



**CITY OF SOUTH PASADENA
CITY COUNCIL REGULAR MEETING AGENDA**

**Council Chamber
1424 Mission Street, South Pasadena, CA 91030**

November 20, 2019, at 7:30 p.m.

*In order to address the City Council, please complete a Public Comment Card.
Time allotted per speaker is three minutes.
No agenda item may be taken after 11:00 p.m.*

CALL TO ORDER: Mayor Marina Khubesian, M.D.

ROLL CALL: Councilmembers Michael A. Cacciotti, Diana Mahmud, and Richard D. Schneider, M.D.; Mayor Pro Tem Robert S. Joe; and Mayor Marina Khubesian, M.D.

PLEDGE OF ALLEGIANCE: Councilmember Michael A. Cacciotti

**1. CLOSED SESSION
ANNOUNCEMENTS:** A Closed Session Agenda has been posted separately.

PRESENTATIONS

- 2. Certificate of Recognition – Alianne Crockett**
- 3. Certificate of Recognition – South Pasadena Beautiful**
- 4. Certificate of Recognition – Transition South Pasadena**

PUBLIC COMMENTS AND SUGGESTIONS

(Time limit is three minutes per person)

The City Council welcomes public input. Members of the public may address the City Council by completing a public comment card and giving it to the Chief City Clerk prior to the meeting. At this time, the public may address the City Council on items that are not on the agenda. Pursuant to state law, the City Council may not discuss or take action on issues not on the meeting agenda, except that members of the City Council or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

COMMUNICATIONS

5. Councilmembers Communications

Time allotted per Councilmember is three minutes. Additional time will be allotted at the end of the City Council Meeting agenda, if necessary.

6. City Manager Communications

7. Reordering of and Additions to the Agenda

OPPORTUNITY TO COMMENT ON CONSENT CALENDAR

In order to address the City Council, please complete a Public Comment card. Time allotted per speaker is three minutes. Items listed under the consent calendar are considered by the City Manager to be routine in nature and will be enacted by one motion unless an audience member or Councilmember requests otherwise, in which case the item will be removed for separate consideration. Any motion relating to an ordinance or a resolution shall also waive the reading of the ordinance or resolution and include its introduction or adoption as appropriate.

CONSENT CALENDAR

8. Minutes for the Special City Council Meeting on November 6, 2019

9. Minutes of the Regular City Council Meeting on November 6, 2019

10. Discretionary Fund Request from Mayor Khubesrian for \$1,000 to the South Pasadena Tournament of Roses Committee for Float Construction and Operations in Memory of Paul Abbey

Recommendation

It is recommended that the City Council approve a Discretionary Fund request by Mayor Marina Khubesrian for \$1,000 for the Tournament of Roses in memory of Paul Abbey.

11. Discretionary Fund Request from Mayor Pro Tem Joe for \$1,000 for South Pasadena Beautiful Post Office Project

Recommendation

It is recommended that the City Council approve a Discretionary Fund request by Mayor Pro Tem Robert Joe for \$1,000 for the purpose of assisting South Pasadena Beautiful, a non-profit group, with cost of the re-landscape of the Post Office.

12. Discretionary Fund Request from Councilmember Mahmud for \$1,500 for the Ray Bradbury Fused Glass Windows in the Library Conference Room

Recommendation

It is recommended that the City Council approve a Discretionary Fund request by Councilmember Diana Mahmud for \$1,500 for the Ray Bradbury Fused Glass Windows in Library Conference Room.

13. Approval of Co-Sponsorship of the South Pasadena Chamber of Commerce Annual Holiday Mixer

Recommendation

It is recommended that the City Council approve the request to co-sponsor the South Pasadena Chamber of Commerce Annual Holiday Mixer which will coincide with the Mayor’s State of the City Event on December 3, 2019 at the War Memorial Building.

14. Adoption of Resolution Adding a Non-Profit Rate for Providers of Specific Mental Health Services to the Master Schedule of Fees

Recommendation Action

It is recommended that the City Council adopt a resolution adding a new fee category for “non-profit mental health service providers” to the Master Schedule of Fees for Service (Fee Schedule).

15. Approval of Job Descriptions for Part Time Maintenance Assistant, Community Improvement Coordinator and Maintenance Worker I and II

Recommendation

It is recommended that the City Council:

1. Approve the job description for Part Time Maintenance Assistant; and
2. Approve the job description for Community Improvement Coordinator; and
3. Approve the job description for Maintenance Worker I and II.

16. Second Reading and Adoption of an Ordinance Establishing a Major Project Review

Recommendation

It is recommended that the City Council read by title only for the second reading, waiving further reading, and adopt an Ordinance establishing a Major Project Review.

17. Project No. 2246-MIL - Approval of a Mills Act Contract for Property Located at 209 Beacon Avenue, Landmark No. 52, Whitney R. Smith House and Studio (Assessor’s Parcel Number 5317-006-001)

Recommendation

It is recommended that the City Council approve and enter into a Mills Act contract with the property owners of 209 Beacon Avenue, Landmark No. 52, Whitney R. Smith House and Studio.

18. Project No. 2236-MIL - Approval of a Mills Act Contract for Property Located at 320 Grand Avenue, Landmark No. 54, the Koebig House (Assessor’s Parcel Number 5317-040-008)

Recommendation

It is recommended that the City Council approve and enter into a Mills Act contract with the property owners of 320 Grand Avenue, Landmark No. 54, the Koebig House.

19. Project No. 2245-MIL - Approval of a Mills Act Contract for Property Located at 915 Palm Avenue (Assessor’s Parcel Number 5313-008-025)

Recommendation

It is recommended that the City Council approve and enter into a Mills Act contract with the property owners of 915 Palm Avenue, which is a contributor to the designated El Centro-Indiana-Palm Historic District.

20. Project No. 2247-MIL - Approval of a Mills Act Contract for Property Located at 925 Palm Avenue (Assessor’s Parcel Number 5313-008-021)

Recommendation

It is recommended that the City Council approve and enter into a Mills Act contract with the property owners of 925 Palm Avenue, which is a contributor to the designated El Centro-Indiana-Palm Historic District.

ACTION/DISCUSSION

21. Adoption of the South Pasadena Green Action Plan

Recommendation

It is recommended that the City Council adopt the South Pasadena Green Action Plan.

22. Award of Construction Contract to EC Construction Company for Citywide Bike Parking at Various Locations for an Amount Not-to-Exceed \$204,780 in Grant Funds

Recommendation

It is recommended that the City Council:

1. Receive additional information on citywide bike parking project requested by the City Council; and
2. Accept a bid dated October 15, 2019 from E C Construction Company to install bike parking citywide at various locations (Project); and
3. Authorize the City Manager to enter into a contract with E C Construction Company for an amount not-to-exceed \$204,780 for the Project; and
4. Authorize a construction contingency of approximately ten percent in the amount of \$20,470 for a total amount of \$225,250.

REPORTS

23. Status of Regional Transportation Projects and Funding (Presentation Only)

ADJOURNMENT

**FUTURE CITY COUNCIL MEETINGS
(OPEN SESSION)**

December 4, 2019	Regular City Council Meeting	Council Chamber	7:30 p.m.
December 18, 2019	Regular City Council Meeting	Council Chamber	7:30 p.m.
January 1, 2020	Regular City Council Meeting	Cancelled	7:30 p.m.
January 15, 2020	Regular City Council Meeting	Council Chamber	7:30 p.m.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Prior to meetings, City Council Meeting agenda packets are available at the following locations:

- City Clerk’s Division, City Hall, 1414 Mission Street, South Pasadena, CA 91030;
- City website: www.southpasadenaca.gov/agendas

Agenda related documents provided to the City Council are available for public inspection in the City Clerk’s Division, and on the City’s website at www.southpasadenaca.gov/agendas. During the meeting, these documents will be available for inspection as part of the “Reference Binder” kept in the rear of the City Council Chamber.

Regular meetings are broadcast live on Spectrum Channel 19 and AT&T Channel 99. Meetings are also streamed live via the internet at www.southpasadenaca.gov/agendas.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by calling the City Clerk’s Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. Meeting facilities are accessible to persons with disabilities. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Hearing assistive devices are available in the Council Chamber. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

11/14/19

Date

/s/

Maria E. Ayala

Chief City Clerk



Wednesday, November 6, 2019
Minutes of the Special Meeting of the City Council

CALL TO ORDER

A Special Meeting of the South Pasadena City Council was called to order by Mayor Khubesrian on Wednesday, November 6, 2019, at 7:37 p.m., in the Council Chamber, located at 1424 Mission Street, South Pasadena, California.

ROLL CALL

Present: Councilmembers Cacciotti, Mahmud, and Schneider; Mayor Pro Tem Joe; and Mayor Khubesrian.

Absent: None

City Staff Present: City Manager DeWolfe; City Attorney Highsmith; City Clerk Zneimer; and Chief City Clerk Ayala were present at Roll Call. Other staff members presented reports or responded to questions as indicated in the minutes.

PLEDGE OF ALLEGIANCE

Mayor Pro Tem Joe led the Pledge of Allegiance.

PUBLIC COMMENTS

Mayor Khubesrian announced that Public Comment would be taken after the staff report was presented on Item No. 1. She further asked if there were any members of the audience that would prefer to provide their public comment before the staff report. No response from the audience.

ACTION/DISCUSSION

1. Adoption of Urgency Ordinance Requiring “Just Cause” for Termination of Tenancies

City Manager DeWolfe provided the staff report.

Significant dialogue and discussion was had on this item. City Council had questions regarding: retroactivity of urgency ordinance; defining ‘substantial remodel’; original drafter of proposed urgency ordinance; lawfulness of adopting an urgency ordinance; rationale behind proposing the urgency ordinance under the category of ‘safety to the public’; and what other cities were also considering, or have passed, similar action regarding the subject matter.

City Attorney Highsmith provided responses and explanations accordingly.

Additionally, recognition was given to Mr. John Srebalus for having presented City staff and City Attorney with a draft of the ordinance being proposed tonight.

Public Comment:

Prior to taking public comment, Mayor Khubesian announced that given the number of public comment cards that have been submitted on Agenda Item No. 1, the audience is asked to select one speaker who will be allotted up to 7 minutes to speak on the item – in favor of passing the urgency ordinance - with every speaker thereafter allowed to speak for 2 minutes. The same would be applied for those speaking in opposition of passing the urgency ordinance.

Ms. Anne Bagasao was selected as the primary speaker on behalf of the group in support of passing the urgency ordinance.

The following public comment speakers spoke in support of passing the urgency ordinance. Speakers expressed the following concerns during their public comments: receiving eviction notices; receiving notices of significant rent increases; the impact these notices have had on their families; being long-time residents of South Pasadena; concern over other residents receiving said notices, having to be evicted, and the impact; etc.

- Anne Bagasao (South Pasadena Resident) – selected as primary speaker
- Micke Kramer (South Pasadena Resident)
- Jim Tavares (South Pasadena Resident)
- Christine Bullard (South Pasadena Resident): In addition to the above, Ms. Bullard shared she received an eviction notice and the hardship this will have on her family.
- Austen Blokker (South Pasadena Resident): In addition to the above, Mr. Blokker shared his experience with landlord harassment, having received an eviction notice and the hardship this will have on him.
- Cambria Tortorelli (South Pasadena Resident): In addition to the above, Ms. Tortorelli spoke as a landlord and in full support of the urgency ordinance being passed.
- Ryan Bell (Pasadena Resident, Member of Pasadena Tenants Union): Shared that Pasadena has also recently passed similar ordinance, and spoke in support of the South Pasadena residents experiencing these evictions.
- Teresa Eilers (South Pasadena Resident): In addition to the above, shared information about assisting with affordable housing for those that will need to seek new housing.
- Karen Kearney (South Pasadena Resident): In addition to the above, Ms. Kearney shared she received an eviction notice and the hardship this has had on her.

- Gretchen Robinette (South Pasadena Resident)
- Robert Flores (South Pasadena Resident, Member of United CalTrans Tenants)
- Sean McMorris (San Gabriel Resident): Shared concern over landlord action due to the AB 1482 legislation and the negative impact on tenants across the state.
- Evelyn Allen (South Pasadena Resident): In addition to the above, Ms. Allen shared she received an eviction notice and the hardship this has had on her family.
- Yuki Simmons (South Pasadena Resident): In addition to the above, Ms. Simmons shared she received an eviction notice and the hardship this has had on her family.
- Kanon Simmons (South Pasadena Resident): In addition to the above, Mr. Simmons shared his family received an eviction notice and the hardship this has had on his family.
- Judith Harris (South Pasadena Resident)
- John Srebalus (South Pasadena Resident): Recognized Mr. Johnathan Eisenberg for assisting with the draft ordinance, and the City of Pasadena for offering the original draft. Thanked the community and named various others for their direct support and assistance with the ordinance.
- Jacinta Lincke (South Pasadena Resident)
- Sylvia Gomez (South Pasadena Resident): In addition to the above, Ms. Gomez shared she received an eviction notice and the hardship this has had on her family.
- Rachel Hamilton (South Pasadena Resident): In addition to the above, Ms. Hamilton shared she received an eviction notice as well as a rent increase notice and the hardship these have had on her family.
- Peter Mendenhall (South Pasadena Resident)
- Larry Estrada (South Pasadena Resident): In addition to the above, Mr. Estrada shared he received an eviction notice and the hardship this has had on him and his neighbors.
- Raquel Chatfield-Taylor (South Pasadena Resident): Read a statement from fellow South Pasadena Resident, Brendan Young expressing support for passing of the urgency ordinance.
- Alex Schroeder (South Pasadena Resident): Spoke in support of tenants who have been mistreated, also cautioned the City Council about the unintended consequences to landlords if the ordinance is passed.
- Dashiell Roll (South Pasadena Resident)

After the completion of Public Comment, Mayor Khubesrian asked for those in the audience in support of passing the ordinance to please stand. A significant majority of those in attendance stood in support. Mayor Khubesrian asked for those in the audience opposed to the ordinance being passed to please stand. Two members of the audience stood in opposition.

City Council continued discussion and dialogue over the urgency ordinance including: citing some of the cities that had recently taken action on this subject matter; resources from the Tenants Housing Rights Center; thanked the community for expressing their support for the ordinance, etc.

MOTION BY COUNCILMEMBER CACCIOTTI WITH ADDITIONAL DIRECTION, SECOND BY COUNCILMEMBER SCHNEIDER, CARRIED 5-0 TO approve Urgency Ordinance No. 2334 Temporarily Establishing and Requiring Just-Cause for Termination of Tenancies, to be immediately effective and remain in place until January 1, 2020, when the state-wide Tenant Protection Act (AB 1482) is applicable, with additional directive for staff to send letters to State representatives, County representatives, and prosecuting agencies to assist South Pasadena in this effort to prosecute unscrupulous landlords who take advantage of South Pasadena.

ADJOURNMENT

There being no further business, at 9:11 p.m. Mayor Khubesrian adjourned the meeting.

Evelyn G. Zneimer
City Clerk

Marina Khubesrian, M.D.
Mayor



Wednesday, November 6, 2019
Minutes of the Regular Meeting of the City Council

CALL TO ORDER

A Regular Meeting of the South Pasadena City Council was called to order by Mayor Khubesrian on Wednesday, November 6, 2019, at 9:28 p.m., in the Council Chamber, located at 1424 Mission Street, South Pasadena, California.

ROLL CALL

Present: Councilmembers Cacciotti, Mahmud, and Schneider; Mayor Pro Tem Joe; and Mayor Khubesrian.

Absent: None

City Staff Present: City Manager DeWolfe; City Attorney Highsmith; City Clerk Zneimer; and Chief City Clerk Ayala were present at Roll Call. Other staff members presented reports or responded to questions as indicated in the minutes.

PLEDGE OF ALLEGIANCE

Given that a Special City Council Meeting immediately preceded this Regular Meeting, the Pledge of Allegiance was not repeated, as it was conducted at the beginning of the Special Meeting.

At this time, Mayor Khubesrian announced that Agenda Item No. 22 would be addressed first.

22. Approve Expansion of Outreach Efforts in Response to Pending Tenant Evictions and Rent Increases

Margaret Lin, Manager of Long Range Planning and Economic Development, presented the staff report.

Ms. Lin introduced Chancela Al-Mansour, Executive Director, of the Housing Rights Center. Ms. Al-Mansour explained the resources offered to tenants through the Housing Rights Center, briefly spoke on tenant rights, and also offered the audience to partake of the agency's literature that was available.

Public Comment:

Emilia Lomeli Fannon (South Pasadena Resident): expressed the difficulty she has experienced in getting in contact with City personnel.

MOTION BY COUNCILMEMBER SCHNEIDER, SECOND BY MAYOR PRO TEM JOE, CARRIED 5-0 TO approve expansion of outreach efforts in response to pending tenant evictions and rent increases.

At this time the meeting resumed its normal order.

1. CLOSED SESSION ANNOUNCEMENTS

A. Anticipated Litigation

CONFERENCE WITH LEGAL COUNSEL—Anticipated Litigation, Pursuant to Government Code Section 54956.9(d)(2):

Number of Potential Cases: 2

City Attorney Highsmith reported the following:

Item A – City Council received briefings on two separate matters of potential litigation. Direction was provided by City Council for City Attorney, with no action taken.

PRESENTATIONS

2. Introduction of Director of Planning and Community Development, Joanna Hankamer

City Manager DeWolfe introduced Ms. Hankamer and provided a brief professional background of Ms. Hankamer. Ms. Hankamer thanked the City Council for the opportunity.

PUBLIC COMMENTS

Sorrel Barnard (South Pasadena Resident): Expressed concerns over traffic safety around El Centro/Orange Grove intersection and possible danger to pedestrians. Asks that City Council commission a traffic safety survey.

Bill Shuttic (Instructor at South Pasadena Senior Center): Expressed concern over not having received payment for work completed at South Pasadena Senior Center.

Stephen Rossi (South Pasadena Resident): Expressed community's concern over proper oversight of City government; the recent inspection and warrant being served at the residence of Alisson Smith; City's response to questions regarding said inspection and warrant served at the Smith Residence; City's ability and efforts towards remediation of the case with Ms. Smith.

Sheila Rossi (South Pasadena Resident): Expressed concern over the warrant served at the residence of Alisson Smith and the handling of the inspections of alleged code enforcement violations. Ms. Rossi further asked the Council: If they could promise that the complaint on the Smith residence was not filed by a City Official? If Council was comfortable with calls being made to report unspecified code violation and an inspection ensuing thereafter on their own homes? If Council was willing to submit to the same level of inspection by independent City contractors? Ms. Rossi also requests the City look into why the City's Sewer System Management Program is not available online, and the lack of staff training in emergency response to sewer overflows.

Mark Gallatin (South Pasadena Preservation Foundation): Announced invitation to upcoming fundraiser event, Author's Night with special guest Chip Jacobs.

Steve Zikman (South Pasadena Resident): Supports the comments of Mr. Stephen Rossi and Ms. Sheila Rossi, and seeks information and transparency to the handling of the code violations at the Alisson Smith residence.

Bianca Richards (South Pasadena Resident): Ms. Richards read a statement from Ms. Sheila Tully regarding the handling and management of the sewer spill that took place at the Alisson Smith residence.

Wendy Snow (South Pasadena Resident): Expressed concerns over pedestrian safety on the Fair Oaks/Mission Ave. intersection.

Anne Bagasao (South Pasadena Resident): Shared the recent experience of another resident having their water and heat shut-off, and how this presented a possible code violation, and perhaps a warrant should be sought for that violation. Also shared her recent reporting of possible code violations at a neighboring property and the response from Code Enforcement. Urges City Council to address other code enforcement violation issues in the City.

Councilmember Cacciotti asked that staff look into Ms. Bagasao's item.

COMMUNICATIONS

3. Councilmembers Communications

Councilmember Schneider announced that the November 20, 2019 Meeting will be taking place (and will not be cancelled).

Councilmember Cacciotti reported on the following, with displayed corresponding pictures: Traffic Safety being conducted by law enforcement officer on Brent Ave.; attendance at Holy Family Fair; Cub Scout Tour with Fire and Police Departments; his AQMD presentation at Rosemead City Council Meeting; attendance at Open Street Event in South El Monte; Hydrogen Fuel Cell Station; attendance at Promotion Ceremony for Fire Personnel; and attendance at the recent *Vecinos* event.

Councilmember Mahmud thanked the voters who participated in the November 5th Special Election, in particular those who voted Yes on Measure A. Councilmember Mahmud further acknowledged Yuki Cutcheon and Dean Serwin, Co-Chairs for the Measure A committee.

At this moment, Mayor Pro Tem Joe added that he, too, would also like to officially thank the members of the committee on behalf of the City. A congratulatory slide was displayed thanking the South Pasadena Committee for Fiscal Stability 2019 – Yes on Measure A, and the Committee’s members: Sally Kilby (additional recognition as Honorary Co-Chair); Dean Serwin; Yuki Cutcheon; Saida Staudenmaier; Zahir Robb; Bianca Richards; Ellen Wood; Margaret Lee; Betty Emirhanian; Jeff Rosenberg; Lisa Rosenberg; Ed Donnelly; and Kim Hughes.

Councilmember Mahmud requested a second to agendaize an item at a future meeting for \$1,500 from her discretionary funds for the Ray Bradbury fused glass window at the Library. Councilmember Schneider provided the second. Councilmember Mahmud further asks that fellow Councilmembers consider doing the same to help fund that effort.

Lastly, Councilmember Mahmud announced she would be attending the California Community Choice Aggregation Annual Conference in Redondo Beach and further elaborated on the conference’s focus.

Mayor Pro Tem Joe reported on having participated in the Library Preschool Story Time on October 7th along with members of the Police Department (picture displayed).

Mayor Khubesrian reported on the following: encouraging all to monitor their health given the unhealthy air quality due to recent fires; further thanked the Measure A committee; acknowledged the installment of the new art exhibit by 11:11 A Collaborative Collection; announced the upcoming meeting on the City’s Climate Action Plan; invited all to the upcoming Coffee with City Manager and Mayor scheduled for November 7th; and announced that tonight’s Agenda Item No. 21 would be moved to the November 20th Council Meeting.

4. City Manager Communications

City Manager DeWolfe reported on the upcoming General Action Plan meetings (flyer displayed).

5. Reordering of and Additions to the Agenda

None.

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CONSENT CALENDAR

Chief City Clerk Ayala asked that Council consider and include Additional Documents in their motions for agenda items Nos. 6, 7, 9, 13, and 14. Copies of the Additional Documents are provided for the public in the back of the Council Chambers and were also uploaded online prior to the City Council Meeting.

Councilmember Cacciotti pulled Agenda Item No. 17 for separate discussion.

Councilmember Mahmud pulled Agenda Item No. 18 for separate discussion.

MOTION BY COUNCILMEMBER CACCIOTTI, SECOND BY COUNCILMEMBER MAHMUD, CARRIED 5-0, to approve Consent Calendar Items Nos. 6 through 18 to include revisions in accordance with Additional Documents provided (see Agenda Item Nos. 6, 7, 9, 13, and 14 for detail).

6. Minutes of the Regular City Council Meeting on August 21, 2019

Additional Documents correction on Minutes Page 3 of 8, second paragraph under “6. Councilmember Communications” to add correct title of presentation, “...for their recent presentation on Living with Wildlife, in collaboration...”

7. Minutes of the Special City Council Meeting on September 11, 2019

Additional Documents correction on Minutes Page 3 of 5, first name after “Public Comments”, Dr. Tom Williams, correction on Dr. Williams’ affiliation to be “Representative for Citizens Coalition for a Safe Community”.

8. Minutes of the Regular City Council Meeting on September 18, 2019

9. Minutes of the Regular City Council Meeting on October 2, 2019

Additional Documents correction on Minutes Page 6 of 9, Action description under item 2 of the motion (above “Consent Calendar”) to add correction to the motion no. 2 to be “2. Deny the Appeal...”

