Population	On-sale Licenses Authorized	Off-sale Liceses Authorized
4,241	4	2

As shown in **Tables 1 & 2**, Census Tract 4806.01 already features more licenses than is currently authorized by ABC. However, Type 41 and Type 47 licenses are treated differenty by ABC than other types of licenses such as Type 20 – Off-sale Beer & wine, Type 21 – Off-sale General, Type 42 – On-sale Beer & Wine (Public Premises), Type 48 – On-sale General (Public Premises), and Type 90 – On-sale General (Music Venue). In the case of Types 20, 21, 42, 48, and 90, ABC requires that the local agency determine a public convenience or necessity (PCN) is established if the applicant's premises is 1) located in a "high crime" area based on local crime statistics and/or if the number of similar license types exceeds the limit set forth by state law

(overconcentration)¹. Conversely, for license Types 41 and 47, which are both for bona fide eating establishments, ABC is the responsible agency that determines if a PCN needs to be established. As a result, although this application would continue the overconcentration of this census tract, it is not a requirement for the City to determine whether a PCN needs to be established for Type 41 licenses since the serving of alcohol for a restaurant is considered an ancillary use to the primary use of the restauarant itself.

2. Distance of Other Uses

As mentioned previously, one of the considerations for reviewing a CUP application for alcohol sales is the distance between the subject premises and certain uses such as residential, religious facilities, schools, libraries, public parks and playgrounds, and other similar uses as well as other establishments dispensing alcoholic beverages. **Table 3** below shows the distance between the subject premises and the aforementioned uses.

Table 3: Distance Between Premises and Closest Other Uses

Use/Business	Address	Approximate Distance
Multifamily Residential	701 Brent Avenue	97 feet
Religious Facility – South	920 Fremont Avenue	1,400 feet
Pasadena Chinese Baptist		
Church		
Calvary Preschool	1013 Mound Avenue	1,600 feet
South Pasadena Library	1100 Oxley Street	2,160 feet
Garfield Park	806 Park Avenue	900 feet
Cheerful Daycare Center	1857 Mission Street	2,100 feet
Bristol Farms (Alcohol	606 Fair Oaks Avenue	80 feet
establishment)		

As shown in Table 3, the closest uses to the existing restaruant are Bristol Farms and the multifamily residential uses at approximately 80 feet and 97 feet, respectively. Section 36.350.040 does not idenfiy a minimum distance requirement between these uses, just that they are considered when reviewing new alcoholic beverage sales applications. Additionally, it is important to note that the operation of the restaruant, and the subsequent serving of alcohol, will take place entirely indoors with no spill over in any outdoor areas. Thurs, the approval of this CUP for on-site sales and consumption of beer and wine are typical in this type of business and would be consistent with the surrounding uses. Finally, the South Pasadena Police Department and Fire Department also reviewed the proposed CUP for alcohol sales and had no objections to the proposal.

¹ Taken from Section 7 from ABC's website here: https://www.abc.ca.gov/abc-520/

3. Noise

As stated previously, the proposed CUP application will take place within an existing restaurant that operates entirely indoors. The proposal for alcohol sales will also take place entirely indoors and is considered an ancillary use. A condition of approval has been included to ensure that the applicant continues to adhere to the City's Noise Ordinance pursuant to Chapter 19A of the SPMC.

4. Signage

The last consideration for compliance with the City's alcoholic beverage standards concerns the compatibility of signage and other advertising with the surrounding neighborhood. Since the restaurant is existing and features existing signage with no additional signage or advertisement being proposed, the proposal will continue to be compatible with the surrounding.

Environmental Analysis

This project is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 – Existing Facilities. A Class 1 Categorical Exemption includes the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, involving negligible or no expansion of existing use. The project does not involve any expansion or alteration to the size of the commercial building. As such, no significant environmental effects would result from this project and the use of a categorical exemption is appropriate.

Conditional Use Permit Findings

In order to approve a CUP, the Planning Commission must make certain findings listed in SPMC section 36.410.060. The required findings are listed below.

 The proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a restaurant is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for onsite consumption (Type 41 License) as an ancillary use to the main restaurant operation and the project meets all the standards in the underline zoning district. Furthermore, as discussed in the staff report, the proposal meets all applicable zoning standards for alcoholic beverage sales concerning undue concentration, distance between surrounding uses, adherence to the City's noise standards and signage standards.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

The current General Plan land use designation of the site is Fair Oaks Corridor. However, as detailed in the "Background" section of this staff report, the CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

<u>Goal 2</u>: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

<u>Policy 2.2</u>: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

<u>Policy 3.10</u>: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell and dispense beer and wine at an existing restaurant, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change the nature of the business, but will however, provide a new amenity to the surrounding community. Therefore, the request is consistent with the General Plan.

3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

The proposed sale of beer and wine for on-site consumption is an ancillary use to the restaurant operation and is reasonable given the restaurant's location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited to hours of operation and all alcohol orders will be in conjunction with food orders. The restaurant's hours of operation are from 11:00 A.M. to 11:00 P.M., seven days a week. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions of approval are included requiring no loitering on the property, and required training for employees who will serve alcohol to ensure that the sales of alcohol would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

5. The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.

Modan Artisanal Ramen is an existing, bona fide restaurant located at 700 Fair Oaks Avenue, #G-H. The proposed request for on-site beer and wine sales (Type 41 license) does not involve any expansion to the size of the existing commercial building or any roadway modifications. Therefore, the project site is adequate in size and has sufficient access to existing streets in order to continue accommodating the existing restaurant use.

6. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.

The proposed Conditional Use Permit is compatible with existing commercial land uses within the vicinity, including similar restaurant uses in the area. No alterations are proposed to the exterior of the building as a part of this Conditional Use Permit. Therefore, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and views protection.

Staff Recommendation

Based on the above analysis, staff recommends that the Planning Commission adopt a Resolution:

1. Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301.

2. Approving Project No. 2592-CUP (Conditional Use Permit) for on-site sale and consumption of beer and wine (Type 41 License) for an existing restaurant located at 700 Fair Oaks Avenue, #G-H, subject to the conditions of approval.

Alternatives to Consider

If the Planning Commission does not agree with staff's recommendation, the following options are available:

- 1. The Planning Commission can Approve the project as is or with modified condition(s) added or removed and provide findings; or
- 2. The Planning Commission can Continue the project, providing the applicant with clear recommendations to revise the proposal; or
- 3. The Planning Commission can Deny the project if it finds that the project does not meet the City's CUP requirements.

Public Notification of Agenda Item

A Public Hearing Notice was published on November 3, 2023, in the *South Pasadena Review*. Hearing notices were sent to all properties within a 300-foot radius on November 2, 2023. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, and the posting of the same agenda and reports on the City's website.

Attachments

- 1. P.C. Resolution with Exhibit "A" Conditions of Approval
- 2. Project Narrative
- 3. Architectural Plans
- 4. Existing Menu

ATTACHMENT 1

P.C. Resolution

P.C. RESOLUTION NO. 23-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA CONDITIONALLY APPROVING PROJECT NO. 2592-CUP CONSISTING OF A CONDITIONAL USE PERMIT FOR ONSITE SALE AND CONSUMPTION OF BEER AND WINE (TYPE 41 LICENSE) AT 700 FAIR OAKS AVENUE, #G-H (APN: 5318-004-024), AND MAKING A DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

WHEREAS, on August 10, 2023, Modan Artisanal Ramen (applicant), submitted an application for a Conditional Use Permit for the sale of beer and wine (Type 41 License) for on-site consumption at the existing restaurant located at 700 Fair Oaks Avenue, #G-H (Assessor's Parcel Number: 5318-004-024); and

WHEREAS, the proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to 15301, Class 1 – Existing Facilities; and

WHEREAS, the Planning Division evaluated the project for consistency with the City's General Plan, South Pasadena Municipal Code, and all other applicable state and local regulations; and

WHEREAS, on November 2, 2023, the public hearing notice was mailed to each property owner within a 300-foot radius of the project site in accordance with the requirements of South Pasadena Municipal Code declaring the project review by the Planning Commission for the hearing on November 14, 2023; and

WHEREAS, on November 3, 2023, the City of South Pasadena Planning Division, published a legal notice in the *South Pasadena Review*, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law concerning Project No. 2592-CUP; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on November 14, 2023, at which time it considered the staff report, oral report, the testimony, and the written evidence submitted by and on behalf of the applicant and by members of the public concerning Project No. 2592-CUP and considered the proposed Conditional Use Permit for the on-site sale and consumption of beer and wine (Type 41 License) for an existing bona fide restaurant at 700 Fair Oaks Avenue, #G-H.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ACKNOWLEDGEMENTS

The foregoing recitals are true and correct and are incorporated and made an operative part of this resolution.

SECTION 2: ENVIRONMENTAL REVIEW FINDING

The Planning Commission has determined that the proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under Section 15301, Class 1 – Existing Facilities of the California Guidelines for Implementation of CEQA. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment or topographical features, involving negligible or no expansion of existing use. The project does not involve any expansion or alteration to the size of the commercial building. As such, no significant environmental effects would result from this project and the use of a categorical exemption is appropriate.

SECTION 3: CONDITIONAL USE PERMIT FINDINGS

Based upon the entire record made available at the November 14, 2023 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of a Conditional Use Permit pursuant to South Pasadena Municipal Code (SPMC) Section 36.410.060, as follows:

1. The proposed use is allowed with Conditional Use Permit or Administrative Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a restaurant is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for onsite consumption (Type 41 License) as an ancillary use to the main restaurant operation and the project meets all the standards in the underline zoning district. Furthermore, the proposal meets all applicable zoning standards for alcoholic beverage sales concerning undue concentration, distance between surrounding uses, adherence to the City's noise standards and signage standards.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

The CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project was considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

<u>Goal 2</u>: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

<u>Policy 2.2</u>: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

<u>Policy 3.10</u>: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project is consistent with the goals, policies, actions of the General Plan by allowing an existing business to sell and dispense beer and wine at an existing restaurant, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change the nature of the business, but will however, provide a new amenity to the surrounding community. Therefore, the request is consistent with the General Plan.

The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

The proposed sale of beer and wine for on-site consumption is an ancillary use to the restaurant operation and is reasonable given the restaurant's location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited to hours of operation and all alcohol orders will be in conjunction with food orders. The restaurant's hours of operation are from 11:00 A.M. to 11:00 P.M., seven days a week. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions of approval are included requiring no loitering on the property, and required training for employees who will serve alcohol to ensure that the sales of alcohol would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

5. The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.

Modan Artisanal Ramen is an existing, bona fide restaurant located at 700 Fair Oaks Avenue, #G-H. The proposed request for on-site beer and wine sales (Type 41 license) does not involve any expansion to the size of the existing commercial building or any roadway modifications. Therefore, the project site is adequate in size and has sufficient access to existing streets in order to continue accommodating the existing restaurant use.

6. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.

The proposed Conditional Use Permit is compatible with existing commercial land uses within the vicinity, including similar restaurant uses in the area. No alterations are proposed to the exterior of the building as a part of this Conditional Use Permit. Therefore, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and views protection.

SECTION 4: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission's decision is based, which include, but are not limited to, the staff reports, as well as all materials that support the staff reports for the proposed project, and are located in the Community Development Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 5: DETERMINATION

Based upon the findings outlined in Sections 2 through 3 above and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby conditionally approves Project No. 2592-CUP consisting of a Conditional Use Permit for the on-site sale and consumption of beer and wine (Type 41 License) for an existing bona fide restaurant at 700 Fair Oaks Avenue, #G-H, subject to the Conditions of Approval attached hereto as Exhibit "A."

SECTION 6: APPEALS

Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must be filed with the City, in writing, and with appropriate appeal fee, no later than (15) days, following the date of the Planning Commission's final action.

SECTION 7: CERTIFICATION OF THE RESOLUTION

The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 14th day of November 2023.

PASSED, APPROVED, AND ADOPTED this 14 th day of November 2023 by the followin vote:
AYES:
NOES:
ABSENT:
ABSTAIN:

	Laura Dahl, Planning Commission Chair
ATTEST:	

Amitabh Barthakur, Secretary to the Planning Commission

700 Fair Oaks Avenue, #G-H 2592-CUP

P.C. Resolution No. 23-12 Page 7 of 7

EXHIBIT "A"

Conditions of Approval

EXHIBIT "A" CONDITIONS OF APPROVAL PROJECT NO. 2592-CUP 700 Fair Oaks Avenue, #G-H (APN: 5318-004-024)

PLANNING DIVISION:

- P-1. The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on November 14, 2023:
 - A. **Conditional Use Permit** for the sale of beer and wine for on-site consumption at an existing restaurant (Type 41 License).
- P-2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval by the Planning Commission unless otherwise conditioned and/or unless the use is established or action is taken. The on-sale beer and wine license (Type 41) shall be acquired by the California Department of Alcoholic Beverage Control (ABC) prior to the termination period.
- P-3. Approval by the Planning Commission does not constitute a building permit. No structural modifications were proposed as part of this CUP request.
- P-4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P-5. Compliance with and execution of all appropriate conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P-6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P-7. Compliance with the City's Performance Standards of Section 36.300.110, which also include the Noise Standards (Chapter 19A), of the South Pasadena Municipal Code (SPMC) shall be adhered to at all times.
- P-8. The sales of beer and wine shall be limited to the hours of operation of the restaurant, 11 a.m. to 11 p.m. daily.
- P-9. No sale or consumption of beer and wine shall be permitted until the customer/s have been seated.
- P-10. The sale of beer and wine for on-site consumption shall only be incidental to the operation of the restaurant. Sale of alcohol for off-site consumption within the restaurant shall be prohibited.
- P-11. Quarterly gross sales of alcohol shall not exceed quarterly gross sales of food within the restaurant. Quarterly records shall be maintained to separately reflect gross sales of food and gross sales of beer and wine and shall be made available to the City of South Pasadena upon request.
- P-12. The restaurant premises shall be continuously maintained as a bona fide eating establishment, and shall provide a menu containing an assortment of foods typically offered in restaurants.
- P-13. No advertising for alcoholic beverages may be displayed in store windows or outside of the store.
- P-14. All alcohol sales cases/displays shall be located in such a manner to prevent "grab-and-run" thefts of alcohol. The sales cases/displays shall be located in sight of the sales counter at all times, if possible.
- P-15. The employees who will be engaged in the sale of alcohol must complete the State Alcoholic Beverage Control's mandated training, as well as the store's internal training on the sale of alcohol.

P-16. The consumption of beer and wine shall be permitted only within the restaurant as outlined in green in **Figure 1**.

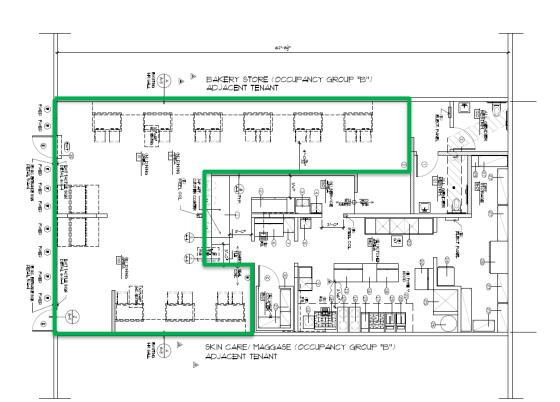


Figure 1: Modan Artisanal Ramen Floor Plan

- P-17. Any individuals discovered loitering on the property shall immediately be informed to leave the premises, by the owner. Should the owner fail to abate the problems, the South Pasadena Police Department and/or other enforcement agencies reserve the right to take appropriate enforcement actions to abate the problem, and the permit/alcohol licenses may be subject to revocation.
- P-18. The store management shall regulate the arrival and departure of all employees and restrict the "late hour" use of the exit for trash removal and unnecessary opening. Adequate security measures shall be instituted to eliminate any unauthorized access.
- P-19. The Conditional Use Permit issued for the alcoholic beverage establishment and a copy of the conditions of approval for the permit shall be displayed on the premises of the establishment in a place where it may readily be viewed by any member of the general public.

ATTACHMENT 2

Project Narrative

Modan Artisanal Ramen Inc. Dba: Modan Artisanal Tenant: Tae Wonko 700 Fairoaks Ave. Unit G South Pasadena, CA 91030

RE:Justification Letter

The long time existing Korean styled restaurant at 700 FAWOOKS Ks is requesting administrative approval for the on-site sale and consumption of beer and wine (Type 41) in an existing 2012 square foot restaurant with a total seating of 49 interior seats with hours of operation from 11A-11P daily.

The existing restaurant has operated for numerous years without any violations or law enforcement problems. The community it serves has requested, on numerous occasions over the years, for some type of Alcoholic Beverage service with their variety of meals.

Our staff will adhere to all the established rules and regulations in performance of their duties. Mandated ABC training for all staff that meet the requirements, will be required. Signage will be posted to discourage loitering and lingering in the parking areas and patio. Ample lighting and security cameras will assist in our safety measures for staff and customers. Our staff will diligently monitor indoor and outdoor areas for any negative activity. Our restaurant will have an open door policy for suggestions and complaints from the community.

Due to the type of operation, as a family styled restaurant with no bar, conservative hours, no live entertainment, no dancing or karaoke and sells of beer and wine ancillary to food sales, we believe that public convenience exists within the scope of the general plans for the area.

Thank you

ATTACHMENT 3

Architectural Plans

TENANT IMPROVEMENT MODAN ARTISANAL RAMEN RESTAURANT

700 FAIR OAKS AVE SUITE G & H SOUTH PASADENA, CA

GENERAL NOTES

CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO HIS FAILURE TO DO SO.

SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS.

ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST ADOPTED UNIFORM BUILDING CODE AS AMENDED, ALL ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION AND SPECIAL REQUIREMENTS INDICATED IN THE BUILDING SUMMARY OR THESE GENERAL

ALL SIGNAGE IS NOT A PART OF THIS CONTRACT, SIGN CONTACTOR TO OBTAIN SEPARATE APPROVALS AND PERMITS FROM GOVERNING

UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR IN THE PROJECT MANUAL AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.

ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S) AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL), INTO THE SITE TO SERVICE THE BUILDINGS.

ALL LEGAL EXITS INDICATED ON THE PLANS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AND SHALL BE LABELED, "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" IN BLOCK LETTERS A MINIMUM OF I INCH HIGH ON A CONTRASTING BACKGROUND. SPECIAL LOCKING DEVICE SHALL BE ON AN APPROVED TYPE. FLUSH BOLTS OR SURFACE BOLTS ARE NOT ALLOWED. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 LBS. FOR EXTERIOR DOORS, 5 LBS. FOR INTERIOR DOORS AND 15 LBS. FOR FIRE RATED DOORS.

NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, A.C. DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE STRUCTURAL ENGINEER

WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER DUCTS, PIPING, CONDUIT, ETC., THE LARGER SIZE STUD OR FURRING SHALL EXTEND THE FULL LENGTH OF THE SURFACE WHERE THE FURRING OCCURS.

PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AT 10'-0" O.C. EACH WAY WHERE SHOWN ON THE DRAWINGS.

THE BUILDING(S) AND FACILITIES MUST BE ACCESSIBLE TO AND FUNCTIONAL FOR THE PHYSICALLY DISABLED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ALL OTHER STATE/FEDERAL GOVERNING AGENCIES.

ALL FLOORS IN PUBLIC AREAS SHALL HAVE NON-SLIP SURFACES IN COMPLIANCE WITH DIVISION IS OF "HEALTH AND SAFETY CODES OF THE STATE OF CALIFORNIA", TITLE 24, AND A.D.A.

BUILDING NOTES A

COMPENSATION INSURANCE CERTIFICATE.

REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING

- . TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DIPERSAL BY WIND.
- 4. SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ADDITION, AND/OR REMODEL WORK. THE SOUTH COAST AIR QUALITY MANAGEMENT (909) 396-2000. BE ADVISED, SCAQMD MAY REQUIRE A 10 DAY WAIT PERIOD PRIOR TO START OF WORK.
- 5. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCE, RULES AND/OR REGULATIONS.
- 6.SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS

AT TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW VALID WORKER'S

2. AT WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24

- ACCORDANCE WITH CALIFORNIA STATE AIR QUALITY PRIOR TO START OF ANY DEMOLITION, DISTRICT OFFICE IS LOCATED AT 21865 COPLEY DRIVE IN DIAMOND BAR, PHONE NO.

- DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN

SUBMITAL AND APPROVAL.

ALL PLUMBING, MECHANICAL AND ELECTRICAL PLAN UNDER SEPARATE

CUSTOMER/WAITING AREA 920 S.F. / 15

1,029 S.F./ 200

263 S.F./100

2,012 S.F.

REMODEL EXISTING RESTAURANT- EXPAND THE DINING AREA, AND

SHEET INDEX

PROPOSED FLOOR PLAN AND REFLECTED CEILING PLAN

TITLE SHEET & NOTES

DEMOLITION FLOOR PLAN

PROPOSED EQUIP. PLAN

LEGEND AND SCHEDULE

ELECTRICAL TITTLE-24

PROJECT DATA

DOOR SCHEDULE AND DETAILS

LEGEND, SCHEDULE AND GENERAL NOTES

PLUMBING SOIL, WASTE AND VENT PLANS

ROOF PLAN AND MECHNICAL FLOOR PLAN

PLUMBING HOT, COLD WATER AND GAS FLOOR PLANS

PANEL SCHED., SINGLE LINE DIAGRAM AND SITE PLAN

LIGHTING PLAN AND EMERGENCY LIGHTING PHOTOMETRIC

100 FAIR OAKS AVE SUITE G & H SOUTH PASADENA, CA 91030

100 FAIR OAKS AVE SUITE G & H

500 S. SHATTO PL. STE. 405 L.A. CA 90020

C.F.C. 2022 CALIFORNIA FIRE CODE

CG (COMMERCIAL GENERAL)

1 STORY

KITCHEN / CASH COUNTER /

SERVICE AREA

AND OTHER

TOTAL LOAD

ALL GENDER RESTRM.

TYPE III-B (FULLY-SPRINKLED)

C.E.C. 2022 CALIFORNIA ENERGY CODE

2023 LOS ANGELES COUNTY AMENDMENTS 2023 CITY OF SOUTH PASADENA MUNICIPAL CODE

TENANT IMPROVEMENT FOR RAMEN RESTAUARNT

C.B.C. 2022 CALIFORNIA BUILDING CODE

C.P.C. 2022 CALIFORNIA PLUMBING CODE

C.M.C. 2022 CALIFORNIA MECHANICAL CODE

C.E.C. 2022 CALIFORNIA ELECTRICAL CODE

SOUTH PASADENA, CA 91030

LEE+ KIM ASSOCIATE INC.

TAE WON KO, OWNER

GENERAL NOTES, ELECT, SYMBOLS LIST, LIGHT FIXTURE SCHEDULES

T.I. FOR MODAN ARTISANAL RAMEN RESTAURANT

TEL. 213-383-1130 FAX. 213-383-3511

61 OCCS

5.0 OCCS

2.6 OCCS

68.6 OCCS

EXISTING FLOOR PLAN

SITE/ PLOT PLAN

SPECIFICATION

DETAILS

SITE PLAN

SHEET

TS-1

SA-1.0

A-0.0

A-4.0

P-2

M-2

PROJECT OWNER:

CONTACT PERSON:

BIUILDING USE:

ZONING:

BUILDING TYPE:

BUILDING STORY:

OCCUPANCY LOAD:

PROJECT DESCRIPTION:

OCCUPANCY TYPE:

PROJECT FLOOR AREA:

NUMBER OF EXITS REQUIRED: 2 EXITS

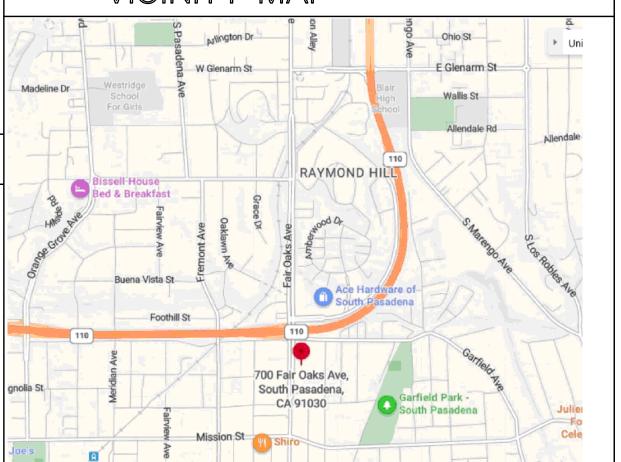
NUMBER OF EXITS PROVIDED: 2 EXITS

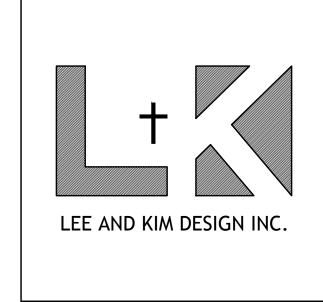
BUILDING CODE:

LEGAL DESCRIPTION

ASSESSOR PARCEL NUMBER: 5318-004-024

VICINITY MAP





S. SHATTO PL. Suite 405 Los Angeles California 90020

TEL 213 383 7730 FAX 213 383 3577

PROJECT

TENANT IMPROVEMENT FOR MODAN ARTISANAL RAMEN RESTAURANT

700 FAIR OAKS AVE SUITE G & H SOUTH PASADENA, CA 91030

SHEET TITLE

TITLE SHEET/ NOTES

REVISION DATE NOTE BUILDING CORRECTION MAY 2023

AHJ STAMP APPROVAL

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DRAWN BY CHECKED BY

MAR. 24 2023 OF

DIRECTORY

LEE AND KIM DESIGN INC. 500 S. SHATTO PLACE. #405 LOS ANGELES, CA 90020 TEL 213.383.7730 FAX 213.383.3577

ELECTRICAL M&N ELECTRICAL ENGINEERING, INC.

DESIGNER

ENGINEER

ENGINEER

4055 WILSHIRE BLVD. SUITE 526 LOS ANGELES, CA 90010

TEL 213.383.0073 FAX 213.383.5104

ALFREDO ADAME MECHANICAL 500 SHATTO PLACE #405 LOS ANGELES, CA 90020

TEL. 714.235.1181

V201903

Approved by:

*If an area has been altered without providing an accessible path of travel to that area, and subsequent alterations of that area or a

different area on the same path of travel are undertaken within three years of the original alteration, the total cost of alterations to the

areas on that path of travel during the preceding three-year period shall be considered in determining whether the cost of making that

I certify that the above information is true and correct to the best of my knowledge and belief.

SUMMARY OF ACCESSIBILITY UPGRADES A

Summary of Accessibility Upgrades for

Commercial Projects

PATH OF TRAVEL REQUIREMENTS FOR AREA OF ALTERATION, STRUCTURAL REPAIR, OR ADDITION

Application No. BL-2023-0496

*Adjusted Cost of Proposed Construction:

Will this feature be replaced or If so, how much will be spent

altered to meet Chapter 11B of to make this feature

500 Shatto Pl. Ste. 405

Date:

City, State Zip: Los Angeles, Ca 90020

Phone No.: 213-383-7730

Permit Valuation: \$70,000

the current CBC?

(For existing buildings where the adjusted construction cost is less than or equal to \$195,358.00 (rev. 1/1/2023) Sec. 11B-202.4 Exception

Does existing feature meet

11B of the current CBC?

accessibility standards of Chapter

N/A

N/A

Yes

Yes

N/A N/A

Summary of costs of Accessible Features Nos. 1-6 provided above.

Construction cost for all proposed work on this permit application

Cost of all Features Provided / Total Cost on Same Path of Travel.

Date:07 /05 /23 Company: Lee+Kim Associate

Address:

except Accessible Features Nos. 1-6 provided above.

Project Address: 700 FAIR OAKS AVE SUITE G & H

Accessible Features

Accessible route to the altered area

Accessible restroom for each sex or a

Accessible entrance

unisex restroom

6. Other (Any of the below)

Cost of All Features Provided (A)

B. Signs

C. Alarms

D. Other:

Applicant Certification

Signature: Samuel Kim

Designer

path of travel accessible is disproportionate.

Agent for:

☐ Owner ☐ Architect ☐ Engineer ☐ Contractor

Name: (print) Samuek Kim

For Building Official Use Only

Accessible drinking fountains

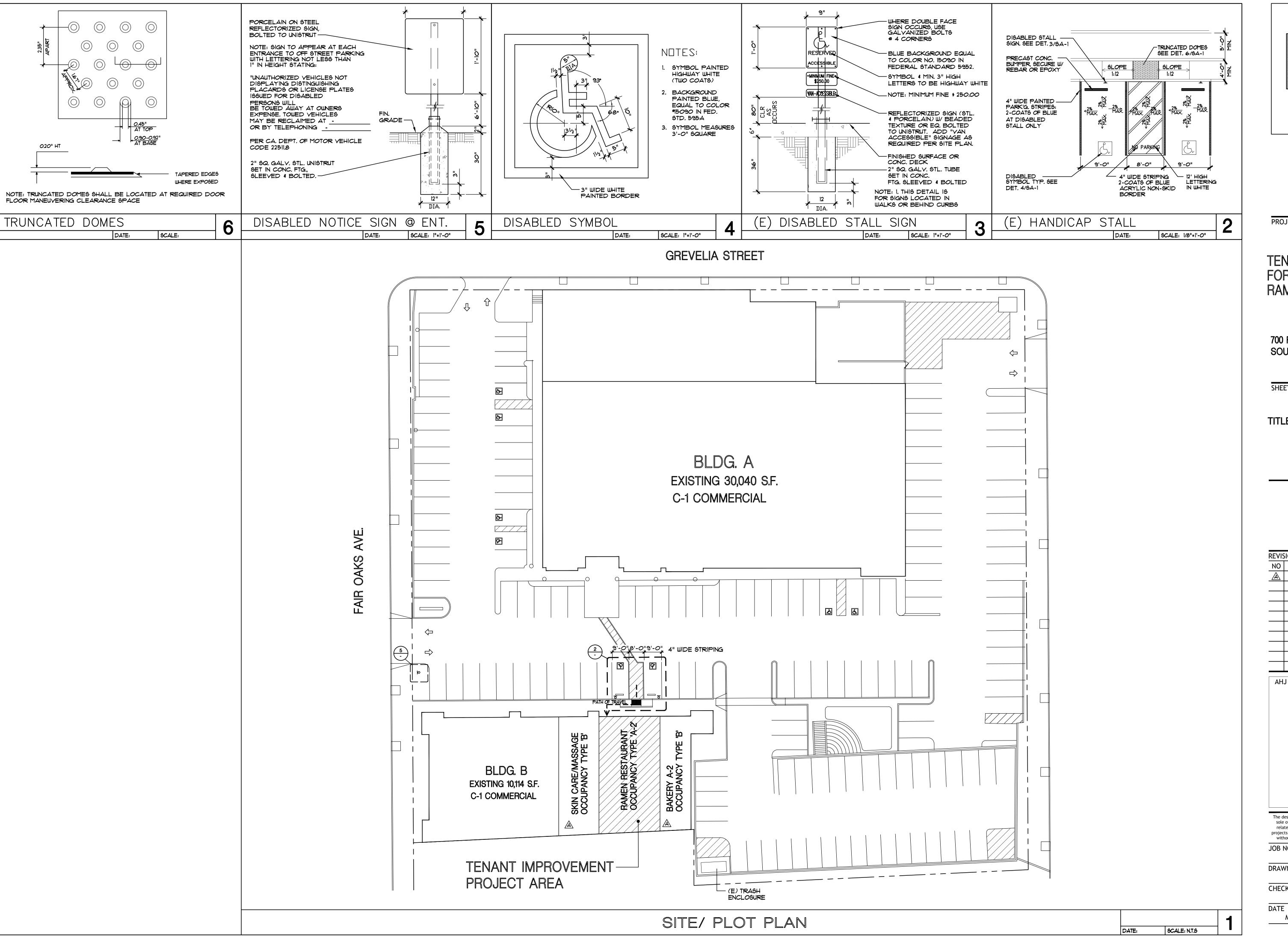
A. Accessible parking spaces

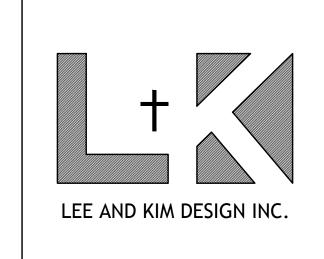
Adjusted Cost of Proposed Construction (B)

Percentage Upgrades Provided (A / B)

