



**CITY OF SOUTH PASADENA
PLANNING COMMISSION**

**AGENDA
REGULAR MEETING
TUESDAY, JANUARY 9, 2024 AT 6:30 P.M.**

**AMEDEE O. "DICK" RICHARDS JR. COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

South Pasadena Planning Commission Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Planning Commission Meeting will be conducted in-person from the Amedee O. "Dick" Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/83530439651> **Meeting ID: 8353 043 9651**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in the following methods below.

- Go to the Zoom website, <https://Zoom.us/join> and enter the Zoom meeting information; or
- Click on the following unique Zoom meeting link:
<https://us02web.zoom.us/j/83530439651>

- CALL TO ORDER:** Chair Laura Dahl
- ROLL CALL:** Chair Laura Dahl
Vice-Chair Lisa Padilla
Commissioner Amitabh Barthakur
Commissioner John Lesak
Commissioner Arnold Swanborn
- COUNCIL LIAISON:** Councilmember Jon Primuth

APPROVAL OF AGENDA
Majority vote of the Commission to proceed with Commission business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS
Disclosure by Commissioners of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT GUIDELINES (Public Comments are limited to 3 minutes)

The Planning Commission welcomes public input. If you would like to comment on an agenda item, members of the public may participate by one of the following options:

Option 1:
Participate in-person at the Council Chambers, 1424 Mission Street, South Pasadena.

Option 2:
Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:
Email public comment(s) to PlanningComments@southpasadenaca.gov. Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Planning Commission meeting.

NOTE: Pursuant to State law, the Planning Commission may not discuss or take action on issues not on the meeting agenda, except that members of the Planning Commission or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT

1. **Public Comment – General (Non-Agenda Items)**

CONSENT CALENDAR ITEMS

2. **Minutes from the Regular Meeting of September 14, 2021**
3. **Minutes from the Regular Meeting of October 12, 2021**
4. **Minutes from the Regular Meeting of November 9, 2021**
5. **Minutes from the Special Meeting of November 15, 2021**
6. **Minutes from the Regular Meeting of December 14, 2021**
7. **Minutes from the Special Meeting of July 26, 2022**
8. **Minutes from the Regular Meeting of September 13, 2022**

PUBLIC HEARING – CONTINUED ITEM

9. **Project No. 2500-HDP/DRX/VAR/PM/TRE** – The proposed project is for a Hillside Development Permit (HDP) and Design Review Permit (DRX) for the construction of a new 3,214-square-foot, two-story, single-family dwelling along with a Parcel Merger (PM) application of the two existing lots within the Southwest Monterey Hills area, located at 4931 Harriman Avenue (APN: 5312-016-016 & 5312-016-017). The project includes two Variance (VAR) requests: 1) for a side yard setback of five feet in lieu of required seven feet and six inches, and 2) for an attached garage in front of the main structure. The project includes a Tree Removal Permit (TRE) for the removal four (4) trees. In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15303, Class 3 (New Construction or Conversion of Small Structures).

Recommendation:

Staff recommends that the Planning Commission continue this item to the February 13, 2024 Planning Commission meeting.

PUBLIC HEARING

10. PROPOSED ZONING TEXT AMENDMENT – The Planning Commission will review and make a recommendation to City Council to adopt proposed amendments to South Pasadena Municipal Code (SPMC) Chapter 36 (Zoning) related to increased density by rezoning certain parcels identified in the Housing Element Sites Inventory (Table VI-50 Site 3 and Site 6) to be consistent with the 2021-2029 (6th Cycle) Housing Element. The affected parcels are Site 3 (APNs 5311-010-001, 5311-010-002, and 5311-015-035) and Site 6 (APN 5311-012-040) in the Residential Medium Density (RM) zone and to allow up to 30 dwelling units per acre for said parcels. The environmental impacts anticipated were analyzed in accordance with California Environmental Quality Act (CEQA). An Environmental Assessment (EA) was prepared and adopted by City Council on May 30, 2023 and a Program Environmental Impact Report (PEIR) was prepared and adopted by City Council on September 27, 2023.

Recommendation:

Staff recommends that the Planning Commission continue this item to a future meeting date to be determined.

11. Project No. 2495-NID/DRX/CUP – A request for a Notice of Intent to Demolish (NID) a 643-square-foot convenience store and a 1,221-square-foot repair garage; a Design Review Permit (DRX) to construct a 1,981-square-foot convenience store with a trash enclosure; and a Conditional Use Permit (CUP) for off-sale beer and wine at 1400 Mission Street (APN: 5315-002-030). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15302, Class 2 (Replacement or Reconstruction) and Section 15303, Class 3 (New Construction or Conversion of Small Structures).

Recommendation:

Staff recommends that the Planning Commission adopt a Resolution taking the following actions:

1. Finding the project exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction and Section 15303, Class 3 – New Construction or Conversion of Small Structures.
2. Approve Project No. 2495-NID/DRX/CUP, subject to the recommended conditions of approval.

ADMINISTRATION

- 12. Comments from City Council Liaison
- 13. Comments from Planning Commissioners
- 14. Comments from Staff

ADJOURNMENT

- 15. Adjourn to the Regular Planning Commission meeting scheduled for February 13, 2024.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Planning Commission meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/planning-commission/test-planning-commission-agendas-minutes-copy>

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk's Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

1/4/2024

Date

Robert (Dean) Flores, Senior Planner



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, September 14, 2021, 6:30 PM**

Via In-Person Hybrid Meeting

CALL TO ORDER

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, September 14, 2021 at 6:30 p.m. The meeting was held via in-person hybrid and Zoom teleconference.

ROLL CALL

Chair: John Lesak

Commissioners: Laura Dahl, Amitabh Barthakur and Janet Braun (via Zoom)

Commissioners Absent: Lisa Padilla

STAFF PRESENT

Andrew L. Jared, Assistant City Attorney

Margaret Lin, Acting Planning & Community Dev. Director

Malinda Lim, Long Range Planning Manager Planner

APPROVAL OF AGENDA

Agenda approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Commissioner Dahl visited 89 Monterey Road. Chair Lesak drove by 1818 Peterson Avenue.

PUBLIC COMMENT:

Josh Albrektson brought up new legislation that had passed and concerns about the City's ADU numbers.

Steve Martin, Applicant for a microbrewery project denied at the last Planning Commission meeting, expressed concerns with the definition of a microbrewery in the City Code, which definition was to be revisited per the last Planning Commission meeting, and requested his item be put on an upcoming agenda for reconsideration after the change to the definition.

PUBLIC HEARING:

1. **1818 Peterson Avenue, Project No. 2380-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, Variances, Accessory Dwelling Unit, and Tree Permit to allow the construction of a 1,231-square-foot, multi-level single-family home with a 504-square-foot ground floor garage (of which 4 feet is attributed to the living area) and an attached 495-square-foot JADU on a vacant 3,740-square-foot lot. The variances include a reduction of the site to be remediated to its natural slope and vegetation, reduction in the front setback, and to allow retaining walls to exceed 6 feet in height. The Tree Removal Permit is for the removal of 8 trees (Continued).**

Commissioner Dahl recused herself as her residence is within 1,000 ft. of the project site and left the Chamber.

Staff Presentation:

Associate Planner Lim presented the project.

Staff Recommendation:

Approve as submitted by Staff.

Questions for Staff:

Chair Lesak asked about the geotechnical report. Long Range Planning Manager Lim replied that it could be found in the agenda packet of the original submission.

Applicant's Presentation:

Applicant Whipple presented the project.

Questions for Applicant:

Commissioner Barthakur asked about the stability of the hillside. Applicant Whipple replied that geological surveys and structural engineering reports had been completed to ensure safety. Chair Lesak asked about the materials selection. Applicant Whipple replied that the Applicant preferred the wider roofing materials. Chair Lesak asked about the treatment of the retaining walls. Applicant Whipple replied it would be stucco. Chair Lesak asked about the doors and windows. Applicant Whipple replied they would have a clad wood finish with aluminum railings.

Public Comment:

Attorney Jared remarked that there was a technical issue regarding the posted agenda. The posted agenda includes an incorrect Zoom link and discussed options with the Commission.

Elisabeth Emirhanian, resident and neighbor, supported the project but expressed concern for the stability of the hillside.

Paul Yrisarri, resident and neighbor, expressed concerns about hillside stability and retaining walls that may be required.

Decision:

On the advice of Assistant City Attorney Jared, Chair Lesak motioned, seconded by Commissioner Barthakur, to continue this item to October 12th and keep the Public Hearing open for additional Public Comment, rebuttal and final action, due to an error in noticing.

Chair Lesak called a Roll Call vote:

| | |
|------------------------|-----|
| Commissioner Braun | No |
| Commissioner Barthakur | Yes |
| Chair Lesak | Yes |

Motion carried, 2-1.

Decision:

Chair Lesak motioned, seconded by Commissioner Braun, to reopen Public Comment – General at this time.

Chair Lesak called a Roll Call vote:

| | |
|------------------------|-----|
| Commissioner Braun | Yes |
| Commissioner Barthakur | Yes |
| Chair Lesak | Yes |

Motion carried, 3-0.

Commissioner Dahl returned to the meeting.

General Public Comments were reopened to allow Mr. Martin to speak.

Assistant City Attorney Jared remarked that the Commission has the same noticing issue with Item 2.

2. **89 Monterey Rd, Project No. 2197-HDP/DRX/VAR - Hillside Development Permit, Design Review and a Variance, to allow the construction of a 2,315 square-foot multilevel single-family home with a detached garage (APN: 5312-031-027)**

Chair Lesak recused himself as his residence is within 1,000 feet of the project site and handed the meeting to Commissioner Dahl to Chair the meeting for this item. Chair Lesak left the Chamber.

Acting Chair Dahl asked for the Applicant's input and if they would like to proceed.

Peter Gonzalez, SC Planners, representing the Applicant, expressed frustration with the lack of progress on this item since 2018 and highlighted the many delays, the turnover in staffing, the significant costs incurred and the major impact the City's inefficiencies have had on the Applicants and residents of the City. On behalf of the Applicant, due to the noticing error, the Applicant would like to continue this item to the next meeting.

Public Comment:

None.

Decision:

Acting Chair Dahl motioned, seconded by Commissioner Barthakur, to continue this item to the next Planning Commission Meeting on October 12, 2021.

Chair Lesak called a Roll Call vote:

| | |
|------------------------|-----|
| Commissioner Braun | No |
| Commissioner Barthakur | Yes |
| Chair Lesak | Yes |

Motion carried, 2-1.

Chair Lesak returned to the meeting.

ADMINISTRATION

3. **Comments from City Council Liaison:**

None.

4. Comments from Commissioners:

Commissioner Braun thanked the current Planning Staff but expressed frustration on behalf of the Applicant for the delays they have experienced.

Chair Lesak remarked that he found the hybrid format challenging and suggested finding a way to simplify the digital agenda packet and perhaps include this item as an agenda calendar item. He also reminded the Commission of a recent discussion regarding a possible Commission retreat.

5. Comments from Staff:

Acting Director Lin provided an update on the Housing Element timeline.

ADJOURNMENT

6. Adjournment to the Planning meeting scheduled on October 12, 2021 at 6:30 PM.

There being no further matters, Chair Lesak adjourned the meeting at 7:46 P.M.

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, October 12, 2021, 6:30 PM**

Via In-Person Hybrid Meeting

CALL TO ORDER

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, October 12, 2021 at 6:30 p.m. The meeting was held via in-person hybrid.

ROLL CALL

Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Laura Dahl, Janet Braun

STAFF PRESENT

Andrew L. Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Elizabeth Bar-El, Long Range Principal Management Analyst
Malinda Lim, Associate Planner

COUNCIL

Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA

Chair Lesak motioned to approve the agenda as submitted.

Motion carried, 4-0

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Vice-Chair Padilla visited the sites on Peterson Avenue and Monterey Road. Commissioner Dahl visited 89 Monterey Road. Chair Lesak visited all three sites.

PUBLIC COMMENT:

None

PUBLIC HEARING:

- 1. 1818 Peterson Avenue, Project No. 2380-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, Variances, Accessory Dwelling Unit, and Tree Permit to allow the construction of a 1,231-square-foot, multi-level single-family home with a 504-square-foot ground floor garage (of which 4 feet is attributed to the living area) and an attached 495-square-foot JADU on a vacant 3,740-square-foot lot. The variances include a reduction of the site to be remediated to its natural slope and vegetation, reduction in the front setback, and to allow retaining walls to exceed 6 feet in height. The Tree Removal Permit is for the removal of 8 trees (Continued).**

Commissioner Dahl recused herself as her residence is within 1000 ft. of the project site.

Recommendation:

Approve as submitted by staff.

Staff Presentation:

Associate Planner Lim presented the project.

Questions for Staff:

Vice-Chair Padilla asked for clarification on the 20 ft. right-of-way. Associate Planner Lim replied that it was there to widen the street and meet requirements for street length.

Applicant Presentation:

Applicant Darby Whipple opened himself to questions.

Questions for Applicant:

Chair Lesak asked if the applicant would use solar panels. Applicant Whipple replied that was the intention but due to issues with Tesla it might not happen.

Public Comment:

None.

Commissioner Discussion:

Commissioner Braun supported the project.

Vice-Chair Padilla thought that the project was very specific and requested staff to make sure the applicant did not have to build a sidewalk.

Chair Lesak agreed with the other commissioners.

Motion:

Commissioner Braun motioned to approve the project as submitted.

Vice-Chair Padilla seconded.

Motion carried, 4-0

2. 89 Monterey Rd, Project No. 2197-HDP/DRX/VAR - Hillside Development Permit, Design Review and a Variance, to allow the construction of a 2,315 square-foot multilevel single-family home with a detached garage (APN: 5312-031-027)

Chair Lesak recused himself due to his residence being within 1,000 ft. of the project site.

Recommendation:

Approve as submitted by staff.

Staff Presentation:

Associate Planner Lim presented the project.

Questions for Staff:

Commissioner Braun asked if this should be a Short Way or Monterey Road address. Associate Planner Lim replied it could be either. Commissioner Braun asked if the garage was on stilts. Associate Planner Lim replied the applicant could answer that.

Commissioner Dahl asked why the address has not been changed to Short Way. Associate Planner Lim replied it was up to the applicant. Commissioner Dahl asked about the floor area ratio (FAR) regarding the garage. Associate Planner Lim replied it was not counted.

Questions for Applicant:

Applicant gave a brief history of the project, noting it is narrow and very steep.

Commissioner Dahl asked if the retaining wall will be upgraded. Applicant replied that it will be stucco to match the exterior of the house. Commissioner Dahl asked if that will happen to all the walls. Applicant confirmed that. Commissioner Dahl asked about the landscaping. Applicant replied they will not touch it. Commissioner Dahl asked if the drainage pipes would be removed. The Applicant confirmed that.

Vice-Chair Padilla asked about the construction access. The Applicant replied they were fully aware of the challenges.

City Attorney Jared added that the Building Division would have some oversight on the address change.

Commissioner Discussion:

Commissioner Braun floated the idea of adding the address change as a condition.

Commissioner Dahl brought up concerns about construction due to how narrow Short Way is. Applicant replied that construction will go on both streets but some materials will have to go through Short Way, but clean up can go out Monterey Road. Commissioner Dahl asked if the carport had to be removed. Applicant replied it did not. City Attorney Jared added that the Applicant will self-condition and change the address to Short Way.

Vice-Chair Padilla mentioned that on any hillside construction the same concerns will be brought up and suggested that the Applicant notify their neighbors of when heavy work will be done.

Commissioner Dahl brought up that every house built on a slope needs a variance and potentially the code needs to be changed. Vice-Chair Padilla agreed, noting Chair Lesak brought this up on the previous site (Where Commissioner Dahl had been recused).

Discussion about coordination of construction sites.

Motion:

Commissioner Dahl motioned to approve the project with amendments to include two construction signs.

Commissioner Braun seconded the motion.

Motion carried, 3-0.

3. 619 Indiana Terrace, Project No. 2218-HDP/DRX/TRP - Hillside Development Permit, Design Review, Variance, and a Tree Removal Permit to allow the construction of a 4,234 square-foot multi-level single-family home with a detached garage (APN: 5314-005-021)

Recommendation:

Continue this item to the next regularly scheduled meeting on November 9, 2021.

Motion:

Chair Lesak motioned to continue this item to the meeting on November 9, 2021.

Vice-Chair Padilla seconded.

Motion carried, 4-0

DISCUSSION

4. Release of the 2021-2029 Public Review Draft General Plan Housing Element

Staff Presentation:

Principal Management Analyst Bar-EI presented the update.

Recommendation:

Receive staff's presentation and discuss the review process for the Public Review Draft General Plan Housing Element.

Questions for Staff:

Commissioner Braun asked if SB 9 and SB 10 were going to be added to the document. City Attorney Jared thought that SB 9 was going to have the largest impact, but it was important to have it be a focus point of discussion. Commissioner Braun thought that South Pasadena should not roll over on all the orders coming from the legislature.

Vice-Chair Padilla asked what the consequence for ignoring SB 9 would be.

Analyst Bar-EI added that the City could still meet the cycle by rezoning within a year of the October deadline. City Attorney Jared added that HCD can impose measures and introduce litigation.

Vice-Chair Padilla asked what type of input the City asked from residents. Analyst Bar-EI replied that the presentations being provided were highly summarized versions of the entire element.

City Attorney Jared made some minor date corrections to the Housing Element.

Commissioner Dahl asked how public comments will be incorporated. Analyst Bar-EI replied that all comments will be added into the final draft that will go before HCD. Commissioner Dahl asked what would happen if HCD rejected the element. Analyst Bar-EI replied that the City will be in contact with HCD during the 60 days review period to make revisions.

Chair Lesak asked what type of community outreach is being done. Analyst Bar-EI replied that the public can email in comments.

Public Comment:

Josh Albrektson brought up concerns about ADUs, hillside development, IHO, and HCD comments.

City Attorney Jared mentioned that this type of comment was suited for the 60-day public comment period. Commissioner Braun asked when the time for the comment would be. City Attorney Jared replied it should be on the 9th and 15th. Commissioner Braun asked whether comments like these would be noted or discussed. Analyst Bar-EI replied that all comments will be sent to the draft. Commissioner Braun asked if it would be a hearing or a debate. Analyst Bar-EI replied it could be made more informal, like a discussion.

ADMINISTRATION

5. Comments from Council Liaison

Mayor Mahmud brought up AB 2283 and asked that the City require that storm water be retained. Mayor Mahmud mentioned that number of housing bills passed by the state legislature and a possible joint meeting with City Council. Mayor Mahmud suggested that an explanation of the RHNA imposed numbers be created.

6. Comments from Commissioners

Commissioner Braun thanked Mayor Mahmud for her work with the environmental group and asked people to contact their state representatives.

Vice-Chair Padilla brought up difficulty in reading the agenda packet due to multiple last-minute changes. Commissioner Dahl echoed those concerns.

Chair Lesak brought up concerns about lack of environmental regulation on new construction.

7. Comments from Staff

Director Frausto-Lupo thanked the commission, welcomed Deputy Director Lin and let the Commission know that Associate Planner Lim will be leaving the City.

ADJOURNMENT

8. Adjournment to the Special Planning Commission meeting scheduled for November 9, 2021 at 6:30 PM.

There being no further matters, Chair Lesak adjourned the meeting at 9:34 P.M

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, November 9, 2021, 6:30 PM**

Via In-Person Hybrid Meeting

CALL TO ORDER

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, November 9, 2021 at 6:30 p.m. The meeting was held via in-person hybrid.

ROLL CALL

Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Amitabh Barthakur, Janet Braun, and Laura Dahl

STAFF PRESENT

Andrew L. Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Elizabeth Bar-El, Principal Management Analyst
Jeff Hamilton, Contract Planner

COUNCIL

Council Liaison: Diana Mahmud, Mayor

APPROVAL OF AGENDA

Chair Lesak motioned to approve the agenda as submitted

Motion carried, 5-0

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Commissioner Braun drove by both sites. Vice-Chair Padilla visited the Indiana Terrace site.

PUBLIC COMMENT:

None

PUBLIC HEARING:

1. **619 Indiana Terrace, Project No. 2218-HDP/DRX/TRP - Hillside Development Permit, Design Review, Variance, and a Tree Removal Permit to allow the construction of a 4,234 square-foot multi-level single-family home with a detached garage (APN: 5314-005-021)**

Staff Presentation:

Contract Planner Hamilton presented the project.

Recommendation:

Approve as submitted by staff.

Questions for Staff:

Vice-Chair Padilla asked about a reference to a JADU in the drawings. Contract Planner Hamilton replied that it was a remnant of another project.

Commissioner Dahl asked if Contract Planner Hamilton had visited the site in the 2 year interim since the arborist report was done. Contract Planner Hamilton had not. Commissioner Dahl asked where in the conditions the protected trees outlined in the arborist were. Contract Planner Hamilton replied it was in condition P-8.

Commissioner Barthakur clarified that 9 trees were being removed, 4 of which were protected. Contract Planner Hamilton replied that a few of the drawn trees were actually shrubs, and he counted 9 actual trees. Commissioner Barthakur clarified that only 9 flora classified as trees were being removed. Contract Planner Hamilton confirmed that.

Chair Lesak asked if a geotechnical report was provided. Contract Planner Hamilton replied that it was submitted to Public Works.

Public Comment:

Hussein Amiri lives at 617 Indiana Terrace and expressed concern that the large windows and balcony on the proposed project would infringe on his family's privacy.

Miriam Amiri lives at 617 Indiana Terrace and expressed concerns that the project has 14 openings facing her house, while the east side has only 6 openings. Further expressed concern that the two balconies overlook her backyard.

Commissioner Discussion:

Commissioner Barthakur expressed concern that the percent protections on the natural landscaping were arbitrary.

Commissioner Dahl asked if the commission can impose stricter construction hours than the zoning code. City Attorney Jared replied that unless a finding is made with evidence, the commission must follow the Municipal Code. Commissioner Dahl brought up a public comment on utility lines and retaining walls. Contract Planner Hamilton replied that the applicant was not going to remove any retaining walls. Commissioner Dahl asked for confirmation that the utility lines were not disturbed. Contract Planner Hamilton replied that the Building and Safety Division carefully monitors construction. Commissioner Dahl requested the applicant to voluntarily reduce the construction hours.

Vice-Chair Padilla thought the trees were protected. She brought up the rise of glass railings as birds crash into them often. She asked what the entertainment room was, and if the applicant would consider stepping the terrace back over the garage.

Commissioner Braun brought up the large FAR variance, the 12 ft. high retaining wall, and lack of communication with neighbors.

Chair Lesak thought that the privacy issue was a major concern and was unsure that an approval could be made at this time.

Vice-Chair Padilla brought up the large driveway, guest parking, and the kitchen in the entertainment room as plans for a possible ADU development.

Chair Lesak mentioned that the drawings did not include the neighboring developments.

The commission encouraged the applicant to build an ADU and did not feel they could make a recommendation without hearing from the applicant.

Commissioner Braun asked that neighbor outreach be included in the motion.

Motion:

Chair Lesak motioned to continue the item and request clarification on the retaining wall, orientation of the windows, and orientation of the terrace, noise generating items, JADU, and entertainment room.

Commissioner Braun seconded.

Motion carried, 5-0

2. **1502 Indiana Avenue, Project No., 2319-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, two Variances, Accessory Dwelling Unit and a Tree Removal Permit to construct a 2,468 square-foot multi-level single family home with an attached 500 square-foot junior accessory dwelling unit and removal of 10 trees on an undeveloped hillside lot. (APN: 5314-006-020)**

Recommendation:

Continue this item to the Special Meeting scheduled on November 15, 2021.

Motion:

Chair Lesak motioned to continue this item to the Special Meeting scheduled on November 15, 2021.

Motion carried, 5-0.

DISCUSSION

3. **Release of the 2021-2029 Public Review Draft General Plan Housing Element**

Staff Presentation:

Analyst Bar-El presented the Element.

Recommendation:

The Planning Commission is to provide comments and suggestions to staff to revise the Public Review Draft Housing Element, 2021-2029 in preparation for the final draft.

Public Comment:

Sean Mann, member of the Southwest Regional Council of Carpenters asked that the city use local skilled workers to build housing for the Housing Element.

Samantha Hill asked if the City is taking any steps to apply for state-level housing grants.

Josh Albrektson asked the commission to review the City's ADU numbers at the 11/15 meeting after HCD makes a decision regarding Oxnard, who has similarly high numbers.

Jason Green requested the city to use local skilled workers to build housing.

Commissioner Discussion:

Commissioner Braun asked what the new timeline for approval would be. City Attorney Jared replied that the timeline has not changed but there is slightly more breathing room.

Commissioner Barthakur mentioned that HCD comments on other cities were very critical of low-income projects that were to be built on non-vacant sites. City Consultant from Placeworks confirmed there is a higher bar for redevelopment but the City decided to do outreach to those sites. Commissioner Barthakur asked if HCD asked for regional trends. City Consultant confirmed that. Commissioner Barthakur asked how the City was going to meet its affordability goal. City Consultant replied that there was going to be 100% affordable housing built. Commissioner Barthakur asked what HCD was going to look at. City Consultant replied that HCD looks at owner's interest, distance from transit, and sub-regional patterns.

Commissioner Dahl thought that the new deadline was October 15th, and the City needed to make zoning code amendments. Commissioner Dahl asked if the zone changes will be added overlays to existing zoning. Analyst Bar-El replied that some projects will need rezoning, not just an overlay. Commissioner Dahl asked how the City will handle neighborhood opposition to the sites. City Consultant replied that all projects will go through the same hearings as usual.

Commissioner Dahl asked how ADUs were determined affordable or not. City Consultant replied it was based on a HCD approved SCAG study. Commissioner Dahl asked what the difference between planning and building permits. City Consultant replied that planning permits are a requirement to get a building permit.

Vice-Chair Padilla thought that the City needs to address staffing shortages for the 38 upcoming programs and the PC might need more meetings in 2022. Vice-Chair Padilla asked if there was only one hearing. Analyst Bar-El replied that was correct, but the Commission could schedule more meetings.

Vice-Chair Padilla mentioned that the Commission and residents should be prepared for higher, denser and lower quality developments to meet the RHNA requirements. City Attorney Jared clarified that the 45 ft. barrier won't be broken but some situations will happen.

Commissioner Braun thought that the community outreach was not being direct in what was happening with RHNA. Commissioner Braun asked for an update on the Caltrans housing.

City Attorney Jared added that many cities in SCAG are fighting against the numbers allocated to SCAG.

Commissioner Barthakur thought that with community outreach, mentioning the 1% of all plots were being considered would help. Chair Lesak thought that the City needs to go out to the residents, suggesting PTA meetings and the farmers market.

4. SB9 and SB10 Presentation

Staff Presentation:

City Attorney Jared presented the updates to the state law.

Public Comment:

Sean Mann asked the commission if there were any other meetings to comment on the Housing Element. Chair Lesak replied there was.

Alan E brought up ideas and suggestions regarding split-lots and asked where the water for the additional 2,000 units was coming from.

Josh Albrektson recommended the City take a look at SB 478.

City Attorney Jared replied that the City adopted an urban water plan and did not believe the City was going to run out of water anytime soon. City Attorney Jared added that if the lot was sufficiently large enough it could be split multiple times.

ADMINISTRATION

5. Comments from Council Liaison

Mayor Mahmud brought up that the City gets its water from wells in the SGV and discussed the City's process of purifying water. Mayor Mahmud added that tomorrow there is a Special City Council meeting on the capital improvement plan and redistricting. Mayor Mahmud added that only one of the LA County cities had begun litigation against HCD. She agreed with City Attorney Jared that SB 9 will not be hugely consequential but CHC needs to look at it. Mayor Mahmud was more concerned about the state of the water infrastructure, not the availability of water.

6. Comments from Commissioners

Chair Lesak requested that at some point the Commission look at the slope and natural vegetation requirements as well as the microbrewery project.

7. Comments from Staff

Deputy Director Lin reminded the public of upcoming outreach events and mentioned that the backlog is due to staff shortages.

ADJOURNMENT

8. Adjournment to the Special Planning Commission meeting scheduled on November 15, 2021 at 6:30 PM.

There being no further matters, Chair Lesak adjourned the meeting at 9:57 P.M

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Special Meeting Minutes
Monday, November 15, 2021, 6:30 PM**

CALL TO ORDER

A special meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Monday, November 15, 2021 at 6:32 pm. The meeting was held in-person hybrid and via Zoom, in the Amedee O. "Dick" Richards, Jr., City Council Chamber, located at 1424 Mission Street, South Pasadena, California.

ROLL CALL

Present: Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Laura Dahl and Janet Braun

Absent: Amitabh Barthakur

City Staff

Present: Andrew Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Lisa Krause, Contract Planner

Council

Present: Council Liaison Diana Mahmud, Mayor

Pledge of Allegiance: Chair Lesak

APPROVAL OF AGENDA:

Approved, 4-0.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS:

None.

PUBLIC COMMENT:

None.

CONTINUED HEARING:

1. **1502 Indiana Avenue, Project No. 2319-HDP/DRX/VAR/ADU/TRP – Hillside Development Permit, Design Review, two (2) Variances, Accessory Dwelling Unit and a Tree Removal Permit to construct a 2,468 square-foot multi-level single family home with an attached 500 square-foot junior accessory dwelling unit and removal of ten (10) trees on an undeveloped hillside lot (APN: 5314-006-020).**

Recommendation:

Approve as submitted by Staff.

Staff Presentation:

Contract Planner Krause presented a PowerPoint presentation.

Questions for Staff:

Vice-Chair Padilla inquired about the natural state percentage, which is lower now from the previous application.

Applicant's Presentation:

Applicant Anthony George presented a PowerPoint presentation and reviewed several elevations, providing detail and rationale regarding some of the choices and decisions made.

Questions for Applicant:

Commissioner Dahl inquired about the location of the 25 replacement trees required by the Public Works Department. Applicant George responded that the locations would be determined when the project is in plan check or getting Public Works approval.

Commissioner Dahl asked if the elevator goes only to the first floor of the main house. The Applicant confirmed that and noted it is a residential elevator that has all its equipment on the ground floor in a separate room behind the garage.

Commissioner Dahl remarked that the geotechnical report is stamped 'Draft' and inquired if there is a final report. The Applicant noted that a final report is usually generated once the drawings are submitted for plan check. In his experience, the geotechnical report will not change. However, if any significant changes were made, he would bring them back to the Planning Commission.

Public Comment:

None. However, there was a previous comment letter in May from Mr. Freeman of 511 Alta Vista.

Discussion:

Vice-Chair Padilla thanked the Applicant's architects for the informative presentation and for providing the rationale for several of the design decisions, materials choices and the slope discussion. She noted that many of the changes were responsive to the Commission's earlier concerns.

Commissioner Dahl expressed concern that this home is as large as it is given the steepness of the site, necessitating a large variance from the natural state requirement.

Commissioner Braun thought this was a much-improved project and appreciated the Applicant's explanation of why it would be almost impossible to meet the natural state percentage of 63 percent that would otherwise be required.

Chair Lesak commented that the application drawings do not show the neighboring property, which would show context. He appreciated the improvements to the project and the clarity of the drawings. He also appreciated Commissioner Dahl's comments. In general, given some of the other projects that have been approved, he would be in favor of the project.

The Commissioners and Staff discussed the differences between a Junior ADU and an ADU, including how they relate to the City's Regional Housing Needs Assessment (RHNA).

Vice-Chair Padilla revisited the issue of the natural slope percentages and asked if there is a way to tackle that issue in the 2022 or 2023 Work Plan. Chair Lesak noted that he requested to look at this issue in the first quarter in the Commissioner comments at the last meeting.

Decision:

Vice-Chair Padilla moved, seconded by Commissioner Dahl, to adopt a Resolution approving Project No. 2319-HDP/DRX/VAR/ADU/TRP for the construction of a 2,468 square-foot multi-level single family home with an attached 500 square-foot junior accessory dwelling unit and a two-car garage on an undeveloped hillside lot subject to the Conditions of Approval.

Chair Lesak called the Roll:

Motion carried, 4-0.

ADMINISTRATION:

2. Comments from City Council Liaison:

Mayor Mahmud noted that City Council will hear a presentation on the Housing Element at their meeting on Wednesday.

3. Comments from Planning Commissioners:

Commissioner Braun asked if the Commission should be recommending any actions to the City with respect to some of the State legislation – specifically SB9 and SB10.

Mayor Mahmud remarked that the City sent a letter directly to Governor urging him to veto SB9. Separately, the City joined in a letter sent by the San Gabriel Valley Council of Governments.

Commissioner Braun asked if City Council was going to take any action on SB10 to opt out. Mayor Mahmud remarked that if the City Council decides not to take advantage of SB10, it would do nothing, as it is an enabling ordinance.

Commissioner Dahl asked about the status of the meeting minutes and if they were no longer required because of the pandemic. Director Frausto-Lupo confirmed that the minutes are still required and the department is still working to bring them up to date.

Chair Lesak remarked that when looking at open space next year, he would like to know the history of the natural state requirement - when it was added to the Zoning Code and how that may relate to some of the larger hillside developments (in the Monterey Hills, in particular). Those developments do not have anywhere near the percentage amount of natural state that is being required currently. In addition, he feels strongly about making sure that applications include drawings of the neighboring buildings. Without that, there is not enough information.

4. Comments from Staff:

Director Frausto-Lupo noted the Chair's comments to require applications to include a drawing of neighboring buildings for context. In addition, the planners have shared with applicants that they or their representative should attend the public hearings for their projects.

As a reminder for the public, the Housing Element Draft is out for public review and public comments are still being accepted through December 6. The next regular meeting is scheduled for December 14.

Finally, she wished everyone a Happy Thanksgiving.

ADJOURNMENT

5. **Adjournment to the regular Planning Commission meeting scheduled for December 14, 2021 at 6:30 pm:**

There being no further matters, Chair Lesak adjourned the meeting at 7:23 pm.

John Lesak, Chair

DRAFT



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, December 14, 2021, 6:30 PM
Amedee O. "Dick" Richards Jr. Council Chambers
1424 Mission Street, South Pasadena, CA 91030**

CALL TO ORDER:

A regular meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, December 14, 2021 at 6:33 p.m. The meeting was held at 1424 Mission Street, South Pasadena and via Zoom teleconference.

ROLL CALL:

Present: Chair: John Lesak
Vice-Chair: Lisa Padilla
Commissioners: Amitabh Barthakur and Janet Braun

Absent: Commissioner: Laura Dahl

City Staff

Present: Andrew L. Jared, City Attorney
Angelica Frausto-Lupo, Community Development Director
Margaret Lin, Deputy Community Development Director
Matt Chang, Planning Manager
Contract Planner Cecilia Jaroslowsky (via Zoom)

Council

Present: Council Liaison: Diana Mahmud, Mayor (via Zoom)

PLEDGE OF ALLEGIANCE: Chair John Lesak

APPROVAL OF AGENDA:

Approved, 4-0.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS:

Chair Lesak reported that he received a handful of comments from the South Pasadena Chamber of Commerce on the discussion item.

PUBLIC COMMENT:

Public Comment – General (Non-Agenda Items):

Ted Gerber, Acting Director of Public Works, gave a brief update on the Slow Streets Program.

Josh Albrekton, resident, spoke about the Housing Element, the General Plan and the Downtown Specific Plan.

PUBLIC HEARING - CONTINUED:

1. **619 Indiana Terrace, Project No. 2218-HDP/DRX/TRP – Hillside Development Permit, Design Review, Variance and a Tree Removal Permit to allow the construction of a 4,234 square-foot multi-level single-family home with a detached garage (APN: 5314-005-021):**

Recommendation:

Approve as submitted by Staff.

Staff Presentation:

Contract Planner Jaroslowsky presented a PowerPoint presentation.

Questions for Staff:

Vice-Chair Padilla asked about a change in the natural state percentage number.

Commissioner Barthakur discussed the natural state percentage number and asked about the removal of the retaining wall.

Applicant's Presentation:

Architect Jason Beck spoke on behalf of the owner and provided the background and history of the project.

Public Comment:

A next-door neighbor expressed concern about the project.

Applicant's Rebuttal:

The Architect addressed the neighbor's concerns, which included a reference to tree placement.

Vice-Chair Padilla asked about the differences between the current landscape plan and the landscape plan the Commission reviewed last month.

Commissioner Discussion:

Commissioner Braun summarized the differences from the last time the project was reviewed, including keeping the existing retaining wall on the west side; evaluating where there might be underground utility lines; protecting the privacy of the neighbors; and the extra room not being an ADU or a Junior ADU.

Vice-Chair Padilla discussed the differences between the two presentations.

The Commissioners agreed that this was a reasonably well thought-through project and wanted to move this project along as there have been several delays. They appreciated having the neighboring properties added to the presentation to provide the context of seeing buildings next to each other. They also agreed that the neighbor's concerns should be acknowledged and reasonable accommodations should be made that could mitigate the privacy impact.

Chair Lesak expressed concern about the inconsistencies in the plan. Commissioner Braun suggested a Chair Review to evaluate the revised plans to update and address the plans and mitigation of the neighbor's privacy concerns.

Planning Manager Chang advised the Commission that the staff could work with the Chair, the Applicant and the neighbor to make a good faith effort to address the neighbor's concerns.

Decision:

Commissioner Braun moved, seconded by Vice-Chair Padilla, to approve a Resolution for 619 Indiana Terrace, Project Number 2218, consisting of a Hillside Development Permit, Design Review, Variance and Tree Removal Permit for the construction of an approximately 4,234 square-foot multi-level single-family home with an attached garage, with the added Condition that the Applicant submit a final correct set of plans for the Chair to review and that the Chair, City Staff, Applicant and neighbor to the west discuss mitigation of privacy issues (which could include window placement, trees or some other Condition) and that the Applicant make a good faith effort to resolve privacy issues.