10. Prepaid Warrants, General City Warrants, and Payroll

Approved the City of South Pasadena Prepaid Warrants Nos. 308603 - 308646 in the amount \$459,496.3 (less \$1,756.04 in Voids); General City Warrants Nos. 308764 - 308947 in the amount of \$1,646,535.16; and Wire Transfers in the amount of \$4,026,490.38.

11. Monthly Investment Reports for August 2019

Receive and file the monthly investment reports for August 2019.

12. Approve Proposed Ray Bradbury Fused Glass Window Project

Approved the proposed Ray Bradbury Fused Glass Window (Project) for the Ray Bradbury Conference Room in the South Pasadena Library.

13. Authorize the First Amendment to the Professional Services Agreement with CirclePoint to Facilitate Additional Housing Outreach in the Amount of \$6,363 for a Total-Not-To-Exceed Amount of \$35,863

Authorized the City Manager to execute the first amendment to the Professional Services Agreement with CirclePoint to facilitate additional housing outreach in the amount of \$3,800 ~~\$6,363~~ for a total not-to-exceed amount of \$33,300 ~~\$35,863~~.

Additional Documents reflect the reduced scope of work and budget from CirclePoint for additional housing outreach in the amount of \$3,800 for a total not to exceed \$33,300.

14. Authorize the First Amendment to the Professional Services Agreement with Psomas to Complete the Environmental Impact Report by Adding a Subcontract with Iteris to Analyze and Adopt a Vehicle Miles Traveled Threshold in the Amount of \$41,942 for a Total Not-To-Exceed Amount of \$140,422

Authorized the City Manager to execute the first amendment to the Professional Services Agreement with Psomas to add a subcontract with Iteris to analyze and develop a Vehicle Miles Traveled threshold, per State law, to be incorporated into the Program Environmental Impact Report for the General Plan Update and Downtown Specific Plan in the amount of \$41,942 for a total not-to-exceed amount of \$140,422.

Additional Documents revise the recitals on the contract amendment to correctly reflect that the original contract was approved by the City Council, rather than the City Manager.

15. Receive and File the Fiscal Year 2019-20 Strategic Plan First Quarter Update

Receive and file the first quarter update of the Fiscal Year (FY) 2019-20 Strategic Plan Objectives.

16. Receive and File the First Quarter Fiscal Year 2019-20 Capital Improvement Plan Project Updates

Receive and file the first quarter Fiscal Year 2019-20 Capital Improvement Plan (CIP) Project updates.

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ITEMS PULLED FOR SEPARATE DISCUSSION:

At this time Mayor Khubesian announced that Agenda Item No. 17 would be addressed next.

17. Award of Construction Contract to EC Construction Company for Citywide Bike Parking at Various Locations for an Amount Not-to-Exceed \$204,780 in Grant Funds

Public Comment:

Wes Reutermann (Representing Active San Gabriel Valley): Expressed support of the Bike Parking Grant; the impact to the preservation of the environment that parking for bikes has; and further elaborated about the importance of the type of bike racks and locations of the bike parking throughout the City.

Councilmember Cacciotti asked Mr. Reutermann to elaborate on “bike corals”. Mr. Reutermann responded accordingly.

Donson Liu (South Pasadena Resident): Expressed support of the bike parking grant program.

Samuel Zneimer (South Pasadena Resident): Mr. Zneimer was the original author of the Grant for the City. Mr. Zneimer explained the importance of a “U” rack design for bike parking, the importance of bike corals, and locations for bike parking throughout the City.

The City Council held considerable dialogue and discussion on the item with questions regarding: “U” rack procurement; branding of bike racks; lockers at stations; bids for specific bike racks; deadlines of the Bike Grant and funding obligations.

City Manager DeWolfe, Karen Aceves (Principal Management Analyst), and Shahid Abbas (Director of Public Works) responded to questions accordingly and emphasized the risk of losing grant funding due to possible delays.

Councilmember Mahmud proposed for the item to be tabled and brought back for Council consideration with information regarding the non-branded “U” rack and their availability.

Councilmember Cacciotti further proposed that street level pictures be provided of the bike parking locations (as opposed to aerial pictures), and requested a copy of the grant extension in writing.

Council reached a consensus to have the item presented at the November 20, 2019 City Council meeting.

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18. Acceptance and Approval of the Measure H Homelessness Grant Award in the amount of \$292,200 for a Multijurisdictional Implementation of Homeless Services

Council Mahmud expressed appreciation for Holy Family and Sergeant Robledo in their efforts to address homelessness.

No public comment provided.

MOTION BY COUNCILMEMBER MAHMUD, SECOND BY COUNCILMEMBER CACCIOTTI, CARRIED 5-0, to:

1. Jointly accept the Los Angeles County Homeless Services grant in the amount of \$292,000. The City of Arcadia is the lead signatory and fiduciary agent for the grant; and
2. Approve and authorize the City Manager to execute a contract with Union Station Homeless Services for case management, motel vouchers, rapid rehousing and public outreach services; and
3. Approve and authorize the City Manager to execute a Memorandum of Understanding (MOU) with the City of Arcadia; and
4. Approve and authorize the City Manager to execute a Memorandum of Understanding (MOU) with Holy Family Church to co-locate a case manager.

PUBLIC HEARING

19. Public Hearing for First Reading and Introduction of an Ordinance Establishing a Major Project Review

Ms. Lin provided the staff report.

Mayor Khubesrian opened the Public Hearing for Public Comment. There being no public comment, Mayor Khubesrian closed the Public Comment.

Councilmember Mahmud added that this is a common action used by other cities that help us to make efficient use of scarce resources.

MOTION BY COUNCILMEMBER MAHMUD, SECOND BY COUNCILMEMBER CACCIOTTI, CARRIED 5-0, to:

1. Conduct a public hearing; and
2. Receive the first reading and introduction of an Ordinance Establishing a Major Project Review

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ACTION/DISCUSSION

20. Authorize Vacant Property Taskforce to Bring Forward an Amendment to the South Pasadena Municipal Code Regarding Vacant Buildings in Residential Areas.

Paul Riddle, Fire Chief, provided the staff report, and explained the four recommended revisions to the City municipal code.

Council held considerable discussion on this item including: what neighboring cities are doing with vacant properties; CalTrans vacant properties; etc.

Chief Riddle and Ms. Lin responded accordingly.

Council reached consensus to direct staff to draft and bring back to the City Council for consideration, ordinance amendments in accordance with Chief Riddles recommendations.

21. Adoption of Proposed City Green Action Plan

Recommendation

~~It is recommended that the City Council adopt the proposed City Green Action Plan as reviewed and unanimously recommended by the Natural Resources and Environmental Commission at their September 24, 2019 meeting.~~

Agenda Item No. 21 was Tabled and to be presented at the November 20, 2019 City Council Meeting.

ADJOURNMENT

Mayor Khubesrian asked that Staff develop a “FAQ” to address various concerns about certain City processes.

There being no further business, at 11:30 p.m. Mayor Khubesrian adjourned the meeting.

Evelyn G. Zneimer
City Clerk

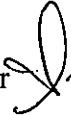
Marina Khubesrian, M.D.
Mayor




City Council Agenda Report

ITEM NO. 10

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager 

PREPARED BY: Lucy Demirjian, Acting Finance Director 

SUBJECT: **Discretionary Fund Request from Mayor Khubesrian for \$1,000 to the South Pasadena Tournament of Roses Committee for Float Construction and Operations in Memory of Paul Abbey**

Recommendation

It is recommended that the City Council approve a Discretionary Fund request by Mayor Khubesrian for \$1,000 for the Tournament of Roses in memory of Paul Abbey.

Commission Review and Recommendation

This matter was not reviewed by a Commission.

Discussion/Analysis

The discretionary funding in the amount of \$1,000 will help fund the Tournament of Roses Committee float construction and operations. The funds will help cover the cost of flowers, building materials and supplies.

Background

In September 2004, the City Council approved creation of discretionary spending budgets which allow each Councilmember the opportunity to fund projects or purchases that might not otherwise be funded in the approved budget. The City Council adopted the Fiscal Year (FY) 2018-19 Budget with \$20,000 in the Discretionary Fund, \$4,000 designated for each Councilmember. Discretionary funds must be used for a public purpose benefiting the City of South Pasadena (City).

This expenditure meets the criteria as set forth in the guidelines that established discretionary spending: the expenditure has a public purpose; the expenditure is free of any conflict of interest that may arise from the use of City funds; and the expenditure is not a gift to any individual, corporation, or municipality, but is only used to benefit the general public of the City.

On August 17, 2011, the City Council approved Resolution No. 7174, which established guidelines for discretionary budget accounts. The Resolution states that all funds not expended during the fiscal year shall be carried over to subsequent fiscal years, up to a maximum carryover amount of \$10,000 per Councilmember account. Said allocated funds need not be encumbered

by a purchase order in order to be carried over to the following fiscal year. The following table displays the current Discretionary Fund balances and excludes the request being considered in the staff report.

City Councilmembers Discretionary Funds					
Fiscal Year 2019/20					
	<u>Cacciotti</u>	<u>Joe</u>	<u>Khubesian</u>	<u>Mahmud</u>	<u>Schneider</u>
Prior Year Balance Carryover Maximum>	\$10,000	\$10,000	\$9,750	\$10,000	10,000
<i>Total with Current Year Allowance(Maximum Allowed \$10,000)</i>	<i>10,000</i>	<i>10,000</i>	<i>10,000</i>	<i>10,000</i>	<i>10,000</i>
Date Pledged	Description				
8/21/2019			5,000		
9/18/2019		300			
11/20/2019			1,000		
11/20/2019		1,000			
11/20/2019				1,500	
	<i>YTD Appropriations</i>	<i>0</i>	<i>1,300</i>	<i>6,000</i>	<i>1,500</i>
	<i>0</i>	<i>1,300</i>	<i>6,000</i>	<i>1,500</i>	<i>0</i>
Available at 9/18/19	\$10,000	\$8,700	\$4,000	\$8,500	\$10,000

Legal Review

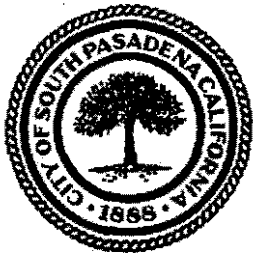
The City Attorney has not reviewed this item.

Fiscal Impact

Funds are available in the FY 2019-20 Budget, account number 101-1010-1011-8021.

Public Notification of Agenda Item

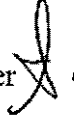
The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City’s website and/or notice in the *South Pasadena Review* and/or the *Pasadena Star-News*.




City Council Agenda Report

ITEM NO. 11

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager 

PREPARED BY: Lucy Demirjian, Acting Finance Director 

SUBJECT: **Discretionary Fund Request from Mayor Pro Tem Joe for \$1,000 for South Pasadena Beautiful Post Office Project**

Recommendation

It is recommended that the City Council approve a Discretionary Fund request by Mayor Pro Tem Robert Joe for \$1,000 for the purpose of assisting South Pasadena Beautiful, a non-profit group, with cost of the re-landscape of the Post Office.

Commission Review and Recommendation

This matter was not reviewed by a Commission.

Discussion/Analysis

The Discretionary Funding in the amount of \$1,000 will help fund the cost of South Pasadena Beautiful for their re-landscape of the Post Office in drought tolerant plants, and removal of turf. It is estimated to cost over \$30,000. Funding for the Post Office project is also being provided through fundraising and rebates from Metropolitan Water District.

Councilmember Diana Mahmud gave \$2,000 from her discretionary fund in June for the project.

Background

In September 2004, the City Council approved creation of discretionary spending budgets which allow each Councilmember the opportunity to fund projects or purchases that might not otherwise be funded in the approved budget. The City Council adopted the Fiscal Year (FY) 2018-19 Budget with \$20,000 in the Discretionary Fund, \$4,000 designated for each Councilmember. Discretionary funds must be used for a public purpose benefiting the City of South Pasadena (City).

This expenditure meets the criteria as set forth in the guidelines that established discretionary spending: the expenditure has a public purpose; the expenditure is free of any conflict of interest that may arise from the use of City funds; and the expenditure is not a gift to any individual, corporation, or municipality, but is only used to benefit the general public of the City.

On August 17, 2011, the City Council approved Resolution No. 7174, which established guidelines for discretionary budget accounts. The Resolution states that all funds not expended

Discretionary Fund Request from Mayor Pro Tem Robert Joe for \$1,000 for South Pasadena Beautiful

November 20, 2019

Page 2 of 2

during the fiscal year shall be carried over to subsequent fiscal years, up to a maximum carryover amount of \$10,000 per Councilmember account. Said allocated funds need not be encumbered by a purchase order in order to be carried over to the following fiscal year. The following table displays the current Discretionary Fund balances and excludes the request being considered in the staff report.

City Councilmembers Discretionary Funds					
Fiscal Year 2019/20					
	<u>Cacciotti</u>	<u>Joe</u>	<u>Khubesrian</u>	<u>Mahmud</u>	<u>Schneider</u>
Prior Year Balance Carryover Maximum>	\$10,000	\$10,000	\$9,750	\$10,000	10,000
<i>Total with Current Year Allowance(Maximum Allowed \$10,000)</i>	<i>10,000</i>	<i>10,000</i>	<i>10,000</i>	<i>10,000</i>	<i>10,000</i>
Date					
Pledged	Description				
8/21/2019	LA Mayor's Conference		5,000		
9/18/2019	Senior Center Luncheon		300		
11/20/2019	TOR in memory of Paul Abbey		1,000		
11/20/2019	SoPas Beautiful Post Office Project		1,000		
11/20/2019	Library Ray Bradbury Room fused glass			1,500	
	<i>YTD Appropriations</i>				
	<i>0</i>	<i>1,300</i>	<i>6,000</i>	<i>1,500</i>	<i>0</i>
Available at 9/18/19	\$10,000	\$8,700	\$4,000	\$8,500	\$10,000

Legal Review

The City Attorney has not reviewed this item.

Fiscal Impact

Funds are available in the FY 2019-20 Budget.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website and/or notice in the *South Pasadena Review* and/or the *Pasadena Star-News*.



City Council Agenda Report

ITEM NO. 12

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager *[Signature]*

PREPARED BY: Lucy Demirjian, Acting Finance Director *[Signature]*

SUBJECT: **Discretionary Fund Request from Councilmember Mahmud for \$1,500 for the Ray Bradbury Fused Glass Windows in the Library Conference Room**

Recommendation

It is recommended that the City Council approve a Discretionary Fund request by Councilmember Mahmud for \$1,500 for the Ray Bradbury Fused Glass Windows in Library Conference Room.

Commission Review and Recommendation

This matter was not reviewed by a Commission.

Discussion/Analysis

The discretionary funding in the amount of \$1,500 will help fund the proposed project, titled "Live Forever" by Tim Carey, which includes the installation of three fused glass window panes that would be placed within the existing window sills in the Ray Bradbury Conference Room in the South Pasadena Public Library (Library). The windows will feature a portrait of Mr. Bradbury and other iconic imagery related to his life and work. On November 6, 2019 the city council approved the project. The proposed project will be completed gratis by Mr. Carey and will be fabricated by The Judson Studios. The total cost of fabrication and installation will be approximately \$24,000 which will be funded through private funding. The Library Board of Trustees has designated \$6,000 and will be taking the lead on identifying additional private donations. Any cost overruns will be covered by additional private donations or the Library Board of Trustees.

Background

In September 2004, the City Council approved creation of discretionary spending budgets which allow each Councilmember the opportunity to fund projects or purchases that might not otherwise be funded in the approved budget. The City Council adopted the Fiscal Year (FY) 2018-19 Budget with \$20,000 in the Discretionary Fund, \$4,000 designated for each Councilmember. Discretionary funds must be used for a public purpose benefiting the City of South Pasadena (City).

Discretionary Fund Request from Councilmember Mahmud for \$1,500 for the Ray Bradbury Glass Fused Window
 November 20, 2019
 Page 2 of 3

This expenditure meets the criteria as set forth in the guidelines that established discretionary spending: the expenditure has a public purpose; the expenditure is free of any conflict of interest that may arise from the use of City funds; and the expenditure is not a gift to any individual, corporation, or municipality, but is only used to benefit the general public of the City.

On August 17, 2011, the City Council approved Resolution No. 7174, which established guidelines for discretionary budget accounts. The Resolution states that all funds not expended during the fiscal year shall be carried over to subsequent fiscal years, up to a maximum carryover amount of \$10,000 per Councilmember account. Said allocated funds need not be encumbered

by a purchase order in order to be carried over to the following fiscal year. The following table displays the current Discretionary Fund balances and excludes the request being considered in the staff report.

City Councilmembers Discretionary Funds Fiscal Year 2019/20					
	<u>Cacciotti</u>	<u>Joe</u>	<u>Khubesrian</u>	<u>Mahmud</u>	<u>Schneider</u>
Prior Year Balance Carryover Maximum>	\$10,000	\$10,000	\$9,750	\$10,000	10,000
Total with Current Year Allowance(Maximum Allowed \$10,000)	10,000	10,000	10,000	10,000	10,000
Date Pledged	Description				
8/21/2019	LA Mayor's Conference		5,000		
9/18/2019	Senior Center Luncheon		300		
11/20/2019	TOR in memory of Paul Abbey		1,000		
11/20/2019	SoPas Beautiful Post Office Project		1,000		
11/20/2019	Library Ray Bradbury Room fused glass			1,500	
	YTD Appropriations		0	1,300	6,000
				1,500	0
Available at 9/18/19	\$10,000	\$8,700	\$4,000	\$8,500	\$10,000

Legal Review

The City Attorney has not reviewed this item.

Fiscal Impact

Funds are available in the FY 2019-20 Budget.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website and/or notice in the *South Pasadena Review* and/or the *Pasadena Star-News*.

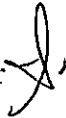
Discretionary Fund Request from Councilmember Mahmud for \$1,500 for the Ray Bradbury
Glass Fused Window
November 20, 2019
Page 3 of 3




City Council Agenda Report

ITEM NO. 13

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager 

PREPARED BY: Sheila Pautsch, Community Services Director 

SUBJECT: **Approval of Co-Sponsorship of the South Pasadena Chamber of Commerce Annual Holiday Mixer**

Recommendation Action

It is recommended that the City Council approve the request to co-sponsor the South Pasadena Chamber of Commerce Annual Holiday Mixer which will coincide with the Mayor's State of the City Event on December 3, 2019 at the War Memorial Building.

Commission Review and Recommendation

This matter was not reviewed by a Commission.

Discussion/Analysis

The Chamber Holiday Mixer will be held at the War Memorial Building on December 3, 2019 from 5:30 p.m. to 7:00 p.m. and will include food, drinks, raffle prizes, and entertainment.

Tickets for are available for purchase through the Chamber's website.

The State of the City address, presented by Mayor Marina Khubesrian, will immediately follow the Chamber Mixer and is open to the public at no cost (7:00 p.m. to 8:30 p.m.)

The Chamber will follow the City Co-sponsorship Policy (Policy) by providing the refundable deposit and insurance. The fees for the War Memorial Building rental will be waived. This event will be added to the 2019 List of Co-sponsored Nonprofit Organization and City Committee Events for 2019.

Next Steps

1. The Chamber will complete a facility reservation form and submit to the Community Services Recreation Division along with proper insurance and deposit.

Background

The Policy was first approved by City Council on March 4, 2015, to provide structure and guidance for imposing or waiving applicable fees, as well as approving co-sponsorships for City Committees and South Pasadena Nonprofit Organizations (Organizations). The Policy assists in reducing staff time planning events with Organizations at City parks or facilities. Additionally, it diminishes costs associated with lost or damaged chairs, tables, canopies and other City property. Moreover, Organizations incur staff costs for events, reducing the use of the General Fund.

Annually, the Policy is reviewed by the Parks and Recreation Commission and approved by the City Council. During the year, organizations may request new or additional facility uses or events that would require approval by City Council prior to the annual review of the Policy.

Legal Review

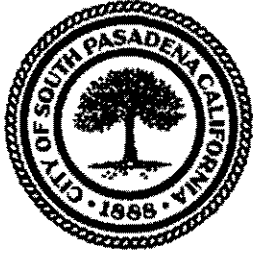
The City Attorney has not reviewed this item.

Fiscal Impact

Fees waived for the event total \$280, including hourly fees for the facility rental, use of kitchen, and required staff.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website and/or notice in the *South Pasadena Review* and/or the *Pasadena Star-News*.



City Council Agenda Report

ITEM NO. 14

,DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager *[Signature]*

PREPARED BY: Lucy Demirjian, Acting Finance Director *[Signature]*

SUBJECT: **Adoption of Resolution Adding a Non-Profit Rate for Providers of Specific Mental Health Services to the Master Schedule of Fees**

Recommendation Action

It is recommended that the City Council adopt a resolution adding a new fee category for “non-profit mental health service providers” to the Master Schedule of Fees for Service (Fee Schedule).

Commission Review and Recommendation

The Council ad-hoc Committee met and discussed the proposed rate for non-profits that provide a specific mental health service to the community and determined the rate would be appropriate.

Discussion/Analysis

As facility and park rentals are not governed by cost recovery, rather by market rate, rental charges for rooms or facilities, fines, penalties and late charges are not technically user fees and are not required to be based on actual costs. Instead, these types of charges are more typically governed by market rates, reasonableness and other policy driven factors and can legally exceed the administrative cost to the City of renting the facility. The City has identified a high demand for its facilities for special event uses such as weddings, and fundraisers.

The ad-hoc committee worked with staff to ensure fees were close to market rate and appropriate for the type of facility and amenities included. The adopted Fee Schedule includes tiered rates for residents (including local businesses), non-profits, and non-residents/all others.

The ad-hoc committee and staff recommend adding a new rental rate for non-profits who can demonstrate they provide a service to the community that fills a gap in our health care system and serves a population that is high risk for homelessness. The “Non-Profit: Mental Health Service Provider” rate of \$60 per hour will only apply to rental of the War Memorial Building on Sundays between the hours of 8:00 a.m. and 11:30 a.m.

War Memorial Rental Fees:	
Security Deposit	\$500
War Memorial – Non-Profits (per hr)	\$110
War Memorial – Resident (per hr)	\$100

War Memorial -- Non-Resident (per hr)	\$130
War Memorial -- Non-Profits -- Prime Time	\$175
War Memorial -- Resident / Local Business (per hr) -- Prime Time	\$165
War Memorial -- Non-Resident (per hr) -- Prime Time	\$195
War Memorial -- Non-Profit: Mental Health Services (per hr) <i>Limited to Sundays from 8:00am-11:30am</i>	\$60
War Memorial -- Lower Floor -- Non-Profits (per hr)	\$85
War Memorial -- Lower Floor -- Resident (per hr)	\$75
War Memorial -- Lower Floor -- Non-Resident (per hr)	\$100
War Memorial - Use of Kitchen (per event / use)	\$50
War Memorial - Use of Kitchen - Prime Time	\$150

Background

On May 1, 2019, the City Council considered recommended increases to City fees for service based on a comprehensive fee study conducted by a consultant. A City Council ad-hoc committee, consisting of Mayor Khubesrian and Councilmember Mahmud, was established to review the fees and worked with staff to adjust fees to levels more consistent to full cost recovery, where appropriate. The Council adopted the Master Schedule of Fees, Resolution No. 7613, which went into effect on July 1, 2019. Staff provided notification to residents and lease holders of the fee increases via multiple communication channels. A grace period was also provided to groups to allow for notification to its members of any changes as a result of fee increases.

Legal Review

The City Attorney has reviewed this item.

Fiscal Impact

There is minimal fiscal impact with the introduction of a new rate category as defined. Potential annual revenue loss is estimated at no more than \$15,000 assuming the full time block is reserved over the entire year. However, mental health services provide other public benefits and cost savings when considering local governments would otherwise expend resources (including staffing) to provide similar services.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City’s website and/or notice in the *South Pasadena Review* and/or the *Pasadena Star-News*.