Description of Access Features Provided

Project Description/Location: Reataurant tenant improvement at gound level





S. SHATTO PL.
Suite 405
Los Angeles
California 90020

TEL 213 383 7730 FAX 213 383 3577

PROJECT

TENANT IMPROVEMENT FOR MODAN ARTISANAL RAMEN RESTAURANT

700 FAIR OAKS AVE SUITE G & H SOUTH PASADENA, CA 91030

SHEET TITLE

TITLE SHEET/ PLOT PLAN

	REVISION							
NO	NOTE	DATE						
A	BUILDING CORRECTION	MAY 2023						
AH	J STAMP APPROVAL							

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SHEET NO

010723

DRAWN BY

CHECKED BY SA-1

MAR. 24 2023 OF SHEETS

DIVISION 1 - GENERAL REQUIREMENTS

- 1. THE WORK INCLUDES NEW TENANT IMPROVEMENTS IN AN EXISTING MALL SPACE, PER SQUARE FOOT CALCULATIONS AS NOTED ON THE TITLE SHEET. CONTRACT WILL INCLUDE CONSTRUCTING WALLS AND CELLINGS PER "SWEET FACTORY" STANDARD FINISHES DETAILS & SPECIFICATIONS. SECURE AND PAY FOR GOVERNMENT FEES, LICENSES, AND PERMITS. CONTRACTOR IS TO CONFIRM ACTUAL SQUARE FOOTAGE WITH WHAT SQUARE FOOTAGE IS LISTED ON TITLE SHEET, WITHIN SEVEN DAYS FROM THE START OF CONSTRUCTION & SUBMIT WRITTEN CONFIRMATION TO PROJECT MANAGER c/o SWEET
- CONTRACTORS SHALL VISIT THE PREMISES WHILE BIDDING AND SHALL FAMILIARIZE THEM-SELVES WITH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE PROJECT PRIOR TO DEVELOPING THEIR BID. MATERIAL QUANTITIES SHALL BE BASED ON ACTUAL FIELD CONDITIONS AND MEASUREMENTS. <u>DO NOT RELY</u> ON SCALING PLANS FOR ACCURATE DIMENSIONING.
- PRIOR TO BEGINNING THE WORK, VERIFY ALL EXISTING DIMENSIONS AND SQUARE FOOTAGES. NOTIFY THE OWNER AND ARCHITECT OF COMPLIANCE OR DISCREPANCIES,
- COMPARING THOSE DISCREPANCIES TO THE NUMBERS ON THE TITLE SHEET. CONTRACTORS SHALL TAKE CARE TO PROTECT ADJACENT AREAS FROM DUST AND DAMAGE DURING THE CONSTRUCTION PROCESS, AND SHALL CLEAN UP AFTER THEMSELVES AT THE END OF FACH WORKING DAY
- ALL RUBBISH AND TRASH SHALL BE REMOVED FROM THE PREMISES AND PROPERLY DISPOSED OF EACH DAY. NO RUBBISH SHALL BE LEFT IN THE PREMISES AFTER WORK IS COMPLETED FACH DAY.
- 6. ALL DRAWINGS HEREIN CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS AND COORDINATING THEIR HIDDEN OR EXPOSED WORK WITH OTHER RELATED TRADES
- COORDINATE ALL WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS TO ASSURE EFFICIENT AND ORDERLY INSTALLATION. PROVIDE ACCOMMODATION FOR ITEMS INSTALLED AT A LATER DATE, VERIFY THAT CHARACTERISTICS OF ELEMENTS OF INTERRELATED OPERATING EQUIPMENT ARE COMPATIBLE; COORDINATE WORK OF VARIOUS SECTIONS WHICH HAVE INTERDE- PENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, AND PLACING IN SERVICE, SUCH EQUIPMENT. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL AND ELECTRICAL WORK AND FIRE SPRINKLER SYSTEM WHICH ARE INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS.
- UNLESS SPECIFICALLY NOTED, PROVIDE AND PAY FOR LABOR, MATERIALS AND EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK,
- CLUDING PERMITS. UTILITIES SHALL BE PROVIDED BY OWNER. GENERAL CONTRACTOR SHALL PURCHASE AND MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD AND THE TENANT. VERIFY AND COORDINATE WITH THE TENANT'S PROJECT MANAGER, ANY ADDITIONAL
- 10. FURNISH ALL REQUIRED TEMPORARY FACILITIES AND ALL TEMPORARY UTILITIES IMMEDIATELY AFTER RECEIPT OF NOTICE TO PROCEED FOR USE IN CONVENIENCE OF ALL THOSE ENGAGED IN THE PROJECT WORK.
- 11. ALL CONTRACTORS MUST STAY BEHIND THE BARRIERS AND MAINTAIN ACCESS TO SUCH AREAS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS. FAILURE TO MAINTAIN CLEAN STOREFRONT WILL RESULT IN BUILDING MANAGEMENT HAVING SUCH MATERIALS AND DEBRIS REMOVED AND ALL CHARGES FOR MAINTENANCE WILL BE BILLED TO GENERAL CONTRACTOR.
- COORDINATE ALL CONSTRUCTION & SCHEDULING WITH THE BUILDING MANAGER REVIEWING ALL SCHEDULED ACTIVITIES AT OUTSET OF CONSTRUCTION.
- 13. THE FOLLOWING MATERIALS SHALL BE LEFT AT JOBSITE. THEY SHALL BE TAKEN FROM THE SAME MATERIAL, LOT OR RUN USED TO CONSTRUCT AND FINISH THE PROJECT: MATERIALS SHALL BE LEFT IN ONE LOCATION UPON OWNER'S REPRESENTATIVE'S DIRECTION AND APPROVAL. A. 1 FULL QUART OF EACH PAINT COLOR IN A CLEAN, TIGHTLY CLOSED CAN &
- CLEARLY MARKED. B. SIX CERAMIC FLOOR TILES FREE FROM KNICKS, SCRATCHES OR CRACKS.
- ONE-HALF BAG OF TILE GROUT D. FOUR FULL LENGTH STRIPS OF RUBBER BASE.
- 14. THE OWNER OR THE OWNER'S SUBCONTRACTORS MAY OCCUPY PORTIONS OF THE PROJECT DURING THE FINAL STAGE OF CONSTRUCTION. COORDINATE AND COOPERATE WITH THE OWNER TO MINIMIZE CONFLICT AND FACILITATE THE OWNER'S OPERATION.
- 15. ALL DIMENSIONS AND FINISHES SHALL BE VERIFIED AND COORDINATED WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION, FABRICATION, OR PURCHASING. IN CASE OF CONFLICT BETWEEN THE PROJECT REQUIREMENTS AND / OR EXISTING CONDITIONS, THI ONE HAVING THE MOST STRINGENT REQUIREMENTS SHALL GOVERN, AS APPROVED BY THE
- 16. COORDINATE BLOCKING REQUIREMENTS WITH ADJACENT OR RELATED TRADES, ACCESSORIES, EQUIPMENT & FIXTURES, INSTALL REQUIRED BLOCKING AT NO ADDITIONAL COST TO THE CONTRACT.
- 17. REPAIR PROPERTY DAMAGE BY THE INSTALLERS TO A LIKE NEW CONDITION OR REPLACE DAMAGED SURFACES AND MATERIALS OF THE PREVIOUSLY INSTALLED WORK BY OTHER
- TRADES. INSTALLERS AND SUBCONTRACTORS. 18. PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS AND UNINSTALLED MATERIALS. PROTECT THE WORK, STORED PRODUCTS, CONSTRUCTION EQUIPMENT AND OWNER'S PROPERTY FROM THEFT AND VANDALISM AND THE PREMISES FROM ENTRY BY UNAUTHORIZED PERSONNEL UNTIL FINAL ACCEPTANCE BY OWNER.
- MAINTAIN AN ACTIVE FIRE EXTINGUISHER AT THE PROJECT. 20. DO NOT USE MATERIAL OR EQUIPMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SPECIFICALLY DESIGNED OR SPECIFIED. ALL MATERIALS AND EQUIPMENT THAT ARE
- SIMILAR SHALL BE THE SAME TYPE, MODEL, AND STYLE FOR THE SAME USE THROUGHOUT THE PROJECT OR THEY SHALL BE REJECTED. 21. <u>ALL PRODUCTS AND EQUIPMENT SHALL BE DELIVERED IN UNDAMAGED CONDITION AND</u>
- STORED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO AVOID DISRUPTION OF THE WORK OR DAMAGE TO THE ITEMS. REPLACE DAMAGED OR UNFIT MATERIALS, AT NO NOTIFY THE OWNER WHEN THE WORK IS SUBSTANTIALLY COMPLETE AND READY FOR FOR INSPECTION. UPON INSPECTION, PROVIDE WRITTEN OPERATION AND MAINTENANCE
- INSTRUCTIONS AND GUARANTEES FOR ALL EQUIPMENT AND MATERIALS INSTALLED. PROVIDE WRITTEN GUARANTEES FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK. 23. PROVIDE FINAL CLEAN-UP AND DAMAGE REPAIR AT THE PROJECT CONCLUSION. LEAVE
- THE PREMISES NEAT, CLEAN AND CLEAR OF TOOLS, EQUIPMENT AND SURPLUS MATERIALS, UN- LESS REQUESTED BY THE OWNER. CLEAN-UP SHALL INCLUDE AND NOT BE LIMITED TO: A. POWER VACUUMING THE ENTIRE SPACE.
- B. HAND DUSTING AND CLEANING OF ALL SHELVING, CABINETRY, CASEWORK, GLASS AND MIRRORS BOTH INSTALLED UNDER THIS CONTRACT OR EXISTING WALLS,
- CFILINGS, FIXTURES, ETC.
- C. REPAIR OR REPLACEMENT OF PROPERTY DAMAGED DURING FINAL COMPLETION OF

<u>DIVISION 2 – DEMOLITION / BUILDING ALTERATIONS</u>

- 1. THE WORK MAY INCLUDE DEMOLITION OF EXISTING CONSTRUCTION, REMOVAL OF VARIOUS ITEMS OF EQUIPMENT AND CONSTRUCTION, AND THE CUTTING OR ALTERATION OF EXISTING CONSTRUCTION AS SHOWN, NOTED OR IMPLIED ON THE DRAWINGS. CONTRACTOR SHALL DETERMINE AND INVENTORY ALL NECESSARY DEMOLITION AND ALTERATION OF ITEMS TO PROVIDE FOR A COMPLETE INSTALLATION OF NEW WORK. ALL COSTS OF REMOVAL. REPAIR OR REPLACEMENT SHALL BE INCLUDED IN THE BID. ADDITIONAL COSTS FOR DEMOLITION OF ITEMS HIDDEN OR INACCESSIBLE DURING THE BIDDING PHASE, SHALL BE
- SUBMITTED FOR APPROVAL PRIOR TO BEGINNING THE WORK. 2. AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION, AND FIT NEW TO EXISTING CONSTRUCTION TO MATCH EXISTING WORK. MAKE JOINTS OF NEW AND EXISTING PATCHES VERY SMOOTH, EVEN AND PRACTICALLY INVISIBLE. COORDINATE ALL REPLACEMENT AND REPAIR REQUIREMENTS WITH LANDLORD'S CONSTRUCTION CRITERIA AND TENANT'S COORDINATOR.
- SAW-CUT CONCRETE ON GRADE WITH DIAMOND SAW; JACKHAMMERING WILL NOT BE PERMITTED EXCEPT WITH THE EXPRESSED WRITTEN APPROVAL OF THE LANDLORD. CUT IN ACCURATELY LOCATED STRAIGHT LINES, AND BREAK OUT SECTIONS. FLOOR MAY BE CORE DRILLED WHERE APPROPRIATE FOR INSTALLATION OF PIPES AND SIMILAR ITEMS. COORDINATE ALL CORE LOCATIONS AND SLAB MODIFICATIONS WITH LANDLORD'S STRUCTURAL ENGINEER. WHERE EXISTING PIPING AND OTHER SIMILAR ITEMS ARE UNDER EXISTING SLABS, EXERCISE CARE TO PROTECT FROM DAMAGE. EXERCISE CARE WHEN CUTTING ADJACENT TO EXISTING WALLS TO AVOID DAMAGE TO WALLS. IF DAMAGED, REPAIR AS REQUIRED TO ORIGINAL CONDITION. DO NOT CUT SUSPENDED SLAB EXCEPT
- AS NOTED ON SHEET A1. 4. DOORS & FRAMES: IF DOORS AND FRAMES ARE TO BE REUSED ON THE WORK CAREFULLY REMOVE DOOR FROM FRAMES AND REMOVE FRAMES FROM OPENING, TAKING CARE TO AVOID DAMAGE. REMOVE HARDWARE, CLEAN, REFURBISH, AND STORE FOR REINSTALLATION WHERE INDICATED. FOR DOORS AND FRAMES TO BE SALVAGED,
- CAREFULLY REMOVE FROM OPENING AND DELIVER FOR STORAGE WHERE INDICATED. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE AND PLACE BRACING AND SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE, AS DETERMINED BY G.C. ENLISTED STRUCTURAL ENGINEER. ASSUME LIABILITY FOR SUCH

MOVEMENT, SETTLEMENT DAMAGE OR INJURY.

ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS AFFECTED BY DEMOLITION. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. LOCATE SPRINKLER SHUT-OFF VALVE AND SMOKE ALARM PRIOR TO COMMENCING WORK: COORDINATE REQUIRED MODIFICATION WITH LANDLORD.

<u>DIVISION 2 - DEMOLITION / BUILDING ALTERATIONS (CONT.)</u>

- 7. CAREFULLY REMOVE MATERIALS AND EQUIPMENT WHICH ARE INTENDED TO BE REUSED. STORE IN A SECURE LOCATION. REMOVE DEBRIS, REFUSE AND MATERIALS BEING
- DEMOLISHED IMMEDIATELY FROM THE SITE. ERECT AND MAINTAIN WEATHERPROOF AND DUSTPROOF CLOSURES AND PARTITIONS TO PRE- VENT WEATHER DAMAGE OR SPREAD OF DUST, FUMES AND SMOKE TO OTHER
- PARTS OF THE BUILDING, IN ACCORDANCE WITH MALL GUIDELINES AND STIPULATIONS. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- 10. REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER. REMOVE FROM SITE CONTAMINATED, VERMIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED; DISPOSE OF BY SAFE MEANS TO PROTECT HEALTH OF WORKERS AND

<u>DIVISION 3 – CONCRETE REPAIR & REPLACEMENT</u>

- 1. WORK INCLUDES PATCHED, DEMOLISHED SLAB AND CERAMIC TILE, IF ANY; FILLING AND LEVELING JOINTS AND CRACKS; AND FILLING ABANDONED ELECTRICAL BOXES AND ANY HOLES GREATER THAN 1/2"
- 2. USE RAECO-LITH "R-35" AS UNDERLAYMENT FOR PATCHING OR APPROVED EQUAL. MIX SHALL BE TWO PARTS - MORTAR MIX AND LATEX BINDER. MIX AND INSTALL PER MANUFACTURER'S LATEST WRITTEN AND RECOMMENDED DIRECTIONS.

<u>DIVISION 4 — NOTE USED.</u>

<u>DIVISION 5 - METAL FABRICATIONS.</u>

- 1. PROVIDE ALL MISCELLANEOUS METAL ITEMS INCLUDING MATERIALS, FABRICATIONS, FASTENERS, ADHESIVES AND ACCESSORIES REQUIRED FOR FINISHED INSTALLATION AS INDICATED AND SPECIFIED.
- STEEL SHALL BE ASTM A366 AMERICAN OPEN HEARTH SHEET STEEL, FREE FROM SCALE AND PITTING AND OTHER DEFECTS AFFECTING APPEARANCE. TUBING SHALL CONFORM TO REQUIREMENTS OF ASTM A500 OR A501 AS APPROVED.
- WHERE METAL ITEMS ARE TO BE ERECTED AND IN CONTACT WITH DISSIMILAR MATERIALS, PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED ZINC CHROMATE PRIMER IN MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.
- SHEET STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM A606. CARBON STEEL BARS SHALL CONFORM TO REQUIREMENTS OF ASTM A321. ALUMINUM BREAK METAL SHALL CONFORM TO ASTM B221, HAVE A THICKNESS OF .090"
- AND BE POWDER COATED WITH "TIGER DRYLAC" SERIES #49, SWEET FACTORY BLUE #RAL5005. FASTENERS SHALL BE AS REQUIRED FOR ASSEMBLY AND INSTALLATION OF FABRICATED
- BOLTS SHALL BE LOW CARBON STEEL EXTERNALLY AND INTERNALLY THREADED FASTENERS CONFORMING WITH REQUIREMENTS OF ASTM A307; INCLUDE NECESSARY NUTS AND PLAIN HARDENED WASHERS. FOR MEMBERS FOR SUPPORT OF STRUCTURAL MEMBERS OR CONNEC- TION THERETO, USE FASTENERS CONFORMING WITH ASTM A325. FOR STAINLESS STEEL AND NON-FERROUS ITEMS, USE TYPE 302 AND 304 STAINLESS STEEL FASTFNFRS.
- 10. MISCELLANEOUS MATERIALS: PROVIDE ALL INCIDENTAL ACCESSORY MATERIALS, TOOLS, METHODS, AND EQUIPMENT REQUIRED FOR FABRICATION AND INSTALLATION OF MISCELLANE- OUS METAL ITEMS AS INDICATED ON DRAWINGS.
- VERIFY DIMENSIONS PRIOR TO FABRICATION OR CASTING. FORM METAL ITEMS TO ACCURATE SIZES AND CONFIGURATIONS AS INDICATED ON DRAWINGS AND OTHERWISE REQUIRED FOR PROPER INSTALLATION; FABRICATE WITH ALL LINES STRAIGHT AND ANGLES SHARP, CLEAN AND TRUE; DRILL, COUNTERSINK, TAP, AND OTHERWISE PREPARE ITEMS FOR CONNECTION WITH WORK OF OTHER TRADES. MAKE PERMANENT CONNECTIONS BY WELDING AND GRIND ALL EXPOSED WELDS SMOOTH TO MATCH ADJACENT SURFACES; ROUGH JOINT SUR- FACES NOT PERMITTED. AVOID USING BOLTS AND SCREWS UNLESS SPECIFICALLY INDICATED OR APPROVED; WHEN USED, DRAW UP TIGHT AND TIE THREADS
- TO PREVENT LOOSENING. 12. ALL FERROUS METAL ITEMS SHALL BE SHOP FINISHED. TOUCH-UP OR REPAIR DAMAGED
- AREAS PRIOR TO INSTALLATION WITH SAME MATERIAL. 13. PROVIDE CONTACT SURFACES WITH CONCRETE MASONRY OR OTHER DISSIMILAR MATERIALS WITH A MINIMUM ONE POINT ZERO (1.0) MIL DRY THICKNESS OF AN
- APPROVED ZINC CHRO— MATE PRIMER. 14. PROVIDE ALL STEEL BLOCKING AND BRACING IN METAL STUD FRAMED PARTITIONS NECESSARY FOR A COMPLETE INSTALLATION. INCLUDE AS REQUIRED FOR SUPPORT OF ALL WALL-MOUNTED EQUIPMENT AND FABRICATIONS AS INDICATED ON DRAWINGS.
- PROVIDE SUPPORTS AT JAMBS OF DOORS AND ELSEWHERE, AS REQUIRED. 15. FABRICATE ALL MISCELLANEOUS FRAMING AND BRACING ITEMS TO DETAIL OF STRUCTURAL SHAPES. PLATES. AND BARS: WELD JOINTS WHERE PRACTICAL: PROVIDE BOLTS AND OTHER CONNECTION DEVICES REQUIRED. INCLUDE ANCHORAGES, CLIP ANGLES, SLEEVES, ANCHOR PLATE, AND SIMILAR DEVICES, WHETHER IMPLIED OR INDICATED. SET ACCURATELY IN POSITION AS REQUIRED AND ANCHOR SECURELY TO

BUILDING CONSTRUCTION WITH FAS- TENERS APPROPRIATE TO THE INSTALLATION.

<u>DIVISION 6 - WOOD & PLASTICS.</u>

- 1. PROVIDE ROUGH LUMBER AND PLYWOOD IN STANDARD DIMENSIONS. MOISTURE CONTENT
- 2. PROVIDE ALL NECESSARY ROUGH HARDWARE IN SIZES IN QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
- 3. USE FINISH OR CASING NAILS FOR EXPOSED WORK: USE TYPE "S" TRIM HEAD SCREWS FOR ATTACHMENT OR WOOD TRIM TO METAL STUDS, RUNNERS, OR FURRING.
- 4. RELIEVE BACKS OF WOOD TRIM; KERF BACKS OF MEMBERS MORE THAN 5" WIDE AND 1" NOMINAL THICKNESS; EASE ALL EXTERNAL CORNERS.
- INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN A SATISFACTORY CONDITION FOR INSTALLATION. 6. USE ADHESIVES RECOMMENDED BY THE MANUFACTURER FOR THE PARTICULAR
- APPLICATION; INSTALL IN ACCORDANCE WITH MANUFACTURER'S MOST CURRENT PRINTED APPLICATION IN- STRUCTIONS. 7. PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. RE- PLACE DAMAGED SURFACES.
- REMOVE EXCESS ADHESIVE AND CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT AND CLEANING PROCEDURES FILL IN ALL SEAMS WITH MANUFACTURER'S APPROPRIATE COLOR SEAM COMPOUND.
- 10. INSTALL WOODS AND PLASTICS IN CONFORMANCE WITH DETAILS, WITH THE FOLLOWING CONSIDERATIONS AND REQUIREMENTS: A. INSTALL ALL MATERIAL WITH TIGHT JOINTS. MITER CASINGS, MOULDING, BASE AND STOREFRONT LAMINATED OR PAINTED MDF
- C. ALL RUNNING TRIM ONE (1) PIECE UP TO 10'-0". MATCH GRAIN AND COLOR
- PIECE- TO-PIECE. USE FINISH NAILS EXCEPT WHERE SCREWS ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW SET FASTENERS FOR PUTTYING
- WHERE SCREW ATTACHMENT REQUIRED, SPACE SCREWS AT EQUAL INTERVALS; SINK AND PUTTY IN FINISH WOOD SURFACES. ALL MEMBERS AND LINES LEVEL AND PLUMB.
- H. SELECT AND CUT MATERIAL TO EXCLUDE DAMAGED, MARKED, OR DEFECTIVE FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL AND MACHINE MARKS.
- EASE ALL EXPOSED WOOD EDGES 1/8" MINIMUM RADIUS. INSTALL FIRE RATED DOORS IN ACCORDANCE WITH REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) RECOMMENDATIONS.
- NON-COMB. FIRE TREATED WOOD BEARING FACTORY IMPREGNATED STAMP SHALL BE USED FOR ALL WOOD FRAMING MEMBERS UNLESS NOTED OTHERWISE, INCLUDING

<u>DIVISION 7 – SEALANTS AND CAULKING</u>

- TENANT SHALL PROVIDE MISCELLANEOUS TYPES & COLORS OF CAULK REQUIRED FOR THE PROJECT. GENERAL CONTRACTOR SHALL INSTALL CAULK AT ALL FINISH TRANSITIONS, I.E., SIGN & FASCIA PANELS TO SOFFIT. DOOR FRAME TO TILE, BACKROOM EQUIPMENT TO WALLS, ETC., & AS DIRECTED BY "SWEET FACTORY" CONSTRUCTION MANAGER & LOCAL HEALTH DEPARTMENT.
- PROVIDE BACKING MATERIAL BY DOW "ETHAFOAM" OR APPROVED EQUAL. APPLY SEALANT OVER BACKING TO UNIFORM THICKNESS IN CONTINUOUS BEADS FILLING ALL JOINTS AND
- VOIDS SOLID. SUPERFICIAL POINTING WITH THE SKIM BEAD WILL NOT BE ACCEPTED. ALL SURFACES SHALL BE ADEQUATELY CLEANED AND PREPARED IN ACCORDANCE WITH MAN- UFACTURER'S WRITTEN INSTRUCTIONS PRIOR TO INSTALLATION.

ARCHITECTURAL SPECIFICATIONS

DIVISION 8 - WOOD & HOLLOW METAL DOORS & FRAMES

- PROVIDE WELDED METAL DOOR FRAMES AT ALL G.C. PROVIDED DOORS, AS DETAILED FREE FROM SCALE AND PITTING AND OTHER SURFACE DEFECTS, UNLESS OTHERWISE NOTED. PROVIDE HOLLOW METAL DOORS AS SHOWN ON PLANS CONSTRUCTED AS FOLLOWS: MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS 16 GA. FOR EDGE CHANNELS.
- MINIMUM 22 GA. FOR FACE STIFFENERS. MINIMUM 16 GA. FOR INTERIOR FRAMES
- PROVIDE DOORS OF SIZES AND TYPES INDICATED ON DRAWINGS, FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES; THICKNESSES AS SCHEDULED ON DRAWINGS.
- FACE STIFFENERS, EDGES AND HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP AND MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRADE PRACTICE AND MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR THE USE INTENDED PROVIDE CUSTOM MADE WELDED UNITS WITH INTEGRAL TRIM: SIZES AND SHAPES AS
- HARDWARE REINFORCEMENT AND ANCHORS (ERECTION, FLOOR AND JAMB) SHALL BE AS RE- QUIRED FOR A SECURE INSTALLATION AND SHALL BE IN ACCORDANCE WITH TRADE REQUIRE- MENTS FOR THE SPECIFIED HARDWARE AND INTENDED USE. AFTER FABRICATION, DRESS, FILL AND SAND EXPOSED SURFACES, BODY-PUTTY HOLES

INDICATED ON DRAWINGS; FABRICATE UNITS SQUARE, TRUE AND FREE FROM DEFECTS.

- AND IMPERFECTIONS. APPLY UNIFORM COAT OF MANUFACTURER'S STANDARD PRIME COAT TO ALL EXPOSED SURFACES. LEAVE READY TO RECEIVE FINISH PAINTING. INSTALL FRAMES IN ACCURATE LOCATIONS AS INDICATED ON DRAWINGS. INSTALL RIGID, PLUMB, LEVEL AND TRUE. ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR
- ANCHORS TO FLOOR CONSTRUCTION WITH APPROVED TYPE MECHANICAL FASTENINGS; ANCHOR TO ADJOINING WALLS WITH SPECIFIED ANCHORS. BRACE FRAMES TO RETAIN POSITION AND CONTINUOUSLY CHECK ALIGNMENT DURING CONSTRUCTION OF ADJACENT WALLS. ADJUST FRAME LOCATIONS AS NE- CESSARY USING SHIMS BEFORE FASTENING. LEAVE READY TO RECEIVE SEALANT WHERE IN- DICATED ON DRAWINGS.
- INSTALL WOOD DOORS, FRAMES, AND TRIM. SIZES AND THICKNESS AS SCHEDULED ON THE 10. PREPARE DOORS FOR FINISH HARDWARE. OBTAIN TEMPLATES FROM HARDWARE MANUFACTURER AND CONFIRM TYPE, LOCATION, AND SPECIAL REQUIREMENTS OF
- HARDWARE FOR EACH DOOR PRIOR TO CUTTING. 11. HANG DOORS AS SCHEDULED ON DRAWINGS, IN ACCURATE LOCATIONS WITH 1/8" CLEARANCE AT TOPS AND 3/8" CLEARANCE AT BOTTOM, UNLESS SPECIFICALLY NOTED FOR "UNDERCUTS" OR OTHER DEVIATIONS IN FIT. VERIFY CLEARANCES REQUIRED FOR TILE AND MAKE NO JOBSITE FIT IN CUTS UNLESS APPROVED. HANG PAIRS OF DOORS AS SPECIFIED WITH 3/32" CLEARANCE AT MEETING EDGES. DEMONSTRATE THAT DOORS OPEN
- FREELY WITHOUT BINDING, AND WHEN CLOSED, WILL LATCH PROPERLY ACCESS DOORS (PROVIDED BY GENERAL CONTRACTOR): PROVIDE ACCESS DOORS BY MILCOR OR EQUAL. USE STYLE DW AT WALLS AND CEILINGS, (OR AS REQUIRED FOR RATING). SIZE AS INDICATED. FRAME SHALL BE GALVANIZED STEEL DRYWALL BEAD FOR FRAME CONCEALMENT. PANEL SHALL BE 14GA. STEEL WITH SPRINT TYPE CONCEALED HINGES OPENING TO 175 DEGREES. LOCKS SHALL BE FLUSH, SCREWDRIVER OPERATED WITH METAL CAN, PRIME COAT SHALL BE FACTORY APPLIED, COORDINATE INSTALLATION WITH REQUIREMENTS OF OVERHEAD COILING DOOR MANUFACTURER.

<u>DIVISION 9 - FINISHES</u>

METAL SUPPORT SYSTEM (WALL STUDS)

- PROVIDE CHANNEL-SHAPED ROLL FORMED SHEET STEEL MEMBERS CONFORMING WITH ASTM C640, HOT DIPPED FINISH WHERE EXPOSED TO MOISTURE NOT LESS THAN 20 GAUGE, PROVIDE 16 GAUGE AT DOOR JAMBS.
- PROVIDE COLD, ROLLED STEEL CHANNELS NOT LESS THAN 16 GAUGE. PROVIDE ROLL HAT-SHAPED CHANNELS MINIMUM 25 GAUGE, 7/8" DEEP WITH 1/2" HEMMED EDGES. HOT DIPPED FINISH WHERE NOTED FOR INTERIOR WALL CONNECTIONS TO EXIST. STRUCTURE ABOVE SEE STRUCTURAL
- PROVIDE GALVANIZED HANGERS OF STEEL WIRE IN ACCORDANCE WITH ASTM C754. PROVIDE JACK STUDS BETWEEN BOTTOM TRACK AND WINDOW AND/OR RELIEF SILLS
- BETWEEN LINTELS AND HEADERS IN TOP TRACKS. PROVIDE BLOCKING AND FRAMING FOR ALL WALL MOUNTED FINISH HARDWARE AND EQUIP— MENT. INCLUDING DOOR STOPS.
- PROVIDE CEILING SEISMIC BRACING IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE CODES AND AS INDICATED ON DRAWINGS. PROVIDE DOUBLE BEAD TO BUT ALL SEALANT AT FLOOR TRACKS. APPLY DOUBLE BEAD TO CEILING TRACK AND TO STUDS ABUTTING OTHER CONSTRUCTION.
- WALL-HUNG CABINETS, EQUIPMENT, FIXTURES AND ACCESSORIES OF NOT LESS THAN 22 GA. MATERIAL. PRO- VIDE SUPPORT IN WALL OR PARTITION FRAMING SYSTEM WHEREVER WALL HUNG CABINETS AND EQUIPMENT ARE INDICATED ON DRAWINGS. AND WHERE REQUIRED FOR MOUNTING OF MISCE— LANEOUS ITEMS REQUIRING BACKING. 11. SET FLOOR TRACKS IN ACCURATE LOCATIONS AND SECURELY ANCHOR IN ACCORDANCE WITH ASTM STANDARDS. ERECT STUDS ON 16" OR 24" (AS INDICATED) CENTERS AND

10. PROVIDE CHANNEL SHAPED BLOCKING SUPPORT OR GALVANIZED STRIP SUPPORT OF

- SECURE TO TRACK, INSTALL HEAD TRACK IN ACCORDANCE WITH DETAILS, INSTALL BLOCKING, BRACING, AND ANCHOR STRIPS; LEAVE READY TO RECEIVE FINISH MATERIALS. 12. ERECT ALL COMPONENTS FOR CEILING AND SOFFIT FRAMING IN ACCURATE LOCATIONS AS INDICATED, TRUE TO LINE, LEVEL AND PLUMB, AND IN ACCORDANCE WITH APPLICABLE ASTM STANDARDS AS REFERENCED ABOVE, USING A LASER LEVEL. ADJUST SUPPORTS,
- SPANS OR OTHERWISE FOR INSTALLATION WITHIN SPECIFIED TOLERANCES. 13. PROVIDE KICK BRACING IN ACCORDANCE WITH INDUSTRY STANDARDS FOR WALL STUDS, CEILING MEMBERS, DRAFT OR SMOKE STOPS AND CURTAIN WALLS.

<u>PAINTING</u>

- PROVIDE PAINT FINISHES FOR BUILDING AND OTHER SURFACES AS SCHEDULED ON DRAWINGS OR AS SPECIFIED HEREINAFTER INCLUDING SEALING OF CONCRETE FLOOR AT CORRIDOR AND STOCKROOM. NO PAINT FINISH IS REQUIRED ON ITEMS HAVING COMPLETE. FACTORY FINISH. EXCEPT AS MAY BE SPECIFIED HEREINAFTER: PUTTY AND/OR SEALANT AT ALUMINUM WIN- DOWS; NON-FERROUS METAL UNLESS SPECIFICALLY MENTIONED IN THE PAINTING SCHEDULE; STAINLESS STEEL; INTERIOR OR EXTERIOR OF EXISTING BUILDING, EXCEPT WHERE ALTERATIONS OCCUR OR WHERE SCHEDULED. PAINT GRILLES AND DIFFUSERS. NO PAINTING IS REQUIRED FOR INSULATING PIPING, EXCEPT WHERE
- EXPOSED IN FINISH, NON-MECHANICAL ROOM SPACES PROTECT WORK OF OTHER TRADES FROM DAMAGE AND DEFACEMENT CAUSED BY THIS WORK. REPAIR ANY DAMAGE CAUSED BY THE WORK OF THIS SECTION. REMOVE ELECTRICAL OUTLET AND SWITCH PLATES, MECHANICAL DIFFUSERS, GRILLES, ESCUTCHEONS, REGISTERS, SURFACE HARDWARE, FITTINGS, AND FASTENINGS PRIOR TO
- COMMENCING THE WORK. STORE, CLEAN, AND REPLACE UPON COMPLETION. PAINT CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR IF ANY SURFACE TO BE PAINTED OR STAINED IS FOUND TO BE UNSUITABLE TO PRODUCE PROPER FINISH. APPLY NO FINISH MATERIAL UNTIL THE UNSUITABLE SURFACES HAVE BEEN MADE SATISFACTORY. FINISH WORK SHALL BE UNIFORM. OF APPROVED COLOR, SMOOTH AND FREE FROM RUNS. MAKE ENDS OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN. WHERE HIGH GLOSS ENAMEL IS USED, LIGHTLY SAND UNDERCOAT TO OBTAIN A SMOOTH
- FINISH COAT PROVIDE ALL NEWLY PAINTED SURFACES WITH (1) COAT TINTED PRIMER AND (2) COATS FI- NAL COLOR COAT, UNLESS OTHERWISE RECOMMENDED BY MANUFACTURER'S
- SPECIFICATIONS. DELIVER ALL PAINT TO JOBSITE IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABEL, AND SHOWING PAINT TYPE, SHEEN AND COLOR. PAINT TYPES USED SHALL BE THOSE SPECIFICALLY RECOMMENDED BY THE
- MANUFACTURER FOR THE MATERIAL TO WHICH THEY WILL BE APPLIED. PAINTING CONTRACTOR SHALL FOL- LOW MANUFACTURER'S INSTRUCTIONS FOR PROPER APPLICATION OF THE PAINT. 8. ALL SURFACES TO BE PAINTED SHALL BE THOROUGHLY CLEANED, AND PREPARED FOR
- PAINTING PRIOR TO APPLICATION OF PAINT. PROVIDE VENTILATORS AS REQUIRED TO PREVENT BUILD-UP OF FUMES. SANDPAPER ALL NEW WOOD TO SMOOTH AND EVEN SURFACE AND DUST OFF. AFTER PRIM- ING COAT HAS BEEN APPLIED, THOROUGHLY FILL ALL NAIL HOLES AND OTHER

SURFACE IM- PERFECTIONS WITH PUTTY TINTED WITH PRIMER OR STAIN TO MATCH WOOD

- COLOR, SAND ALL WOODWORK BETWEEN COATS TO A SMOOTH SURFACE. 10. BACK PRIME ALL EXTERIOR AND INTERIOR WOOD AND TRIM PRIOR TO INSTALLATION. THOR- OUGHLY CLEAN SURFACES AND APPLY NO FINISH UNLESS SURFACES ARE DRY AND READY FOR APPLICATION, SANDPAPER SURFACES OF TRIM SMOOTH AND WIPE CLEAN AFTER STAIN COAT HAS BEEN APPLIED, FILL CRACKS AND HOLES WITH PLASTIC WOOD OR PUTTY. IF STAIN HAS BEEN USED, TINT CRACK FILLER TO MATCH; PRIME BACKS OF TRIM. PRIME BARE WOOD SCHEDULED TO RECEIVE PAINT FINISH; FINISH NAIL HOLES, CRACKS,
- AND OTHER IMPERFEC- TIONS WITH PUTTY AND SAND SMOOTH. AT COMPLETION, TOUCH-UP AND RESTORE FINISH WHERE DAMAGED AND LEAVE ALL SUR- FACES IN GOOD AND CLEAN CONDITION. PROVIDE FOR MULTIPLE SITE VISITS AS REQUIRED FOR TOUCH-UP AND REFINISHING.
- 12. OTHER PAINT MANUFACTURER'S MAY NOT BE SUBSTITUTED WITHOUT APPROVAL OF

<u>DIVISION 9 - FINISHES (CONT.)</u>

GYPSUM WALL BOARD

DOOR FRAMES.

- PROVIDE GYPSUM WALL PANELS MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF
- PROVIDE TYPE "X" FIRE RETARDANT GYPSUM WALL BOARD PANELS 5/8" THICK, TESTED AND QUALIFIED FOR 1—HOUR RATING, TAPERED AND ROUNDED AT EDGES AS INDICATED

RATING, TAPERED AND ROUNDED EDGES AND BE INSTALLED IN ALL WET AREAS AS

- ON DRAWINGS. PROVIDE METAL EDGE AND CORNER BEADS AT ENDS, EDGES AND CORNERS. WATER RESISTENT GYPSUM WALL BOARD SHALL BE 5/8" THICK, QUALIFIED FOR 1-HOUR
- INDICATED ON DRAWINGS 5. FOR CONTROL JOINTS, PROVIDE U.S. GYPSUM #093 OR APPROVED EQUAL. INSTALL IN LOCATIONS AS RECOMMENDED BY INDUSTRY STANDARDS AND IN COMPLIANCE WITH U.S.
- PROVIDE FASTENERS IN ACCORDANCE WITH ASTM C646; UNLESS OTHERWISE NOTED OR INDICATED, PROVIDE TYPE 'S' BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARD TO METAL FRAMING. AND TYPE 'S' PAN HEAD SCREWS FOR ATTACHMENT OF FRAMING TO
- PROVIDE ALL INCIDENTAL AND ACCESSORY MATERIALS, TOOLS, EQUIPMENT, AND METHODS REQUIRED FOR SATISFACTORY COMPLETION OF GYPSUM WALL BOARD CONSTRUCTION INCLUD- ING ACCESS DOORS AND PANELS. APPLY CONTINUOUS BEAD OF SEALANT AT ALL JOINTS OF WALL BOARD ABUTTING
- ADJACENT CONSTRUCTION, INCLUDING AROUND FRAMED OPENINGS AND OTHER PROTRUSIONS THROUGH WALL BOARD. WHERE SEALANT IS EXPOSED, PROVIDE POLY-SULFIDE SEALANT; WHERE UN- EXPOSED, PROVIDE ACOUSTIC SEALANT. APPLY PRE-FILL COMPOUND TO JOINTS IN ACCORDANCE WITH INDUSTRY STANDARDS. APPLY EMBEDDING COMPOUND REINFORCING TAPE CENTERED OVER JOINT; APPLY SKIM COAT. AFTER TAPING AND EMBEDDING COMPOUND IS DRY, APPLY SECOND COAT FILLING
- FIRE TAPE PENETRATIONS AT DEMISING WALLS, CORRIDOR ENVELOPE AND OTHER RATED 10. PROVIDE FINAL FINISH THAT IS SMOOTH, WITHOUT DIVOTS, BUMPS, BOWS OR ANY OTHER SURFACE BLEMISH, READY TO RECEIVE PAINT.

AND TAPER FLUSH WITH SURFACE; NO SECOND COAT REQUIRED AT INTERIOR ANGLES.