Chair Lesak called the Roll:

Motion carried, 4-0.

DISCUSSION ITEM:

2. 815 Fremont Avenue – Informational Presentation:

Applicant's Presentation:

Applicant Jason Mak provided a PowerPoint presentation.

ADMINISTRATION:

3. Comments from City Council Liaison:

Mayor Mahmud encouraged the Applicant from the previous presentation to explore potential funding for electric vehicles parking with Southern California Edison as well as the California Energy Commission which have programs that incentivize the installation of EV chargers.

She reported that tomorrow night, City Council is going to consider adoption of an ordinance to establish objective standards for implementation of SB9 on an urgency basis. She is going to strongly recommend to have the Planning Commission look into a number of additional aspects of other ordinances that have been enacted by other City Councils. She looks forward to receiving the Commissioners' input on a number of refinements to the ordinance that she anticipates they will pass tomorrow evening.

She thanked the Commissioners for their dedication and wished them a wonderful holiday Season.

4. Comments from Planning Commissioners:

Chair Lesak wished everyone Happy Holidays.

5. Comments from Staff:

Director Frausto-Lupo reported that the public comment period on the Housing Element was extended through December 22nd and encouraged the public to send comments.

She introduced new Planning Manager Matt Chang. She informed the Commission that Associate Planner Braulio Moreno started yesterday and two (2) additional Associate Planners would be starting next week.

Planning Manager Chang addressed the Commission and thanked them for the opportunity. He wished everyone Happy Holidays.

ADJOURNMENT:

6. Adjournment to the Planning Commission meeting scheduled on January 11, 2022:

There being no further matters, Chair Lesak adjourned the meeting at 8:07 p.m.

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Special Meeting Minutes
Tuesday, July 26, 2022, 6:30 PM
Amedee O. "Dick" Richards Jr. Council Chambers
1424 Mission Street, South Pasadena, CA 91030
and Via Zoom Teleconference**

CALL TO ORDER:

A Special Meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, July 26, 2022 at 6:34 p.m. The meeting was held at 1424 Mission Street, South Pasadena and via Zoom teleconference.

ROLL CALL:

Present: Chair: John Lesak
Vice-Chair: Laura Dahl
Commissioners: Amitabh Barthakur, Janet Braun and Lisa Padilla

City Staff

Present: Andrew L. Jared, City Attorney
Elizabeth Bar-EI, AICP, Interim Deputy Community Development Director
Matt Chang, Planning Manager

Council

Present: Council Liaison: Diana Mahmud (via Zoom)

APPROVAL OF AGENDA:

Approved, 5-0.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS:

None.

PUBLIC COMMENT:

1. Public Comment – General (Non-Agenda Items):

None.

CONSENT CALENDER ITEM:

2. Minutes from the Special Joint Meeting with Cultural Heritage Commission of September 23, 2021:

Recommendation:

Staff recommends approval of the minutes with the following corrections: The City Attorney's title should be Deputy City Attorney; the spelling of the Deputy City Attorney's name is corrected to Nikhil Damle; the title of the Associate Planner should be Assistant Planner; and Commissioner Barthakur was absent.

Decision:

Chair Lesak moved, seconded by Commissioner Braun, to approve the minutes as submitted, with corrections.

Chair Lesak called the Roll:

| | |
|------------------------|---------|
| Commissioner Barthakur | Abstain |
| Commissioner Braun | Aye |
| Commissioner Padilla | Aye |
| Vice-Chair Dahl | Aye |
| Chair Lesak | Aye |

Motion carried, 4-0, 1 Abstention.

DISCUSSION ITEM:

3. Update on the Housing Element, Results of a Feasibility Review of the Inclusionary Housing Ordinance and Comments on Strategies:

Recommendation:

1. Receive an update on the progress of the Housing Element, including the most recent comments from HCD and July 20 City Council discussion;
2. Receive a presentation by the City's Consultant, Economic & Planning Systems (EPS) on their feasibility study of the Inclusionary Housing Ordinance requirement; and
3. Provide comments on Housing Element certification strategies.

Staff Presentation:

Interim Deputy Director Bar-El introduced the consultants (available via Zoom) Jennifer Gastelum, Principal of PlaceWorks and Julie Cooper, Vice President and Director of Economic & Planning Systems (EPS). She announced that the Inclusionary Housing Ordinance (IHO) in-lieu fee would be discussed at a later meeting. She gave a PowerPoint presentation.

Questions for Staff:

Commissioner Barthakur asked about the prototypes utilized and if those were compatible with the current height limitations as a baseline.

Commissioner Padilla asked about the percentage changes shown in the information they received and whether this analysis – the methodology and the way it is presented - would be what HCD would review as part of the backup for the IHO. PlaceWorks Consultant Gastelum suggested that this be provided as an appendix to the Housing Element as additional backup information to support the IHO.

Vice-Chair Dahl asked for an explanation as to why the profit margin was different in the townhouse model vs. the condominium model. Consultant Cooper of EPS responded that the difference is a combination of the very strong market in the City, achievable sales prices and different construction costs.

Vice-Chair Dahl also asked if minimum densities as well as maximum densities were considered in the Code. Interim Deputy Director Bar-El remarked that this was not an assignment that had been requested by the Commission or Council for Staff to analyze.

Vice-Chair Dahl also asked if the 15%-20% IHO requirement is a safe harbor for HCD. PlaceWorks Consultant Gastelum responded that she is not aware of any safe harbor number.

Commissioner Braun asked about timing and the October 15th Housing Element certification date. Interim Deputy Director Bar-El said it is unlikely the deadline will be met. However, Staff is still diligently working on moving the Downtown Specific Plan, the General Plan and the Program Environmental Impact Report (PEIR) forward.

Commissioner Braun's also asked about sequencing, outreach to the community, outreach to the development community, and Caltrans housing. Councilmember Mahmud remarked that because Caltrans housing is existing low-income housing, it would not help with meeting the RHNA numbers.

Chair Lesak spoke about the enormity of the number of considerations needed to fall into place for the Housing Element to be approved. PlaceWorks Consultant Gastelum concurred and remarked on the multitude of programs in place.

Chair Lesak commented that the modifications include many areas of zoning, including consideration of environmental constraints. He also inquired about permit processing.

Public Hearing

Alan Ehrlich – resident, spoke about the IHO, height limits and State density bonus laws.

Josh Albrektson – resident, spoke about the IHO, State density bonus laws and the feasibility study.

Reed Burnett – resident, spoke about having more housing in South Pasadena.

Anne Bagasao (via Zoom) – resident, spoke about the IHO.

The Planning Commission received nine (9) written comments regarding this item.

Discussion

Interim Deputy Director Bar-EI reviewed the three (3) key items which the Council requested recommendations from the Planning Commission:

- On revising the Inclusionary Housing Ordinance
- On initiating a ballot initiative to revise the 1983 height limit initiative
- On other strategies to achieve certification and compliance with State law

Commissioner Braun asked for clarification on whether taking any action was agendaized. City Attorney Jared explained that the issue is to provide direction, at the Council's request, due to a shortage of time. He believes it is agendaized properly to provide input.

First Discussion item: Revising the Inclusionary Housing Ordinance.

Commissioner Barthakur remarked on the need to demonstrate that it is not a burden, nor a financial constraint to developers to develop or build housing as a standalone policy.

Commissioner Braun inquired about outreach to the development community to get input during this process. Interim Deputy Director Bar-EI remarked that outreach had occurred. Consultant Cooper, EPS, elaborated that the information in the models provided is informed by those conversations. The information provided included: costs to build; achievable market rents; and typical densities they want to develop at.

Commissioner Barthakur and Vice-Chair Dahl discussed the constraint presented by the 20% inclusionary requirement and the 10%+10% inclusionary requirement.

Chair Lesak remarked that his issue was on the timing and the zoning issues.

Commissioner Barthakur referenced Santa Monica's numbers for a point of comparison.

Commissioner Dahl spoke about the use of the State density bonus by developers.

The Commissioners discussed the IHO as one tool in the toolbox regarding affordable housing.

Interim Deputy Director Bar-El remarked that there are about 50 programs included in the Housing Element that are commitments by the City to building housing and promoting affordable housing and fair housing, etc. She added that for further context, the comment letter from HCD has certain points and all the programs that the letter does not comment on have been accepted. The things that are outstanding are big stumbling blocks they are working hard to get by.

Next item for discussion: Initiating a ballot initiative to revise the 1983 height limit initiative.

Commissioner Braun remarked that the height limit initiative is a much bigger topic needing a lot of input and suggested not to rush it through to the ballot.

Last discussion point: On other strategies to achieve certification and compliance with State law.

Chair Lesak remarked that a critical path schedule is needed, and it is difficult to make decisions without one. City Attorney Jared concurred. There are a number of tasks that have to be completed in a very short time period, which the City is making progress on.

Commissioner Braun spoke about needing a schedule for community meetings and outreach – including constituency meetings, not just reaching out to developers one on one, but having a roundtable discussion to get feedback from a lot of different groups.

Interim Deputy Director Bar-El informed the Commission that it is required that the Housing Element will first come to the Planning Commission for their recommendations before it goes before the Council for adoption.

ADMINISTRATION:

4. Comments from City Council Liaison:

Councilmember Mahmud spoke about the difficulty that local government is encountering in developing compliant Housing Elements. She thanked the Commission for their input, hard work, and dedication.

5. Comments from Planning Commissioners:

Commissioner Padilla hoped this discussion was helpful for the City Council. She looked forward to their meeting tomorrow night.

Commissioner Barthakur thanked the Staff and appreciated all their hard work.

6. Comments from Staff:

Interim Deputy Director Bar-EI thanked the Commission for a great discussion and appreciated its insights. She thanked the consultant team – EPS and PlaceWorks - for their past work and the work they are doing currently.

ADJOURNMENT:

7. Adjournment to the Planning Commission meeting scheduled on August 9, 2022:

There being no further matters, Chair Lesak adjourned the meeting at 9:08 p.m.

John Lesak, Chair



**CITY OF SOUTH PASADENA
Planning Commission
Meeting Minutes
Tuesday, September 13, 2022, 6:30 PM
Amedee O. "Dick" Richards Jr. Council Chambers
1424 Mission Street, South Pasadena, CA 91030
and Via Zoom Teleconference**

CALL TO ORDER:

A meeting of the South Pasadena Planning Commission was called to order by Chair Lesak on Tuesday, September 13, 2022 at 6:30 p.m. The meeting was an in-person hybrid meeting held at the Amedee O. "Dick" Richards, Jr., City Council Chambers, located at 1424 Mission Street, South Pasadena, California and via Zoom teleconference.

ROLL CALL:

Present: Chair: John Lesak
Vice-Chair: Laura Dahl
Commissioners: Amitabh Barthakur and Janet Braun

Absent: Commissioner: Lisa Padilla

City Staff

Present: Angelica Frausto-Lupo, Community Development Director
Ted Gerber, Public Works Director
Ephraim Margolin, Deputy City Attorney
Matt Chang, Planning Manager
Braulio Madrid, Associate Planner
Susana Martinez, Associate Planner

APPROVAL OF AGENDA:

Approved, 4-0.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS:

Commissioner Braun disclosed that she visited the site on tonight's agenda and exchanged emails with two residents regarding it. Chair Lesak disclosed that he also visited the site and acknowledged the Commissioners had received emails and written public comments regarding the site.

PUBLIC COMMENT:

1. Public Comment - General (Non Agenda Items)

Lourdes Denato - Resident and member of the South Pasadena Loves Our Library Committee - spoke about the importance of the library to the community and supporting Measure L.

Josh Albrektson – Resident – (via Zoom) - asked when the Commission would be making a presentation on the recently released Housing Element.

CONSENT CALENDAR ITEMS:

2. Minutes from the Special Meeting of April 28, 2020

3. Minutes from the Special Meeting of May 12, 2020

4. Minutes from the Special Joint Meeting with the Cultural Heritage Commission on September 2, 2021

Chair Lesak motioned, seconded by Vice-Chair Dahl, to approve the minutes as submitted.

Chair Lesak called for Roll Call:

| | |
|-------------------------|-----|
| Commissioner Barthakur: | Aye |
| Commissioner Braun: | Aye |
| Vice-Chair Dahl: | Aye |
| Chair Lesak | Aye |

Motion carried, 4-0.

PUBLIC HEARING:

- 5. 1020 El Centro Street, Project No. 2441 COA-DRX-DBR-AHR-CUP-TTM-SIGN-TRP** – A request for a Certificate of Appropriateness, Design Review, Density Bonus Review, Affordable Housing Review, Conditional Use Permit, Tentative Tract Map, Sign Program and Tree Removal Permit for a proposed mixed-use development consisting of 108 residential condominiums, of which 19 will be affordable units; approximately 22,032 square feet of food service and retail uses; two (2) incentives/concessions for an increase in the allowable Floor Area Ratio (FAR) and an increase in the permitted number of stories from two (2) stories to four (4) stories; removal of 25 trees for the property located at 1020 El Centro Street (APN 5315-008-047). The Cultural Heritage Commission reviewed this

project at its August 18, 2022 meeting and recommended an approval to the Planning Commission.

Recommendation:

Adopt a Resolution approving the project subject to the recommended Conditions of Approval.

Vice-Chair Dahl excused herself from this project because she owns property within 500 feet of the project site as she could be perceived to have a conflict of interest. She left the Chambers.

Staff Presentation:

Associate Planner Martinez presented a PowerPoint presentation, along with Jessie Fan and Heidi Rous, City consultant from Kimberly-Horn and Associates, Inc.

Questions for Staff:

Chair Lesak asked if Staff had reviewed the Mission Street Specific Plan (MSSP) regarding storefronts and signage in addition to the development standards. Associate Planner Martinez identified the section of the project plans where the Applicant met those requirements.

Applicant's Presentation:

Frank Gangi, President of Gangi Development, introduced his brother, Mark Gangi, FAIA, of Gangi Architects. He thanked Planning Manager Chang and Associate Planner Martinez for their patience and expertise throughout this project. Mark Gangi introduced his team – Joe Catalano AIA, Jenna Snow, Mia Lehrer, FASLA at Studio-MLA, and Dawn Dyer, Associate Principal and Landscape Architect at Studio-MLA. The Design Team is headed by Ayahlushim Getachew of FYM Sopas, LLC, and Frank and Matthew Gangi. The Project Team – Paul Anderson (Project Law LA), Pat Gibson and Tracey Lee of Gibson Transportation, Tracey Lund, Civil Engineer at Lund and Associates Engineering, utility consulting, Structural Focus at Kosmont Companies, Eco Tierra Consulting, and Southwest Group. Mark Gangi gave a detailed PowerPoint presentation with input from the various team members, as appropriate.

Questions for Applicant:

Commissioner Barthakur inquired about aligning the elevations to the units, fenestrations, and clarification of the central courtyard as a publicly accessible space. He also asked whether the first-floor parking area would be open to the public, how the retail would be curated, how to ensure consistency in perpetuity, and the difference between an incentive and a waiver.

Commissioner Braun asked about: property taxes on each condo; an easement for the public area; how to ensure that area stays available to the public; the public

arts requirements and collaboration with the arts community in South Pasadena; EV charging stations; common area maintenance and care of the landscaping, etc.; the traffic study; the driveway for the project is across the street from the Mission Bell project and the Fremont and Mission project; and whether outreach could be extended to public employees for affordable housing and how that process would unfold.

Chair Lesak remarked on the openness of the site and added that it be kept that way as a Condition of Approval. He also noted the developers' interest in the historic preservation tax credit and wanted to consider adding that as another Condition. He also asked about the plans for the auditorium; the brick screen wall and its design influence; and the open notch at Mission and Fairview. He remarked that in the historic report he did not see an analysis of the impact of the project on the historic district.

Commissioner Barthakur inquired about the responsibility for the operations and management of the common area.

Commissioner Braun referenced a recommendation by the CHC of the creation of a task force to manage all the upcoming construction in the area – noise, dirt, traffic, etc. The developers indicated they would be happy to be a part of that task force, coordinated with Public Works Department.

Public Comment:

Sally Kilby – Resident and Resident of Golden Oaks - spoke about the project and that it is a beautiful design which enhances a gathering place for the community. She agreed with the appointment of a task force and the concerns expressed about the garage entrance on Diamond Avenue.

Doreen Seadmac – Resident of Golden Oaks - spoke about the access to the Golden Oaks underground parking garage entrance on Diamond Avenue.

Mark Dunning – Represented a local coffee roaster, a hopeful, excited tenant, who shared that his company tailors every space to the location they serve.

Ann Miller – Resident – expressed concerns against the plans for the development of the lot.

Rebecca Carr – 12-year community member, music teacher and owner of a music school in the City and a prospective tenant in the retail space - expressed enthusiasm and excitement for the project.

Luis Ramirez – Resident – expressed excitement for the project and commended the efforts of the Gangi Group for their community outreach efforts and the potential contributions of the project to the community.

Emily Klein – art teacher - commended the Gangi Group for its contribution to the creativity and wellness community across all ages and is thrilled that they are keeping the space *The Hive* in the building.

Staff acknowledged that written public comments were received today and included in the agenda packet.

Public Comment Via Zoom:

Gail from South Pasadena/Los Angeles – her family moved to South Pasadena 35 years ago. She thanked the Gangi organization for putting so much thought and love into developing this remarkable project which will be a great asset to the community. She suggested having a fountain or several water features in the public space and questioned having an arcade through the entire space.

Josh Albrekton – Resident – agreed with the suggestions of a water feature and expressed his support for the project.

Dana Barbera – Resident – commended the historical folks for maintaining the integrity of the original building and supporting boutique types of retail. He liked the project in general, but expressed concerns about the articulation of the scale and what the courtyard will look like.

Adrian – 33-year Resident who lives within 300 feet of the project - has been negatively impacted by noise, traffic, parking, and robust pedestrian activity. She objected to the increase in the number of stories from two (2) to four (4) and remarked that there is no architectural design continuity with the existing historic resources. She cautioned that this project is alarming, not charming.

Applicant Rebuttal:

Mark Gangi remarked that sustainability is always a key to their projects and to their design. There are solar panels on the roofs and dual piping for greywater systems in landscape areas. The units themselves are passively designed. To meet the housing demands, they also must meet sustainability, which is very important to them.

Discussion:

Commissioner Braun commended the architects. She expressed concerns for: the proposed elevated planters in the public area; the proposed brick wall; public easement and/or common area maintenance responsibility; traffic issues, including the residents' issues about Diamond Avenue, and a traffic light at Fairview Avenue and Mission Street; the process of who gets the affordable units, and the importance of the task force in coordinating all the construction over the next two (2) years. She remarked that she generally thinks this is a great project.

Commissioner Barthakur remarked that the project could be a positive and beneficial asset to the City.

Chair Lesak asked Staff about current traffic studies. Planning Manager Chang introduced Public Works Director Gerber who provided an overview of the traffic projects and the coordination of the projects around the City.

Chair Lesak commented that the project is an exciting, powerful enhancement to the City and knits together the historic fabric with new development. He suggested additional Conditions be added, including: a task force recommended by the staff, mandatory application for the historic tax credit, public access and maintenance requirement for the public open space, construction signage, post occupancy traffic report and a mock-up of the brick screen wall.

Commissioner Braun inquired about the brick wall, the exterior lighting plan, and management of the affordable units. Planning Manager Chang and Public Works Director Gerber referred the Commission to several Conditions of Approval attached to the staff report which readily addressed some of their concerns.

The Commission and Staff discussed the area open to the public, including the community courtyard, the breezeways to El Centro Street and to the east and west, and a breezeway off Fairview Avenue that runs between the auditorium and the building, and its maintenance. Staff recommended the following language: *The Community Courtyard, courts, breezeways, and brick archway providing access to the site as depicted on Sheet L-1 providing access from El Centro Street to Mission Street shall remain accessible to the public and that the management company for the commercial properties shall provide maintenance for the community courtyard, courts, breezeways, and brick archway. They must provide a plan to the Planning Department for review and approval of how that would be maintained in perpetuity.*

The Commission discussed three design elements to be reviewed by Chair Review prior to issuance of a building permit – the brick wall, the courtyard landscaping at grade, and the height of the architectural feature at Mission Street and Diamond Avenue.

The Commission and Director Gerber discussed Condition of Approval PW-41 regarding construction signage and agreed to amend it to also require posting of three project signs: one at the entrance of the project site and one on each side street.

Commissioner Braun referenced a public comment received regarding the CEQA exemption and asked Planning Manager Chang about the various levels of CEQA analysis. Planning Manager Chang explained that Staff required the Applicant to submit technical studies, which included a traffic study, air quality, noise, and historical resource evaluations. In addition, the City hired its own consultant,

Kimley-Horn, experts in CEQA analysis, to perform its own analysis, and conduct a peer review and analyze the details. They found that this project qualified for Class 32 exemptions and, therefore, Staff is comfortable in supporting this project with Class 32 exemptions.

Planning Manager Chang mentioned the Conditions of Approval to be amended: (i) the Applicant shall apply for Federal Historic Preservation tax credits and, if unfeasible, the Applicant shall notify the Commission of the stalemate and reasons why the tax credits are no longer being pursued; (ii) maintenance of the public common areas shall be provided by the management company for the commercial properties and a maintenance plan shall be submitted to the Planning Division for review and approval; (iii) modification of Condition PW-41, post construction signage –to add *shall require three (3) project construction signs*; (iv) modification of Condition PW-42, (v) a Planning Commission Chair Review is required for: the courtyard landscape design and maintenance; the brick wall design facing Fairview Avenue; and, the architectural building feature (including the height) at the corner of Diamond Avenue and Mission Street.

Paul Anderson, attorney for the Applicant, addressed the Commission, thanked the Commission for their diligence, and agreed with the proposed Conditions of Approval as modified and amended.

Decision:

Chair Lesak motioned, seconded by Commissioner Braun, to approve Project No. 2441 COA-DRX-DBR-AHR-CUP-TTM-SIGN-TRP – consisting of a Certificate of Appropriateness, Design Review, Density Bonus Review, Affordable Housing Review, Conditional Use Permit, Tentative Tract Map, Sign Program, and Tree Removal Permit for a proposed mixed-use development consisting of 108 residential condominiums, of which 19 will be affordable units; approximately 22,032 square feet of food service and retail uses; two incentives/ concessions for an increase in the allowable Floor Area Ratio (FAR) and an increase in the permitted number of stories from two stories to four stories; removal of 25 trees for the property located at 1020 El Centro Street (APN 5315-008-047). The Commission can make the findings within the Resolution. The Conditions of Approval, as amended and accepted by the Applicant, are also approved.

Chair Lesak called for Roll Call:

| | |
|-------------------------|---------|
| Commissioner Barthakur: | Aye |
| Commissioner Braun: | Aye |
| Vice-Chair Dahl: | Recused |
| Chair Lesak | Aye |

Motion carried, 3-0-1.

ADMINISTRATION:

6. Comments from City Council Liaison:

None.

7. Comments from Planning Commissioners:

None. Chair Lesak remarked that he had a difficult time with the digital package.

8. Comments from Staff:

Director Frausto-Lupo reported that the public draft of the updated Housing Element was released on Thursday, September 8th and is available on the City's website. This third draft will be submitted to HCD this Thursday. A comment letter is expected back within 45 days.

She also provided an update on Staff recruitments which included: an offer extended to a Deputy Community Development Director, second interviews and an offer extended to a Senior Housing Management Analyst, and active recruitment for a full time Planning Counter Technician and a part time Code Enforcement Officer.

ADJOURNMENT

9. Adjournment to the Planning Commission meeting scheduled for October 11, 2022 at 6:30 pm:

There being no further matters, Chair Lesak adjourned the meeting at 10:20 pm.

John Lesak, Chair



Community Development
Department

Memo

DATE: January 9, 2024

TO: Planning Commission

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Sandra Robles, Associate Planner

RE: Item 9. Project No. 2500-HDP/DRX/VAR/PM/TRE located at 4931
Harriman Avenue (APN: 5312-016-016 & 5312-016-017)

This item was continued from the regularly scheduled November 14, 2023, Planning Commission meeting.

Staff is recommending continuing this item to the next regularly scheduled Planning Commission meeting on February 13, 2024.



Community Development
Department

Memo

DATE: January 9, 2024

TO: Planning Commission

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Robert (Dean) Flores, Senior Planner

RE: Item No. 10. Proposed Zoning Text Amendment located at the following APNs: 5311-012-040, 5311-010-001, 5311-010-002, and 5311-015-035.

This public hearing item was originally scheduled for the January 9, 2024, Planning Commission meeting.

Staff is recommending that the Planning Commission continue this item to a future meeting date to be determined.



Planning Commission Agenda Report

ITEM NO. 11

DATE: January 9, 2024

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Sandra Robles, Associate Planner

SUBJECT: **Project No. 2495-NID/DRX/CUP – A request for a Notice of Intent to Demolish (NID) a 643-square-foot convenience store and a 1,221-square-foot repair garage; a Design Review Permit (DRX) to construct a 1,981-square-foot convenience store with a 127-square-foot trash enclosure; and, a Conditional Use Permit (CUP) for off-sale beer and wine at the Chevron gas station located at 1400 Mission Street (APN: 5315-002-030). Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines Sections 15302 and 15303.**

Recommendation

Staff recommends that the Planning Commission adopt a Resolution (**Attachment 1**) taking the following actions:

1. Finding the project exempt under the California Environmental Quality Act (CEQA) Guidelines, Sections 15302 and 15303.
2. Approve Project No. 2495-NID/DRX/CUP, subject to the recommended Conditions of Approval (**Attachment 1, Exhibit A**).

Background

The subject site is a rectangular-shaped 18,255-square-foot lot located on the northeast corner of Mission Street and Fremont Avenue (see **Figure 1** on the following page to view the aerial) and is zoned Downtown Specific Plan (DTSP). Surrounding land uses include civic facilities to the east (South Pasadena Civic Center), commercial uses to the west and south, and a mixed-use project with commercial and residential uses to the north. The property was originally developed with a service station in the 1920s. The original buildings were demolished, and a new convenience store was constructed in 1962; the repair garage was constructed in 1965. The convenience store and repair garage have undergone a number of renovations, starting in the 1980s; the rooflines of both buildings were altered, and the storefront was reconfigured and replaced. The fuel canopy area

was replaced in 2008. **Figures 2, 3 and 4** are pictures of the gas station, as it appears today.

Figure 1: Aerial



Figure 2: Northeast view of subject property



Figure 3: Convenience Store



Figure 4: Repair Service Garage



The project was initially proposed and approved by the Planning Commission in 2015. The project included a request for a Design Review Permit (DRX) for the demolition of the convenience store and repair garage and to construct a new 2,223-square-foot convenience store with a 93-square-foot trash enclosure. The request also included a Conditional Use Permit (CUP) for off-sale beer and wine. The Planning Commission approved the request for Project No. 1807-CUP/DRX on June 22, 2015. The entitlement was valid for 12 months; however, the applicant did not exercise the approval and the entitlement expired on July 7, 2016. The applicant submitted a new application on May 4, 2022. The request was modified to include a new 1,981-square-foot convenience store and a 127-square-foot trash enclosure.

Project Description

The applicant is requesting approval to demolish an existing convenience store and repair garage and construct a new convenience store. The existing canopy structure and fuel pumps are proposed to remain. As part of the project, the applicant proposes to provide new landscaping, to reduce the number of existing driveway approaches along Mission Street from three to two aprons and restripe the parking lot to provide six parking stalls. The applicant is also proposing the sale of beer and wine for off-site consumption at the new convenience store. The convenience store's hours of operation are 24 hours a day, 7 days a week. Hours of alcohol sales are proposed from 6:00 a.m. until 12:00 a.m., daily.

Entitlements:

The applicant is requesting the following entitlement applications for the proposed project:

1. Notice of Intent to Demolish (NID) a 643-square-foot convenience store and a 1,221-square-foot repair garage;
2. Design Review Permit (DRX) for the review of the design aspects of the proposed 1,981-square-foot convenience store and 127-square-foot trash enclosure; and,
3. Conditional Use Permit (CUP) for the sale of beer and wine for off-site consumption (Type 20 ABC License).

The architectural drawings, plans, and are included as **Attachment 7**.

Project Analysis

General Plan Consistency

On September 27, 2023, the City updated its General Plan to be consistent with the 2021-2029 (6th Cycle) Housing Element, which includes a new Downtown Specific Plan (DTSP) to replace the Mission Street Specific Plan (MSSP), amendments to the Zoning Code and Zoning Map, the creation of a Mixed-Use Overlay District and development standards. The subject property has been rezoned from Commercial General (CG) to DTSP; however, the proposed project was deemed complete prior to the General Plan and

Zoning update, as such, the proposed project is subject to the evaluation criteria at the time of submittal.

The General Plan land use designation of the CG zoned site is General Commercial, which per the General Plan, provides for a variety of retail, service, office, automotive establishments, entertainment facilities, convenience goods and services to residents in the immediate neighborhood. In addition, this category includes “convenience” commercial uses that provide retail goods and services to residents in the immediate neighborhood.

The proposed project conforms to the following goals and policies of the General Plan:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena’s “main street” commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate “convenience” commercial to serve residents within walking distance of homes.

The proposed project is a convenience store, mainly serving traveling motorists. Additionally, the proposed project maintains the character of South Pasadena’s “main street” commercial, strengthens retail, and encourages convenience commercial; therefore, the request is consistent with the General Plan.

Zoning Code Compliance & Development Standards

The project is zoned Commercial General (CG), which is intended for a wide range of commercial retail and service land uses. The sale of alcoholic beverages is permitted in the CG zone with the approval of a CUP. The purpose of the CUP process is to allow for certain activities upon review and determination of its effect on a site and its surrounding uses after the review of the configuration, design, location, and potential impacts of the proposed use and suitability of the use to the site. Development standards from SPMC Section 36.350.090—Gas Stations—was applied to this project, as an existing gas station is proposed to be reconstructed by more than 50 percent of its assessed valuation.

Table 1 provides a breakdown of the existing conditions of the proposed project and its compliance with SPMC Section 36.350.090 regulating gas stations. The proposed project meets all of the applicable required development standards.

Table 1: Development Standards for Gas Stations

| Zoning Code Standard | Requirement | Provided |
|----------------------|---|--|
| Setbacks | Minimum building setback – 30’ from street. | 60’ building setback from street |
| | Minimum gas pump setback- 20’ from P/L. | 23’ existing pump setback from P/L. |
| Access points | 2 maximum per street frontage. | 2 on Mission Street/1 on Fremont Avenue. |
| Driveways | No closer than 5’ to a corner | 40’ to corner |
| | Maximum width of flat area-30’ | 28’ max driveway width (existing) |
| | Minimum separation between driveways- 22.’ | 32’ between driveways on Mission Street. |
| Landscaping | Water efficient landscaping, per SPMC Section 36.330 | Drought-tolerant landscaping proposed. |
| | Minimum 3’ wide planters required along street side and along interior P/L equal to 50’ of building width at front. | 5’-7’ wide planters provided along street frontages/172’ of planter provided along interior P/L. |
| | Minimum 150 sf of landscaping required at street intersection. | 405 sf of landscaping at intersection. |
| Outdoor Lighting | Shall be shielded to prevent glare or interference | Fixtures are manufactured with light control optics and glare shields. |

Notice of Intent to Demolish

In accordance with SPMC, Section 2.65(e)(3), any structure over 45 years old that proposes demolition and is not identified as a historic or cultural resource requires the preparation of an intensive-level Historic Resource Evaluation (HRE) report. The two structures on the subject property are over 45 years old and are slated for demolition, as such, an intensive-level HRE was prepared by a City-selected architectural historian consultant, to evaluate the property and determine if the property is a historic and cultural resource prior to its demolition. Based on the report's findings, on May 18, 2023, the Cultural Heritage Commission (CHC) determined that the subject buildings are not eligible for national, state, or local designation, as such, the subject property is not historic and culturally significant.

Design Review

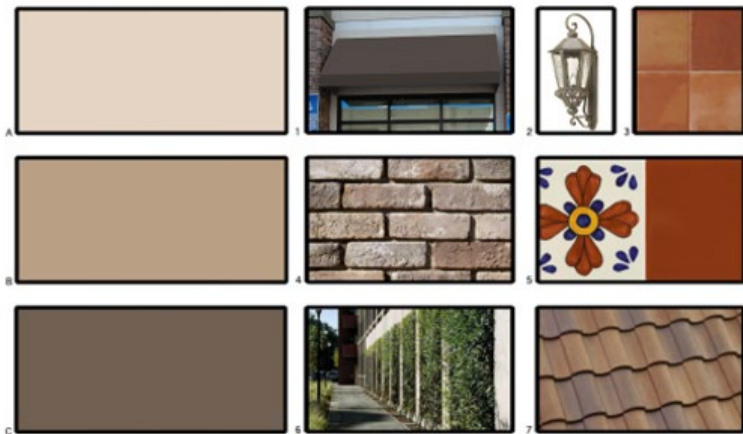
The proposed project is a modification to an existing gas station in a CG zoning district to demolish an existing convenience store and repair garage and construct a new convenience store and trash enclosure. Existing gasoline pumps and island canopy would remain. The proposed new convenience store design is of Mediterranean influence and is proposed at 25 feet in height and rooftop mechanical equipment will be screened behind a parapet wall. The exterior building materials are proposed to be cement plaster with a smooth sand finish painted in earth tone colors with a complementary trim color and a brick veneer around the base of the building. Windows and sliding storefront doors are proposed with dark bronze anodized aluminum finishes and the entry will be trimmed with an accent Spanish tile. The applicant is proposing cement roof tile and aluminum-framed canvas awnings atop the windows and entry doors (see **Figure 5** to view renderings and **Figure 6** to view materials board). The proposed new trash enclosure will be finished and painted to match the proposed new building. The existing monument identification sign would remain. A separate application for the proposed new signage for the convenience store would be subject to Design Review.

Existing access to the subject site is provided from Mission Street and Fremont Avenue. As part of the project two existing driveway approaches on Mission Street are proposed to remain and one existing driveway approach on Mission Street is proposed to be removed. No new driveways are proposed.

Figure 5: Rendering



Figure 6: Materials Board



MATERIAL LEGEND

1. ALUMINUM FRAMED CANVAS AWNING
SUNBRELLA
#6031-0000 - "BURGUNDY"
2. DECORATIVE WALL MOUNTED LIGHT FIXTURE
ARTE DE MEXICO
WM168-3 - ANTIQUE UMBER FINISH
3. 6"x6" ACCENT TILE
FORT WORTH BRICK & TILE
REGULAR SALTILLO - SEALED
4. BRICK VENEER
CORONADO STONE
SPECIAL USED BRICK - "EAGLE BUFF"
5. 6"x6" ACCENT TILE
TIERRA Y FUEGO
GUADALAJARA - #10131-6
RUST - #10812-6
6. WALL MOUNTED TRELLIS
GREEN SCREEN
GLOSS POWDER COAT FINISH - "GREEN"
7. CONCRETE ROOF TILE
EAGLE ROOFING
CAPISTRANO - #3636 - "PIEDMONT BLEND"

COLOR LEGEND

- A. DUNN EDWARDS
#DE6128 - "SAND DUNE"
- B. DUNN EDWARDS
#DE6130 - "WOODEN ACRE"
- C. DUNN EDWARDS
#DEA161 - "WILD MUSTANG"

Design Review Findings

In order to approve a Design Review application, the Planning Commission shall first find that the design and layout of the proposed development:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);*

The Design Review application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: *To maintain the character of South Pasadena’s “main street” commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.*

Policy 2.2: *Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.*

Policy 3.10: *Encourage convenience business. Encourage the appropriate “convenience” commercial to serve residents within walking distance of homes.*

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;*

The project site will continue to be utilized as a gas station/convenience store. No changes are proposed for the function or activities of the site. The proposed demolition of the existing convenience store and repair garage; and replacement of the convenience store will not affect the site, rather the changes proposed are intended to enhance the pedestrian and commercial activity, which will be a benefit to the neighborhood.

3. *Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,*

The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) of various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth sand finish and painted in earth tone colors. The earth tone color palette is used to harmonize with the surrounding buildings. The overall design of the commercial building will maintain an attractive, harmonious, and orderly development.