Attachment: Resolution approving a non-profit rate for specific mental health services

**RESOLUTION NO.
A RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF SOUTH PASADENA, CALIFORNIA,
REVISING THE MASTER SCHEDULE OF FEES FOR SERVICE
YEAR 2019-2020 BY ADDING A NEW FACILITY RENTAL FEE
FOR MENTAL-HEALTH RELATED SERVICES PROVIDED AT
THE WAR MEMORIAL BUILDING**

WHEREAS, on June 19, 2019, the City Council adopted Resolution number 7613, constituting that last update of the City's established fees and charges; and

WHEREAS, the City's established fees and charges include fees for direct cost of services, as well as fees for rental of City properties, which are not restricted by the direct administrative cost of renting the applicable property; and

WHEREAS, the City recognizes a public health, safety and welfare benefit by providing an opportunity for a reduced rate rental for limited City facility space for use by non-profits who provide mental-health related services, which may have the added value of reducing the risk of homelessness; and

WHEREAS, the City has determined that the War Memorial Building meeting space may be reserved to accommodate such use on Sundays, between the hours of 8:00 am. and 11:30 a.m.; and

WHEREAS, the City Council considered the matter at a public meeting on November 20, 2019 to approve a new reduced hourly rate for the use of the War Memorial Building by a non-profit providing mental-health related services and amending the Master Fee Schedule to reflect this change.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SOUTH PASADENA, CALIFORNIA, DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. The Master Fee Schedule is amended by adding a new reduced hourly rental rate for non-profits offering mental-health related services on Sunday mornings at the War Memorial Building, as set forth in the attached Exhibit A to be effective on the date of November 20, 2019.

SECTION 2. Except for the revised fees set forth in Exhibit A to this Resolution, all other provisions of the precursor Resolution No. 7613 remain unchanged.

SECTION 3. The City Clerk shall certify to the adoption of this resolution.

PASSED, APPROVED AND ADOPTED ON this 20th day of November, 2019.

Marina Khubesrian, M.D., Mayor

ATTEST:

APPROVED AS TO FORM:

Evelyn G. Zneimer, City Clerk
(seal)

Teresa L. Highsmith, City Attorney

I HEREBY CERTIFY the foregoing resolution was duly adopted by the City Council of the City of South Pasadena, California, at a regular meeting held on the 19th day of June 2019, by the following vote:

AYES: Cacciotti, Joe, Schneider, Mahmud, and Mayor Khubesrian

NOES: None

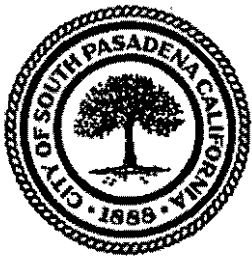
ABSENT: None

ABSTAINED: None

Evelyn G. Zneimer, City Clerk
(seal)

EXHIBIT "A"

War Memorial Rental Fees:	
Security Deposit	\$500
War Memorial -- Non-Profits (per hr)	\$110
War Memorial -- Resident (per hr)	\$100
War Memorial -- Non-Resident (per hr)	\$130
War Memorial -- Non-Profits -- Prime Time	\$175
War Memorial -- Resident / Local Business (per hr) -- Prime Time	\$165
War Memorial -- Non-Resident (per hr) -- Prime Time	\$195
War Memorial -- Non-Profit: Mental Health Services (per hr) <i>Limited to Sundays from 8:00am-11:30am</i>	\$60
War Memorial -- Lower Floor -- Non-Profits (per hr)	\$85
War Memorial -- Lower Floor -- Resident (per hr)	\$75
War Memorial -- Lower Floor -- Non-Resident (per hr)	\$100
War Memorial - Use of Kitchen (per event / use)	\$50
War Memorial - Use of Kitchen - Prime Time	\$150



City Council Agenda Report

ITEM NO. 15

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager *SD*

PREPARED BY: Mariam Lee Ko, Human Resources Manager *MLK*

SUBJECT: **Approval of Job Descriptions for Part Time Maintenance Assistant, Community Improvement Coordinator and Maintenance Worker I and II**

Recommendation

It is recommended that the City Council:

1. Approve the job description for part time Maintenance Assistant; and
2. Approve the job description for Community Improvement Coordinator; and
3. Approve the job description for Maintenance Worker I and II.

Commission Review and Recommendation

This matter was not reviewed by a Commission.

Discussion/Analysis

Public Works and Planning & Community Development staff identified inconsistencies and requested modifications to the job descriptions for the classification of part time Maintenance Assistant, Community Improvement Coordinator and Maintenance Worker I and II.

Furthermore, Human Resources staff had a difficult time recruiting to fill the position of Community Improvement Coordinator, as previous recruitments failed to yield qualified applicants. The proposed changes will allow staff to move forward with appropriately staffing the respective departments. Human Resources staff worked with department staff to clarify and expand upon job duties and responsibilities to ensure job requirements are consistent with industry standards.

Part Time Maintenance Assistant

Approval of the attached job description provides for an established job description for the classification of part time Maintenance Assistant, where one did not exist previously. The position is located within the Public Works Department and is currently unfilled. The classification is part of the Memorandum of Understanding between the City and the Part Time Employees' Association.

Community Improvement Coordinator

The position of Community Improvement Coordinator exists within our Planning & Community Development Department. This position has been vacant since early 2019. Staff attempted to recruit to fill the position following the vacancy but found there to be a lack of qualified candidates. As such, staff reviewed similar job descriptions of other public agencies and found that the City's requirement for a Bachelor's Degree is not an industry standard. Staff is recommending that the requirement for a Bachelor's Degree be removed, therefore focusing only on applicable experience and job skills.

Maintenance Worker I and II

In a recent review of all Public Works job descriptions, Staff identified that the physical demands for the position of Maintenance Worker I and II to be inconsistent with other job descriptions within the Public Works Department of a similar class. Most all of the City's Public Works classifications require "frequent lifting of objects up to 50 lbs." and the classification for Maintenance Worker I and II is the only job description that requires "frequent lifting of objects up to 25 lbs." In further researching staff found the industry standard job requirement for public works classification is the ability to lift up to 50 lbs. Therefore, staff is recommending the job description for Maintenance Worker I and II be revised and updated to be consistent with industry standards and to be consistent with other Public Works classifications.

Background

Periodically, staff reviews job descriptions and revises or updates job descriptions based on industry standards and/or needs of the City. As such, job description updates and revisions are proposed for City Council approval.

California Government Code Section 3500 (Meyers-Milias-Brown Act) requires that public employers meet and confer regarding wages, hours, and other terms and conditions of employment. Changes to job descriptions directly impact employment and as such input on the job descriptions were gathered from both the South Pasadena Part Time Employees' Association and the South Pasadena Public Employees Association. Both employee groups have approved the changes to the job descriptions within their respective unit.

The City will be conducting a comprehensive classification study within the next calendar year.

Legal Review

The City Attorney has reviewed this item.

Fiscal Impact

There is no fiscal impact associated with the approval of the job descriptions, as there are no proposed changes to salary. Salaries for these positions were previously adopted and approved by the City Council on July 17, 2019, and are housed in the respective Memorandums of

Approval of Job Descriptions
November 20, 2019
Page 3 of 3

Understanding between the City and the Public Service Employees' Association (Resolution No. 7624) and Part Time Employees' Association (Resolution No. 7625).

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website and/or notice in the *South Pasadena Review* and/or the *Pasadena Star-News*.

Attachment: Resolution Approving Job Description for Community Improvement Coordinator, Maintenance Worker I and II and Part Time Maintenance Assistant

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF SOUTH PASADENA, CALIFORNIA,
APPROVING JOB DESCRIPTIONS FOR COMMUNITY
IMPROVEMENT COORDINATOR, MAINTENANCE
WORKER I/II AND PART TIME MAINTENANCE ASSISTANT**

WHEREAS, periodically a need arises to revise and update job descriptions so that job requirements are consistent with industry standards; and

WHEREAS, these classifications are a part of the Memorandum of Understanding between the City, the South Pasadena Public Service Employees' Association and the South Pasadena Part Time Employees' Association; and

WHEREAS, California Government Code Section 3500 (Meyers-Milias-Brown Act) requires that public employers meet and confer regarding wages, hours, and other terms and conditions of employment; and

WHEREAS, the Public Service Employees' Association and the Part Time Employees' Association has reviewed the job descriptions for Community Improvement Coordinator, Maintenance Worker I/II and part time Maintenance Assistant and agreed to the new and revised job descriptions attached hereto as "Exhibit A."

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SOUTH PASADENA, CALIFORNIA, DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. Exhibit A is approved and adopted by the City Council of the City of South Pasadena.

SECTION 2. The City Clerk of the City of South Pasadena shall certify to the passage and adoption of this resolution and its approval by the City Council and shall cause the same to be listed in the records of the City.

PASSED, APPROVED AND ADOPTED ON this 20th day of November, 2019.

Marina Khubesrian, M.D., Mayor

ATTEST:

APPROVED AS TO FORM:

Evelyn G. Zneimer, City Clerk
(seal)

Teresa L. Highsmith, City Attorney

I HEREBY CERTIFY the foregoing resolution was duly adopted by the City Council of the City of South Pasadena, California, at a regular meeting held on the 20th day of November, 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

Evelyn G. Zneimer, City Clerk
(seal)

EXHIBIT A

City of South Pasadena

Community Improvement Coordinator

Purpose

Under general supervision and reporting to the Planning & Community Development Director, the Community Improvement Coordinator administers all aspects of a multi-faceted community program designed to improve the quality of life for the city's residents and businesses.

Examples of Duties

The duties listed below are examples of the work typically performed by employees in this class. An employee may not be assigned all duties listed and may be assigned duties, which are not listed below.

Interprets and explains code provisions to property owners and others requiring information; responds to complaints of alleged violations.

Enforces and administers City ordinances and regulations; perform investigations, listen and engage thoughtfully with the public, and issue warnings, citations, and notices as appropriate. Includes inspection of premises to verify type of business, detecting and advising property owners of violations of code provisions. Testifies in court, as required. Coordinates the enforcement activities with the appropriate City department(s) and outside public agencies.

Responds to inquiries and provides technical assistance to property owners and the general public regarding compliance with zoning regulations, property maintenance standards, regulatory practices, and currently active code enforcement cases; assists individuals during field inspections, at the public counter, and through telephone and electronic communications.

Recommends corrective action in order to bring about compliance; determines timelines for compliance in accordance with local standards and requirements; assists homeowners and businesses with procedures to obtain compliance

Assists other Planning & Community Development Department staff with various projects and tasks.

Employment Standards

Education/Experience:

Experience or familiarity with code administration, building, construction or a related field; or any equivalent combination of training and experience that provides the required skills,

knowledge and abilities. Two years of public relations experience involving public contact and regulatory compliance is highly desirable.

Knowledge of:

Public administration principles, practices and methods as applicable to a municipal setting. Pertinent federal, state, and local laws, codes, and regulations related to building, zoning, housing, nuisance violations, and public safety codes. Working knowledge of inspection techniques. Methods and techniques of public relations and conflict resolution.

Ability to:

Comprehend and correctly use a variety of informational documents, including service reports, telephone calls/messages, memos and general department orders. Prepare citations, criminal complaints, notification cards/door hangers, production report, and correspondence using prescribed format and conforming to all rules of punctuation, grammar, diction, and style. Comprehend a variety of reference books and manuals, including municipal code manual, health and safety code, zoning and land use maps, policies and procedure, and City maps. Communicate effectively with coworkers, contractors, department heads, supervisor, Los Angeles County Health and Safety Officials, other agencies, and the general public verbally and in writing. Calculate decimals, ratios, percentages and fractions.

Physical Demands:

Requires occasional lifting up to 25 pounds, walking, some bending, stooping, squatting, climbing, balancing, kneeling, crouching, crawling, talking, hearing, periods of standing. Specific vision abilities required by the job include close, distance, color, peripheral, depth perception, and the ability to adjust focus. Required to conduct field inspection on a daily basis, frequently entering and exiting an automobile.

Special Requirements:

Possession of a valid California Driver's License, Class "C" or ability to obtain one prior to start of employment.

Completion of California Penal Code Section 832 certificate within one year of employment.

Certification by S.C.A.C.E.O. or equivalent highly desirable.

FLSA Status

Non-exempt

Revised 11.20.2019

City of South Pasadena

MAINTENANCE WORKER I and II

Purpose

Performs a variety of unskilled and semi-skilled maintenance, repair, and general construction work in one of the Public Works divisions of Streets/Sewers; and performs other related duties as required.

Distinguishing Characteristics

Maintenance Worker I - This is the entry and training class level in the series. Incumbents work under immediate supervision while performing the simpler elements of a variety of work.

Maintenance Worker II - This is the fully experienced working class in the series. Incumbents are thoroughly skilled in the work methods and procedures for a particular division and have a basic understanding of the other work areas within the Public Works Department. Incumbents are expected to work with general supervision.

Examples of Duties

The duties listed below are examples of the work typically performed by employees in this class. An employee may not be assigned all duties listed and may be assigned duties, which are not listed below.

Performs template painting of traffic regulator signs, symbols, zone and other curb and street markings; installs or replaces street signs; installs poles and V channels.

Cleans sewer lines with rodding machine; flushes lines with water; cleans storm drains and gutters.

Patches streets with asphalt; loads asphalt and delivers to job site; performs rough concrete work for curbs and gutters.

Pick up trash from City facilities; removes fallen tree branches and palm fronds from streets.

Operates a variety of light- and medium-duty equipment; cleans and cares for tools and equipment; performs minor maintenance work on equipment and facilities.

Assists other division crews and departments as needed; trims trees; clears brush; runs electrical cable; moves furniture.

Employment Standards

Maintenance Worker I - One year of experience performing heavy manual labor preferably in public works construction or any combination of training and/or experience that could likely provide the desired knowledge and abilities. Grade one waste water certification desirable.

Maintenance Worker II - One year of experience as a Maintenance Worker I or two years of increasingly responsible experience in construction and maintenance work or any combination of training and/or experience that could likely provide the desired knowledge and abilities. Grade one waste water certification desirable.

Knowledge of:

Both Classes - Uses of basic hand and power tools; basic construction and maintenance materials, methods and terminology; basic safety considerations of work.

Ability to:

Both Classes - Perform heavy manual labor; use basic hand and power tools; perform simple maintenance repairs and construction-related tasks.

Maintenance Worker II - Determine and use a wide variety of tools and equipment used in public works construction; operate light and medium duty equipment such as skip loader, back hoe, and trucks; use jack hammer, paint compressor, chipper, and sewer machine; establish and maintain working relationships with employees and the public.

Physical Demands

Strenuous physical work. Physical demands include frequent lifting of objects over 50 pounds, often combined with bending, twisting, working above ground or on irregular surfaces.

Special Requirements

Must acquire a California Class "B" Commercial Drivers' License by the end of probationary period.

Working Conditions

Continuous exposure to unpleasant elements such as dust, fumes and odors, dampness, raw sewage, noise levels, or outside weather conditions.

FLSA Status

Non-exempt

Revised 11.20.2019

City of South Pasadena

MAINTENANCE ASSISTANT

(Part Time – Hourly Rate: \$19.45/hr to \$23.64/hr)

Purpose

Performs a variety of unskilled and semi-skilled maintenance, repair, and general construction work in one of the Public Works divisions of Streets/Sewers, Parks and Facilities; and performs other related duties as required.

Examples of Duties

The duties listed below are examples of the work typically performed by employees in this class. An employee may not be assigned all duties listed and may be assigned duties that are not listed below:

Performs unskilled and some semi-skilled tasks in the cleaning and maintenance of City buildings and facilities, streets, parks, landscaping, medians, sewers, and rights-of-way, and removes graffiti; and performs other related duties as assigned. Loads, unloads, and stores delivered supplies and equipment in Maintenance Yard; drives or rides in service trucks to travel to and from work sites; assists in setting up and taking down safety cones and delineators.

Uses hand and power tools at work sites to perform basic maintenance duties such as shovels, brooms, trimmers, and small cultivating tools as well as power blowers and power washing equipment; operates other power tools and equipment with appropriate guidance.

Cleans and maintains City parks, landscaping, and median strips; performs ground level trimming of trees, bushes, and other plants; picks up and hauls debris collected throughout the City.

Assists with asphalt and concrete repairs, including breaking up existing surfaces and mixing and spreading new material.

Assists in cleaning, washing, and repainting surfaces. Assists in light facilities maintenance tasks including cleaning, restocking supplies, moving furniture, hanging items from the wall, and painting. Cleans and maintains restrooms; dumps trash and replaces liners. Performs preventative maintenance to maintain tools, vehicles and equipment. Assists in setting up structures, tables, and chairs for special events.

Employment Standards

Education/Experience:

Six or more months of general maintenance work experience is desirable.

Knowledge of:

General maintenance, cleaning, and repair methods and preventative maintenance techniques; proper use of hand and power tools; learn and apply learned maintenance and repair procedures involving streets, storm drains, parks, facilities, medians and landscape work; basic record keeping techniques.

Ability to:

Perform heavy manual labor; use basic hand and power tools; perform simple maintenance repairs and construction-related tasks. Operate hand tools and power equipment and perform assigned maintenance tasks following established procedures and safety techniques; establish and maintain effective working relationships with others; understand and carry out oral or written instructions.

Working Conditions & Physical Demands

Working Conditions:

The employee drives in traffic to job sites. The position constantly works outdoors in field settings and is subject to variable weather conditions, including heat, dust, moisture and wetness. The employee occasionally wears personal protective equipment including helmet, ear protection, and gloves, when working in construction areas or when exposed to power tools, compressors, and large-scale motorized equipment. Employees are exposed to oils, greases, paint removers, and cleaning agents.

Physical Demands

The employee frequently stands and walks within work areas and sits in driving to maintenance work sites and City facilities. Firm and light grasping is required to move heavier materials and operate equipment controls and the employee reaches above and below shoulder level to perform tasks. The employee is expected to bend, stoop, squat, kneel, climb, and crawl at times to access work areas. Strenuous physical work. Physical demands include frequent lifting of objects up to 50 pounds, often combined with bending, twisting, working above ground or on irregular surfaces.

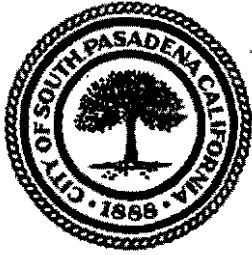
Special Requirements

Possession of a valid Class "C" or higher California Driver's License with a satisfactory driving record.

FLSA Status

Non-exempt

Revised 11.20.19



City Council Agenda Report

ITEM NO. 16

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager *[Signature]*

PREPARED BY: Joanna Hankamer, Director of Planning and Community Development *[Signature]*
Margaret Lin, Manager of Long Range Planning and Economic Development *[Signature]*

SUBJECT: **Second Reading and Adoption of an Ordinance Establishing a Major Project Review**

Recommendation

It is recommended that the City Council read by title only for the second reading, waiving further reading, and adopt of an Ordinance establishing a Major Project Review (Review).

Discussion/Analysis

On November 6, 2019, the City Council introduced an ordinance establishing Major Project Review procedures to better meet increased development interests. The proposed structure would provide a dedicated planner with project specific expertise to guide a project, under the oversight of City staff, through the City's development application, review and approvals processes. The purpose of the Review is to utilize contract planners to review major or complex projects and assign the additional cost to the project applicant. Each project applicant shall be responsible to reimburse the City for the actual costs of the assigned planner and shall advance a deposit sufficient to cover the City's estimated costs to facilitate the Review. The proposed restructuring would accelerate project reviews and approvals at no cost to the General Fund budget.

Timely review of and expertise in processing development applications are necessary to attract high quality appropriate investment to the City. The proposed Review will help advance the City's competitiveness and improve the administrative process as well as ensure high quality projects. Applicants will submit a project application to the City and within 10 working days the City will determine if the proposed project is a major project that requires a Review. The following projects will require a Review:

- Master plans or amendments to Master Plans;
- Multi-family projects consisting of seven or more dwelling units;
- Projects involving new construction of more than 10,000 square feet of non-residential gross floor area;
- General Plan amendment;
- Zoning Code amendment; or

- Other complex projects at the discretion of the Planning and Community Development Director.

If the proposed project requires Major Project Review, the City will assign a contract planner with project specific expertise to conduct the Review. The City will also provide the applicant with a written estimate of the costs associated with the Review. The Applicant will be required to submit fifty percent of the total estimated cost as a deposit to initiate the Review. Prior to completion of the project the applicant will be required to submit the remaining balance of the estimated cost and any additional funds determined by the Planning Director to be necessary to complete the Review at no cost to the City. The City shall keep an accounting of the deposit account and the running balance. An administrative fee equal to ten percent of the Review costs will also be required to reimburse the City for its costs in assignment and supervision of the assigned planner and accounting of the deposit account.

Background

Providing applicants/developers with dedicated experienced and appropriately skilled technical staff will produce high quality projects and ensure the timely processing of entitlement applications. Utilizing contract staff will also provide the City appropriate support during peak application periods without placing undue financial burden on the City. . The attached ordinance for Major Project Review is consistent with the City's strategic plan goal to create a strong economic development strategy. Further, this concept has been discussed with local stakeholders including the Chamber of Commerce and local developers, none of whom have expressed concerns.

Legal Review

The City Attorney has reviewed this item.

Fiscal Impact

The applicant shall be responsible to reimburse the City for the actual cost of the Review. Staff will provide a written estimate to the applicant for the cost of the assigned planner plus a ten percent administrative fee for the administrative cost associated with the selection and management of the assigned planner. Prior to initiation of the Review the applicant shall advance fifty percent of the total fee amount to the City as a deposit. The City will provide written notice to the applicant of the need to deposit the remaining fifty percent of the estimated cost, plus any additional funds necessary to complete the Review. No Review shall be provided without sufficient funds on deposit to pay the costs; the City shall not bear any of the cost associated with the Major Project Review.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website and/or notice in the *South Pasadena Review* and/or the *Pasadena Star-News*.

Attachment: Major Project Review - Ordinance

**AN ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF SOUTH PASADENA, CALIFORNIA,
ADDING A NEW SECTION 36.400.045 (MAJOR PROJECT REVIEW) TO
DIVISION 36.400 (“APPLICATION FILING AND PROCESSING”) OF
ARTICLE 4 (“ZONING PROCEDURES”) OF TITLE 36 (“ZONING”)
ESTABLISHING A MAJOR PROJECT REVIEW PROCEDURE**

SECTION 1. Section 36.400.045 (“Major Project Review”) is added to Division 36.400 (“Application Filing and Processing”) of Article 4 (“zoning Procedures”) of Title 36 (“Zoning”) to read as follows:

“36.400.045 Major Project Review.

The purpose of the Major Project Review is to utilize dedicated planners with project specific expertise to review major projects.

A. Definition. Major Project Reviews will be required for the following projects:

1. Master plans or amendments to Master Plans;
2. Multi-family projects consisting of seven or more dwelling units;
3. Projects involving new construction of more than 10,000 square feet of non-residential gross floor area;
4. General Plan amendments;
5. Zoning Code amendments; or
6. Other complex projects at the discretion of the Planning and Community Development Director.

B. Procedures.

1. Scheduling. Within ten (10) days of receipt of a project application by an applicant, the City shall determine whether the proposed project requires a Major Project Review.
2. Assigned Planner. If the City determines that a proposed project is required, the City will assign a contract planner with the appropriate expertise to facilitate the Major Project Review.
3. Fee. The applicant shall be responsible to reimburse the City for the actual cost of the Major Project Review.
4. Deposit of Estimated Fee. Upon request for eligible Major Project Review, staff will provide a written estimate to the applicant for the cost of the assigned planner plus a ten percent (10%) administrative fee for the administrative cost associated with the selection and management of the assigned planner. Prior to initiation of the Major Project Review the applicant shall advance fifty percent (50%) of the total estimated fee amount to the City as a deposit. The City will draw funds from the deposited account as needed to reimburse the cost of the assigned planner plus the 10% administrative fee. City shall maintain a written record of accounting of the balance of the deposited account. Applicant shall deposit the remaining 50% estimated fee when notified to do so by staff. Applicant shall deposit any additional funds

necessary to complete the Major Project Review, as determined by the director. City shall not perform Major Project Reviews unless sufficient funding, as determined by the director, is on deposit with the City for this purpose. Upon the completion of the Major Project Review and payment in full of the City's costs of the assigned planner, any funds remaining unused in the applicant's deposited account shall be returned to the applicant.