- INSTALL TILE IN AREAS INDICATED FROM LEASE LINE TO TRANSITION. USE ADHESIVES AND APPLY ONLY AS RECOMMENDED BY MANUFACTURER AND IN ACCORDANCE WITH INDUSTRY
- INSTALLERS MUST BE SPECIALISTS WITH A MINIMUM OF TWO (2) YEARS EXPERIENCE. ALL INSTALLATION SHALL CONFORM TO THE LATEST APPLICABLE TILE COUNCIL OF AMERICA AND ANSI STANDARDS.
- DO NOT COMMENCE INSTALLATION UNTIL SUBSTRATE HAS BEEN MADE SUITABLE FOR TILE INSTALLATION. REVIEW ALL AREAS TO RECEIVE TILE FLOORING (PRIOR TO SUBMITTING ESTIMATE) TO
- DETERMINE THE REQUIRED EXTENT OF SUBFLOOR PREPARATION. 6. SET AND GROUT TILE WHEN AMBIENT TEMPERATURE IS AT LEAST 50 AND RISING. ALIGN ALL JOINTS AND CORNERS.
- MATTER AND CONTAMINATES SUCH AS GREASE, OIL, DUST, WATER, SURFACE DIRT, OLD SEALANTS OR GLAZING COMPOUNDS, AND PROTECTIVE COATINGS. METAL SHALL BE CLEANED BY MECHANI- CAL OR SOLVENT PROCEDURES. INSTALL TILE TO CONCRETE SUBSTRATE PER TCA STANDARD F113-89 WITH UNIFORMLY SPACED JOINTS AS SPECIFIED, TO PATTERN INDICATED IN PLANS, OR AS SPECIFIED BY L.L.. VERIFY LAY— OUT AND CUTS WITH PROJECT MANAGER PRIOR TO COMMENCEMENT OF

CLEAN METAL AND WOOD SURFACES AND CONCRETE FLOORS, REMOVING ALL FOREIGN

APPLICABLE. VARY MORTAR THICK- NESS, AS NECESSARY, TO ACCOMMODATE VARIATIONS IN THE TILE THICKNESS. 9. CLOSE AREAS IN WHICH TILE IS BEING PLACED TO TRAFFIC AND OTHER WORK. KEEP AREA CLOSED UNTIL TILE IS FIRMLY SET. PROTECT FLOORING FROM DAMAGE. REPLACE

WORK. CUT TILE AT WALL INTERSECTIONS FOR CONCEALMENT BY BASE WHERE

- DAMAGED TILE AT NO ADDITIONAL COST TO OWNER. 10. INSTALL TILE TO WOOD SURFACES AND ALUMINUM GLAZING CHANNEL AND METAL BASE WITH DOW CORNING 795 SILICONE BUILDING SEALANT, BEADS AT 6" ON CENTER MAXIMUM.
- GROUT FLUSH WITH TILE EDGES. WIPE TILES WITH CHEESE CLOTH INSTEAD OF SPONGE. 12. DAMP CURE PER MORTAR AND GROUT MANUFACTURER'S RECOMMENDATIONS. 13. SEAL TILE PER MANUFACTURER'S WRITTEN INSTRUCTIONS WITH SEALER RECOMMENDED FOR

<u>BASE</u>

- INSTALL BASE AT STOREFRONT PER DETAILS AND SPECS. INSTALL COVE BASE IN BACKROOM AND TOILET PER DETAILS, SPECS & HEALTH CODE.
- PROVIDE PREMOLDED INSIDE AND OUTSIDE CORNERS FOR ALL CONDITIONS AT WHICH CORNERS ARE TO BE USED. JOB MITERING SHALL BE PERMITTED ONLY UPON OWNER'S USE ADHESIVES ONLY AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL TO

THE TILE INSTALLED. DOUBLE SEAL ALL JOINTS.

CAREFULLY INSPECT ALL SURFACES TO RECEIVE BASE PRIOR TO INSTALLATION. REPAIR DAMAGED SURFACES PRIOR TO INSTALLATION.

UPON COMPLETION, IMMEDIATELY REMOVE ALL SURPLUS ADHESIVE FROM ADJACENT

SURFACES. IN ACCORDANCE WITH THE TIMING RECOMMENDED BY THE MANUFACTURER,

USING MATERIALS RECOMMENDED FOR THAT PURPOSE BY THE MANUFACTURER.

APPROVED

- GLASS & GLAZING PROVIDE TEMPERED GLASS, GRADE "B", STYLE #1, TYPE "1", QUALITY 03, FOR SIZE,
- UNLESS OTHERWISE NOTED. ALL GLASS EDGES SHALL BE GROUND SMOOTH & POLISHED. GENERAL GLASS SHALL BE Q3 IN ACCORDANCE WITH FEDERAL SPECIFICATIONS DD-G-451 AND FGMA GLAZING MANUAL

STOREFRONT GLASS SHALL BE AS REQUIRED FOR THE SIZES AND CONDITIONS DETAILED.

- FRAME SECTION SHALL BE EXPOSED WHERE INDICATED. PROVIDE RESILIENT NEOPRENE BLOCKS 70 TO 90 SHORE A DUROMETER HARDNESS AND RESILIENT ACCESSORIES DESIGNED FOR POSITIONING GLASS IN RABBETS.
- PROVIDE CLIPS OF NON-CORROSIVE METAL WITH ROUNDED EDGES DESIGNED FOR CONTACT BLOCKS, NOT GLASS. PROVIDE STANDARD PREFORMED GLAZING TAPE, STANLOCKE 400, TRIMCO 440. OR
- PROVIDE NON-SHRINKING ELASTROMERIC TAPE WHERE REQUIRED. USE SILICONE SEALANT DOW #795 OR GE SILPRUF. CLEAR. OR APPROVED EQUAL. USE ONLY IF REQUIRED BY LOCAL BUILDING CODES, OTHERWISE ALL STOREFRONT GLASS SHALL HAVE A 1/4" VERTICAL CLEAR SPACE BETWEEN GLASS PANELS.
- 10. ALL EDGES, DRILLED HOLES AND NOTCHES SHALL BE FACTORY CUT AND/OR FACTORY FORMED. TOUCH-UP "RAW" EDGES TO MATCH FRAME. INSTALL IN ACCORDANCE WITH FGMA RECOMMENDATIONS UNLESS NOTED OTHERWISE. 12. VERIFY THAT FRAMES TO RECEIVE GLAZING ARE SQUARE AND TRUE, THAT PERIMETER CLEAR- ANCES ARE SUFFICIENT TO PREVENT "POINT LOADING", AND THAT SURFACES ARE
- COATINGS FROM FRAMING SURFACES. 13. CENTER GLASS IN RABBETS AND POSITION SO AS TO MAINTAIN CLEARANCES ON ALL SIDES. INDOORS AND OUT. IN ACCORDANCE WITH FGMA RECOMMENDATIONS. SHIM AS

CLEAN, DRY AND READY TO RECEIVE GLAZING MATERIALS. REMOVE ALL PROTECTIVE

REQUIRED TO POSITION AGAINST FIXED STOPS AND FRAME BARS. 14. SET ALL EXTRUSIONS IN CORRECT LOCATIONS AS SHOWN IN THE DETAILS. THEY SHALL BE LEVEL, FLUSH, SQUARE, PLUMB AND IN ALIGNMENT WITH OTHER WORK. 15. UPON COMPLETION, REMOVE ALL EXCESS SEALANT AND MATERIALS FROM SURFACES;

WASH AND CLEAN ALL GLASS FRAMING MEMBERS. SUSPENDED CEILING SYSTEM

GUARANTEE REQUIREMENTS.

- SYSTEM COMPONENTS SHALL CONFORM TO ASTM C635 INTERMEDIATE DUTY AND UBC STANDARD 47-18 INTERMEDIATE DUTY. INSTALLATION OF SYSTEMS SHALL CONFORM TO ASTM C636. WITH A DEFLECTION OF NOT MORE THAN 1/360 OF THE SPAN.
- FURNISH ALL LABOR AND MATERIALS REQUIRED FOR A COMPLETE SUSPENDED CEILING SYSTEM. REVIEW JOB SCHEDULE TO VERIFY INSTALLATION DATES AND MATERIAL AVAII ARII ITY. COORDINATE CEILING SUSPENSION SYSTEM WORK WITH OTHER WORK, SUCH AS CEILING LIGHT FIXTURES AND AIR OUTLETS. PROTECT FINISHED WORK INSTALLED BEFORE
- INSTALLATION OF CEILING SUSPENSION SYSTEM. REPLACE WORK DAMAGED BY WORK UNDER THIS SECTION. THE TENANT'S G.C. SHALL MAINTAIN FIRE AND SMOKE RATINGS AS REQUIRED BY CODES AND LANDLORD'S SPECIFICATIONS AND REGULATIONS.
- ALL LOCKING CROSS TEES SUPPORTING OTHER CROSS TEES SHALL CONFORM TO THE SAME CLASSIFICATION AS THE MAIN RUNNERS. MAIN RUNNERS AND CROSS TEES SHALL BE COLD ROLLED ELECTRO-GALVANIZED STEEL. WALL ANGLE MOLDINGS SHALL BE COLD ROLLED ELECTRO-GALVANIZED STEEL.

CORNERS SHALL BE MANUFACTURER'S PREFABRICATED INSIDE AND OUTSIDE CORNER

INSPECT LOCATIONS TO RECEIVE WORK AND CHECK THE EXISTING DIMENSIONS. ASCERTAIN

BEFORE PROCEEDING WITH WORK THAT ALL REQUIRED INSPECTIONS HAVE BEEN MADE.

COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF RESPONSIBILITY RELATED TO

MOLDINGS. FINISH SHALL BE BAKED ENAMEL IN SELECTED COLOR. HANGER WIRE SHALL BE 12 GAUGE GALVANIZED STEEL WIRE CONFORMING TO FS QQ-W-461. TYPE I. UNLESS NOTED OTHERWISE.

DIVISION 9 - FINISHES (CONT.)

SUSPENDED CEILING SYSTEM

- 11. THE BUILDING SHALL BE EXAMINED BEFORE BEGINNING WORK TO DETERMINE THAT IT IS PROPERLY ENCLOSED AND THE STRUCTURE IS IN PROPER CONDITION TO RECEIVE
- ACOUSTICAL MATERIALS. 12. THE AREA SHALL BE BROOM CLEANED AND UNINTERRUPTED FOR FREE MOVEMENT OF SCAFFOLDING. SCAFFOLDING SHALL BE OF A TYPE THAT WILL NOT SCAR OR MAR FLOOR SURFACES AND WILL NOT DAMAGE OTHER CONSTRUCTION. WORK NOT TO PROCEED UNTIL
- SATISFACTORY CONDITIONS DESCRIBED ABOVE PRESIDE. ATTACH HANGER WIRE TO SOUND, SECURE STRUCTURAL MEMBERS CAPABLE OF CARRYING THE NEW LOAD WITHOUT DEFLECTION, WRAP, BOLT OR CLIP WIRE HANGERS TO STRUCTURAL STEEL MEMBERS, OR INSTALL DROP CLIPS ON STRUCTURAL STEEL MEMBERS AND TIE WIRE HANGERS TO DROP CLIPS.
- 14. INSTALL SUPPLEMENTARY FRAMING, BLOCKING AND BRACING WHERE NECESSARY TO SUSPEND CEILING SYSTEM FIXTURES AND EQUIPMENT AND WHERE SPACING OF STRUCTURAL SUPPORTS EXCEEDS SPECIFIED HANGER SPACING. WHERE DIRECT SUSPENSION OF SUPPLEMENTARY FRAMING FOR SUPPORT OF EQUIPMENT, FIXTURE OR DUCTWORK IS NOT POSSIBLE DUE TO OBSTRUCTIONS, SUPPLEMENTARY FRAMING MAY BE SUSPENDED BY "TRAPEZE" ARRANGEMENT OF HANGER WIRE. SUSPEND LIGHT FIXTURES FROM STRUCTURE BY ATTACHMENT OF ONE HANGER AT EACH CORNER OF THE FIXTURE.
- FURNISH ADDITIONAL WIRES FOR LIGHTING FIXTURES AND MECHANICAL REGISTERS IN SUSPENDED CEILING. PROVIDE SEISMIC BRACING AS REQUIRED. INSTALL CEILING SUSPENSION SYSTEM IN ACCORDANCE WITH ASTM C636. LOADING OF ANY COMPONENT MAY NOT CAUSE DEFLECTION OF MORE THAN 1/360 OF THE SPAN. USE
- LASER LIGHT FOR LAYOUT AND LEVELING. INSTALL MAIN RUNNERS 48 INCHES O.C. TIE HANGER WIRES TO MAIN RUNNERS TIGHTLY WITH AT LEAST THREE FULL TURNS. INTERCONNECT MAIN RUNNERS BY LOCKING CROSS TEES 48 INCHES LONG TO FORM 24 INCH BY 48 INCH MODULES. WHEREVER SHOWN ON THE DESIGN PLANS, THESE MODULES SHALL BE DIVIDED BY CROSS TEES 24 INCHES LONG INSTALL PER- PENDICULAR TO THE OTHER CROSS TEES TO FORM 24 INCH BY 24 INCH
- SECTIONS. PROPER LENGTH LOCKING CROSS TEES SHALL ALSO BE INSTALLED ADJACENT TO ALL SIDES OF RECESSED LIGHT FIXTURES NOT SUPPORTED BY A MAIN RUNNER. 18. ALL SUSPENDED CEILINGS SHALL BE BRACED TO RESIST LATERAL AND HORIZONTAL MOVEMENT AS REQUIRED BY THE GOVERNING CODES. THE TENANT'S G.C. SHALL VERIFY
- ALL APPLICABLE CODES AND CONFORM. 19. CUT TILES TO MATCH FIELD PATTERN RECESS. ANY ACOUSTICAL CEILING PANELS LESS THAN FULL SIZE SHALL HAVE CUT EDGES TRIMMED TO MATCH FACTORY TEGULAR EDGES. SUSPENDED CEILING SHALL INTERSECT ALL VERTICAL WALLS AT 90 UNLESS OTHERWISE NOTED. PAINT ALL CUT EDGES TO MATCH CEILING COLOR.
- 20. UPON COMPLETION OF WORK FOLLOWING INSTALLATION OF SUSPENSION SYSTEMS. DIRTY OR DISCOLORED SURFACES OF SUSPENSION COMPONENTS SHALL BE CLEANED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LEFT FREE FROM DEFECTS COMPONENTS THAT ARE DAMAGED OR IMPROPERLY INSTALLED BE REMOVED AND REPLACED WITHOUT ADDITIONAL COST TO THE OWNER.

<u>DIVISION 10 - SPECIALTIES</u>

TOILET ACCESSORIES

TENANT'S G.C. SHALL PROVIDE THE FOLLOWING, IF NOT EXISTING.

21. LEAVE FOUR, FULL, UNDAMAGED TILES AT JOBSITE.

- A. TOILET PAPER DISPENSER B. PAPER TOWEL DISPENSER (AT TOILET ROOM & BACKROOM HAND SINKS).
- HANDICAP GRAB BARS (WHEN REQUIRED) . MIRROR.

WITH 'HANDICAP' ORDINANCES.

<u>INSTALLATION</u>

- DELIVER INSERTS AND ROUGH-IN FRAMES TO JOBSITE AT APPROPRIATE TIME FOR
- BUILDING IN. FASTENINGS: FURNISH TOILET ACCESSORIES, COMPLETE WITH ALL REQUIRED MOUNTING DEVICES, FASTENINGS, AND ACCESSORIES AS REQUIRED FOR A FINISHED INSTALLATION. PROPERLY PACKAGED AND TAGGED FOR READY IDENTIFICATION. FASTEN ALL ITEMS WITH SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID BACKING IF NO OTHER FASTENING
- IS SPECIFIED INSTALLATION OF TOILET ACCESSORIES SHALL BE IN ACCORDANCE WITH THE DRAWINGS, REVIEWED SHOP DRAWINGS, AND THE MANUFACTURER'S INSTALLATIONS AND
- 4. T.G.C. SHALL SUPPLY & INSTALL ADEQUATE BACKING FOR SECURE INSTALLATION OF ALL **ACCESSORIES** LOCATIONS AND HEIGHTS, SHALL BE AS SHOWN ON DRAWINGS AND IN CONFORMANCE

- 1. ALL FINISH HARDWARE FOR COMPLETE WORK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS. QUANTITIES LISTED IN ANY INSTANCE ARE FOR THE CONTRACTORS CONVENIENCE ONLY AND ARE NOT GUARANTEED. ITEMS
- NOT SPECIFICALLY MENTIONED BUT NECESSARY TO COMPLETE THE WORK SHALL BE FURNISHED, MATCHING IN QUALITY AND FINISH, THE ITEMS SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER OPERATION AND FITTING OF HARDWARE IN LOCATIONS SPECIFIED. THE CONTRACTOR MUST SUPPLY A ROOM UNDER LOCK AND KEY TO STORE ALL FINISH HARDWARE UNTIL INSTALLATION IS MADE. THE HARDWARE SUPPLIER MUST MARK EACH ITEM OF HARDWARE AS TO DESCRIPTION AND
- LOCATION OF INSTALLATION IN ACCORDANCE WITH APPROVED HARDWARE SCHEDULE. EXPOSED SURFACES OF HARDWARE SHALL BE COVERED AND WELL PROTECTED DURING INSTALLATION. SO AS TO AVOID DAMAGE TO FINISHES. PROVIDE HARDWARE FOR FIRE-RATED OPENINGS IN COMPLIANCE WITH REQUIREMENTS OF
- SUCH HARDWARF HARDWARE FINISH SHALL BE POLISHED CHROME OR AS NOTED IN DOOR SCHEDULE. HARDWARE SUPPLIER WILL PROVIDE APPROVED SCHEDULED AND PAPER TEMPLATES TO VARIOUS OTHER SUPPLIERS FOR DOOR AND FRAME PREPARATION FOR HARDWARE.

NFPA 80. THIS REQUIREMENT TAKES PRECEDENCE OVER OTHER REQUIREMENTS FOR

- FURNISH AND INSTALL FINISH HARDWARE, CYLINDERS, AND KEYS: "BEST" SEVEN PIN ROD. EACH ITEM OF HARDWARE SHALL BE PACKAGED SEPARATELY WITH ALL NECESSARY SCREWS, BOLTS, TAMPINS, KEYS AND INSTALLATION TEMPLATES. DELIVER PACKAGES CLEARLY IDENTIFIED, WITH HEADING NUMBER AS APPROVED ON HARDWARE SCHEDULE INSTALL EACH HARDWARE ITEM IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS AND LOCATE IN ACCORDANCE WITH RECOMMENDED
- SPACE FASTENERS AND ANCHORAGES AS INDICATED OR IN ACCORDANCE WITH INDUSTRY MAKE FINAL ADJUSTMENT AND CHECK OF HARDWARE DURING THE WEEK IMMEDIATELY PRIOR TO ACCEPTANCE. CLEAN AND RELUBRICATE OPERATING ITEMS, AS NECESSARY, TO RESTORE PROPER FUNCTIONING AND FINISH OF HARDWARE AND DOORS. MAKE FINAL ADJUSTMENT OF LOCKSETS AND THE CLOSERS TO COMPENSATE FOR OPERATION OF

HEATING AND VENTILATING SYSTEMS UNDER THE SUPERVISION OF MANUFACTURER'S

10. LUBRICATE ALL MOVING PARTS WITH GRAPHITE-TYPE LUBRICANT. UNLESS OTHERWISE

RECOMMENDED BY MANUFACTURER. REPLACE ALL HARDWARE WHICH CANNOT BE

LOCATIONS. SET ITEMS LEVEL, PLUMB. AND TRUE TO LINE AND LOCATION. ADJUST AND

REENFORCE THE ATTACHMENT SUBSTRATE, AS NECESSARY, FOR A SECURE INSTALLATION.

LUBRICATED AND ADJUSTED TO OPERATE FREELY AND SMOOTHLY. <u>EQUIPMENT</u>

GENERAL CONTRACTOR SHALL PURCHASE (1) EIGHT FOOT ALUMINUM FOLDING STEP LADDER FOR USE ON THE JOB-SITE. THE LADDER SHALL BE LEFT ON SITE IN GOOD CONDITION AT PROJECT COMPLETION. LADDER MUST BE CLASS A RATED.



S. SHATTO PL. Suite 405 Los Angeles California 90020

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PROJECT

TENANT IMPROVEMENT FOR MODAN ARTISANAL RAMEN RESTAURANT

700 FAIR OAKS AVE SUITE G & H SOUTH PASADENA, CA 91030

SHEET TITLE

SPECIFICATION

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RE'	VIS	SION	
N	0	NOTE	DATE
	1	BUILDING CORRECTION	MAY 2 <i>0</i> 23

AHJ STAMP APPROVAL

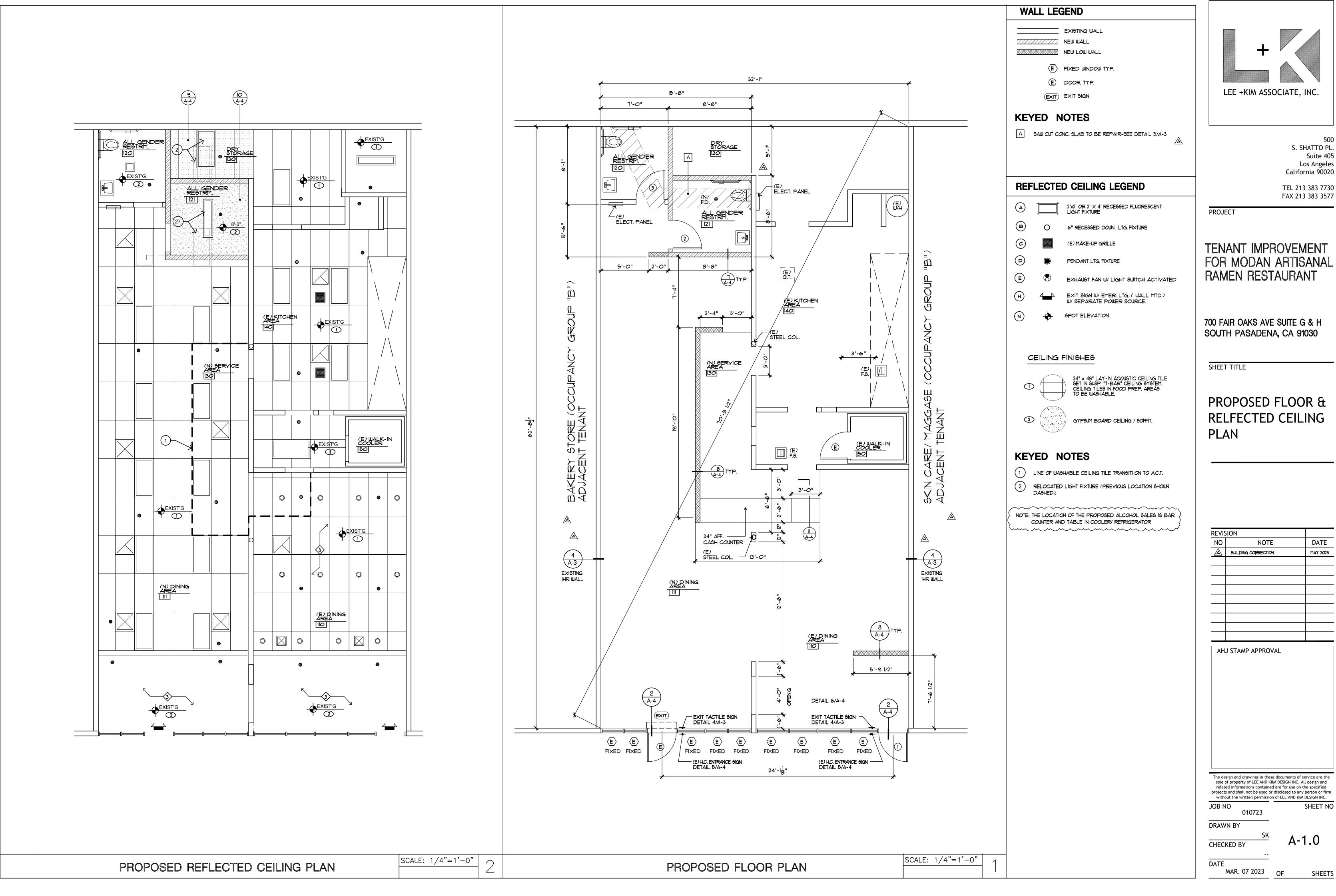
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SHEET NO





S. SHATTO PL. Suite 405 Los Angeles California 90020

FOR MODAN ARTISANAL

DATE MAY 2*0*23

NO. DESCRIPTION		QUANTITY	EQUIF	MENT	MANUFACTURER	MODEL NO.	SIZE (Wx D x H)	ELECTRICAL REQUIREMENT			PLUMBING REQUIREMENT			1ENT	REMARKS
			SUPPLY	INSTALL BY				VOLT PHASE	VOLT AMP	HP	aw +	₩ H1	г. шдет	GAS	
1)	(N) COUNTER		-	-	-	-									
2	(N) BACKBAR REFRIG	1	OWNER	-	AVANTCO	UBB-72G-HC	72 3/4"x24 7/16"x35 5/8"	1	115 2.0	3/7					NSF. APPROVED
3	(E) ICE MAKER	1	-	-	AVANTCO	UC-F-210-A					1/2"		F.S		NSF. APPROVED
4	(N) HAND SINK	1	-	-	REGENCY	600HS12	12"x16"				1/2"1/	′2"	DIR		S/S OVERHEAD CHEMICAL SHELF & MOP RACK BACKFLOW REVENTED SERVICE FAUCET
5)	NOT USED														
6	(N) SANDWITCH TABLE-REFRIG.	1	-	-	AVANTCO	55-PT-60-C	60 1/4"×31"×42 3/8"	1	115 2.4	1/2					W/ 4" CASTER AND SELF CONTAINED
7)	(N) SS. TABLE	1	-	-	REGENCY	600TSI824	18"x24"x34"								NSF. APPROVED
8	(E) HAND SINK	1	-	-	EXISTING						1/2"1/	′2"	DIR		S/S OVERHEAD CHEMICAL SHELF & MOP RACK BACKFLOW REVENTED SERVICE FAUCET
9	(E) PREP. SINK	1	-	-	EXISTING						1/2" 1/	2"	F.S		18" DRAIN BOARD ON SIDE \$ 8" S.S. BACKSPLASH
10)	(E) STOCK POT	1	-	-	AMERICA RANGE	ARSP-18	ARSP-18							3/4	90,000 BTU/HR
11)	(E) 6 OPEN BURNER	1	-	-	AMERICA RANGE	ARHP-36-6	36"x30"x14"							3/4	192,000 BTU/HR
12)	(E) STOCK POT-DOUBLE	1	-	-	AMERICA RANGE									3/4	180,000 BTU/HR
3	(E) SANDWITCH TABLE-REFRIG.	1	-	-	BEVERAGE AIR										W/ 4" CASTER AND SELF CONTAINED
4	(E) STOCK POT-DOUBLE	1	-	-	AMERICA RANGE									3/4	180,000 BTU/HR
15)	(E) FLAT GRILLE	1	-	-	AMERICA RANGE									3/4	30,000 BTU/HR
<u></u>	(E) SS. WORK TABLE	1	-	-	EXISTING										NSF. APPROVED
17)	(E) 4 OPEN BURNER	1	-	-	AMERICA RANGE									3/4	128,000 BTU/HR
18)	(E) SANDWITCH TABLE-REFRIG.	1	-	-	BEVERAGE AIR			1	115 2.5	1/5					W/ 4" CASTER AND SELF CONTAINED
19)	(E) DEEP FLYER-GAS	1	-	-	PITCO	SG14								3/4	110,000 BTU/HR
30	(E) DEEP FLYER-GAS	1	-	-	PITCO	SG14								3/4	110,000 BTU/HR
20	(E) TYPE "I" HOOD	1	-	-	EXISTING	-	4'-0"x16'-0"								(E) UL HOOD
22	(E) SANDWITCH TABLE-REFRIG.	1	-	-	EVEREST	EPBNRI	27.75"x31.5"x38.5"	1	115 2.5	1/5					W/ 4" CASTER AND SELF CONTAINED
23	(E) 3-COMP. SINK	1	-	-	EXISTING						1/2" 1/	2"	DIR		18" DRAIN BOARD ON SIDE & 8" S.S. BACKSPLASH
24)	(E) I DR FREEZER	1	-	-	EXISTING			1	115 2.0	1/4					W/ 4" CASTER AND SELF CONTAINED
25)	(E) MOP SINK	1	-	-	EXISTING						1/2" 1/	2"	DIR		S/S OVERHEAD CHEMICAL SHELF & MOP RACK BACKFLOW REVENTED SERVICE FAUCET
3	(N) WATER HEATER	1	-	-	RHEEM	G75-75N-3					1/2"				75K BTU W/ 75 GAL.
27)	(E) OR (N) WIRE SHELYING	7	-	-	EXISTING										NSF. APPROVED W/ 3 TIERS HIGH & 18" DEEP
28	(E) 2 DR FREEZER	1	-	-	EXISTING			1	115 2.0	1/4					W/ 4" CASTER AND SELF CONTAINED
29)	(E) LOCKER	1	-	-	EXISTING										
30)	(E) AIR CURTAIN	1	-	-	EXISTING										WITH MIRO SWITCH
31)	(E) WALK-IN COOLER	1	-	-	EXISTING								F.S		

FINISH SCHEDULE							FINISH MATERIAL		
ROOM # RM# 110 RM# 111 RM# 120 RM# 121 RM# 130	ROOM NAME (E) DINING AREA (N) DINING AREA (E) ALL GENDER RESTRM. (N) ALL GENDER RESTRM. (N) SERVICE AREA	1 1 1 1 2	(a) (b) (c) (d) (d) (d)	(2)(4) (2)(4) (3) (3) (1)(2)	CEIL'G	NOTES	FLOOR FINISH ① CERAMIC TILE ② (E) OR (N) QUARRY TILE ③ NOT USED ④ NOT USED ⑤ NOT USED BAS FINISH: ⑥ 4" MIN. CERAMIC TILE BASE WITH 3/8" RADIUS COV	WALL FINISH: (I) (N) CERAMIC TILE (I) 5/8" GYP BD. W/ SMOOTH FINISH & WHITE, GLOSS, ENAMEL PAINT (I) FRP. FINISH-WHITE COLOR (I) (N) FORMICA (II) NOT USED	
RM* 140 RM* 150 RM* 160	(E) KITCHEN (E) WALK-IN COOLER DRY STORAGE	② ② ②	① ① ①	(1) (2) (1) (2)	(6) (6)		(1) 6" QUARRY TILE BASE W/ 3/8" RADIUS COVE (2) 6" WOOD BASE (3) NOT USED (4) NOT USED		

- I. FINISHES IN ALL AREAS, OTHER THAN THE CUSTOMER WAITING OR DINING AREAS, MUST BE SMOOTH, NONABSORBENT, EASILY CLEANABLE, DURABLE AND LIGHT IN COLOR LIHGT COLORED IS DEFINED AS HAVING A LIGHT REFLECTANCE VALUE OF 70% OR GREATER.
- 2. MIN. 20F00T CANDLE LINGT MEASURED 30" A.F.F. IN SERVICE AREA.
- 3. ALL EQUIPMENT, INCLUDING SHELVING, MUST BE SUPPORTED BY SIX INCH HIGH, EASILY CLEANABLE LEGS, COMMERCIAL CASTORS, OR COMPLETELY SEALED IN POSITION ON A FOUR INCH HIGH CONTINUOUSLY COVED BASE OR CONCRETE CURB TO FACILITATE EASE OF CLEANING.
- 4. ALL NEW AND REPLACEENT FOOD-RALATED OR UTENSIL-RELATED EQUIPMENT SHALL BE CERTIFIED OR CLASIFIED FOR SANITATION BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED CERTIFICATION PROGRAM. EXAMPLE OF THESE ACCREDITED PROGRAMS INCLUDE NSF, UL, INTERTEK ETL, CSA ETC.
- 5. LOCKR/SHELF/POLE INSTALL
- LOCKER (4) WILL BE MOUNTED OR ELEVATED. LOCKERS MUST BE INSTALLED ON SIX (6) INCH HIGH, EASILY CLEANABLE LEGS, CANTILEVERED OFF THE WALL, OR ON A MINIMUM FOUR (4) INCH HIGH CONTINUOUSLY COVED CURB OR PLATFORM L-ANGLE LEGS ARE NOT ACCEPTABLE.
- 6. JANITORIAL SINK THE JANITORIAL SINK MUST BE SECURELY ATTACHED TO THE WALL. SUPPORT LEGS MUST BE OF SMOOTH, EASILY CLENABLE CONSTRUCTION.
- L-ANGLE LEGS ARE NOT ACCEPTABLE. THE RIM OF SINK MUST BE NO MORE THAN 30 INCHES ABOVE THE FLOOR.
- T. SPLASHGUARD
- PROVIDE THE A MINIMUM 6-INCH HIGH SPLASHGUARD BETWEEN THE 3-COMPARTMENT SINK AND THE HAND SINK WITH A MINIMUM TWO INCH CLEARANCE ON EACH SIDE OF THE SPLASHGUARD OR PROVIDE A 24-INCH SEPARATION BETWEEN THESE TWO ITEMS. THE SPLASHGUARD MUST EXTEND OUT TO BE IN LINE WITH THE FRONT EDGE OF THE 3-COMPARTMENT SINK.
- INSTALL A MINIMUM SIX FEET HIGH PARTITION, AS MEASURED FROM THE FLOOR, BETWEEN THE JANITORIAL SINK AND ADJACENT HAND SINK. THE PARTITION MUST EXTEND OUT TO BE IN LINE WITH THE FRONT EDGE OF THE JANITORIAL SINK.

ADDITIONAL BUILDING NOTES

- A. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SED HALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE FIVE POUNDS MAXIMUM. CBC 309.4 THIS IS NOT FOR DOOR.
- B. ELECTRICAL CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREA TO CONTROLLING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE RECEPTACLE BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE RECEPTACLE BOX. CBC 308.1.1
- C. SIGNS WITH TACTILE CHARACTERS SHALL COMPLY WITH 11B-703.4 INSTALLATION HEIGHT AND LOCATION.
- D. DEVICES USED FOR THE PURCHASE OF GOODS OR SERVICES THAT REQUIRE A PERSONAL IDENTIFICATION NUMBER (PIN), ZIP CODE OR SIGNATURE SHALL COMPLY WITH THE REQUIREMENTS FOR POINT-OF SALE DEVICES (POS). CBC 11B-22O.2.
- E. SPACES AND ELEMENTS WITHIN EMPLOYEE WORK AREAS SHALL BE DISIGNED AND CONSTRUCTED SO THAT INDIVIDUALS WITH DISABILITIES CAN APPROACH, ENTER AND EXIT THE EMPLOYEE WORK AREAS. CBC-11B-203.9.
- F. DINING AND WORK SURFACES SHALL COMPLY WITH 11B-902.2 AND 11B-902.3.
- G. SELF SERVICE SHELVES AND DISPENSING DEVICES FOR TABLEWARE, DISHWARE, DONDIMENTS, FOOD AND BEVERAGE SHALL COMPLY 11B-308. CBC 11B-904.5.1

FLAME SPREAD INDEX & SMOKE DEVELOPED INTEX

CLASS B = FLAME SPREAD INDEX 26-75; SMOKE DEVELOPED INDEX 0-450.

32'-1"

(E) ELECT, PANEL

A-3

EXISTING

IHR WALL

WALL LEGEND OCCUPANCY GROUP A-2 WITH SPRINKLERED = CLASS B

- (E) ELECT, PANEL

STEEL COL.