4. *Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.*

The project proposes to update the existing gas station/convenience store by demolishing the convenience store and repair garage and replacing them with a larger convenience store. The stucco cladding is commonly seen in the immediate neighborhood, as well as brick veneer. The convenience store will be painted in an earth tone color palette to harmonize with the surrounding neighborhood; thus, the proposed project would provide a desirable environment for the project site, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

Conditional Use Permit

Pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.060(D), the Planning Commission may grant a CUP for uses listed in Article 2 as requiring a CUP. The sale of alcoholic beverages for “off-site” consumption is subject to a CUP pursuant to SPMC, Section 36.350.040. The considerations required to be reviewed for alcohol sales are the following:

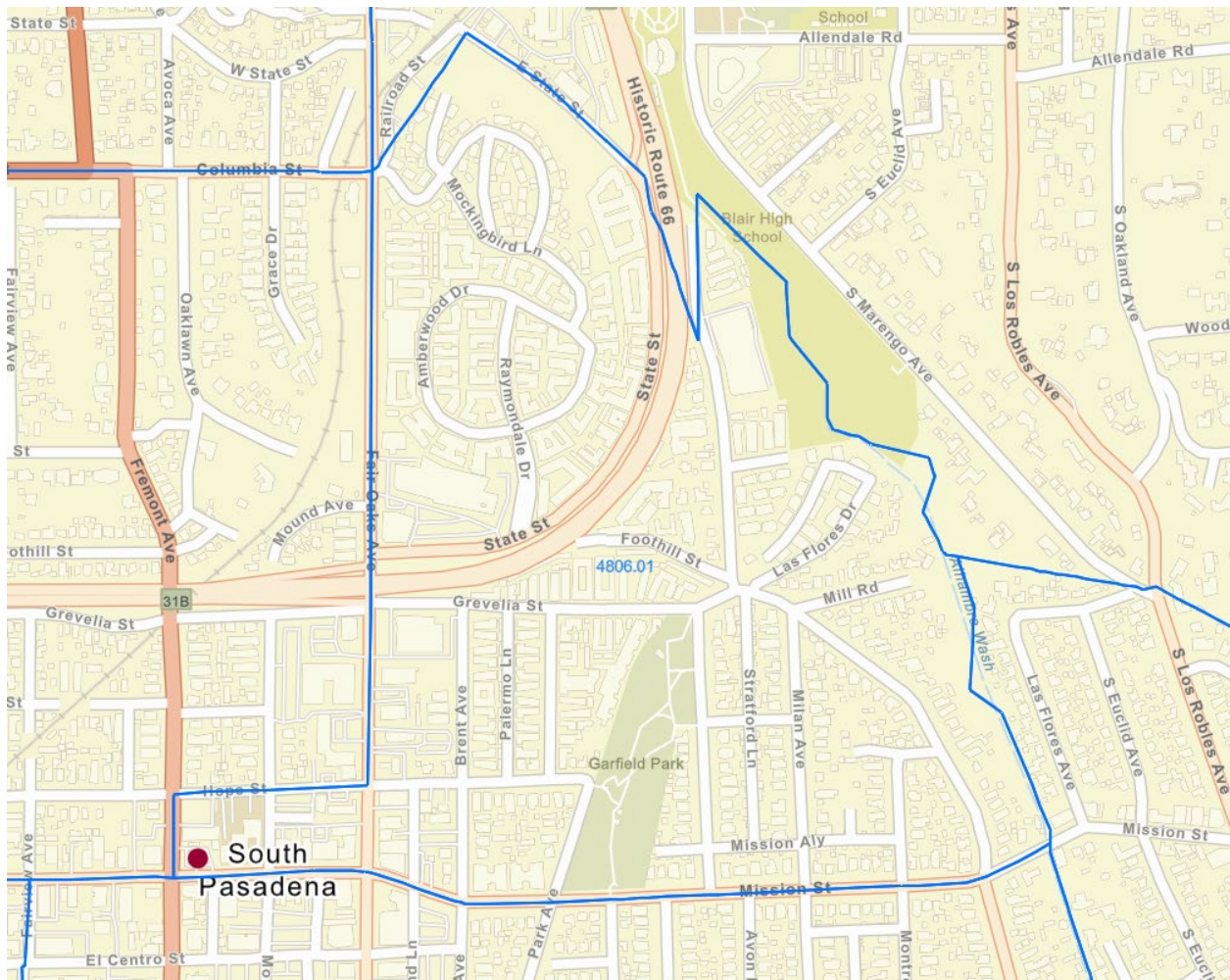
1. Whether the proposed use will result in an undue concentration of establishments dispensing alcoholic beverages.
2. The distance of the proposed use from the following:
 - a. Residential uses;
 - b. Religious facilities, schools, libraries, public parks and playgrounds, and other similar uses; and,
 - c. Other establishments dispensing alcoholic beverages.

3. Whether noise levels generated by the operation of the establishment would exceed the level of background noise normally found in the area or would otherwise be intrusive.
4. Whether the signs and other advertising on the exterior of the premises would be compatible with the character of the area.

1. Undue Concentration

The Department of Alcoholic Beverage Control (ABC) places limits on the number of on-site and off-site licenses permitted within a given census tract. The proposed project is located within census tract 4806.01, as illustrated in Figure 5. The location of the gas station is shown with a red dot.

Figure 7: Census Tract 4806.01, Subject Property in Red



According to the ABC Licensing Reports, Census Tract currently holds two (2) active off-site licenses. **Table 2** provides a list of businesses with an active off-site alcohol license.

Table 2: Active Off-Site Alcohol Licenses in Census Tract 4806.01

| License Type | Business Name | Address |
|--|--------------------------------|----------------------|
| Off-site general liquor license (full alcohol) | Bristol Farms | 606 Fair Oaks Avenue |
| Off-site general liquor license (full alcohol) | Fair Oaks Cigar | 806 Fair Oaks Avenue |
| TOTAL: | Two (2) Off-Site License Types | |

The Department of ABC authorizes a certain number of licenses based on the census tract population size. In the case of Census Tract 4806.01, there are two (2) off-site licenses and four (4) on-sale licenses permitted. With the proposed request, the Census Tract will result in three (3) off-site licenses. ABC requires that the local agency determine Public Convenience or Necessity (PCN) for an overconcentrated census tract when: a) the census tract is considered “high crime” based on local crime statistics, and b) if the number of similar license types exceeds the limit set forth by state law, thereby resulting in overconcentration. ABC is the responsible agency that determines if a PCN needs to be established. As a result, although granting this application would result in an overconcentration of the census tract, it is not a requirement for the City to determine whether a PCN needs to be established since the census tract is not considered high crime.

2. Distance of Other Uses

The second consideration for reviewing a CUP application for alcohol sales is the distance between the subject premise and certain sensitive uses, such as: residential, religious facilities, schools, libraries, public parks and playgrounds, and other alcohol establishments. The following are uses located within 500 feet from the subject property:

- South Pasadena Arts & Music Academy – 798 Fremont Avenue
- Mixed-Use/Residential – 812 Fremont Avenue
- Single-Family & Multi-Family Residential – along Hope Street, Fremont Avenue, Mound Avenue
- Grace Brethren Community Church – 920 Fremont Avenue

The SPMC, Section 36.350.040 does not identify a minimum distance requirement between the listed uses but shall be considered when reviewing new alcoholic beverage sales applications. The applicant is requesting to sell beer and wine at the newly

constructed convenience store, with proper regulation enforced by the Department of ABC and as conditioned, the proposed use would not result in a negative impact to the surrounding neighborhood. Additionally, the South Pasadena Police Department reviewed the application and had no objections to the proposal.

3. *Noise*

The existing site contains a convenience store and a repair garage—the proposed request is to demolish the repair garage and convenience store and construct a new convenience store. The existing convenience store currently operates 24 hours. The use is not changing, as such the noise impact is not expected to change. As conditioned, the application will be required to adhere to the City’s Noise Ordinance pursuant to Chapter 19A of the SPMC.

4. *Signage*

The last consideration for compliance with the City’s alcoholic beverage standards concerns the compatibility of signage and other advertising with the surrounding neighborhood. The applicant has chosen not to include a sign permit with this application; however, as conditioned, there shall be no advertising for alcoholic beverages.

Conditional Use Permit Findings

In order to approve a CUP, the Planning Commission must make certain findings listed in SPMC section 36.410.060. The required findings are listed below.

1. *The proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;*

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a convenience store is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for off-site consumption (Type 20 License) as an ancillary use to the main gas station and convenience store operation and the project meets all the standards in the underline zoning district. Furthermore, as discussed in the staff report, the proposal meets all applicable zoning standards for alcoholic beverage sales concerning undue concentration, distance between surrounding uses, adherence to the City’s noise standards and signage standards.

2. *The proposed use is consistent with the General Plan and any applicable specific plan.*

The CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: *To maintain the character of South Pasadena’s “main street” commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.*

Policy 2.2: *Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.*

Policy 3.10: *Encourage convenience business. Encourage the appropriate “convenience” commercial to serve residents within walking distance of homes.*

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell beer and wine, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change the nature of the business, but will however, enhance the existing commercial activity. Therefore, the request is consistent with the General Plan.

3. *The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

The proposed sale of beer and wine for off-site consumption is an ancillary use to the gas station/convenience store operation and is reasonable given the project’s location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited from 6:00 a.m. until 12:00 a.m., daily. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public.

4. *The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.*

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions of Approval are included, requiring no loitering on the property, and required training for employees who will sell beer and wine to ensure that the sales of alcoholic beverages would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

5. *The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.*

The request is for a CUP for off-site beer and wine sales at an existing gas station with a convenience store slated to be demolished and a larger convenience store proposed. The applicant is proposing to remove one point of access on Mission Street; however, the points of access will remain from Mission Street and Fremont Avenue. The proposed gas station/convenience store use is not proposed to change, as such, the project as proposed and conditioned, is adequate in terms of size, access, and traffic expected to be generated.

6. *The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.*

The proposed convenience store is compatible with existing commercial land uses within the vicinity. The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) or various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth finish and painted in earth tone colors to harmonize with the surrounding neighborhood; thus, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and impacts on neighboring properties.

General Standards for Construction

The Public Works Department has reviewed this project and recommended Conditions of Approval (**Attachment 1, Exhibit "A"**) to mitigate any potential construction impact during construction. The recommended conditions include, but are not limited to, requiring the applicant to submit a construction management plan, advanced notice for any street closures, and prohibiting overnight storage of materials or equipment within the public right-of-way.

Environmental Analysis

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction and Section 15303, Class 3 – New Construction or Conversion of Small Structures.

Alternatives to Consider

Planning Commission may also consider the following alternatives to this recommendation:

1. The Planning Commission may approve the project with modified/added conditions;
2. The Planning Commission may continue the project to address comments discussed; or
3. The Planning Commission may deny the project.

Public Notification

Hearing notices were sent to all properties within a 300-foot radius of the property on November 30, 2023. A Public Hearing Notice was published on December 1, 2023, in the South Pasadena Review. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Public Comments

At the time of writing this report, staff did not receive public comments regarding the proposed project.

Next Steps

If the Planning Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

Attachments:

1. P.C. Resolution with "Exhibit A" – Conditions of Approval
2. Site and Neighborhood Images
3. Project Narrative
4. Alcohol Sales & Gas Station Training Program
5. Materials Brochures
6. Rendering
7. Architectural Plans

ATTACHMENT 1

P.C. Resolution with “Exhibit A” – Conditions of Approval

P.C. RESOLUTION NO. 24 - ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA APPROVING PROJECT NO. 2495-NID/DRX/CUP FOR A REQUEST FOR A NOTICE OF INTENT TO DEMOLISH A 643-SQUARE-FOOT CONVENIENCE STORE AND A 1,221-SQUARE-FOOT REPAIR GARAGE; A DESIGN REVIEW PERMIT TO CONSTRUCT A 1,981-SQUARE-FOOT CONVENIENCE STORE WITH A 127-SQUARE-FOOT TRASH ENCLOSURE; AND A CONDITIONAL USE PERMIT FOR THE SALE OF BEER AND WINE FOR OFF-SITE CONSUMPTION AT 1400 MISSION STREET (APN: 5315-002-030); AND MAKING A DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

WHEREAS, on May 4, 2022, Karl Huy (the “applicant”) submitted applications for the following entitlements:

1. **Notice of Intent to Demolish (NID)** a 643-square-foot convenience store and a 1,221-square-foot repair garage;
2. **Design Review Permit (DRX)** for the review of the design aspects of the proposed 1,981-square-foot convenience store and 127-square-foot trash enclosure; and,
3. **Conditional Use Permit (CUP)** for the sale of beer and wine for off-site consumption (Type 20 ABC License). Hours of alcohol sales are from 6:00 a.m. until 12:00 a.m., daily.

In accordance with SPMC, Section 2.65(e)(3), any structure over 45 years old that proposes demolition and is not identified as a historic or cultural resource requires the preparation of an intensive-level Historic Resource Evaluation (HRE) report. The two structures on the subject property are over 45 years old and are slated for demolition, as such, an intensive-level HRE was prepared by a City-selected architectural historian consultant, to evaluate the property and determine if the property is a historic and cultural resource prior to its demolition. Based on the report’s findings, on May 18, 2023, the Cultural Heritage Commission (CHC) determined that the subject buildings are not eligible for national, state, or local designation, as such, the subject property is not historic and culturally significant. The project is located at 1400 Mission Street (APN: 5315-002-030). The above-referenced applications and requests are referred to herein as the “project” or “proposed project”; and

WHEREAS, the subject property is zoned Commercial General (CG) and has a General Plan land use designation of General Commercial; and

WHEREAS, the proposed project is categorically exempt from the California Environmental Quality Act (CEQA), per CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction, where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced and Section 15303, Class 3 – New Construction or Conversion of

Small Structures. The project will not have a significant effect on the environment because the project falls under a Class 3 – New Construction of Small Structures including “a store not exceeding 2500 square feet in floor area”; the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and is not located in an environmentally sensitive area; and

WHEREAS, the Community Development Department evaluated the project for consistency with the City’s General Plan, South Pasadena Municipal Code, and all other applicable state and local regulations; and

WHEREAS, on November 30, 2023, public hearing notices were mailed to each property owner within a 300-foot radius of the project site in accordance with the requirements of South Pasadena Municipal Code declaring the project review by the Planning Commission. On December 1, 2023, the City of South Pasadena Planning Division, published a legal notice in the *South Pasadena Review*, a local newspaper of general circulation, indicating the date, time, and location of the public hearing in compliance with state law concerning Project No. 2495-NID/DRX/CUP; and

WHEREAS, the South Pasadena Planning Commission held a duly noticed public hearing on January 9, 2024, at which time it considered the staff report, oral report, the testimony, and the written evidence submitted by and on behalf of the applicant and by members of the public concerning Project No. 2495-NID/DRX/CUP.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF SOUTH PASADENA DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ACKNOWLEDGEMENTS

The foregoing recitals are true and correct and are incorporated and made an operative part of this resolution.

SECTION 2: ENVIRONMENTAL REVIEW FINDINGS

The Planning Commission has determined that the proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under CEQA Guidelines Section 15302, Class 2 – Replacement or Reconstruction. Class 2 exemption consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Class 2 exemption includes but is not limited to: replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. Section 15303, Class 3 – New Construction or Conversion of Small Structures. Class 3 exemption includes the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are

made in the exterior of the structure. Class 3 exemption includes, but is not limited to: a store, motel, office, restaurant or similar commercial or institutional structure not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area. The project will not have a significant effect on the environment because the project includes one convenience store under 2,500 square feet; the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and is not located in an environmentally sensitive area.

SECTION 3: DESIGN REVIEW FINDINGS

Based upon the entire record made available at the January 9, 2024 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings for approval of a Design Review Permit pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.040(I), as follows:

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic district or other special districts, plan developments, or specific plans);**

The Design Review application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell beer and wine, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change

the nature of the business, but will however, enhance the existing commercial activity. Therefore, the request is consistent with the General Plan.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project site will continue to be utilized as a gas station/convenience store. No changes are proposed for the function or activities of the site. The proposed demolition of the existing convenience store and repair garage; and replacement of the convenience store will not affect the site, rather the changes proposed are intended to enhance the pedestrian and commercial activity, which will be a benefit to the neighborhood. Accordingly, the proposed project will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by SPMC Section 36.410.040 and the General Plan; and**

The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) of various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth sand finish and painted in earth tone colors. The earth tone color palette is used to harmonize with the surrounding buildings. The overall design of the commercial building will maintain an attractive, harmonious, and orderly development. Accordingly, the proposed project is compatible with the existing character of the surrounding neighborhood and all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this requirement, and the General Plan.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The project proposes to update the existing gas station/convenience store by demolishing the convenience store and repair garage and replacing them with a larger convenience store. The stucco cladding is commonly seen in the immediate neighborhood, as well as brick veneer. The convenience store will be painted in an earth tone color palette to harmonize with the surrounding neighborhood; thus, the proposed project would provide a desirable environment for the project site, and is aesthetically of good composition, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.

SECTION 4: CONDITIONAL USE PERMIT FINDINGS

Based upon the entire record made available at the January 9, 2024 public hearing, including the public hearing, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the public hearing, the Planning Commission finds and determines that the proposed project is consistent with all applicable findings to grant a Conditional Use Permit for the sale of beer and wine for off-site consumption (Type 20 ABC License). Pursuant to the South Pasadena Municipal Code (SPMC), Section 36.410.060, the Planning Commission finds as follows:

1. The proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code;

The project site is zoned Commercial General (CG) which is intended for the development of a wide range of commercial retail and service land uses. The sale of alcohol at a convenience store is permitted in the CG zone with approval of a Conditional Use Permit. The proposed Conditional Use Permit for sale of beer and wine for off-site consumption (Type 20 License) is an ancillary use to the main gas station and convenience store operation and the project meets all the standards in the underline zoning district. Furthermore, as discussed in the staff report, the proposal meets all applicable zoning standards for alcoholic beverage sales concerning undue concentration, distance between surrounding uses, adherence to the City's noise standards and signage standards. Accordingly, the proposed use is allowed with Conditional Use Permit approval within the applicable zoning district and complies with all applicable provisions of this Zoning Code.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

The CUP application was submitted and deemed complete prior to the new General Plan and Zoning updates. As such, review of the project will be considered under the previous General Plan (1998) and CG zoning district. With that said, the proposed project is consistent with the following General Plan (1998) goals and policies:

2.5B Economic Development/Commercial Revitalization

Goal 2: To maintain the character of South Pasadena's "main street" commercial areas, support the proprietary businesses of the city, avoid deterioration of commercial areas and the business tax base, and promote those forms of economic development that will provide additional jobs, services and opportunities to the city and its residents.

Policy 2.2: Strengthen retail. Encourage retail and sales tax producing businesses to remain in, expand in, or come to South Pasadena to promote

healthy retail areas.

Policy 3.10: Encourage convenience business. Encourage the appropriate "convenience" commercial to serve residents within walking distance of homes.

The proposed project supports the goals, policies, actions of the General Plan by allowing an existing business to sell beer and wine, which would allow for the growth of local economic activity. The addition of alcohol sales will not substantially change the nature of the business, but will however, enhance the existing commercial activity. Therefore, the request is consistent with the General Plan.

- 3. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.**

The proposed sale of beer and wine for off-site consumption is an ancillary use to the gas station/convenience store operation and is reasonable given the project's location in a competitive commercially zoned area. As conditioned, the sale of beer and wine will be limited from 6:00 a.m. until 12:00 a.m., daily. Nevertheless, conditions are also imposed to ensure the proposed use is not detrimental to the health, safety, or general welfare of the general public. Accordingly, the establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

- 4. The use, as described and conditionally approved, would not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.**

Approval of the Conditional Use Permit, as conditioned, would not be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City. Conditions of Approval are included, requiring no loitering on the property, and required training for employees who will sell beer and wine to ensure that the sales of alcoholic beverages would not be detrimental to the community.

The proposal meets all the conditions of approval as described in the SPMC. Therefore, the proposed use would not be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City.

- 5. The subject site is adequate in terms of size, shape, topography, and circumstances and has sufficient access to streets and highways which are adequate in width and pavement type to carry the quantity and quality of traffic expected to be generated by the proposed use.**

The request is for a CUP for off-site beer and wine sales at an existing gas station with a convenience store slated to be demolished and a larger convenience store proposed. The applicant is proposing to remove one point of access on Mission Street; however, the points of access will remain from Mission Street and Fremont Avenue. The proposed gas station/convenience store use is not proposed to change, as such, the project as proposed and conditioned, is adequate in terms of size, access, and traffic expected to be generated.

- 6. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, impacts on neighboring properties.**

The proposed convenience store is compatible with existing commercial land uses within the vicinity. The existing character of the surrounding neighborhood consists of a variety of commercial buildings and multi-family residences (north) or various architectural styles. The project proposes a new convenience store to replace the previous convenience store. The proposed convenience store will be of Mediterranean influence with cement tile roof, Spanish tile accents, and brick veneer. The exterior will include cement plaster with a smooth finish and painted in earth tone colors to harmonize with the surrounding neighborhood; thus, the design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land use in the vicinity in terms of aesthetics, character, scale, and impacts on neighboring properties.

SECTION 5: RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission's decision is based, which include, but are not limited to, the staff reports, as well as all materials that support the staff reports for the proposed project, are located in the Community Development Department of the City of South Pasadena at 1414 Mission Street, South Pasadena, CA 91030. The custodian of these documents is the City Clerk of the City of South Pasadena.

SECTION 6: DETERMINATION

Based upon the findings outlined in Sections 2 through 4 above and provided during the public hearing, the Planning Commission of the City of South Pasadena hereby approves Project No 2495-NID/DRX/CUP and the applications for a Design Review Permit and a Conditional Use Permit for the proposed demolition of an existing convenience store and repair garage and newly constructed convenience store with beer and wine sales for off-site consumption located at 1400 Mission Street (APN: 5315-002-030), subject to the Conditions of Approval that are attached hereto as "Exhibit A".

SECTION 7: APPEAL

Any interested person may appeal this decision or any portion of this decision to the City Council. Pursuant to the South Pasadena Municipal Code, any such appeal must be filed with the City, in writing, and with appropriate appeal fee, no later than fifteen (15) days, following the date of the Planning Commission's final action.

SECTION 8: CERTIFICATION OF THE RESOLUTION

The Secretary shall certify that the foregoing Resolution was adopted by the Planning Commission of the City of South Pasadena at a duly noticed regular meeting held on the 9th day of January, 2024.

PASSED, APPROVED, AND ADOPTED this 9th day of January, 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Laura Dahl, Chair

ATTEST:

Amitabh Barthakur, Secretary to the Planning Commission

EXHIBIT "A"
CONDITIONS OF APPROVAL
PROJECT NO. 2495-NID/DRX/CUP
1400 MISSION STREET (APN: 5315-002-030)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Planning Commission on January 9, 2024:

1. **Notice of Intent to Demolish (NID)** a 643-square-foot convenience store and a 1,221-square-foot repair garage;
2. **Design Review Permit (DRX)** for the review of the design aspects of the proposed 1,981-square-foot convenience store and 127-square-foot trash enclosure; and,
3. **Conditional Use Permit (CUP)** for the sale of beer and wine for off-site consumption (Type 20 ABC License). Hours of alcohol sales are from 6:00 a.m. until 12:00 a.m., daily.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the project.
- P2. This approval and all rights hereunder shall terminate within twelve (12) months of the effective date of their approval unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. The off-site beer and wine license (Type 20 ABC License) shall be acquired from the California Department of Alcoholic Beverage Control (ABC); the alcohol entitlement shall terminate within twelve (12) months from approval date of the Building Permit final for the newly constructed convenience store.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval (collectively referred to herein as the "applicant"), shall defend, indemnify

and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

- P7. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P8. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P9. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
 - a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P10. The applicant shall submit final landscape and irrigation plans showing compliance with state law and the City's Water Efficient Landscape Ordinance (SMPC Section 35.50), for approval by the Community Development Director.
- P11. The construction plan shall show that all lighting on the site will be directed downward and shielded to prevent off-lighting on adjacent properties.
- P12. Any proposed signage for the service station or convenience store shall be submitted and approved by the Community Development Department prior to installation.
- P13. A construction sign with contact information for the contractor shall be clearly posted on-site during construction.
- P14. Any proposed revision to the approved plans shall require review and approval by the Community Development Department prior to construction. The Community Development Department may refer the proposed revision to the Planning Commission or Planning Commission Chair for approval.
- P15. The hours of beer and wine sales shall be limited from 6:00 a.m. until 12:00 a.m. daily.
- P16. The sale of beer and wine for off-site consumption shall be incidental to the operation of the gas station/convenience store; beer and wine shall not exceed ten (10) percent of the sales floor area.

- P17. No advertising for alcoholic beverages may be displayed in store windows or outside the convenience store.
- P18. All beer and wine sale cases/displays shall be located in such a manner to prevent “grab-and-run” thefts. The sales cases/displays shall be located in sight of the sales counter at all times, if possible.
- P19. Employees who will be engaged in the sale of beer and wine must complete the California Department of Alcoholic Beverage Control’s mandated training, as well as the store’s internal training on the sale of alcoholic beverages.
- P20. Any individuals discovered loitering on the property shall immediately be informed to leave the premises, by the gas station/convenience store management and/or staff. Should this fail to abate the problems, the South Pasadena Police Department and/or other enforcement agencies reserve the right to take appropriate enforcement actions to abate the problem, and the permit/alcohol licenses may be subject to revocation.
- P21. The Conditional Use Permit issued for the sale of alcoholic beverages and a copy of the conditions of approval for the permit shall be displayed on the premises of the establishment in a place where it may readily be viewed by any member of the general public.

BUILDING DIVISION:

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior to permit issuance.
- B3. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
- B4. Park Impact Fee to be paid at the time of permit issuance.
- B5. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B6. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B7. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B8. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;

- b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B9. The geotechnical and soils engineer shall review and approve the project grading and foundation plans to show compliance that their recommendations have been properly implemented.
- B10. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by another soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B11. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B12. Stormwater Planning Program LID Plan Checklist (MS4-1 Form) completed by Engineer of Record shall be copied on the first sheet of Grading Plans. The form can be found at the following link
<https://www.dropbox.com/s/5p4yf08beipzyot/SP%20MS4-1%20LID%20Determination%20Form.pdf?dl=0>
- B13. All State of California disability access regulations for accessibility shall be complied with.
- B14. Approval is required from the Los Angeles County Health Department for food handling and/or storage.
- B15. The property shall be surveyed, and the boundaries marked by a land surveyor licensed by the State of California.
- B16. Foundation inspection will not be made until the excavation has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B17. Electrical plan check is required.
- B18. Mechanical plan check is required.
- B19. Plumbing plan check is required.

- B20. Plumbing fixtures shall be provided as required by the Chapter 4 of the California Plumbing Code. Additional fixtures may be required if not in compliance.
- B21. Project shall comply with the CalGreen Nonresidential mandatory requirements.
- B22. No form work or other construction materials will be permitted to encroach into adjacent property without written approval of the affected property owner.
- B23. Demolition permit is required for any existing buildings which are to be demolished.
- B24. Separate plan review and permit is required for each detached structure.
- B25. When required by Fire Department, all fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indicating this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit. A separate permit is required for Fire Sprinklers.

PUBLIC WORKS DEPARTMENT:

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned.
- PW2. The applicant shall pay all applicable City and LA County fees, including Public Works Department plan review fee of \$922 for two (2) reviews and an additional fee of \$153 for each additional review and permit fees per the current adopted Master Fee Schedule which can be found on the City's website. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. The applicant shall be responsible for all costs incurred by the City and the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall deposit monies into an approved project account from which the City shall draw funds to pay for said professional services.
- PW4. Mission Street and Fremont Street shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related traffic. The applicant will be responsible to restore the road to its original condition. These video recordings and photographs shall be submitted to the City before the start of the project and immediately upon completion of the project.
- PW5. Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- PW6. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.

- PW7. If applicable, the applicant shall pay all applicable City sewer and/or water capacity charges per SPMC Section 16B.3.
- PW8. Show the location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- PW9. If applicable, the applicant shall provide a new sewer connection to the property. The proposed sewer lateral shall be a four-inch (4") diameter vitrified clay pipe (VCP) that connects to the City sewer main within the public right-of-way.
- PW10. The applicant shall contact the City of South Pasadena Water Division to verify the existing water meter connection is adequate for the proposed structure/fire sprinkler system. Coordinate the size, location, and associated fee for a new water meter connection, as applicable. Please contact the Water Operations Manager at (626) 460-6393 for additional information.
- PW11. Provide clearance letter from utility companies for any proposed relocation of utility lines that encroach on the properties prior to obtaining permits for the project.
- PW12. Improvement plans for underground utilities (i.e. water, sewer, electrical, telecommunications, etc.) to be placed in the public right-of-way or easement that will be owned and maintained by other entities shall be reviewed by the City prior to Utility Agency approval. The City shall have a place on the title sheet to accept the plans with a statement: "The City's acceptance is limited to the placement of utilities relative to public infrastructure clearances, uses, and future plans within the right-of-way.
- PW13. Show the existing grade, location, and dimensions of all existing and proposed conditions within public right-of-way including, but not limited to: curb and gutter, sidewalk, driveway, traffic striping, signage, utilities, storm drain facilities, trees, and other features.
- PW14. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk, and driveway and repaint all curb markings fronting the property on Mission Street and Fremont Avenue to the satisfaction of the City Engineer. In addition, existing sidewalk and driveway approaches that are below current city standards shall be replaced regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current editions of the Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- PW15. If the street light to be relocated, the applicant shall submit a street lighting plan per City standards.
- PW16. The applicant shall bring the existing parkway on Mission Street and Fremont Avenue up to current standards per SPMC Section 31.48. [The applicant shall submit a parkway landscape plan for review and the landscape design shall conform to the Model Water Efficient Landscape Ordinance (MWELO) as stipulated in SPMC Chapter 35, Article III.]
- PW17. Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being

removed and what alternative options were considered to preserve the existing trees.

- PW18. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW19. The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- PW20. Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. At least 48 hours advance notice shall be given to residents for street and lane closures. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department.
- PW21. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and resident at least 48 hours in advance of the street closure.
- PW22. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- PW23. Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- PW24. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- PW25. The applicant shall be responsible for posting a project sign at the entrance to the project site displaying the City's construction hours per SPMC Section 19A.13. The project sign shall be 24" x 36" and made of durable weather-resistant material. The applicant shall provide a 24-hour emergency contact number for the designated contact who will be responsible for maintaining the public right-of-way during the all stages of construction until the project is complete.

PW26. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

PW27. Trucks over 3 tons are prohibited from entering Fremont Avenue. The applicant shall post signs prohibiting trucks over 3 tons from entering Fremont Avenue at the west driveway. The applicant shall provide an on-site circulation plan for trucks entering and exiting the gas station. Additionally, the applicant shall include the on-site circulation plan for the trucks entering to refill the fuel storage tanks.

FIRE DEPARTMENT:

FD1. All construction must comply with all appropriate fire protection installation standards as adopted by the South Pasadena Fire Department.

FD2. Shall comply with all current 2022 adopted California Building Code, California Fire Code, NFPA's and South Pasadena Municipal Code. Requirements are based on occupancy classification.

FD3. Means of Egress for Existing Buildings. Means of egress in existing buildings shall comply with the minimum egress requirements where specify in Table 1103.1, as further enumerated in Sections 1104.2 through 1104.25, and the building code that applied at the time of construction, the most restrictive provision shall apply.

FD4. Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof.

FD5. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approve building identification placed in a position that is plainly legible and visible from the street or road fronting the property.

FD6. Knox Box required. Where access to or within a structure or an area is restricted because of secure openings or where immediate access is necessary for life-saving or fire-fighting purposes, the Fire Code Official is authorized to require a key box to be installed in an approved location. (506.1 CFC)

FD7. Portables Fire extinguishers. Structures under construction, alteration or demolition shall be provide with no less one approved portable fire extinguisher in accordance with Section 905 and sized for not less than ordinary hazard as follows:

- a. In every storage and construction shed.
- b. Where special hazards exist including but not limited to and the storage and use of combustible and flammable liquids. (3315.1 CFC)
- c. At each stairway on all floor levels where combustible materials have accumulated.

FD8. Portables fire extinguishers shall be install in all of the following locations:
In new and existing Group A, B, E, F, H, I, L, M, R-1, R-2, R-2.1, R-3.1, R-4 and S occupancies. (906.1 CFC)

FD9. Compress gases in storage or use not regulated by the material-specific provisions of Chapters 6, 54, 55, and 60 through 67, including asphyxiant, irritant and radioactive gases, shall comply with this Section in addition to other requirements of this chapter (5307 CFC).

FD10. The applicant must show placement and type of fire extinguishers at time of submittal.

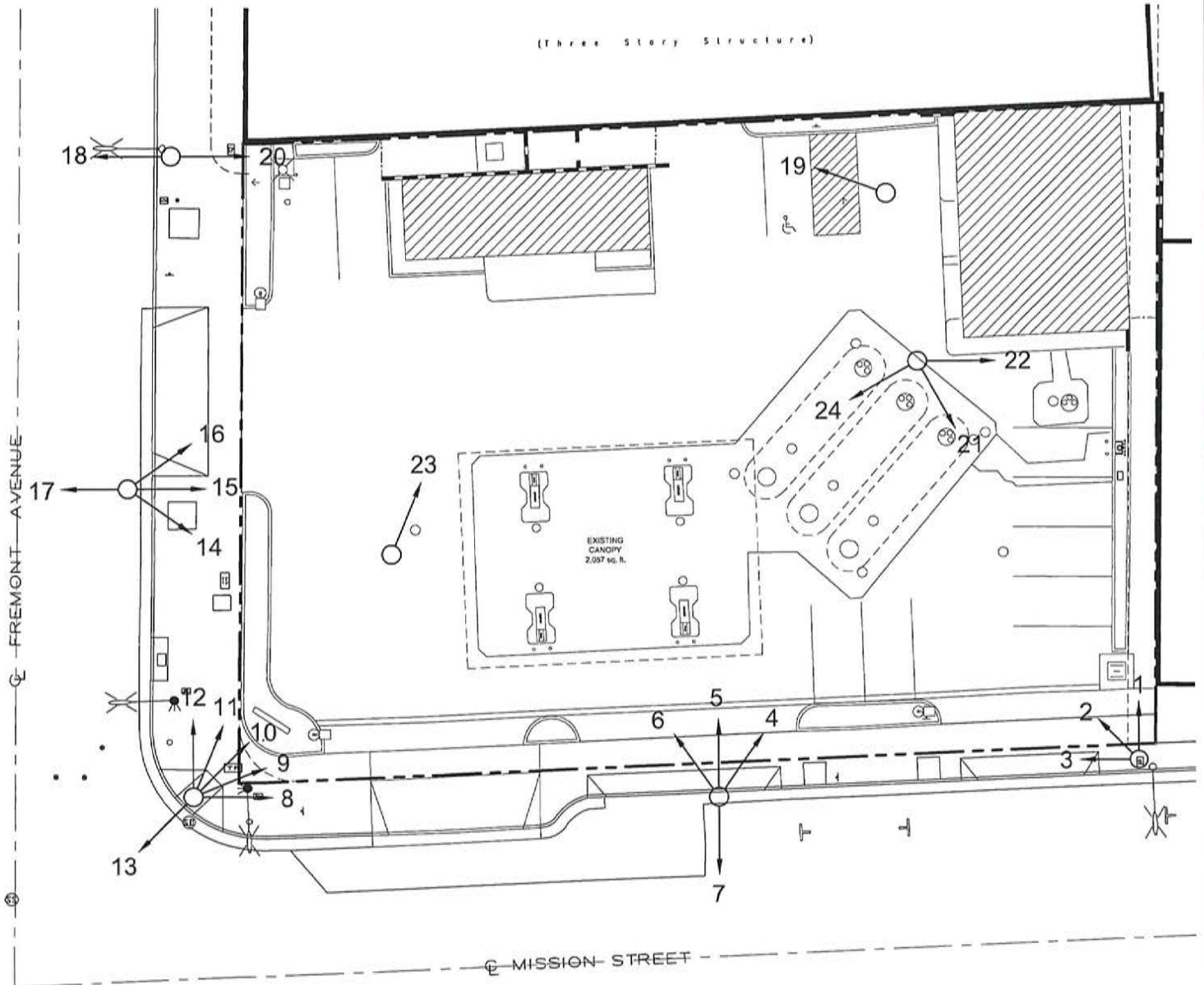
FD11. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 2

Site and Neighborhood Images



NORTH



5/3/22

PREPARED BY:



Travis Companies, Inc.