5. Filing date. The filing date of an application requiring Major Project Review shall be the date on which the Department receives the last submission of all materials required in compliance with Sections 36.400.060 and 36.400.045 and deposits of all fees required by subsection 36.400.045 B. 4. and deemed complete by the Director.”

SECTION 2. The City Council hereby finds that the proposed Code amendment is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines § 15061(b)(3), which states the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. It may be seen with certainty that there is no possibility this Zoning Code Amendment may have a significant effect on the environment.

SECTION 3. This ordinance shall take effect thirty (30) days after its final passage, and within fifteen (15) days after its passage, the City Clerk of the City of South Pasadena shall certify to the passage and adoption of this ordinance and to its approval by the Mayor and City Council and shall cause the same to be published in a newspaper in the manner required by law.

PASSED, APPROVED, AND ADOPTED ON this 20th day of November, 2019.

Marina Khubesrian, M.D., Mayor

ATTEST:

APPROVED AS TO FORM:

Evelyn G. Zneimer, City Clerk
(seal)

Teresa L. Highsmith, City Attorney

Date: _____

I HEREBY CERTIFY the foregoing ordinance was duly adopted by the City Council of the City of South Pasadena, California, at a regular meeting held on the 20th day of November, 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

Evelyn G. Zneimer, City Clerk
(seal)



City Council Agenda Report

ITEM NO. 17

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager *SD*

PREPARED BY: Joanna Hankamer, Director of Planning and Community Development *JH*
Kanika Kith, Interim Senior Planner *KK*

SUBJECT: Project No. 2246-MIL - Approval of a Mills Act Contract for Property Located at 209 Beacon Avenue, Landmark No. 52, Whitney R. Smith House and Studio (Assessor's Parcel Number 5317-006-001)

Recommendation

It is recommended that the City Council enter into a Mills Act contract with the property owners of 209 Beacon Avenue, Landmark No. 52, Whitney R. Smith House and Studio.

Executive Summary

A Mills Act contract is an agreement between the City and the property owner. The contract requires that the property owner completes specific restoration and/or maintenance tasks, as submitted in the proposal restoration work plan reviewed by the CHC. The proposed work plan is included as Exhibit C to the Mills Act contract. In return, for the duration of 10 years, the property owner receives a reduction in their property tax bill with the agreement that those property tax savings be reinvested into the property and fund the approved improvements.

On September 19, 2019, the Cultural Heritage Commission (CHC) reviewed the proposed Mills Act application and voted 5-0 recommending that the City Council enter into the Mills Act contract. The house is known as the Whitney R. Smith House and Studio and it qualifies for a Mills Act contract because it is local landmark, Landmark No. 52, designated on April 20, 2011.

Commission Review and Recommendation

In accordance to South Pasadena Municipal Code Chapter 2 Section 2.68 (B)(1)(c), the CHC recommended that the subject property be approved for a Mills Act Contract with the City based upon the following required criteria:

- (i) *Financial Investment. The estimated tax benefit is not expected to exceed the applicant's proposed financial investment in the cultural resource over the first 10 years of the contract.*

The total cost of the proposed scope of work is \$149,400. The estimated total tax savings to the owner is \$137,000. The financial analysis for the project is included as an attachment to the Mills Act contract.

- (ii) *Public Benefit.* The proposed Mills Act contract features a work plan that will provide a benefit to the public by: rehabilitating the property for continued occupancy or adaptive reuse; improved viability through systems upgrades and structural reinforcement upgrades; preserving and maintaining the character-defining features of the property, and/or restoring character-defining features of the property that have been significantly altered or removed over time.

The proposed work plan includes significant repairs and restoration of the roof and exterior wood character-defining features of the house that are visible to the public from the sidewalk and street. The proposed improvements will contribute to the preservation of this designated local landmark.

- (iii) *Retroactive Limitations.* The estimated tax benefit will not be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty.

The proposed work plan does not include maintenance or alteration work that was previously completed or initiated.

- (iv) *Limitations on Maintenance.* The estimated tax benefit will not be used for routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements.

The proposed work plan does not propose to use the estimated tax benefit for maintenance of the property.

- (v) *Limitations on Interior Work.* The estimated tax benefit will not be used for work within the interior of a cultural resource unless the commission determines the following exceptions should be made: the interior work is necessary to improve the structural integrity of the property; the interior work is necessary to preserve and maintain character-defining features within the cultural resource that are specifically identified as part of the official landmark nomination; and/or the interior work is necessary to preserve and maintain character-defining features of the property that were discovered subsequent to its landmark designation. The commission must first determine that those interior features are character-defining based on substantial evidence provided by the applicant.

The total cost of work proposed for the exterior and stabilization of the Studio is \$149,400, which exceeds the tax saving of \$137,000. It is estimated that the entire scope of work will be completed by the fifth year (2025) of the Mills Act contract.

(vi) *Limitations on Landscaping. The estimated tax benefit will not be used for landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination.*

The proposed work plan does not include landscaping work.

Entering into the Mills Act contract will promote the City's Preservation Element of the General Plan, Section 5.5, Goal 6, Policy 6.3, "Encourage property owners to take advantage of the available financial incentives."

Fiscal Impact

A Mills Act contract allows a tax reduction for a property owner who agrees to perform certain restoration and maintenance tasks over a 10-year period. Although the City will see a reduction in property tax revenue (between approximately 40% - 60% per Mills Act contracted property), the benefits of the program include economic benefits of conserving resources and reinvestment as well as the important role historic preservation can play in revitalizing older areas, creating cultural tourism, building civic pride, and retaining the sense of place and continuity with the community's past.

Legal Review

The City Attorney has reviewed this Staff Report.

Environmental Analysis

This project is exempt from any California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15308, Class 8: Actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Attachments:

1. Mills Act contract
2. CHC Report

ATTACHMENT 1
Mills Act Contract

MILLS ACT CONTRACT

THIS CONTRACT (“Contract”) is made and entered into this ____th day of November 2019, by and between the CITY OF SOUTH PASADENA, CALIFORNIA, a municipal corporation (“City”), and Mark and Gail Wilson (“Owners”).

RECITALS

(i) California Government Code Section 50280 *et seq.*, authorizes cities to enter into contracts with the Owner of qualified historical property to provide for the use, maintenance, and restoration of such historical property so as to retain its characteristics as property of historical significance;

(ii) Owner possesses fee title in and to that certain real property, together with associated structures and improvements thereon, located at 209 Beacon Avenue, South Pasadena, California, Assessor’s Parcel Number 5317-006-001 (“Historic Property”). A legal description of the Historic Property is attached hereto, marked as “Exhibit A” and is incorporated herein as if fully set forth;

(iii) The Historic Property is identified as City Landmark No. 52 known as the Whitney R. Smith House and Studio, designated a local landmark on April 20, 2011, attached hereto marked “Exhibit B”. The Smith Residence and Studio represents one of South Pasadena’s outstanding Mid-Century Modern homes, as well as the post-World War II quest by modern architects to redefine the ideal contemporary home. The house was constructed in circa 1900 as a hipped-roof garage that was converted to a guesthouse circa 1907. In 1936, Whitney Rowland Smith and his wife Virginia purchased the guesthouse and began expanding it to a three-bedroom Mid-Century Modern style home. In keeping with the principle of Mid-Century Modern design, the home was designed with a high degree of indoor-outdoor integration. The current-day landscape retains a variety of mature trees dating to the early 20th century, as well as an outdoor fireplace/incinerator, located in the lot’s southeast corner, which dates to circa 1900. The home served as Smith’s principal residence until his retirement circa 1988, after 50 years of architectural practice in Southern California;

(iv) City and Owner, for their mutual benefit, now desire to enter into this Agreement both to protect and preserve the characteristics of historical significance of the Historic Property, and to qualify the Historic Property for an assessment of valuation pursuant to the provisions of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code.

NOW, THEREFORE, City and Owner, in consideration of the mutual covenants and conditions contained herein, do hereby agree as follows:

1. EFFECTIVE DATE AND TERM. The Agreement shall be effective and commence on November ____, 2019 and shall remain in effect for a minimum period of

ten (10) years, unless the property owner is issued a notice of non-renewal as provided in Section 2.68(b)(1)(E)(v) of the South Pasadena Municipal Code.

2. AUTOMATIC RENEWAL. Unless a notice of non-renewal is issued, this Agreement shall automatically be extended by one year for each anniversary date of the Agreement unless otherwise specific herein.

3. APPEAL OF NOTICE OF NON-RENEWAL. The property owner shall have the right (per Government Code Section 50282) to appeal a notice of non-renewal to the City Council.

4. CONFORMANCE WITH NATIONAL STANDARDS. The contract agreement is to assist in the Preservation of the qualifying property; therefore, Restoration and Rehabilitation of the property and all work associated with thereto shall be subject to comply with the recommendations of the Cultural Heritage Commission and, shall conform to the rules and regulations of the State of California Office of Historic Preservation (Department of Parks and Recreation) and the United States Secretary of the Interior's Standards for the Treatment of Historic Properties, attached hereto marked "Exhibit D". Owner shall preserve and maintain the characteristics of historical significance of the Historic Property. Attached hereto marked as "Exhibit C" and incorporated herein as if fully set forth, is a list of those minimum standards and conditions for maintenance, use and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement.

5. LIMITATIONS. Under Section 2.68(b)(1)(C)(iii)-(v), the estimated tax benefit will not be used for: (1) any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty; (2) routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements; (3) work within the interior of a Historic Property unless the Cultural Heritage Commission determines an exception should be made; and (4) landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination.

6. INSPECTIONS. The owner shall agree to allow periodic examination of the interior and exterior of the premises by the County Assessor, the Department of Parks and Recreation, the State Board of Equalization, and the City, as may be necessary to verify the owner's compliance with the contract agreement, and to provide any information requested to ensure compliance with the contract agreement. During the term of this Agreement, after five years, and every five years thereafter, the City, County of Los Angeles, or City and County shall have the option to inspect the premises to determine the property owner's compliance with the contract Agreement.

7. REPORTS. The owner shall agree to submit evidence to the City in accordance with the reporting schedule specified in the Mills Act Contract (and at a

minimum every three years) to confirm that Preservation tasks were completed in accordance with the time line stipulated in this Agreement.

8. NON-RENEWAL. If recommended by the Commission and approved by the City Council, a notice of non-renewal may be issued six (6) years into the duration of this Agreement. The procedure for notice of non-renewal by the owner or the City shall be in accordance with Government Code Section 50282 as it may be amended from time to time.

9. BINDING EFFECT OF CONTRACT. This Agreement shall be binding on all successors-in interest of the owner to the benefits and burdens of this Agreement. The contract shall stipulate escrow instructions that require a review and re-evaluation of the property every three years.

10. CANCELLATION. City following a duly noticed public hearing as set forth in California Code Section 50280 *et seq.*, may cancel this Agreement if City determines that the Owner has breached any of the conditions or covenants of the Agreement or has allowed the Historic Property to deteriorate to the point that it no longer meets the significance criteria under which it was designated. City may also cancel this Agreement if it determines Owner has failed to restore or rehabilitate the Historic Property in the manner specified in Paragraph 4 of this Agreement. The City may also cancel this Agreement if, upon consultation with the State of California Office of Historic Preservation, the preservation, rehabilitation, or restoration becomes infeasible due to damage caused by natural disaster. City's right to cancel this Agreement pursuant to this paragraph shall in no way limit or restrict its rights or legal remedies arising from City's Cultural Heritage Ordinance and Municipal Code.

11. CANCELLATION FEE. In the event of cancellation, Owner shall be subject to payment of those cancellation fees set forth in California Government Code Section 50280 *et seq.*, described herein. Upon cancellation, Owner shall pay a cancellation fee equal to twelve and one-half percent (12.5%) of the current fair market value of the property as determined by the County Assessor as though the Historic Property were free of the contractual restriction pursuant to this Agreement. The Owner shall pay the cancellation fee to the County Auditor in the time and manner prescribed by the County Auditor.

12. ENFORCEMENT OF AGREEMENT. In lieu of and/ or in addition to any provisions to cancel this Agreement as referenced herein, City may specifically enforce, or enjoin the breach of the terms of this Agreement.

13. WAIVER. City does not waive any claim or default by Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in the City's regulations governing historic properties are available to City to pursue in the event there is a breach of this Agreement. No waiver by City of any breach or default under this Agreement shall be deemed to be a waiver of any other subsequent breach thereof or default hereunder.

14. BINDING EFFECT OF AGREEMENT. Owner hereby subjects the Historic Property to the covenants, reservations and restrictions set forth in this Agreement. City and Owner hereby declare their specific intent that the covenants, reservations, and restriction as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon Owner's successors and assigns in title or interest to the Historic Property.

Each and every contract, deed or other instrument hereinafter executed, governing or conveying the Historic Property, or any portion thereof, shall conclusively be held to have been executed, delivered and accepted subject to the covenants, reservations and restriction expressed in this Agreement regardless of whether such covenants, reservations and restrictions are set forth in such contract, deed or other instrument.

City and Owner hereby declare their understanding and intent that the burden of the covenants, reservations and restrictions set forth herein touch and concern the land in that it restricts development of the Historic Property. City and Owner hereby further declare their understanding and intent that the benefit of such covenants, reservations and restrictions touch and concern the land by enhancing and maintaining the cultural and historic characteristics and significance of the Historic Property for the benefit of the public and Owner.

15. NOTICE. Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below, by personal delivery or United States mail, postage prepaid, addressed as follows:

City: City of South Pasadena
Director of Planning and Building
1414 Mission Street
South Pasadena, California 91030

Owner: Mark and Gail Wilson
209 Beacon Avenue
South Pasadena, California 91030

16. EFFECT OF AGREEMENT. None of the terms, provisions or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors or assigns, nor shall such terms, provisions or conditions cause them to be considered joint ventures or members of any joint enterprise.

17. INDEMNITY OF CITY. Owner agrees to protect, defend, indemnify, and shall hold City and its elected officials, officers, agents, and employees harmless from liability for claims, loss, proceedings, damages, causes of action, liability, costs or expense, including reasonable attorney's fees in connection with damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of such Owner or those of its contractor, subcontractor, agent, employee or other person acting on its behalf which relate to the use, operation, capital

improvement and maintenance of the Historic Property. Owner hereby agree to and shall defend the City and its elected officials, officers, agents, and employees with respect to any and all actions for damages caused by, or alleged to have been suffered, by reason of the operations referred to in this Agreement regardless of whether or not the City prepared, supplied or approved the plans, specifications or other documents for the Historic Property.

18. **BINDING UPON SUCCESSORS.** All of the agreements, rights, covenants, reservations, and restrictions contained in the Agreement shall be binding upon and shall inure to benefit of the parties herein, their heirs, successors, legal representative, assigns and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner whatsoever.

19. **LEGAL COSTS.** In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.

20. **SEVERABILITY.** In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be affected thereby.

21. **GOVERNING LAW.** This Agreement shall be construed and governed in accordance with the laws of the State of California.

22. **EMINENT DOMAIN PROCEDURES.** Upon the filing of an action in eminent domain by a public agency for the condemnation of the fee title of any land described herein or of less than fee interest which will present the portion of land condemned or other land or a portion of it which is the subject of this Agreement from being used for any authorized use, or upon the acquisition in lieu of eminent domain by a public agency for a public improvement, the portions of this Agreement by which Owner agree to preserve and to restrict the use of property described herein shall be null and void upon such filing as to the portion of the land condemned or acquired and to the additional land the use of which for an authorized purpose will be prevented as a result of condemnation or acquisition.

If, subsequent to the filing of an action in eminent domain, the proposed condemnation is abandoned by the condemning agency as to all or a portion of the land subject to the Agreement, the restrictions on the use of the property included in this Agreement shall, without further agreement of the parties, be re-instituted and the terms of this Agreement shall be in full force and effect.

23. RECORDATION. No later than thirty (30) days after the parties execute this Agreement, the Owner or Owner's agent shall record this Agreement in the Office of the County Recorder of the County of Los Angeles.

24. AMENDMENTS. This Agreement may be amended, in whole or in part, only by written-recorded instrument executed by the parties hereto.

25. NOTICE TO OFFICE OF HISTORIC PRESERVATION. The City shall provide written notice of this Agreement to the State Office of Historic Preservation within six (6) months of entering into this Agreement.

IN WITNESS THEREOF, City and Owner have executed this Agreement on the day and year first above written.

CITY OF SOUTH PASADENA

Date: _____

By: _____
MAYOR

Attest:

CITY CLERK

Approved as to Form:

CITY ATTORNEY

Date: _____

Date: _____

Mark Wilson, Owner

Date: _____

Gail Wilson, Owner

Exhibit “A”
Legal Description

Legal Description

Property: 209 Beacon Avenue, South Pasadena, CA 91030

The South 63 feet of the East 122 1/2 feet of Lot 12 of AD. Porters Subdivision of Part of Porter Green Tract, in Division "G" of Lands of San Gabriel Orange Grove Association in the City of South Pasadena, Los Angeles County, California, as per map recorded in Book 14, Page 97 of Miscellaneous records, in the office of the Los Angeles County Recorder, California.

Assessor's Parcel Number 5317-006-001

Exhibit “B”
City Council Resolution for
Landmark Designation

RESOLUTION NO. 7155**A RESOLUTION OF THE CITY COUNCIL OF THE
CITY OF SOUTH PASADENA, CALIFORNIA,
DESIGNATING THE WHITNEY R. SMITH HOUSE AND STUDIO
AT 209 BEACON AVENUE A CULTURAL HERITAGE LANDMARK
(LANDMARK NO. 52)**

WHEREAS, Section 2.62 of the South Pasadena Municipal Code, Ordinance No. 2004 (“Cultural Heritage Ordinance”), authorized the Cultural Heritage Commission (“the Commission”) to recommend to the City Council the designation of appropriate properties as landmarks; and

WHEREAS, a landmark nomination form and report (“the nomination”) was prepared by architectural historian and preservation consultant, Deborah Howell-Ardila and has been submitted to the Commission for consideration of the Whitney R. Smith House and Studio located at 209 Beacon Avenue (“the property”) as a local landmark; and

WHEREAS, on February 17, 2011, the Commission reviewed the nomination and initiated the landmark designation process; and

WHEREAS, the Commission has complied with the applicable provisions of Subsection (a) (3) “Designation Procedure” of the above Ordinance Section in that it visited the site, attempted diligently and in good faith to meet with the property owner, mailed notices, held a duly noticed public hearing, and received public comment; and

WHEREAS, the Commission found that the research and documentation contained in the nomination amply demonstrate the qualifications of the property to be a designated landmark; and

WHEREAS, on March 17, 2011, the Commission held a public hearing and voted to forward its recommendation to the City Council; and

WHEREAS, on April 20, 2011, the City Council held a public hearing on the proposed designation and received public testimony.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SOUTH PASADENA, CALIFORNIA, DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. The City Council considered the designation criteria contained in the Cultural Heritage Ordinance and makes the following findings:

1. ***The City Council finds that this resource is identified with a person whose work has influenced the heritage of the city, the State of California and the United States;***

During a career spanning more than five decades, Whitney R. Smith designed dozens of commissions throughout Southern California, for which he earned numerous local and national awards and mentions. Several projects illustrate particularly well Smith's career-long objective of combining modern design, meticulous craftsmanship, planning (on the level of the neighborhood as well as the site), and landscape architecture in all projects, regardless of scale or budget. By the early 1940s and throughout the post World War II era, Smith's many commissions were widely published and praised in national architectural periodicals as well as shelter magazines, including: *Arts and Architecture*, *Progressive Architecture*, *Architectural Record*, *Architectural Forum*, *New York Times*, *Los Angeles Times*, *Sunset Magazine*, *House and Garden*, *Better Homes and Gardens*.

Smith's commissions through the years reflects the significance of his contribution to the emergence of Southern Californian modernism including: the Unitarian Church in Pasadena, civic centers in Santa Ana and Buena Park, the San Luis Obispo Mission Plaza, the North Campus Student Union and Canyon Recreation Center at UCLA, Westridge School in Pasadena, the Central Power Building at the California Institute of Technology, tract housing in Reseda, the Mutual Housing Cooperative in Crestwood Hills, as well as many other commercial, civic, educational, and industrial commissions, and numerous residential projects, from the well-designed Minimum House, tailored to the restraints of a small urban lot, to large-scale custom-made homes.

2. ***The City Council finds that this resource is identified as the work of a person or persons whose work has influenced the heritage of the city, the state and the United States;***

Whitney R. Smith applied the same design principles he used in all of his projects, and are reflected in his residence and studio at 209 Beacon Avenue consisting of: quality materials, simply treated; exquisite craftsmanship and detailing; integration with the outdoors and site-specific planning; total design, including planning and landscaping; and a unique interpretation of the modern design, filtered through regional identity and precedent.

3. ***The City Council finds that this resource is the embodiment of elements of outstanding attention to architectural design, engineering, detail design, materials and craftsmanship.***

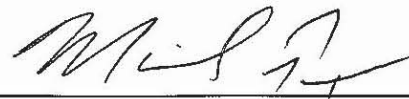
The Whitney R. Smith Residence and Studio represent outstanding and historically significant examples of Mid-Century Modernism in South Pasadena. Part of this movement, as seen in the Smith Residence, included the use of an open plan, designed specifically for the “servantless” family; expandability, as the family and its budget grew; complete integration with and focus toward the outdoors; and aesthetic effect achieved through the use of good, simply treated materials and a high level of attention to detail and craftsmanship. 209 Beacon Avenue reflects Smith’s innovative proposal for integrating home and garden, a central concern for modern American architects in the postwar period.

Smith also served as the home’s contractor, and the quality of his craftsmanship is apparent in features such as the butted-glass windows marking the north and south corners of the façade, as well as the seamlessness of the broad fascia and wide overhanging eaves that are the focal point of the façade design. The ingenuity of Smith’s design is further reflected in the livability and expansiveness of the residence, whose narrow urban lot, measuring 63 by 122 feet, was occupied only by converted garage when Smith purchased it in 1936. In addition to its significance as an outstanding example of Mid-Century Modern design, the Smith Residence reflects a distinct era in postwar American architectural history, during which modern architects were actively engaged in re-defining notions of the ideal contemporary home.

SECTION 2. Based on the evidence presented in the Staff Report, Minutes, other record of proceeding, and its findings herein, the City Council hereby approves the designation of the “Whitney R. Smith House and Studio” at 209 Beacon Avenue as official Historic Landmark Number 52.

SECTION 3. The City Council directs the City Clerk to file the appropriate designation with the office of the Los Angeles Registrar-Recorder/County Clerk.

PASSED, APPROVED AND ADOPTED ON this 20th day of April, 2011.