ぐぜん ぐぜん

FIXED

- EXIT TACTILE SIGN

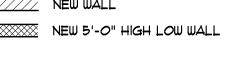
FIXED FIXED

- (E) H.C. ENTRANCE SIGN DETAIL 5/A-4

DETAIL 6/4-4

34" AFF. — CUTOMER COUNTER

EXISTING WALL NEW WALL



- (E) FIXED WINDOW TYP.
- (E) DOOR TYP.
- (EXIT) EXIT SIGN



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PROJECT

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700 FAIR OAKS AVE SUITE G & H SOUTH PASADENA, CA 91030

SHEET TITLE

PROPOSED EQUIP. **PLAN**

RE'	VISION	
N	O NOTE	DATE
	BUILDING CORRECTION	MAY 2023
A	AHJ STAMP APPROVAL	

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PROPOSED EQUIPMENT PLAN

H.C. SEATING

FIXED FIXED

SCALE: 1/4"=1'-0"

IHR WALL

30"x48" | | H.C. SEATING

EXIT TACTILE SIGN

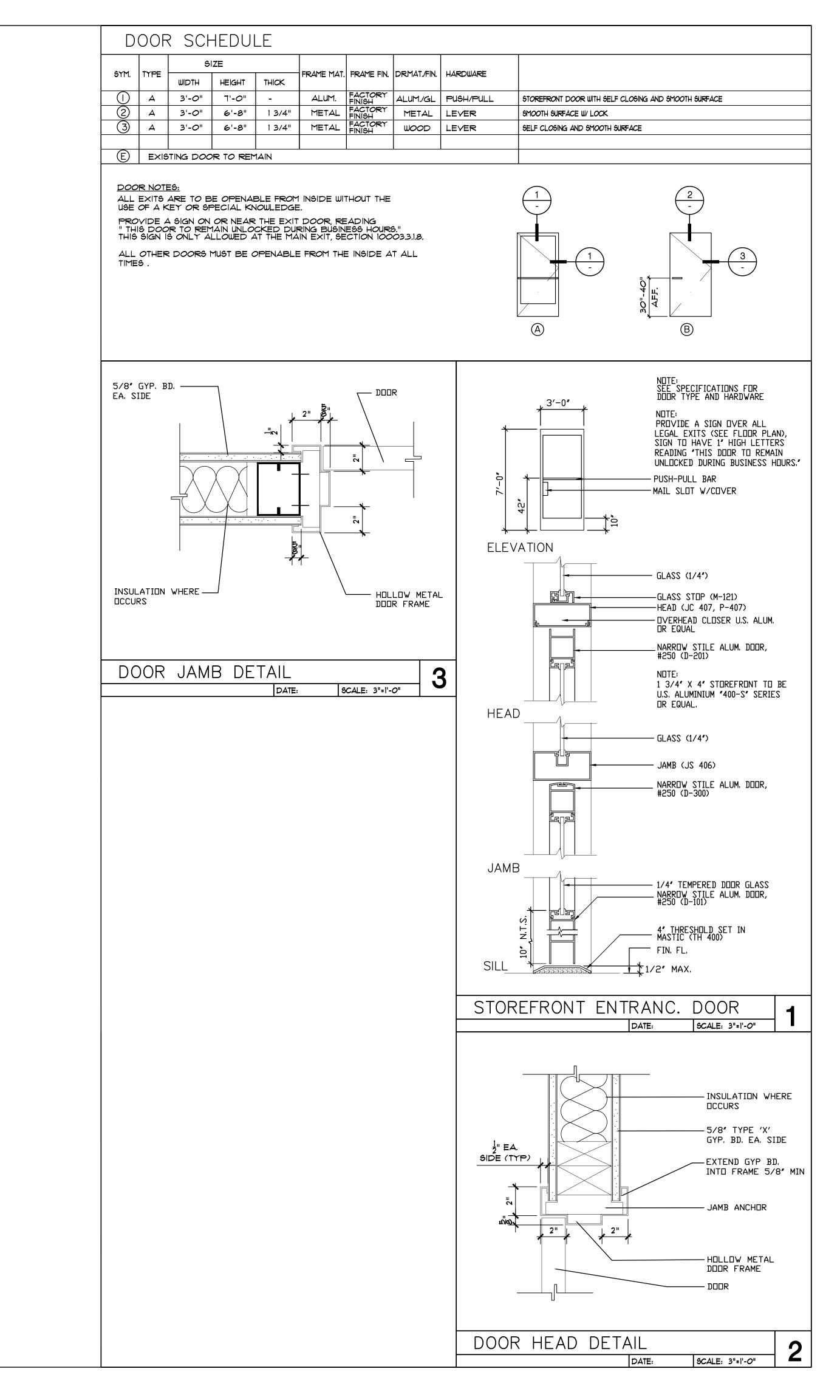
FIXED

(E) H.C. ENTRANCE SIGN — DETAIL 5/A-4

FIXED

DETAIL 6/A-4

 $\sqrt{A-4}$





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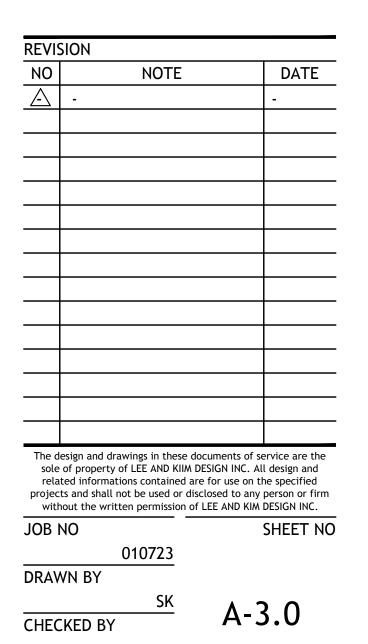
PROJECT

TENANT IMPROVEMENT FOR MODAN ARTISANAL RAMEN RESTAURANT

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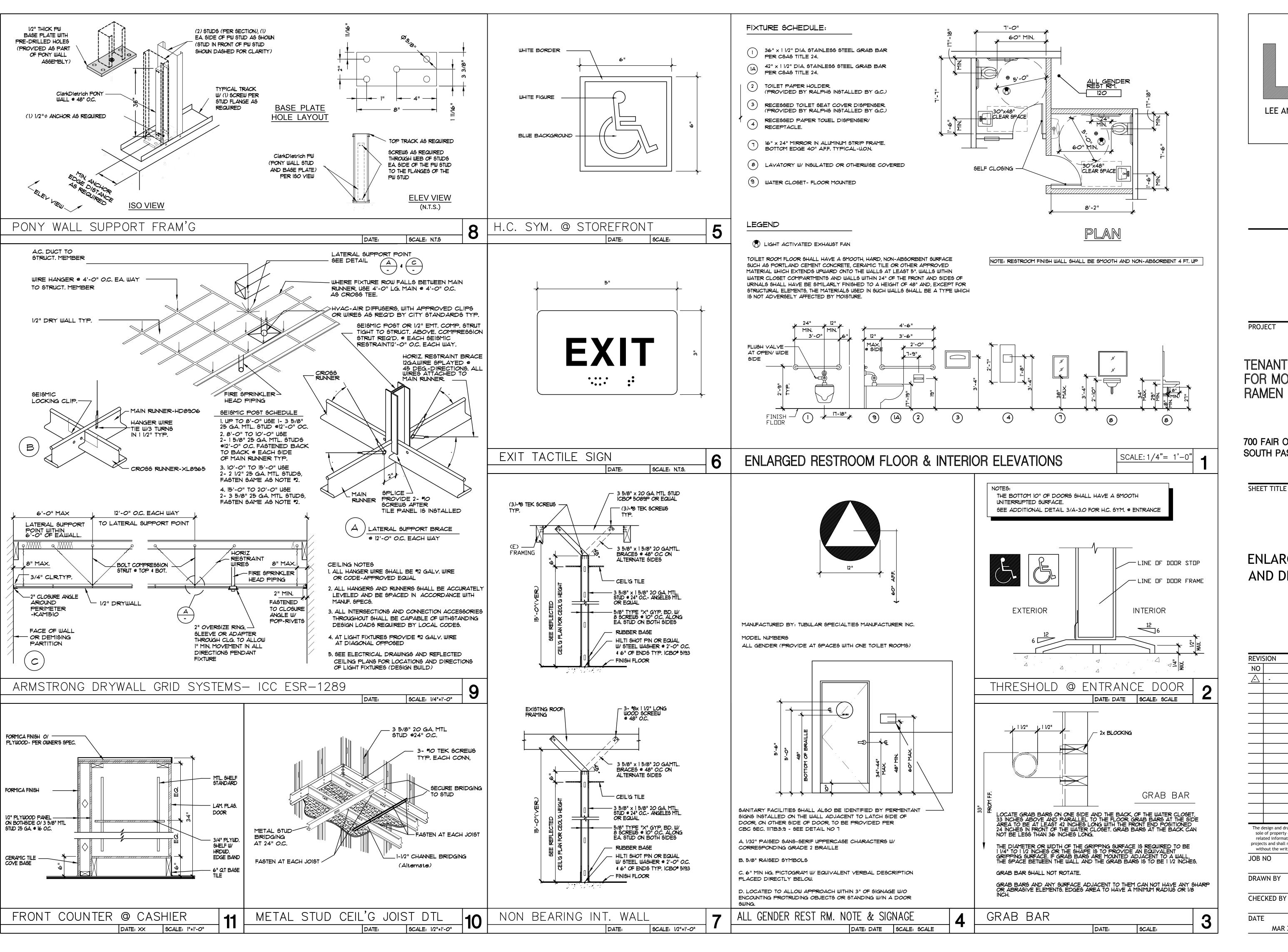
SHEET TITLE

DOOR SCHEDULE AND DETAILS



MAR 24 2023 OF

SHEETS





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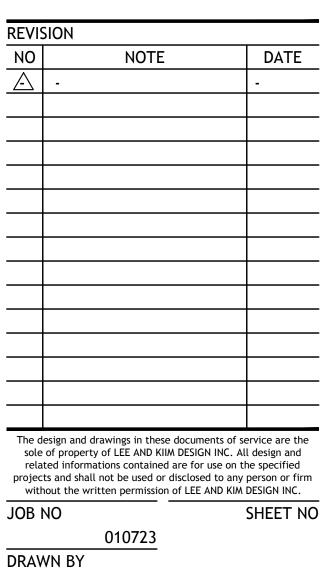
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TENANT IMPROVEMENT FOR MODAN ARTISANAL RAMEN RESTAURANT

700 FAIR OAKS AVE SUITE G & F SOUTH PASADENA, CA 91030

SHEET TITLE

ENLARGED RESTROOM AND DETAILS



MAR 24 2023 OF

SHEETS

ATTACHMENT 4

Existing Menu

f @



HOME MENU GIFT CARDS JOBS HOURS Accessibility

ORDER ONLINE

RAMENS

Our ramen is authentic to our restaurant. We strive to find different ways to modernize and make such a traditional food enjoyed by many people. (*Allergy notice*Please be advised that food prepared here may contain certain ingredients or prepared near certain ingredients.: Wheat, Soy, Gluten, eggs, Sesame seed/oil, Fish, Shellfish, and dairy. Please ask about these if you are concerned or sensitive.**) VEGAN* certain menu items may be vegan ingredients, but we cannot guarantee vegan, as they are made in same kitchen as our regular menu dishes. ~~Prices may change without notice~~



Modan \$15.50

Our signature pork bone broth. Topped with your choice of braised pork chashu or chicken. Along with wood mushrooms, scallions, seaweed paper and sweet soy marinated soft boiled egg, then drizzled with our black garlic truffle oil finishes our version of tonkotsu ramen.



Spicy \$15.50

Our signature tonkotsu broth with an added spice! Topped with your choice of braised pork chashu or chicken. Along with wood mushrooms, scallions, seaweed paper and sweet soy marinated soft boiled egg, makes for an addicting heat craving bowl. A must try!





Shoyu \$15.50

Our chicken soy broth. Comes with your choice of braised pork chashu or chicken. Along with scallions, bamboo shoots, seaweed paper and sweet soy marinated soft boiled egg, then topped with fresh arugula



Seasoned battered fried chicken wings, sweet and savory. served with white truffle aioli



Sausage Skewer \$5

Pork sausage yakitori skewer served with cool and spicy dipping sauce)



Curry Fries \$9.25

Thick cut fries topped with vegetable curry, cheese and scallions, and then drizzled with sriracha aioli





Pork Slider \$7.50

Shredded Braised pork chashu, with red cabbage slaw, daikon sprouts on a buttery bun.

Rice Bowls

(*Allergy notice*Please be advised that food prepared here may contain certain ingredients or prepared near certain ingredients.: Wheat, Soy, Gluten, eggs, Sesame seed/oil, Fish, Shellfish, and dairy. Please ask about these if you are concerned or sensitive.**) VEGAN* certain menu items may be vegan ingredients, but we cannot guarantee vegan, as they are made in same kitchen as our regular menu dishes~~Prices may change without notice~~



Spicy Tuna Bowl \$9

Spicy tuna over sushi rice, topped with pickled ginger, scallions, and seaweed flakes (Large size \$12.50)



Gyoza Ramen topping (2pc)	. \$2.50
Brussels Sprouts Topping	. \$3.50
Sauteed Kimchi	. \$2.50
Egg	\$1
Crunch Onion	\$1
Crunch Kale	\$1
Sizzling(sauteed garlic, onion, jalapeno)	\$1
Broccoli	
Bamboo shoots	. \$0.75
Extra seaweed paper	. \$0.75
Bean Sprouts	. \$0.75
Arugula	. \$0.50
ADD SPICY!	. \$0.50
Black Garlic Truffle Oil(not same as our tonkotsu black)	. \$0.50

Appetizers

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Steamed lightly salted young soy beans





Spicy Edamame \$6.25

Steamed young soy beans, sauteed in spicy garlic sauce *be advised this cannot be mild







Planning Commission Agenda Report

ITEM NO. <u>11</u>

DATE: November 14, 2023

FROM: Angelica Frausto-Lupo, Community Development Director

Matt Chang, Planning Manager

PREPARED BY: Sandra Robles, Associate Planner

SUBJECT: Project No. 2500-HDP/DRX/VAR/PM/TRE - A request for a

Hillside Development Permit (HDP) and Design Review Permit (DRX) to construct a new 3,214-square-foot, two-story, single-family dwelling; two Variances (VAR) for a reduced side yard setback and an attached garage in front of the main structure; a Parcel Merger (PM) application of two existing lots; and a Tree Removal Permit (TRE) for the removal of four (4) trees at 4931 Harriman Avenue (Assessor Parcel Numbers: 5312-016-016 & 5312-016-017); making the determination of exemption under the California Environmental Quality Act (CEQA), Section 15303, Class 3 (New Construction or Conversion of Small

Structures).

Recommendation

Staff recommends that the Planning Commission adopt Resolution No. 23-13 (**Attachment 1**) taking the following actions:

- Finding the project exempt under the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3 (New Construction or Conversion of Small Structures).
- 2. Approve Project No. 2500-HDP/DRX/VAR/PM/TRE, subject to the recommended Conditions of Approval (**Attachment 1**, **Exhibit "A"**).

Background

The subject site consists of two undeveloped rectangular-shaped lots located within the Southwest Monterey Hills area and zoned Residential Single-Family (RS). The parcel to the north is 3,757 square feet (APN: 5312-016-017), 25 feet in width and 150 feet in depth. The parcel to the south is 7,513 square feet (APN: 5312-016-016), 50 feet in width and 150 feet in depth with

a combined total of 11,270 square feet. The subject properties are surrounded by single-family residential uses to the north, south, east, and west. The single-family parcels to the south are also undeveloped (see **Figure 1** to view the Aerial). The surrounding neighborhood includes an eclectic mix of architectural styles, including Minimal Traditional, 20th Century Modern, and Ranch-style, amongst others (see **Attachment 2** for Neighborhood Images).

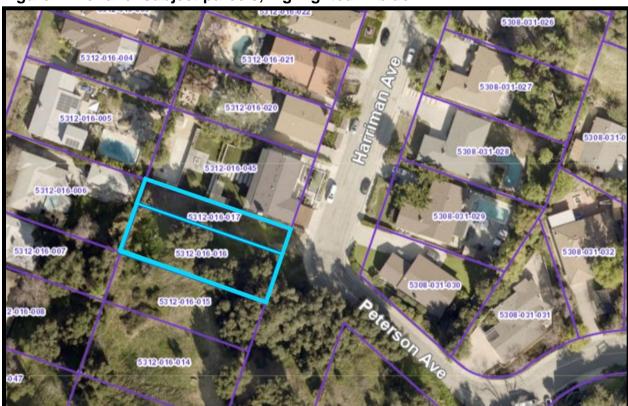
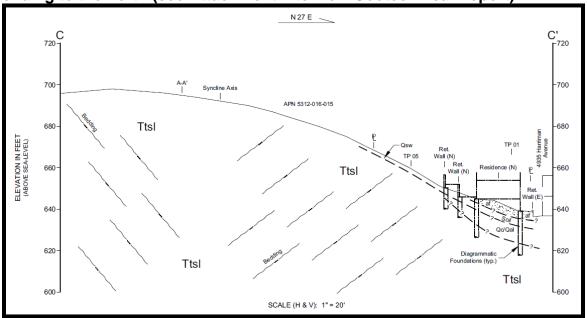


Figure 1: Aerial of subject parcels, highlighted in blue

The subject site fronts Harriman Avenue at a curve and turns into Peterson Avenue at an upslope. The property is unique in that it is situated both on the top of a downslope—from south to north—and the bottom of a downslope—from east to west (see **Figure 2** to view the slope from south to north). The subject site has an average slope of 41.67 percent and contains several mature trees, especially along the southern portion of the property. To minimize the impact on the hillside and the trees, the applicant is proposing to construct the new single-family dwelling at the northern portion of the new lot.

Figure 2: Cross-section of subject property from center starting at the south and ending to the north (see Attachment 7 to view Geotechnical Report)



Project Description

The applicant is requesting approval to construct a 3,214-square-foot, two-story single-family dwelling on two vacant parcels, that when merged, will total 11,270 square feet. The project includes three decks, the first is 435 square feet and positioned over the two-car garage at the front of the property; the second is also 435 square feet and positioned at the rear of the property; the third deck is 420 square feet and is positioned to the rear of the property and doubles as a covered patio for the 711-square-foot basement-level Accessory Dwelling Unit (ADU).

Entitlements:

The applicant is requesting the following entitlement applications for the proposed project:

- 1. **Hillside Development Permit (HDP)** for the proposed grading and development of a 3,214-square-foot, two-story single-family dwelling on a site with an average slope of 20 percent or greater. The project includes an attached 405-square-foot, 2-car garage, a 711-square-foot basement-level ADU, and three decks;
- 2. **Design Review Permit (DRX)** for the architectural design review of the proposed development:
- 3. Two **Variance (VAR)** requests to deviate from development standards to allow the project to provide the following:
 - a. A reduced north side yard setback to five (5) feet in lieu of the required seven (7) feet, five (5) inches. Per South Pasadena Municipal Code

- (SPMC), Section 36.220.040, side yard setbacks shall meet 10 percent of the lot width; and,
- b. To allow an attached garage in front of the main structure. Per SPMC, Section 36.220.040, an attached garage shall be set back a minimum of 10 feet from the main structure.
- 4. **Parcel Merger (PM)** for the merger of two adjacent lots, the first lot (APN: 5312-016-016) is 7,513 square feet, the second lot (APN: 5312-016-017) is 3,757 square feet, when merged will be a total of 11,270 square feet; and,
- 5. Tree Removal Permit (TRE) for the removal of four (4) trees.

Project Analysis

General Plan Consistency

The City has updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which included a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards. The subject property is not slated to be rezoned, but updated General Plan policy goals will apply throughout the City. The proposed project was deemed complete prior to the General Plan update, as such, the proposed projects was subject to the evaluation criteria at the time of submittal.

The General Plan land use designation of the site is Low Density Residential, which allows for detached single-family units at a density of 3.51 to 6 units per acre. The proposed project does not involve the addition of another dwelling unit; therefore, the project is consistent with the General Plan.

Zoning Code Compliance & Development Standards

The subject property is zoned Residential Single-Family (RS), which is intended for the development of detached, single-family homes. A two-story residence is a use anticipated in this zoning district. The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City's design standards and guidelines. The proposed project meets the requirements of the City's adopted Design Guidelines for single-family residences on hillside sites. Development standards from SPMC Sections 36.340.050—Hillside Project Development Standards and 36.220.040—Residential Zoning District General Development Standards for the RS Zone were applied to the project. **Table 1**, on the following page, provides a breakdown of the proposed project and its compliance with SPMC Section 36.220.040 regulating residential land uses.

Table 1: Residential Single-Family (RS) District General Development Standards

Standard	Requirement	Proposed
Lot Coverage	40% (4,508 SF max. allowed)	21.3% (2,395.83 SF)
Floor Area Ratio (FAR)	35% (3,944.5 SF max. allowed)	11.2% (2,502.51 SF)
Rear Setback	25'	25'

Hillside Development Permit

Pursuant to SPMC Section 36.340.020, any development on a site with an average slope of 20 percent or greater requires a Hillside Development Permit. The purpose of the Hillside Development Permit is to ensure that developments are designed to preserve the City's scenic resources, encourage appropriate grading practices, and encourage appropriate design to maintain the hillside in a natural, open character. **Table 2** provides a breakdown of the existing conditions of the proposed project and its compliance with SPMC Section 36.340.050—Hillside Project Development Standards, regulating residential land uses.

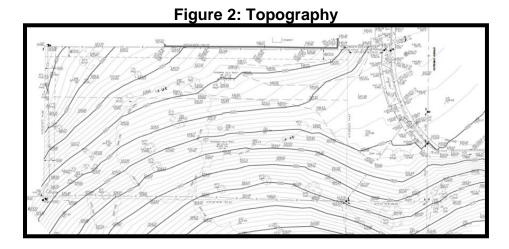
 Table 2: Hillside Project Development Standards

Standard	Requirement	Proposed
Front Setback	10 ft.	Complies: 10'-2"
Side Setback	10% of lot width, min. of 4 ft., max. of 10 ft. Lot Width = 75' Side Setback Requirement = 7'-5"	Variance Requested: North: 5'
		Complies: South: 49'-2"
Building Height	Maximum height for structures with a roof pitch of 3:12 or greater is 28 ft. If a roof pitch is less than 3:12, the maximum height is 24 ft.	Complies: 27'-9"
Siting Restrictions	Structures shall not be placed so that they appear silhouette against the sky when viewed from a public street	Complies
Placement Below Ridgeline	50 ft. between top of the structure and the top of the ridge o	r Complies
Height of Lowest Floor Level	Vertical distance between the lowest point where foundation meets grade and the lowest floor line of the structure shall not exceed 6 ft.	Complies
Downhill Building Walls	No single building wall on the downhill side of a house shall exceed 15 ft. in height above grade.	Complies

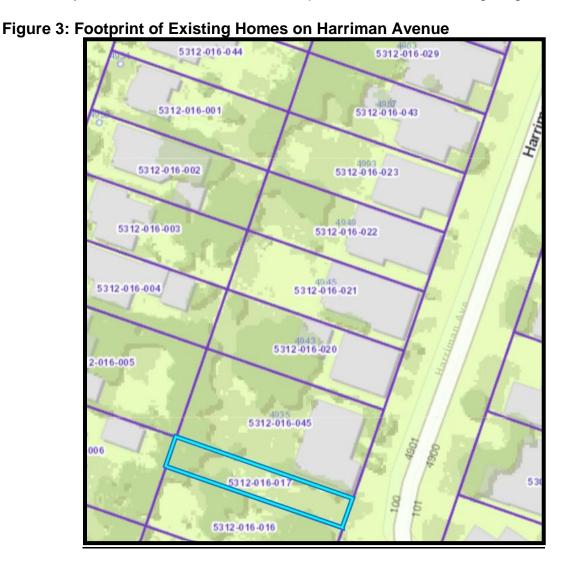
Standard	Requirement		Proposed
Decks	No portion of the walking surface of a deck with visible underpinnings shall exceed a height of six feet above graded becks should be integrated into the architecture of the hounout appearing as an "add-on" to the primary building mass	Complies	
Driveways	Driveway shall not have a grade steeper than 5% within 10 of the garage or carport entry. Finished grade of driveways shall not exceed an average 15%		Complies
Natural State	A minimum of 25% of the lot area plus the percentage figure of the average slope must be remediated to its natural state. in terms of slope and vegetation. Natural State Requirement		Complies, applicant to remediate 66%
Height of New Retaining Walls	3 ft. max in front setback, otherwise 6 ft.		Complies
Attached Garage	Attached garage shall be set back a minimum of 10 feet free the main structure	om	Variance Requested

Variance 1: Reduction of Side Yard Setback

SPMC, Section 36.340.050, requires that structures have a minimum side yard setback of 10 percent of the lot with. The average slope for the property is 41.67 percent. Toward the southern portion of the lot, the slope is more significant (see **Figure 2** below). As such, to reduce the impact on the hillside and to prevent the removal of several mature trees, the applicant is situating the footprint of the single-family dwelling at the northern portion of the lot. To minimize grading the applicant is requesting a Variance to situate the proposed dwelling five feet from the northern side property line, which is less than the required 10 percent of the property width of seven (7) feet, five (5) inches. The steep terrain of the project site, and compatibility with the neighborhood are the driving factors for the Variance. If the proposed project were to meet the 7-foot, 5-inch side yard setback, this would result in additional grading and shoring that can create a significant impact on the steep terrain and surrounding trees.



The subject property is surrounded by existing single-family dwellings built prior to the adoption of the City's Hillside Development Standards. A survey of the existing properties, their footprints, and the parcel lines relative to the existing footprints indicates that the majority of developed parcels on the same block have nonconforming side yard setbacks (see **Figure 3**). As such, the request for a Variance to allow the side yard setback to be reduced by 2 feet, 5 inches, does not set a precedent for the existing neighborhood.

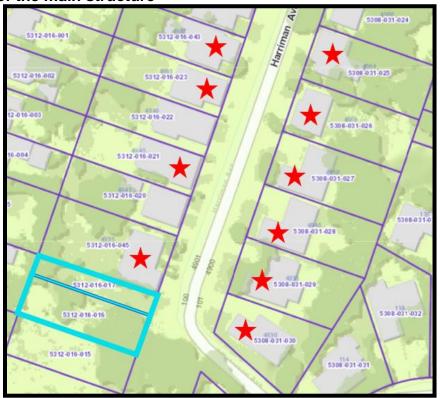


Variance 2: Attached Garage in Front of Primary Structure

SPMC, Section 36.220.040, Table 2-3, requires that an attached garage be set back a minimum of 10 feet from the front of the main structure. The applicant is proposing to minimize the impact of the natural terrain and, as such, the proposed single-family dwelling is narrow and situated towards the northern portion of the lot, where the

topography is not as steep. Placing the garage 10 feet behind the main structure would require that a significant portion of the southern lot be excavated, resulting in the removal of mature trees and substantial grading on a significant slope. As such, the applicant is requesting a Variance to allow an attached garage in front of the main structure. The surrounding neighborhood consists of houses constructed with garages either in front of the primary structure or within line of the front façade. **Figure 4** is a map of the surrounding neighborhood, the red-stared properties are properties that also have the garage placement toward the front of the main structure. As such, the request for a Variance to allow the garage in front of the primary structure does not set a precedent for the existing neighborhood.

Figure 4: Map of surrounding properties with red stars indicates garage placement at the front of the main structure



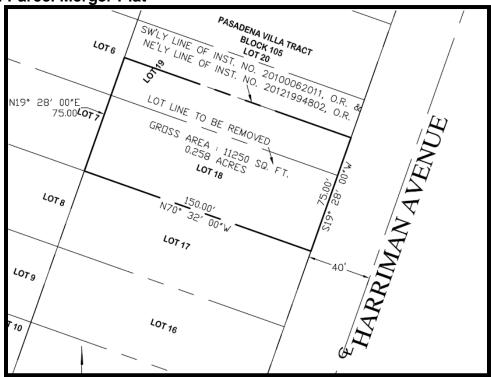
Tree Removal Permit

The subject property is lined with mature trees. The applicant has carefully designed the proposed project to minimize the removal of trees, as such, the footprint of the home is narrow and situated along the northern portion of the property. Four trees are slated for removal. One of the trees slated for removal is a Coast Live Oak tree with approximately 10 inches in diameter (see **Attachment 5** to view the Arborist Report).

Parcel Merger

The subject site consists of two undeveloped rectangular-shaped lots located within the Southwest Monterey Hills area and zoned Residential Single-Family (RS). The parcel to the north is 3,757 square feet (APN: 5312-016-017), 25 feet in width and 150 feet in depth. The parcel to the south is 7,513 square feet (APN: 5312-016-016), 50 feet in width and 150 feet in depth. When merged the lot will be 75 feet in width and 150 feet in depth with a combined total of 11,270 square feet. **Figure 5** is the Parcel Merger Plat for the proposed Parcel Merger.





Soils and Grading

The applicant submitted a Geotechnical and Geologic Study of the subject property (**Attachment 7**). According to the report, the subject project is feasible from a geotechnical standpoint provides the recommendations presented in the report are implemented:

A. Groundwater: According to the report, no seepage of groundwater was encountered and due to elevation of the site, water is not expected to be a significant factor during construction of the proposed project.

- B. Landslides: According to the report, geologic maps do not depict landslides within or immediately adjacent to the subject property that would adversely affect the stability of the site.
- C. Liquefaction: According to the report, the site is not indicated to lie within a zone of identified liquefaction hazard.
- D. Faulting: According to the report, the subject site is located within a seismically active region of Southern California, within a zone of influence of several active and potentially active fault systems. Additionally, the site lies approximately one and a quarter mile south of the Raymond fault.
- E. Stability Analysis: According to the report, given the favorable bedding of bedrock materials, the hillside strength parameters exceed the minimum of 1.5 and 1.0 for both static and pseudo-static conditions, respectively. A factor of less than 1 generally indicates the slope is or potentially is in a condition of mobilization of slope movement or a landslide.

The subject site is adjacent to approximately 25 feet of public right-of-way towards the front of the property, to gain access the applicant will be constructing a driveway and stairway on the public right-of-way. As part of the project and as conditioned, the applicant shall obtain a Covenant Agreement with the Department of Public Works to grade the property and to construct the driveway and stairs. The applicant is proposing to cut 149 cubic yards and fill 131 cubic yards from the public right-of-way (see **Table 3** for public right-of-way grading summary).

Table 3: Summary of Public Right-of-Way Grading

GRADING SUMMARY - RIGHT OF WAY									
	WITHIN FOOTPRINT	OUTSIDE OF FOOTPRINT	REMOVE AND RECOMPACT	TOTAL					
СИТ	0 CU.YD.	20.4 CU.YD.	128.9 CU.YD.	149.3 CU.YD.					
FILL	0 CU.YD.	2.3 CU.YD.	128.9 CU.YD.	131.2 CU.YD.					
			TOTAL	280.5 CU.YD.					
			18.1 CU.YD.	EXPORT					

The applicant is proposing to cut 1,281.5 cubic yards of dirt on the subject property and fill 932.1 cubic yards (see **Table 4** to view the property grading summary). The applicant is also proposing several retaining walls that are six feet or under.

Table 4: Grading within Subject Property

(GRADING SUMMARY - WITHIN PROPERTY									
	WITHIN FOOTPRINT	OUTSIDE OF FOOTPRINT	REMOVE AND RECOMPACT	TOTAL						
CUT	252.9 CU.YD.	209.9 CU.YD.	818.7 CU.YD.	1281.5 CU.YD.						
FILL	56.1 CU.YD.	57.3 CU.YD.	818.7 CU.YD.	932.1 CU.YD.						
			TOTAL	2213.6 CU.YD.						
			349.4 CU.YD.	EXPORT						

Design Review

Hillside Design Guidelines

The Hillside Development Design Guidelines in Section 36.340.040 of the SPMC and the City's residential design guidelines for hillside lots apply to the proposed project. To approve the project, the Planning Commission must find that the proposed project is consistent with City's design requirements and must make the findings for approval for Design Review. These guidelines and findings require projects to be compatible within the neighborhood context and surrounding architectural characteristics so as not to adversely impact the character of the City. The City's adopted *Design Guidelines for Residential Single-Family Buildings on Hillside Lots*, state the following:

 Neighborhood Compatibility and Character: New hillside homes or additions and alterations to existing hillside homes should be designed with consideration for the character and scale of the existing development in the vicinity. Alterations to existing hillside homes should be designed with consideration for the character and scale of the existing development in the vicinity.

The subject site is surrounded by existing single-family residences of varying architectural styles and sizes. The architectural style of the proposed project is described by the applicant as Modern and Minimalist. The proposed project is design to be compatible with the surrounding neighborhood through its broken form design of separate, but integrated minimalist modern forms that descend the down-sloping hillside site in an effort to reduce the scale and visual impact of the project.

View Protection: Preservation of views from adjoining hillside lots should be carefully considered in the design of a new home or addition to an existing home on a hillside lot.

The proposed project is nestled into the bottom of a hillside to reduce its height and visual impact from adjoining properties. The design of the second story is stepped back 20 feet from the front-facing garage and with additional floor levels occurring downhill and below the street elevation.

- 3. Site Planning and Development:
 - a. Each hillside structure should be located in the most accessible, least visually prominent, most geographically stable portion of the site, and at the lowest feasible elevation. Siting structures in the least prominent locations is important on open hillsides where high visibility should be minimized by placing structures so that they will be screened by existing vegetation, depressions in topography, or other natural features.

The applicant is requesting a Variance for a 5-foot side yard setback, the standard is 10 percent of the lot width, which in this case, would be 7 feet, 5 inches. The reduction of the side yard setback will allow the house to be situated on a narrow portion of the property, which has a reduced slope. The reduced side yard setback will reduce the amount of grading and shoring required to construct the house by locating the footprint on the more stable area closer to the street.

b. Each structure should be located to take advantage of existing vegetation for screening and should include the installation of additional native plant materials to augment existing vegetation, where appropriate.

Four trees are slated for removal; however, the southern portion of the subject property contains seven Coast Live Oak trees that will remain. The new planters created by the six-foot retaining walls will include native plants that are appropriate for dry climates.

c. In order to minimize visual impacts where the lots are substantially longer in the direction of the slope than lot width, residences should generally be oriented to present the narrow side of the home to the exposed view rather than the wide side.

The orientation of the proposed home follows the orientation of the rectangular site. The site has a curving street frontage and the proposed house is narrow at 20 feet, 10 inches. The second-story portion of the proposed house is set back approximately 20 feet from the front property line, when considering the public right-of-way, the required 10-foot front

yard setback, and the 20-foot building stepback, the second-story portion of the structure is setback approximately 50 feet from the street, which minimizes the visual impact of the home.

4. Grading:

a. Grading into the hillside to locate a structure and reduce its visual bulk is encouraged. To minimize grading, building designs should step up or down hillsides.

The proposed house is situated at the bottom of a steep hillside. This design approach will provide a new residence that is more compatible with the existing development patterns of the single-family neighborhood. The bulk of the house has a minimal impact from the street view, as the proposed project will step down the descending downhill slope, thus further reducing its visual impact to the neighborhood (see **Figure 6**).

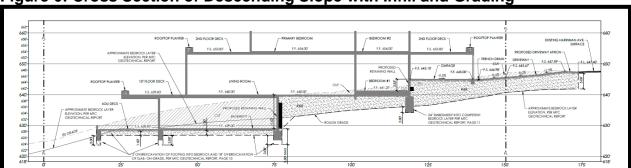


Figure 6: Cross Section of Descending Slope with Infill and Grading

b. Wherever possible, garages should be "straight-on" rather than "side-on" designs. The maximum average grade for driveways set by the Zoning Code is 15%. The maximum slope for ramps to garages or carports is 5% within 10 feet of the garage or carport.

The proposed garage is "straight-on" rather than "side-on" and complies with the development standards for the slope of the driveway.

c. Retaining walls should be divided into terraces with variations in plane and include landscaping to break up the length of the walls and to screen them from view.

The proposed retaining walls are located to the south of the proposed footprint of the home. The walls are six feet in height and are terraced to create planter areas to screen the walls from view.

5. Scale and Massing:

a. The design of hillside homes should reduce visual mass by incorporating building setbacks, stepbacks, and roof variations.

The applicant is requesting a Variance for a reduced side yard setback of 5 feet; this reduction is requested to reduce grading and shoring impacts to the site and to protect the Coast Live Oak trees that are located on the southern portion of the property. Efforts have been taken to reduce the project's visual mass through the use of an interplay of materials, large glazing fenestrations, front and rear yard decks, and containing the proposed home in a series of separate yet integrated minimalist modern forms that will step down the hillside from the street level elevation.

b. Massing should be stepped with the slope to avoid large expanses of tall walls. The wall planes at various levels should be articulated and have a variety of solid and void elements.

The applicant is proposing a stepped design that descends the downhill slope. Additional design efforts have been made to reduce the mass of the project including an interplay of materials, large glazing fenestration, front and rear decks, and the utilization of separate, yet integrated minimalist modern forms.

c. Vertical building walls should not exceed 15 feet in height above grade. Any vertical walls above 15 feet should be stepped back from adjacent lower walls by a minimum distance of ten feet. Flat building walls over one story in height and over 25 feet in horizontal dimension are discouraged to minimize unarticulated wall mass.