4430 E. Miraloma Ave, Suite F, Anaheim, Ca 92807

Tel: (714) 693-9388 Fax: (714) 693-9333

© Travis Companies, Inc. 2022 All Rights Reserved

SITE PHOTOGRAPHIC SURVEY KEY MAP

G&M OIL COMPANY FACILITY No.: 151

1400 MISSION STREET

SOUTH PASADENA, CA 91030



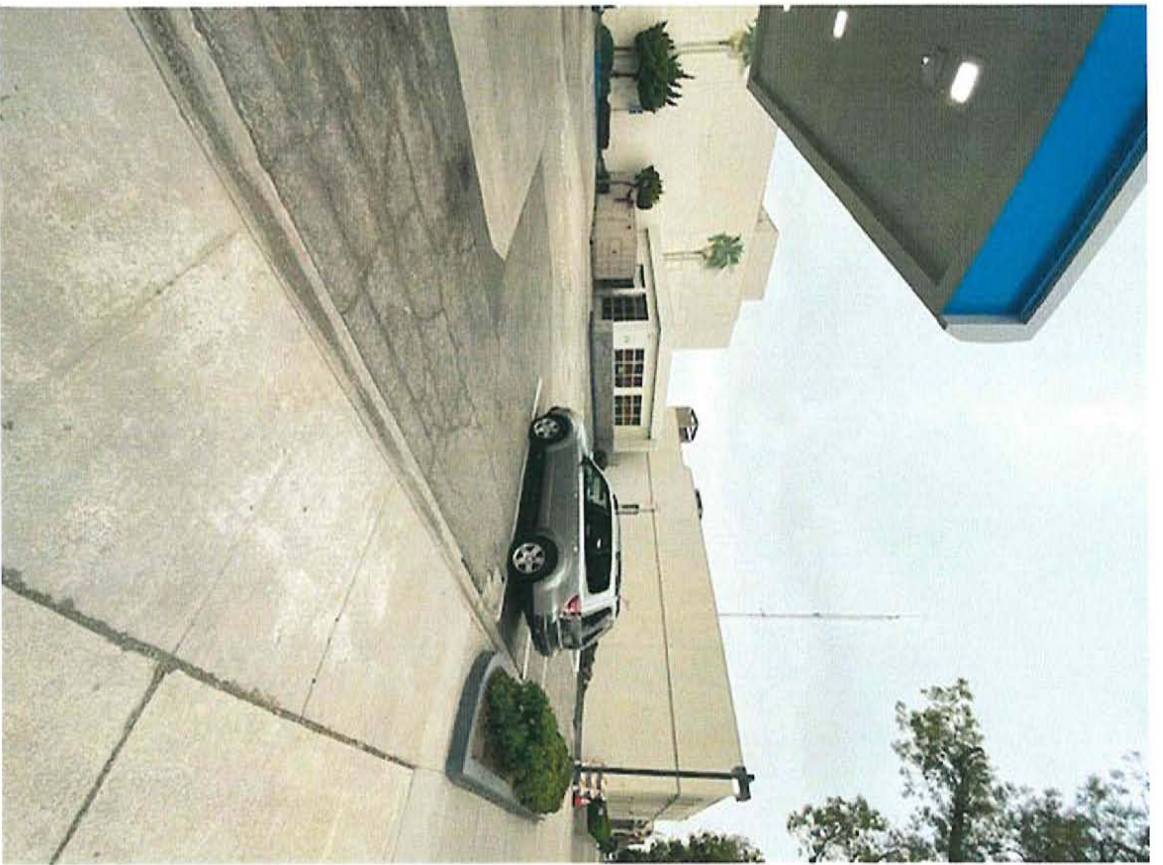
Photograph #1



Photograph #2



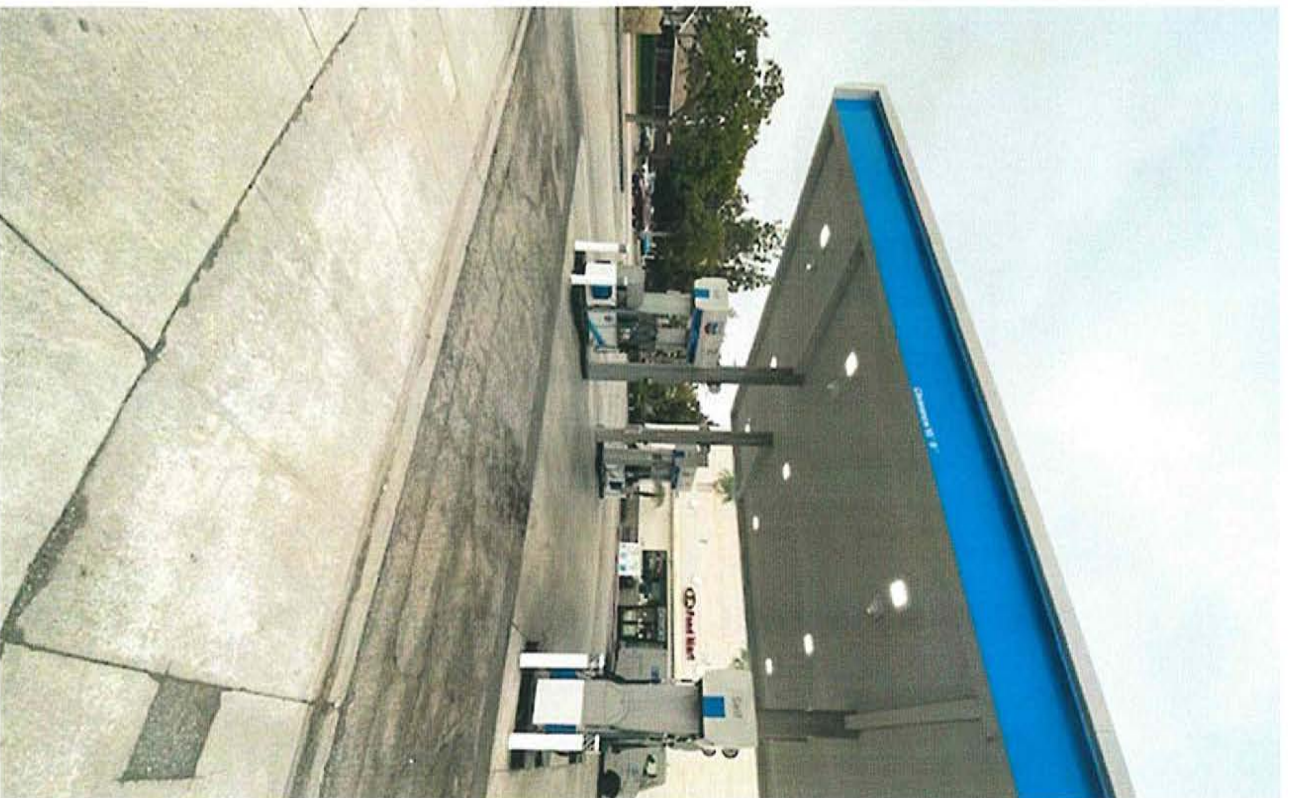
Photograph #3



Photograph #4



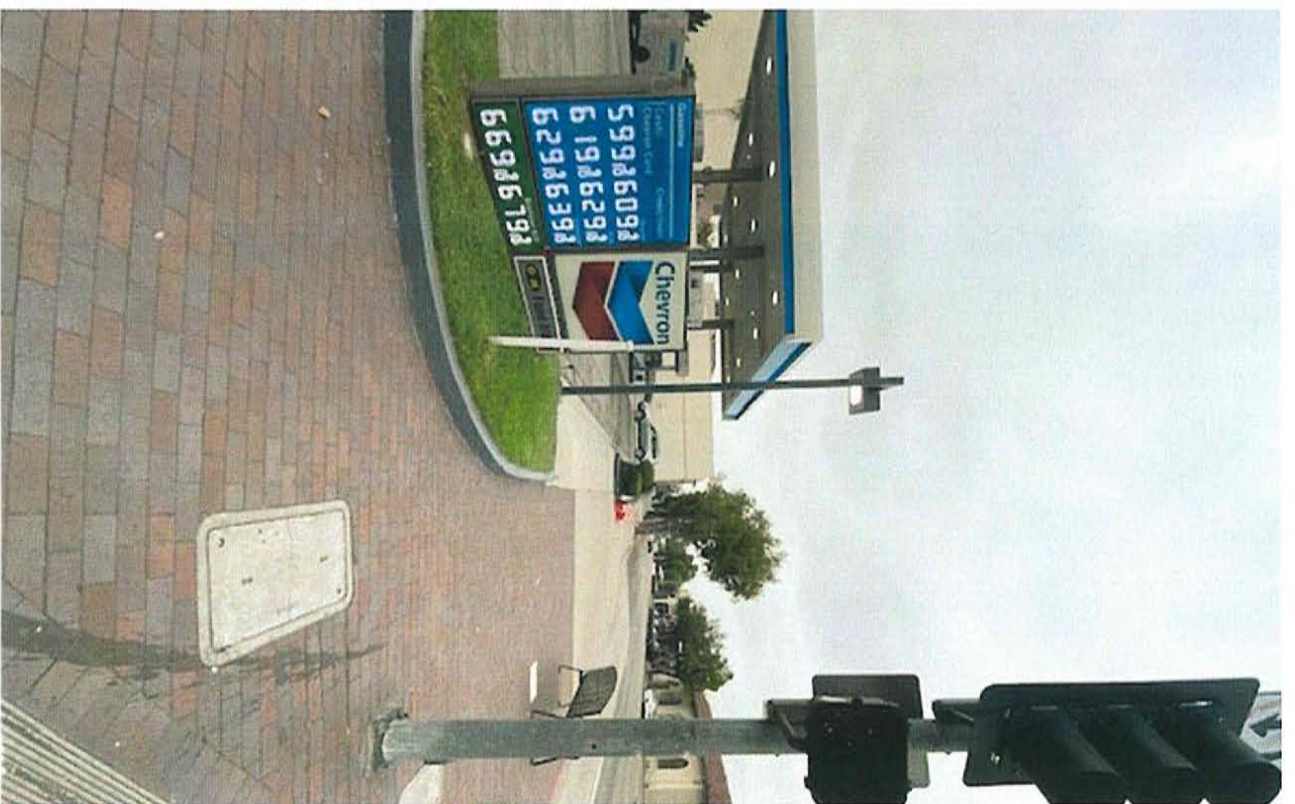
Photograph #5



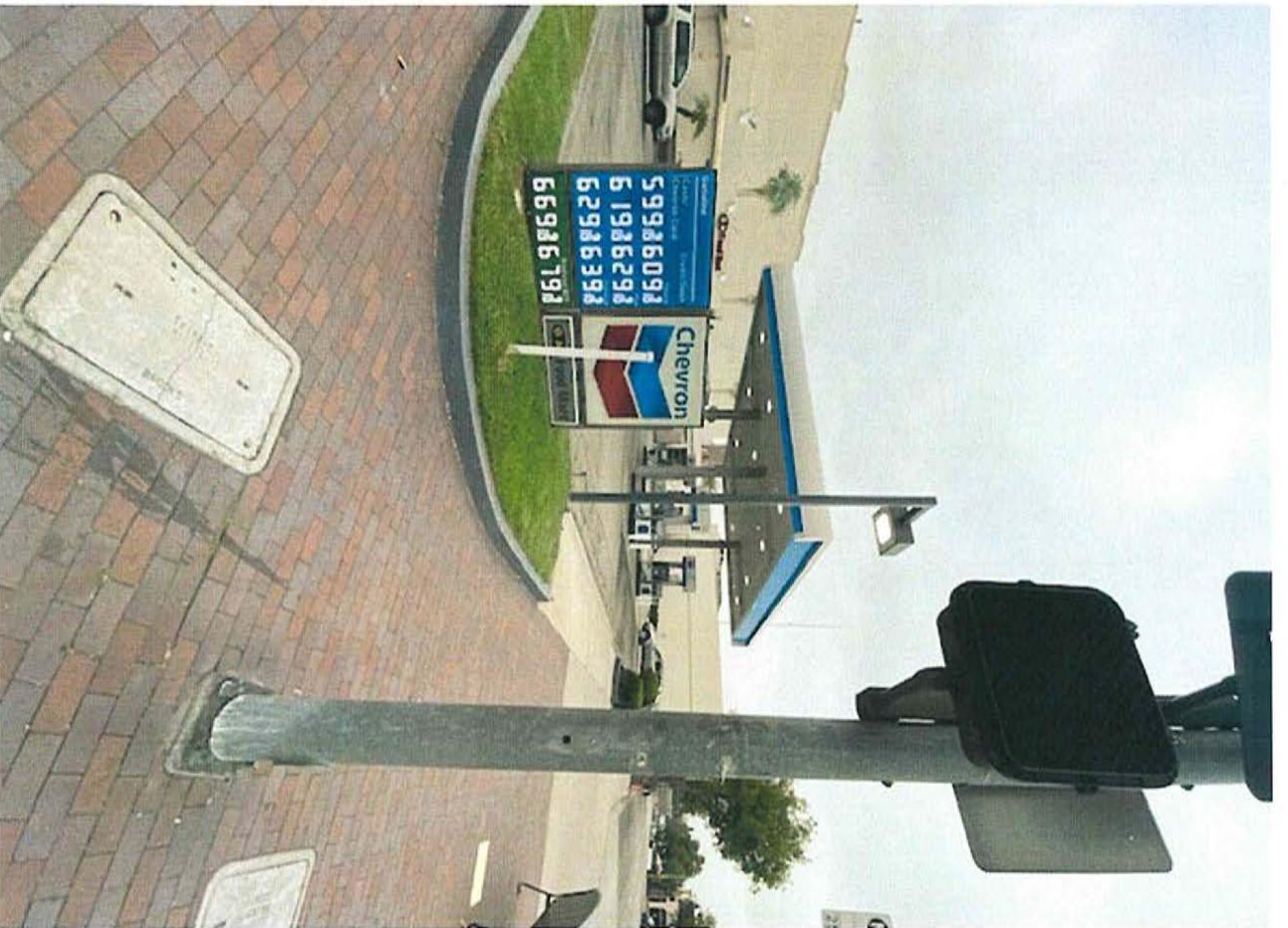
Photograph #6



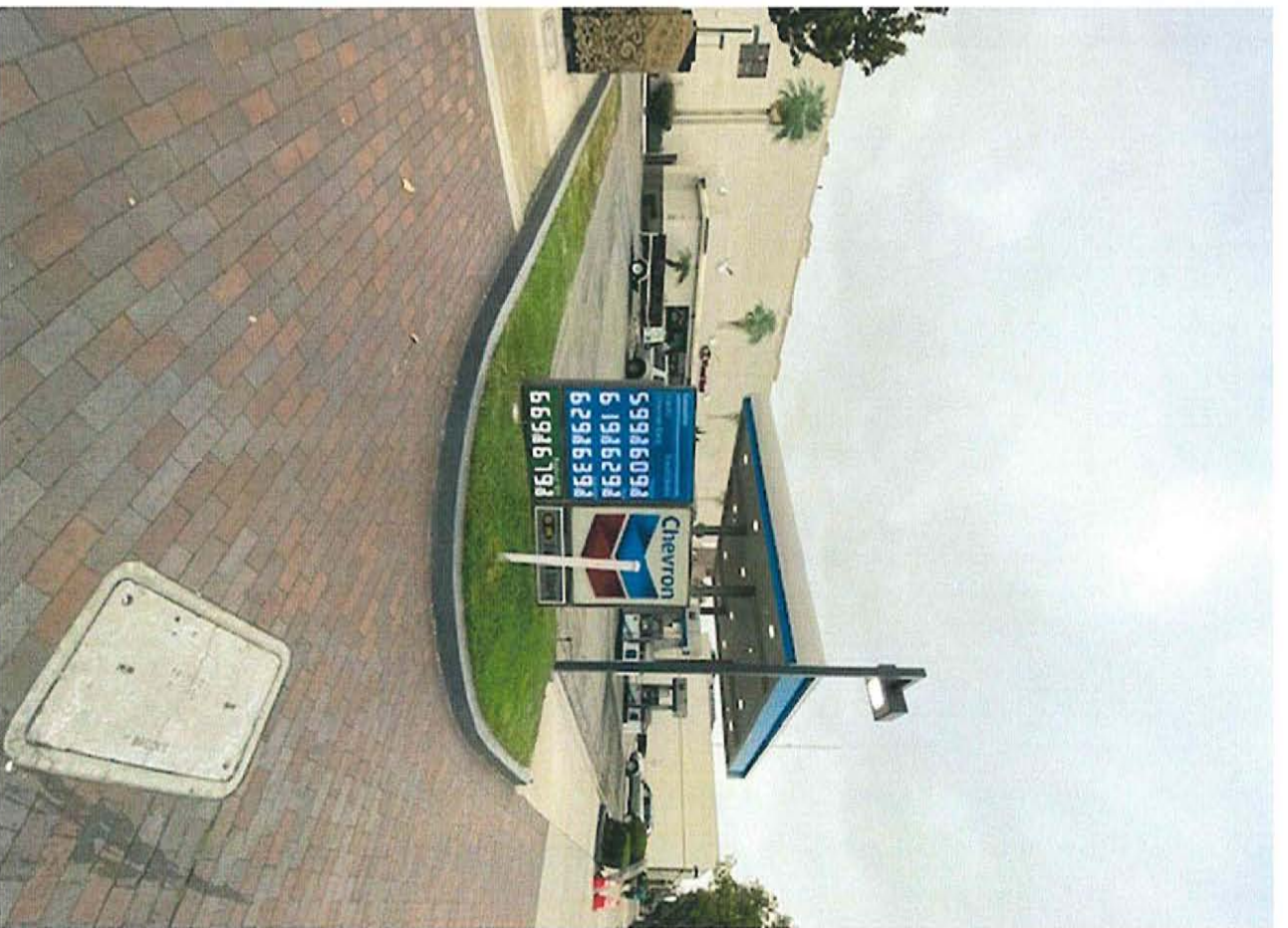
Photograph #7



Photograph #8



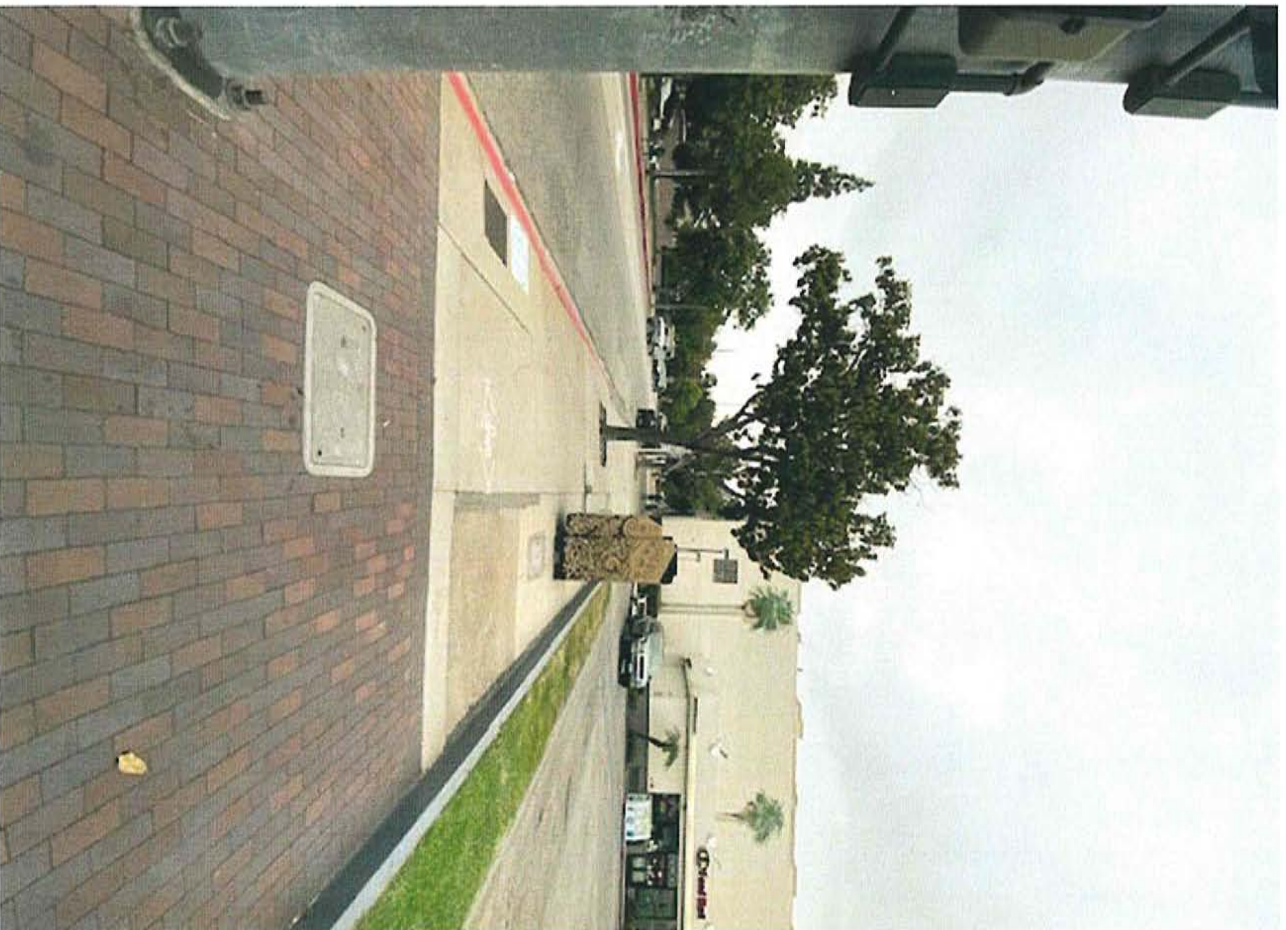
Photograph #9



Photograph #10



Photograph #11



Photograph #12



Photograph #13



Photograph #14



Photograph #15



Photograph #16



Photograph #17



Photograph #18



Photograph #19



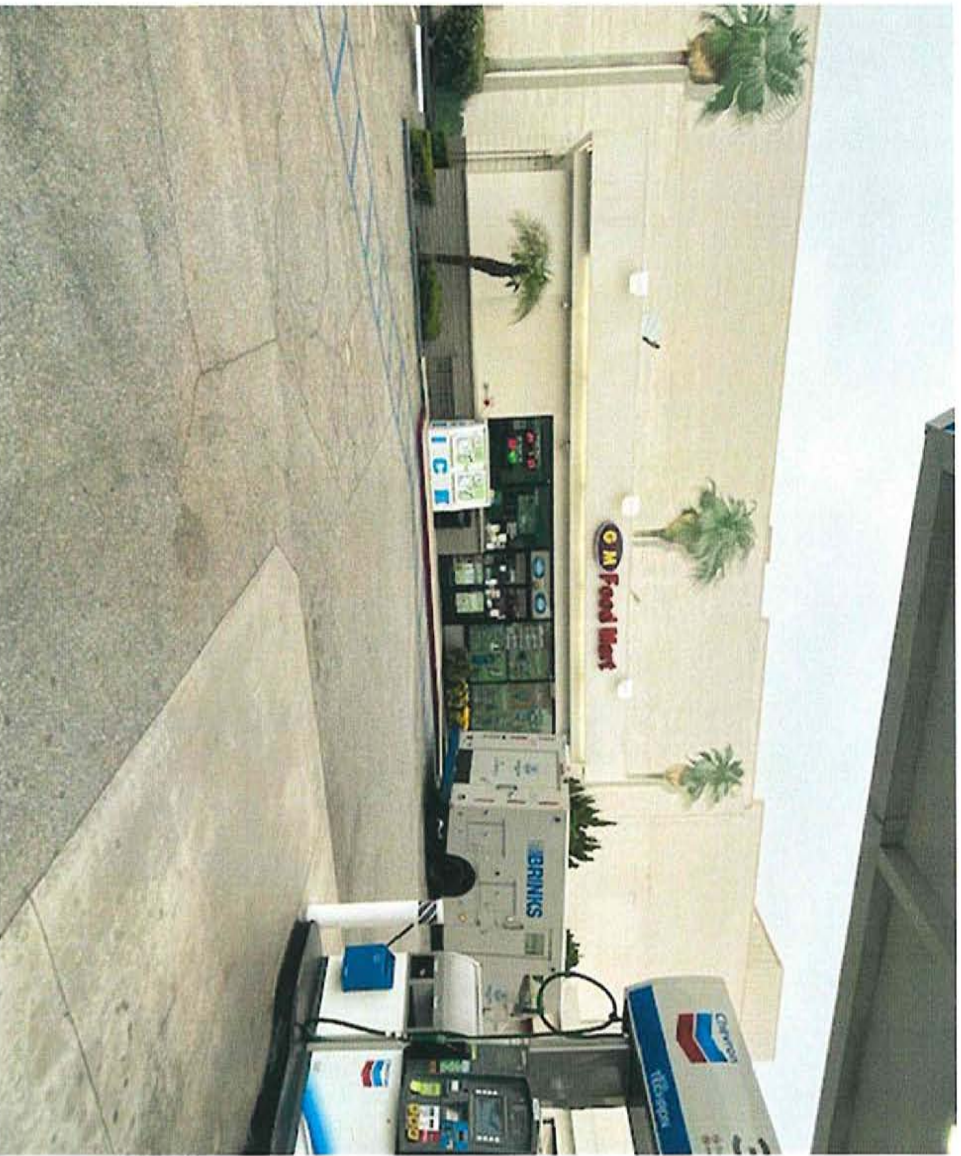
Photograph #20



Photograph #21



Photograph #22



Photograph #23



Photograph #24

ATTACHMENT 3

Project Narrative

**G&M Oil #151 - South Pasadena
1400 Mission Street, South Pasadena, California**

Project Narrative and Description

Project Description

The proposed project site is located at the northeast corner of the intersection of Fremont Avenue and Mission Street. The street address for the project site is 1400 Mission Street. The project site is currently zoned CG (Commercial General) and is currently occupied with the existing G&M Oil commercial use (retail gasoline station, convenience store and automotive repair/service bay building). The project site is currently improved with existing building structures, one raised canopy structure, multiple fuel dispensing devices, underground storage tanks, paving and site improvements along with minor landscape and driveway improvements.

The proposed project involves the demolition of both existing buildings, the elimination of the automotive repair use in its entirety and the construction of a new single story convenience store building. In all a total of 1,864 square feet of building area will be demolished and a total of 2,057 square feet of building area constructed. This results in a new gain of 193 square feet of building area. The proposed building will be one-story and 2,057 square feet in size. The convenience store will continue to operate as a local neighbor store providing for the sale of typical neighborhood and community goods such as coffee and beverages, pre-package goods, convenience items and of course the sale of gasoline products..

The building improvements will include a new walk-in cooler, a unisex ADA compliant restroom, a storage area, transaction/cashier area, utility room, sales area, snack bar and a coffee island. The exterior of the building will be constructed to provide compatible building materials to those found on surrounding and nearby buildings such as brick, stucco, awnings and storefront glazing. The proposed project also includes a request for the approval of a Type 20 (Beer and Wine for Off-Site Consumption) ABC license and to allow for the sale of beer and wine products for offsite consumption.

The project will also include site improvements which will include new and additional landscaping and planters, site lighting, paving and parking improvements, a covered and secured trash enclosure unit and the closure of one driveway on Mission Street.

The existing fuel operations, underground storage tanks, fuel dispensers, fuel canopies and pump islands are NOT A PART of this project proposal. They will all remain as is.

Operations

The operational plan of the project is consistent and reflective of the existing site activity and the current CG zoning (except for the service bays which are being removed). Key site operation details are as follows.

1. Hours of Operation – The project proposes to maintain the existing 24 hour operations for the convenience mart and retail gas sales.
2. Days of Operation – The site is open seven (7) days a week.
3. Number of Shifts – There are currently three shifts per day.

4. Employees per Shift – The number of employees per shift can vary from 1 to 2 depending on the time of year and time of day. During most typical shift changes there will be two employees on site.
5. On Site Manufacturing - None.
6. On Site Automotive Services - None are proposed once the service bay building is removed.

G&MOil#151-01--ProjectDescription

ATTACHMENT 4

Alcohol Sales & Gas Station Training Program

Security Policy and Procedures for On-Site Alcoholic Beverage Sales

Minors:

- It is everyone's job to ensure customers who are buying alcohol are at least 21 years of age.
- We will request proof of age (I.D.) from any customer who appears 30 years of age or year. To help employees do their job, managers will post the following sign in the business:

NOTICE: We do not sell alcohol to anyone under 21. If you are under 30, be prepared to show ID!

- We may accept the following as proof of age:
 - Valid United States driver's license (refer to the *ID Checking Guide* if needed)
 - Valid United States identification card (refer to the *ID Checking Guide* if needed)
 - Military identification card
 - Government issued Passport
- We have the right to, and will, refuse service to any customer who does not have proper I.D.

Alcohol Sales:

- Management and supervisors will support employee's decisions to refuse service to any customer. If they do not, employees might not act so responsibly in the future.
- We will not sell alcohol to any person who looks or acts intoxicated, even if they are not driving. This includes regular customers who may "always act that way".
- Drinking alcohol during your shift, after your shift or at closing time is not allowed.
- We will Not sell high-risk beverages, including fortified wines, wine coolers, 40oz beers, or malt liquor. If we do sell these products, we will keep them in sight of the cashier and away from exits to prevent "grab and runs."
- We will display wine coolers with other alcohol products.

Safe Rides:

- If a customer is intoxicated sale will be refused. And if the employee sees they are driving they will call 911 to report a drunk driver.

Good Neighbor Policies:

- As required by law, we will abide by the Retail Operating Standards (Form ABC-569) and keep a copy on the premises.
- We will keep our trash receptacles properly covered and emptied regularly. Trash cans at pumps and in front of the store are emptied two times a day.
- Burned-out light bulbs will be replaced by Optimum, lighting vendor, within 24-48 hours.

Signage:

- We will maintain posted signage required by State and local laws.

Interior:

- We will keep interior lighting adequate and bulbs working.
- Alcohol merchandise will be neatly and safely displayed and away from exits.
- Aisles will be free of debris and litter.
- We will not display adult material (e.g. magazines) to children.

Staffing:

- All staff will be trained in responsible beverage sales.
 - Age restricted sales will be covered in New Hire Training
 - Employee will be required to take the Monthly Review on *Age Restricted Sales Policies*
- All staff will be continually updated by management (meetings, communications, etc.)
- We will provide targeted training for employees who need practice in selling alcohol.
- All alcohol sellers will read and sign a Clerk's affidavit, as required by law.
- Staff will be trained in handling emergencies if the manager/supervisor is not present.

Security:

- We will allow free access to all law enforcement officers. This includes ABC agents, police officers, and sheriff deputies, all of whom may be wearing uniforms or plainclothes. Access will be given to those with appropriate I.D.
- We will not tolerate problem customers. If needed, we will call the police or sheriff for help. We will permanently refuse to admit any chronic problem customer.
- We will record any serious problem (such as fights, injuries, vandalism, or thefts) on MySupport.
- We will maintain a close working relationship with the police or sheriff. We will maintain emergency numbers (police, fire, store manager and supervisor) posted near the telephone.
- We will maintain fire extinguishers, properly mounted and readily accessible; properly charged.
- We will keep bushes/trees trimmed to not obstruct view of the store.
- We will keep surveillance cameras working and review the recordings often.
- We will maintain convex mirrors to view large areas.



Age Restricted Sales Training Plan

| Required Training/Documentation | State Required? | Employees Required to take the training? | Format | Tolerance | Notes |
|--|-----------------|--|-----------|--|--|
| New hire checklist | No | ALL | In person | Immediately | This company required training is for the manager to administer to new and/or current employees within 3 days of employment. Includes: Age Restricted Sales topics such as Company policies for age restricted sales, We Card Rules, Restricted times for alcohol sales, how to identify 3 rd party sales, etc. |
| New hire orientation/Annual certification training | No | ALL | In person | Within 30 days of the employees start date/30 days from the anniversary of the employees previous training | Introduces the employees to the company and nature of the work that they will be in. Includes topics such as: - How to I.D. for age restricted items - We Card Rules - How to identify 3 rd party sales - company policies for age restricted sales |
| Clerk's Affidavit | Yes | ALL | In person | Immediately | This document verifies that the employee understands the laws and repercussions surrounding the sales of alcohol. These affidavits are kept in a binder at the station. |



Age Restricted Sales Training Plan

| Required Training/Documentation | State Required? | Employees Required to take the training? | Format | Tolerance | Notes |
|--|---------------------------|--|--------|---------------------------------------|--|
| LEAD (License, Education, Alcohol, Drugs) | Required in some counties | All in required counties | Online | 30 days from the employees start date | This program provides attendees with practical information on serving alcoholic beverages safely, responsibly, and legally, with emphasis on preventing sales to minors, sales to obviously intoxicated persons, and illicit drug activity. |
| Monthly Policy Reviews: Age restricted Sales is one of 6 additional monthly policy reviews that are mandatory for all station employees. | No | ALL | Online | Every 30 Days | These policies are reviewed with new employees during their on-boarding process, and employees sign a form indicating their understanding of the information. It is then reviewed monthly via these trainings to ensure station employees understand these G&M Policies and Procedures. This is a mandatory monthly review. |

| Required Training/Documentation | State Required? | Areas/ Store type the training is required for | Employees Required to take the training | Format | Tolerance | Notes |
|--|--|--|---|-----------|---|--|
| New hire checklist | No | ALL | ALL | In person | Immediately | This company required training is for the manager to administer to new and/or current employees. It was intended to cover the gap between the time employees started working and the time they would have taken their new hire orientation and DO training(s). |
| DO/Emergency response training | Yes | ALL | ALL | In person | Prior to the employee working alone and within 30 days of the employees start date | This state required training will teach employees items such as: - How to deal with an emergency situation related to the UST's (i.e. - pump stops) - Where to meet in an emergency after taking the necessary preliminary steps (e.g. - fire, etc.). |
| New hire orientation/Annual recertification training | No | ALL | ALL | In person | 30 days from the employees start date/30 days from the anniversary of the employees previous training | Introduces the employees to the company and nature of the work that they will be in. Covers topics such as: - Robbery deterrence - How to I.D. for age restricted items - Safety |
| ServeSafe | Yes | ALL | Manager | In person | 30 days from the employees start date | This training provides more advanced information on food handling and is required for all managers. |
| Food handler's | Yes | ALL | ALL | In person | 30 days from the employees start date | This training teaches employees the basics of proper food handling and is required for employees to take before preparing food |
| Rule 461 - initial training | Yes | ALL | Manager, Assistant, & Primary 2nd Shift | In person | 30 days from the employees start date | This training teaches employees how to inspect the pumps and nozzle's, as well as other required items to be checked on the daily inspections log. |
| Rule 461 - refresher training | No | ALL | Manager, Assistant, & Primary 2nd Shift | In person | 30 days from the anniversary of the employees previous training | This is not state required but is required by the company to ensure employee have up-to-date knowledge on how to inspect the fuel pumps properly. |
| Clerk's Affidavit | Yes | Stores that sell Alcohol | ALL | In person | Immediately | This a document verifies that the employee understands the laws and repercussions surrounding the sales of alcohol. |
| LEAD (License, Education, Alcohol, Drugs) | Required in San Marcos and Riverside counties, but will expand to the entire State of California | Stores that sell Alcohol | ALL | In person | 30 days from the employees start date | The program provides attendees with practical information on serving alcoholic beverages safely, responsibly, and legally, with emphasis on preventing sales to minors, sales to obviously intoxicated persons, and illicit drug activity at the licensed establishment. |

| | | | | | | |
|---|----|-----------------|-----|--------|---|---|
| <p>Monthly Policy Reviews: 1) Age restricted Sales 2) Cash Handling and Robbery Prevention 3) Credit, Debit, Mobile Text Digital Coupon and Gift Card Policy Final 4) Harassment, Discrimination, or Retaliation Training 5) Safe Work Practices 6) Uniform & Visitor Policy</p> | No | ALL | ALL | Online | Every 30 Days | These trainings verify that station employees understand the general G&M Policies and Procedures at our stations. |
| <p>Variety of Online Training Programs, such as Propane handling, Food Prep, Workplace Harrassment prevention, PinPad Skimmer training, and many more.</p> | No | Varies by Store | ALL | Online | varies by training module based on refresher training needs | G&M Learning Management System auto-enrolls employees into these various online training modules dependent on refresher needs (some are every 3 months, 6 months, or annually). |

ATTACHMENT 5

Materials Brochures

PREPARED FOR :



G&M Oil Company, Inc.
16868 A Lane
Huntington Beach, Ca 92647



A



1



2



3

COLOR LEGEND

- A. DUNN EDWARDS
#DE6128 - "SAND DUNE"
- B. DUNN EDWARDS
#DE6130 - "WOODEN ACRE"
- C. DUNN EDWARDS
#DEA161 - "WILD MUSTANG"



B



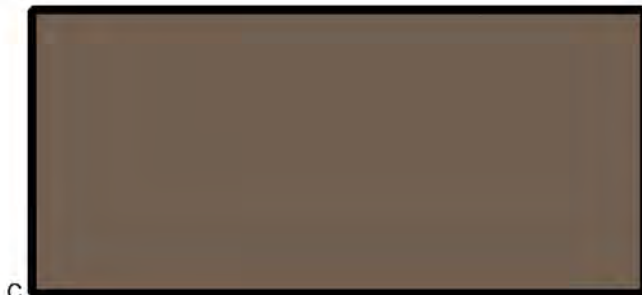
4



5

MATERIAL LEGEND

- 1. ALUMINUM FRAMED CANVAS AWNING
SUNBRELLA
#6031-0000 - "BURGUNDY"
- 2. DECORATIVE WALL MOUNTED LIGHT FIXTURE
ARTE DE MEXICO
WM168-3 - ANTIQUE UMBER FINISH
- 3. 6"x6" ACCENT TILE
FORT WORTH BRICK & TILE
REGULAR SALTILLO - SEALED
- 4. BRICK VENEER
CORONADO STONE
SPECIAL USED BRICK - "EAGLE BUFF"
- 5. 6"x6" ACCENT TILE
TIERRA Y FUEGO
GUADALAJARA - #10131-6
RUST - #10812-6
- 6. WALL MOUNTED TRELLIS
GREEN SCREEN
GLOSS POWDER COAT FINISH - "GREEN"
- 7. CONCRETE ROOF TILE
EAGLE ROOFING
CAPISTRANO - #3636 - "PIEDMONT BLEND"



C



6



7



Travis Companies, Inc.

4430 E. Miraloma Avenue , Suite F , Anaheim , California 92807

NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and client, tenant and governmental agency approval. No warranties or guarantees of any kind are given or implied by the architect.

ATTACHMENT 6

Rendering

G&M OIL No. 151

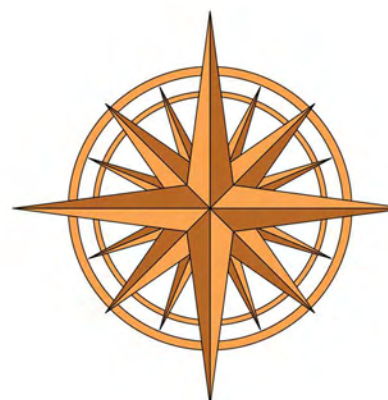
G&M OIL COMPANY FACILITY

1400 MISSION STREET, SOUTH PASADENA, CALIFORNIA 91030

8-21-23

PREPARED FOR :

 G&M Oil Company, Inc.
16868 A Lane
Huntington Beach, Ca 92647



Travis Companies, Inc.

4430 E. Miraloma Avenue, Suite F, Anaheim, California 92807

NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and client, tenant and governmental agency approval. No warranties or guarantees of any kind are given or implied by the architect.