Mike Ten, Mayor

ATTEST:

APPROVED AS TO FORM:



Sally Kilby, City Clerk



Richard L. Adams II, City Attorney

I HEREBY CERTIFY the foregoing resolution was duly adopted by the City Council of the City of South Pasadena at a regular meeting held on the 20th day of April, 2011, by the following vote:

AYES: Cacciotti, Putnam, Schneider, Sifuentes and Mayor Ten

NOES: None

ABSENT: None

ABSTAINED: None



Sally Kilby, City Clerk

Exhibit “C”
Restoration Work Plan
&
Financial Analysis



Smith/Wilson Residence
209 Beacon Avenue, South Pasadena

Mills Act Application

Prepared By:
Gail and Mark Wilson
209 Beacon Avenue
South Pasadena, CA 91030

June 8, 2019

Smith/Wilson Residence, 209 Beacon Avenue

Mills Act Application

Table of Contents

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I Project Background	1
II Mills Act Work Plan, Schedule and Reporting System.....	3
III Description of Work Plan and Priorities	4
IV Financial Analysis.....	9

Appendix A: Photographic Overview of Existing Conditions

Appendix B: Supporting Documents

- A. Description of Restoration/Construction Work and Cost Estimates: Marsh Construction
- B. Annual Property Tax Statement, 2018
- C. Utility Bill: City of South Pasadena, Water Bill
- D. Utility Bill: Southern California Edison, Electric Bill
- E. Utility Bill: SoCalGas, Gas Bill
- F. Homeowner's Insurance Bill

Appendix C: Owner's Letter of Intent and Original Landmark Nomination

Section I Project Background

Constructed in stages between 1900 and 1962, 209 Beacon Avenue (APN #5317-006-001) is the masterwork of renowned Mid-Century Modern architect and South Pasadena resident, Whitney R. Smith. The property was purchased by Gail and Mark Wilson in 2008. In 2011, the Wilsons sought landmark designation for the property. The effort was successful, and the Smith/Wilson Residence was designated as a landmark in the City of South Pasadena in 2011. The property is also eligible for the National Register of Historic Places; the property owners are currently exploring a potential application for National Register designation.

In January 2019, the property owners filed an intent to apply for the Mills Act with the City of South Pasadena. The Letter of Intent to apply was discussed at the February 2019 hearing of the Cultural Heritage Commission (CHC). The CHC voiced their support for a Mills Act contract for 209 Beacon Avenue, formed a subcommittee to further the application, and encouraged the property owners to move forward with a Mills Act application.



On 22 March 2019, CHC subcommittee members Ms. Rebecca Thompson and Mr. Steven Friedman, toured the property for an overview of the work efforts and projects to be included in the Mills Act rehabilitation/preservation and maintenance plans for the property. At the May 2019 hearing of the Cultural Heritage Commission, the draft Mills Act plans were reviewed by the Commission. These plans reflect all feedback received to date.

The earliest segment of the Smith Residence was constructed in circa 1900, as a small garage converted to a guesthouse. After Smith purchased the property in the 1930s, as a recent graduate from the USC School of Architecture, he started expanding and adding on to the small guesthouse.

This phased construction and the complex character of the roof (which has hipped, flat, and sloped segments) has contributed to issues with water penetration and leaking that require careful detective work. As of December 2018, each new cycle of rain brings water intrusion and leaks throughout the home, including in the living room, dining room, and bedrooms, as well as along the building foundation at several entry points. In addition, the small studio has areas with water intrusion, among other issues.

Another area of the residence in need of repairs and preservation is the wood throughout the exterior. The use of simple, indigenous materials, such as wood sheathing, wood framing for windows, exposed wood rafter tails, and other similar features, was a signature feature of Smith's work. He preferred to let the materials speak for themselves, with a light stain/finishing to let the color and grain of the wood shine through. In this way, the Smith/Wilson Residence has numerous areas where the original wood,

which in some areas is nearly 70+ years old, shows signs of deterioration. Appendix B presents a brief photographic overview of the areas to be included in the Mills Act Rehabilitation, Preservation and Maintenance Plans.

Another signature feature in the work of Whitney Smith was a high degree of indoor-outdoor integration, with a purposeful melding of home and garden through the use of low entry thresholds, extensive landscaping, and hardscaping providing transitional space. In his home, Smith made use of a distinctive pebble hardscaping accented with wood-plank headers. Over time, some of this hardscaping shows areas of deterioration in need of repair.

As owners of a historic property and designated City landmark, the property owners understand the importance of ensuring that all repair, maintenance and rehabilitation projects follow the City guidelines and the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. Therefore, with these major repair and rehabilitation work efforts needed, the Mills Act would help facilitate this work and allow the property owners to address these issues to ensure maximum retention of this landmark's character-defining features.

This application reflects all feedback and suggestions provided by the CHC and CHC subcommittee.

Section II Schedule and Reporting System

Project	Year
1. Main House & Studio: Roof system repairs and waterproofing	2020
2. Main House & Studio: Carpentry/Repairs to wood features and repainting	2021
3. Main House: Repairs/reconstruction of north elevation door and wood screen	2023
4. Studio: Geotechnical Stabilization to corner of Studio	2025
5. Maintenance: Termite inspections/mitigation (Primary residence and Studio)	Annual inspection
6. Maintenance: Roof inspections and repairs as needed (Primary residence and Studio)	Triannual inspection
7. Maintenance: Paint inspection and repairs as needed (Primary residence and Studio)	Triannual inspection

Noncapitalized/As Needed Repairs:

- | | |
|---|---------|
| 1. Landscaping/foilage removal and management | Ongoing |
|---|---------|

Reporting Schedule

The property owners of the Smith/Wilson Residence will provide annual written updates to the City of South Pasadena in the final quarter of the year, documenting progress and providing updates and photographs on the Mills Act work plan.

Prior to commencement of work efforts, Certificates of Appropriateness (COA) will be obtained by the property owners as required by the City of South Pasadena Cultural Heritage Ordinance.

Progress reports will include detailed work descriptions, photographs of work completed, and copies of permits and COAs (if required).

Section III Description of Work Plan and Priorities

Work efforts described in these plans will comply with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*. Additional photos are included in Appendix A.

Proposed Project & Description	Est. Cost	Priority
<p>1. Main House & Studio: Roof system repairs and waterproofing Re-roofing, flashing repairs, mitigating water intrusion, site drainage improvements and moving water away from foundation, repairing areas on the interior with water penetration, mold, and damage. Task includes repairs/in-kind replacement of termite-damaged sheathing, starter boards and eaves where needed as well as mold mitigation and cleaning on character-defining interior spaces affected by water intrusion and repainting.</p>	\$60,200	High

Figure 1: Overview of issues and areas in need of repair and waterproofing



2. Main House & Studio: Wood repairs and re-painting \$ 52,700 High

Repairs and in-kind replacement where necessary of deteriorated wood exterior sheathing, roof rafter tails, fascia, and trim. This is the second highest priority for both the house and studio. Areas with the most advanced deterioration will be targeted first. Repairs will include character-defining wood sheathing on bedroom wings and window framing (re-finishing), re-painting to match existing. Roof wood features are addressed in Work Plan Item #1 above. If necessary, any replacement of character-defining materials and features will be in-kind to match existing exactly in materials, appearance, finishes/texture, and size/profile. All prep work will be undertaken in compliance with the *Secretary's Standards* (**no power washing or machine sanding** will be used for character-defining materials and features; hand-sanding and gentlest means possible will be used to prep surfaces for painting and refinishing).

Figure 1. Overview of wood elements and features in need of repair/replacement



Figure 2. Overview of areas in need of repainting and refinishing following repairs



3. Main House: Repairs/reconstruction of door and wood screen \$ 10,300 Medium

Character-defining door, hardware, and modular wood-screen door will be repaired and reconstructed to match existing. Door is secondary entrance located on north elevation.

Figure 3. Overview of secondary entrance door and wood screen door



4. Stabilization of Studio Foundation and Concrete/Stair Repairs \$26,200 High

Work effort includes mitigation to prevent or minimize further damage to Studio by soil settlement and root penetration from mature Fichus tree, which is integrated in the Studio building on the southern corner. Work efforts will include repairs to concrete and stair and new retaining wall around base of Fichus tree. All materials and features will match existing in appearance.

Figure 5. Overview of Studio



Section IV Financial Analysis

Proposed Project & Description	Est. Cost	Schedule
1. Main House/Studio: Roof system repairs/waterproofing	\$60,200	2020
2. Main House/Studio: Repairs/carpentry work and repainting	\$52,700	2020
3. Repairs/reconstruction of north elevation door/wood screen	\$10,300	2023
4. Studio: Geotechnical Stabilization to corner of Studio	\$26,200	2025
Total Investment in Smith/Wilson Residence:	\$ 149,400	
Total Tax Savings for Owners (10-year period)	\$ 137,000	
Average Annual Cost to the City of South Pasadena:	\$2,199	

Section IV Financial Analysis (con't)

Mills Act Application, Smith/Wilson Residence, Financial Analysis

209 Beacon Avenue, South Pasadena, California 91030
 Single-family Residence
 City of South Pasadena Historical Landmark

Assessor's ID #: 5317-006-001
 Current Assessed Value: \$ 1,414,700

REVENUES	Annual Increase	2019	Year 1 2020	Year 2 2021	Year 3 2022	Year 4 2023	Year 5 2024	Year 6 2025	Year 7 2026	Year 8 2027	Year 9 2028	Year 10 2029	
1. Monthly Revenues		6,000.00	6,180.00	6,365.40	6,556.36	6,753.05	6,955.64	7,164.31	7,379.24	7,600.62	7,828.64	8,063.50	
2. Annual Rental Income	3%	72,000.00	74,160.00	76,384.80	78,676.34	81,036.63	83,467.73	85,971.77	88,550.92	91,207.45	93,943.67	96,761.98	
ANNUAL EXPENSES													
3. Insurance	5%	1,148.00	1,205.40	1,265.67	1,328.95	1,395.40	1,465.17	1,538.43	1,615.35	1,696.12	1,780.92	1,869.97	
4. Utilities	6%	6,396.00	6,779.76	7,186.55	7,617.74	8,074.80	8,559.29	9,072.85	9,617.22	10,194.25	10,805.91	11,454.26	
5. Maintenance	5%	11,300.00	11,865.00	12,458.25	13,081.16	13,735.22	14,421.98	15,143.08	15,900.23	16,695.25	17,530.01	18,406.51	
6/7. Management / Other	0.00	0.00											
TOTAL EXPENSES													
8. Sum lines 3 through 7		\$18,844.00	\$19,850.16	\$20,910.47	\$22,027.85	\$23,205.42	\$24,446.44	\$25,754.36	\$27,132.81	\$28,585.62	\$30,116.84	\$31,730.74	
ANNUAL NET INCOME													
9. Line 2 minus line 8		\$53,156.00	\$54,309.84	\$55,474.33	\$56,648.49	\$57,831.21	\$59,021.29	\$60,217.41	\$61,418.11	\$62,621.83	\$63,826.83	\$65,031.24	
CAPITALIZATION RATE													
10. Interest Component	4.8%												
11. Historic Property Risk Component	4.0%												
12. Property Tax Component	1.0%												
13. Amortization Component	4.5%												
14. Total Capitalization Rate	14.3%												
NEW ASSESSED VALUE													
15. Mills Act Assessment (Line 9 divided by Line 14)		\$372,501.75	\$381,069.29	\$389,833.89	\$398,800.07	\$407,972.47	\$417,355.83	\$426,955.02	\$436,774.98	\$446,820.81	\$457,097.69	\$467,610.93	
TAXES: AMOUNT TO BE PAID													
16. Tax under Mills Act (Line 15 x .01035146)		3,855.94	3,944.62	4,035.35	4,128.16	4,223.11	4,320.24	4,419.61	4,521.26	4,625.25	4,731.63	4,840.46	
17. Current Tax	1%	17,172.00	17,347.15	17,524.10	17,702.84	17,883.41	18,065.82	18,250.09	18,436.24	18,624.29	18,814.26	19,006.17	
18. Tax Savings (Line 17 minus line 16)		13,316.06	13,402.53	13,488.75	13,574.68	13,660.30	13,745.58	13,830.48	13,914.98	13,999.05	14,082.63	14,165.71	
TAXES: COST TO CITY													
19. Annual Cost to City	16%	\$2,130.57	\$2,144.40	\$2,158.20	\$2,171.95	\$2,185.65	\$2,199.29	\$2,212.88	\$2,226.40	\$2,239.85	\$2,253.22	\$2,266.51	
												Annual Average	
												\$2,198.99	
													Total Tax Savings
													19,006.17

Appendix A

Photographic Overview of Issues

Figure 4. Primary Elevation, Smith Residence (top) and Studio (bottom)



Figure 5. Smith Residence, detail of exterior roof juncture (top) and area of interior ceiling with water penetration, Living Room (bottom)



Figure 6. Smith Residence, areas of interior ceiling with water penetration, Living Room (top and bottom)



Figure 7. Smith Residence, areas of interior with water penetration, bedroom closet (top) and secondary entrance, south elevation (bottom)



Figure 8. Smith Residence, roof features and segments in need of water proofing, repairs and rehabilitation



Figure 9. Smith Residence, roof features and segments in need of water proofing, repairs and rehabilitation



Figure 10. Smith Residence Studio, roof features and segments in need of water proofing, repairs and rehabilitation



Figure 11. Smith Residence, wood elements and features in need of repairs and rehabilitation



Figure 12. Smith Residence, wood elements and features in need of repairs and rehabilitation; north elevation entrance door and wood screen



Figure 13. Smith Residence, wood elements and features in need of repairs and rehabilitation; north elevation entrance door and wood screen



Figure 14. Smith Residence, character-defining hardscaping in need of repairs



Appendix B

Supporting Documents

- A. Description of Restoration/Construction Work and Cost Estimates: Marsh Construction, Inc.
- B. Annual Property Tax Statement, 2018
- C. Utility Bill: City of South Pasadena, Water Bill
- D. Utility Bill: Southern California Edison, Electric Bill
- E. Utility Bill: SoCalGas, Gas Bill
- F. Homeowner's Insurance Bill



Mark & Gail Wilson
209 Beacon Avenue
South Pasadena, CA 91030

Page 1 of 2

Quote – Exterior Painting & Carpentry

June 8, 2019

Preparation of Surfaces

- Wood:** - Scrape all loose or peeling paint.
- Hand sand in smaller areas to smooth.
 - Caulk cracks with flexible silicon sealant.
 - Prime all bare wood.
 - Epoxy patch using [Abatron WoodEpoxy](#)

- Masonry:** - Wire brush to remove foreign matter.
- Pressure wash using roto tip.
 - Where necessary, apply emulsion sealer to bond chalky surfaces.

- Metal:** - Wire brush and sand to remove rust and scale.
- Solvent wash.

This is a historic home, and therefore shall be require steps in accordance with careful restoration. The approach includes using the least pressure and impact necessary for each particular substrate. No power sanding. Careful hand sanding only, using the degree of grit only necessary for the job. Original materials shall be retained wherever possible. Replacement materials shall be of similar quality and dimensions as original. Architect shall be consulted at each step of the process.

Painting

Only top quality acrylic and oil based paints will be used, in accordance with manufacturers' specifications. Color samples and brush-outs will be provided.

See Page 2



**Ryan
Painting
Services**

St. License # 525355

(626) 799-2672

Mark & Gail Wilson
209 Beacon Avenue
South Pasadena, CA 91030

Page 2 of 2

Quote – Exterior Painting & Carpentry

June 8, 2019

Scope of Work: House, back area house, studio, trellis, fencing.

Preparation and painting house and studio:	\$ 42,400.00
Preparation and painting trellis and fencing:	5,300.00

Add:

Trellis

Carpentry House and Studio

2 carpenters @ 2200/week each. 2 weeks @ 4400	8,800.00
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Carpentry North doors and screens

2 carpenters @ 2200/week each. 2 weeks @ 4400	8,800.00
---	----------

Carpentry materials	3000.00
---------------------	---------



M. J. MARSH CONSTRUCTION, INC.

10431 Brightwood Drive, CA 92705
(310) 650-6003 License #417644

Proposal

5/6/2019

Mr. and Mrs. Mark Wilson
209 Beacon Street
South Pasadena, CA 91030

Estimate of Repairs to House & Studio:

Roofing Scope of Work (per Part A Diagram attached): remove existing 1,902 SF roof; install new roofing felt underlayment; asphalt shingle roof tile (where slope is greater than 3/12) and asphalt roll roofing (where roof is less than 3/12), to match existing; install galvanized sheet metal flashing at hips, valleys, cap flashing at eaves, crickets and vertical to horizontal transitions (such as at chimneys); install bonderized sheet metal box gutters and rectangular downspouts. **\$25,000.00**

- Allowance for water or termite damaged sheathing, starter board and eaves **\$ 3,500.00**
- Allowance for 7/16" OSB Plywood over the existing sheathing. (*not required if adequate nailing depth is found after removal*). **\$ 4,800.00**

Perimeter Drainage Scope of Work (per Part B Diagram attached): remove 30 CY of dirt around side and rear house perimeter and at 3' x 15' dispersal pit, to 15" depth; install geotex fabric liner and perforated 4" diameter ABS pipe continuously along the bottom of the excavated trench, fill with crushed gravel and top with 2" of black river washed flat stone pebbles (to match existing); connect french drain pipe to 4" diameter ABS pipe with a 1/8" per 12" minimum fall in a 75' long trench to daylight at front stone retaining wall; connect all roof gutter downspouts to 6" diameter ABS pipe using the same perimeter French drain excavation and connect to 6" diameter ABS pipe with a 1/8" per 12" minimum fall in the same 75' long trench to daylight at front stone retaining wall; backfill and compact trench to 95 proctor. **\$ 7,500.00**

- Allowance for Bituthene waterproofing and sheet metal flashing at slab on grade Perimeter (*where grade separation is less than 3" from top level of concrete*). **\$ 2,500.00**

Water Damage Repair Scope of Work (per Part C Diagram attached): wash stained and moldy surfaces with TSP/Bleach solution and dry with heaters, repair or remove and replace all drywall and plywood of affected areas; tape, float and sand smooth drywall; bondo and sand plywood joints; prime all repairs and paint to match existing. **\$ 6,200.00**

- Allowance to paint entire rooms where repairs are made **\$ 3,000.00**

Concrete Repair and Foundation Scope of Work (per Part D Diagram attached):

Remove existing steps and wood retaining walls around roots of Ficus tree; form new steps with black river washed flat stone pebbles concrete aggregate to match existing; form new 8" concrete retaining walls around perimeter of ficus root ball; form new 12" high by 6" wide concrete stem-wall curb dowelled 8" with an epoxy connection into the existing footing; slot cut, shore and extend depth of footing adjacent to ficus root ball 24"x24x 48" and 60" (in an L-Shape) and dowel 8" with an epoxy connection into existing footing; provide no. 4 rebar at 12" OC both ways

\$14,000.00

- Allowance to repair and shorten plywood spandrel panels, wood base plates and posts where stem walls are added

\$ 5,500.00

Sub-Total **\$72,000.00**
Overhead & Profit **\$14,400.00**

Estimated Construction Cost: **\$86,400.00**

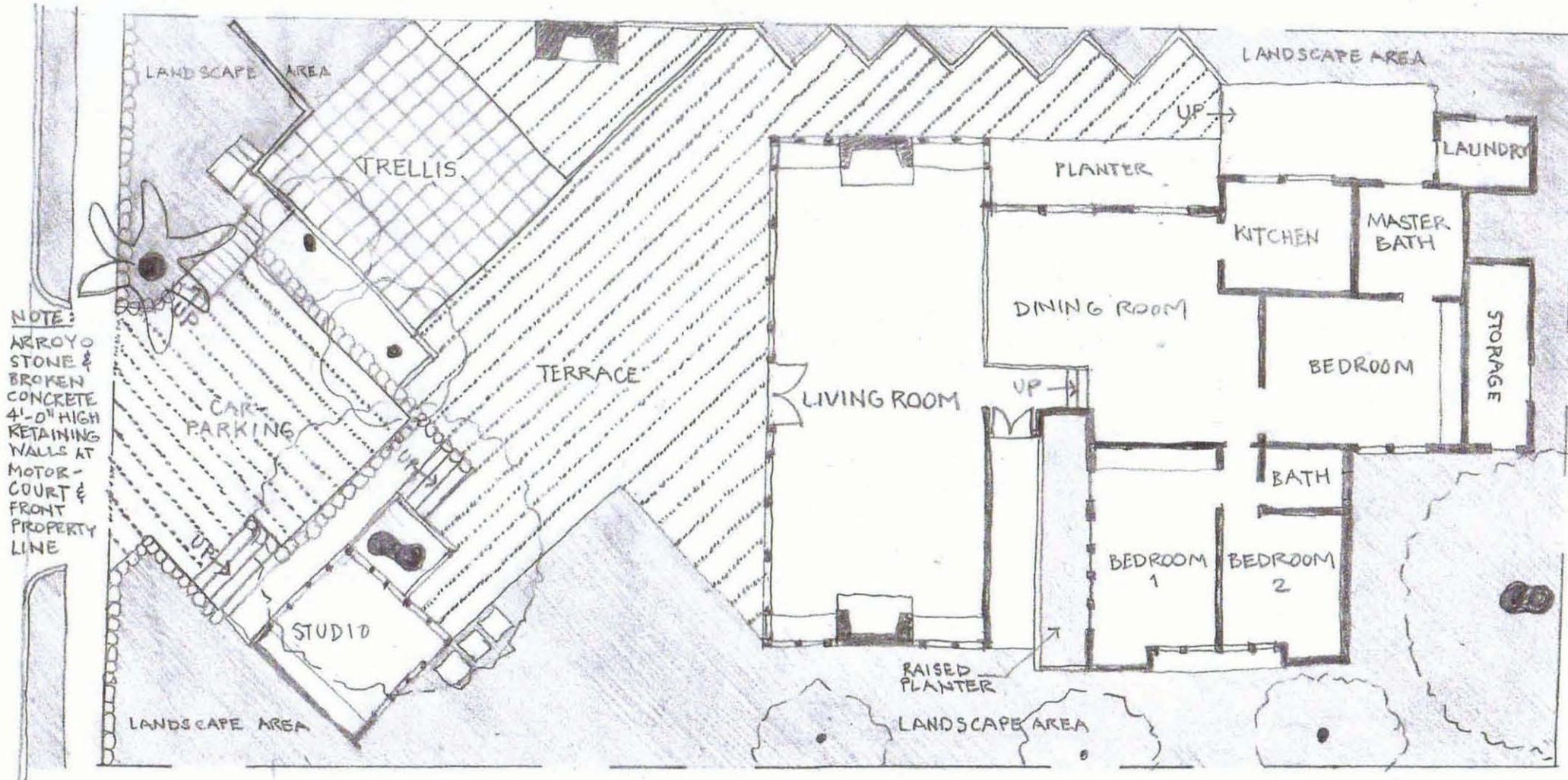
Exclusions: work which is not specified with in this proposal. Plans, permits and city fees. Tree branches or root removal. Site walkways, or sprinkler repairs.

M. J. Marsh Construction, Inc shall perform above scope of work per schedule provided to Client and agree to the terms and conditions on the attached pages, which terms and conditions are incorporated herein by this reference.