The applicant is proposing a stepped design that is located at the base of a steep hillside and descends on a downhill slope from the street. The vertical walls sloping down do not exceed 15 feet.

6. Height and Roof Form: Roof forms will be seen from homes on hillsides above and should present a pleasing roofscape of low-pitched gable and hip roofs. Roof forms and roof lines broken into a series of smaller building components are preferred over long, linear unbroken roof lines.

The applicant is proposing a roof slope that mimics that of the hillside, providing ample interior space while maintaining a low profile. At the midpoint of the roof, a visual break lowers the roofline, reducing its visual height.

7. Façade Treatments: Hillside construction could embrace modernism while maintaining the scale and patterns of building placement in the neighborhood.

The applicant is proposing to use high-quality materials that are commonly found in the City including wood panel, smooth stucco, a custom weathered steel garage door, and red clay tile roofing.

8. Physical Design Components:

a. Contemporary designs are appropriate when they are designed with attention to height, form, massing, proportion, size, scale, and roof form. Consideration should be taken to provide articulated details and careful attention should be given to quality workmanship.

The applicant is proposing a minimalist modern design with simplified forms, earth toned materials, and "S" clay tile elements. The home is strategically situated on the existing hillside, presenting a long, narrow rectangular volume that gently steps up and down its length to minimize prominence, both from the street and descending slope. The roof mimics the slope of the hillside and at the midpoint of the roof, a visual break lowers the roofline, reducing its visual height from the street.

b. Exterior Cladding and Roofing Materials:

i. Encouraged exterior wall finishes with Modern Aesthetic: stucco (sand or smooth finish and half timbering), wood clapboard siding, wood shingles, wood board and batten, brick.

The applicant is incorporating a smooth stucco finish, wood siding, and clay "S" tile roof.

ii. Encouraged roofing materials with Modern Aesthetic: membrane roofing (rolled roofing), corrugated or galvanized metal, composition shingles. Exterior materials should be similar in quality to hose typically found in the traditional residential neighborhoods.

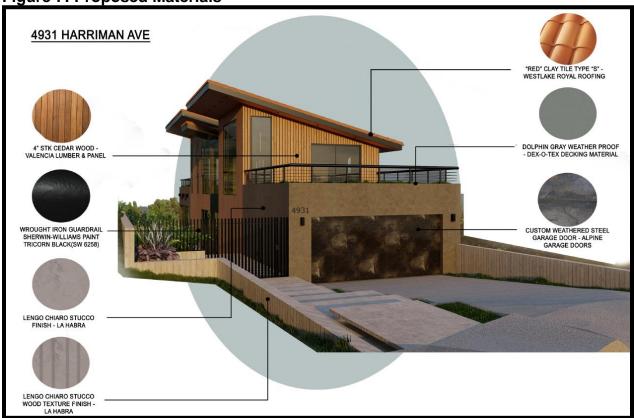
The applicant is proposing red clay "S" tile roof, which is a material found in the surrounding neighborhood.

Design Review

The first floor of the proposed single-family dwelling consists of an attached front-facing two-car garage, one bedroom at the entry, one-and-a-half bathrooms, and the kitchen and living area. A deck can be accessed through the living room—this deck also doubles as the patio cover for the basement-level Accessory Dwelling Unit. The second floor includes two bedrooms and two bathrooms; each bedroom will have access to its own 435-square-foot deck. The basement level includes the ADU, which has one bedroom.

The home is strategically situated at the bottom of an existing hillside. The footprint is long and narrow to minimize grading on the steeper portion of the lot. The residence embodies a minimalist modern aesthetic, which gathers inspiration from neighboring properties. The exterior walls are cladded with earth-toned stucco and wood paneling. The roof includes "S" clay tile roofing, which can also be seen throughout the neighborhood (see **Figure 7** and **Attachment 4** to view the proposed materials).

Figure 7: Proposed Materials



As shown in the photo rendering and front elevations (**Figures 8, 9** and **Attachment 8)**, the mass and scale of the proposed project would be well-proportioned and harmonious with the established neighborhood. The applicant is proposing large windows from the west, east, and south elevations, but to address privacy concerns, the applicant has reduced the number of windows and size of windows to the north elevation (see **Figures 10-13** to view elevations and **Attachment 8**). The overall design of the project would result in an attractive and orderly development as intended by the General Plan and design guidelines. As required and conditioned, the final design, materials, and construction documents would be reviewed and approved by the Planning Division and Building Division prior to permit issuance.

Figure 8: Front Rendering





Figure 10: Proposed East (Front) Elevation

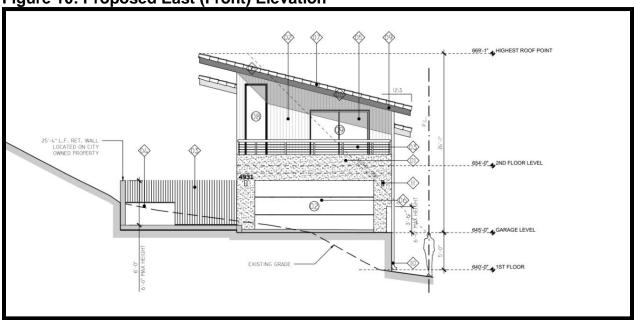


Figure 11: Proposed West (Rear) Elevation

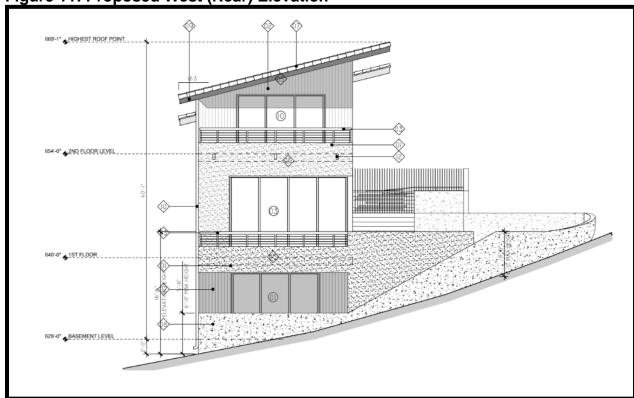
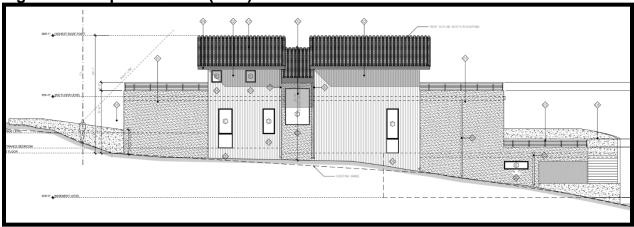






Figure 13: Proposed North (Side) Elevation



General Standards for Construction

The Public Works Department has reviewed this project and recommended Conditions of Approval (**Attachment 1**, **Exhibit "A"**) to mitigate any potential construction impact during construction. The recommended conditions including, but not limited to, requiring the applicant to submit a construction management plan, advanced notice for any street closures, and prohibiting overnight storage of materials or equipment within the public right-of-way. The proposed project is located within the Southwest Monterey Hills area, as such, an additional condition was added to ensure that the applicant abides by construction regulations.

Findings

In order to approve the project, the Planning Commission shall find that the design and the proposed layout comply with the finding for a Hillside Development Permit, Design

4931 Harriman Avenue Project No. 2500-HDP/DRX/VAR/PM/TRE

Review, and a Variance as stipulated in the South Pasadena Municipal Code. All findings for the proposed project may found within the Planning Commission Resolution No. 23-13 (Attachment 1).

Environmental Analysis

This item is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15303, Class 3 – New Construction or Conversion of Small Structures. Class 3 exemption includes the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Class 3 exemption includes, but is not limited to: one single-family residence, or a second dwelling unit in a residential zone; in urbanized areas, up to three single-family residences may be constructed or converted under this exemption. The project will not have a significant effect on the environment because the project includes one single-family residence and one accessory dwelling unit; the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and is not located in an environmentally sensitive area.

Alternatives to Consider

Planning Commission may also consider the following alternatives to this recommendation:

- 1. The Planning Commission may <u>approve</u> the project with modified/added conditions:
- 2. The Planning Commission may <u>continue</u> the project to address comments discussed: or
- 3. The Planning Commission may deny the project.

Public Notification

Hearing notices were sent to all properties within a 300-foot radius of the property and to all properties located within the Southwest Monterey Hills Notification Area on November 2, 2023. A Public Hearing Notice was published on November 3, 2023 in the South Pasadena Review. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Public Comments

At the time of writing this report, staff did not receive Public Comment for this item.

Next Steps

If the Planning Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

Attachments:

- 1. P.C. Resolution with Exhibit "A" Conditions of Approval
- 2. Site and Neighborhood Images
- 3. Project Narrative
- 4. Materials Brochures
- 5. Arborist Report
- 6. Parcel Merger Exhibit
- 7. Links to Geotechnical Report & Constraints Analysis
- 8. Link to Architectural Plans & Renderings

ATTACHMENT 1

P.C. Resolution

P.C. RESOLUTION NO. 23 - 13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA APPROVING PROJECT NO. 2500-HDP/DRX/VAR/PM/TRE FOR A HILLSIDE DEVELOPMENT PERMIT AND DESIGN REVIEW PERMIT TO CONSTRUCT A NEW 3,214-SQUARE-FOOT, TWO-STORY, SINGLE-FAMILY DWELLING; TWO VARIANCES FOR A REDUCED SIDE YARD SETBACK AND AN ATTACHED GARAGE IN FRONT OF THE MAIN STRUCTURE; A PARCEL MERGER APPLICATION OF TWO EXISTING LOTS; AND, A TREE REMOVAL PERMIT FOR THE REMOVAL OF FOUR (4) TREES AT 4931 HARRIMAN AVENUE (APN: 5312-016-016 & 5312-016-017); AND MAKING Α DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

WHEREAS, on August, 2022, Ismail Sawan (the "applicant") submitted applications for the following entitlements:

- 1. **Hillside Development Permit (HDP)** for the proposed grading and development of a 3,214-square-foot, two-story single-family dwelling on a site with an average slope of 20 percent or greater. The project includes an attached 405-square-foot, 2-car garage, a 711-square-foot basement-level Accessory Dwelling Unit, and three decks:
- 2. **Design Review Permit (DRX)** for the architectural design review of the proposed development;
- 3. Two **Variance (VAR)** requests to deviate from development standards to allow the project to provide the following:
 - a. A reduced north side yard setback of five (5) feet in lieu of the required seven (7) feet, five (5) inches. Per South Pasadena Municipal Code (SPMC), Section 36.220.040, side yard setbacks shall meet 10 percent of the lot width; and,
 - b. To allow an attached garage in front of the main structure. Per SPMC, Section 36.220.040, an attached garage shall be set back a minimum of 10 feet from the main structure.
- 4. **Parcel Merger (PM)** for the merger of two adjacent lots, the first lot (APN: 5312-016-016) is 7,513 square feet, the second lot (APN: 5312-016-017) is 3,757 square feet, when merged will be a total of 11,270 square feet; and,
- 5. **Tree Removal Permit (TRE)** for the removal of four (4) trees.

The project is located at 4931 Harriman Avenue (APN: 5312-016-016 & 5312-016-17) within the Southwest Monterey Hills area (the above-referenced applications and requests are referred to herein as the "project" or "proposed project"); and

WHEREAS, the subject property is zoned Residential Single-Family (RS) and has a General Plan land use designation of Low Density Residential; and

WHEREAS, the proposed project is categorically exempt from the California

Environmental Quality Act (CEQA), per CEQA Guidelines Section 15303, Class 3 – New Construction or Conversion of Small Structures. The project will not have a significant effect on the environment because the project falls under a Class 3 – New Construction of Small Structures including "up to three single-family residences" in urban areas; the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and is not located in an environmentally sensitive area; and

WHEREAS, the Community Development Department evaluated the project for consistency with the City's General Plan, South Pasadena Municipal Code, the City's Design Guidelines, and all other applicable state and local regulations; and

WHEREAS, on November 2, 2023, public hearing notices were mailed to each property owner within a 300-foot radius of the project site and within the Southwest Monterey Hills Notification Area in accordance with the requirements of South Pasadena Municipal Code declaring the project review by the Planning Commission. On November 3, 2023, the City of South Pasadena Planning Division, published a legal notice in the South Pasadena Review, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law concerning Project No. 2500-HDP/DRX/VAR/PM/TRE; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on November 14, 2023, at which time it considered the staff report, oral report, the testimony, and the written evidence submitted by and on behalf of the applicant and by members of the public concerning Project No. 2500-HDP/DRX/VAR/PM/TRE.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ACKNOWLEDGEMENTS

The foregoing recitals are true and correct and are incorporated and made an operative part of this resolution.

SECTION 2: ENVIRONMENTAL REVIEW FINDINGS

The Planning Commission has determined that the proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under CEQA Guidelines Section 15303, Class 3 – New Construction or Conversion of Small Structures. Class 3 exemption includes the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Class 3 exemption includes, but is not limited to: one single-family residence, or a second dwelling unit in a residential zone; in urbanized areas, up to three single-family residences may be

constructed or converted under this exemption. The project will not have a significant effect on the environment because the project includes one single-family residence and one accessory dwelling unit; the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and is not located in an environmentally sensitive area.

SECTION 3: HILLSIDE DEVELOPMENT PERMIT FINDINGS

Based upon the entire record made available at the November 14, 2023 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of a Hillside Development Permit pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.065(F), as follows:

1. The proposed use complies with requirements of Division 36.340 (Hillside Protection) and all other applicable provisions of this Zoning Code.

The project uses thoughtful site design which conforms to the hillside development standards and design guidelines. The project is considerate of the character and scale of the existing single-family developments in the vicinity. With the exception of the two variances being requested: 1) to reduce the side yard setback to five feet in lieu of the required seven feet, five inches, and 2) to allow an attached garage in front of the main structure. The project as designed and conditioned, will comply with the Hillside Protection Ordinance and the RS standards in the SPMC.

2. The proposed use is consistent with the General Plan and any applicable specific plan;

The General Plan land use designation of the site is Low Density Residential, which allows for detached single-family units at a density of 3.51 to 6 units per acre. The proposed project does not involve the addition of another dwelling unit; therefore, the project is consistent with the General Plan. The project is not located within a specific plan.

3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of the persons residing or working in the neighborhood of the proposed use;

The neighborhood is developed with a mix of hillside homes in both architectural style and scale; as required and conditioned, all construction documents, including grading plans and calculations, would be prepared by professional architects or engineers and must be formally reviewed and approved by the appropriate City departments prior to issuing permits. The proposed use of a single-family residential home is consistent with the SPMC and as designed and conditioned, would not be detrimental to the health and safety or general welfare of persons residing or working

in the neighborhood.

4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City; and,

Prior to commencing construction, the project is required to comply with and obtain all applicable building permits, including those necessary for grading, utilities, public works, and fire prevention. Additionally, the applicant shall provide a construction management plan, as required in the Southwest Monterey Hills Construction Plan area, prior to the issuance of building permits. Accordingly, the project as conditioned would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

5. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, and view protection.

The proposed use of single-family residential is consistent with the established residential neighborhood. The proposed dwelling is set back approximately 30 feet from the street, which will result in a minimal visual impact from the front street view. The scale of the project is appropriate in size, when compared to the surrounding neighborhood and the topography of the land and the configuration of neighboring properties minimizes view impacts. With the exception of the variances requested, the proposed design complies with the City's Hillside Design Guidelines, the Hillside Protection Ordinance, and the SPMC, including but not limited to building mass, scale, respect of the topography, and lot coverage. Accordingly, the design, location, operating characteristics, and size of the project is compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, and view protection.

SECTION 4: DESIGN REVIEW FINDINGS

Based upon the entire record made available at the November 14, 2023 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of a Design Review Permit pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.040(I), as follows:

1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic district or other special districts, plan developments, or specific plans);

The General Plan designation for the subject property is Low Density Residential and the project complies with the density of one dwelling and use. With the exception of the two variances being requested by the Applicant, the proposed project complies

with the City of South Pasadena's Design Guidelines for Hillside Homes as to architecture, scale, building mass, building height, lot coverage, and compatibility with the neighborhood. The surrounding neighborhood includes a mix multi-story homes and a variety of architectural styles. The proposed single-family dwelling is situated at the bottom of a steep hillside and designed to have minimal view impacts from hilltop homes.

2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;

The proposed project will accommodate the single-family functions and activities proposed for the site. The new home will provide sufficient size and space for residential living, with indoor/outdoor living incorporated into the architectural design. The ground level will accommodate the required covered and off-street parking, the first level of the dwelling will include the living area and one bedroom, the second floor will include two bedrooms, and the basement will include an Accessory Dwelling Unit with one bedroom. The design of the house meets the required height limits, grading percentages of the driveway and required front, rear, and south side yard setbacks. As a single-family residence in an established single-family neighborhood, the house will not interfere with the use and enjoyment of the neighboring, existing, or future developments. With the two requested Variances for a reduced north side yard setback and to allow the attached garage in front of the main structure, the proposed new home is consistent with the design standards. As conditioned, the project's mass, scale, bulk, and temporary construction activities would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards. A construction management plan will be reviewed and approved by staff during the Building and Public Works permitting process.

3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by SPMC Section 36.410.040 and the General Plan; and

The project site is surrounded by multi-story residential buildings of different architectural styles and sizes. Except for the two variances sought, the project complies with all the development standards for zoning and hillside lots. The proposed project is situated at the bottom of a steep hillside, minimizing the impact to the slope. The project is compatible with the existing character of the neighborhood and the design incorporates a modern aesthetic with an interplay of simple geometric volumes that step down in accordance with the City's Design Guidelines. The project is set back approximately 30 feet from the street and will have minimal street view impacts. The building height, size, and form fits the size of the lot. As proposed, the project complies with requirements contemplated by SPMC Section 36.410.040 and the General Plan.

4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

The proposed project has been designed with consideration to its future occupants and neighbors. The proposed project uses appropriate materials that complement the existing neighborhood's eclectic architectural styles with earth-toned stucco and wood panel cladding. The home features clean straight lines; large windows at the west, east, and south; minimal windows at the north elevation for added privacy with the adjacent property; and a sloped roof that mimics that of the hillside. The proposed project incorporates a composition of high-quality materials that further assists in allowing for the preservation of a desirable and aesthetically appealing presentation with reasonable maintenance.

<u>SECTION 5:</u> VARIANCE FINDINGS FOR REDUCED NORTH SIDE YARD SETBACK AND THE PLACEMENT OF THE ATTACHED GARAGE IN FRONT OF THE MAIN STRUCTURE

Based upon the entire record made available at the November 14, 2023 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings to grant a Variance for: A) reduced north side yard setback, and B) the placement of the attached garage in front of the main structure, pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.080, as follows:

1. There are special circumstances applicable to the subject property (e.g., location, shape, size, surroundings, topography, or other conditions), so that the strict application of this Zoning Code denies the property owner privileges enjoyed by other property owners in the vicinity and within the same zoning district, or creates an unnecessary and involuntarily created hardship, or unreasonable regulation which makes it impractical to require compliance with the development standards;

North Side Yard Setback

There are special circumstances applicable to the subject property which consists of an average slope of 41.67 percent. The subject site fronts Harriman Avenue at a curve and turns into Peterson Avenue at an upslope. The property is unique in that it is situated both on the top of a downslope—from south to north—and the bottom of a downslope—from east to west. The subject site contains several mature trees along the southern portion of the property. To minimize grading further into the steep portion of the lot, and to protect the mature trees, the applicant is proposing to construct the new single-family dwelling at the northern portion of the lot.

This variance request to allow a reduced side yard setback of five feet, in lieu of the

required 7-foot, 5-inch side yard setback—per the standard in SPMC 36.220.040, a side yard setback shall be 10 percent of the lot width—is common for Hillside Development Permit projects. In order for there to be minimal impact to the slope and to save the mature trees, the applicant is situating the footprint of the new home towards the northern portion of the lot. The steep terrain of the project site, and compatibility with the neighboring side yard setbacks are the driving factors for this Variance.

Attached Garage in Front of Primary Structure

There are special circumstances applicable to the subject property which consists of an average slope of 41 percent and immediately to the south of the proposed single-family dwelling, the topography is steeper. SPMC, Section 36.220.040, Table 2-3, requires that an attached garage be set back a minimum of 10 feet from the front of the main structure. The applicant is proposing to minimize the impact of the natural terrain and, as such, the proposed single-family dwelling is narrow and situated towards the northern portion of the lot, where the topography is not as steep. Placing the garage 10 feet behind the main structure would require that additional trees be removed and would require additional grading on a significant slope.

2. Granting the Variance would:

a. Be necessary for the preservation and enjoyment of substantial property rights possessed by other property owners in the same vicinity and zoning district, and denied to the subject property owner;

North Side Yard Setback

The subject site is surrounded by existing single-family residences of varying architectural styles and sizes. The existing homes in the neighborhood were built before the City Council's adoption of the current hillside regulations, adopted in 2002, as such several of the neighboring properties do not conform to current development standards. The applicant is proposing a new single-family dwelling with a reduced north side yard setback. The majority of existing homes on the same street have non-confirming side yard setbacks. The granting of the requested Variance to have a five-foot north side yard setback will allow for the preservation and enjoyment of substantial property right for a single-family home that is consistent with the development pattern by other property owners in the same vicinity and zoning district. A denial of the Variance would deny the applicant the similar rights possessed by other property owners.

Attached Garage in Front of Primary Structure

The subject site is surrounded by existing single-family residences of varying architectural styles and sizes. The existing homes in the neighborhood were built before the City Council's adoption of the current hillside regulations,

adopted in 2002, as such several of the neighboring properties do not conform to current development standards. The applicant is proposing a new single-family dwelling with an attached garage in front of the primary structure. The majority of existing homes on the same street have an attached garage in front of the primary structure. The granting of the requested Variance for the garage placement in front of the primary structure will allow for the preservation and enjoyment of substantial property right for a single-family home that is consistent with the development pattern by other property owners in the same vicinity and zoning district.

b. Be consistent with the General Plan and any applicable specific plan, and the limitations established by the 1983 initiative;

The proposed reduction of the northern side yard setback and placement of the attached garage in front of the primary structure are consistent with the General Plan, the City's adopted Design Guidelines, and the height limit established by the 1983 initiative. The proposed single-family dwelling is designed with consideration of the character and scale of the existing single-family developments in the vicinity.

As conditioned, the project will comply with the Goals and Policies of the General Plan as follows:

Goal 19: "To ensure that new development within hillside areas of South Pasadena does not adversely impact the character of the City."

Policy 19.7: "Discourage Hillside Grading which damages the integrity of hillside areas in order to create views."

The proposed project is situated five feet from the northern side yard setback and the attached garage will be placed in front of the main structure, both of which will reduce grading into the southern steep slope. The documents reviewed by the City include a topographic map, slope analysis, and preliminary grading plan prepared by a Registered Professional Engineer. The applicant will provide a final grading plan prepared by Registered Professional Engineer. As required and conditioned, the final grading plan will be approved by the Public Works Department and the Building Division prior to grading permit issuance. As such, the two requested Variances are intended to reduce the amount of grading necessary to construct the proposed single-family dwelling and would not impact the safety of the site, adjacent properties, or the general safety and welfare of the public.

Not constitute a grant of special privileges inconsistent with the limitations on other properties in the vicinity and in the same zoning district; and

The granting of the Variances for the reduced northern side yard setback and attached garage placement in front of the main structure would not constitute a grant of special privileges that are inconsistent with the limitations on other properties in the vicinity and in the same zoning district. The majority of the existing homes on the same street have a reduced side yard setback as well as an attached garage located in front of the main dwelling. The subject site consists of a steep downhill slope and sits at the end of developed parcels in a densely developed residential neighborhood consisting of single-family homes on substandard hillside lots. The subject site has a steep terrain and the placement of footprint of the proposed single-family dwelling at the northern portion of the lot with an attached garage in front of the main structure will minimize additional grading and will reduce the impact to the hillside. The placement of both the footprint of the home and garage along the narrow portion of the lot with a less steep terrain will also result in maintain the mature trees located along the southern portion of the subject property.

d. Not be materially detrimental to the public convenience, health, interest, safety, or welfare of the City, or injurious to the property or improvements in the vicinity and zoning district in which the property is located.

North Side Yard Setback

The excavation into the hillside has been minimized as much as possible, as the proposed single-family dwelling is situated on the northern portion of the subject property, the topography of which is not as steep. Situating the single-family dwelling along the northern portion of the lot is proposed to help maintain the hillside and mature trees; thereby, the request for a Variance for the reduced side yard setback will not be materially detrimental to the public convenience, health, interest, safety, or welfare of the City, or injurious to the property or improvements in the vicinity and zoning district in which the property is locate.

Attached Garage in Front of Primary Structure

The attached garage is positioned in front of the main structure to maintain a narrow footprint, resulting in minimal grading and a reduced impact to the hillside, which will also protect the mature trees; thereby, the request for a Variance to situate the attached garage in front of the primary structure will not be materially detrimental to the public convenience, health, interest, safety, or welfare of the City, or injurious to the property or improvements in the vicinity and zoning district in which the property is locate.

3. The proposed project would be compatible with the existing aesthetics, character, and scale of the surrounding neighborhood, and considers impacts on neighboring properties.

The architectural style of the neighborhood surrounding the project site is mixed with various architectural styles. The majority of existing single-family residences in the neighborhood have non-conforming side yard setbacks and have attached garages in front of the main structure. The requested Variances for the reduced side yard setback and attached garage in front of the main structure are consistent and would be compatible with the existing aesthetics, character and scale of the surrounding neighborhood.

SECTION 6: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission's decision is based, which include, but are not limited to, the staff reports, as well as all materials that support the staff reports for the proposed project, are located in the Community Development Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 7: DETERMINATION

Based upon the findings outlined in Sections 2 through 5 above and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby approves Project No. 2500-HDP/DRX/VAR/PM/TRE and the applications for a Hillside Development Permit, Design Review Permit, two Variances, Parcel Merger, and Tree Removal Permit for the proposed single-family dwelling located at 4931 Harriman Avenue (APN: 5312-016-016 & 5312-016-017), subject to the Conditions of Approval that are attached hereto as "Exhibit A".

SECTION 8: APPEAL

Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must befiled with the City, in writing, and with appropriate appeal fee, no later than fifteen (15) days, following the date of the Planning Commission's final action.

SECTION 9: CERTIFICATION OF THE RESOLUTION

The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 14th day of November, 2023.

PASSED, APPROVED, AND ADOPTED this 14 th day of November, 2023 by the following vote:
AYES:
NOES:
ABSENT:
ABSTAIN:

	Laura Dahi Ohair	
	Laura Dahl, Chair	
ATTEST:		
Amitabh Barthakur, Secret	tary to the Planning Commission	

EXHIBIT "A"

Conditions of Approval

EXHIBIT "A" CONDITIONS OF APPROVAL

PROJECT NO. 2500-HDP/DRX/VAR/PM/TRE 4931 Harriman Avenue (APN: 5312-016-016 & 5312-016-017)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on November 14, 2023:

- 1. Hillside Development Permit (HDP) for the proposed grading and development of a 3,214square-foot, two-story single-family dwelling on a site with an average slope of 20 percent or greater. The project includes an attached 405-square-foot, 2-car garage, a 711-square-foot basement-level Accessory Dwelling Unit, and three decks;
- 2. Design Review Permit (DRX) for the architectural design review of the proposed development;
- 3. Two Variance (VAR) requests to deviate from development standards to allow the project to provide the following:
 - a. A reduced north side yard setback of five (5) feet in lieu of the required seven (7) feet, five (5) inches. Per South Pasadena Municipal Code (SPMC), Section 36.220.040, side yard setbacks shall meet 10 percent of the lot width; and,
 - b. To allow an attached garage in front of the main structure. Per SPMC, Section 36.220.040, an attached garage shall be set back a minimum of 10 feet from the main structure.
- 4. Parcel Merger (PM) for the merger of two adjacent lots, the first lot (APN: 5312-016-016) is 7.513 square feet, the second lot (APN: 5312-016-017) is 3,757 square feet, when merged will be a total of 11,270 square feet; and,
- 5. Tree Removal Permit (TRE) for the removal of four (4) trees.

As a convenience to the applicant, the development requirements from applicable Note: Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Departmentissued entitlement.

PLANNING DIVISION:

- P1. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the project.
- P2. This Design Review and Hillside Development Permit and Variance and all rights hereunder shall terminate within twelve (12) months of the effective date of the Design Review and Hillside Development Permit unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.

- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. Any changes to the proposed project shall be submitted for review and approval to the Planning Division.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P7. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P8. The applicant shall sign the Southwest Monterey Hills Construction Regulations Affidavit prior to submitting a Building Permit Application with the Building Division.
- P9. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P10. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P11. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Lanscape Oridinance (SMPC Section 35.50), for approval by the Community Development Director. The final landscape plans shall provide, but not limited, to the following:
 - a. Screening of all above ground equipment from public view.
 - b. Incorporporating Tree Removal Permit (TRE) conditions, as recommended by the Department of Public Works.
 - c. Using California Native plants.

- P12. The construction plan shall show that all lighting on the site will be directed downward and shielded to prevent off-lighting on adjacent properties.
- P13. A construction sign with contact information for the contractor shall be clearly posted on-site during construction.
- P14. Any proposed revision to the approved plans shall require review and approval by the Community Development Department prior to construction. The Community Development Department may refer the proposed revision to the Planning Commission or Planning Commission Chair for approval.

BUILDING DIVISION:

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior to permit issuance.
- B3. Prior to the application of a building or grading permit, a preliminary Geotechnical report that specifically identifies and proposes mitigation measures for any soils or geological problems that may affect site stability or structural integrity shall be approved by the Building Official or his/her designee. The applicant shall reimburse the City for all costs incurred to have the project soils report evaluated by an independent, third-party, peer-level soils and /or geological engineer. Approval letter of the geotechnical report review shall be copied and pasted on the first sheet of building and grading plans.
- B4. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B5. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B6. Park Impact Fee to be paid at the time of permit issuance.
- B7. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B8. A separate address required. An application to assign address and unit numbers shall be filed with Public Works Department prior to plan check submittal.
- B9. Plans shall be prepared under the supervision of an architect licensed in the State of California or a civil or structural engineer registered in the State of California. Each sheet of the plans and the cover sheet of the calculations is to be stamped and signed by the person preparing the plans. 5353 and 6730 of the State Business and Professions Code.

- B10. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B11. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B12. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B13. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B14. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B15. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B16. Stormwater Planning Program LID Plan Checklist (MS4-1 Form) completed by Engineer of Record shall be copied on the first sheet of Grading Plans. The form can be found at the following link:
 - https://www.dropbox.com/s/5p4yf08beipzyot/SP%20MS4-1%20LID%20Determination%20Form.pdf?dl=0
- B17. The property shall be surveyed, and the boundaries marked by a land surveyor licensed by the State of California.
- B18. Foundation inspection will not be made until the excavation has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.

- B19. Project shall comply with the CalGreen Residential mandatory requirements.
- B20. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
- B21. Separate plan review and permit is required for each detached retaining wall.
- B22. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance 0 feet to 3 feet, dwellings and accessory buildings with automatic residential fire sprinkler protection shall comply with Table R302.1(2). Roof eave projection of less than 2 feet of fire separation distance is not permitted. Whereas roof eave projection of fire separation distance between 2 and 3 feet is required to be fire-resistance rated.
- B23. Basement Accessory Dwelling Unit (ADU) and its separate sleeping room is required to have an emergency escape and rescue opening each per Section R310.1 of the Residential Code.
- B24. Basement ADU is required to have an egress door per Section R311.1 of the Residential Code. It shall be side-hinged per Section R311.2.
- B25. Prior to the issuance of building permit, a written consent shall be obtained from the current easement holder(s) for any proposed development encroaching into existing easement(s).
- B26. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit. A separate permit is required for Fire Sprinklers.
- B27. City records indicate the proposed site is a combination of lots under common ownership. A parcel merger shall be processed prior to issuance of the building permit.
- B28. Building permits shall not be issued until the final map has been prepared to the satisfaction of the Building Official.

PUBLIC WORKS DEPARTMENT:

- PW1. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. This includes all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW2. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.

- PW3. The applicant shall identify all on-site existing City easements. Any conflict with and/or presence of existing easements must be addressed. The applicant shall provide a Title Report, with effective date within the last 60 days. The applicant shall show all easements (if any) per the Title Report to the satisfaction of the Public Works Department.
- PW4. The applicant shall comply with the City of South Pasadena Subdivision Ordinance (SPMC Chapter 36, Article 5) in conjunction with the Subdivision Map Act, Section 66410.
- PW5. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. Additional plan check fees shall apply beyond two reviews. This includes all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW6. The applicant shall provide a deposit of \$12,000 for a Deputy Inspector for hillside construction. Whenever the balance drops below \$6,000, the applicant shall be required to make an additional deposit of \$6,000. Any unused funds will be refunded to the applicant at the completion of the project.
- PW7. Harriman Avenue shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The applicant will be responsible to restore the road to its original condition. These video recordings and photographs shall be submitted to the City before the start of the project and immediately upon completion of the project.
- PW8. The applicant shall show the existing grade, location, and dimensions of all existing and proposed conditions within the public right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and all other features.
- PW9. If applicable, the applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer. In addition, existing sidewalk and driveway approaches that are below current City standards shall be replaced regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
 - The applicant shall remove and replace the existing curb and gutter with/install new curb and gutter conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 120-2, Type A2-6. Concrete shall be class 520-C- 2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the actual limits of concrete removal with the Public Works Department.
 - The applicant shall install new 4" thick sidewalk to the satisfaction of the City Engineer and conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500

- and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
- The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department.
- PW10. The applicant shall bring the existing parkway on Harriman Avenue up to current standards per SPMC Section 31.48. (The applicant shall submit a parkway landscape plan for review and the landscape design shall conform to the Model Water Efficient Landscape Ordinance (MWELO) as stipulated in SPMC Chapter 35, Article 3.)
- PW11. The applicant shall provide a detailed drainage and grading plan signed and stamped by a CA licensed civil engineer for improvements within the public right-of-way.
 - Prior to issuance of a grading permit, for improvements within the public rightof- way, the applicant shall provide an approved erosion control plan for dust
 control techniques to be implemented during project construction which shall
 include, but not be limited to, use of appropriate BMPs, plans for daily watering
 of the construction site, limitations on construction hours, and adherence to
 standard construction practices such as watering of inactive and perimeter
 areas.
 - If applicable, the applicant shall comply with all requirements of the City of South Pasadena Low Impact Development (LID) Ordinance. The applicant shall include the necessary Best Management Practices (BMP) measures and a Standard Urban Storm Water Mitigation Plan (SUSMP) for construction and post-construction phases as part of the LID plan per SPMC Section 23.14. The applicant shall provide a copy of the approved plan from the Building & Safety Department.
 - If applicable, all flood control plans to be reviewed by the City or the Los Angeles County Flood Control District shall be submitted through the City of South Pasadena, unless otherwise directed by the City Engineer. For projects requiring LACFCD review, the developer shall pay the appropriate fees to LACFCD.
- PW12. The applicant shall construct a retaining wall along the frontage and adjacent to the property for slope protection and to prevent sloughing of dirt onto the sidewalk.
- PW13. The construction of the walkway steps outside of the property shall be permitted per condition PW14.
- PW14. The applicant shall provide a covenant for unconditional and indefinite maintenance of any private improvements within the public right-of-way. This covenant shall be reviewed and

- approved by the Public Works Department and the City Attorney and a fully executed covenant, in recordable form, shall be provided to the City prior to obtaining a permit.
- PW15. Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- PW16. The applicant shall pay all applicable City sewer and/or water capacity charges per SPMC Section 16B.3.
- PW17. Provide a copy of a will-serve letter and receipt for the sewer connection fee from the Los Angeles County Sanitation District (LACSD). A copy of the receipt for any fees to be paid must be submitted before permit issuance.
- PW18. Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- PW19. Show the location and area of trench sections for any proposed sewer and water lines connection within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
- PW20. The applicant shall provide a new sewer connection to the property. The proposed sewer lateral shall be a four-inch (4") diameter vitrified clay pipe (VCP) that connects to the City sewer main within the public right-of-way.
- PW21. The applicant shall submit the proposed sewage flow calculations to the City. The proposed sewage flow from the property will be used to create a Hydraulic Analysis Report to determine if the sewer outlet has adequate capacity for the proposed sewage flow from the property. The developer shall be responsible for all sewer improvements to provide adequate capacity for the proposed sewage flow.
- PW22. The applicant shall contact the City of South Pasadena Water Division to verify the existing water meter connection is adequate for the proposed structure/fire sprinkler system. Coordinate the size, location, and associated fee for a new water meter connection, as applicable. Please contact the Water Operations Manager at (626) 460-6393 for additional information.
- PW23. If applicable, the applicant shall submit a water demand calculation to the City. The demand water calculation will used to create a Hydraulic Analysis Report to determine the water availability for the proposed project.
- PW24. If applicable, provide clearance letter from utility companies for any proposed relocation of utility lines that encroach on the properties prior to obtaining permits for the project.
- PW25. Improvement plans for underground utilities (i.e. water, sewer, electrical, telecommunications, etc.) to be placed in the public right-of-way or easement that will be owned and maintained by other entities shall be reviewed by the City prior to Utility Agency approval. The City shall have a place on the title sheet to accept the plans with a statement:

- "The City's acceptance is limited to the placement of utilities relative to public infrastructure clearances, uses, and future plans within the right-of-way.
- PW26. If the street light to be relocated, the applicant shall submit a street lighting plan per City standards. The applicant shall upgrade the existing street light heads to LED lighting fronting the property on Harriman Avenue per City standards.
- PW27. Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.
- PW28. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW29. The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- PW30. A preconstruction survey for nesting birds shall be performed by a Designated Biologist no more than 30 days prior to the start of project activities. All native migratory non-game birds, including raptors, and their active nests are protected from "take" by Sections 3503, 3503.5, and 3513 of the California Fish and Game Code and the Migratory Bird Treaty Act (MBTA). If active nests are found, the applicant shall provide a Nesting Bird Management Plan (NBMP) prepared by the Designated Biologist.
- PW31. Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. At least 48 hours advance notice shall be given to residents for street and lane closures. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 8:30 am and 2:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and resident at least 48 hours in advance of the street closure.
- PW32. The applicant shall post temporary "No Parking" signs along the entire length of the property prior to the start of any construction. The temporary "No Parking" signs shall be covered at the end of each working day and uncovered at the start of the following working day prior to any construction activity. If two-way traffic cannot be accommodated, a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor depicting the use of flagmen and/or detouring shall be submitted for review.