ATTACHMENT 7

Architectural Plans



G&M OIL COMPANY

FACILITY No.: 151

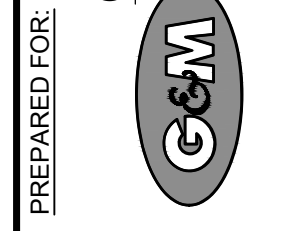
1400 MISSION STREET
SOUTH PASADENA, CA 91030

ENTITLEMENT PACKAGE

DRAWN BY: A.J.
DATE: 8/21/23
SCALE: NONE
PLOT: 1:1
REF: GMT151L1
FILE: 01E-5089

NOTICE
This drawing and all information therein is the property of Travis Companies, Inc. and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

G&M Oil Company, Inc.
16868 A Lane
Huntington Beach
California, 92647-4831
(714) 375-4700



Travis Companies, Inc.
4430 E. Miraloma Ave., Suite F, Anaheim, CA 92807
Tel: (714) 693-9388 Fax: (714) 693-9333
© Travis Companies, Inc. 2023 All Rights Reserved



PREPARED BY: _____

DATE: _____

REVISION: _____

NO.

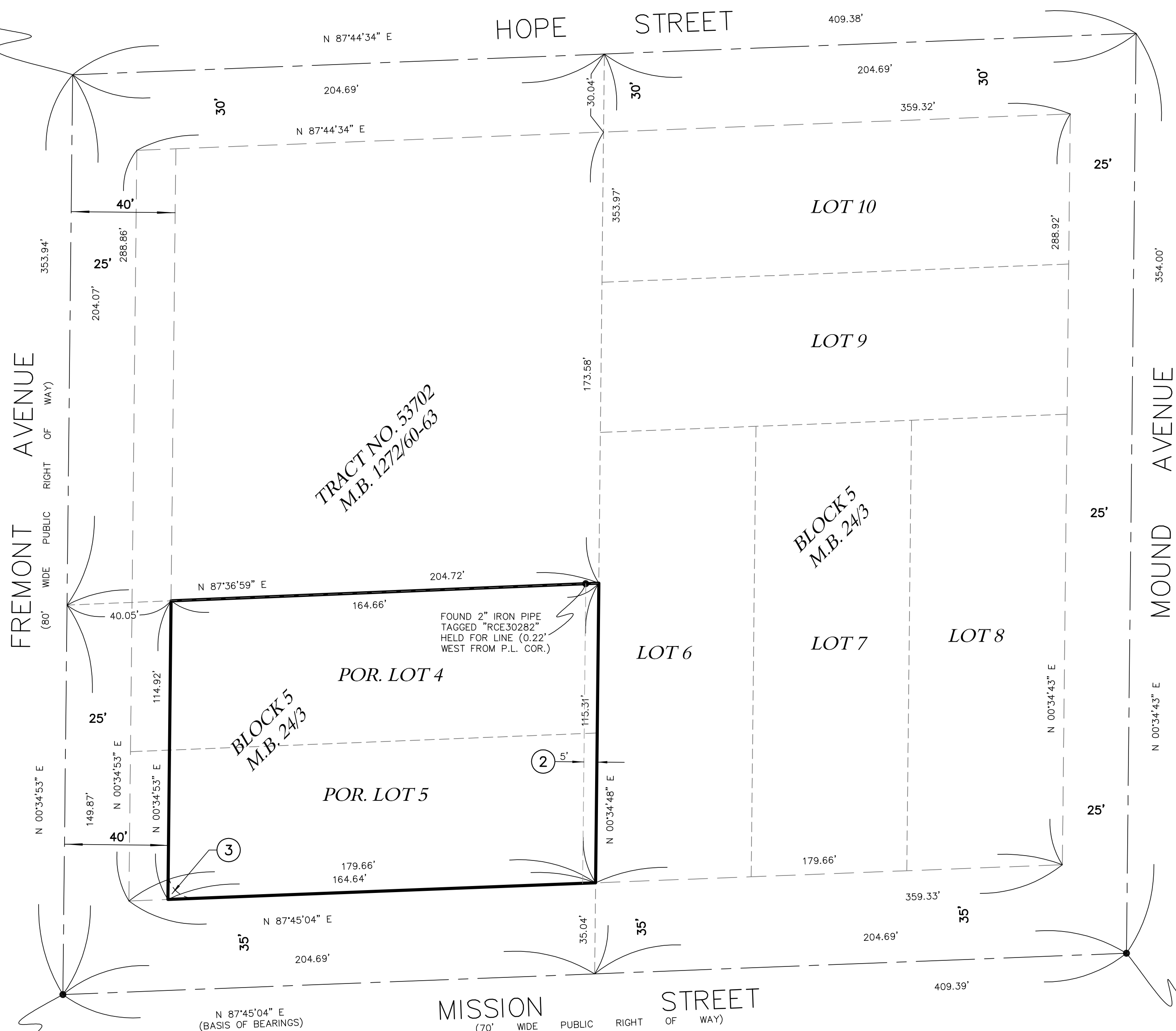
| SUBMITTALS | |
|------------|-----------|
| No. | DATE |
| 1 | 4/29/2022 |
| 2 | 8/21/2023 |
| 3 | |
| 4 | |

| LEGAL DESCRIPTION | OCCUPANT LOAD CALCULATION (PER CBC TABLE 1004.5) | CODE INFORMATION | SITE SUMMARY | VICINITY MAP | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--|--|----------------------|--------------|---------------|--------------------|------------------|--------------|------------------------------------|------------|------------------------------------|---|----------------------------|--------------|-----------------------------|---|-----------------------------|----------------|---------------------|---|--------------------------------|------------------|-------------------------------------|-----------|-----------------------------|----------|--------------------------|----|-----------------------------------|---------------------|-----------------------------------|------------|-------------------------|----------------|--------------------------------------|--|--|-----------------|--|--|--|---------------------------|-----|------------|------|--------------|--|--|--|--------------|--|--|--|------------|--|--|-------|----------------------|--|--|----|--|--|------------------|-----------------|--------------------|-------------------|------|----------------------|----------------|----------------|------------------|----|----|-----------------|--------------|---------------|-----------------------|----------------------|----------------------|-------------------|-------------------------|-------------------------|----------------|--------------------|---------------------|-------------|--------------|-----------|-----------|--------------|------------|----------------------------|------------|--------------|--------------|------------------------|---|-----------------|----|-----------------|---|-----------------|---|--|-----------|-----------|-------|-----------------------|-----------------------|---------|-------------|-------------|---------------|---|---|--------------------|--------------|--|---|-----------|----------|-----------|-------|----------------|------------|-----------|--------|----------------------------|------------|------------------|--------|----------------------|------------|-----------|---------|------------------------------|------------|------------------|---------|-----------------------|------------|-----------|---------|----------------------|----------|-----------|--------|-----------------------------|------------|------------------|---------|-------------------|--------------|-------------|----------|-------------------|----------------|------------|----------|------------------------|--|--|----------|--|------|----------|-----------------|----------------|----------|-----------------------------------|----------------|----------|--|
| <p>THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:</p> <p>LOTS 4 AND 5 IN BLOCK 5 OF DIVISION NO. 1 OF THE RAYMOND IMPROVEMENT COMPANY'S OF TRACT, IN THE CITY OF SOUTH PASADENA, AS PER MAP RECORDED IN BOOK 24 PAGE 3 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.</p> <p>EXCEPT FROM SAID LOTS 4 AND 5, THOSE PORTIONS INCLUDED WITHIN THE LINES OF FREMONT AVENUE, 80 FEET WIDE, AS SHOWN ON THE MAP OF THE MARY U. HART TRACT, AS PER MAP RECORDED IN BOOK 11 PAGE 101 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.</p> <p>APN: 5315-002-030</p> <p>THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS CHICAGO TITLE COMPANY, ORDER NO. 00023717-994-X49, DATED MAY 2, 2014.</p> | <table border="1"> <thead> <tr> <th>ROOM / DESIGNATION</th> <th>OCCUPANT LOAD FACTOR</th> <th>AREA (Net)</th> <th>OCCUPANT LOAD</th> </tr> </thead> <tbody> <tr> <td>SALES AREA:</td> <td>60</td> <td>1,126 Sq.Ft.</td> <td>18.77</td> </tr> <tr> <td>Sales Area</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Cashier Area</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Snack Bar Area</td> <td></td> <td></td> <td></td> </tr> <tr> <td>RESTROOM:</td> <td>100</td> <td>67 Sq.Ft.</td> <td>0.67</td> </tr> <tr> <td>Restroom</td> <td></td> <td></td> <td></td> </tr> <tr> <td>WALK-IN-BOX:</td> <td>300</td> <td>252 Sq.Ft.</td> <td>0.84</td> </tr> <tr> <td>Walk-In Cooler</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Walk-In Freezer</td> <td></td> <td></td> <td></td> </tr> <tr> <td>BACK STORAGE ROOM:</td> <td>300</td> <td>387 Sq.Ft.</td> <td>1.29</td> </tr> <tr> <td>Utility Room</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Storage Room</td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="3">SUB-TOTAL:</td> <td>21.57</td> </tr> <tr> <td colspan="3">TOTAL OCCUPANT LOAD:</td> <td>22</td> </tr> </tbody> </table> | ROOM / DESIGNATION | OCCUPANT LOAD FACTOR | AREA (Net) | OCCUPANT LOAD | SALES AREA: | 60 | 1,126 Sq.Ft. | 18.77 | Sales Area | | | | Cashier Area | | | | Snack Bar Area | | | | RESTROOM: | 100 | 67 Sq.Ft. | 0.67 | Restroom | | | | WALK-IN-BOX: | 300 | 252 Sq.Ft. | 0.84 | Walk-In Cooler | | | | Walk-In Freezer | | | | BACK STORAGE ROOM: | 300 | 387 Sq.Ft. | 1.29 | Utility Room | | | | Storage Room | | | | SUB-TOTAL: | | | 21.57 | TOTAL OCCUPANT LOAD: | | | 22 | <p>1. APPLICABLE CODES:</p> <p>Building Code: 2022 California Building Code Plumbing Code: 2022 California Plumbing Code Electrical Code: 2022 California Electrical Code Mechanical Code: 2022 California Mechanical Code Fire Code: 2022 California Fire Code Green Code: 2022 California Green Building Stds. Code Energy Code: 2022 Building Energy Efficiency Standards</p> <p>2. BUILDING DESCRIPTION:</p> <table border="1"> <thead> <tr> <th></th> <th>Proposed C-Store</th> <th>Proposed Canopy</th> </tr> </thead> <tbody> <tr> <td>Construction Type:</td> <td>V-B (Unprotected)</td> <td>II-B</td> </tr> <tr> <td>Occupancy Use Group:</td> <td>M (Mercantile)</td> <td>M (Mercantile)</td> </tr> <tr> <td>Fire Sprinklers:</td> <td>No</td> <td>No</td> </tr> <tr> <td>Allowable Area:</td> <td>9,000 Sq.Ft.</td> <td>12,500 Sq.Ft.</td> </tr> <tr> <td>Actual Building Area:</td> <td>1,981 Sq.Ft. (Gross)</td> <td>2,057 Sq.Ft. (Gross)</td> </tr> <tr> <td>Allowable Height:</td> <td>1 Story - (40'-0" Max.)</td> <td>2 Story - (55'-0" Max.)</td> </tr> <tr> <td>Actual Height:</td> <td>1 Story - (25'-0")</td> <td>1 Story - (±18'-9")</td> </tr> </tbody> </table> <p>3. BUILDING AREA TABULATION:</p> <table border="1"> <tbody> <tr> <td>Sales Area:</td> <td>1,126 Sq.Ft.</td> </tr> <tr> <td>Restroom:</td> <td>67 Sq.Ft.</td> </tr> <tr> <td>Walk In Box:</td> <td>252 Sq.Ft.</td> </tr> <tr> <td>Storage / Utility Room(s):</td> <td>387 Sq.Ft.</td> </tr> <tr> <td>Total (Net):</td> <td>1,832 Sq.Ft.</td> </tr> </tbody> </table> <p>4. OCCUPANCY AND EGRESS:</p> <table border="1"> <tbody> <tr> <td>Number of Employee(s):</td> <td>2</td> </tr> <tr> <td>Occupancy Load:</td> <td>22</td> </tr> <tr> <td>Exits Required:</td> <td>1</td> </tr> <tr> <td>Exits Provided:</td> <td>1</td> </tr> </tbody> </table> <p>5. PLUMBING FIXTURES:</p> <table border="1"> <thead> <tr> <th></th> <th>Required:</th> <th>Provided:</th> </tr> </thead> <tbody> <tr> <td>Male:</td> <td>1 WC, 1 Lav, 0 Urinal</td> <td>1 WC, 1 Lav, 0 Urinal</td> </tr> <tr> <td>Female:</td> <td>1 WC, 1 Lav</td> <td>1 WC, 1 Lav</td> </tr> <tr> <td>Service Sink:</td> <td>1</td> <td>1</td> </tr> <tr> <td>Drinking Fountain:</td> <td>Not Required</td> <td>1 - Water Service is Provided Directly to the Customer</td> </tr> </tbody> </table> <p>(Note: Unisex facility provided pursuant to 2022 C.P.C. Section 422.2, Exception 3)</p> | | Proposed C-Store | Proposed Canopy | Construction Type: | V-B (Unprotected) | II-B | Occupancy Use Group: | M (Mercantile) | M (Mercantile) | Fire Sprinklers: | No | No | Allowable Area: | 9,000 Sq.Ft. | 12,500 Sq.Ft. | Actual Building Area: | 1,981 Sq.Ft. (Gross) | 2,057 Sq.Ft. (Gross) | Allowable Height: | 1 Story - (40'-0" Max.) | 2 Story - (55'-0" Max.) | Actual Height: | 1 Story - (25'-0") | 1 Story - (±18'-9") | Sales Area: | 1,126 Sq.Ft. | Restroom: | 67 Sq.Ft. | Walk In Box: | 252 Sq.Ft. | Storage / Utility Room(s): | 387 Sq.Ft. | Total (Net): | 1,832 Sq.Ft. | Number of Employee(s): | 2 | Occupancy Load: | 22 | Exits Required: | 1 | Exits Provided: | 1 | | Required: | Provided: | Male: | 1 WC, 1 Lav, 0 Urinal | 1 WC, 1 Lav, 0 Urinal | Female: | 1 WC, 1 Lav | 1 WC, 1 Lav | Service Sink: | 1 | 1 | Drinking Fountain: | Not Required | 1 - Water Service is Provided Directly to the Customer | <p>PROJECT NAME: G&M Oil Company Facility#151 PROJECT ADDRESS: 1400 Mission Street, South Pasadena Ca 91030 PARCEL NUMBER: 5315-002-030 PROPERTY AREA: 18,930 S.F. (Total Overall) 0.43 Acres</p> <p>EXISTING STRUCTURE(S) AREA TO BE REMOVED:</p> <table border="1"> <tbody> <tr> <td>Gas mart:</td> <td>643 S.F.</td> <td>COVERAGE:</td> <td>3.4 %</td> </tr> <tr> <td>Repair Garage:</td> <td>1,221 S.F.</td> <td>COVERAGE:</td> <td>6.45 %</td> </tr> <tr> <td>TOTAL REMOVED AREA:</td> <td>1,864 S.F.</td> <td>COVERAGE:</td> <td>9.85 %</td> </tr> </tbody> </table> <p>EXISTING STRUCTURE(S) AREA TO REMAIN:</p> <table border="1"> <tbody> <tr> <td>Existing Gas Canopy:</td> <td>2,057 S.F.</td> <td>COVERAGE:</td> <td>10.87 %</td> </tr> <tr> <td>TOTAL REMAINING AREA:</td> <td>2,057 S.F.</td> <td>COVERAGE:</td> <td>10.87 %</td> </tr> </tbody> </table> <p>PROPOSED STRUCTURE(S) AREA:</p> <table border="1"> <tbody> <tr> <td>New C-Store Building:</td> <td>1,981 S.F.</td> <td>COVERAGE:</td> <td>10.46 %</td> </tr> <tr> <td>New Trash Enclosure:</td> <td>127 S.F.</td> <td>COVERAGE:</td> <td>0.67 %</td> </tr> <tr> <td>TOTAL PROPOSED AREA:</td> <td>2,108 S.F.</td> <td>COVERAGE:</td> <td>11.14 %</td> </tr> </tbody> </table> <p>PARKING LOT AREA: 10,386 S.F. COVERAGE: 54.87 %</p> <p>LANDSCAPE AREA: 2,248 S.F. COVERAGE: 11.88 %</p> <p>PARKING SPACE ANALYSIS:</p> <table border="1"> <thead> <tr> <th>REQUIRED PARKING:</th> <th>PARKING RATE</th> <th>SIZE / RATE</th> <th>REQUIRED</th> </tr> </thead> <tbody> <tr> <td>C-Store Building:</td> <td>1 Per 250 S.F.</td> <td>1,981 S.F.</td> <td>8 Stalls</td> </tr> <tr> <td>Total Stalls Required:</td> <td></td> <td></td> <td>8 Stalls</td> </tr> </tbody> </table> <p>PROVIDED PARKING:</p> <table border="1"> <thead> <tr> <th></th> <th>SIZE</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>Regular Stalls:</td> <td>9'-0" x 19'-0"</td> <td>5 Stalls</td> </tr> <tr> <td>Handicap Stalls (Van Accessible):</td> <td>9'-0" x 19'-0"</td> <td>1 Stalls</td> </tr> </tbody> </table> <p>Pursuant to State of California Assembly Bill AB 2097 Section 65863.2(a) and 65863.2(b) No Additional Parking Spaces are Required.</p> <p>Distance to Nearest Transit Hub: 1,271 feet (Metro Rail Line Station) Distance to Nearest Transit Stop: 6 feet (Routes 258) Distance to Nearest Transit Stop: 594 feet (Routes 260)</p> <p>Total Stalls Provided: 6 Stalls</p> | Gas mart: | 643 S.F. | COVERAGE: | 3.4 % | Repair Garage: | 1,221 S.F. | COVERAGE: | 6.45 % | TOTAL REMOVED AREA: | 1,864 S.F. | COVERAGE: | 9.85 % | Existing Gas Canopy: | 2,057 S.F. | COVERAGE: | 10.87 % | TOTAL REMAINING AREA: | 2,057 S.F. | COVERAGE: | 10.87 % | New C-Store Building: | 1,981 S.F. | COVERAGE: | 10.46 % | New Trash Enclosure: | 127 S.F. | COVERAGE: | 0.67 % | TOTAL PROPOSED AREA: | 2,108 S.F. | COVERAGE: | 11.14 % | REQUIRED PARKING: | PARKING RATE | SIZE / RATE | REQUIRED | C-Store Building: | 1 Per 250 S.F. | 1,981 S.F. | 8 Stalls | Total Stalls Required: | | | 8 Stalls | | SIZE | PROVIDED | Regular Stalls: | 9'-0" x 19'-0" | 5 Stalls | Handicap Stalls (Van Accessible): | 9'-0" x 19'-0" | 1 Stalls | |
| ROOM / DESIGNATION | OCCUPANT LOAD FACTOR | AREA (Net) | OCCUPANT LOAD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SALES AREA: | 60 | 1,126 Sq.Ft. | 18.77 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Sales Area | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Cashier Area | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Snack Bar Area | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RESTROOM: | 100 | 67 Sq.Ft. | 0.67 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Restroom | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| WALK-IN-BOX: | 300 | 252 Sq.Ft. | 0.84 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Walk-In Cooler | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Walk-In Freezer | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BACK STORAGE ROOM: | 300 | 387 Sq.Ft. | 1.29 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Utility Room | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Storage Room | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SUB-TOTAL: | | | 21.57 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL OCCUPANT LOAD: | | | 22 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Proposed C-Store | Proposed Canopy | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Construction Type: | V-B (Unprotected) | II-B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Occupancy Use Group: | M (Mercantile) | M (Mercantile) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Fire Sprinklers: | No | No | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Allowable Area: | 9,000 Sq.Ft. | 12,500 Sq.Ft. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Actual Building Area: | 1,981 Sq.Ft. (Gross) | 2,057 Sq.Ft. (Gross) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Allowable Height: | 1 Story - (40'-0" Max.) | 2 Story - (55'-0" Max.) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Actual Height: | 1 Story - (25'-0") | 1 Story - (±18'-9") | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Sales Area: | 1,126 Sq.Ft. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Restroom: | 67 Sq.Ft. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Walk In Box: | 252 Sq.Ft. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Storage / Utility Room(s): | 387 Sq.Ft. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total (Net): | 1,832 Sq.Ft. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Number of Employee(s): | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Occupancy Load: | 22 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Exits Required: | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Exits Provided: | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Required: | Provided: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Male: | 1 WC, 1 Lav, 0 Urinal | 1 WC, 1 Lav, 0 Urinal | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Female: | 1 WC, 1 Lav | 1 WC, 1 Lav | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Service Sink: | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Drinking Fountain: | Not Required | 1 - Water Service is Provided Directly to the Customer | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Gas mart: | 643 S.F. | COVERAGE: | 3.4 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Repair Garage: | 1,221 S.F. | COVERAGE: | 6.45 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL REMOVED AREA: | 1,864 S.F. | COVERAGE: | 9.85 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Existing Gas Canopy: | 2,057 S.F. | COVERAGE: | 10.87 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL REMAINING AREA: | 2,057 S.F. | COVERAGE: | 10.87 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| New C-Store Building: | 1,981 S.F. | COVERAGE: | 10.46 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| New Trash Enclosure: | 127 S.F. | COVERAGE: | 0.67 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL PROPOSED AREA: | 2,108 S.F. | COVERAGE: | 11.14 % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REQUIRED PARKING: | PARKING RATE | SIZE / RATE | REQUIRED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C-Store Building: | 1 Per 250 S.F. | 1,981 S.F. | 8 Stalls | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total Stalls Required: | | | 8 Stalls | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | SIZE | PROVIDED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Regular Stalls: | 9'-0" x 19'-0" | 5 Stalls | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Handicap Stalls (Van Accessible): | 9'-0" x 19'-0" | 1 Stalls | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>INDEX OF DRAWINGS</p> <table border="1"> <thead> <tr> <th colspan="2">GENERAL</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>T1.0 TITLE SHEET</td> </tr> <tr> <td>2</td> <td>1 of 2 ALTA/NSPS LAND TITLE SURVEY</td> </tr> <tr> <td>3</td> <td>2 of 2 ALTA/NSPS LAND TITLE SURVEY</td> </tr> <tr> <td>4</td> <td>ST1.0 DEMOLITION SITE PLAN</td> </tr> <tr> <td>5</td> <td>ST1.1 IMPROVEMENT SITE PLAN</td> </tr> <tr> <td>6</td> <td>ST1.2 SITE CIRCULATION PLAN</td> </tr> <tr> <td>7</td> <td>ST1.3 SECURITY PLAN</td> </tr> <tr> <td>8</td> <td>L1.0 CONCEPTUAL LANDSCAPE PLAN</td> </tr> <tr> <td>9</td> <td>ST2.0 PROPOSED TRASH ENCLOSURE PLAN</td> </tr> <tr> <td>10</td> <td>ES1.0 PHOTOMETRIC SITE PLAN</td> </tr> <tr> <td>11</td> <td>A1.0 PROPOSED FLOOR PLAN</td> </tr> <tr> <td>12</td> <td>A2.0 PROPOSED EXTERIOR ELEVATIONS</td> </tr> <tr> <td>13</td> <td>A2.1 PROPOSED EXTERIOR ELEVATIONS</td> </tr> <tr> <td>14</td> <td>A3.0 PROPOSED ROOF PLAN</td> </tr> <tr> <td>15</td> <td>A4.0 PROPOSED BUILDING CROSS SECTION</td> </tr> </tbody> </table> | | | | GENERAL | | 1 | T1.0 TITLE SHEET | 2 | 1 of 2 ALTA/NSPS LAND TITLE SURVEY | 3 | 2 of 2 ALTA/NSPS LAND TITLE SURVEY | 4 | ST1.0 DEMOLITION SITE PLAN | 5 | ST1.1 IMPROVEMENT SITE PLAN | 6 | ST1.2 SITE CIRCULATION PLAN | 7 | ST1.3 SECURITY PLAN | 8 | L1.0 CONCEPTUAL LANDSCAPE PLAN | 9 | ST2.0 PROPOSED TRASH ENCLOSURE PLAN | 10 | ES1.0 PHOTOMETRIC SITE PLAN | 11 | A1.0 PROPOSED FLOOR PLAN | 12 | A2.0 PROPOSED EXTERIOR ELEVATIONS | 13 | A2.1 PROPOSED EXTERIOR ELEVATIONS | 14 | A3.0 PROPOSED ROOF PLAN | 15 | A4.0 PROPOSED BUILDING CROSS SECTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GENERAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | T1.0 TITLE SHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | 1 of 2 ALTA/NSPS LAND TITLE SURVEY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | 2 of 2 ALTA/NSPS LAND TITLE SURVEY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | ST1.0 DEMOLITION SITE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | ST1.1 IMPROVEMENT SITE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6 | ST1.2 SITE CIRCULATION PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7 | ST1.3 SECURITY PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8 | L1.0 CONCEPTUAL LANDSCAPE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9 | ST2.0 PROPOSED TRASH ENCLOSURE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10 | ES1.0 PHOTOMETRIC SITE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11 | A1.0 PROPOSED FLOOR PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12 | A2.0 PROPOSED EXTERIOR ELEVATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 13 | A2.1 PROPOSED EXTERIOR ELEVATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14 | A3.0 PROPOSED ROOF PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 15 | A4.0 PROPOSED BUILDING CROSS SECTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

TITLE SHEET
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

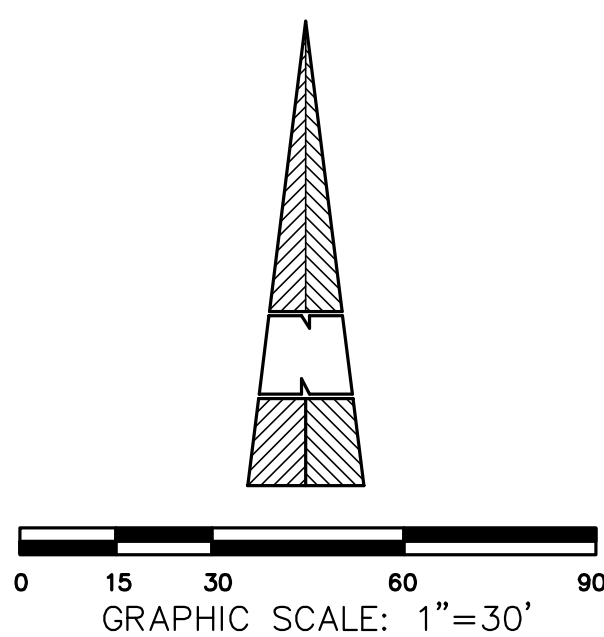
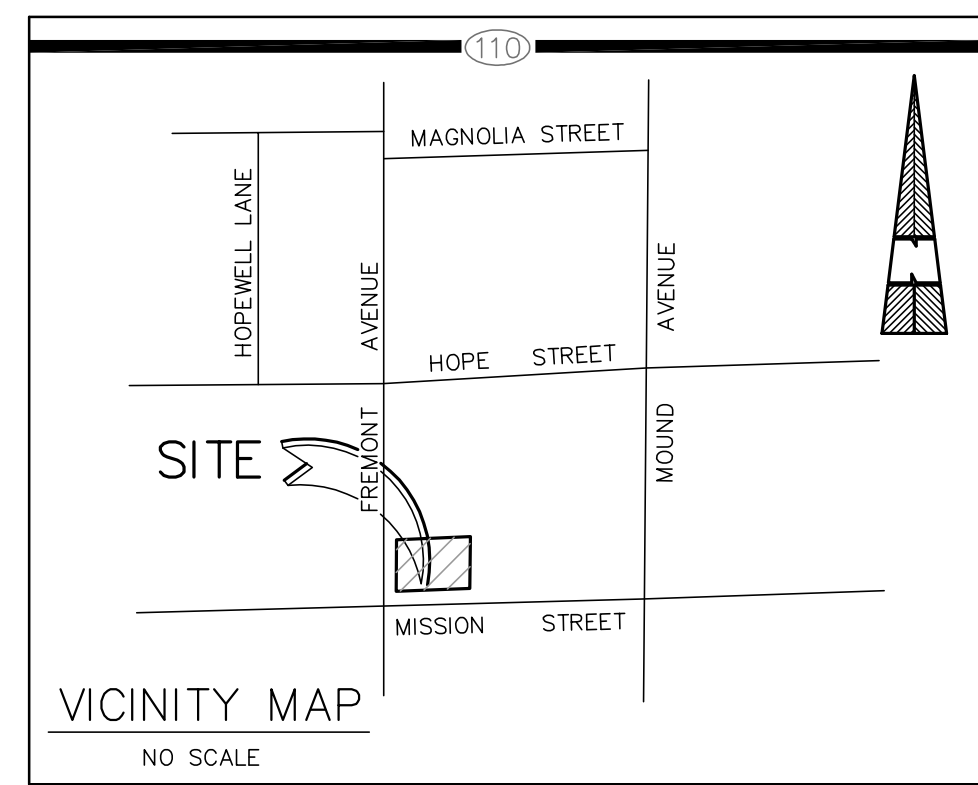
DRAWING NUMBER
T1.0

FOUND TIED MANHOLE
PER TRACT NO. 63234
M.B. 1362/80-81



FOUND SPIKE & WASHER
STAMPED "LS6999" PER
TRACT NO. 63234
M.B. 1362/80-81

FOUND SPIKE & WASHER
STAMPED "LS6999" PER
TRACT NO. 63234
M.B. 1362/80-81



PARKING STALLS:

- 8 STANDARD STALLS
- 1 HANDICAP STALL

LAND AREA:

18,930 SQUARE FEET
0.43 ACRES

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 065061-1835-F WHICH BEARS AN EFFECTIVE DATE OF 9-26-08 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE RESTRICTIONS:

THE SURVEYOR WAS NOT PROVIDED WITH ZONING INFORMATION PURSUANT TO TABLE A ITEM NO. 6(B).

UTILITY NOTE:

BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 4 AND 5 IN BLOCK 5 OF DIVISION NO. 1 OF THE RAYMOND IMPROVEMENT COMPANY'S OF TRACT IN THE CITY OF SOUTH PASADENA, AS PER MAP RECORDED IN BOOK 24 PAGE 3 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT FROM SAID LOTS 4 AND 5, THOSE PORTIONS INCLUDED WITHIN THE LINES OF FREMONT AVENUE, 80 FEET WIDE, AS SHOWN ON THE MAP OF THE MARY U. HART TRACT, AS PER MAP RECORDED IN BOOK 11 PAGE 101 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5315-002-030

THIS DESCRIPTION DESCRIBES ALL THAT REAL PROPERTY DESCRIBED IN TITLE REPORT IDENTIFIED AS CHICAGO TITLE COMPANY, ORDER NO. 00023717-994-X49, DATED MAY 2, 2014.

NOTES CORRESPONDING TO SCHEDULE "B":

1. EASEMENT(S) FOR STREET AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, RECORDED IN IN BOOK 2310 PAGE 153 OF DEEDS. (THIS ITEM MAY AFFECT THE SUBJECT PROPERTY, BUT IS NOT PLOTTED HEREON BECAUSE THE SUPPORTIVE DOCUMENT PROVIDED AT THE TIME OF SURVEY IS ILLEGIBLE.)
2. EASEMENT(S) FOR POLES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, RECORDED NOVEMBER 21, 1945 IN BOOK 22446 PAGE 326, OF OFFICIAL RECORDS. (THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.)
3. EASEMENT(S) FOR PUBLIC ROAD AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT, RECORDED OCTOBER 20, 1989, INSTRUMENT NO. 2442 IN BOOK D4530 PAGE 609, OF OFFICIAL RECORDS. (THIS ITEM IS PLOTTED HEREON AND DOES AFFECT THE SUBJECT PROPERTY.)
4. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED OCTOBER 21, 1974, INSTRUMENT NO. 3623, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)
5. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED APRIL 15, 1977, INSTRUMENT NO. 77-387245, OF OFFICIAL RECORDS. (THIS ITEM IS BLANKET IN NATURE AND DOES AFFECT THE SUBJECT PROPERTY.)

BASIS OF BEARINGS:

THE BEARING NORTH 87°45'04" EAST BEING THE CENTERLINE OF MISSION STREET AS SHOWN ON TRACT NO. 63234, FILED IN BOOK 1362, PAGES 80 AND 81 OF MAPS IN THE CITY OF SOUTH PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S NOTES:

THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.
THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.
THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
ALL MEASURED AND RECORD DIMENSIONS ARE THE SAME UNLESS NOTED OTHERWISE.
AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED.
NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF SURVEY.
NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.
THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY MAY NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.
UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

TEMPORARY BENCH MARK:

THE FINISHED FLOOR OF THE BUILDING WAS ASSUMED TO HAVE AN ELEVATION OF 100.00

STATEMENT OF ENCROACHMENTS:

* THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.
SEE SHEET 2 OF 2 FOR STATEMENT OF ENCROACHMENTS.

SURVEYOR'S CERTIFICATION:

TO: THRIFTY OIL CO., A CALIFORNIA CORPORATION AND CHICAGO TITLE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5, 6(B), 7(G)(1)(C), 8, 9, 11(G), 13, 14, 16, 18 & 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 6-4-14.

MICHAEL FURLONG, PLS 8899
LICENSE EXPIRES: 12-31-15

8-14-14

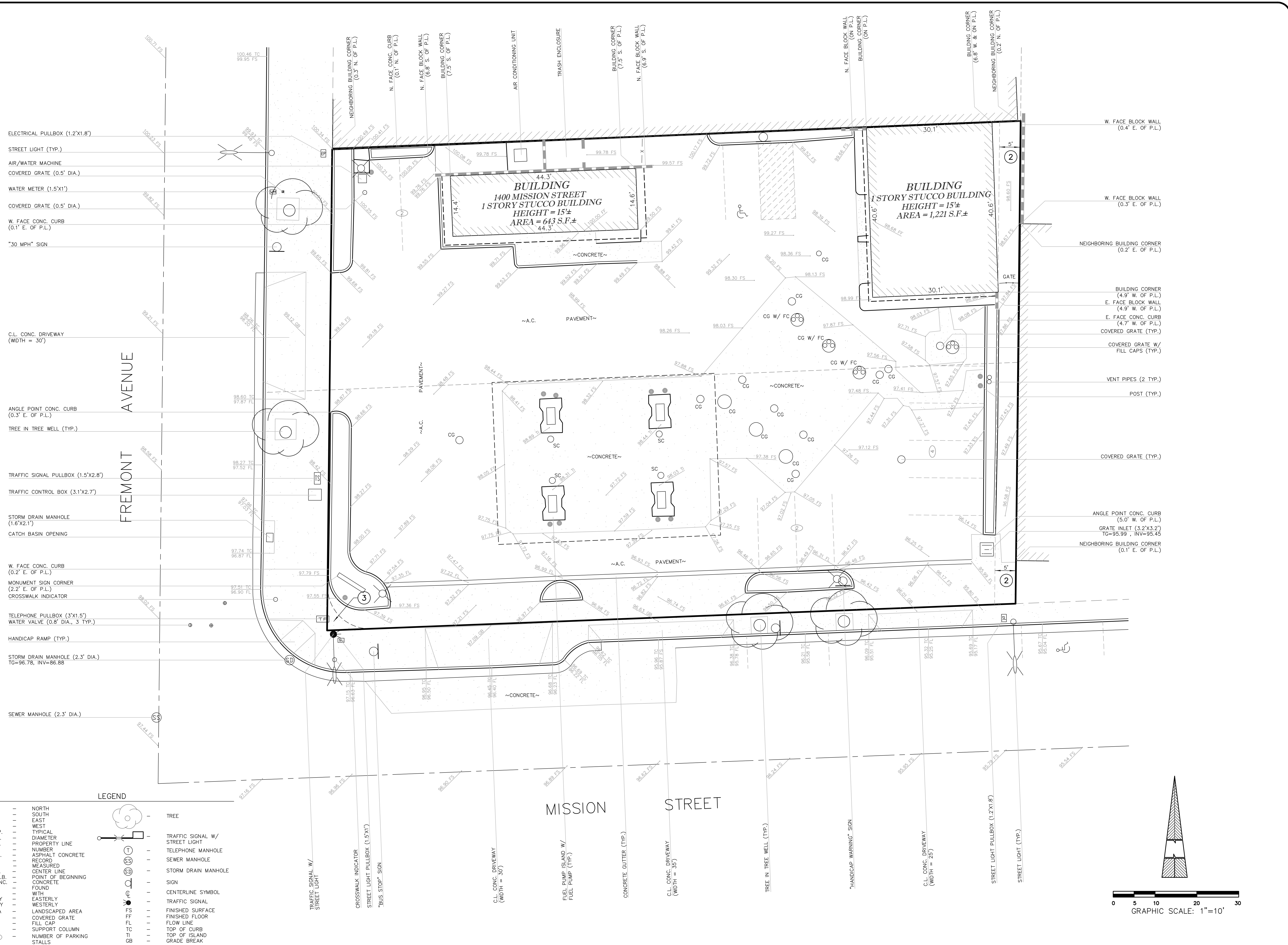
DATE OF LAST REVISION:



| SHEET TITLE | DATE | SCALE | DRAWN | | CHECKED | |
|---|--------|--------|-------|------|---------|------|
| | | | C.A. | M.F. | C.A. | M.F. |
| ALTA/ACSM LAND TITLE SURVEY | 6/4/14 | 1"=30' | | | | |
| SITE: | | | | | | |
| 1400 MISSION STREET SOUTH PASADENA, CALIFORNIA | | | | | | |
| SHEET NO. | 1 | | 2 | | | |

| NO. | REVISIONS DESCRIPTION | DATE | APPD | ACCEPTED AND APPROVED FOR CONSTRUCTION | |
|-----|-----------------------|------|------|--|------|
| | | | | OWNER | DATE |
| | | | | CONTRACTOR | DATE |
| | | | | TENANT | DATE |
| | | | | BY | DATE |

PROJECT ENGINEER:
O.K.O. ENGINEERING INC.
CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/
& CAD SPECIALISTS
23671 BIRCHER DRIVE
LAKE FOREST, CALIFORNIA 92630
949/597-3577
FAX 949/597-3579



LEGEND

| | | | | |
|--------|-----|--------------------------|--|-----------------------------------|
| N. | --- | NORTH | | TREE |
| S. | --- | SOUTH | | TRAFFIC SIGNAL W/ STREET LIGHT |
| E. | --- | EAST | | TELEPHONE MANHOLE |
| W. | --- | WEST | | SEWER MANHOLE |
| TYP. | --- | TYPICAL | | STORM DRAIN MANHOLE |
| DIA. | --- | DIAMETER | | SIGN |
| P.L. | --- | PROPERTY LINE | | CENTERLINE SYMBOL |
| NO. | --- | NUMBER | | TRAFFIC SIGNAL |
| A.C. | --- | ASPHALT CONCRETE RECORD | | FINISHED SURFACE |
| M. | --- | MEASURED | | FINISHED FLOOR |
| C.L. | --- | CENTER LINE | | FLOW LINE |
| P.O.B. | --- | POINT OF BEGINNING | | TOP OF CURB |
| CONC. | --- | CONCRETE | | TOP OF ISLAND |
| FD. | --- | FOUND | | GRADE BREAK |
| W. | --- | WITH | | TRAFFIC SIGNAL |
| E'LY | --- | EASTERLY | | FINISHED SURFACE |
| W'LY | --- | WESTERLY | | FINISHED FLOOR |
| L/A | --- | LANDSCAPED AREA | | FLOW LINE |
| CG | --- | COVERED GRATE | | TOP OF CURB |
| FC | --- | FILL CAP | | TOP OF ISLAND |
| SC | --- | SUPPORT COLUMN | | GRADE BREAK |
| TI | --- | NUMBER OF PARKING STALLS | | |

PROJECT ENGINEER:
O.K.O. ENGINEERING INC.
 CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/
 & CAD SPECIALISTS
 23671 BIRCHER DRIVE
 LAKE FOREST, CALIFORNIA 92630
 949/597-3577
 FAX 949/597-3579

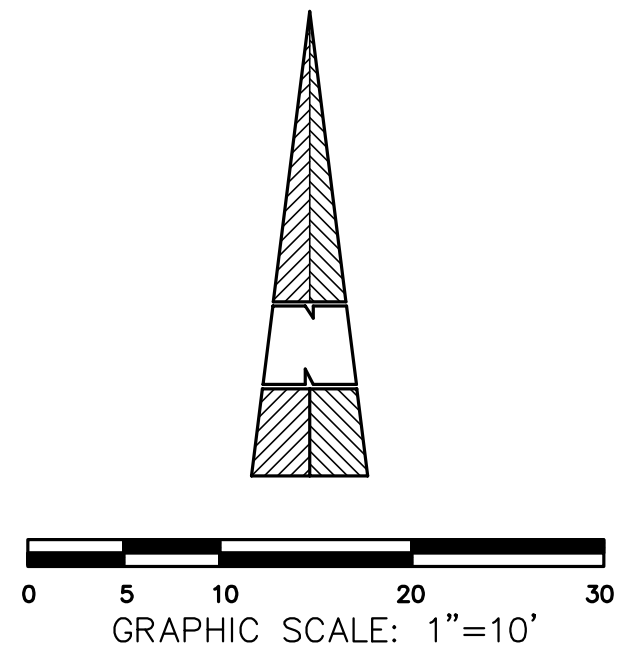
DATE: 6/4/14
SCALE: 1"=10'
DRAWN: C.A.
CHECKED: M.F.