- Client _____ General Contractor _____ Date _____

Payment Schedule:

- 10% upon commencement
- 40% upon delivery of materials
- 40% upon substantial completion
- 10% upon completion

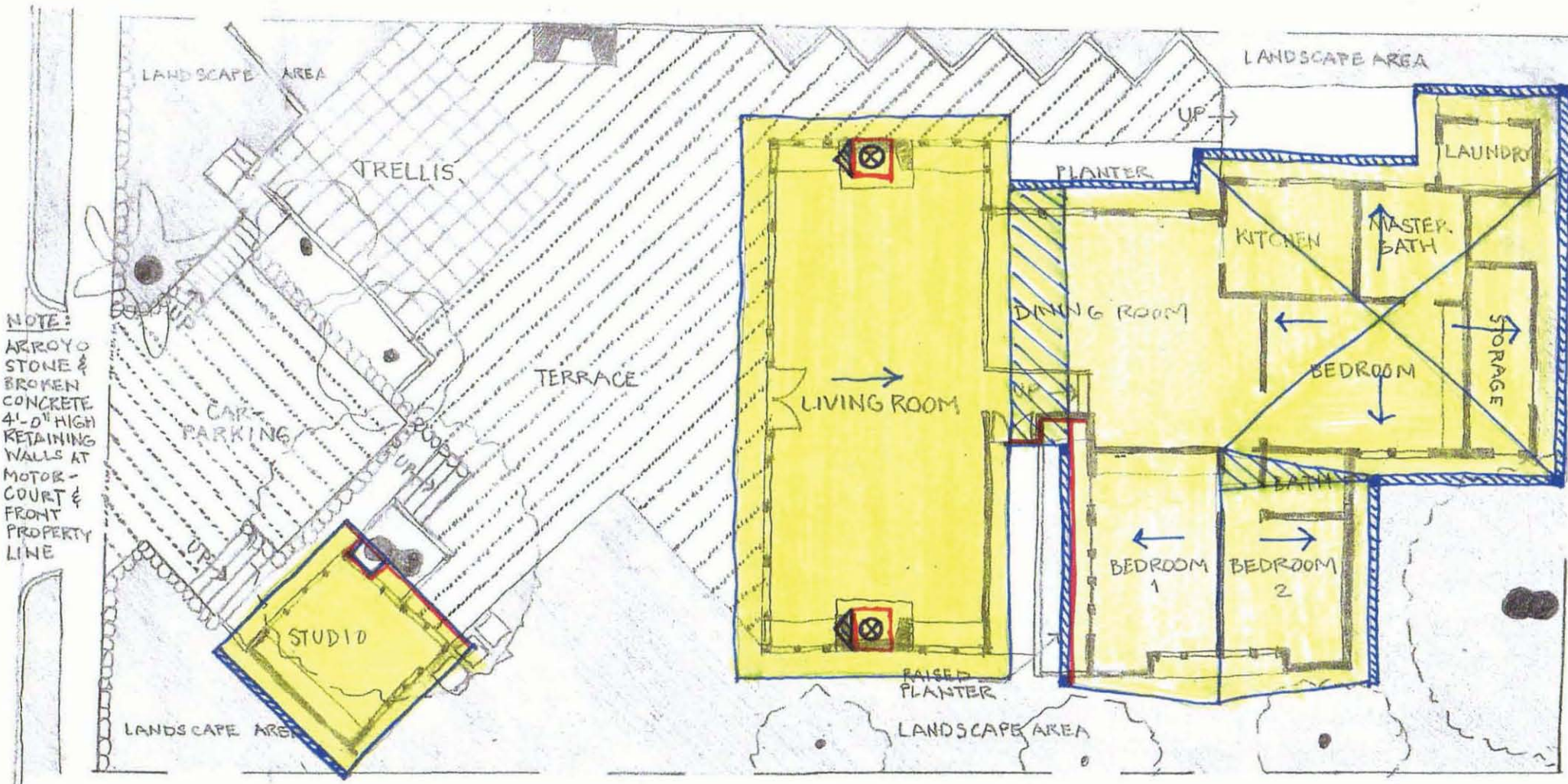


SITE PLAN (NOT TO SCALE)

SOUTH PASADENA HISTORIC LANDMARK NO. 52
THE WHITNEY SMITH RESIDENCE
209 BEACON AVENUE





MARK AND GAIL WILSON – OWNERS AND MILLS ACT APPLICANTS

Existing Conditions Property Location Diagram



SITE PLAN (NOT TO SCALE)

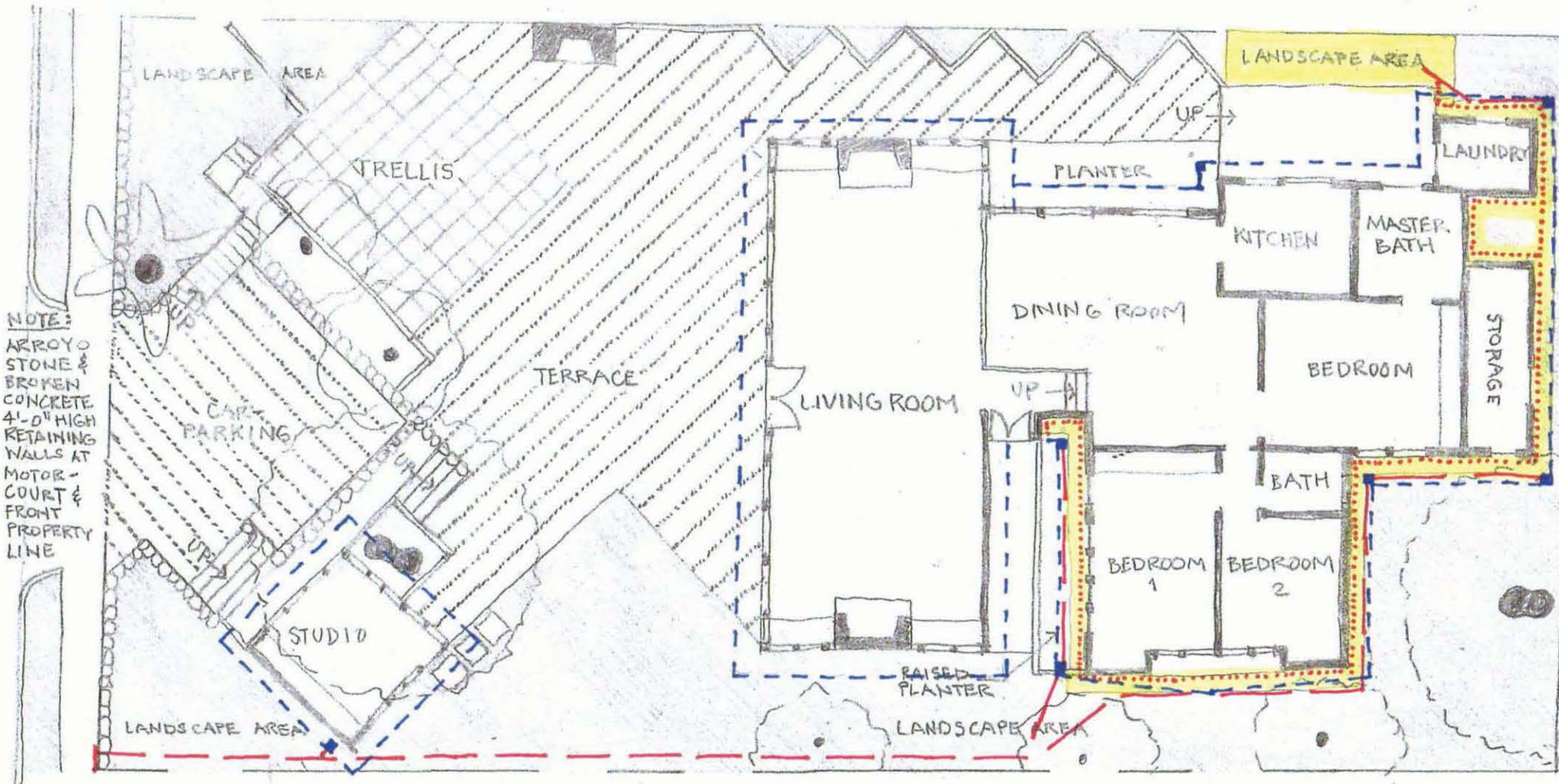
KEY:

-  ASPHALT ROOFING REPLACEMENT TO MATCH EXISTING
-  SHEET METAL FLASHING, CRICKETS AND VERTICAL / HORIZONTAL JOINTS
-  SHEET METAL BOX GUTTERS AND DOWNSPOUTS
-  WOOD SIDING AND FASCIA REPAIRS

SOUTH PASADENA HISTORIC LANDMARK NO. 52
THE WHITNEY SMITH RESIDENCE
209 BEACON AVENUE

MARK AND GAIL WILSON - OWNERS AND MILLS ACT APPLICANTS

Roofing, Flashing, Cricket and Gutter Work Location Diagram

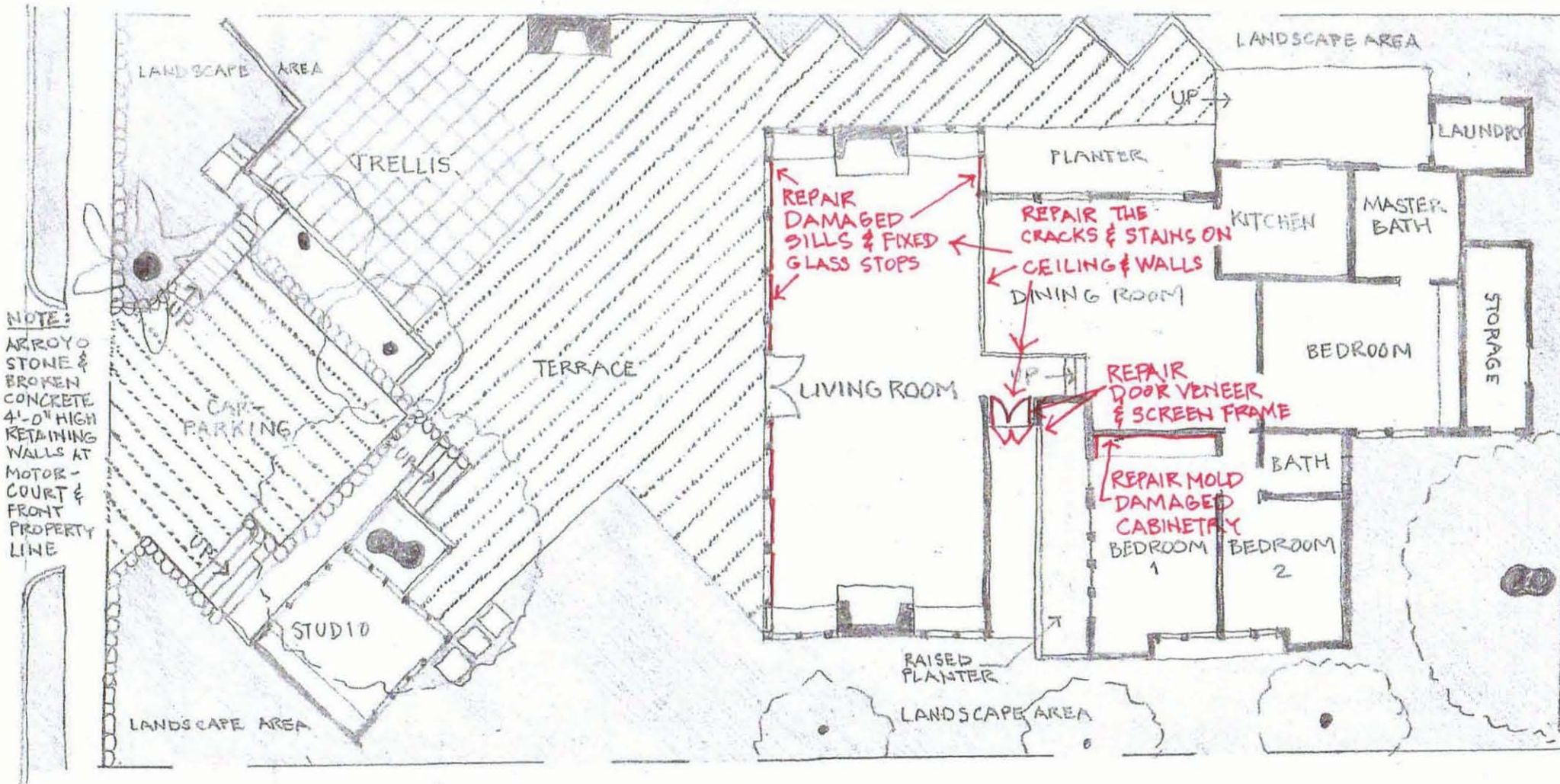


SITE PLAN (NOT TO SCALE)

SOUTH PASADENA HISTORIC LANDMARK NO. 52
 THE WHITNEY SMITH RESIDENCE
 209 BEACON AVENUE

MARK AND GAIL WILSON – OWNERS AND MILLS ACT APPLICANTS

Gravel Dispersion, French Drain, and Downspout Work Location Diagram

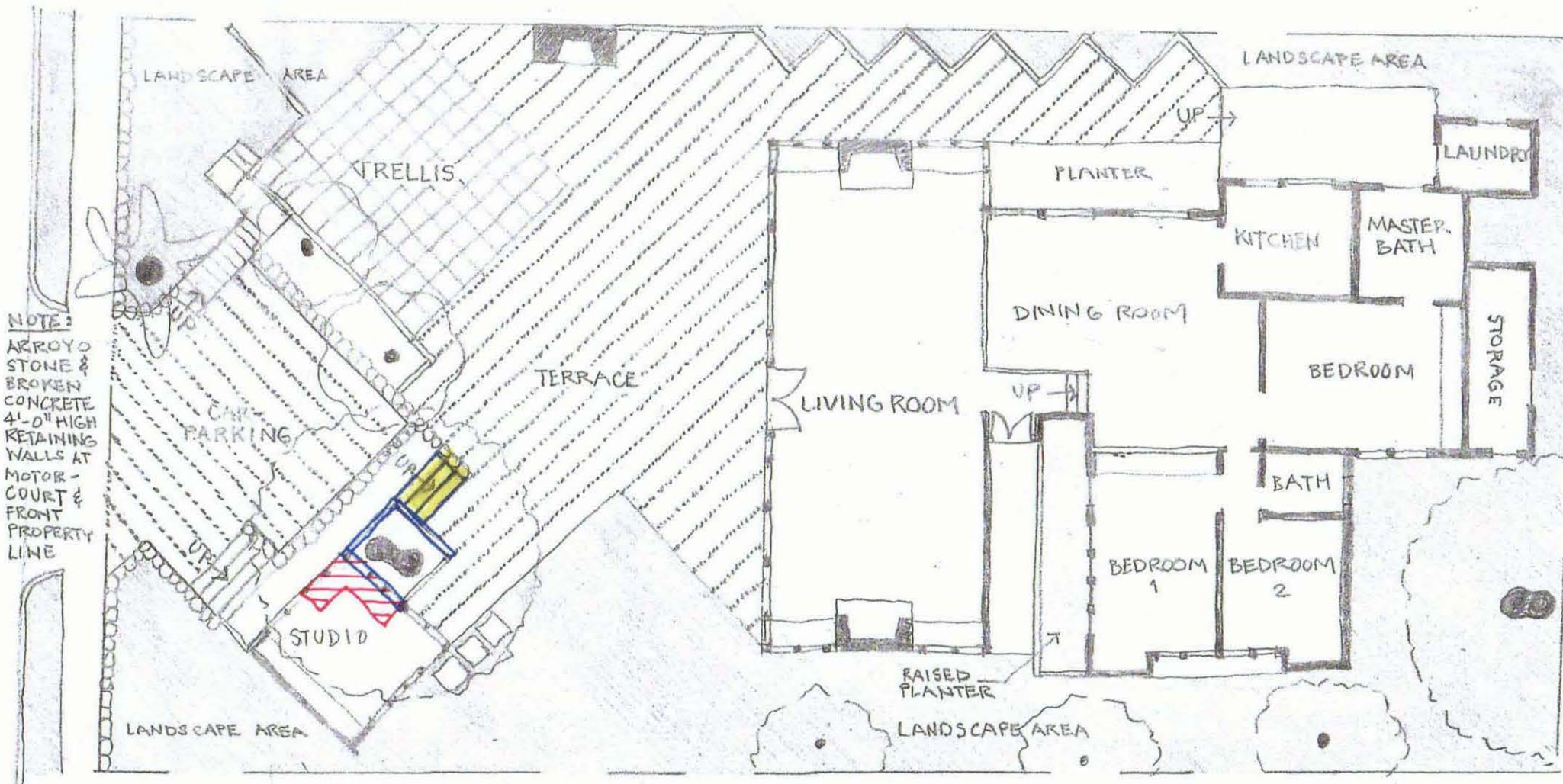


SITE PLAN (NOT TO SCALE)

SOUTH PASADENA HISTORIC LANDMARK NO. 52
THE WHITNEY SMITH RESIDENCE
209 BEACON AVENUE

MARK AND GAIL WILSON – OWNERS AND MILLS ACT APPLICANTS

Interior Drywall, Wood Trim, Cabinetry and Window Sill Repair Work Diagram



SITE PLAN (NOT TO SCALE)

SOUTH PASADENA HISTORIC LANDMARK NO. 52
THE WHITNEY SMITH RESIDENCE
209 BEACON AVENUE

MARK AND GAIL WILSON- OWNERS AND MILLS ACT APPLICANTS

Extend Footing, Concrete Stem Wall and Repair Stair Location Diagram

2018 ANNUAL SECURED PROPERTY TAX INFORMATION STATEMENT 2018

CITIES, COUNTY, SCHOOLS AND ALL OTHER TAXING AGENCIES IN LOS ANGELES COUNTY
SECURED PROPERTY TAX FOR FISCAL YEAR JULY 1, 2018 TO JUNE 30, 2019
 JOSEPH KELLY, TREASURER AND TAX COLLECTOR

FOR ASSISTANCE CALL 1(213) 974-2111 OR 1(888) 807-2111, ON THE WEB AT lacountypropertytax.com

PROPERTY IDENTIFICATION
 ASSESSOR'S ID. NO.: 5317 006 001 18 000
 OWNER OF RECORD AS OF JANUARY 1, 2018
 SAME AS BELOW

MAILING ADDRESS
 0152310-0152310 SMGL 003 1234-- 738495

 WILSON, MARK D AND GAIL C
 209 BEACON AVE
 SOUTH PASADENA CA 91030-1701

ELECTRONIC FUND TRANSFER (EFT) NUMBER
 ID#: [REDACTED]
 PIN: [REDACTED]

SPECIAL INFORMATION

DETAIL OF TAXES DUE FOR		ASSESSOR'S ID. NO.	YR	SEQ	CK
		5317 006 001	18	000	30
AGENCY	AGENCY PHONE NO.	RATE	AMOUNT		
GENERAL TAX LEVY ALL AGENCIES		1.000000	\$	14,147.10	
VOTED INDEBTEDNESS					
METRO WATER DIST		.003500	\$	49.51	
COMMNTY COLLEGE		.007674		108.56	
UNIFIED SCHOOLS		.143833		2,034.82	
DIRECT ASSESSMENTS					
FLOOD CONTROL	(626) 458-5165		\$	33.63	
COUNTY PARK DIST	(833) 265-2600			7.17	
SGV MOSQUITO&VCD	(800) 273-5167			11.98	
RPOSD MEASURE A	(833) 265-2600			28.53	
USGV MWD CHG	(866) 807-6864			8.00	
CNTY SAN DIST 16	(562) 908-4288			154.00	
MWD STANDBY #15	(866) 807-6864			9.26	
SPUSD PARCEL TAX	(800) 676-7516			386.00	
LIGHT/LANDSCAPE	(626) 403-7376			78.92	
TRAUMA/EMERG SRV	(866) 567-7462			80.64	
LIBRARY TAX	(626) 408-7832			34.01	

INFORMATION ONLY

PROPERTY LOCATION AND/OR PROPERTY DESCRIPTION
 209 BEACON AVE SOUTH PASA
 A O PORTER SUB OF PT OF PORTER&GREEN
 TRACT IN DIV G LANDS OF S G O G ASSN S
 63 FT OF E 122.5 FT OF
 LOT 12

TOTAL TAXES DUE	\$17,172.13
FIRST INSTALLMENT TAXES DUE NOV. 1, 2018	\$8,586.07
SECOND INSTALLMENT TAXES DUE FEB. 1, 2019	\$8,586.06

ASSESSOR'S REGIONAL OFFICE
 REGION #05 INDEX: TRA:09030
 EAST DISTRICT OFFICE
 1190 DURFEE AVE.
 SOUTH EL MONTE CA 91733
 (626)258-6001

VALUATION INFORMATION		
ROLL YEAR 18-19	CURRENT ASSESSED VALUE	TAXABLE VALUE
LAND	863,653	863,653
IMPROVEMENTS	551,057	551,057

TOTAL	1,414,710
LESS EXEMPTION:	
NET TAXABLE VALUE	1,414,710

ACCT. NO.: [REDACTED]

ANY RETURNED PAYMENT MAY BE SUBJECT TO A FEE UP TO \$50.00.



City of South Pasadena
 Questions? Call Customer Service
 1-855-518-4012 Hours M-F 7:30am to 5:30pm
 After Hours Emergency: (626) 403-7297
 Make payments locally at:
 1414 Mission St., South Pasadena, CA 91030
 Hours: M-TH 7:30am to 5pm, Fridays 7:30am to 4pm

UTILITY BILL

GAIL & MARK WILSON

Account Number: [REDACTED]
 Customer Number: [REDACTED]
 Location ID Number: [REDACTED]
 Bill Date: 02/20/2019
 Due Date: 03/22/2019

This bill reflects a sewer rate change. The sewer rates have changed effective May 1, 2018. For more information please contact the City of South Pasadena Finance Department at (626) 403-7250.

Account Summary

Previous Balance:	\$180.44
Payments Received - THANK YOU:	\$-180.44
Balance Forward:	\$0.00
Adjustments:	\$0.00
Current Charges - Past Due After 03/22/2019	\$206.52
TOTAL AMOUNT DUE:	\$206.52

GAIL & MARK WILSON
 Service Address: 209 BEACON ST
 Service Period: 12/10/2018 - 02/12/2019

Meter Read Type	Meter Number	Previous Meter Read	Current Meter Read	Days	Consumed in (CCF) 1 CCF = 748 Gallons	Consumed (Gallons)
AMR Read	8535368	12/10/2018	1191	02/12/2019	1216	64
					25	18,700

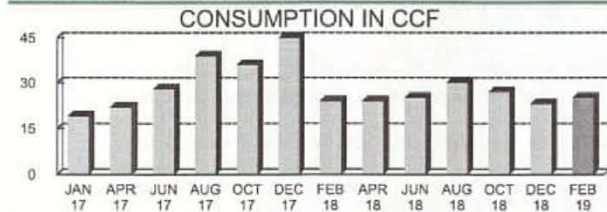
Water Consumption Charges Meter Size 3/4"

Description Tier (CCF)	Cost Per CCF	Use in Tier CCF	Current Charges
Water Consumption - Tier 1	\$2.93	5	\$15.12
Water Consumption - Tier 1	\$3.14	10	\$30.90
Water Consumption - Tier 2	\$3.69	3	\$12.66
Water Consumption - Tier 2	\$3.95	7	\$25.95
Totals		25	\$84.63

Current Charges and Adjustments

Water Basic Charge	\$77.28
Water Consumption	\$84.63
Efficiency Fee	\$3.50
Wastewater Basic Charge	\$26.70
Wastewater Discharge Fee	\$2.00
Utility Users Tax	\$12.41
Total Current Charges and Adjustments	\$206.52
Balance Forward Amount	\$0.00
TOTAL AMOUNT DUE	\$206.52

Compare Your Water Usage



Compare your usage to other City of South Pasadena Customers online at southpasadena.gwfathom.com



City of South Pasadena
 C/O Global Water Resources
 21410 N. 19th Avenue, Suite 201
 Phoenix, AZ 85027-2758

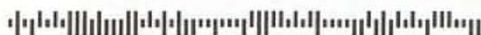


Please return this portion with your payment.
 Please make checks payable to City of South Pasadena.
 Please include customer account number.

Account Number	[REDACTED]
Due Date	03/22/2019
Amount Due	\$206.52
Enter Amount Paid	\$

A Late Fee will be applied if payment is received after the due date.

Pay online at <https://southpasadena.gwfathom.com>



505 1 MB 0.428 0108357-SPAS118809-ST.1GRP-000505
 GAIL & MARK WILSON
 PO BOX 16605457
 SIOUX FALLS SD 57186-0001

T: 3



SEND REMITTANCE TO:



CITY OF SOUTH PASADENA
 PO BOX 51159
 LOS ANGELES CA 90051-5459



Go paperless at www.sce.com/ebilling. It's fast, easy and secure.

For billing and service inquiries
1-800-684-8123
www.sce.com

Your electricity bill

WILSON, MARK / Page 1 of 6

Customer account

Rotating outage

Amount due \$389.13

Service account
3-031-8514-76
209 BEACON AVE
S PASADENA, CA 91030

Date bill prepared
02/23/19

PAST DUE

Your account summary

Previous Balance	\$416.87
Payment Received 01/30/19	-\$167.83
Past due amount	\$249.04
Your new charges	\$138.24
Late payment charge	\$1.85
Total amount you owe	\$389.13

Your bill includes a past due balance.