- PW33. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW34. Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- PW35. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- PW36. The applicant shall be responsible for posting a project sign at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of durable weather-resistant material. The applicant shall provide a 24-hour emergency contact number for the designated contact who will be responsible for maintaining the public right-of-way during the all stages of construction until the project is complete.
- PW37. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.
- PW38. The applicant shall apply for a change of address permit for the new units prior to final occupancy approval.

FIRE DEPARTMENT:

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code and NFPA standards.
- FD2. The applicant shall update all Code Editions referenced for current project at time of submittal.
- FD3. Fire Sprinklers are required. Submit plans to City for approval.
- FD4. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD5. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD6. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD7. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.

- FD8. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD9. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provide to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD10. Provide Water Flow Test from City of South Pasadena Water Department along with fire sprinkler submittal.
- FD11. Address Identification. New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
- FD12. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD13. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
 - a. On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - b. In each room used for sleeping purposes.
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- FD14. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).
- FD15. Where required for new construction, an approved carbon monoxide alarm shall be install in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages.
- FD16. Power Supply. For new construction, required carbon monoxide alarms shall receive

their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.

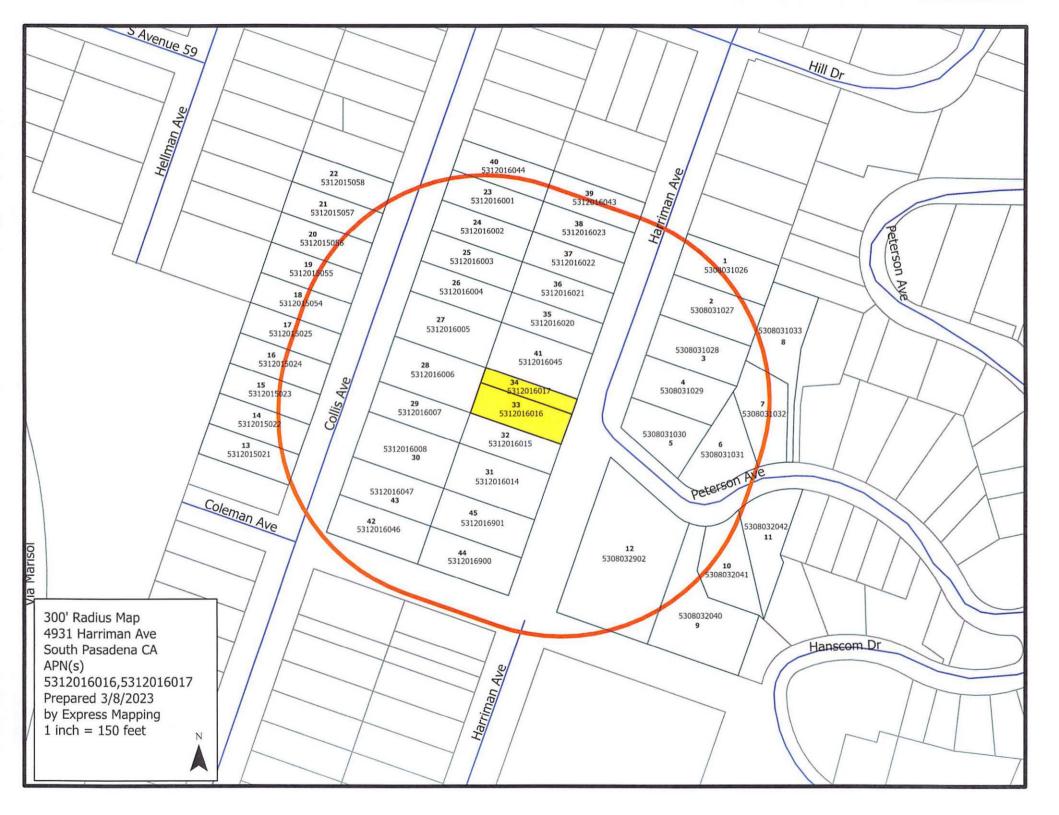
- FD17. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit.
- FD18. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD19. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provide with no less than one 2A10BC fire extinguisher as follows:
 - a. At each stairway on all floor levels where combustibles materials have accumulated.
 - b. In every storage and construction shed.
 - c. Where special hazards exist included, but not limited to, storage and use of combustible and flammable liquids.
- FD20. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.
- FD21. The applicant shall contact the water department for new meter or meter upgrade at (626) 460 6393.
- FD22. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

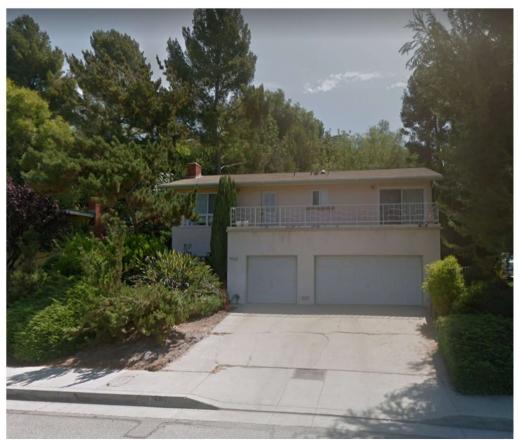
ATTACHMENT 2

Site and Neighborhood Images

4931 Harriman Ave

Photo survey





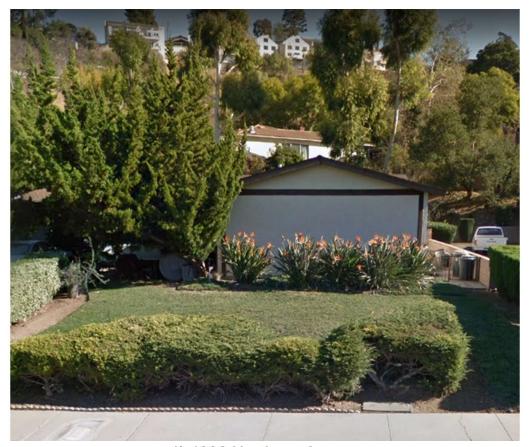
1) 4960 Harriman Ave



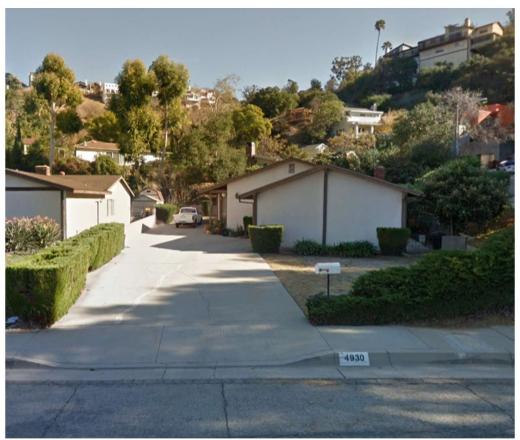
2) 4950 Harriman Ave



3) 4946 Harriman Ave



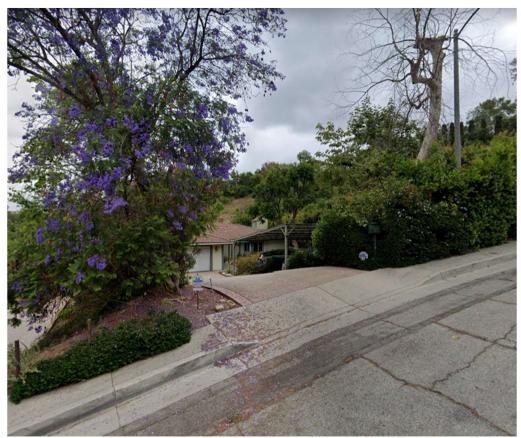
4) 4936 Harriman Ave



5) 4930 Harriman Ave



6) 114 Peterson Ave



7) 118 Peterson Ave



8) No Address



9) 111 Peterson Ave



10) 115 Peterson Ave



11) 117 Peterson Ave

12) No Address / No Construction



13) 4907 Collis Ave



14) 4915 Collis Ave



15) 4917 Collis Ave



16) 4923 Collis Ave



17) 4927 Collis Ave



18) 4933 Collis Ave



19) 4937 Collis AveT



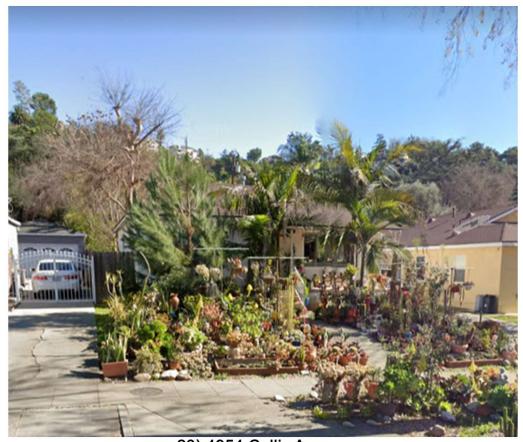
20) 4943 Collis Ave



21) 4945 Collis Ave



22) 4949 Collis Ave



23) 4954 Collis Ave



24) 4950 Collis Ave



25) 4946 Collis Ave



26) 4942 Collis Ave



27) 4936 Collis Ave



28) 4942 Collis Ave



29) 4920 Collis Ave



30) 4912 Collis Ave

ATTACHMENT 3

Project Narrative



October 31, 2023

Sandra Robles
Associate Planner
City of South Pasadena
Community Development Department

Project Narative

Re: 4931 Harriman Ave. / APN: 5312-016-017 & 5312-016-016

To whom it may concern,

We would like to thank the council for the diligent review of this project. Your careful consideration has played a pivotal role in our design process, shaping the project in a way that not only meets the needs and aspirations of our client, but also respects the neighborhood's character and natural surroundings, while aiming to be minimally disruptive to the community.

The proposed project entails the construction of a two-story single-family dwelling featuring expansive balconies, an attached two-car garage, and a basement level designated for use as an accessory dwelling unit. The structure encompasses a total area of 2,908 square feet dedicated to the single-family dwelling, including the garage areas, and 711 square feet allocated for the accessory dwelling unit. The overall height of the structure stands at 27 feet and 9 inches. In addition to the primary structure, two retaining walls, each measuring 6 feet in height, with a maximum cumulative height of 12 feet, are proposed to ensure compliance with the 15-foot building code separation from the building to the slope's toe.

Upon our client's request, the design of the residence embodies a minimalist modern aesthetic in line with neighboring homes. It incorporates darker earth-toned stucco, wood paneling, and "S" clay tile elements to harmonize with the broader architectural context of the neighborhood and the natural environment of the site.

The home is strategically situated on the existing hillside, presenting a long, narrow rectangular volume that gently steps up and down its length to minimize its prominence, both from the street and the descending slope. It is positioned at the lowest elevation of the lot to maintain a low profile relative to neighboring residences, mitigate the impact of grading activities on the hillside, preserve the natural landscape, and minimize disruption to several mature oak trees on the site. The roof's slope mimics that of the hillside, providing ample interior space while maintaining a low profile relative to the ground below. At the midpoint of the roof, a visual break lowers the roofline, enhancing the overall volume's dynamic character and reducing its visual height when feasible.

4100 W. Alameda Ave., Suite 300, Burbank, CA 91505



From the project's inception, the design's core concept was to embrace the site's natural beauty, allowing the house to embrace the stunning surrounding views. Upon entry, one is greeted by a pathway flanked by planters along the hillside, opening into canyon-like vistas. Majestic mature oak trees provide a canopy, offering shade and a sense of tranquility. These planters serve multiple purposes, facilitating access from the street, extending indoor living spaces outdoors, acting as a buffer between the house and the hillside, and concealing retaining walls with lush landscaping.

Within the house, attention is directed toward the south, where the hillside vista takes center stage, while minimizing windows facing neighboring properties. This quality affords the residence a profound sense of privacy, akin to residing within a small forest. In light of the sloped terrain, a series of balconies are integrated throughout the house, serving as substitute "front yard" and "rear yard" spaces that would typically be found on a level lot. To ensure privacy for occupants and neighboring properties, each balcony is enclosed by planters that provide screening.

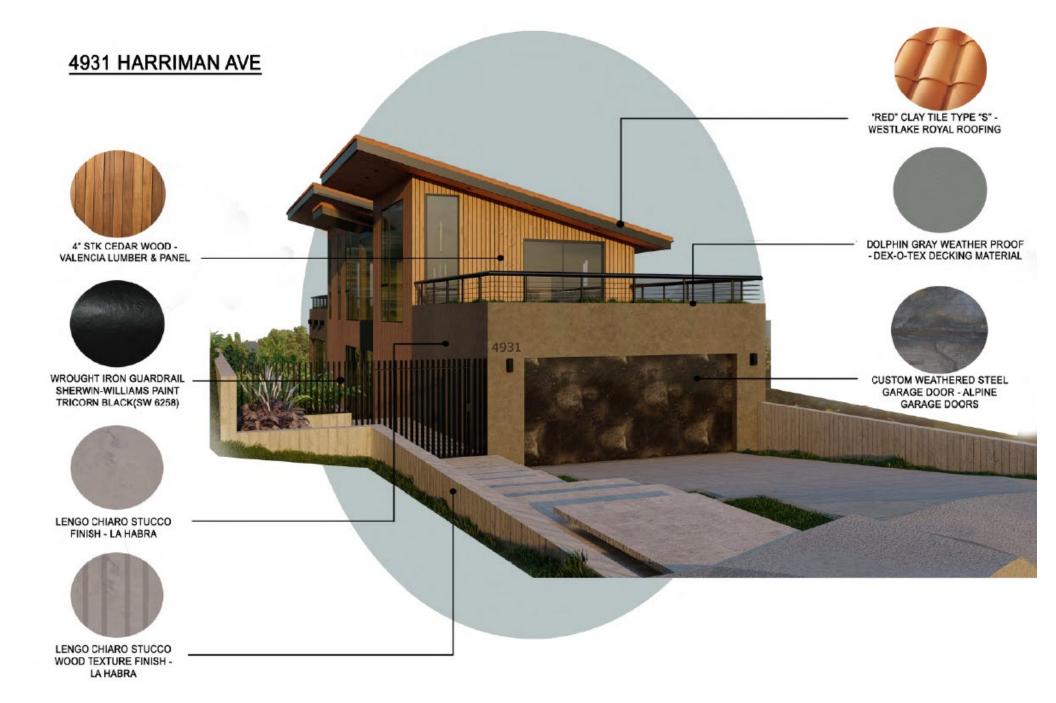
In our pursuit of maintaining low overall heights and preserving the site's trees and natural surroundings, we seek a variance for a reduced yard size. This variance would enable us to position the structure as far from the existing trees as possible, while still adhering to the average side yard depths observed in the neighborhood.

Lastly, due to the property's location at a turning point in the existing street, its property limits visually extend further back than neighboring properties from the street. To align with the neighborhood's visual front yard setback standards and minimize grading on the hillside, we are also seeking a variance to partially accommodate two additional off-street parking spaces in the required front yard, partially extending onto public property that is otherwise unoccupied.

In summary, this meticulously designed project not only showcases a remarkable architectural achievement with its minimalist modern aesthetic and careful selection of materials but also stands as a testament to its deep respect for the natural landscape and the preservation of the site's intrinsic beauty. The deliberate positioning of the residence, its minimal impact on mature oak trees, and the harmonious blend of modern elements with the neighborhood's architectural character all contribute. Furthermore, this thoughtfully crafted structure is poised to enhance property values in the area and elevate the aesthetic appeal of the already picturesque street, ensuring that it remains a hallmark of elegance and sophistication in the community.

ATTACHMENT 4

Materials Brochures



4931 HARRIMAN AVE



CLASSIC LINE SERIES 610/620 -WESTERN WINDOWS SYSTEM



CLASSIC LINE SERIES 600 MULTI-SLIDE DOOR - WESTERN





MOMBA LED 930 -DELTALIGHT



SUPERNOVA 260X -DELTALIGHT

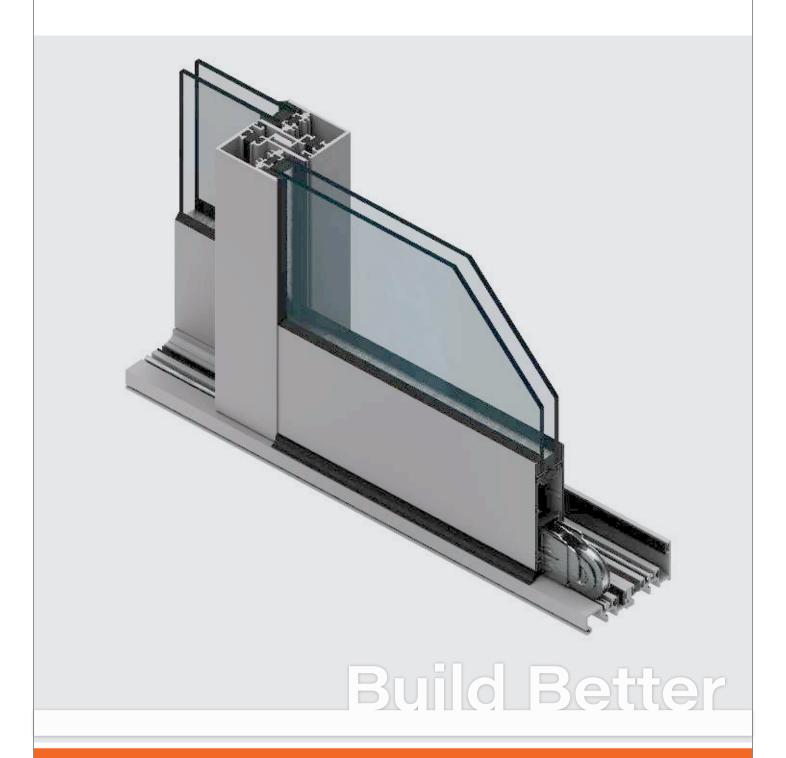


LANDSCAPE PATH LIGHT -HAMPTON BAY



EXTERIOR SPOTLIGHT "KIX S" -DELTALIGHT





The Series 600 Multi-Slide Door features large, unobstructed rolling glass panels that stack or slide into pockets to create extra-wide openings for indoor-outdoor commercial and living spaces. It is available with panels up to 12 feet tall (or a maximum of 60 square feet). And even with extreme panel sizes, it is easy to operate, thanks to sealed stainless steel ball bearing rollers. The aluminum frame's clean lines, narrow profile, and high-quality anodized or painted finishes deliver a contemporary aesthetic that seamlessly blends into nearly any space.

ENERGY EFFICIENCY

A .36 U-value for standard low-E, argon-filled dual-pane glass from Cardinal IG gives the door premium energy efficiency. It is compliant with California's rigorous Title 24 requirements and can be customized in a variety of panel counts, configurations, and wall depths. The aluminum frame and panels are thermally broken to reduce heat and cold transfer. NFRC labeling is included to comply with energy code requirements.

HARDWARE

The frame's rollers are AAMA-certified and include a standard 1.81" size. Our optional 3" Monster Roller is capable of handling more than twice the weight of the largest panel. A hidden stainless steel multi-point lock secures the sliding panels.

OPTIONS

Sill options include a water-barrier sill, featuring a 1.5" interior leg and weep system to keep out water; a flush sill, which is best when ease of entry is more important than keeping out the elements; and the Thinline sill, which is ideal in situations where the continuation of flooring from the inside to the outside appears seamless. Handle options include a flush-mounted handle, which allows panels to slide past each other and stack flush or into a pocket. The premium handle features a minimal one-piece design and comfortable grip. Both handles have an optional keyed cylinder.

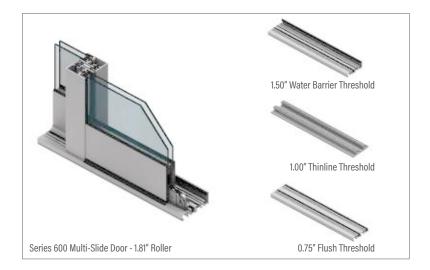
FINISHES AND COLORS

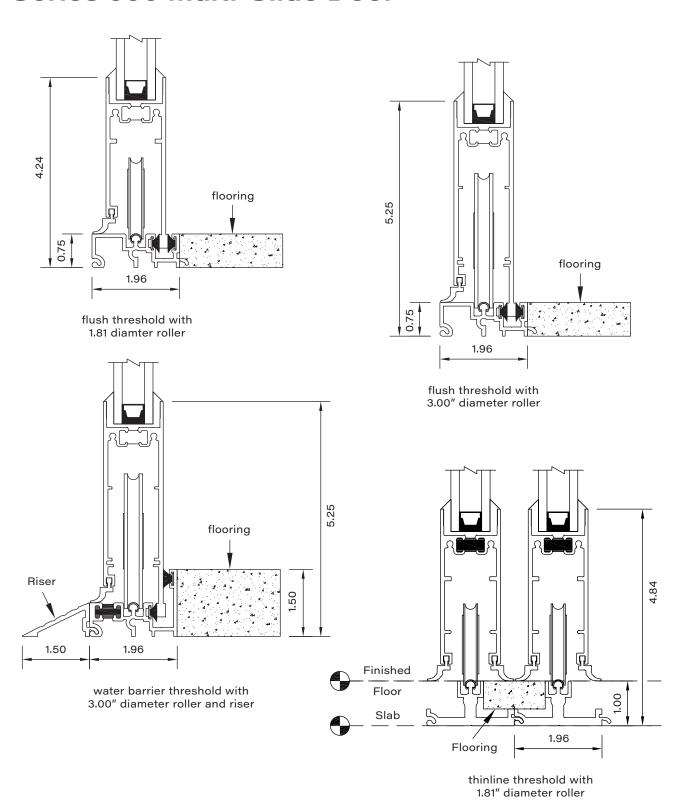
Finishes are available in-stock or as designer selections, and they can be customized to match nearly any color. Bronze Anodized and Satin Anodized come standard with a Class 1 coating thickness for increased smoothness and durability. Our designer colors include a high-quality paint finish that conforms to a minimum rating of AAMA-2605, currently the highest rating for organic finishes.

PERFORMANCE

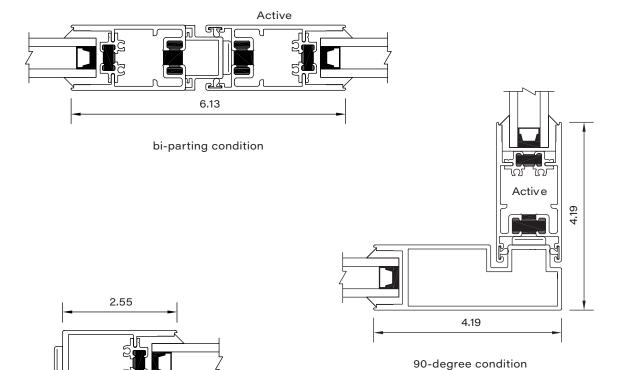
Frame Depth	1.98" Per Track
AAMA Product Designation (AAMA/WDMA/CSA101/I.S.2/A440 Designation)	LC-PG25-120x96-SD
Test Configuration	120" x 96" P2X
Air Infiltration (Per ASTM E 283)	.30 cfm/sf @1.57 psf
CSA A440 Air	N/A
Water Resistance (Per ASTM E 547)	3.75 psf
Uniform Load Deflection (Per ASTM E 330)	25 psf
Uniform Load Structural (Per ASTM E 330)	37.5 psf
Forced Entry Resistance	ASTM F842 Type A Grade 10 CAWM 300 Type I
U-Factor (Per NFRC 100)*	0.36
CR (Per NFRC 500)*	43
CRF Frame (Per AAMA 1503)	32

Actual values may vary depending on product specifications and configuration. *Glass Makeup = 1" OA E366/Argon/Clear

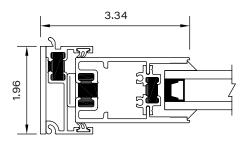




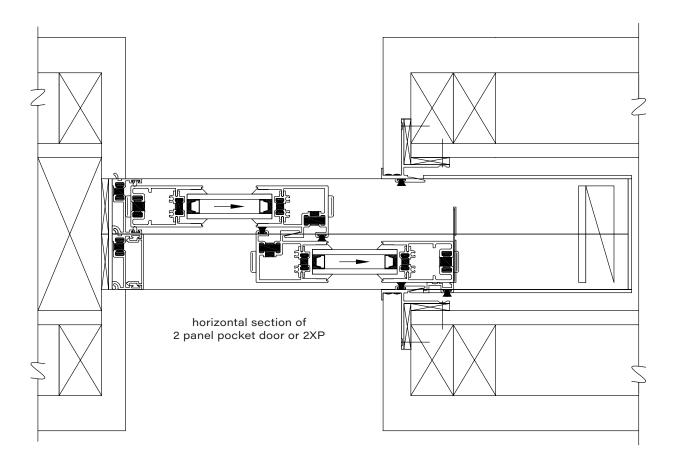


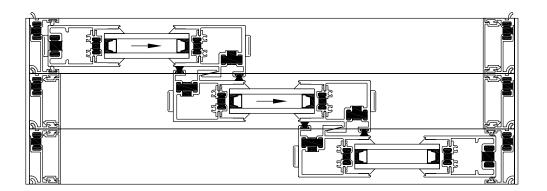


interlocking condition



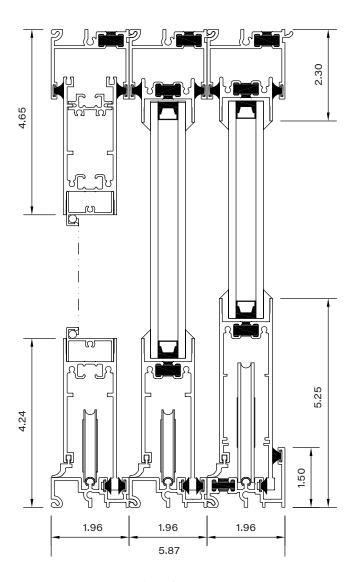
fixed position



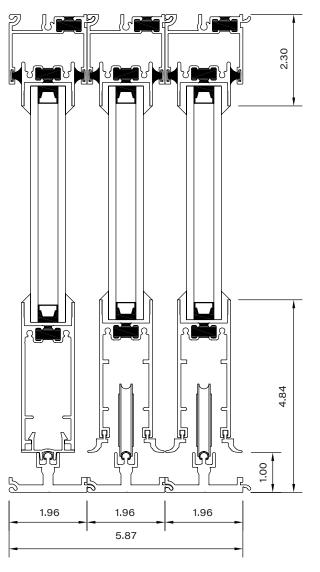


horizontal section of 3 panel stacking door or 2XO



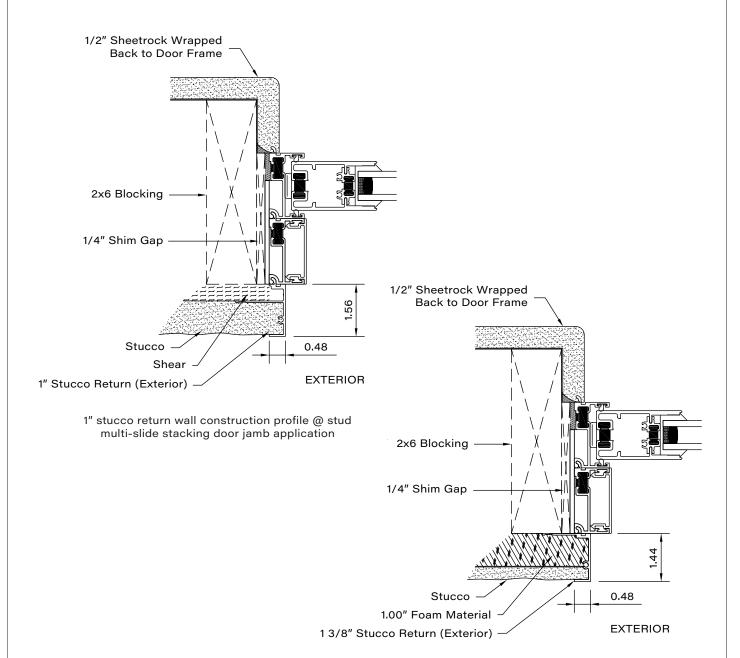


vertical section of exterior screen 1.81" diameter roller 3.00" diameter roller water barrier threshold



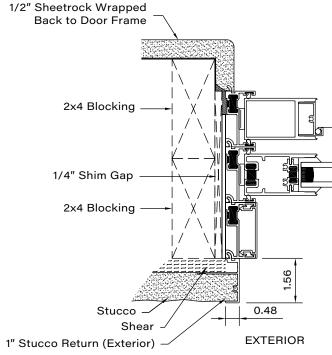
vertical section of thinline threshold with 1.81" diameter rollers



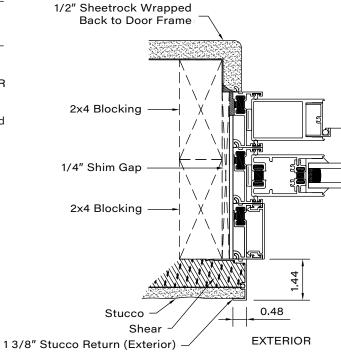


1.375" stucco return wall construction profile @ stud multi-slide stacking door jamb application





1" stucco return wall construction profile @ stud multi-slide stacking door jamb application

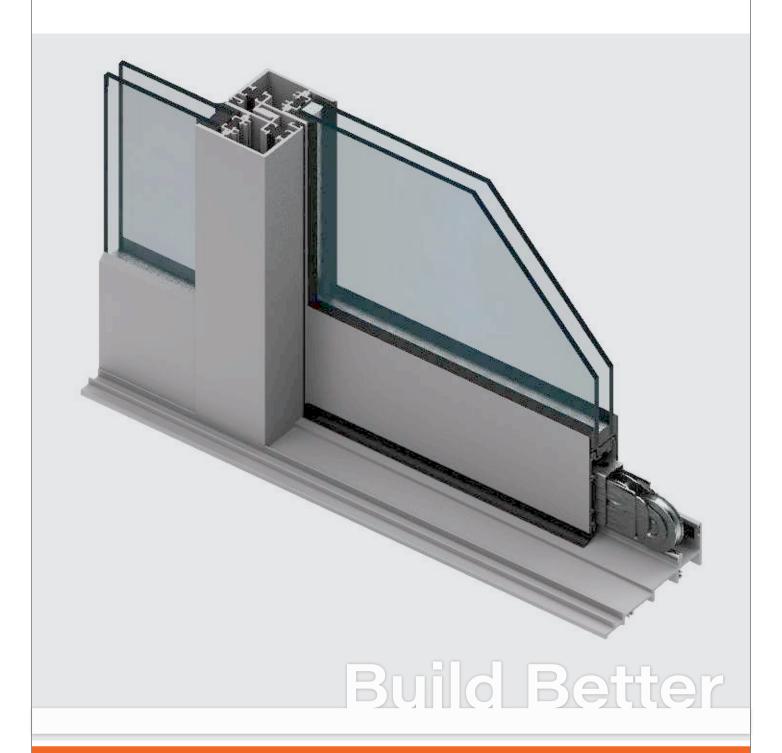


1.375" stucco return wall construction profile @ stud multi-slide stacking door jamb application



Series 600 Sliding Glass Door





Series 600 Sliding Glass Door

The Series 600 Sliding Glass Door features large, unobstructed rolling glass panels that maximize natural daylight and views. Available with panels up to 12 feet tall (or a maximum of 60 square feet), in single opening and bi-parting configurations. It is easy to operate, thanks to sealed stainless steel ball bearing rollers, and the aluminum frame's clean lines, narrow profile, and high-quality anodized or painted finishes deliver a contemporary aesthetic that seamlessly blends into nearly any space.

ENERGY EFFICIENCY

A .41 U-value for standard low-E, argon-filled dual-pane glass from Cardinal IG gives the door premium energy efficiency. It is compliant with California's rigorous Title 24 requirements and can be customized in a variety of configurations. The aluminum frame and panels are thermally broken to reduce heat and cold transfer. NFRC labeling is included to comply with energy code requirements.

HARDWARE

The sealed stainless steel ball bearing rollers are AAMA-certified and include a standard 1.81" size. Our optional 3" Monster Roller is capable of handling more than twice the weight of the largest panel. A hidden stainless-steel multi-point lock secures the sliding panels.

OPTIONS

Sill options include a 1.5" or 1.75" water barrier height offering design flexibility with varying performance ratings. Handle options include a flush-mounted handle, for a clean aesthetic; the premium handle, featuring a minimal one-piece design and comfortable grip; and the contemporary handle, with its more angular appearance. Each handle has an optional keyed cylinder. An optional heavyduty aluminum frame panel screen provides optimal ventilation.

FINISHES AND COLORS

Finishes are available in-stock or as designer selections, and they can be customized to match nearly any color. Bronze Anodized and Satin Anodized come standard with a Class 1 coating thickness for increased smoothness and durability. Our designer colors include a high-quality paint finish that conforms to a minimum rating of AAMA-2605, currently the highest rating for organic finishes.