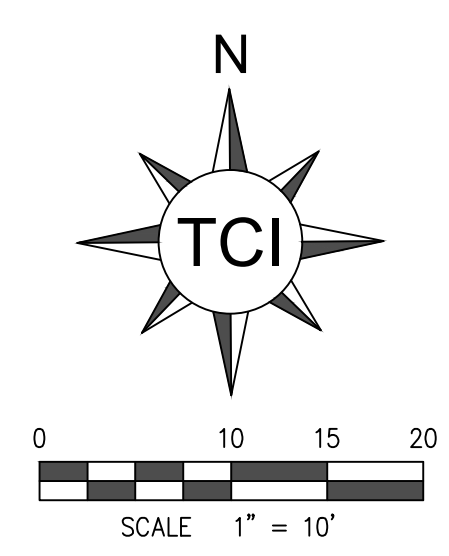
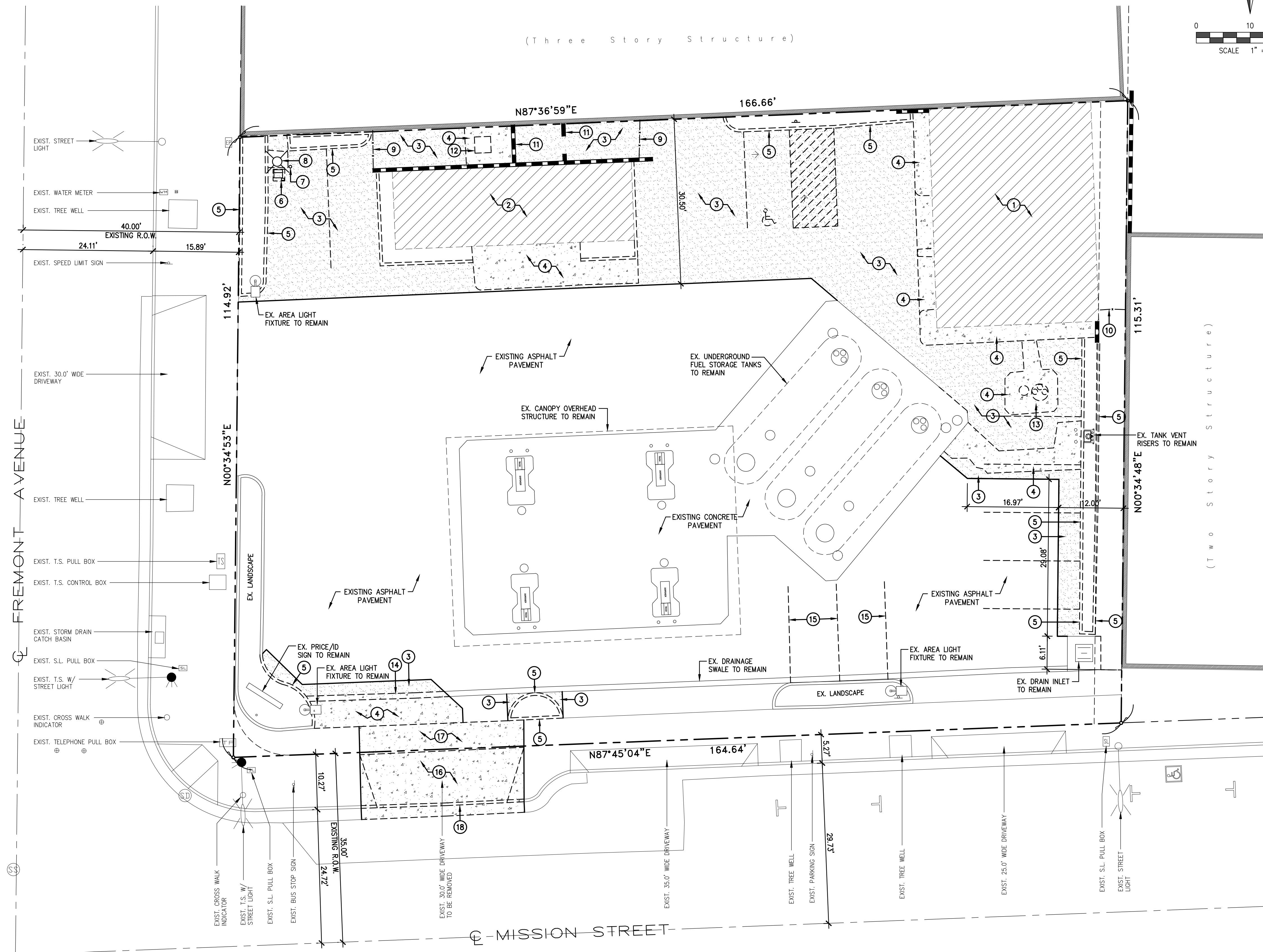
SHEET TITLE: ALTA/ACSM LAND TITLE SURVEY
SITE: 1400 MISSION STREET
 SOUTH PASADENA, CALIFORNIA

SHEET NO.: 2 2

| NO. | REVISIONS DESCRIPTION | ACCEPTED AND APPROVED FOR CONSTRUCTION | |
|-----|-----------------------|--|------|
| | | OWNER | DATE |
| | | TENANT | DATE |
| | | CONTRACTOR | DATE |

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS NOR WITHOUT THE REQUIRED PERMITS BEING OBTAINED.





DEMOLITION NOTES:

| ITEM NO: | QTY: | UNITS: | DESCRIPTION: |
|----------|-------|--------|--|
| 1 | 1,221 | S.F. | REMOVE AND DISPOSE OF EXISTING 2 BAY BUILDING STRUCTURE. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL AND PLUMBING. |
| 2 | 643 | S.F. | REMOVE AND DISPOSE OF EXISTING FOOD MART BUILDING STRUCTURE. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL AND PLUMBING. |
| 3 | 3,238 | S.F. | REMOVE AND DISPOSE OF EXISTING ASPHALT PAVING. |
| 4 | 828 | S.F. | REMOVE AND DISPOSE OF EXISTING CONCRETE PAVING. |
| 5 | 1 | L.F. | REMOVE AND DISPOSE OF EXISTING CONCRETE CURB. |
| 6 | 1 | EA. | REMOVE AND SALVAGE EXISTING AIR/WATER UNIT. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL AND PLUMBING. |
| 7 | 1 | EA. | REMOVE AND DISPOSE OF EXISTING PROTECTIVE BARRIER POST AND CONCRETE FOOTING. |
| 8 | 1 | EA. | REMOVE AND DISPOSE OF EXISTING AREA LIGHT FIXTURE, POLE AND FOOTING. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL. |
| 9 | 14 | L.F. | REMOVE AND DISPOSE OF EXISTING CHAINLINK FENCE. |
| 10 | 5 | L.F. | REMOVE AND DISPOSE OF EXISTING WOOD GATE. |
| 11 | 11 | L.F. | REMOVE AND DISPOSE OF EXISTING BLOCK WALL AND FOOTING. |
| 12 | 1 | EA. | REMOVE AND DISPOSE OF EXISTING MECHANICAL EQUIPMENT. DISCONNECT ANY AND ALL NECESSARY ELECTRICAL BACK TO SOURCE. |
| 13 | 1 | EA. | REMOVE AND DISPOSE OF EXISTING UNDERGROUND WASTE OIL TANK AND ANY ASSOCIATED PIPING. |
| 14 | 25 | L.F. | SAWCUT, REMOVE AND DISPOSE OF PORTION OF EXISTING CONCRETE RIBBON GUTTER. |
| 15 | 3 | EA. | REMOVE EXISTING PARKING STALL STRIPING. |
| 16 | 303 | S.F. | SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE DRIVEWAY APPROACH. |
| 17 | 157 | S.F. | SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK PAVING. |
| 18 | 30 | L.F. | SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER. |

DRAWN BY: A.A.
 DATE: 8/21/23
 SCALE: 1" = 10'
 PLOT: TCI
 REF: GMS15L10
 FILE: 0115-5089

NOTICE: This drawing and all information therein is the property of Travis Companies, Inc. and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

PREPARED FOR:
G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

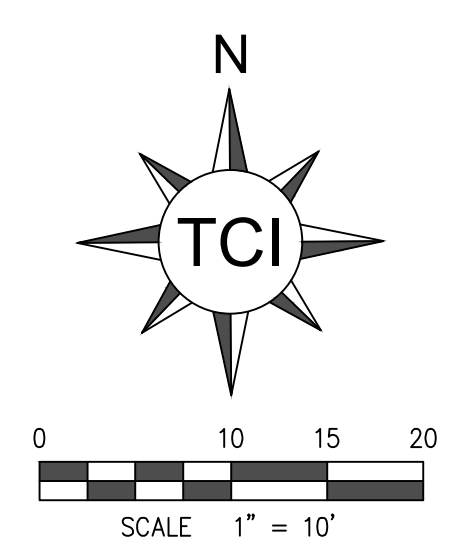
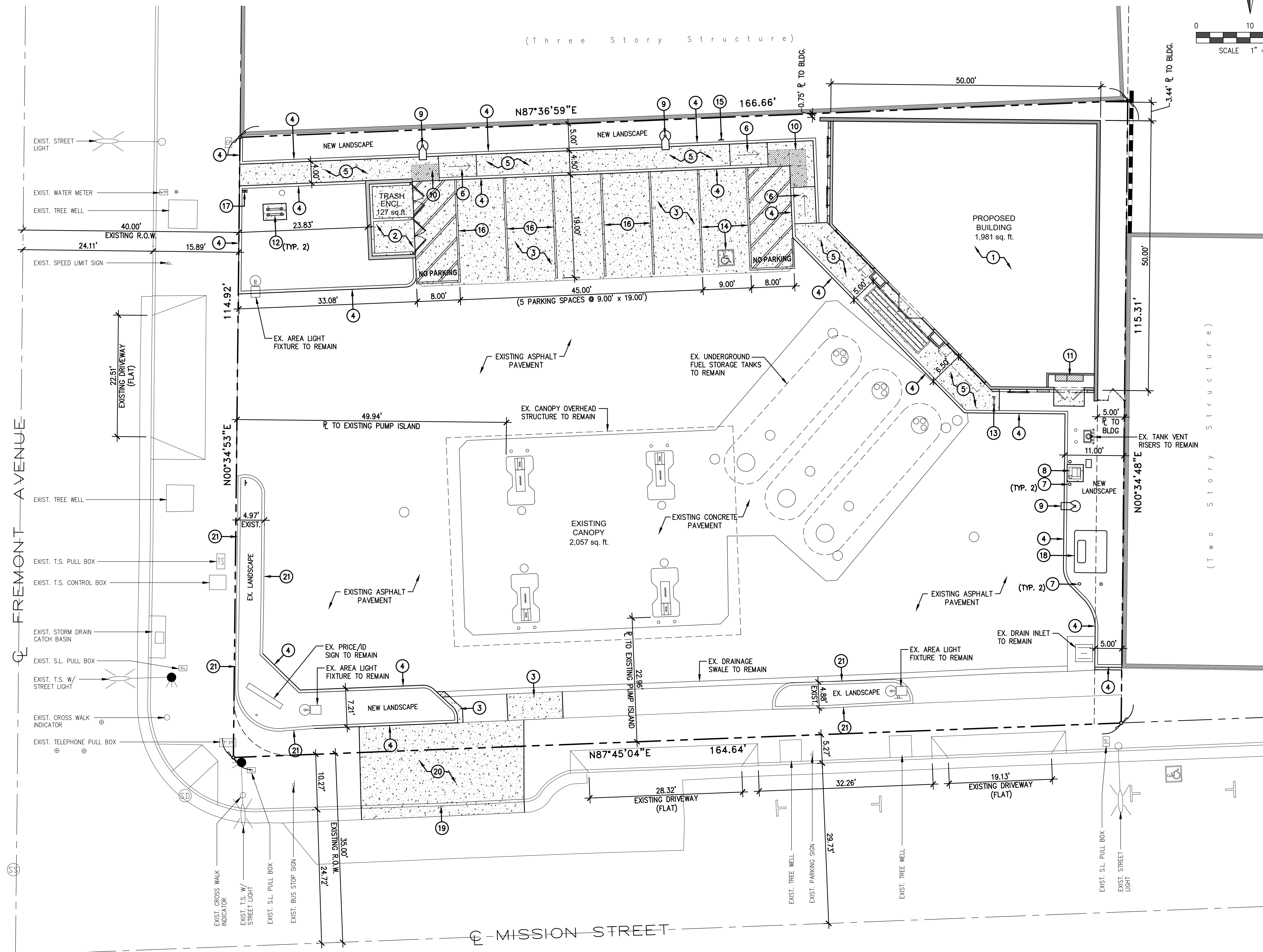
Travis Companies, Inc.
 4430 E. Marabona Ave. Suite F, Anaheim, CA 92807
 Tel: (714) 693-9388 Fax: (714) 693-9333
 © Travis Companies, Inc. 2023 All Rights Reserved

| NO. | REVISION | DATE |
|-----|----------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

DEMOLITION SITE PLAN
G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER
ST1.0

8/21/2023



IMPROVEMENT NOTES:

| ITEM NO: | QTY: | UNITS: | DESCRIPTION: |
|----------|-------|--------|---|
| 1 | 1,981 | S.F. | NEW CONVENIENCE STORE STRUCTURE. |
| 2 | 127 | S.F. | NEW TRASH ENCLOSURE WITH ROOF STRUCTURE. |
| 3 | 1,367 | S.F. | NEW 6" THICK CONCRETE DRIVE SLAB. |
| 4 | 472 | L.F. | NEW 6" HIGH CONCRETE CURB. |
| 5 | 753 | S.F. | NEW 4" THICK CONCRETE SIDEWALK. |
| 6 | 3 | EA. | NEW PARALLEL CURB RAMP. |
| 7 | 4 | EA. | NEW 6" DIA. PROTECTIVE BARRIER POST. |
| 8 | 1 | EA. | NEW AIR AND WATER UNIT. |
| 9 | 3 | EA. | NEW AREA LIGHT FIXTURE AND POLE. |
| 10 | 24 | S.F. | NEW TRUNCATED DOMES AS SHOWN. |
| 11 | 1 | EA. | NEW MAIN SERVICE SWITCHBOARD "MSB". |
| 12 | 2 | EA. | NEW BACKFLOW PREVENTER DEVICE WITH ENCLOSURE FOR DOMESTIC AND LANDSCAPE IRRIGATION |
| 13 | 1 | EA. | NEW TWO BIKE LOOP STYLE RACK. |
| 14 | 1 | EA. | NEW ACCESSIBLE PARKING STALL STRIPING, ADJACENT AISLE STRIPING AND ACCESSIBLE PARKING STALL SYMBOL. |
| 15 | 1 | EA. | NEW ACCESSIBLE PARKING SIGN. |
| 16 | LOT | EA. | NEW 4" WIDE PARKING STALL STRIPING, PAINTED WHITE PER CITY STANDARDS. |
| 17 | 1 | EA. | NEW ACCESSIBLE ROUTE SIGNAGE. |
| 18 | 1 | EA. | NEW S.C.E. ELECTRICAL TRANSFORMER. |
| 19 | 30 | L.F. | NEW CONCRETE CURB AND GUTTER IN PUBLIC RIGHT-OF-WAY PER CITY OF SOUTH PASADENA STANDARDS. |
| 20 | 446 | S.F. | NEW CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER CITY OF SOUTH PASADENA STANDARDS. |
| 21 | -- | -- | EXISTING 6" HIGH CONCRETE CURB TO BE PROTECTED IN PLACE. |

DRAWN BY: A.J.
 DATE: 8/14/14
 SCALE: 1" = 10'
 PLOT: GMS15L11
 REF: GMS15L11
 FILE: 015-5089

NOTICE: This drawing and all information therein is the property of Travis Companies, Inc. and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

PREPARED BY: **Travis Companies, Inc.**
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

PREPARED BY: **G&M Oil Company, Inc.**
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

PREPARED BY: **Travis Companies, Inc.**
 4420 E. Marabona Ave. Suite F, Anaheim, CA 92807
 Tel: (714) 693-9388 Fax: (714) 693-9333
 © Travis Companies, Inc. 2009 All Rights Reserved

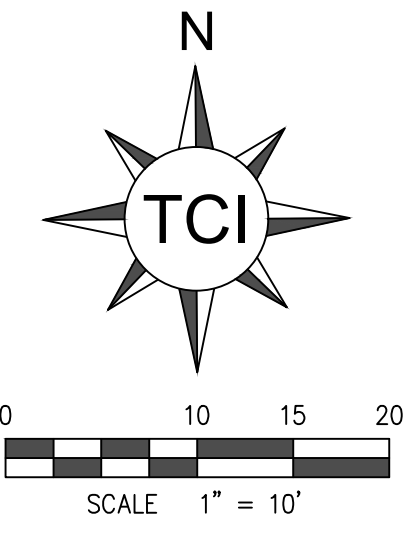
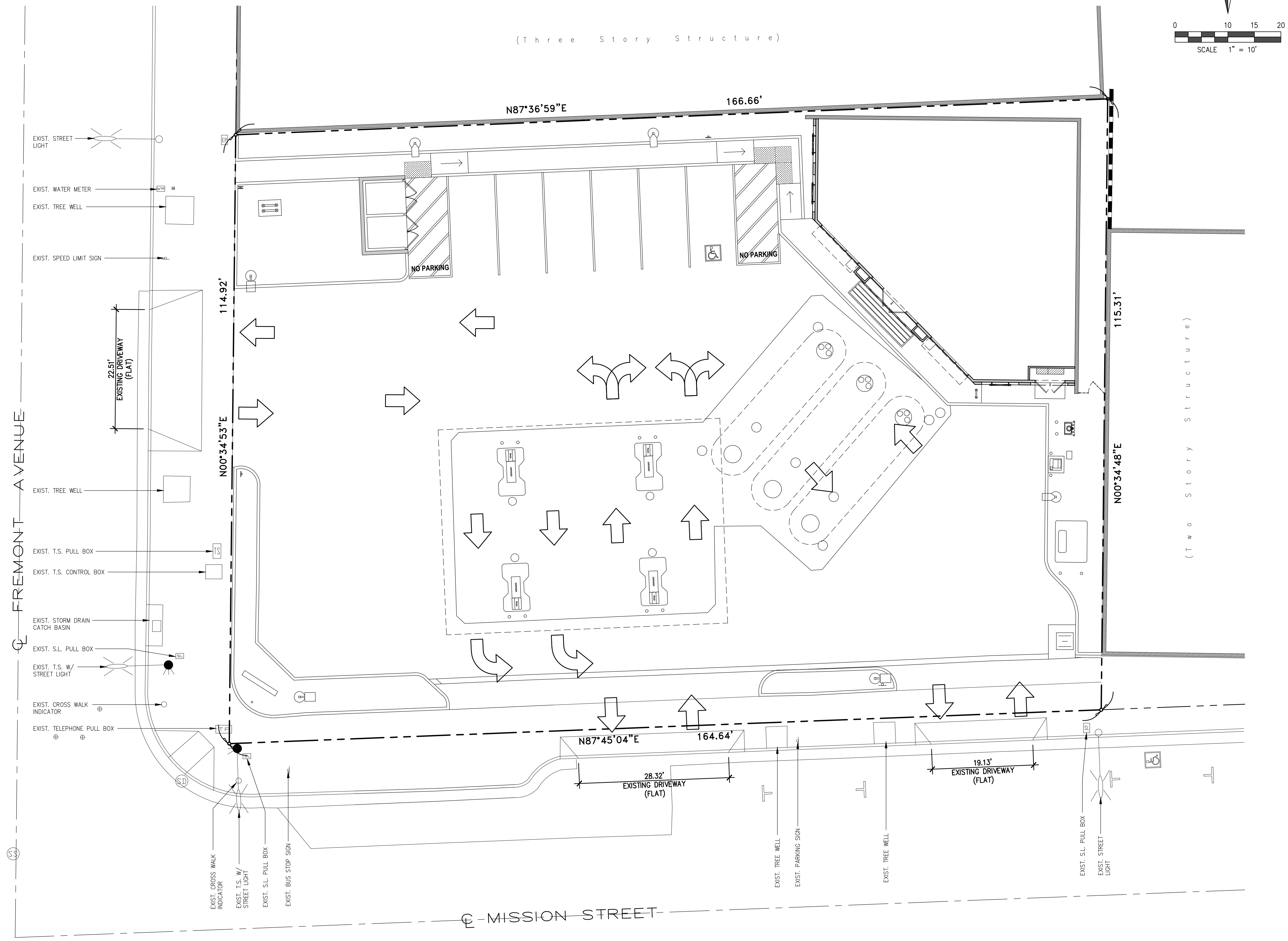
NO.

REVISION: _____
 DATE: _____

IMPROVEMENT SITE PLAN
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER
ST1.1

8/21/2013



(Three Story Structure)

(Two Story Structure)

FREMONT AVENUE

MISSION STREET

DRAWN BY: A.J.
 DATE: 8/14/14
 SCALE: 1" = 10'
 PLOT: 1:1
 REF: GMS15L12
 FILE: 01E-5089

NOTICE
 This drawing and all information therein is the property of Travis Companies, Inc. and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

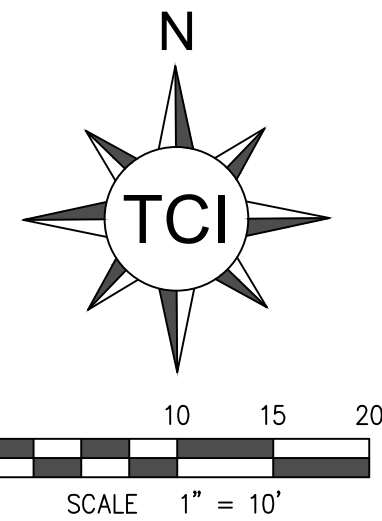
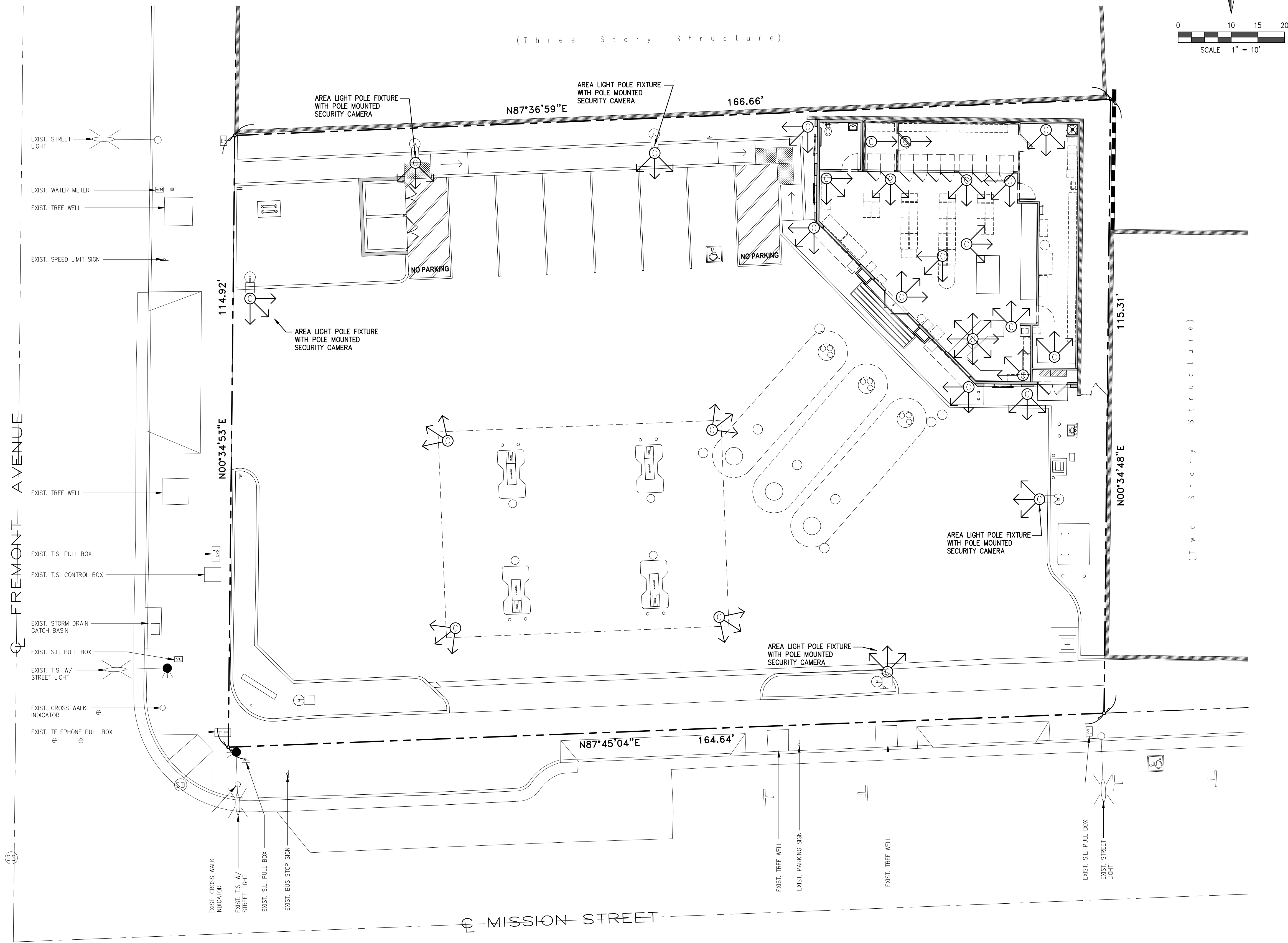
PREPARED FOR:
Travis Companies, Inc.
 4430 E. Marabona Ave., Suite F, Anaheim, CA 92807
 Tel: (714) 693-9388 Fax: (714) 693-9333
 © Travis Companies, Inc. 2009 All Rights Reserved

PREPARED BY:

| NO. | REVISION | DATE |
|-----|----------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

SITE CIRCULATION PLAN
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER
ST1.2
 8/21/2023



DRAWN BY: A.J.
 DATE: 8/14/14
 SCALE: 1" = 10'
 PLOT: 1:1
 REF: GMS13L1.3
 FILE: 0115-5089

NOTICE
 This drawing and all information therein is the property of Travis Companies, Inc. and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

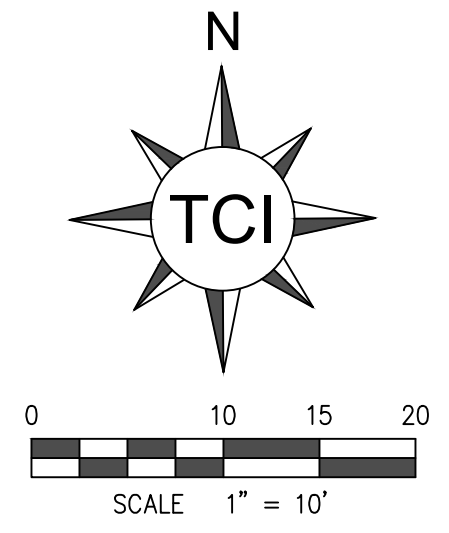
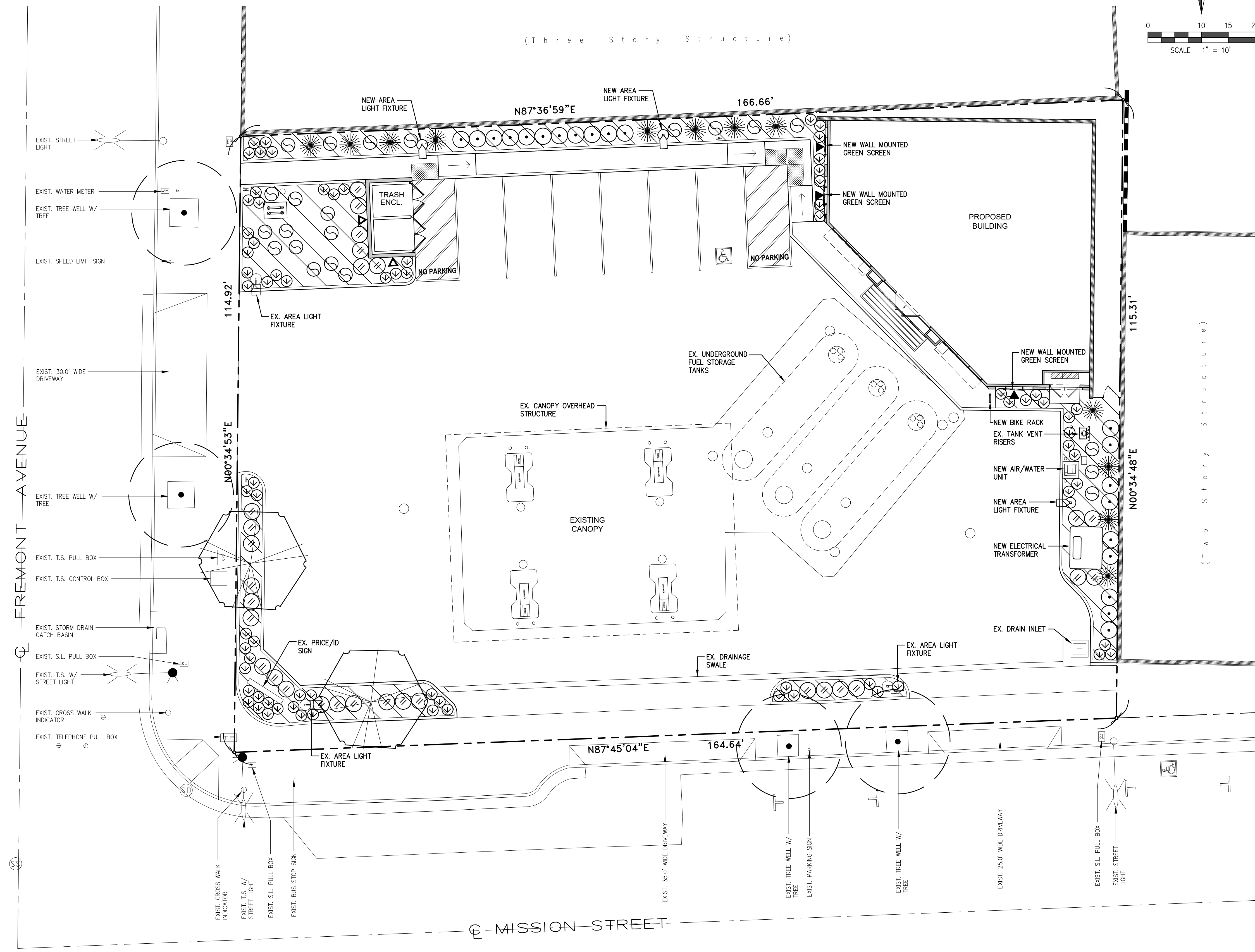
PREPARED FOR:
G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

PREPARED BY:
Travis Companies, Inc.
 4420 E. Marabona Ave., Suite F, Anaheim, CA 92807
 Tel: (714) 693-9388 Fax: (714) 693-9333
 © Travis Companies, Inc. 2009 All Rights Reserved

| NO. | REVISION | DATE |
|-----|----------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |

SECURITY PLAN
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER
ST1.3



PROPOSED PLANT LEGEND

| SYMBOL | BOTANICAL NAME COMMON NAME | QTY. | CONTAINER SIZE MATURE H X W | WATER USE COMMENTS |
|--------|---|------|--------------------------------|-----------------------|
| | TREES: LACERSTROEMIA L. 'WATERMELON RED' GRAPE MYRTLE | 2 | 24" BOX 25' x 25' | MODERATE |
| | CUPRESSUS SEMPERVIRENS 'STRICTA' ITALIAN CYPRESS | 12 | 15 GALLON 40' x 4' | LOW |
| | SHRUBS: ANIGOZANTHOS 'BUSH DEVIL' RED KANGAROO PAW | 77 | 1 GALLON 2' x 2' | LOW |
| | ELAEOAGNUS P. 'FRUTLANDII' SILVERBERRY | 20 | 5 GALLON 4' x 3' | LOW |
| | ILEX VOMITORIA 'STOKES' DWARF YAUPON | 29 | 5 GALLON 3' x 3' | LOW |
| | SALVIA GREGGII AUTUMN SAGE | 22 | 5 GALLON 3' x 4' | LOW |
| | VINES: BOUGAINVILLEA 'LA JOLLA' BOUGAINVILLEA | 3 | 5 GALLON | LOW |
| | MACFADYENA UNGUIS-CATI CAT'S CLAW VINE | 2 | 5 GALLON | LOW |
| | GROUND COVERS: DYMONDIA MARGARETAE DYMONDIA | | FLATS 12" O.C. | LOW |

NOTES:
 PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH.
 ROOT BARRIERS ARE REQUIRED WHEN TREE IS WITHIN 5' OF PAVING/CURB.
 IRRIGATION WILL BE BY DRIPLINE WITH A WEATHER BASED AUTOMATIC CONTROLLER.

MAXIMUM APPLIED WATER ALLOWANCE
 $(48.0)(0.62)(0.45 \times 1,919) = 21,762.0$ GPY
 TOTAL LANDSCAPE AREA 1,919 SQ. FT.
 CORNER LANDSCAPE AREA 405 SQ. FT.