To avoid disconnection of your utility service, please pay the past due amount of \$249.04 on or before 03/14/19. For assistance or to make a payment, please call Customer Service at 1-800-950-2356. If you are having difficulty paying your bill by the due date, please contact us to discuss an extension that will work with your income schedule. For more information on programs that can help you pay your bill, go to www.sce.com/billhelper.

Get a discount on your bill every month

Your income may qualify you for discounted bills through the CARE or FERA program. To enroll or learn more, visit sce.com/careandfera or call 1-800-798-5723 (TTY 1-800-352-8580).

Recibe un descuento en tu factura cada mes

Si cumples los requisitos de ingresos, podrías recibir descuentos en tus facturas gracias a los programas CARE o FERA. Para inscribirte o obtener más información, visita sce.com/careandfera o llama al 1-800-798-5723 (TTY 1-800-352-8580).

Your past and current electricity usage

Please return the payment stub below with your payment and make your check payable to Southern California Edison. If you want to pay in person, call 1-800-747-8908 for locations, or you can pay online at www.sce.com.

(14-574)

Tear here

Tear here



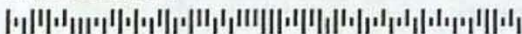
Customer account 2-30-624-2389
Please write this number on the memo line of your check. Make your check payable to Southern California Edison.

Past due charges - pay by 03/14/19	\$249.04
New charges - pay by 03/14/19	\$140.09
Total amount you owe	\$389.13

Amount enclosed

\$

STMT 02232019 P1



WILSON, MARK
PO BOX 16605457
SIOUX FALLS, SD 57186-0001

P.O. BOX 600
ROSEMEAD, CA 91771-0001

Go paperless at www.sce.com/ebilling. It's fast, easy and secure.

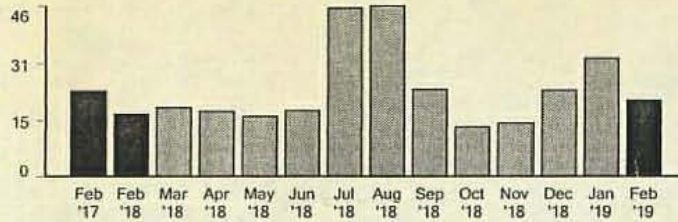
For meter 222010-395026 from 01/23/19 to 02/22/19
Total electricity you used this month in kWh

624

Your next billing cycle will end on or about 03/25/19.

Your daily average electricity usage (kWh)

2 Years ago: 23.23 Last year: 17.00 This year: 20.80



Details of your new charges

Your rate: DOMESTIC
Billing period: 01/23/19 to 02/22/19 (30 days)

Delivery charges - Cost to deliver your electricity

Basic charge	30 days x \$0.03100	\$0.93
Energy-Winter		
Tier 1 (100% of baseline)	318 kWh x \$0.08958	\$28.49
Tier 2 (101% to 400%)	306 kWh x \$0.14068	\$43.05
DWR bond charge	624 kWh x \$0.00503	\$3.14

Your Delivery charges include:

- \$9.29 transmission charges
- \$53.86 distribution charges
- \$0.03 nuclear decommissioning charges
- -\$2.60 conservation incentive adjustment
- \$8.04 public purpose programs charge
- \$3.57 new system generation charge

Generation charges - Cost to generate your electricity

DWR		
DWR energy credit	624 kWh x -\$0.00007	-\$0.04
SCE		
Energy-Winter		
Tier 1 (100% of baseline)	318 kWh x \$0.08470	\$26.93
Tier 2 (101% to 400%)	306 kWh x \$0.08470	\$25.92

Your Generation charges include:

- \$0.47 competition transition charge

Subtotal of your new charges		\$128.42
South Pasadena UUT	\$128.42 x 7.50000%	\$9.63
State tax	624 kWh x \$0.00030	\$0.19

Your overall energy charges include:

- \$1.17 franchise fees

Your new charges **\$138.24**

Additional information:

- Service voltage: 240 volts
- Your winter baseline allowance: 318.0 kWh
- High Usage Charge applies to all usage above 400% of baseline allowance.

<p>Your Total Usage: 624 kWh</p> <p>Understanding Your Bill... Your usage for the billing period falls into Tier 2. For most customers, the price you pay increases as you use more energy. The average cost per kilowatt (kWh) in the chart to the right is based on averages. Actual prices may vary.</p>	<table border="1"> <thead> <tr> <th>Tier 1</th> <th>Tier 2</th> <th>High Usage Charge</th> </tr> </thead> <tbody> <tr> <td>318 kWh</td> <td>306 kWh</td> <td>0 kWh</td> </tr> <tr> <td>\$0.18/kWh</td> <td>\$0.23/kWh</td> <td>\$0.40/kWh</td> </tr> </tbody> </table> <p style="text-align: center;">Your Total Usage 624 kWh</p> <p style="text-align: center;">High Usage Charge - Learn more at on.sce.com/highuse</p>	Tier 1	Tier 2	High Usage Charge	318 kWh	306 kWh	0 kWh	\$0.18/kWh	\$0.23/kWh	\$0.40/kWh
Tier 1	Tier 2	High Usage Charge								
318 kWh	306 kWh	0 kWh								
\$0.18/kWh	\$0.23/kWh	\$0.40/kWh								



ACCOUNT NUMBER [REDACTED]
 SERVICE FOR
 GAIL C WILSON
 209 BEACON AVE
 S PASADENA CA 91030-1701

DATE MAILED Jan 18, 2019 Page 1 of 2
 24 Hour Service
 1-800-427-2200 English
 1-800-342-4545 Español
 1-800-252-0259 TTY
 socialgas.com

Did you overlook paying your last bill? Please pay the total amount due to avoid collection notices. Disregard this message if payment was already made. Thank you.

Account Summary

Amount of Last Bill	\$150.94
Payment Received	- .00
Current Charges	+ 283.74
Total Amount Due	\$434.68

This bill reflects modified gas charges due to a rate change.

Current Charges

Rate: GR - Residential Climate Zone: 1 Baseline Allowance: 56 Therms
 Meter Number: 11147911 (Next scheduled read date Feb 14 2019) Cycle: 11

Billing Period	Days	Current Reading	Previous Reading	= Difference	x Billing Factor	= Total Therms
12/14/18 - 01/16/19	33	0078	9897	181	1.033	187

GAS CHARGES

Customer Charge	33 Days x \$.16438	5.42
Gas Service (Details below)	187 Therms	
	Baseline	Over Baseline
Therms used	56	131
Rate/Therm	\$1.05161	\$1.38275
Charge	\$58.89	+ \$181.14
		= 240.03
		Total Gas Charges \$245.45

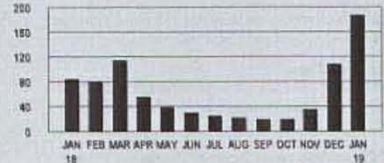
TAXES & FEES ON GAS CHARGES

State Regulatory Fee	187 Therms x \$.00166	.31
Public Purpose Surcharge	187 Therms x \$.09721	18.18
South Pasadena City Users Tax	\$263.94 x 7.50%	19.80
		Total Taxes and Fees on Gas Charges \$38.29

Total Current Charges \$283.74

	Due By	Amount
Past Due	Now	\$150.94
Current Charges	2/8/19	\$283.74
Total Amount Due		\$434.68

Gas Usage History (Total Therms used)



	Jan 18	Dec 18	Jan 19
Total Therms used	84	109	187
Daily average Therms	2.7	3.5	5.7
Days in billing cycle	31	31	31

SoCalGas is implementing a voluntary conservation effort, called the Dial It Down Alert, to promote reductions in natural gas consumption on certain days. For more information, visit socialgas.com/dialitdown

SoCalGas' gas commodity cost per therm for your billing period:
 Jan. \$.41589 Dec. \$.50314

PLEASE KEEP THIS PORTION FOR YOUR RECORDS. (FAVOR DE GUARDAR ESTA PARTE PARA SUS REGISTROS.)
 PLEASE RETURN THIS PORTION WITH YOUR PAYMENT. (FAVOR DE DEVOLVER ESTA PARTE CON SU PAGO.)



SERVICE ADDRESS 209 BEACON AVE S PASADENA CA 91030-1701

2541.1.21.7042 1 oz.
 GAIL C WILSON
 MARK WILSON
 PO BOX 16605457
 SIOUX FALLS SD 57186-0001

Save Paper & Postage
 PAY ONLINE socialgas.com
 ACCOUNT NUMBER [REDACTED]

	Due By	Amount
Past Due	Now	\$150.94
Current Charges	2/8/19	\$283.74
Total Amount Due		\$434.68

Please enter amount enclosed.



Write account number on check and make payable to SoCalGas.

SoCalGas
 PO BOX C
 MONTEREY PARK CA 91756-5111

Appendix C

Letter of Intent, January 2019, and Original Landmark Designation, 2011, Smith Residence, 209 Beacon Avenue, South Pasadena

Mark and Gail Wilson

209 Beacon Avenue, South Pasadena, California 91030

(p) 323.687.4841

(e) gailcwilson@gmail.com; mark.wilson54@yahoo.com

Darby Whipple, Senior Planner
Mark Gallatin, Chair, Cultural Heritage Commission
Planning & Building Department
1414 Mission Street
South Pasadena, CA 91030

2 January 2019

Dear Mr. Whipple and Mr. Gallatin:

We are writing to express our interest in applying for the Mills Act for our home at 209 Beacon Street, South Pasadena. As you know, 209 Beacon Street is a designated landmark in South Pasadena. Constructed in stages between 1900 and 1962, 209 Beacon Street is the masterwork of renowned Mid-Century Modern architect, Whitney R. Smith. Our home is also eligible for the National Register of Historic Places; we are currently in the process of exploring a potential application for National Register designation, as well.

We purchased the Smith Residence over a decade ago. Before moving to South Pasadena, we owned an early 20th century Craftsman Bungalow in a designated Historic Preservation Overlay Zone in Los Angeles. This experience taught us the joys of living in a historic property and acquainted us with the ideas of historic preservation. When we were ready to relocate to South Pasadena, we were thrilled to find the historic Smith Residence on the market.

After purchasing the home, we were eager to share this Modernist gem with others. In the spring of 2009, we opened up our home for the annual Society of Architectural Historians meeting, held that year in Pasadena. The tour was led by Debi Howell-Ardila (the preservation consultant helping us with this Mills Act application) and USC School of Architecture professor Dr. Ken Breisch. We quickly realized that the Smith Residence is not just a wonderful home for our family but also a nationally significant example of Modernist design. In 2010, we successfully sought landmark designation for our home; the landmark application, prepared by Ms. Howell-Ardila, follows this letter as Appendix A. In 2013, we hosted a tour of our home for the annual meeting of the South Pasadena Preservation Foundation.

Since we purchased the home, we have noted a number of repair and maintenance issues that have worsened over the years. We have done our best to address the repair and rehabilitation needs of our home, but at this point, with certain issues worsening, we recognize that we need the Mills Act in order to proactively address these issues and ensure that future changes to the home comply with preservation standards.

As noted above, our home was built by Whitney Smith for his family over stages; the earliest segment of the house was constructed in circa 1900, as a small guest house. After he purchased the property in the 1930s, Smith started expanding and adding on to the small guest house over the years. This phased construction and the complex character of the roof (which has hipped, flat, and sloped segments) has contributed to issues with water penetration and leaking that require careful detective work. As of December 2018, each new cycle of rain brings water intrusion and leaks throughout our home, including in the living room, dining room, our daughter's bedroom/closet, and our own bedroom, as well as along

the building foundation at several entry points. In addition, the small studio has areas with water intrusion, among other issues.

Another area of the residence in need of repairs and preservation is the wood throughout the exterior. The use of simple, indigenous materials, such as wood sheathing, wood framing for windows, exposed wood rafter tails, and other similar features, was a signature feature of Smith's work. He preferred to let the materials speak for themselves, with a light stain/finishing to let the color and grain of the wood shine through. In this way, our home has numerous areas where the original wood, which in some areas is nearly 70+ years old, shows signs of deterioration. Appendix B presents a brief photographic overview of some of the areas of concern that we would like to include in our Mills Act Rehabilitation, Preservation and Maintenance Plans.

Another signature feature in the work of Whitney Smith was a high degree of indoor-outdoor integration, with a purposeful melding of home and garden through the use of low entry thresholds, extensive landscaping, and hardscaping providing transitional space. In his home, Smith made use of a distinctive pebble hardscaping accented with wood-plank headers. Over time, some of this hardscaping shows areas of deterioration in need of repair.

As owners of a historic property and designated City landmark, we understand the importance of ensuring that maintenance and rehabilitation work to our home follows the City guidelines and the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. Therefore, with these major repair and rehabilitation work efforts in front of us, we feel that the Mills Act would help facilitate this work and allow us to address these issues to ensure maximum retention of our home's character-defining features.

Should the Cultural Heritage Commission approve our request to file a Mills Act application, we would welcome the opportunity to meet with the Cultural Heritage Commission members in order to provide more information on the tasks we would like to include in a Mills Act application.

Thank you in advance for your consideration.

Sincerely,



Gail and Mark Wilson

Appendices:

- A Original 2011 City of South Pasadena Landmark Application, Smith Residence
- B Photographic Overview of Issues

South Pasadena Cultural Heritage Commission

Landmark/Historic District Nomination Form

A. Property Identification

Name of building or site	Whitney R. Smith Residence and Studio
Property address	209 Beacon Street, South Pasadena, California
Current ownership	Mark & Gail Wilson
Owner address	209 Beacon Street, South Pasadena, California
Legal description	APN # 5317-006-001. The South 63 feet of the East 122 1/2 feet of Lot 12 of AD. Porters Subdivision of Part of Porter Green Tract, in Division "G" of Lands of San Gabriel Orange Grove Association in the City of South Pasadena, Los Angeles County, California, as per map recorded in Book 14, Page 97 of Miscellaneous records, in the office of the Los Angeles County Recorder, California.
Date of construction	Circa 1900 to 1962
Original Owner	Whitney Rowland Smith
Architect(s)	Whitney Rowland Smith
Builder	Whitney Rowland Smith
Original use	Two-vehicle garage (constructed circa 1900); guesthouse (circa 1907); single-family residence (by 1936).
Present use	Single-family residence
Other significant ownership	N/A

B. Property Description

Architectural style/period: Mid-Century Modern

Construction materials: *Original circa 1900 building:* Wood-frame construction, sheathed in board-and-batten wood siding.

Post-1936 additions: Wood post-and-beam construction; most common materials include slender wood posts and beams, single-sheet panels of 1/2-inch Douglas fir plywood, and 1/4-inch thick plate glass.

Historic Status/survey code: 4S2 (2002); code updated to 7N1 in 2003: "Needs to be reevaluated; may become eligible for NR with restoration or when meets other specific conditions."

Narrative description, including significant exterior and interior architectural features:

The Whitney R. Smith Residence began as a hipped-roof garage, constructed in circa 1900 on the grounds of a spacious Victorian-era residence, occupying an oversized parcel to the northwest, facing Columbia Avenue. (Figures 1 and 2) The garage appears on Sanborn maps as early as 1903. According to Los Angeles County Tax Assessor records, in circa 1907, it was converted to a guesthouse. By 1930, the oversized parcel of the Victorian residence had been redrawn and divided. At this time, the guesthouse became part of a different lot, directly to the north. (Figure 3) Between 1930 and 1936, during the onset of the Great Depression, the parcel was again divided into smaller lots, and the hipped-roof guesthouse shifted toward Beacon Street, now occupying its own narrow lot of 63 by 122 feet. In 1936, two years after graduating from the USC School of Architecture, Whitney Rowland Smith and his wife Virginia purchased the guesthouse and began expanding it. The home served as Smith's principal residence until circa 1988, the year of his retirement after more than 50 years of architectural practice in Southern California.¹

The Smith Residence and Studio now represent one of South Pasadena's most outstanding examples of Mid-Century Modern design, as well as the post-World War II quest by modern architects to redefine the ideal contemporary home. The residence consists primarily of additions made over a period of 21 years, from 1941 to 1962, as Smith gradually expanded the guesthouse to a three-bedroom residence. (Figures 4 through 10) In keeping with the tenets of Mid-Century Modern design, Smith aimed for a high degree of indoor-outdoor integration, designing the home around the early twentieth-century garden in which it is sited. The current-day landscaping retains a variety of mature trees dating to the early twentieth century, as well as an outdoor fireplace/incinerator, located in the lot's southeast corner, which dates to circa 1900 and features granite boulders, set in mortar, topped with a low, flared chimney.

¹ This landmark nomination was prepared by Debi Howell-Ardila; Ms. Howell-Ardila meets the Secretary of the Interior's Professional Qualifications Standards for architectural history; she holds a Masters in Historic Preservation from the University of Southern California and has five years of professional experience as an architectural historian and preservation consultant.

Narrative description, including significant exterior and interior architectural features (continued):

In spite of its extended construction period, the residence displays a seamless, balanced composition, both on the exterior and interior. Smith designed in a modern idiom that emphasized the honest expression of structure and materials, with an absence of historicist ornament and detailing. Aesthetic affect is achieved through the balanced, rhythmic composition of the residence's post-and-beam construction, a high level of craftsmanship, and the use of quality materials, simply treated.

Moving from the primary east elevation toward the rear of the house, the Smith Residence breaks down into three basic areas, which reflect the general chronology of the home's construction (these areas are illustrated in Figure 11):

- Area #1: Façade, principal entry, and living room, constructed in 1946 (south half) and 1962 (north half), capped with a slightly sloped butterfly roof
- Area #2: Dining room (circa 1907), second bedroom and covered terrace (1941), and third bedroom and bathroom (1951), enclosed beneath a single side gable
- Area #3: Original master suite and bathroom, from the original circa 1900 construction, capped with a hipped roof

This nomination also includes Smith's 1962 studio, which faces the house from the northeast corner of the lot.

The following architectural description details the character-defining features that convey the historic significance of the Smith Residence and Studio. The narrative section concludes with a summary of character-defining features. While the interior was substantially altered in a 1997 remodel, there are several intact features considered character defining that are also included.

Area #1: Façade, principal entry and living room (constructed from 1946 to 1962)

The Smith Residence is capped with a subtly sloped butterfly roof, sheathed in composition shingles. The roof ends in wide cantilevered eaves, with closed, unadorned soffits, providing shelter on the exterior and shading from the sun on the interior. The façade's main design motif is a rhythmic progression of wood post-and-beam modules, with in-fill provided through ground to ceiling plate-glass windows. (Figures 12 through 14) In Smith's interpretation of the modern glass box, the home's generous expanses of windows and clerestories frame the mature trees and plantings outside, making them an important component of the interior as well as the exterior design. In spite of its transparency, the Smith Residence also retains a high level of privacy; the home is set back from the street and built on a slightly elevated bed, enclosed behind a wood fence and nonoriginal iron gate. The entry way leading to the house curves through a number of mature trees, whose trunks and canopies shield the house from view. (Figure 15)

Narrative description, including significant exterior and interior architectural features (continued):

Centered on the façade, the entrance consists of double wood doors, set flush to the ground, framed beneath a six-foot-wide fixed clerestory window. Flanking the entrance are identical wings of post-and-beam modules, spaced at intervals of two and four feet. Each module displays a larger, single-pane window, topped with a fixed clerestory. Dividing these windows is an attenuated wood beam, which forms a t-shape across the façade. Smith's craftsmanship is also evident in the butted clerestory windows marking the façade's north and south ends. (Figures 16 and 17) Wood posts and beams throughout the exterior are finished with a dark brown/black stain.

This pattern of t-shaped modules wraps around the north and south sides, which display in-fill materials of plate glass windows, wood-frame windows, and single-sheet Douglas fir plywood. In addition, on the side elevations, fixed clerestory windows are tapered, following the slope of the butterfly roof. (Figure 18) The residence's extensive wrap-around, ground-to-ceiling windows provide a high degree of indoor-outdoor integration with the site's mature landscaping. French doors open directly onto the patio from the side elevations, further enhancing the connections between the interior and exterior.

Area #2: Second and third bedrooms and covered terrace (constructed from 1941 to 1951)

In 1941, Smith added a second bedroom and extended the home's living space on the east elevation by adding a covered terrace. (Figure 8) The residence's north side marks the division between Areas #1 and #2 clearly, in a landscaped path accessible through a side wood door, fronted by a set of wood-lattice French doors set flush to the ground. (Figures 19 and 20) This uncovered path is what remains of the covered terrace added by Smith in 1941. Sheltered beneath a grid of upward-sloping wood beams, supported on slender wood posts, the terrace extended the living space along the east elevation and enhanced indoor-outdoor integration for the living room and the bedroom that still faces it. As of 1941, the wood door providing access to this path also served as the home's principal entrance (though the entry originally featured a sliding screen). The absence of a clearly marked or elaborated entry was a feature Smith also purposefully designed into his 1945 Case Study House #5, the Loggia House.

On the north elevation, the exterior of the 1941 bedroom is sheathed in board-and-batten siding, capped with what was originally a shed-roof with shallow overhanging eaves, plain fascia, and closed soffits. Facing the landscaped path, the 1941 bedroom displays a band of six wood-framed windows, with four fixed panes flanked by two casements. (Figures 21 and 22) In addition, a grouping of floor-to-ceiling windows, consisting of fixed-pane and casement windows, topped with a tapered clerestory following the roof's slope, provide light and garden views on the north elevation. In 1951, Smith added the third bedroom, which formed a mirror image to the adjacent 1941 room. The shed-roof of the 1941 room was joined with that of the new bedroom, forming a seamless side gable. The north-elevation window configuration was also duplicated in the new room. (Figures 10, 23, and 24)

Narrative description, including significant exterior and interior architectural features (continued):

On the south elevation of Area #2, the exterior consists of floor-to-ceiling plate glass windows, recessed within wood posts set at intervals of roughly 4 feet. The generous expanses of glazing, combined with the interior's open plan, provide unimpeded views from all areas of the dining room, through the living room, to the garden and landscaping outside. (Figures 25 and 26)

In 1946, Smith added a living room to the home's south half. In a highly innovative gesture (and one the architect also employed in Case Study House #5), Smith took the principles of indoor-outdoor integration to a new level, literally bringing the outdoors inside. He converted the south half of the covered terrace into a greenhouse, retaining the wood-grid trellis and posts and enclosing them beneath a glass roof.² (Figures 27 to 29) In 1949, Los Angeles's pioneering architectural magazine, *Arts and Architecture*, published Smith's home, calling it a "living room for a garden."³ *Arts and Architecture* described Smith's home as a "room for living" that

rests lightly in a garden planted about forty years ago for a house of another generation. A great deal more than glass walls is implied here concerning the intimate relation of house and garden: the very slenderness of supports, the gray-green wall color, the rubbed-down wood ceiling, the subtle changes in floor level corresponding to those in the garden, the easy transition from inside to outside with no change of level and no threshold. ... Visually, night or day, the room extends 80 feet from the outside woven redwood fence near the outside fireplace and barbeque to the dining room.⁴

A month later, in September 1949, the *New York Times* featured Smith's home as the illustration for an article describing "designs for better living" for "the home today and tomorrow."⁵ Although the greenhouse is no longer extant, Smith's innovative solutions for establishing indoor-outdoor connections between the modern home and garden are intact in the Smith Residence.

Area #3: Original Hipped-Roof Garage (constructed in circa 1900)

Currently occupying the master suite and bathroom, the original construction of the Smith Residence consists of a small, square building that originally served as a garage for the spacious Victorian-era residence in an adjacent lot to the northwest, facing Columbia Avenue. Sheathed in board-and-batten siding, the original building is capped with a hipped roof with composition shingles. The roof terminates in shallow eaves, with plain fascia and closed, unadorned soffits.