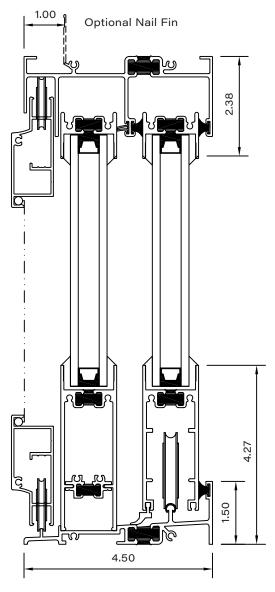
PERFORMANCE

Frame Depth	4 1/2"
AAMA Product Designation (AAMA/WDMA/CSA101/I.S.2/A440 Designation)	LC-PG30-144x96-SD
Test Configuration	144" x 96" OXO
Air Infiltration (Per ASTM E 283)	.26 cfm/sf @1.57 psf
CSA A440 Air	N/A
Water Resistance (Per ASTM E 547)	4.59 psf
Uniform Load Deflection (Per ASTM E 330)	30 psf
Uniform Load Structural (Per ASTM E 330)	45 psf
Forced Entry Resistance	ASTM F842 Type C Grade 10
U-Factor (Per NFRC 100)*	0.41
CR (Per NFRC 500)*	38
CRF Frame (Per AAMA 1503)	46

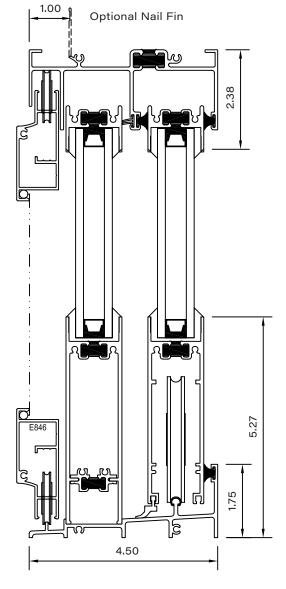
Actual values may vary depending on product specifications and configuration. *Glass Makeup = 1" OA E366/Argon/Clear



Series 600 Sliding Glass Door



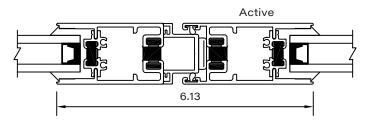
vertical section with 1.81" diameter rollers and 1.50" threshold



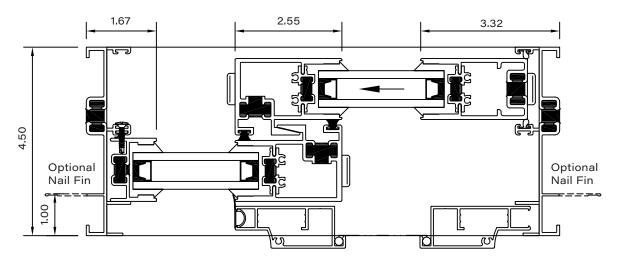
vertical section with 3.00" diameter rollers and 1.75" threshold



Series 600 Sliding Glass Door



bi-parting condition



horizontal section OX

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Date	
Name	
Client	
Project name	
_	
Quote#	
Type/Quantity	

KIX S 232 08 831

Weblink









Available colors: DARK GREY (232 08 831 N)

ADJUSTABLE 180°/360°

1 x LED 1-2W / CRI>80 / 3000K / 132-245Im

LENS 10°

INCL.1 x CABLE H05 RN-F 2 x 1 mm² 2m EXCL.LED POWER SUPPLY 350-700mA-DC

Light source: 245 lm // 2 W // 110 lm/W LED Technics:

Luminaire: 175 lm // 3 W // 66 lm/W

Class: Ш Weight: 0.3 KG Protection level: IP65 Minimum distance: n.a. Options: STRAP CBOX / CBOX 350mA IP68 CONNECTION KIT IP68 CONNECTOR 3P

Requirements: LED POWER SUPPLY 350 / 500 / 700mA-DC DIM

For detailed installation instructions, please consult the manual. 232 08 XXX HAND.pdf





KIX S 232 08 831

Related references

LED POWER SUPPLIES

Weblink / Specsheet



LED POWER CONVERTER 24V-DC TO MULTI CURRENT 48W DIM9 300 90 67

Number of luminaires: 3->15 / 3->15

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 350 mA-DC / 15W DIM1 300 48 350 FD1

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 350 mA-DC / 15W DIM5 300 48 350 FD5

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 350 mA-DC / 15W MDL 300 48 350 MDI

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 350 mA-DC / 15W WDL 300 48 350 WDL

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 500 mA-DC / 22W DIM1 300 48 500 ED1

Number of luminaires: 3->

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 500 mA-DC / 22W DIM5 300 48 500 ED5

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 500 mA-DC / 22W MDL 300 48 500 MDL

Number of luminaires: 3->:

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 500 mA-DC / 22W WDL 300 48 500 WDI

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 700 mA-DC / 25W DIM1 300 48 700 FD1

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 700 mA-DC / 25W DIM5 300 48 700 FD5

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 700 mA-DC / 25W MDL

300 48 700 MDL

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER CONVERTER 48V-DC to 700 mA-DC / 25W WDL

300 48 700 WDL

Number of luminaires: 3->14

Weblink / Specsheet



LED POWER SUPPLY 350mA / 7,35W DIM8

21012 0308

220-240V / 50-60Hz Number of luminaires: 5->7

Weblink / Specsheet



LED POWER SUPPLY 500mA / 10W DIM8

DIM8 21012 0318 220-240V / 50-60Hz Number of luminaires: 5->7

Weblink / Specsheet



LED POWER SUPPLY 700mA / 15W DIM8

21012 0328 220-240V / 50-60Hz

Number of luminaires: 5->7

Weblink / Specsheet



LED POWER SUPPLY MULTI POWER 21012 0010

220-240V / 0| 50-60Hz

Number of luminaires: 6->15 / 4->15 / 4->15

Weblink / Specsheet



LED POWER SUPPLY MULTI POWER 200-350 / 10W DIM8 21012 0258

21012 0258 220-240V / 50-60Hz Number of luminaires: 7->10

Weblink / Specsheet



LED POWER SUPPLY MULTI POWER 200-350 / 15W DIM8 21012 0268

220-240V / 50-60Hz Number of luminaires: 10->14

Weblink / Specsheet



LED POWER SUPPLY MULTI POWER 250-900 / 20W DIM8 21012 0298

21012 0298 220-240V / 50-60Hz

Number of luminaires: 3->15 / 3->14 / 3->9



LED POWER SUPPLY MULTI POWER 500-700 / 20W DIM8

21012 0278 220-240V / 50-60Hz Number of luminaires: 6->9 / 6->9

Weblink / Specsheet



LED POWER SUPPLY MULTI POWER 500-700 / 36W DIM8 21012 0288 220-240V / 50-60Hz Number of luminaires: 12->18 / 12->18

Weblink / Specsheet



LED POWER SUPPLY MULTI POWER DIM1 21012 0021 220-240V / 0| 50-60Hz Number of luminaires: 4->18 / 4->17

Weblink / Specsheet



LED POWER SUPPLY MULTI POWER DIM5 21012 0035 220-240V / 0| 50-60Hz Number of luminaires: 4->18 / 4->18 / 4->18

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER COMPACT WDL 21012 005W

220-240V / 0L50-60Hz

Number of luminaires: 4->18 / 4->18 / 4->17

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER DIM5 300 90 68

110-240V / 0| 50-60Hz

. Number of luminaires: 2->16(15) / 2->16(10) / 2->16(7)

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER DIM6 300 90 61

220-240V / 50-60Hz Number of luminaires: 1->16 / 1->16 / 1->16

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER DIM7 300 90 124

110-240V / 0| 50-60Hz

Number of luminaires: 6->17(15) / 2->14(10) / 2->10(7)

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER DIM7

300 90 64

110-240V / 0| 50-60Hz

Number of luminaires: 4->18(15) / 1->17(10) / 1->16(7)

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER DIM9

300 90 63

110-240V / 0| 50-60Hz

Number of luminaires: 1->25(25) / 1->25(25) / 1->25(20)

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER

300 90 135

220-240V / 0| 50-60Hz

Number of luminaires: 17->29 / 12->29 / 10->30

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER HV DIM9

300 90 69

110-240V / 0| 50-60Hz

Number of luminaires: 8->39(39) / 1->39(28) / 1->30(20)

Weblink / Specsheet



LED POWER SUPPLY MULTI-POWER MINI DIM5

300 90 125

110-240V / 0L50-60Hz

Number of luminaires: 4->17(15) / 2->14(10) / 2->9(7)

Weblink / Specsheet

Number of luminaires: 1->25(25) / 1->25(25) / 1->25(20)



LED POWER SUPPLY MULTI-POWER WDL

21012 004W

110-240V / 0150-60Hz

Related references

WATERPROOF CONNECTION PARTS

Weblink / Specsheet 140 140

СВОХ 216 12 00

Weblink / Specsheet



CBOX 350 mA / 10W 216 14 35

220-240V / 50-60Hz Number of luminaires: 7 -> 12

Weblink / Specsheet



IP68 CONNECTION KIT 216 12 01

Weblink / Specsheet



IP68 CONNECTOR 3P 216 12 02

Related references

OTHER





Specification Sheet

кіх s 232 08 831

Related project picture of product family:



▼ DELTALIGHT®

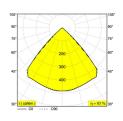
Date			
Name			
Client			
Project name			
Quote#			
Type/Quantity			

Specification Sheet

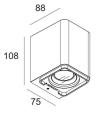
MOMBALED 930

225 20 811 930





Weblink







Available colors:	DARK GREY	(225 20 811 930 N

NON ADJUSTABLE

1 x LED 7,1W / CRI>90 / 3000K / 812Im

INCL.1 x LENS

INCL.LED POWER SUPPLY 350 mA-DC

Other CRI or KELVIN on request

LED Technics:	Light source: 812 lm // 7 W // 115 lm/W Luminaire: 678 lm // 8 W // 83 lm/W
100-240V / 50-60Hz	
Class:	I
Weight:	0.9 KG
Protection level:	IP65
Minimum distance:	n.a.
Energy Class:	F

For detailed installation instructions, please consult the manual. 225 20 811 XXX HAND.pdf

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MOMBALED 930 225 20 811 930

Related project picture of product family:

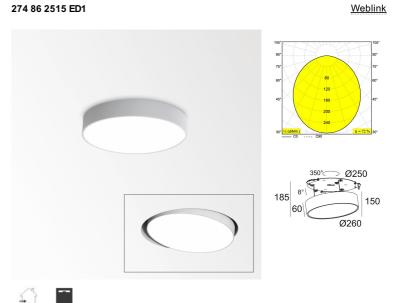


▼ DELTALIGHT®

Date		
Name		
Client		
Project name		
- Troject name		
0		
Quote#		
Type/Quantity		

SUPERNOVAXS RECESSED 260 DIM1

274 86 2515 ED1



Cutout shape/size:	() Ø KIT mm
Recessed depth:	200 mm
Available colors:	BLACK (274 86 2515 ED1 B) WHITE (274 86 2515 ED1 W)

ADJUSTABLE 0°/8° INCL.PC SBL LED CLUSTER 15W / CRI>80 / 3000K / 1580Im INCL.DIMMABLE LED POWER SUPPLY 600mA-DC / 15W DIMMING BY 1-10V CONTROL

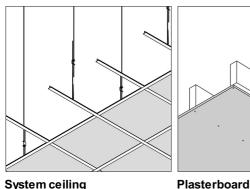
Light source: 1580 lm // 15 W // 105 lm/W Luminaire: 1139 lm // 17 W // 66 lm/W	
II	
2 KG	
IP40	
n.a.	
F	
SUPERNOVA XS RECESSED KIT 260	
	Luminaire: 1139 lm // 17 W // 66 lm/W II 2 KG IP40 n.a. F

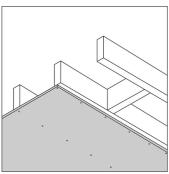
For detailed installation instructions, please consult the manual. 274 86 2515 ED1 HAND.pdf

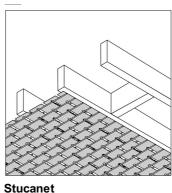


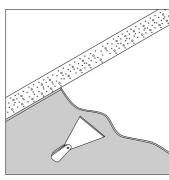
SUPERNOVAXS RECESSED 260 DIM1 274 86 2515 ED1

Ceiling compatibility









System ceiling

Only with

Only with

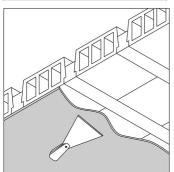
Concrete + plaster

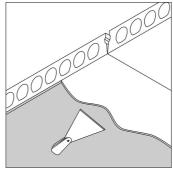
Only with

Only with

SUPERNOVAXS RECESSED KIT 260 SUPERNOVAXS RECESSED KIT 260

SUPERNOVAXS RECESSED KIT 260 SUPERNOVAXS RECESSED KIT 260





Lintel + plaster

Hollow-core slab + plaster

Only with

Only with

SUPERNOVAXS RECESSED KIT 260 SUPERNOVAXS RECESSED KIT 260

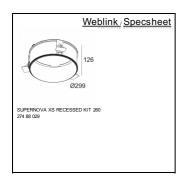


SUPERNOVA XS RECESSED 260 DIM1 274 86 2515 ED1

Related references CONTROL GEAR, BALLAST AND TRANSFORMERS



Related references RECESSED KITS



▼ DELTALIGHT®



274 86 2515 ED1



COMPOSITE DECKING

Display hidden notes to specifier. (Don't know how? Click Here)

PART 1 GENERAL

- 1.1 SECTION INCLUDES
 - A. Composite decking.
- 1.2 RELATED SECTIONS
 - A. Section 06-1100 Wood Framing.
- 1.3 REFERENCES
 - A. ASTM D-1413-99: Test Method for Wood Preservatives by Laboratory Soil-block Cultures, ASTM International.
 - B. ASTM D-2565-99: Practice for Operating Xenon Arc-type Light-exposure Apparatus With or Without Water for Exposure of Plastics, ASTM International.
 - C. ASTM D-2915-98: Practice for Evaluating Allowable Properties for Grades of Structural Lumber, ASTM International.
 - D. ASTM D-2990-95: Test Method for Tensile, Compressive, and Flexural Creep and Creep-rupture of Plastics, ASTM International.
 - E. ASTM D-3345-74 (1999): Test Method for Laboratory Evaluation of Wood and Other Cellulose Materials for Resistance to Termites, ASTM International.
 - F. ASTM D-5456-99a: Specification for Evaluation of Structural Composite Lumber Products, ASTM International.
 - G. ASTM D-6109-97: Standard Test Method for Flexural Properties of Un-reinforced and Reinforced Plastic Lumber, ASTM International.
 - H. ASTM D-7031-04: Standard Guide for Evaluating Mechanical and Physical Properties of Wood-Plastic Composite Products, ASTM International.
 - ASTM D-7032-04: Standard Specification for Establishing Performance Ratings for Wood-Plastic Composite Deck Boards and Guardrail systems (Guards or Handrails), ASTM International.
 - J. ASTM E-4-99: Practices for Force Verification of Testing Machines, ASTM International.
 - K. ASTM E-84-01: Test Method for Surface Burning Characteristics of Building

- Materials, ASTM International.
- L. ASTM E-330-97: Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference, ASTM International.
- M. ASTM F-1679: Standard Test Method for Using a Variable Incidence Tribometer (VIT).

1.4 DESIGN / PERFORMANCE REQUIREMENTS

- A. Structural Performance:
 - 1. Deck: Uniform Load: 100 lb/sq. ft.
 - 2. Treads of Stairs: Concentrated Load: 750 lb/sq. ft., and 1/8" max. defection with a concentrated load of 300 lb on area of 4 sq. in
- B. Fire-Test-Response Characteristics per ASTM E-84:

1.5 SUBMITTALS

- A. Product Data: Indicate sizes, profiles, surface style, and performance characteristics.
- B. Samples: For each product specified, one sample, minimum size 4 inches long, representing actual product, color, and finish.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Storage and Handling:
 - 1. Never dump TimberTech materials when unloading.
 - 2. Store on a flat surface and cover with non-translucent material.
 - 3. When carrying TimberTech planks, carry on edge for better support.
 - 4. Refer to installation instructions for additional guidelines on each product.

1.7 WARRANTY

A. Warranty: Limited Residential Warranty against rot, decay, splitting, checking, splintering, or termite damage for a period of 25 years beginning from date of purchase under normal conditions of use and exposure.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Contract Documents are based on products by: TimberTech Limited, 894 Prairie Avenue, Wilmington, Ohio 45177.
- B. Substitutions: Not permitted under Division 01.

2.2 APPLICATIONS/SCOPE

- A. Wood/Plastic Composite Lumber:
 - 1. Material Description: Composite plank consisting of high density polyethylene (HDPE) and wood flour, extruded into sizes and shapes indicated with the following physical properties:
 - a. ValuPlank, Earthwood, and TwinFinish Decking Boards: 1 inch x 5-7/16 -inches wide.
 - 1) Lengths-12, 16, and 20 feet.

- b. Color:
 - 1) ValuPlank- Cedar and Grey.
 - a) Surface texture-Brushed
 - b) Edges are Smooth for face fastening
 - 2) Earthwood- Tropical Rosewood, Tropical Teak, and Tropical Walnut.
 - a) Surface texture- One side serrated, one side embossed
 - Edges are Smooth for face fastening, or Grooved for CONCEALoc.
 - 3) TwinFinish- Grey, Cedar, and Rosewood.
 - a) Surface texture- One side brushed, one side embossed
 - b) Edges are Smooth for face fastening, or Grooved for CONCEALoc.
- Specific Gravity: 1.2 g/cu. cm. when tested in accordance with ASTM D-792.
- d. Flexural Properties when tested in accordance with ASTM D-6109: Solid Profiles
 - 1) Modulus of Elasticity (MOE): 542,200 psi.- Ultimate
 - 2) Modulus of Rupture (MOR): 3157 psi. Ultimate Floorizon Plank
 - 1) Flexural Stiffness 426,508 lb in²
 - 2) Moment Capacity 3157 in lb
- e. Hardness when tested in accordance with ASTM D-143: 225 lb (101.25 kg).
- f. Water Absorption when tested in accordance with ASTM D-1037, %vol. <1.35%, %mass <1.29%.
- g. Flame Spread Index when tested in accordance with ASTM E-84: 75
- Direct Screw Withdrawal Force when tested in accordance with ASTM D-1761: 787 lbs/in.
- i. Slip resistance when tested in accordance with ASTM F-1679:
 - 1) Vertigrain Dry: 0.63 Wet: 0.55
 - 2) Brushed Dry: 0.77 Wet: 0.56
 - 3) Woodgrain Dry: 0.54 Wet: 0.43
- j. Smoke Development when tested in accordance with ASTM E-84, 200.
- k. Flash Ignition Temperature when tested in accordance with ASTM D-1929, 651 degrees F.
- I. Spontaneous Ignition Temperature when tested in accordance with ASTM D-1929, 788 degrees F.
- m. Coefficient of Linear Thermal Expansion when tested in accordance with ASTM D-696: length 2.0x10⁻⁵in/in/°F, width 3.4x10⁻⁵ in/in/°F.
- n. Fungus Resistance (Brown/White Rot Fungus) when tested in accordance with ASTM D-1413: No decay.

2.3 ACCESSORIES

- A. Fasteners:
 - a. Concealed Fasteners: CONCEALoc hidden fasteners
 - b. Screws: No. 8, 2-1/2 inch stainless steel or high quality coated composite deck screws.

3.1 EXAMINATION

- A. Install according to manufactures instructions.
- B. Cut, drill, and rout using carbide tipped blades.
- C. Pre-drill holes located closer than 1 1/2 inches from ends of plank.
- D. Cut ends square.
- E. Do not use composite wood material for structural applications.

3.2 CLEANING

- A. Clean surfaces regularly with a composite wood/plastic cleaner such as Corte Clean (www.corteclean.com).
- B. Power wash with a fan tipped nozzle in the direction of the grain of the planks with a maximum of 1500 psi.

END OF SECTION

DEX-O-TEX

Product Description Sheet



Advanced Floor and Waterproof Systems since 1938

www.dexotex.com

11/21

Dex-Flex

Waterproof Deck System Typical Thickness 1/8" – 1/4"

DESCRIPTION

Dex-Flex waterproof deck system is a solvent-free, fluid applied, elastomeric waterproofing and polyacrylate pedestrian traffic topping system that is ideal for concrete or plywood substrates.

WHERE TO USE

Dex-Flex is ideal for promenade decks, sun decks, patios, roofs, rooftop tennis courts, balconies, and pedestrian traffic surfacing.

ADVANTAGES

- ICC ESR 1714 Approval over Plywood and Concrete Substrates
- Monolithic, including integral flashing
- Resilient and comfortable underfoot
- Reduces sound transmission
- Environmentally safe
- Monolithic, seamless
- Fast cure time and return to service
- · Solvent free with minimal odor
- VOC and LEED compliant

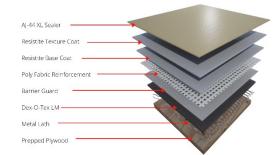
FINISH OPTIONS

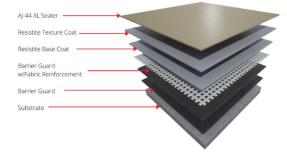
- See AJ-44 and Colorpax LIP Color Chart available at www.dexotex.com
- Wide array of slip resistant textures, colors, and finishes available

SYSTEM COMPONENTS

Plywood	Product	Thickness
Lath Mortar	Dex-O-Tex Lath Mortar	3/16"
Membrane	Barrier Guard	20 Mils
Membrane w/ Fabric	Barrier Guard w/ RP Fabric	20 Mils
Protection Coats	Resistite	124 Mils
Sealer	AJ-44 XL	16 Mils

Over Concrete	Product	Thickness
Membrane	Barrier Guard	20 Mils
Membrane w/ Fabric	Barrier Guard Membrane w/ RP Fabric	20 Mils
Protection Coats	Resistite	124 Mils
Sealer	AJ-44 XL	16 Mils





Crossfield Products Corp.

California 3000 E. Harcourt St. Rancho Dominguez, 90221 (310) 886-9100

Texas 128 Industrial Dr. Cibolo, 78108 (210)888-0449

New Jersey 140 Valley Rd. Roselle Park, 07204 (908) 245-2800

PHYSICALS	METHOD	RESULTS
Weight		2.5 lbs. per sq ft
Waterproofing	ASTM D751	No passage of water
Weathering	ASTM G23	Pass
Accelerated Aggin	ASTM D756	No chalking, cracking, or delamination
Water Absoroption	ASTM D570	6.09%
Fire Safety	Intermittent Flame Exposure Spread of Flame Burning Brand	Class A
Adhesion	ASTM D7234	>400 PSI

The above physical properties were measured in accordance with the referenced standards. Results may vary based upon statistical variations on mixing methods and equipment, application methods, environment, and actual site conditions and curing conditions. All sample preparation and testing are conducted in a laboratory environment and actual performance on job site may vary from these values based on actual site conditions.

CARE AND MAINTENANCE

See care and maintenance form available at www.dexotex.com

CHEMICAL RESISTANCE

See chemical resistance chart available at www.dexotex.com

LIMITATIONS

- Waterproofing may depend upon existing flashing and substrate conditions.
- Not intended for vehicular traffic.
- Limited ability to bridge working cracks in substrate.
- Must terminate at seismic or expansion joints.
- Working substrate, settlement, defection, and movement of any kind can develop cracking in the surface and underlying membrane and underlayment

NOTE

Crossfield Products Corp. assumes no responsibility or liability for any errors or omissions in the content of this document. The information contained is subject to change without notice.

WARRANTY

All sales are subject to the Crossfield Terms and Conditions effective on the date the purchase order is received. The Terms and Conditions are incorporated herein in full by this reference. The Terms and Conditions are set forth at (www.dexotex.com) and will also be sent by mail or fax to the purchaser upon request. By placing an order, the Buyer acknowledges that it has read and agrees to the provisions of the Terms and Conditions.

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Texas 128 Industrial Dr. Cibolo, 78108 (210)888-0449

New Jersey 140 Valley Rd. Roselle Park, 07204 (908) 245-2800





PRODUCT INFORMATION



Profile: ClayMax

Color Name: Red

SKU Number: 2UMDU7025

Product Type: **Lightweight**

Color: Red

Available Regions:

Nationwide

Cool Rated Product

Reflectivity: **0.42**

Aged Ref. (3 yr): **0.40**

Emmisivity: **0.85**

Aged Em. (3 yr): **0.84**

SRI:

Aged SRI (3 yr): **43**

CRRC ID#: **0129**

46

Seller ID#: **0942**

Tile Specifications:

Size: **18" x 13"**

Coverage: 88

Approx. Installed Weight: 580 lbs

Pieces per Pallet: 418

Squares per Pallet: 4.75

Approx. Weight per Pallet: 2900 lbs

*Calculated Aged Value

The printed color shown here may vary from actual available tile color and should not be used to color match. Please contact your local Sales Representative for actual tile samples.

1.800.669.TILE (8453) www.WestlakeRoyalRoofing.com



Rated Product ID Number 0129
Licensed Seller ID Number 0942
Classification Production Line

Cool Roof Rating Council ratings are determined for a fixed set of conditions, and may not be appropriate for determining seasonal energy performance. The actual effect of solar reflectance and thermal emittance on building performance may vary.

Manufacturer of product stipulates that these ratings were determined in accordance with the applicable Cool Roof Rating Council procedures.

Series 610 Single-Hung Window



Build Better

Series 610 Single-Hung Window

The Series 610 Single-Hung Window features a fixed top sash and vertically sliding bottom sash for ventilation. The Series 610 offers a design pressure rating for commercial applications such as luxury hotels and resorts, office spaces, and multifamily housing. Designed with a 4.5" frame depth, it can be integrated with our hinged doors, sliding doors, and fixed window walls for maximum views and ventilation. It is available with a maximum vent size of 48" in width and 36" in height and frame height up to 96". The window is tested for air, water, and structural performance and is certified by the NFRC and AAMA.

ENERGY EFFICIENCY

A .49 U-value for standard low-E, dual-pane glass gives the window excellent energy efficiency. Glass can be customized in a variety of coatings, tints, and thicknesses for improved privacy, protection, and thermal efficiency. The thermally broken aluminum frame provides an insulating barrier that increases energy performance.

FEATURES

The single-hung window can be mulled to most of our product lines. This male/female mulling feature is unique in aluminum fenestration products, and it eliminates the need for operable inserts while maximizing glass and narrowing sightlines. Spiral balancers provide better adjustability and smoother operation. A T-lock engages an integrated strike in the frame's meeting rail. Durable aluminum-frame screens complement the window's clean, contemporary style. Screen frames match the window frame's color.

FINISHES AND COLORS

Finishes are available in-stock or as designer selections, and they can be customized to match nearly any color. Bronze Anodized and Satin Anodized come standard with a Class 1 coating thickness for increased smoothness and durability. Our designer colors include a high-quality paint finish that conforms to a minimum rating of AAMA-2605, currently the highest rating for organic finishes.

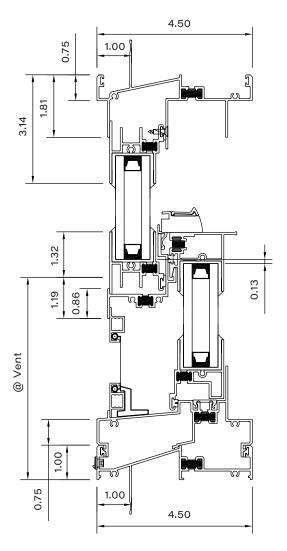
PERFORMANCE

Frame Depth	4 1/2"
AAMA Product Designation (AAMA/WDMA/CSA101/I.S.2/A440 Designation)	LC-PG50-48x76-H
Test Configuration	48" x 76" O/X
Air Infiltration (Per ASTM E 283)	.25 cfm/sf @1.57 psf
CSA A440 Air	N/A
Water Resistance (Per ASTM E 547)	10 psf
Uniform Load Deflection (Per ASTM E 330)	50 psf
Uniform Load Structural (Per ASTM E 330)	75 psf
Forced Entry Resistance	ASTM F588 Type A Grade 10 and CAWM 301 Type I
U-Factor (Per NFRC 100)*	0.49
CR (Per NFRC 500)*	34
CRF Frame (Per AAMA 1503)	N/A

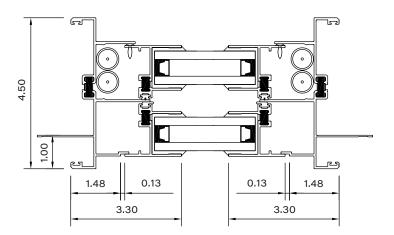
Actual values may vary depending on product specifications and configuration. *Glass Makeup = 1" OA E366/Argon/Clear



Series 610 Single-Hung Window



vertical section single hung 1.00" nail-fin frame



horizontal section single hung 1.00" nail-fin frame



Series 620 Sliding Window





Build Better

Series 620 Sliding Window

The Series 620 Sliding Window features one or two sliding sash in XO, OX, XX and OXO configurations. The Series 620 offers a design pressure rating for commercial applications such as luxury hotels and resorts, office spaces, and multi-family housing. Designed with a 4.5" frame depth, it can be integrated with our hinged doors, sliding doors, and fixed window walls for maximum views and ventilation. The window is tested for air, water, and structural performance and is certified by the NFRC and AAMA.

ENERGY EFFICIENCY

A .45 U-value for standard low-E, dual-pane glass gives the window excellent energy efficiency. Glass can be customized in a variety of coatings, tints, and thicknesses for improved privacy, protection, and thermal efficiency. The thermally broken aluminum frame provides an insulating barrier that increases energy performance.

FEATURES

The sliding window can be mulled to most of our product lines. This male/female mulling feature is unique in aluminum fenestration products, and it eliminates the need for operable inserts while maximizing glass and narrowing sightlines. A T-lock engages an integrated strike in the frame's interlock. Durable aluminum-frame screens complement the window's clean, contemporary style. Screen frames match the window frame's color.

FINISHES AND COLORS

Finishes are available in-stock or as designer selections, and they can be customized to match nearly any color. Bronze Anodized and Satin Anodized come standard with a Class 1 coating thickness for increased smoothness and durability. Our designer colors include a high-quality paint finish that conforms to a minimum rating of AAMA-2605, currently the highest rating for organic finishes.

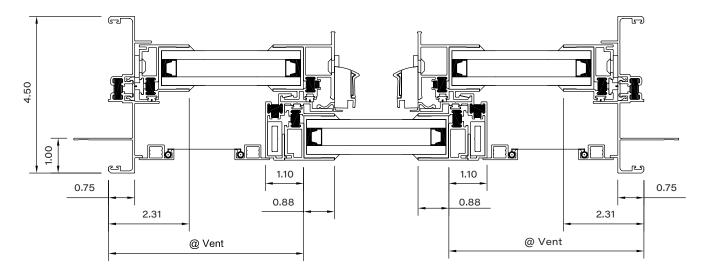
PERFORMANCE

Frame Depth	4 1/2"
AAMA Product Designation (AAMA/WDMA/CSA101/I.S.2/A440 Designation)	LC-PG50- 72x108-HS
Test Configuration	72" x 108" OX/O
Air Infiltration (Per ASTM E 283)	.14 cfm/sf @1.57 psf
CSA A440 Air	N/A
Water Resistance (Per ASTM E 547)	10 psf
Uniform Load Deflection (Per ASTM E 330)	50 psf
Uniform Load Structural (Per ASTM E 330)	75 psf
Forced Entry Resistance	ASTM F588 Type A&D Grade 10 and CAWM 301 Type I,V
U-Factor (Per NFRC 100)*	0.45
CR (Per NFRC 500)*	36
CRF Frame (Per AAMA 1503)	N/A

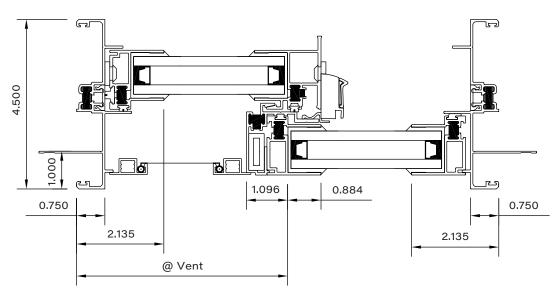
Actual values may vary depending on product specifications and configuration. *Glass Makeup = 1" OA E366/Argon/Clear



Series 620 Sliding Window



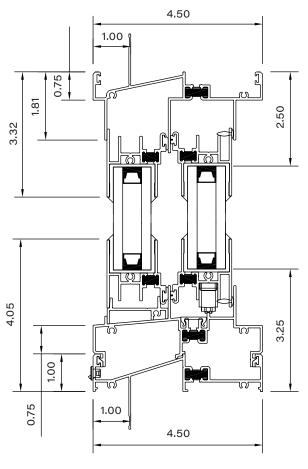
horizontal section XOX slider 1.00" nail-fin frame



horizontal section XO slider 1.00" nail-fin frame



Series 620 Sliding Window



vertical section sliding window 1.00" nail-fin frame

Series 670 Awning Window





Build Better

Series 670 Awning Window

The Series 670 Awning Window hinges on the top and opens outward from the bottom. Typically wider than it is tall, the awning window is ideal for providing natural light and ventilation in modern configurations. It combines clean design and optimal performance with a commitment to superior craftsmanship. It is available in widths from 21" to 60" and heights from 16" to 48." The window is tested for air, water, and structural performance and is certified by the NFRC and AAMA.

ENERGY EFFICIENCY

A .49 U-value for standard low-E, dual-pane glass gives the window excellent energy efficiency. Glass can be customized in a variety of coatings, tints, and thicknesses for improved privacy, protection, and thermal efficiency. The thermally broken aluminum frame provides an insulating barrier that increases energy performance.

FEATURES

A roto handle and double scissor-arm operator enables easy operation. All fasteners are stainless steel, and the Series 670 Awning features a hidden multi-point locking system. Durable aluminum-frame screens complement the window's clean, contemporary style. Screen frames the window frame's color and are mounted to the interior.

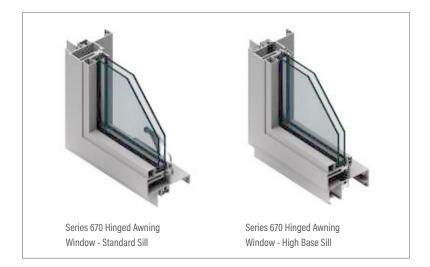
FINISHES AND COLORS

Finishes are available in-stock or as designer selections, and they can be customized to match nearly any color. Bronze Anodized and Satin Anodized come standard with a Class 1 coating thickness for increased smoothness and durability. Our designer colors include a high-quality paint finish that conforms to a minimum rating of AAMA-2605, currently the highest rating for organic finishes.

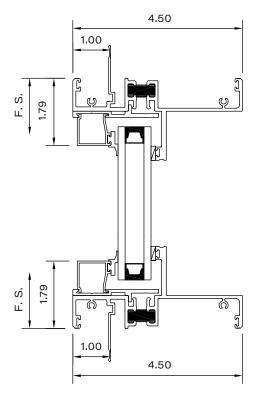
PERFORMANCE

Frame Depth	4 1/2"
AAMA Product Designation (AAMA/WDMA/CSA101/I.S.2/A440 Designation)	CW-PG50-48x36-AP
Test Configuration	48" x 36" X
Air Infiltration (Per ASTM E 283)	.10 cfm/sf @1.57 psf
CSA A440 Air	N/A
Water Resistance (Per ASTM E 547)	9.2 psf
Uniform Load Deflection (Per ASTM E 330)	50 psf
Uniform Load Structural (Per ASTM E 330)	75 psf
Forced Entry Resistance	ASTM F588 Type B and CAWM 301 Type II
U-Factor (Per NFRC 100)*	0.49
CR (Per NFRC 500)*	43
CRF Frame (Per AAMA 1503)	N/A

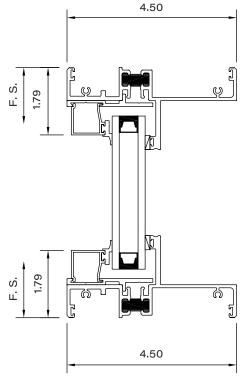
Actual values may vary depending on product specifications and configuration. *Glass Makeup = 1" OA E366/Argon/Clear



Series 670 Awning Window



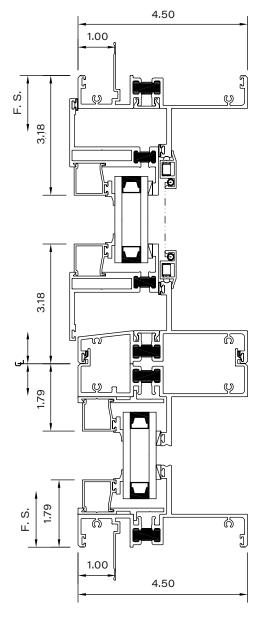
fixed vertical section 1" nail-fin frame



fixed vertical section equal leg block frame



Series 670 Awning Window



hinged over fixed vertical section 1.00" nail-fin frame



Series 670 Casement Window





Build Better

Series 670 Casement Window

The Series 670 Casement Window, which hinges on the side and swings outward to the left or right, combines clean design and optimal performance with a commitment to superior craftsmanship. Designed with a 4.5" frame depth, it can be integrated with our hinged doors, sliding doors, and fixed window walls for maximum views and ventilation. It is available in widths from 16" to 42" and heights from 16" to 120." The window is tested for air, water, and structural performance and is certified by the NFRC and AAMA.

ENERGY EFFICIENCY

A .48 U-value for standard low-E, dual-pane glass gives the window excellent energy efficiency. Glass can be customized in a variety of coatings, tints, and thicknesses for improved privacy, protection, and thermal efficiency. The thermally broken aluminum frame provides an insulating barrier that increases energy performance.