ESTIMATED TOTAL WATER USE
 $HZ 1 LOW (48.0)(0.62)(.2/.81) \times 1,919 = 14,277.36$ GPY

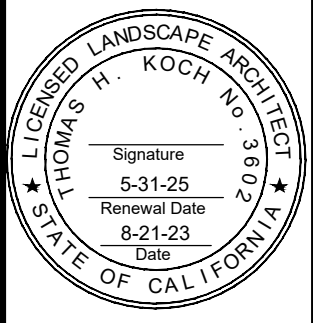
DRAWN BY: A.A.
 DATE: 8/21/23
 SCALE: 1" = 10'
 PLOT: L1
 REF: G&M L1.0
 FILE: 01E-5089

NOTICE
 This drawing and all information therein is the property of Travis TCI and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

PREPARED FOR:
G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

PREPARED BY:
THOMAS H. KOCH
 LANDSCAPE ARCHITECT
 2442 Emeryway Way
 (949) 344-1100
 thk@tkoach.net
 CA License 3602
 AZ Registration 33915

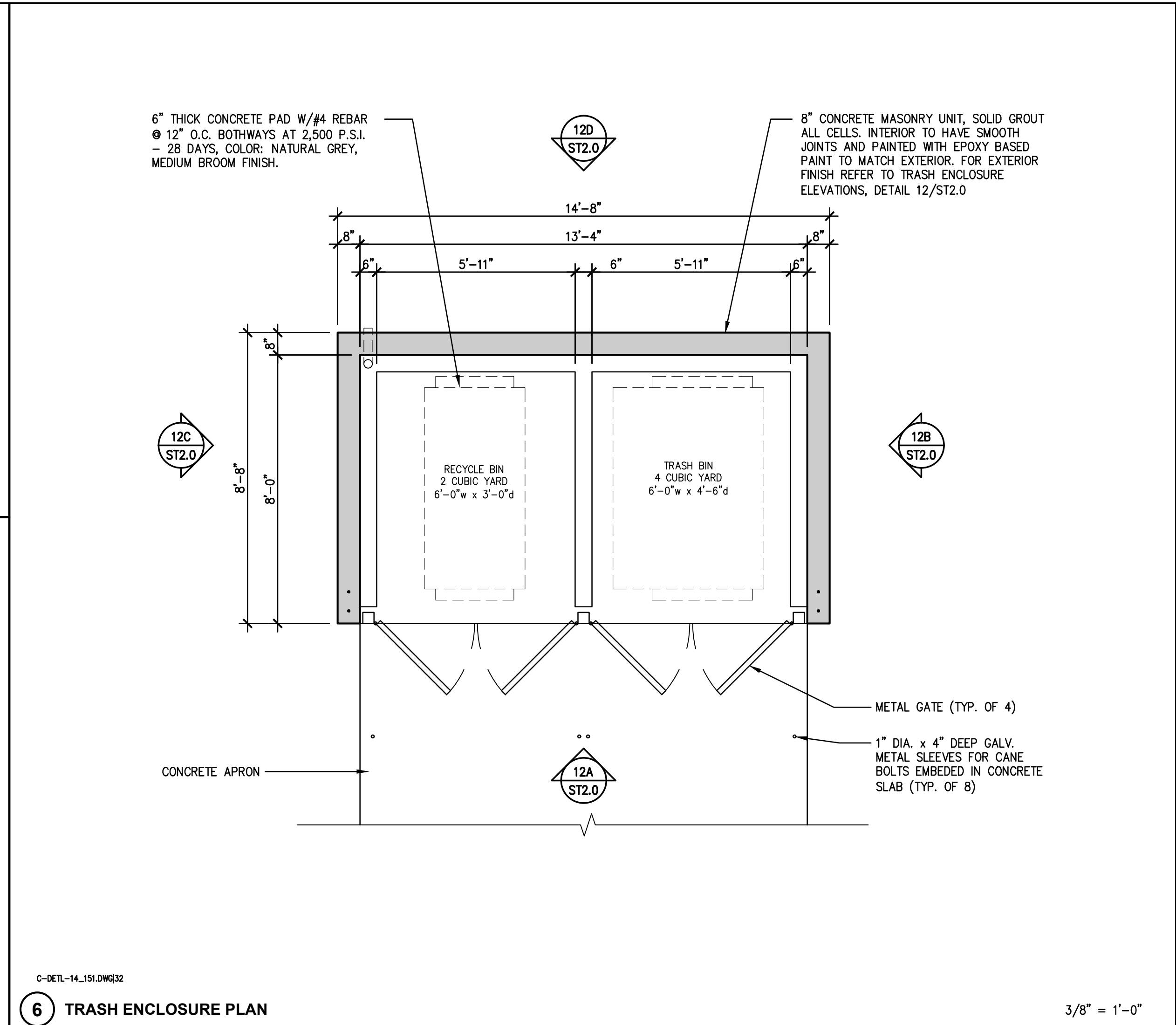
| NO. | REVISION | DATE |
|-----|----------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |



CONCEPTUAL LANDSCAPE PLAN
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER
L1.0

| | | |
|----|----|----|
| 17 | 13 | 9 |
| 18 | 14 | 10 |
| 19 | 15 | 11 |
| 20 | 16 | 12 |



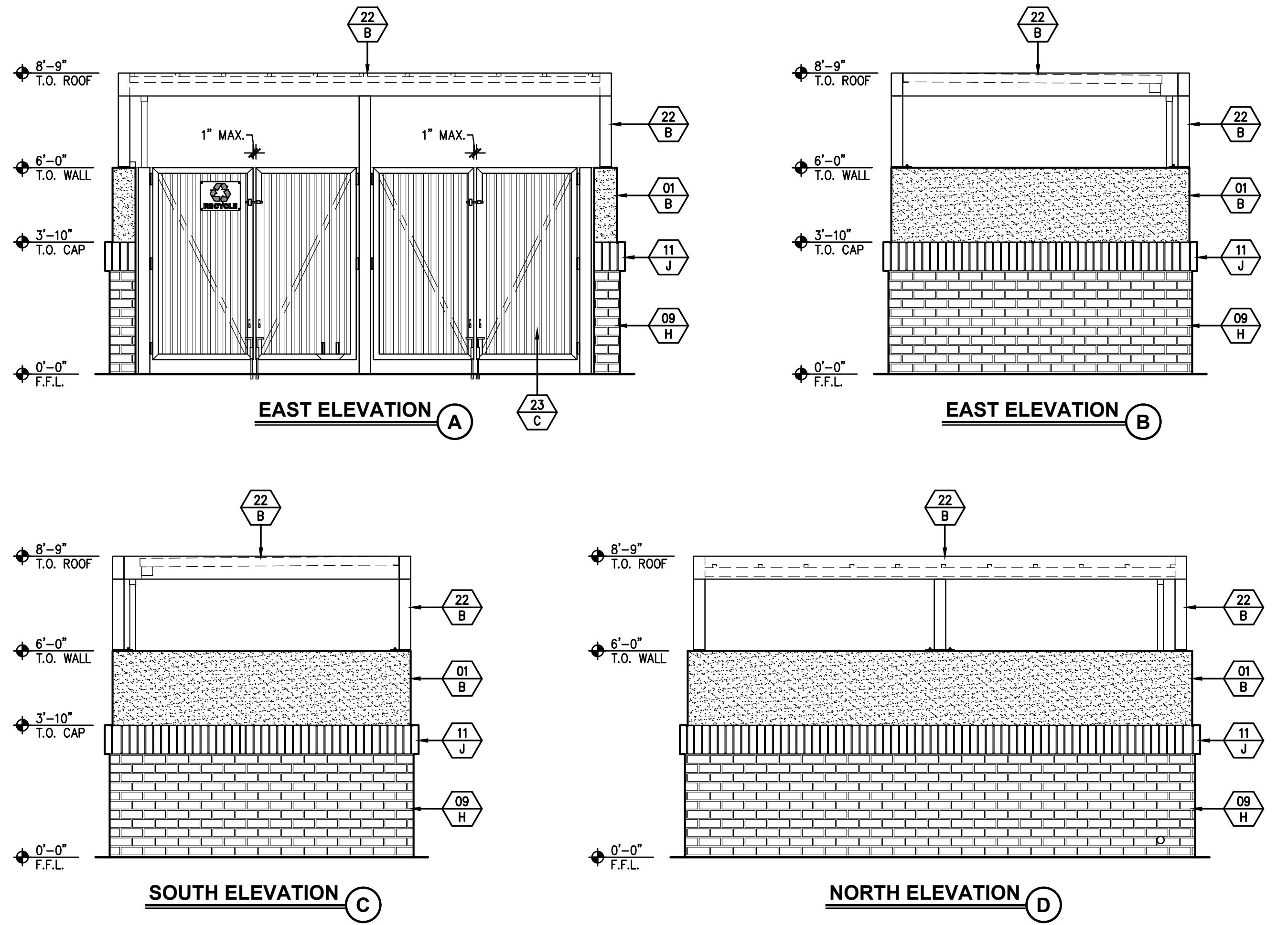
6 TRASH ENCLOSURE PLAN 3/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

- 01** ← MATERIAL/FINISH
A ← COLOR
- MATERIAL/FINISH:**
- 01 EXTERIOR CEMENT PLASTER OVER CMU BLOCK
FINISH: 20/30 FINE SAND FINISH
 - 09 THIN BRICK VENEER
 - 11 BRICK CAP
 - 22 METAL ROOF STRUCTURE
 - 23 SOLID METAL GATE
- COLOR:**
- B DUNN EDWARDS: #DE6130 - "WOODEN ACRE"
 - C DUNN EDWARDS: #DEA161 - "WILD MUSTANG"
 - H MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE.: SPECIAL USED BRICK
COLOR: EAGLE BUFF
ICC NO.: ESR-2598
 - J MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE.: 2 1/2"x10" BRICK CAP
COLOR: TRIBECCA
ICC NO.: ESR-2598

NOTES:
FOR PLAN VIEW OF TRASH ENCLOSURE SEE DETAIL 6/ST.2.0

12 TRASH ENCLOSURE ELEVATIONS



3/8" = 1'-0"

DRAWN BY: A.J.
 DATE: 8.14.14
 SCALE: AS NOTED
 PLOT: 1:1
 REF: GMS1512.0
 FILE: 0115-5088

NOTICE
 This drawing and all information therein is the property of Travis Companies, Inc. and shall be used only for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

PREPARED FOR:
 G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

PREPARED BY:
 Travis Companies, Inc.
 4430 E. Marabona Ave., Suite F, Anaheim, CA 92807
 Tel: (714) 893-8388 Fax: (714) 893-8333
 © Travis Companies, Inc. 2009 All Rights Reserved

| NO. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |
| | | |
| | | |

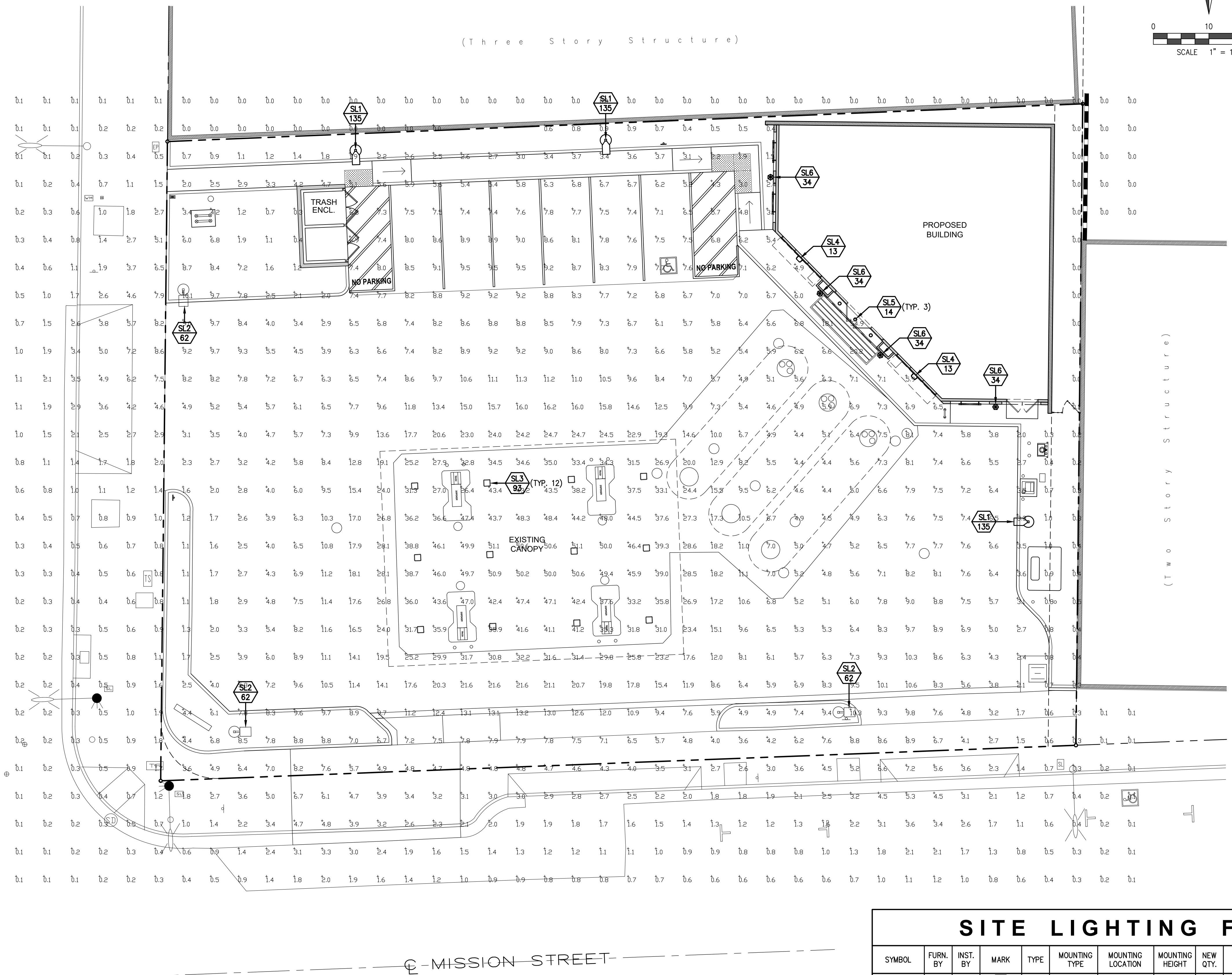
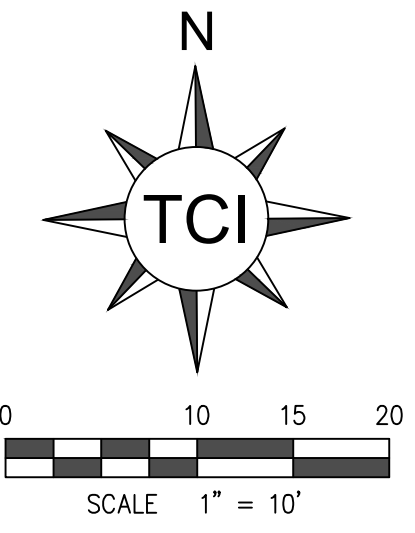
PROPOSED TRASH ENCLOSURE
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER
ST2.0

8/21/2023

CL FREMONT AVENUE

CL MISSION STREET



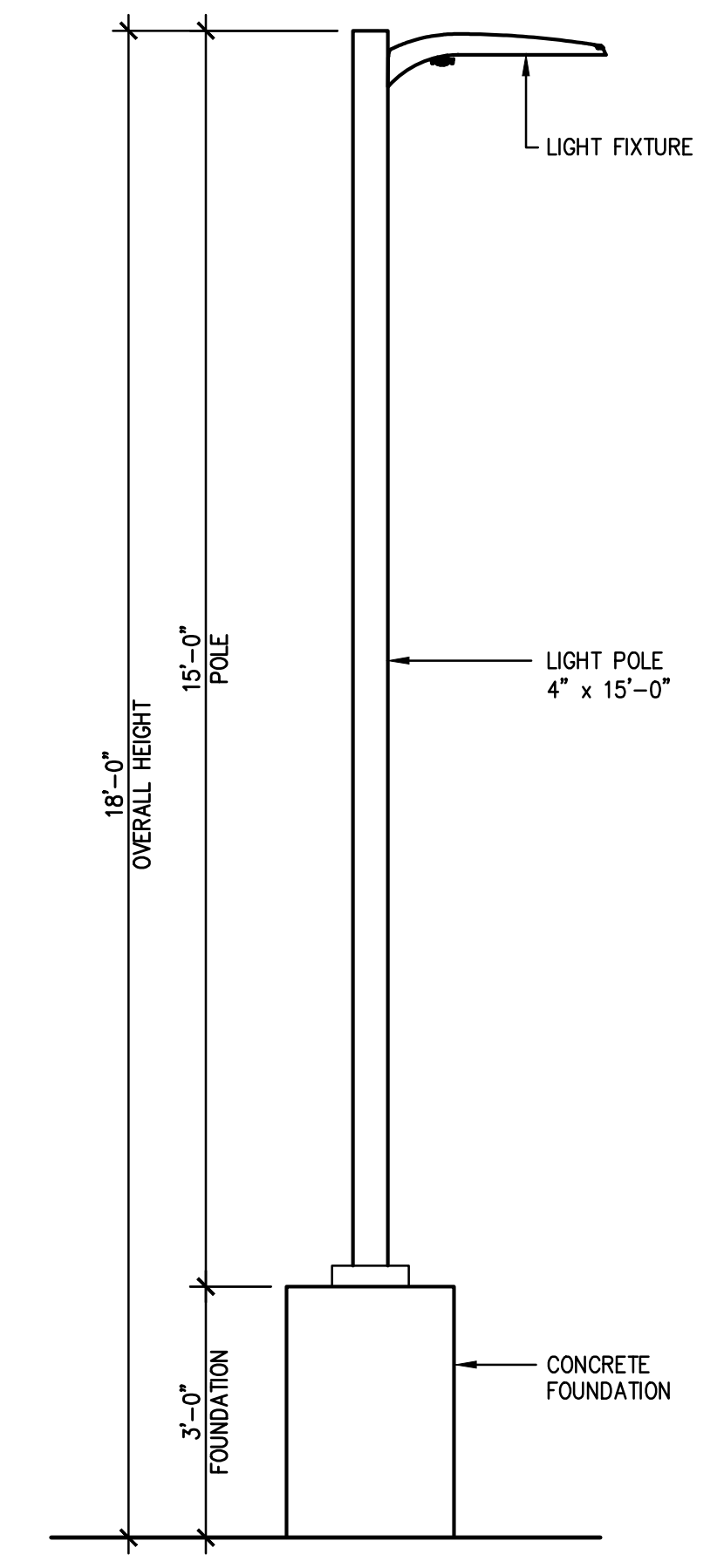
CALCULATION SUMMARY

| LABEL | CALC. TYPE | UNITS | AVG. | MAX. | MIN. | AVG/MIN | MAX/MIN |
|-------------------------|-------------|-------|-------|------|------|---------|---------|
| ALL CALC POINTS @ GRADE | ILLUMINANCE | FC | 4.78 | 54.9 | 0.0 | N.A. | N.A. |
| PROPERTY LINE | ILLUMINANCE | FC | 4.03 | 9.40 | 0.4 | 10.08 | 23.50 |
| CANOPY | ILLUMINANCE | FC | 38.81 | 51.1 | 17.6 | 2.21 | 2.90 |
| INSIDE CURB | ILLUMINANCE | FC | 8.90 | 28.6 | 0.6 | 14.83 | 47.67 |

SITE LIGHTING FIXTURE SCHEDULE

| SYMBOL | FURN. BY | INST. BY | MARK | TYPE | MOUNTING TYPE | MOUNTING LOCATION | MOUNTING HEIGHT | NEW QTY. | MFR. | CATALOG NO.: | LAMPING | | | | | | |
|--------|----------|----------|------------|------|---------------|---------------------|-----------------|----------|----------------|---|---------|-------|-------|------|-------------|-----------------------|---------|
| | | | | | | | | | | | NO.: | VOLTS | WATTS | TYPE | COLOR TEMP. | LIGHT OUTPUT (LUMENS) | REMARKS |
| ☐ | G.C. | E.C. | SL1 135 | LED | POLE | ON POLE | 18'-0" | 3 | LSI | MRM LED 18L SIL FT UNV DIM 50 70CRI BRZ | 1 | 120 | 135 | LED | 5000K | 19,324 | 1 |
| ○ | EXIST. | EXIST. | SL2 62 | LED | POLE | ON POLE | 12'-0" | 3 | LSI | SLM LED 9L SIL FT UNV 50 70CRI BRZ | 1 | 120 | 62 | LED | 5000K | 9,856 | 1 |
| ⊞ | EXIST. | EXIST. | SL3 83 | LED | RECESSED | UNDERSIDE OF CANOPY | 16'-0" | 12 | LSI | CRUS SC LED SS 40 UE WHT | 1 | 120 | 93 | LED | 4000K | 13,449 | |
| ☐ | E.C. | E.C. | SL4 13 | LED | SURFACE | ON WALL | 10'-6" | 2 | LSI | XWS LED 2L SIL 3 UNV 40 70CRI BRZ | 1 | 120 | 13 | LED | 4000K | 2,058 | 2 |
| ○ | E.C. | E.C. | SL5 14 | LED | RECESSED | UNDERSIDE OF SOFFIT | 9'-6" | 3 | LSI | LCD6 LED 14L UNV DIM1 40 NF TRBBL HAZ | 1 | 120 | 14 | LED | 4000K | 1,432 | 2 |
| ⊞ | E.C. | E.C. | SL6 34 | TRT | SURFACE | ON WALL | 8'-0" | 4 | ARTE DE MEXICO | WM168-3 32TRT 120 44 | 1 | 120 | 34 | TRT | --- | --- | 2 |

REMARKS:
 1. AREA SITE LIGHTING ON 4" SQUARE x 15'-0" HIGH POLE ON 3'-0" HIGH ABOVE GRADE FOOTING. 2. FIXTURE SHALL BE LISTED FOR WET LOCATIONS.



E-DET-30_150W024
1 TYPICAL AREA LIGHT POLE & FIXTURE 1/2" = 1'-0"

PHOTOMETRIC SITE PLAN
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

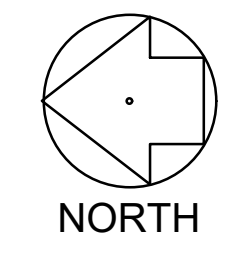
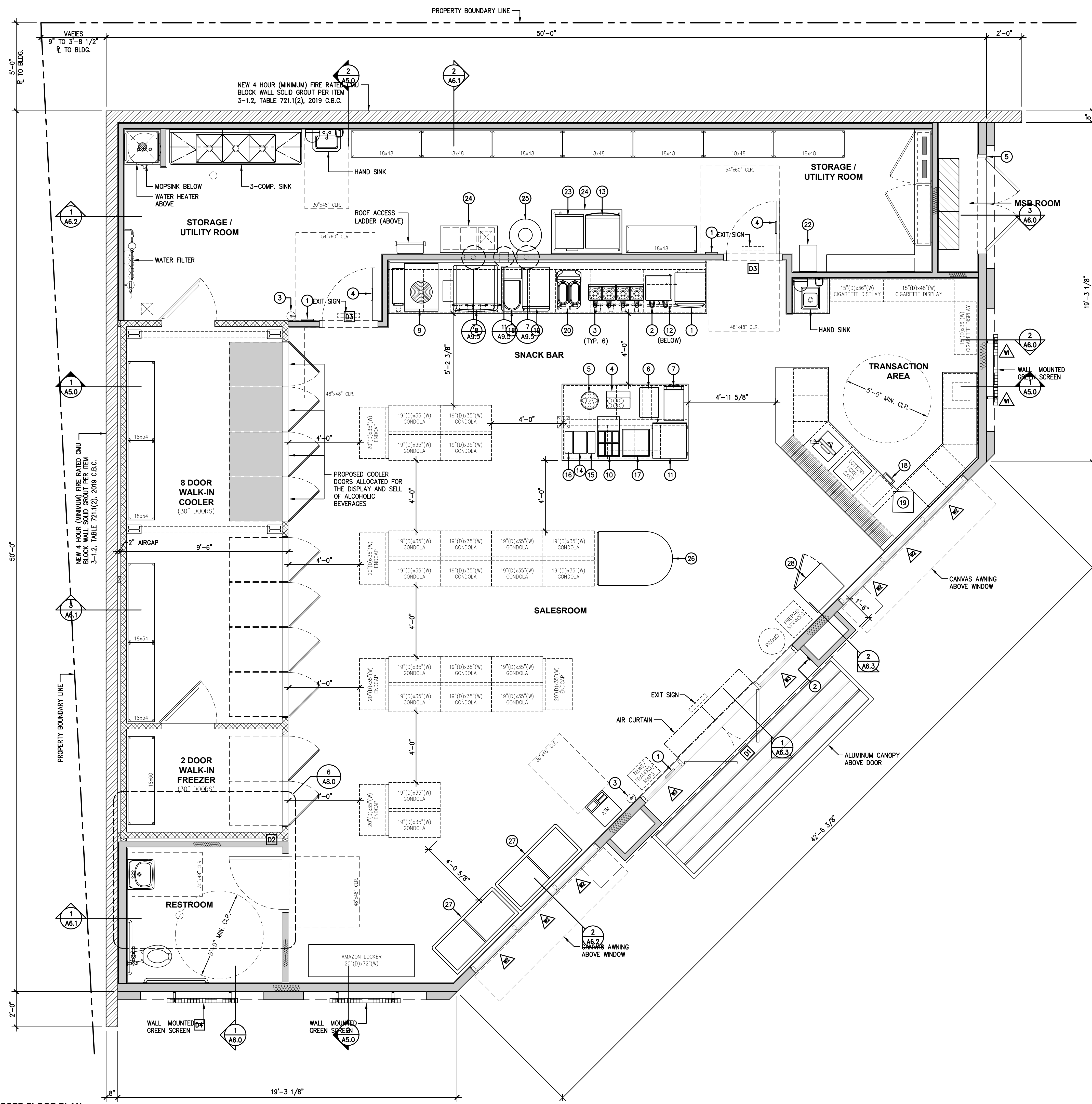
DRAWING NUMBER
ES1.0

PREPARED BY:
Travis Companies, Inc.
 4430 E. Mariposa Ave., Suite F, Anaheim, CA 92807
 Tel: (714) 693-9388 Fax: (714) 693-9333
 © Travis Companies, Inc. 2009 All Rights Reserved.

G&M OIL COMPANY, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

NOTICE
 This drawing and all information therein is the property of Travis Companies, Inc. and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

DRAWN BY: A.A.
 DATE: 8/21/23
 SCALE: 1" = 10'
 PLOT: GMS15E15.0
 REF: GMS15E15.0
 FILE: 0115-0089



| ITEM | EQUIPMENT DESCRIPTION: |
|------|-------------------------------------|
| 1 | CAPPUCCINO DISPENSER |
| 2 | TWIN COFFEE BREWER |
| 3 | HOT COFFEE SERVERS (6) |
| 4 | COFFEE LID ORGANIZER |
| 5 | SYRUP CAROUSEL |
| 6 | REFRIGERATED CREAMER DISPENSER |
| 7 | ICED COFFEE DISPENSER |
| 8 | 16 HEAD FOUNTAIN |
| 9 | 3 FLAVOR FROZEN DRINK DISPENSER |
| 10 | REFRIGERATED CONDIMENT UNIT |
| 11 | SLANTED DISPLAY WARMER |
| 12 | MICROWAVE |
| 13 | PIZZA OVEN |
| 14 | CHIP RACK |
| 15 | CHILI DISPENSER |
| 16 | CHEESE DISPENSER |
| 17 | DISPLAY WARMING CABINET |
| 18 | F'REAL BLENDER |
| 19 | F'REAL FREEZER |
| 20 | 2 PRODUCT FROZEN BEVERAGE DISPENSER |
| 21 | HYDROZONE END CAP MERCHANDISER |
| 22 | CHEST ICE CREAM MERCHANDISER |
| 23 | CONVECTION OVEN |
| 24 | 30"x48" S.S. TABLE |
| 25 | BAG-N-BOX |
| 26 | Co2 TANK |
| 27 | TIME DELAY SAFE BELOW |
| 28 | LOTTO MACHINE |
| 29 | EMPLOYEE LOCKERS (2) |

NOTE:
 BEER/WINE SALES AREA:
 10'x3' = 30 SQ. FT.
 OVERALL BUILDING AREA:
 1,981 SQ. FT.
 TOTAL PERCENTAGE OF FLOOR AREA DEDICATED
 TO BEER/WINE SALES = 1.51%

PROPOSED FLOOR PLAN
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER
A1.0

DATE: 8/21/23
 SCALE: 3/8" = 1'-0"
 PLOT: GMITLAL1
 REF: GMITLAL1
 FILE: 011E-0089

NOTICE: This drawing and all information therein is the property of Travis Companies, Inc. It is to be used only for the purpose for which it is expressly prepared. This drawing and any information contained hereon shall be returned to the owner upon demand.

PREPARED FOR:
Travis Companies, Inc.
 4420 E. Mariposa Ave., Suite F, Anaheim, CA 92807
 Tel: (714) 693-9388 Fax: (714) 693-9333
 © Travis Companies, Inc. 2023 All Rights Reserved

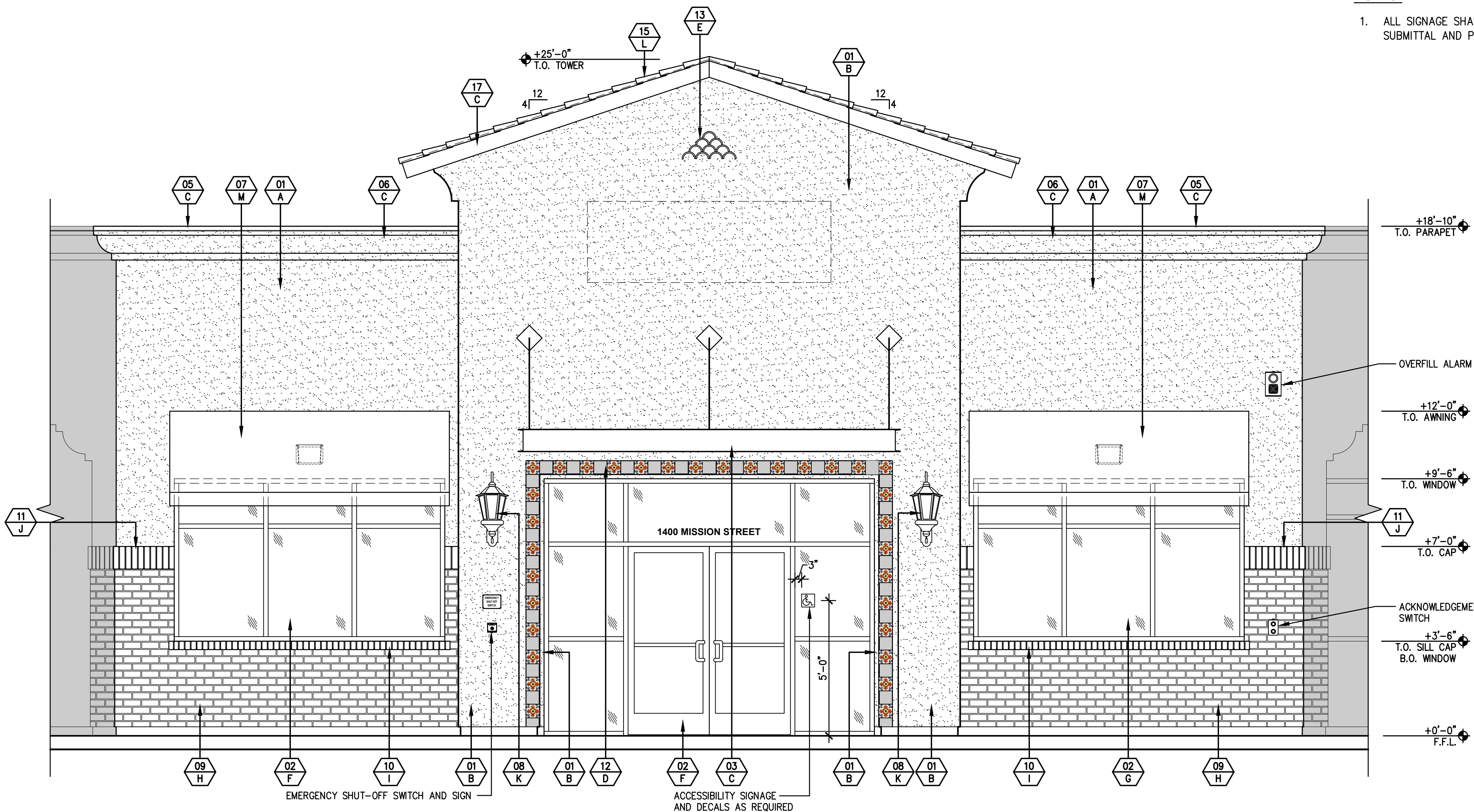
PREPARED BY:
G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29

REVISION: _____ DATE: _____

1 PROPOSED FLOOR PLAN

3/8" = 1'-0"



1 SOUTHWEST ELEVATION

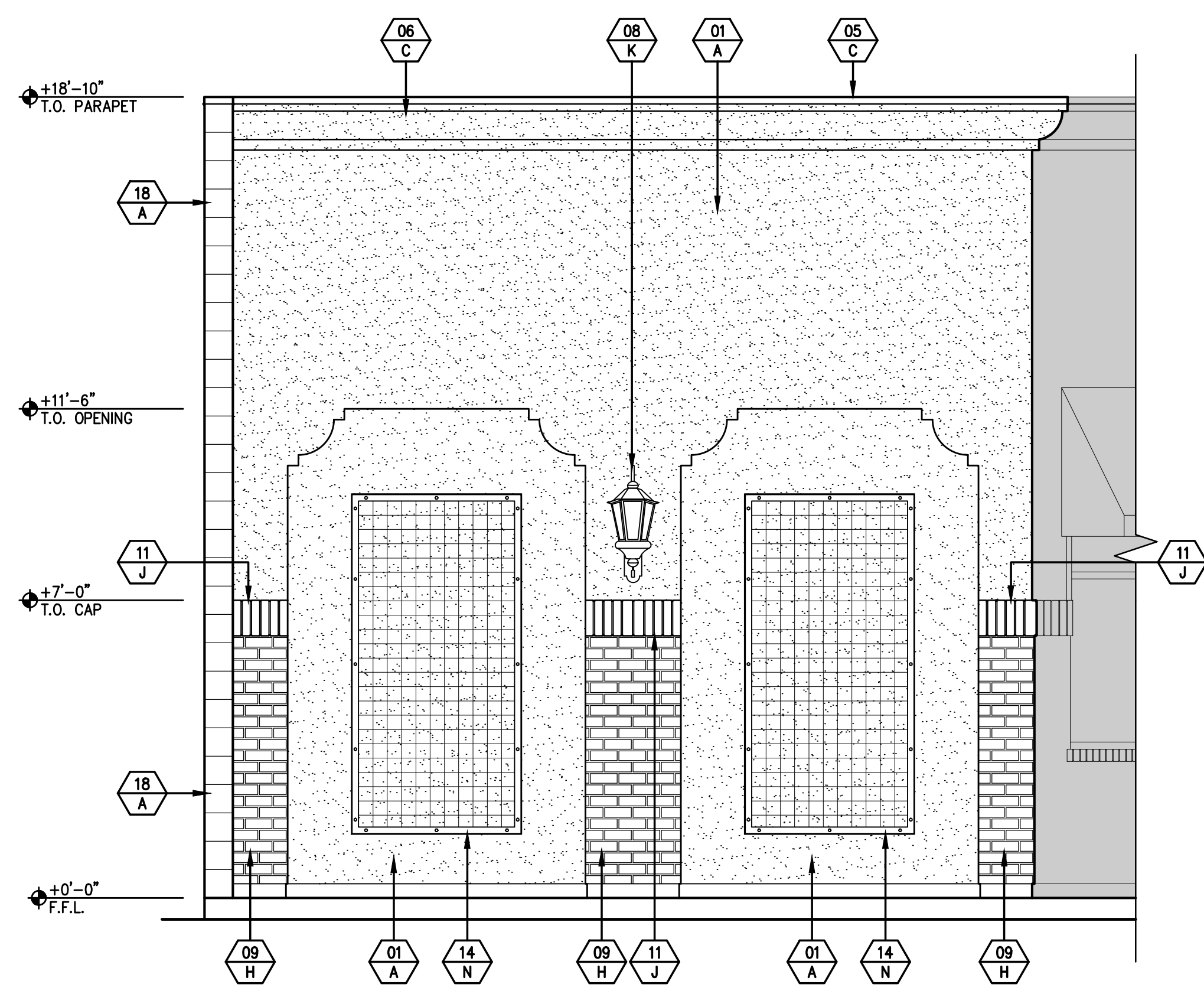
3/8" = 1'-0"

NOTES:

1. ALL SIGNAGE SHALL BE UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.)

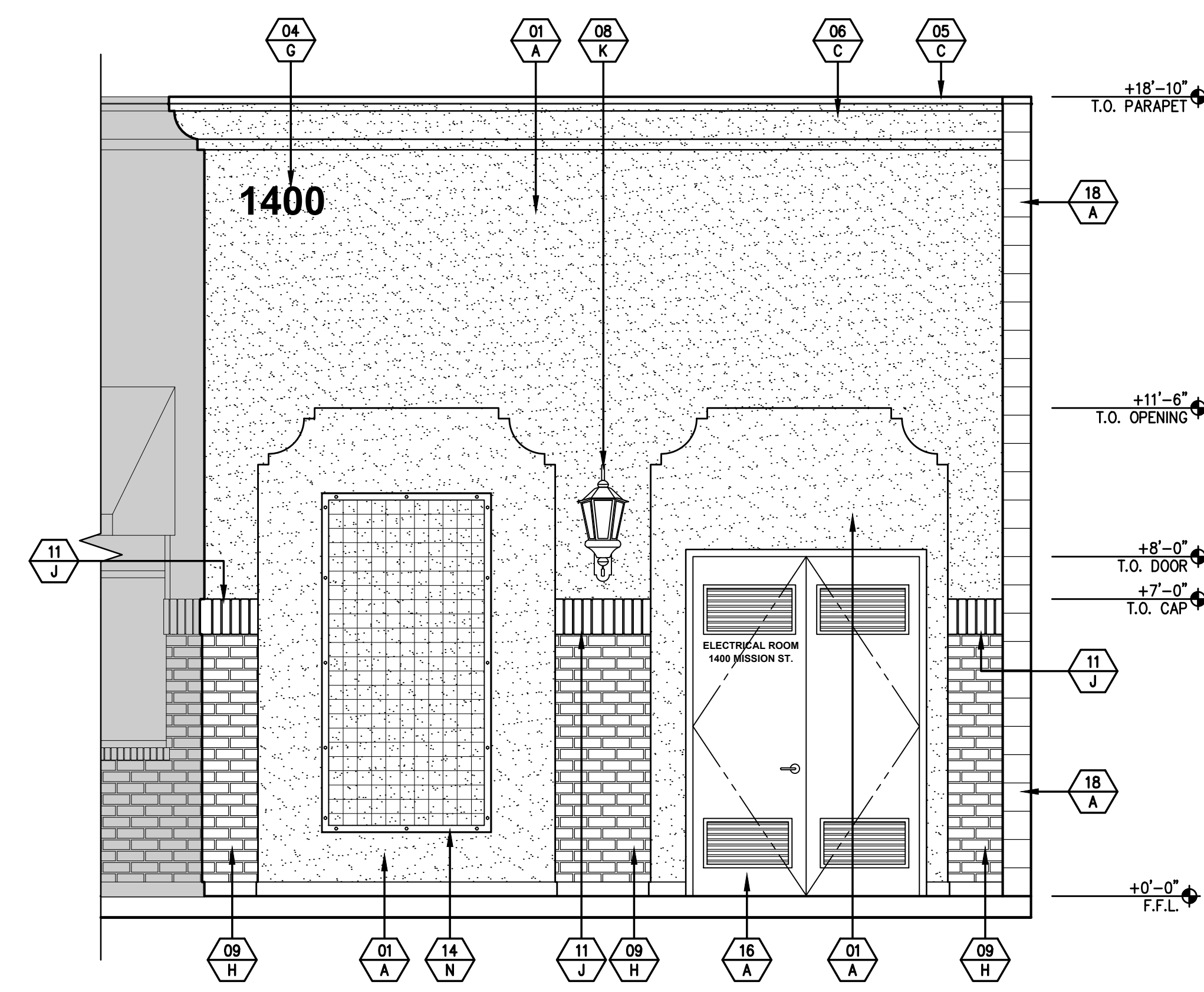
EXTERIOR FINISH SCHEDULE

- MATERIAL/FINISH COLOR**
- MATERIAL/FINISH:**
- 7/8" EXTERIOR CEMENT PLASTER (3 COAT) OVER SELF FURRING DIAMOND MESH OVER 2 LAYERS GRADE "D" PAPER OVER SHEATHING FINISH: 20/30 FINE SAND FINISH
 - ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED GLAZING
 - ALUMINUM CANOPY
 - BUILDING ADDRESS NUMBERS
 - METAL FLASHING
 - FOAM SHAPE WITH CEMENT PLASTER FINISH
 - ALUMINUM FRAMED CANVAS AWNING
 - WALL MOUNTED LIGHT FIXTURE
 - THIN BRICK VENEER
 - BRICK SILL
 - BRICK CAP
 - ACCENT TILE
 - FAUX GABLE VENT TUBE
 - WALL MOUNTED TRELLIS
 - CONCRETE ROOF TILE
 - HOLLOW METAL DOOR AND FRAME
 - WOOD FASCIA
 - 8"x8"x16" CMU BLOCK - SMOOTH FACE
- COLOR:**
- DUNN EDWARDS: #DE6128 - "SAND DUNE"
 - DUNN EDWARDS: #DE6130 - "WOODEN ACRE"
 - DUNN EDWARDS: #DEA161 - "WILD MUSTANG"
 - MANUFACTURER: TIERRA Y FUEGO - TEL: (619) 710-8885
MODEL NO.: TALAVERA
COLOR: GUADALAJARA - #10131-6
RUST - #10812-6
SIZE: 6"x6"
 - COLOR: TERRECOTTA VITRIFIED CLAY
SIZE: 6" DIA x 6" LONG
 - MANUFACTURER: ARCADIA, INC. - TEL: (323) 269-7300
MODEL NO.: AFG451
COLOR: DARK BRONZE ANODIZED FINISH
 - SIZE: 10"
FONT: HELVETICA
COLOR: BLACK - 2025
 - MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: SPECIAL USED BRICK
COLOR: EAGLE BUFF
ICC NO.: ESR-2598
 - MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: 2 1/4"x3 1/2" BRICK SILL
COLOR: TRIBECCA
ICC NO.: ESR-2598
 - MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: 2 1/2"x10" BRICK CAP
COLOR: TRIBECCA
ICC NO.: ESR-2598
 - MANUFACTURER: ARTE DE MEXICO - TEL: (818) 753-4559
MODEL NO.: WM168-3
COLOR: ANTIQUE UMBER FINISH
 - MANUFACTURER: EAGLE ROOFING - TEL: (800) 300-3245
STYLE: CAPISTRANO
COLOR: #3636 - "PIEDMONT BLEND"
CRRC ID#: 0918-0066
ICC NO.: ESR-1900
 - MANUFACTURER: SUNBRELLA
COLOR: TO MATCH DUNN EDWARDS #DEA161 "WILD MUSTANG"
 - MANUFACTURER: GREEN SCREEN - TEL: (800) 450-3494
MODEL NO.: WALL MOUNTED TRELLIS PANEL
SIZE: 4'-0"(w) x 8'-0"(h) x 3"(d)
COLOR: "GREEN" - GLOSS POWDER COAT FINISH



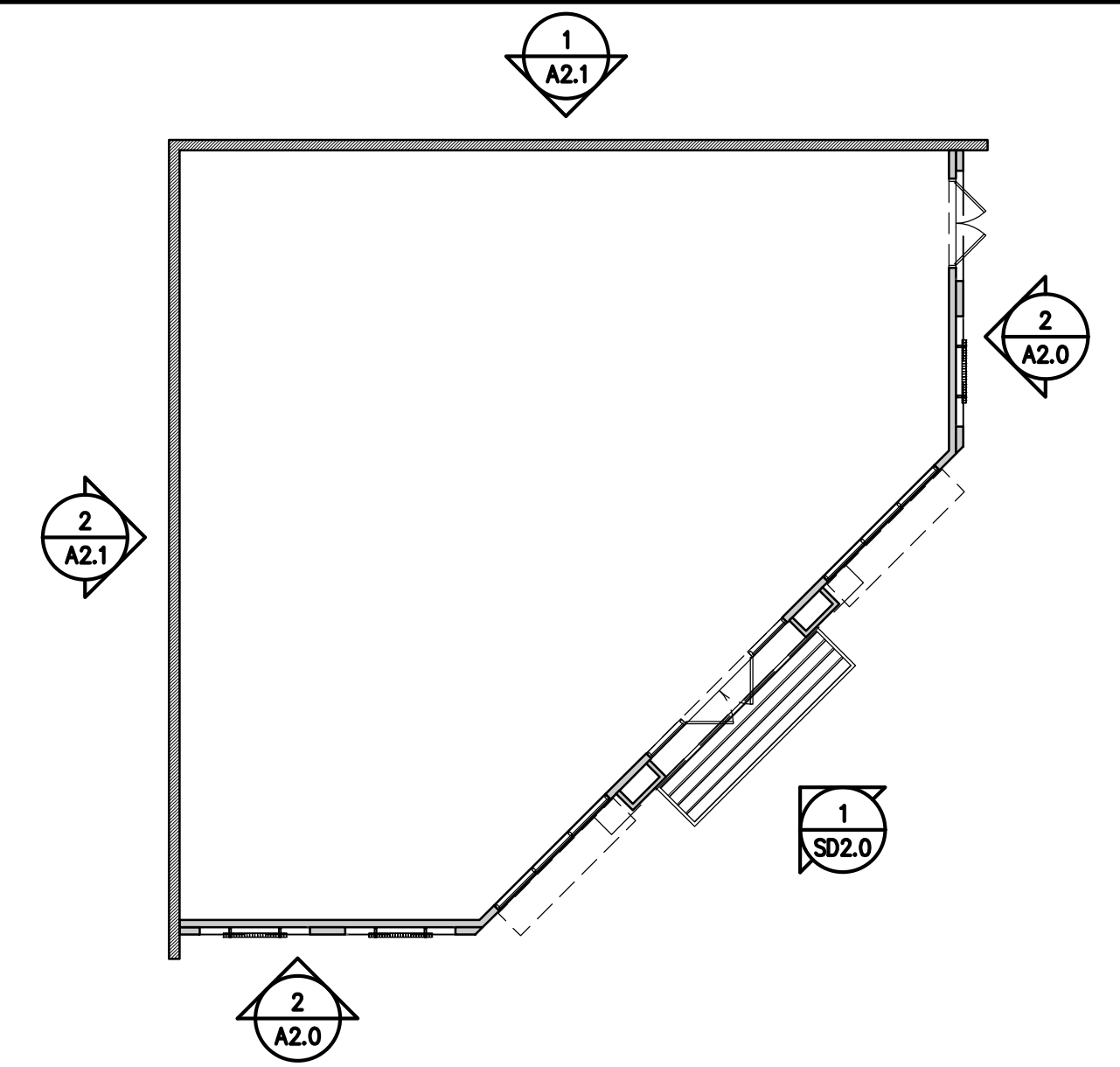
2 WEST ELEVATION

3/8" = 1'-0"



3 SOUTH ELEVATION

3/8" = 1'-0"



PROPOSED EXTERIOR ELEVATIONS
G&M OIL COMPANY FACILITY No.: 151
1400 MISSION STREET
SOUTH PASADENA, CA 91030

DRAWING NUMBER

A2.0

8/21/2023

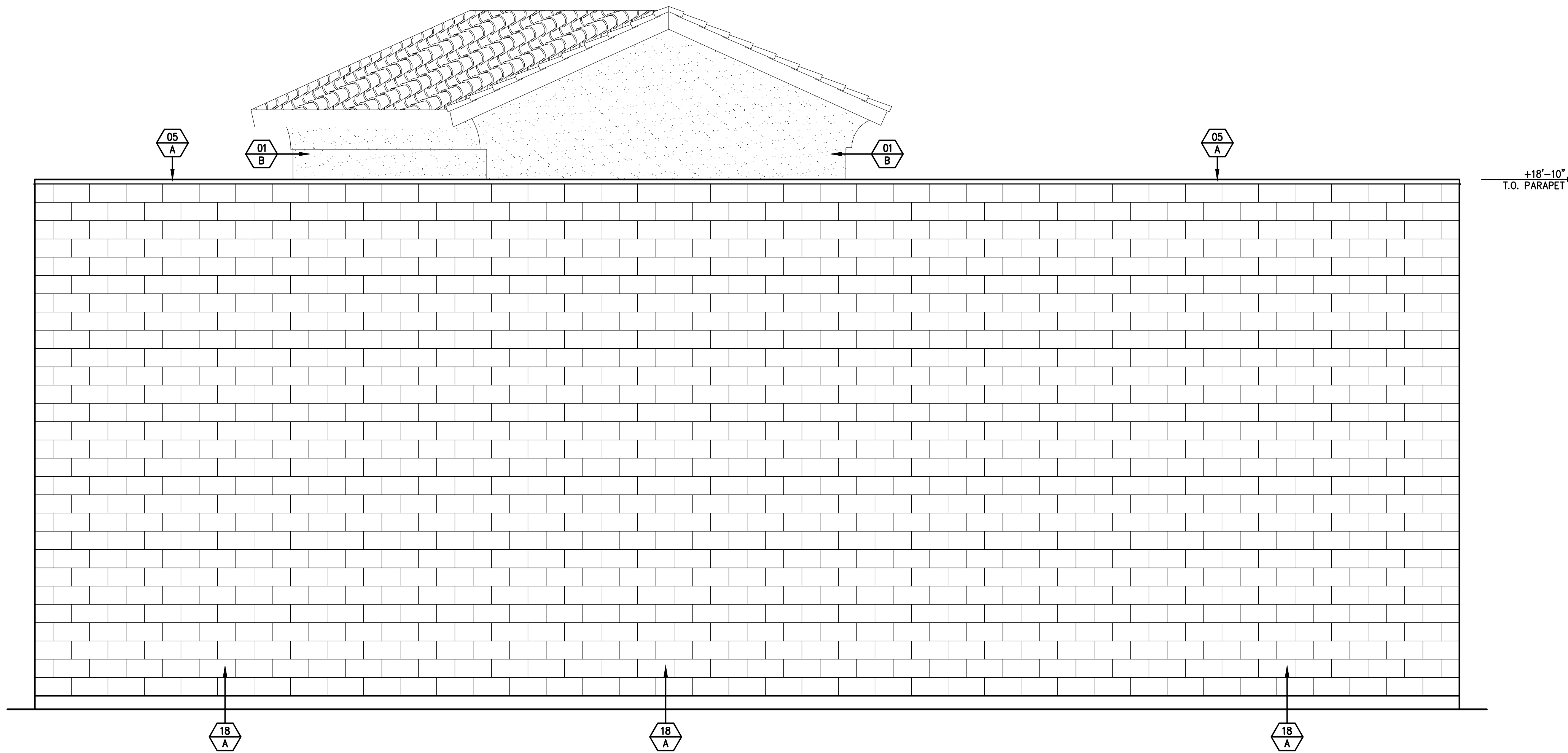
NOTICE
This drawing and all information therein is the property of Travis Companies, Inc. and shall not be copied or used except for the purpose for which it is expressly furnished. This drawing and any information contained hereon shall be returned to the owner upon demand.

DRAWN BY: A.A.
DATE: 8/14/23
SCALE: 3/8" = 1'-0"
PLT: GMITL02.0
REF: GMITL02.0
FILE: 011E-0089

PREPARED FOR:
G&M Oil Company, Inc.
16888 A Lane
Huntington Beach
California, 92647-4831
(714) 375-4700

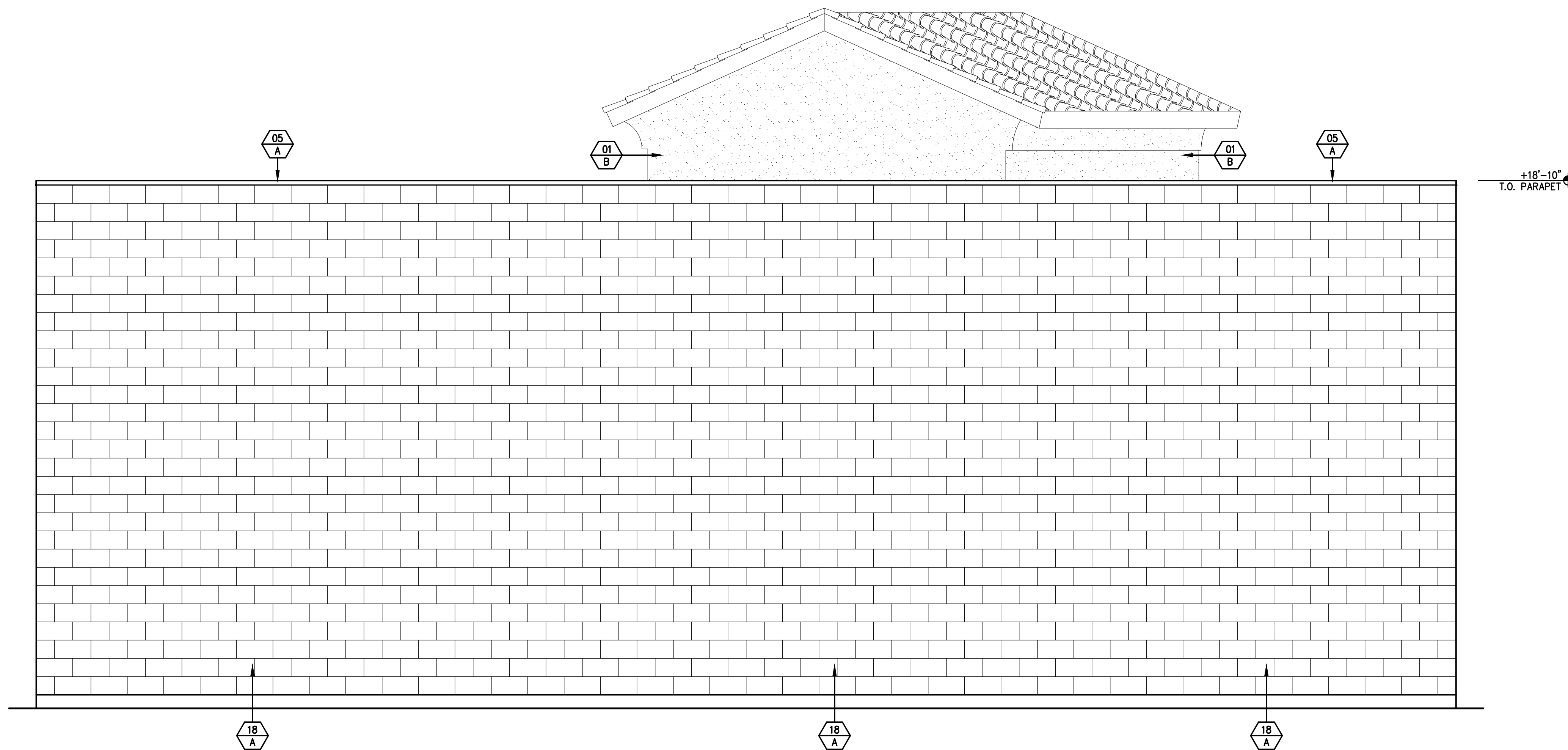
PREPARED BY:
Travis Companies, Inc.
4420 E. Mariposa Ave., Suite F, Anaheim, CA 92807
Tel: (714) 693-8388 Fax: (714) 693-8333
© Travis Companies, Inc. 2023 All Rights Reserved

| NO. | DATE | REVISION |
|-----|------|----------|
| | | |
| | | |
| | | |
| | | |



1 EAST ELEVATION

3/8" = 1'-0"



2 NORTH ELEVATION

3/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

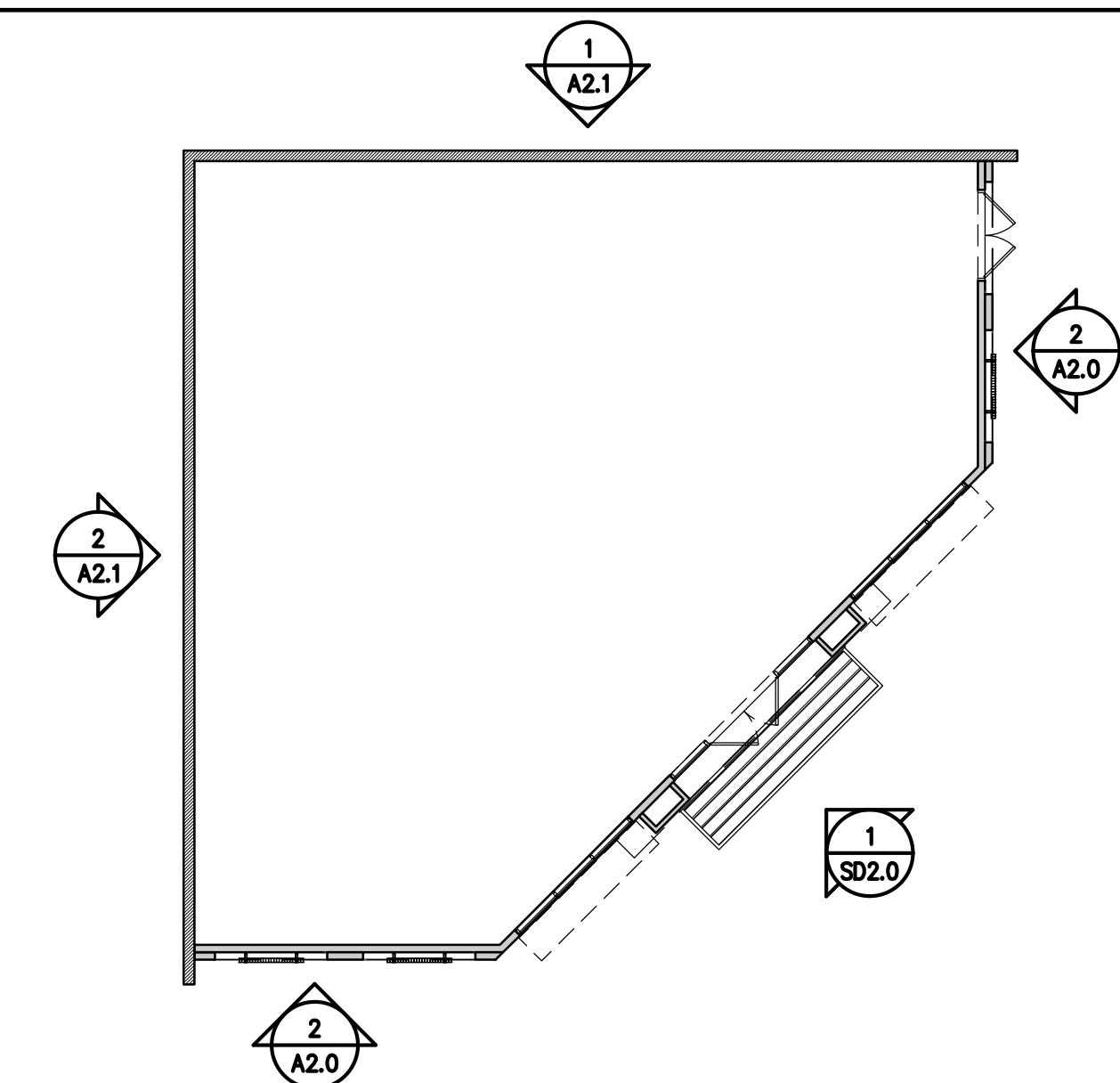
01 MATERIAL/FINISH
A COLOR

MATERIAL/FINISH:

- 01 7/8" EXTERIOR CEMENT PLASTER (3 COAT) OVER SELF FURRING DIAMOND MESH OVER 2 LAYERS GRADE "D" PAPER OVER SHEATHING
FINISH: 20/30 FINE SAND FINISH
- 02 ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED GLAZING
- 03 ALUMINUM CANOPY
- 04 BUILDING ADDRESS NUMBERS
- 05 METAL FLASHING
- 06 FOAM SHAPE WITH CEMENT PLASTER FINISH
- 07 ALUMINUM FRAMED CANVAS AWNING
- 08 WALL MOUNTED LIGHT FIXTURE
- 09 THIN BRICK VENEER
- 10 BRICK SILL
- 11 BRICK CAP
- 12 ACCENT TILE
- 13 FAUX GABLE VENT TUBE
- 14 WALL MOUNTED TRELIS
- 15 CONCRETE ROOF TILE
- 16 HOLLOW METAL DOOR AND FRAME
- 17 WOOD FASCIA
- 18 8"x8"x16" CMU BLOCK - SMOOTH FACE

COLOR:

- A DUNN EDWARDS: #DE6128 - "SAND DUNE"
- B DUNN EDWARDS: #DE6130 - "WOODEN ACRE"
- C DUNN EDWARDS: #DEA161 - "WILD MUSTANG"
- D MANUFACTURER: TIERRA Y FUEGO - TEL: (619) 710-8885
MODEL NO.: TALAVERA
COLOR: GUADALAJARA - #10131-6
RUST - #10812-6
SIZE: 6"x6"
- E COLOR: TERRECOTTA VITRIFIED CLAY
SIZE: 6" DIA x 6" LONG
- F MANUFACTURER: ARCADIA, INC. - TEL: (323) 269-7300
MODEL NO.: AFG451
COLOR: DARK BRONZE ANODIZED FINISH
- G SIZE: 10"
FONT: HELVETICA
COLOR: BLACK - 2025
- H MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: SPECIAL USED BRICK
COLOR: EAGLE BUFF
ICC NO.: ESR-2598
- I MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: 2 1/4"x3 1/2" BRICK SILL
COLOR: TRIBECCA
ICC NO.: ESR-2598
- J MANUFACTURER: CORONADO STONE - TEL: (800) 847-8663
STYLE: 2 1/2"x10" BRICK CAP
COLOR: TRIBECCA
ICC NO.: ESR-2598
- K MANUFACTURER: ARTE DE MEXICO - TEL: (818) 753-4559
MODEL NO.: WM168-3
COLOR: ANTIQUE UMBER FINISH
- L MANUFACTURER: EAGLE ROOFING - TEL: (800) 300-3245
STYLE: CAPISTRANO
COLOR: #3636 - "PIEDMONT BLEND"
CRR# ID#: 0918-0066
ICC NO.: ESR-1900
- M MANUFACTURER: SUNBRELLA
COLOR: TO MATCH DUNN EDWARDS #DEA161 "WILD MUSTANG"
- N MANUFACTURER: GREEN SCREEN - TEL: (800) 450-3494
MODEL NO.: WALL MOUNTED TRELIS PANEL
SIZE: 4'-0"(w) x 8'-0"(h) x 3"(d)
COLOR: "GREEN" - GLOSS POWDER COAT FINISH



DRAWN BY: A.A.
 DATE: 8/21/23
 SCALE: 3/8" = 1'-0"
 PLOT: 1:1
 REF: GMT151A2.0
 FILE: 01E-5089

NOTICE
 This drawing and all information therein is the property of Travis Companies, Inc. It is to be used only for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

PREPARED FOR:
G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700

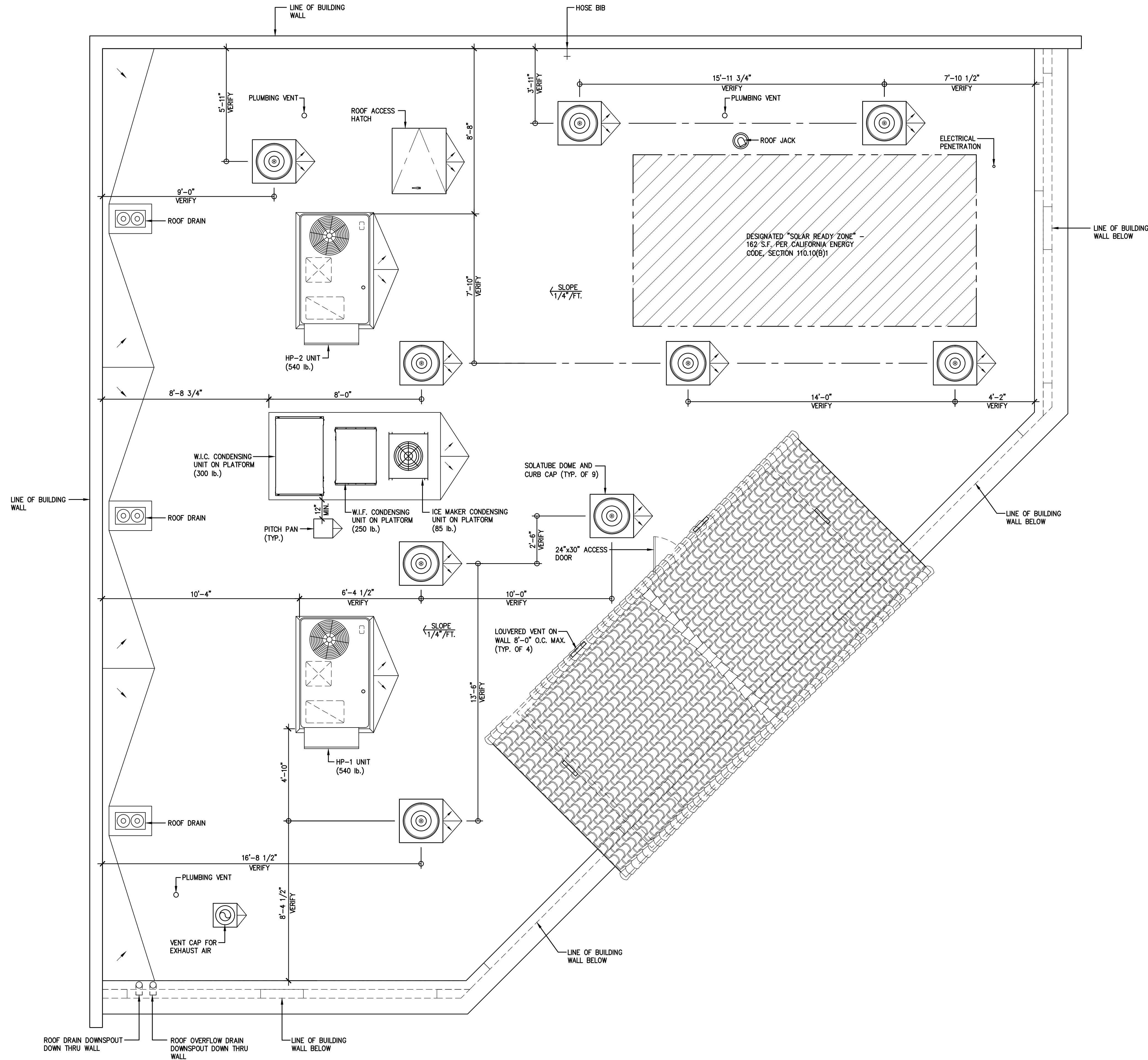
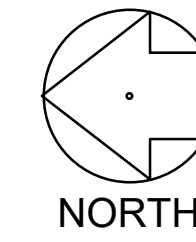
PREPARED BY:
Travis Companies, Inc.
 4430 E. Marabona Ave., Suite F, Anaheim, CA 92807
 Tel: (714) 993-9388 Fax: (714) 993-9333
 © Travis Companies, Inc. 2023 All Rights Reserved

| NO. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |
| | | |
| | | |

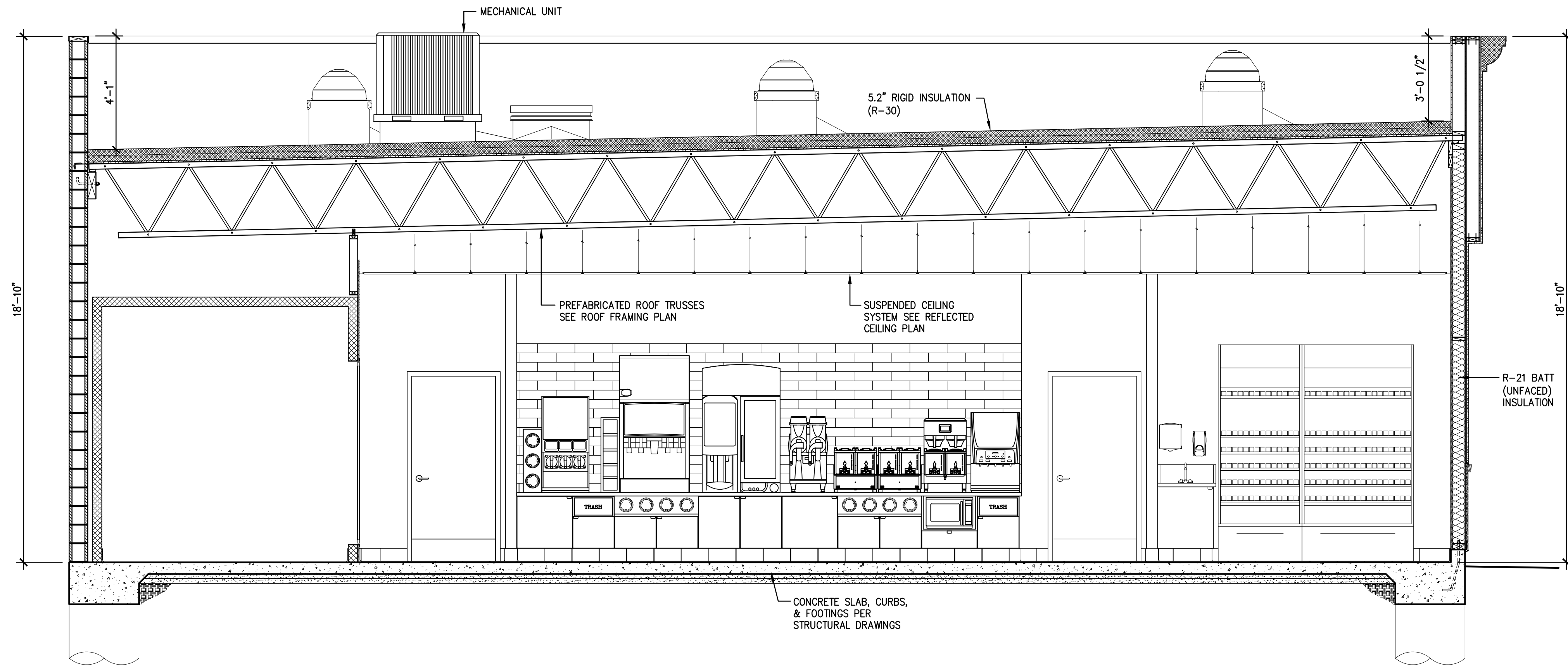
PROPOSED EXTERIOR ELEVATIONS
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER
A2.1

8/21/2023

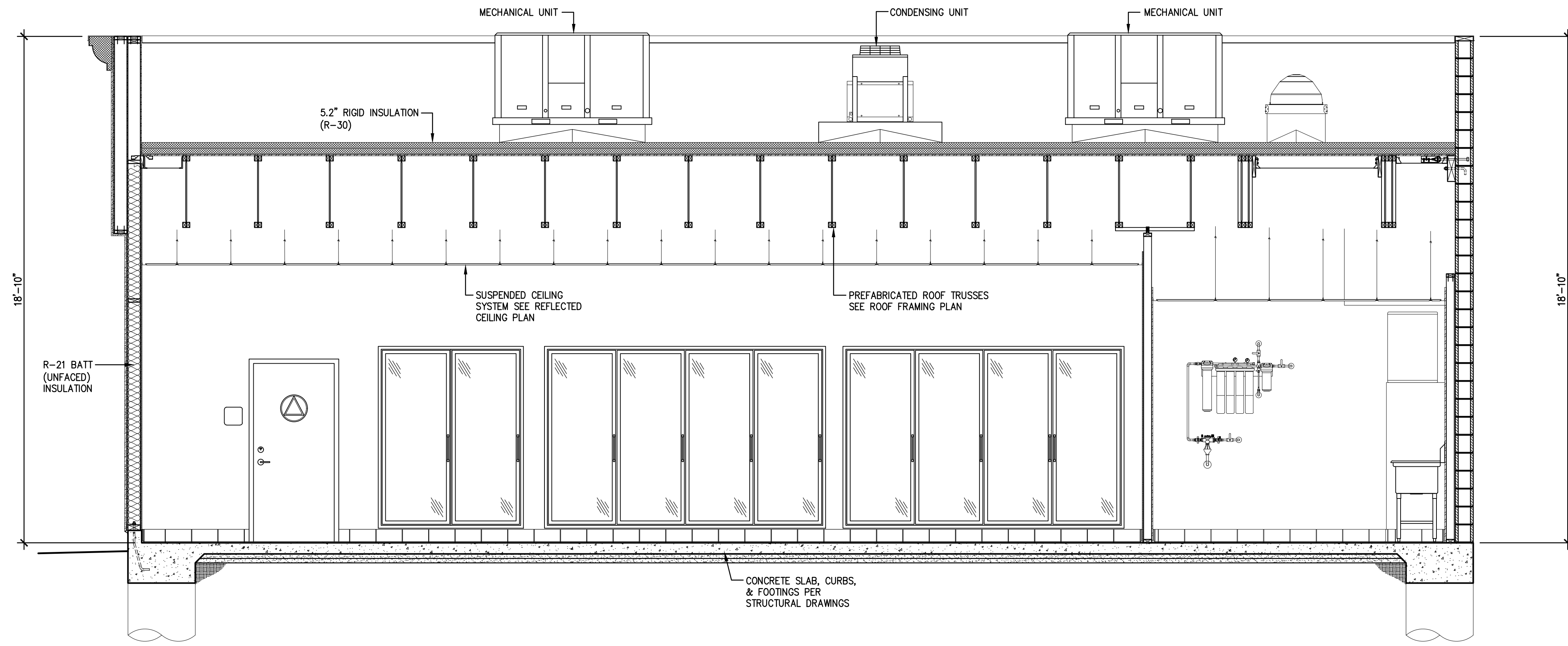


| NO. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |



1 BUILDING CROSS SECTION

SCALE: 3/8"=1'-0"



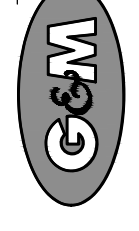
2 BUILDING CROSS SECTION

SCALE: 3/8"=1'-0"

DRAWN BY: A.J.
 DATE: 8/14
 SCALE: 3/8" = 1'-0"
 PLOT: 1:1
 REF: GMT15A.0
 FILE: 0115-008

NOTICE
 This drawing and all information therein is the property of Travis Companies, Inc. and is to be used only for the purpose for which it is expressly furnished. This drawing and any complete shall be returned to the owner upon demand.

PREPARED FOR:
G&M Oil Company, Inc.
 16888 A Lane
 Huntington Beach
 California, 92647-4831
 (714) 375-4700



PREPARED BY:
Travis Companies, Inc.
 4430 E. Miraloma Ave., Suite F, Anaheim, CA 92807
 Tel: (714) 893-8388 Fax: (714) 893-8333
 © Travis Companies, Inc. 2009 All Rights Reserved



| NO. | REVISION | DATE |
|-----|----------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

PROPOSED BUILDING CROSS SECTION
 G&M OIL COMPANY FACILITY No.: 151
 1400 MISSION STREET
 SOUTH PASADENA, CA 91030

DRAWING NUMBER

A4.0

8/21/2023