FEATURES

Butt hinges and a roto operator enable easy operation. All fasteners are stainless steel, and the Series 670 Casement features a hidden multi-point locking system. Durable aluminum-frame screens complement the window's clean, contemporary style. Screen frames match the window frame's color and are mounted to the interior.

PUSH-OUT OPTION

The Series 670 Push-Out Casement opens easily with the turn of the handle and a light push. Stainless steel four-bar hinges with an adjustable tensioning device keep the sash in place when open. It is available in widths from 16" to 36" and heights from 16" to 72".

FINISHES AND COLORS

Finishes are available in-stock or as designer selections, and they can be customized to match nearly any color. Bronze Anodized and Satin Anodized come standard with a Class 1 coating thickness for increased smoothness and durability. Our designer colors include a high-quality paint finish that conforms to a minimum rating of AAMA-2605, currently the highest rating for organic finishes.

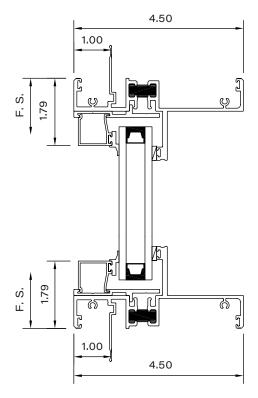
PERFORMANCE

Frame Depth	4 1/2"
AAMA Product Designation (AAMA/WDMA/CSA101/I.S.2/A440 Designation)	CW-PG50-36x60-C
Test Configuration	36" x 60" X
Air Infiltration (Per ASTM E 283)	.04 cfm/sf @1.57 psf
CSA A440 Air	N/A
Water Resistance (Per ASTM E 547)	9.2 psf
Uniform Load Deflection (Per ASTM E 330)	50 psf
Uniform Load Structural (Per ASTM E 330)	75 psf
Forced Entry Resistance	ASTM F588 Type B Grade 10 and CAWM 301 Type II
U-Factor (Per NFRC 100)*	0.48
CR (Per NFRC 500)*	43
CRF Frame (Per AAMA 1503)	56

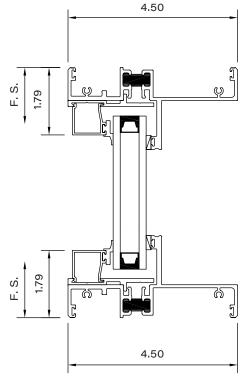
Actual values may vary depending on product specifications and configuration. *Glass Makeup = 1" OA E366/Argon/Clear



Series 670 Casement Window

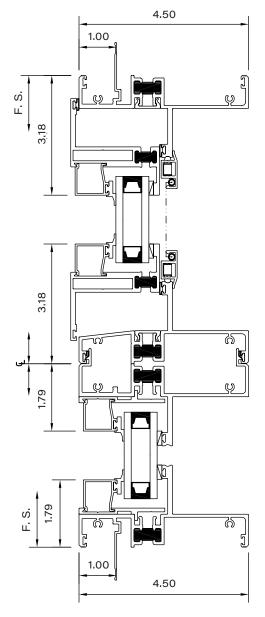


fixed vertical section 1" nail-fin frame



fixed vertical section equal leg block frame

Series 670 Casement Window



hinged over fixed vertical section 1.00" nail-fin frame



ATTACHMENT 5

Arborist Report

Arborist Report

4931 Harriman Avenue South Pasadena, California

Prepared for:

Mr. Paulo Cova Covar Designs Inc. 1340 East 6th Street, Suite 508 Los Angeles, CA 90021

Prepared by:

William R. McKinley, Consulting Arborist
American Society of Consulting Arborists
Certified Arborist #WE-4578A
International Society of Arboriculture
1734 Del Valle Avenue
Glendale, CA 91208

January 25, 2022

Mr. Paulo Cova Covar Designs Inc. 1340 East 6th Street, Suite 508 Los Angeles, CA 90021

Dear Mr. Cova:

Recently you contacted me regarding the proposed construction of a single-family home on a vacant lot located on the property at 4931 Harriman Avenue, South Pasadena. I was asked to inventory all the existing Oak trees growing on the vacant lot and prepare an Arborist Report discussing the impact of the construction of the proposed house on the existing Oak trees and to include a tree protection plan designed to protect and preserve the remaining Oak trees. The following Arborist Report summarizes my findings:

Background

On Friday, August 27, 2021 at approximately 3:30 p.m. I met you at the subject property at 4931 Harriman Avenue, South Pasadena. I was informed that the project involves the construction of a retaining wall and single-family home with a basement. At the time of our meeting I was provided with a Survey of the lot. The proposed Site Plan showing the proposed retaining wall, house and other improvements was not available at that time. The Tree/Site Inspection Section describes my observations concerning the subject trees.

Tree/Site Inspection

Tree #1 is a Quercus agrifolia or Coast Live Oak. The tree measures 10 inches in diameter at D.B.H. (Diameter Breast Height) as measured 54 inches above the soil grade. The tree has a drip line, which measures roughly 15 feet from the tree's trunk. The spread of the tree is approximately 15 feet. The height of the tree is estimated to be roughly 10 feet tall. The tree is located near the southeast corner of the subject property vacant lot. The tree's crown has been pruned and raised. The tree is crowded and the crown is suppressed. It bends and leans northeast away from another Oak. The crown is unbalanced and asymmetrical. The foliage size and color appear normal. The crown density is fair. The tree is in poor health and condition. Rating: D

Tree/Site Inspection-Continued

Tree #2 is a Quercus agrifolia or Coast Live Oak. The tree measures 36 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 30 feet from the tree's trunk. The spread of the tree is approximately 60 feet. The height of the tree is estimated to be roughly 40 feet tall. The tree is located uphill and southwest of Tree #1. It is situated on a steep uphill slope. There is a basal cavity on the north side of the tree. The crown has been pruned and raised. The crown is balanced with minor asymmetry. There is a treehouse in the tree. There are dead, stubbed branches. There is included bark creating weak structure. I would estimate that 20% of the tree's crown is composed of dead wood. The foliage size and color appear normal. The crown density is fair. The tree is in average condition. Rating: C

Tree #3 is a Quercus agrifolia or Coast Live Oak. The tree measures 9 and 12 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 15 feet from the tree's trunk. The spread of the tree is approximately 30 feet. The height of the tree is estimated to be roughly 30 feet tall. The tree is located west of Tree #2. It is situated on a steep uphill slope. The crown has been pruned and raised. The crown is balanced with minor asymmetry. It has co-dominant stems and included bark creating weak structure. The foliage size and color appear normal. The crown density is fair. I would estimate that approximately 30% of the tree's crown is composed of dead wood. The tree is in slightly below average health and condition. Rating: C-

Tree #4 is a Quercus agrifolia or Coast Live Oak. The tree measures 1, 2, 3, 5, 5, 6 and 11 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 15 feet from the tree's trunk. The spread of the tree is approximately 30 feet. The height of the tree is estimated to be roughly 30 feet tall. The tree is located west of Tree #3 on a steep uphill slope. It is a low-growing specimen. The crown is balanced with minor asymmetry. The foliage size and color appear normal. The crown density is normal. I would estimate that approximately 10% of the tree's crown is composed of dead wood. The tree is in above average health and condition. Rating: B-

Tree #5 is a Quercus agrifolia or Coast Live Oak. The tree measures 4, 7, 8, 9 and 10 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 20 feet from the tree's trunk. The spread of the tree is approximately 30 feet. The height of the tree is estimated to be roughly 45 feet tall. The tree is located downhill, northwest of Tree #4. It is situated on a steep hillside. It is a low-growing specimen. Included bark was observed on some of the branch attachments making the tree structurally weak. The tree is unbalanced and asymmetrical growing more to the north. The foliage size and color appear normal. The crown density is fair. I would estimate that approximately 10% of the tree's crown is composed of dead wood. The tree is in slightly above average health and condition. Rating: C+

Tree/Site Inspection-Continued

Tree #6 is a Quercus agrifolia or Coast Live Oak. The tree measures 8 and 11 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 17 feet from the tree's trunk. The spread of the tree is approximately 34 feet. The height of the tree is estimated to be roughly 40 feet tall. The tree is located uphill, southwest of Tree #5. It is situated on a steep hillside. There is a basal cavity on the west side of the tree. Bark tissue is exfoliating on the stems. It appears to be lightning damage. The tree is a low-growing specimen. The foliage size and color appear normal. The crown density is fair. The crown is balanced with minor asymmetry. The tree is in average health and condition. Rating: C

Tree #7 is a Quercus agrifolia or Coast Live Oak. The tree measures 9 and 12 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 18 feet from the tree's trunk. The spread of the tree is approximately 36 feet. The height of the tree is estimated to be roughly 50 feet tall. The tree is located downhill, north of Tree #6. It is situated on a steep hillside. The tree has 2 co-dominant stems and included bark tissue creating weak structure. The tree has multiple stems. It is a low-growing specimen. The crown is balanced with minor asymmetry. The foliage size and color appear normal. The crown density is fair. The tree is in above average health and condition. Rating: B-

Tree #8 is a Quercus agrifolia or Coast Live Oak. The tree measures 6 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 15 feet from the tree's trunk. The spread of the tree is approximately 15 feet. The height of the tree is estimated to be roughly 17 feet tall. The tree is located toward the middle of the west boundary fence line. The trunk is 5 feet east of the fence. The tree's bark tissue is cracking and exfoliating. The crown has been pruned and raised. The leaves are small and yellow or chlorotic in color. The crown density is sparse. The tree is unbalanced and asymmetrical growing west. The tree is in very poor health and condition. Rating: D-

Note: There are small Citrus, Sapote, Persimmon, Avocado and Arizona Ash trees growing on the site.

General Observations

The subject property is situated in a single family home residential neighborhood in the City of South Pasadena. The subject property is a vacant hillside lot. The nearby homes in the neighborhood are generally clean, landscaped and well maintained. The proposed project involves the construction of a new single-family, 2-story home with an attached ADU and basement. There are a total of 8 Coast Live Oak trees growing on the subject property. Based upon the proposed design it appears that one Coast Live Oak tree identified in this Arborist Report as Tree #5 is located within the house pad area where the retaining wall is located. Tree #5 would be required to be removed. The retaining wall on the south side of the project will encroach upon the dripline of Tree #6 however Tree #6 will be preserved. The other 6 remaining trees will not be impacted by this project.

Tree Protection Plan

Based upon my review of the proposed plans and inspection of the subject property I would recommend that the following tree protection measures be followed:

- 1) Tree protection fencing should be installed at the dripline of the protected trees Oak trees. This tree protection fencing must be 6 foot high chain-link fencing. Orange plastic safety fencing is recommended to be zip-tied to the chain-link fence for added visibility. Maintain tree protection fencing in a vertical upright position throughout the construction period.
- 2) Tree #5 Coast Live Oak is located within the area where the retaining wall and building pad will take place. The tree must be removed in order for the project to take place. A tree removal permit application must be filled-out and submitted with a copy of this Arborist Report.
- 3) Prohibit dumping of excess soil, concrete, mortar, stucco, paint and other foreign materials within the dripline of the trees.
- 4) Parking or storage of vehicles, equipment and building materials within the dripline of the trees is prohibited.
- 5) Pruning of Oak tree roots and branches must be performed by a licensed tree contractor under the supervision of an I.S.A. Certified Arborist. Pruning of roots and branches must comply with ANSI A-300 Pruning Standards and Best Management Practices. Oak Tree #6 will be encroached upon by the new retaining wall and house construction. Root pruning and branch pruning will be necessary.
- 6) Roots which are torn or damaged must be pruned with clean, sharp pruning tools back to the edge of the excavation area. The exposed edge of the excavation area where the roots were pruned should be covered with burlap and wetted in the morning and afternoon of each day until the area can be backfilled.
- 7) Should the City of South Pasadena approve your Oak Tree Removal Permit they will most likely require the planting of replacement trees on the subject property. The size, number and species of the replacement trees will be specified on the permit. The location, size and species of the replacement trees must be shown on your Landscape or Site Plan. I would recommend that at least 1-24 inch-box size Coast Live Oak tree be planted on the subject property to compensate for the removal of Tree #5.
- 8) Trees to be preserved should be monitored during construction by an I.S.A. Certified Arborist to ensure that these recommendations are being followed.

Summary/Conclusion

In conclusion, it is my professional opinion that it is possible to build the proposed single-family home with minimal impact to the majority of the protected Coast Live Oak trees. Based upon the proposed design it appears that Tree #5 is located inside the area where the retaining wall will be constructed. It is also within the proposed building footprint of the house pad. Tree #5 must be removed in order to build this single-family home. The retaining wall will also encroach upon the dripline of Tree #6 however it is possible to preserve the Oak if root and branch pruning is permitted. The other 6 Coast Live Oak trees will not be impacted by the proposed construction. Since Tree #5 is a protected Coast Live Oak, a tree removal permit is required. If the tree removal permit is approved, it will state the size, number and species of the replacement tree(s) to be planted on the subject property. I would recommend that at least 1-24 inch-box size Coast Live Oak be planted on the subject property. If the above stated Tree Protection Plan is followed during construction then the remaining 7 Oak trees on this site can be preserved and will add beauty and value to the subject property as well as the surrounding neighborhood for many years to come.

Limitations

Information contained in this report covers only those areas that were examined and reflects the condition of those areas at the time of inspection. The inspection was limited to visual examination of the accessible areas. Arboriculture is not an exact science and there is much that is still to be learned about trees. Observations and recommendations provided in this report reflect the latest research, knowledge and training available through university and professional research. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the tree or property in question may not arise in the future.

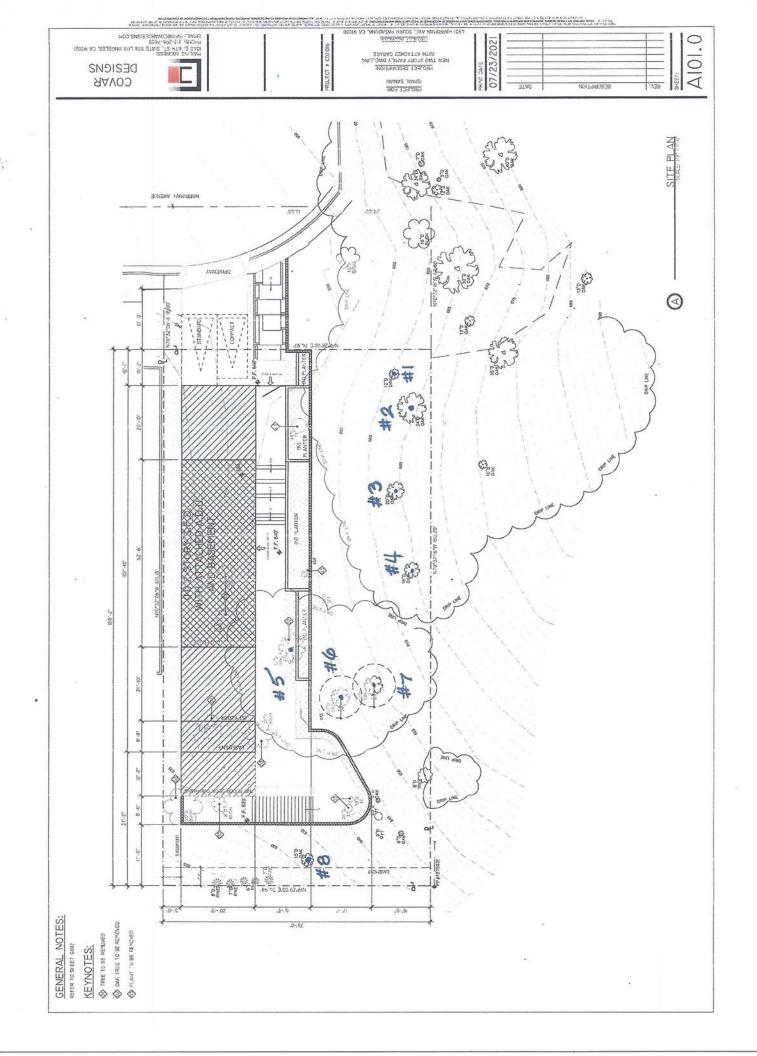
Thank you for the opportunity to serve you and your environmental and horticultural needs. If you have any further questions, please feel free to contact me during the day on my business cell phone at (818) 426-2432 or you may call and leave a message on my office phone at (818) 240-1358.

Yours truly,

William R. McKinley, Consulting Arborist American Society of Consulting Arborists

Certified Arborist #WE-4578A

International Society of Arboriculture



Curriculum Vitae

WILLIAM R. MCKINLEY - MCKINLEY & ASSOCIATES

1734 Del Valle Ave. Glendale, CA 91208 Email: william@mckinleyarborists.com Website: http://www.mckinleyarborists.com/ Work (818) 426-2432 Home (818) 240-1358

SUMMARY of QUALIFICATIONS

Practicing Consulting Arborist. Member of American Society of Consulting Arborists (ASCA). Certified Arborist, International Society of Arboriculture since September 30, 1999. I.S.A. Arborist #WE-4578A. Recognized Oak Tree Expert throughout Southern California. Prepare arborist reports for developers, homeowners and attorneys. Assess the landscape value of trees. Assess and identify hazardous trees in the landscape. Provided hillside and Oak Woodland landscape and irrigation recommendations. Provide expert witness testimony on arboriculture related cases. Public speaker and presenter at community service group meetings, homeowner's association meetings and speaker at professional seminars and conferences. Presenter at Trees, People and Our Urban Environment Seminar, March 2002. Arbor Day Guest Speaker, City of Glendale, March 2005. Tree City USA Award Presenter — Glendale Arbor Day 2010, Tree City USA Award Presenter — Glendale, March 2014.

FULL TIME EMPLOYMENT HISTORY

City of Glendale, Parks, Recreation & Community Services

Park Services Manager-Contract Administration

2001-present

Performs contract administration for Park Services Section. Manage grounds maintenance for sports fields, community buildings, parks, medians, and historic areas. Administers the City's landscape maintenance contract. Writes contract specifications. Administers the bidding process. Awards contracts to successful bidders. Conducts construction meetings and oversees the construction and inspection for these projects. Performs and assumes all former duties and responsibilities under the former Administrative Analyst position. Writes arborist reports. Hazardous tree assessment. Serves as expert witness in tree related cases.

Administrative Analyst

1988-2001

Administer landscape maintenance contract for medians, reservoirs, pump houses and misc. areas. Administer and supervise the Division's Work Management System involving the scheduling and tracking of work and performance of over 50 full-time employees. Supervise one part-time data entry employee and supervise and coordinate with the California Conservation Corps, Boy Scouts and other community service volunteers in the parks. Supervise, monitor and report water and utility usage in the parks. Administer and supervise all tree planting projects and programs including the Arbor Day and Urban Forest Donation programs. Assist with budget preparation and acquisition of capital equipment. Prepare Capital Improvement Project specifications and assist with administering contracts. Administer the City of Glendale's Indigenous Oak Tree Ordinance. Coordinate with Planning, Permit Services, Engineering, Building, Neighborhood Services and Fire Department to insure the care and protection of trees, both during and after construction. Review grading, construction, landscape and irrigation plans. Modify and approve plans as necessary to protect indigenous trees. Perform field inspections on hazardous trees and make recommendations to park staff and the public. Serve as code enforcement officer and paralegal during Administrative Office Hearings regarding Indigenous Oak Tree Ordinance. Perform tree and landscape appraisals. Served as special show and marketing consultant to the Glendale Rose Pruning and Garden Show Committee.

Assistant Planner-Parks

1983-1988

Assisted in park inventory development and implementation of the Work Management System. Served as guest speaker at the National Parks and Recreation Conference on the subject of computers and their role in park maintenance. Supervised the Capital Improvement Project Construction at Pacific Park and Brand Park. Coordinated with and supervised California Conservation Corps. Crews in planting, staking and tying hundreds of trees as part of the Arbor Day Program. Served as Arbor Day Co-Chairman, Glendale Rose Pruning & Garden Show Co-Chairman and President of Glendale Beautiful. Served as Ways and Means Chairman C.P.R.S. District XIV.

EDUCATION

1983

California Polytechnic University, Pomona

Bachelor of Science Degree, Park Administration

Graduated Magna Cum Laude, Grade Point Average: 3.57

1983-Present

CEU's-University of California, Landscape Contract Maintenance, Hazardous Tree Identification & Assessment, Specimen Tree Appraisal, Advanced Tree Appraisal Theory and Practice. Tree and Landscape Liability – Trees and the Law. Oak Tree Symposium Graduate. Knowledge of oak tree physiology and native plant habitat. ASCA 2007 Consulting Academy, National Arbor Day Foundation Graduate. Symposiums: Construction Around Trees: Trees and the Law. Recognized Tree Expert: City of Los Angles, County of Los Angeles, City of Pasadena, City of La Canada Flintridge, City of

Burbank. City of Calabasas. County of Ventura, City of Santa Clarita.

HONORS & ACTIVITIES

1999 - Present - Certified Arborist-International Society of Arboriculture

1996-1999 - Secretary/Treasurer, C.P.R.S. Park Operations Section

1994-1995 - President, C.P.R.S. District XIV

1994-1995 - Treasurer, Glendale Beautification Advisory Council

1992-1994 - Treasurer, C.P.R.S. District XIV

1993, 1994, 1995 C.P.R.S. Park Operations Scholarship

First, Second and Third Year, Graduate, Pacific Southwest Maintenance Mgmt. School

1988-1990 - President, Glendale Beautiful

1980, 1981 - Twice placed on Dean's Honor List

1982 - Who's Who in American Colleges and Universities

1978 - Recipient of Wayne Striker Memorial Scholarship

1975 - Awarded Eagle Scout Rank, Boy Scouts of America

Member - American Society of Consulting Arborists (ASCA)

Member - International Society of Arboriculture

Member - Western Chapter, International Society of Arboriculture

Member - Glendale Beautiful

Past Member - National Arbor Day Foundation

Past Member - California Oak Foundation

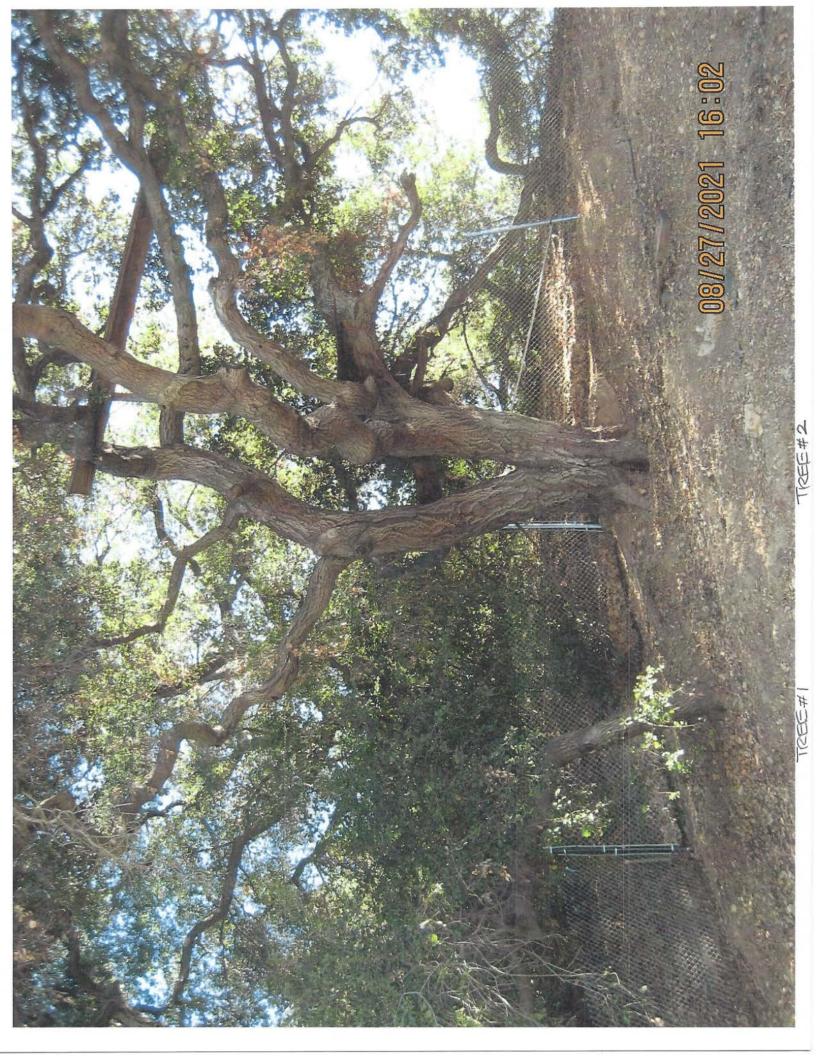
REFERENCES

Randall S. Stamen, Attorney/Arborist Susan & Gary Sims, Sims Tree Specialists Peter & Diana Harnisch, Harnisch Tree Care

(951) 787-9788 (951) 685-6662 (626) 444-7997

PROFESSIONAL SERVICE FEE

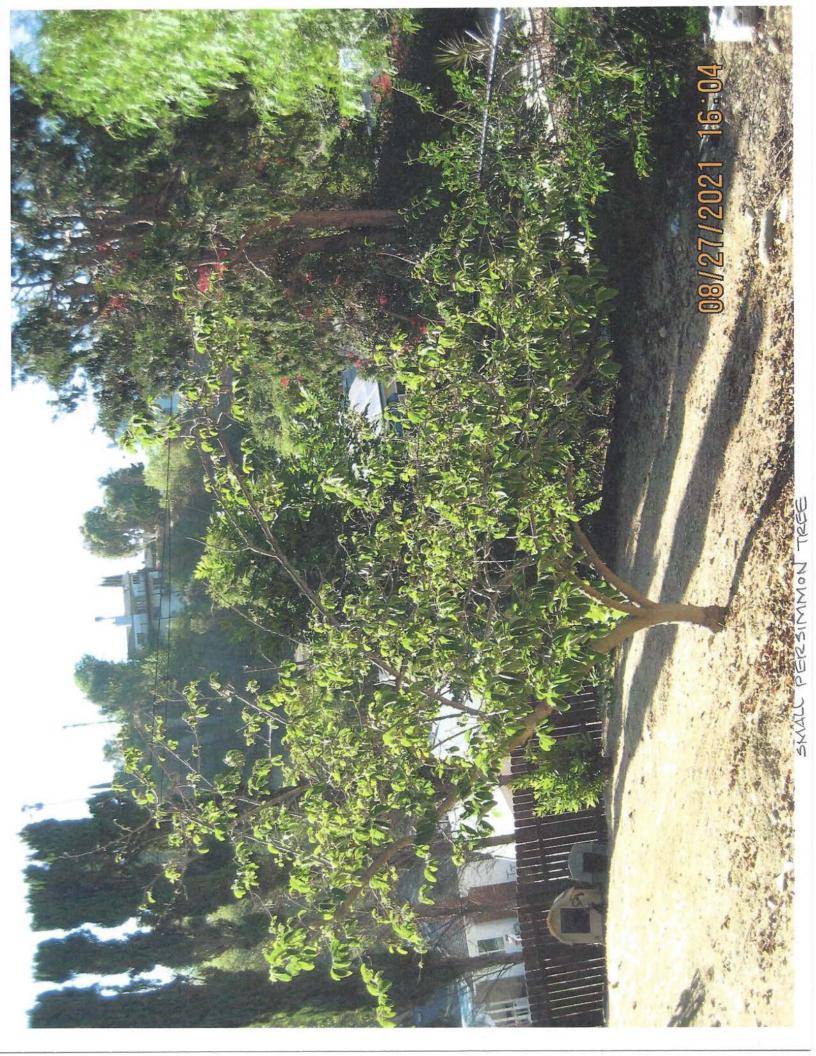
Site Inspection - \$100.00 per hour Consultation - \$125.00 per hour Arborist Report - \$150.00 per hour Public Hearing - \$200.00 per hour Arbitration - \$225.00 per hour Deposition - \$250.00 per hour Court Witness - \$350.00 per hour

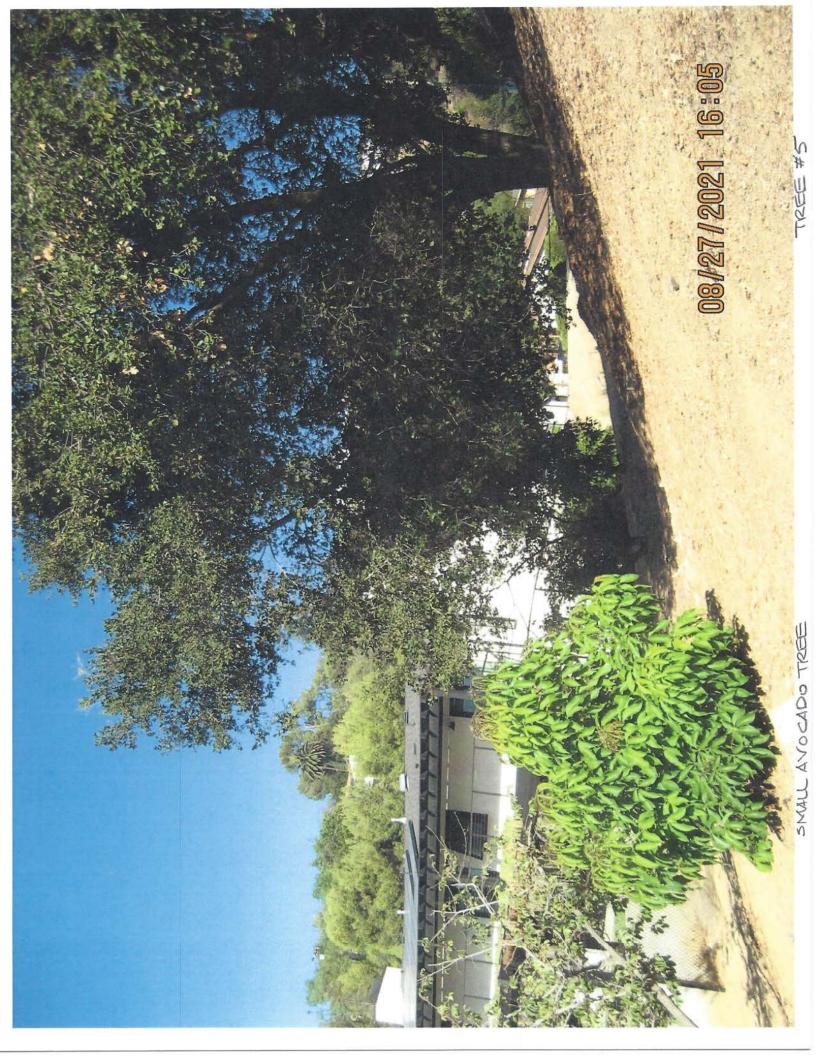


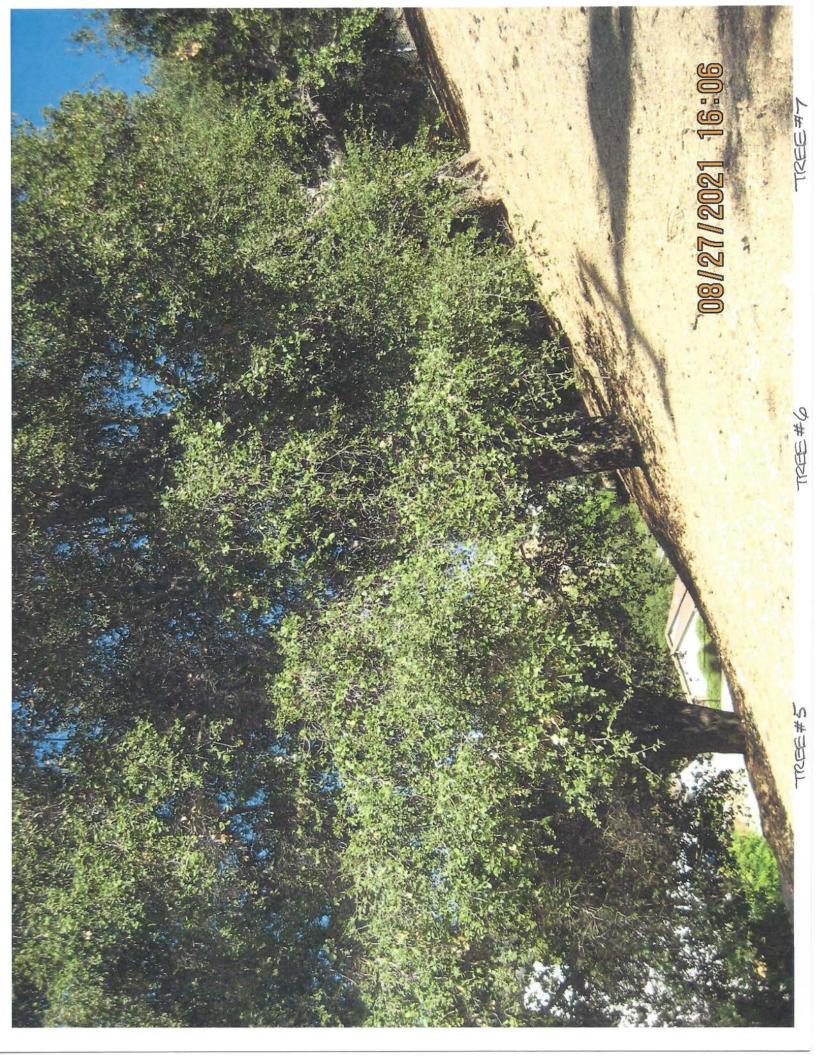














ATTACHMENT 6

Parcel Merger Exhibit

EXHIBIT "B" PARCEL MERGER LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 18 TOGETHER WITH THE SOUTHERLY 25 FEET OF LOT 19 BLOCK 105, PASADENA VILLA TRACT, IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 5 TO 8 OF MAPS FILED IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

APN: 5312-016-017, 5312-016-016

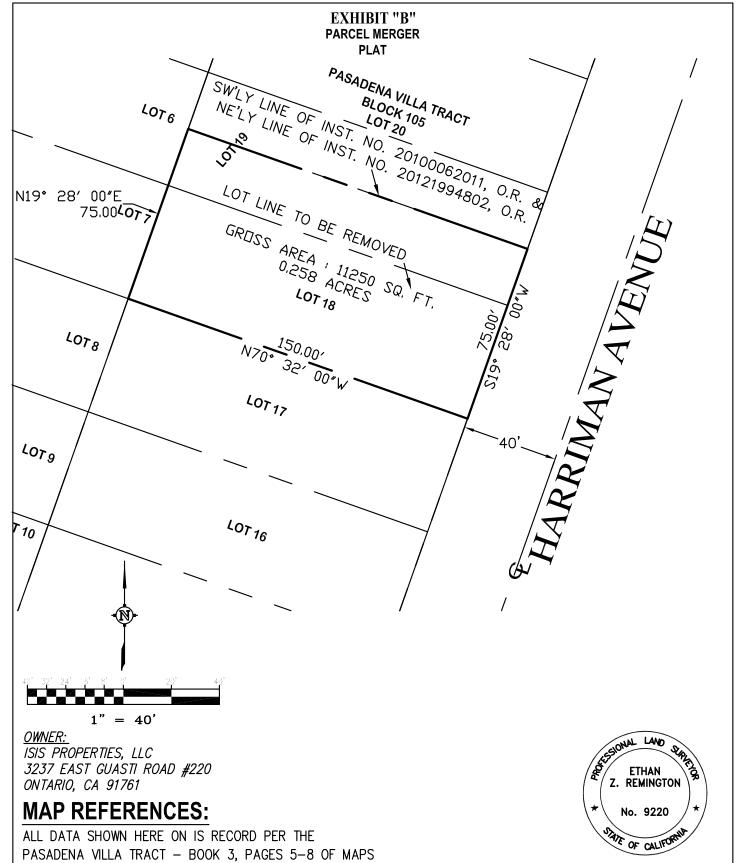




EZR SURVEYING LLC

LAND SURVEYING SERVICES HUNTINGTON BEACH, CA 760-710-9800 PAGE 1 OF 2 PREPARED JUNDER THE SUPERVISION OF:

ETHAN Z. REMINGTON, L.S. 9220 DATE: FEBRUARY 27, 2020





EZR SURVEYING LLC

LAND SURVEYING SERVICES HUNTINGTON BEACH, CA 760-710-9800 PAGE 2 OF 2
PREPARED UNDER THE SUPERVISION OF:

ETHAN Z. REMINGTON, L.S. 9220

DATE: FEBRUARY 27, 2020

ATTACHMENT 7

Link to: Geotechnical Report

Link to: Constraints Analysis

ATTACHMENT 8

Link to: Architectural Plans & Renderings