² The greenhouse is no longer extant. This area, along with the wood-grid roof and glass covering were either replaced or covered with a new ceiling. While building permits do not specify the date of this alteration, the most likely date, based on building permits, would have been 1997, during a major remodel valued at \$102,500.

³ "Living Room for a Garden," *Arts and Architecture*, August 1949, pp. 22-23.

⁴ Ibid.

⁵ Roche, Mary, "Designs for Better Living, the Home Today and Tomorrow," *New York Times*, 25 September 1949.

Narrative description, including significant exterior and interior architectural features (continued):

A band of four wood-frame windows and French doors occupies a majority of the north wall of the master suite, providing access and views to the garden. Based on the building's orientation on the 1903 Sanborn map, these window openings mark the location of the garage's original door. (Figures 2, 6, and 30) On the south side of the original building, the kitchen displays a tripartite band of steel-frame fixed and casement windows. A door off the kitchen (which was part of the original remodel of the garage in circa 1907) provides access to the garden and laundry/utility room in the southwest corner of the residence. (Figure 31)

Area #4: Studio (constructed in 1962)

Smith's studio mirrors the design of the residence, which it faces at an angle from the lot's northeast corner. Constructed in 1962, the one-room, rectangular building features a rhythmic progression of t-shaped wood posts and beams, with modules filled with large sheets of glazing. Smith's site planning easily connects the studio to the residence, with diagonal strips of broom-finish concrete, set with pebble headers, providing additional visual continuity between the studio and residence. (Figure 32)

Capped with a slightly sloping roof, the building's horizontality is emphasized through the use of a broad fascia and wide, cantilevered roof eaves. The studio's generous expanses of windows enhance the indoor-outdoor integration between the studio and garden. Smith further emphasized site-specific planning by designing around a mature Ficus tree on the site. In a feature often seen in the work of avant-garde modernists in Southern California, the Ficus was incorporated into the design by perforating the eaves with a large rectangular opening, through which the trunk of the tree extends. (Figure 33)

The street-facing (east) side of the studio displays shallow roof eaves, as well as in-fill panels of single-sheet Douglas fir plywood, topped with fixed clerestory windows for additional light. The east side of the studio rests above the sidewalk, on slightly raised ground, retained with a base of horizontal wood planks. (Figure 34)

Summary of Character-Defining Features, Exterior, Residence and Studio:

- Absence of historicist ornament or detailing
- Roof configuration (hipped, gabled, and slightly sloping butterfly roof lines)
- Wood post-and-beam construction; module size and configuration
- Original materials, such as board-and-batten siding; slender wood posts and beams; a uniform dark finish on exterior wood features; single-sheet Douglas Fir plywood
- Configuration and materials of original windows (where extant), including plate-glass and butted windows, steel- and wood-frame casements, French doors, and clerestories

Narrative description, including significant exterior and interior architectural features (continued):

Summary of Character-Defining Features, Exterior, Residence and Studio (continued):

- Broad, slightly sloped wood fascia, uninterrupted across the façade and around the side elevations
- Wide overhanging eaves, cantilevered and unadorned
- Perforated roof eaves (studio only), allowing incorporation of mature Ficus tree
- Original doors, including double-wood doors on façade, set flush to the ground, beneath fixed single-pane clerestory; north elevation door and wood-lattice French doors; kitchen door; north and south elevation French doors to patio; master suite French door

Summary of Character-Defining Features, Landscaping and Hardscaping:

- Open, landscaped exterior spaces between living room and second bedroom, and third bedroom and master bedroom
- Mature trees and plantings
- Granite-boulder fireplace/incinerator with low flared chimney (Figure 35)
- Broom-finish concrete set in diagonal strips and concrete pavers
- Entry steps, leading from sidewalk, and raised planters faced in horizontal wood siding
- Low, stream-rock wall and cut-rock retaining wall with raised wood planter (to the south of entry gate)
- Fence of horizontal wood strips, fronting the property

Summary of Character-Defining Features, Interior:

- General configuration of the interior (including room divisions)
- Open view sheds from dining room, through living room, to the garden and patio outside
- Original closets in children's bedrooms
- Brick steps and base leading from the living room to the dining room

Additions/modifications

Alterations (non-character-defining):

- Remodel of living room, kitchen, dining room (few original features remain)
- Non-original trellis, in southeastern corner of lot (but occupies site of original trellis)
- Non-original wrought-iron gates, exterior
- Chimneys, enclosed in plywood, mark both the north and south elevations; based on available documentation, these appear to be nonoriginal. Further research would be necessary to determine the date of these additions.

C. Discussion of Designation Criteria

Please indicate rationale for qualification under one or more criteria in Section 2.73A-14(2) of the South Pasadena Cultural Heritage Commission:

Criterion B. Its identification with a person, persons, or groups who significantly contributed to the culture of the city, state or United States, and

Criterion E. Its identification as the work of a person or persons whose work has influenced the heritage of the city, state or United States:

The Whitney R. Smith Residence and Studio are eligible under Criteria B and E as the creation and long-term residence of Whitney Smith, one of Southern California's most prolific and influential Mid-Century Modern architects. For over 50 years, from 1936 until his retirement in the late 1980s, Smith resided at 209 Beacon Street, which he designed and constructed from a converted hipped-roof garage. In addition, for 30 years, Smith based his architectural practice in South Pasadena, establishing a collaborative venture at 1414 Fair Oaks Avenue with his partner Wayne Williams and three other firms: Eckbo, Dean & Williams, led by renowned landscape architect Garrett Eckbo; Simon Eisner & Associates, city planning consultants; and Selje & Bond, industrial designers.

A native of Pasadena, Smith attended Pasadena City College before transferring to the USC School of Architecture, from which he graduated in 1934. During the time Smith attended USC, its School of Architecture had just launched an experimental modern curriculum whose multidisciplinary emphasis is reflected in Smith's varied professional interests. In the post-World War II era, Smith became best known for his contributions to the iconic Case Study House program, launched in 1945 by *Arts and Architecture* magazine. However, well before war's end, Smith had amassed a significant portfolio of projects that had already placed him on the national map of architects charting a middle ground between high-style modernism and regional precedent and identity. In addition, his range of interests reflected not only modern design but also the challenges facing

C. Discussion of Designation Criteria (continued)

the architectural profession during the late 1930s and early 1940s, such as the architect-designed small house, prefabrication, tract housing, innovative commercial design, and planning sensitive to circulation, pedestrian access, and landscaping.

During a career spanning more than five decades, Smith designed dozens of commissions throughout Southern California, for which he earned numerous local and national awards and mentions. Several projects illustrate particularly well Smith's career-long objective of combining modern design, meticulous craftsmanship, planning (on the level of the neighborhood as well as the site), and landscape architecture in all projects, regardless of scale or budget. In 1937, the year the Dust Bowl triggered a massive internal migration to the western United States, Smith was invited to participate in the design of large-scale resettlement projects funded through the Farm Security Administration (FSA). As scholar Greg Hise has observed, California's FSA camps offered modern designers an "unparalleled opportunity to test and refine the hypothesis and proposals of planners, reformers, and productionists"; FSA housing projects in California proved particularly influential in the postwar period as innovative examples of low-cost "community building."⁶ Smith's tenure in the FSA's regional office in San Francisco would have overlapped with that of Garrett Eckbo, Smith's future partner in Community Facilities Planners in South Pasadena.

Scholar Richard Longstreth points to Smith's experience with the FSA as instrumental in introducing the architect to "some of the most important avant-garde initiatives in community design of the prewar period."⁷ In 1941, Smith applied his skill for integrating architecture, planning, and landscape design to one of his most influential pre-1945 commissions, the Linda Vista Shopping Center, near San Diego. Funded by the National Housing Agency, the Linda Vista Shopping Center provided much-needed commercial amenities for a 3,000-home tract of defense-working housing. As *Architectural Forum* proclaimed in 1944, in Smith's Linda Vista Shopping Center, "grass on Main Street becomes a reality," with a curvilinear, pedestrian-oriented mall, turned inward on a landscaped garden, with parking areas and traffic encircling the mall's exterior.⁸

Longstreth pointed out that, for modern architects, wartime projects "were considered of vital importance in defining priorities for the postwar era." But, among all wartime commercial projects, "No scheme was more influential than that finally erected at Linda Vista in 1943" by Smith and Associates.⁹ The *Pasadena Community Book* joined in the praise of its young hometown architect, writing that Linda Vista was the "first large scale

⁶ Hise, Greg, *Magnetic Los Angeles: Planning the Twentieth-Century Metropolis* (Baltimore, MD: Johns Hopkins University Press, 1997), pp. 86-116; quoted here p. 116.

⁷ Longstreth, Richard, *City Center to Regional Mall: Architecture, the Automobile, and Retailing in Los Angeles, 1920-1950* (Cambridge & London: MIT Press, 1998), p. 453, footnote 46.

⁸ "'Grass on Main Street' Becomes a Reality, Shopping Center, Linda Vista, California," *Architectural Forum*, September 1944, pp. 81-93.

⁹ Longstreth, p. 295.

C. Discussion of Designation Criteria (continued)

shopping center to recognize the proper place for the automobile and pedestrian park,” and, as such, became “recognized nationally as the outstanding example of such planning.”¹⁰

By the early 1940s and throughout the postwar period, Smith’s many commissions were widely published and praised in national architectural periodicals as well as shelter magazines, including *Arts and Architecture*, *Progressive Architecture*, *Architectural Record*, *Architectural Forum*, *New York Times*, *Los Angeles Times*, *Sunset Magazine*, *House and Garden*, *Better Homes and Gardens*, among many others. Locally, Smith also remained active in local planning issues. In 1941, he led the Urban Redevelopment Section for the Greater Los Angeles Citizens’ Committee. In 1944, he was re-elected president of the Pasadena Citizens’ Council for Planning, which focused on a postwar plan for the city and solutions for parking issues downtown. In addition, he served on the South Pasadena Planning Commission and Community Redevelopment Agency, and spent time as a visiting critic and lecturer at the USC School of Architecture and Scripps College in Claremont. The *Pasadena Star News* proclaimed in 1944 that the architect possessed a “varied and versatile” professional range, “despite his youth.”¹¹

Smith would have been 34 years old when tapped in 1945 by *Arts and Architecture* publisher John Entenza to design the magazine’s fifth Case Study House. As scholar Elizabeth A.T. Smith observed, Smith’s proposal for Case Study House #5, the Loggia House, proved innovative even for the Case Study House program: “Unlike many of the other Case Studies, it incorporated outdoor living directly within the confines of its plan.”¹² The *Los Angeles Times* described the Loggia House as “the most ‘extreme’ as well as the most ‘native Californian’ of the early Case Study designs.”¹³ While the project was never built, 209 Beacon Street provided the architect with a blank slate upon which to execute many of his ideas for Case Study House #5, which Smith envisioned as a “pattern of shelter and space which turns inward upon itself. It anticipates the possibility and hope for introspective living.”¹⁴ As in Case Study House #5, the Smith Residence breaks down traditional ideas of interior spaces: inward focused, designed as an extension of the garden and grounds surrounding it, lacking traditional processional spaces or an elaborated entrance.

In addition to his Case Study House designs in 1945 and 1946, in 1949 Smith participated in one of Southern California’s most notable avant-garde experiments in modern housing, the Mutual Housing Association development in Crestwood Hills. The project

¹⁰ “Whitney R. Smith,” *Pasadena Community Book*, 1947, p. 226. Available in the Pasadena Room, Pasadena Public Library.

¹¹ “Public Support Factor in Planning for Future,” *Pasadena Star-News*, 25 November 1944.

¹² Jones, Amelia, and Elizabeth A.T. Smith, “The Thirty-Six Case Study Projects,” in Elizabeth A.T. Smith, *Blueprints for Modern Living: History and Legacy of the Case Study Houses*. Cambridge, MA: The MIT Press, 1989), pp. 41-82; cited here p. 48.

¹³ Smith, Elizabeth A.T. *Blueprints for Modern Living: History and Legacy of the Case Study Houses* (Cambridge, MA: MIT Press, 1989), p. 48.

¹⁴ Case Study House #5, Whitney R. Smith, A.I.A., Architect, *Arts and Architecture*, pp. 27-31; quoted here p. 28.

C. Discussion of Designation Criteria (continued)

brought Smith together with Eckbo, structural engineer Edgardo Contini, and architect A. Quincy Jones, all Smith's fellow design critics at the USC School of Architecture. Over a dozen of the original homes from the Mutual Housing Association development have since been designated as Historic-Cultural Monuments in the City of Los Angeles. In addition, several of Smith's projects enjoy landmark status in Pasadena, including the 1950 office building at 547 E. Union Street (locally listed and found eligible for the National Register of Historic Places) and the Friend Paper Company, 100 W. Green Street, designed in 1965 by Smith & Williams.

In 1957, Smith was advanced to Fellowship in the American Institute of Architects, an honor bestowed for achievement in design. A year later, Smith, along with his partner Wayne Williams, inaugurated their garden-office complex at 1414 Fair Oaks Avenue in South Pasadena, which they custom-designed for a new collaborative venture called the Community Facilities Planners. The office originally brought together four firms: Smith & Williams; the renowned landscape architecture firm of Eckbo, Dean & Williams; the city planning firm of Simon Eisner & Associates; and industrial designers Selje & Bond. While membership evolved over the years (with members including John Kariotis, A. Quincy Jones, Victor Gruen, and Edgardo Contini), the idea behind the collective remained intact, with professionals from a range of fields operating separate offices, but within close proximity of one another to facilitate collaboration.

The Community Facilities Planners building was designed specifically for this purpose, with a series of separate but interrelated pavilions, united beneath a soaring, vaulted sunshade of corrugated metal, designed to filter southern sun exposure while also allowing northern light to illuminate drafting rooms. Energy efficiency also figured prominently in the building's design, with Smith and Williams explaining that the use of the "vaulted steel parasol structure, in addition to providing the most favorable lighting conditions..., reduced the required air conditioning tonnage by more than 20%, thus paying for itself in a very short time."¹⁵ In this building, Smith & Williams managed to strike a masterful chord between the industrial materials of its construction and the warmth, balance, and complexity of its interior spaces, which feature meticulously planned pavilions, grouped around a landscaped garden with a small pool and fountain, hanging flower baskets, and redwood benches. Community Facilities Planners earned its designers an Honor Award from the Pasadena Chapter of the AIA in 1959 and a Grand Prix Citation from the City of Los Angeles and Southern California Chapter of the AIA in 1967. The 1967 citation described 1414 Fair Oaks Avenue as "one of the most significant buildings erected in the Los Angeles area since 1947." In 1973, the firm of Smith & Williams was dissolved, and Smith continued his own practice from the offices at 1414 Fair Oaks Avenue. In 2003, the Community Facilities Planners building was designated a South Pasadena historic landmark.

¹⁵ Community Facilities Planners, 1414 Fair Oaks Avenue, South Pasadena, "Brief Description of the Project," n.d. Smith & Williams Archives, Architecture & Design Collection, University Art Museum, University of California, Santa Barbara.

C. Discussion of Designation Criteria (continued)

Even a partial list of Smith's commissions through the years reflects the significance of his contribution to the emergence of Southern Californian modernism: the Unitarian Church in Pasadena, civic centers in Santa Ana and Buena Park, the San Luis Obispo Mission Plaza, the North Campus Student Union and Canyon Recreation Center at UCLA, Westridge School in Pasadena, the Central Power Building at the California Institute of Technology, tract housing in Reseda, the Mutual Housing Cooperative in Crestwood Hills, as well as many other commercial, civic, educational, and industrial commissions, and numerous residential projects, from the well-designed Minimum House, tailored to the restraints of a small urban lot, to large-scale custom-made homes. In all projects, Smith applied the same design principles reflected in 209 Beacon Street: of quality materials, simply treated; exquisite craftsmanship and detailing; integration with the outdoors and site-specific planning; total design, including planning and landscaping; and a unique interpretation of the modern design, filtered through regional identity and precedent.

Smith retired in circa 1988 and eventually joined his daughter Annabel in Bend, Oregon. In 2002, Smith died at the age of 91. Recalling Smith and Williams' work, Julius Shulman, who photographed much of the architect's work over the years, described Smith & Williams' brand of regionally-inflected modernism: "they broke away from the flat roofs, the box-like design and they instead opened up interiors with higher ceilings, sloping roofs and many features which made the modern houses more livable."¹⁶

Scholar Elizabeth A.T. Smith echoed this idea, observing that

one of the primary characteristics of Smith's design not only in these [Case Study House designs] but throughout his career was his synthesis of experimental materials and structures with a real sense of appreciation for nature, the climate in Southern California and the landscape. And he was able to fuse these concerns to create very sensitively designed architecture.¹⁷

¹⁶ McLellan, Dennis, "Whitney Smith, 91; Pioneer in Modernist Architecture," *Los Angeles Times*, 28 April 2002.

¹⁷ *Ibid.*

C. Discussion of Designation Criteria (continued)

Criterion F. Its embodiment of elements of outstanding attention to architectural design, engineering, detail, materials or craftsmanship:

The Whitney R. Smith Residence & Studio represent outstanding and historically significant examples of Mid-Century Modernism in South Pasadena. In addition to its embodiment of Mid-Century Modern design, the residence reflects two central concerns for modern architects in the post-World War II era: how to place prefabricated materials in the service of improved residential design, and how to re-think traditional ideas about the American home and propose alternatives that were more informal, functional, and suited to contemporary times. Part of this movement, as seen in the Smith Residence, included the use of an open plan, designed specifically for the servantless family; expandability, as the family and its budget grew; complete integration with and focus toward the outdoors; and aesthetic effect achieved through the use of good, simply treated materials and a high level of attention to detail and craftsmanship. 209 Beacon Street reflects Smith's innovative proposal for integrating home and garden, a central concern for modern American architects in the postwar period.

Smith also served as the home's contractor, and the quality of his craftsmanship is apparent in features such as the butted-glass windows marking the north and south corners of the façade, as well as the seamlessness of the broad fascia and wide overhanging eaves that are the focal point of the façade design. Although seamless, the façade was designed in parts, with the south side constructed in 1946, and the north side following in 1962. The ingenuity of Smith's design is further reflected in the livability and expansiveness of the residence, whose narrow urban lot, measuring 63 by 122 feet, was occupied only by converted garage when Smith purchased it in 1936.

In addition to its significance as an outstanding example of Mid-Century Modern design, the Smith Residence reflects a distinct era in postwar American architectural history, during which modern architects were actively engaged in re-defining notions of the ideal contemporary home. As Elizabeth A.T. Smith observed, this issue was of particular concern to Smith, who was occupied by an "ongoing attempt to fundamentally rethink the organization of the single-family house."¹⁸ While Smith's Case Study Houses remained unbuilt, his own residence provided a blank slate upon which to carry out his ideas for modern residential design.

¹⁸ Smith (1998), p. 48

D. Present Condition

Exterior Residence: Good/fair

Studio: Fair/Poor (the segment of the Fichus tree that extends through the roof eaves has begun to grown into and impact the roof. The roofline and eaves show the stress of the trunk. In addition, the owners report that the interior of the studio has begun to leak. This issue needs mitigation in order to retain both the studio and the Fichus tree, both important character-defining features).

Interior While heavily altered, the remaining character-defining features on the interior appear to be in good repair.

Site Good/Fair

Neighborhood context The Smith Residence and Studio represent a relatively isolated example of Mid-Century Modernism in a neighborhood otherwise dominated by early-twentieth century Craftsman Bungalows and period-revival homes. The neighborhood, though, retains the single-family residential character it had when Whitney Smith purchased 209 Beacon Street and began expanding it.

E. Proponents

Mark and Gail Wilson, owners

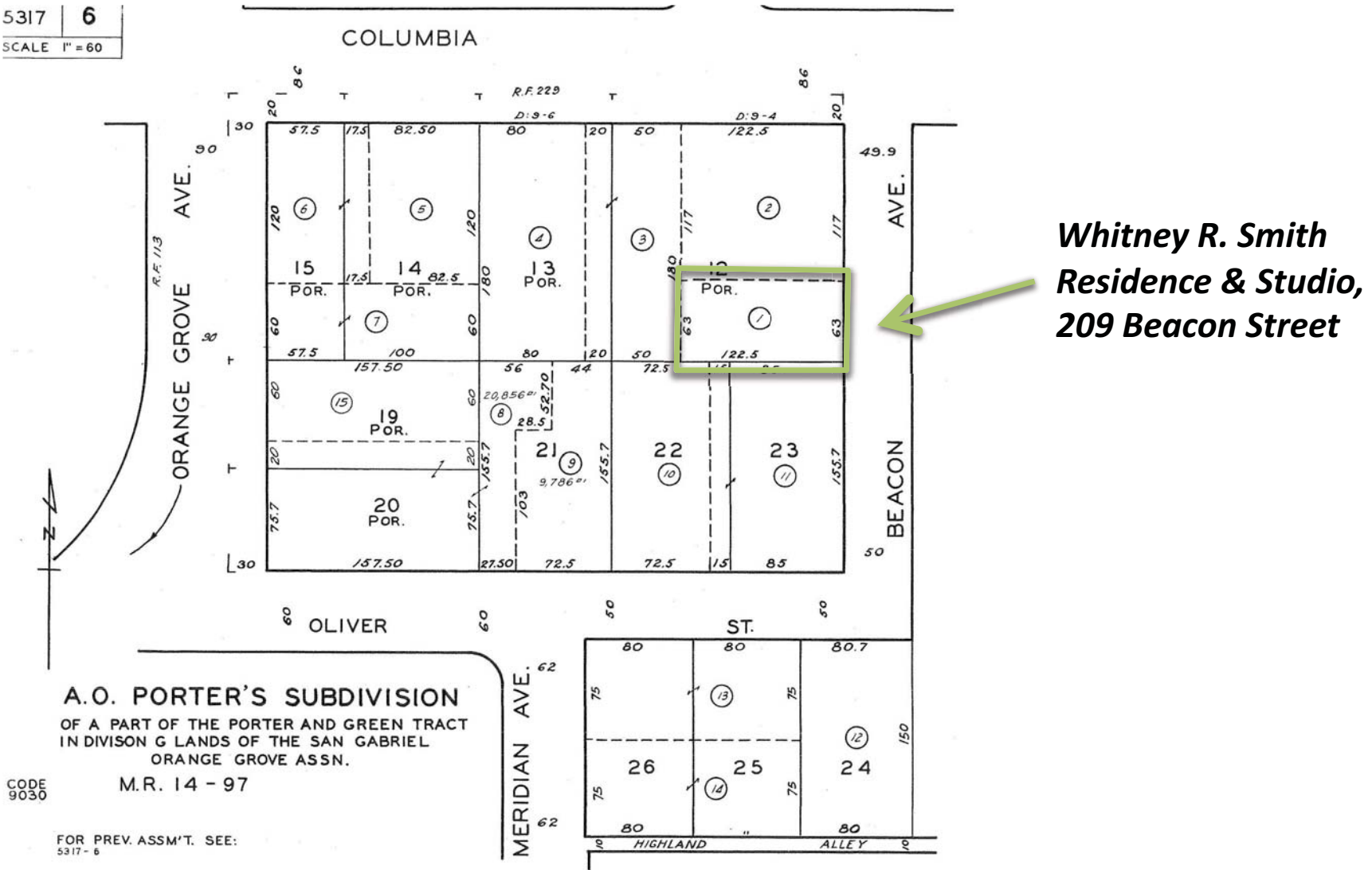
Deborah Howell-Ardila, architectural historian and preservation consultant

F. Owner Consent (Although individual properties may be designated as South Pasadena historic landmarks or parcels within historic districts without owner consent, every effort should be made to inform owners of the advantages and opportunities designate and to secure owner support.) If you, as owners, support the designation of your property as a landmark or a parcel in a historic district, please so signify in the space below:

I/we certify that I/we am/are the owners of the property being hereby nominated for designation as a landmark or as a parcel within a historic district under the Cultural Heritage Ordinance of the City of South Pasadena, California and herby consent to said designation of the property as a landmark or parcel within a historic district.

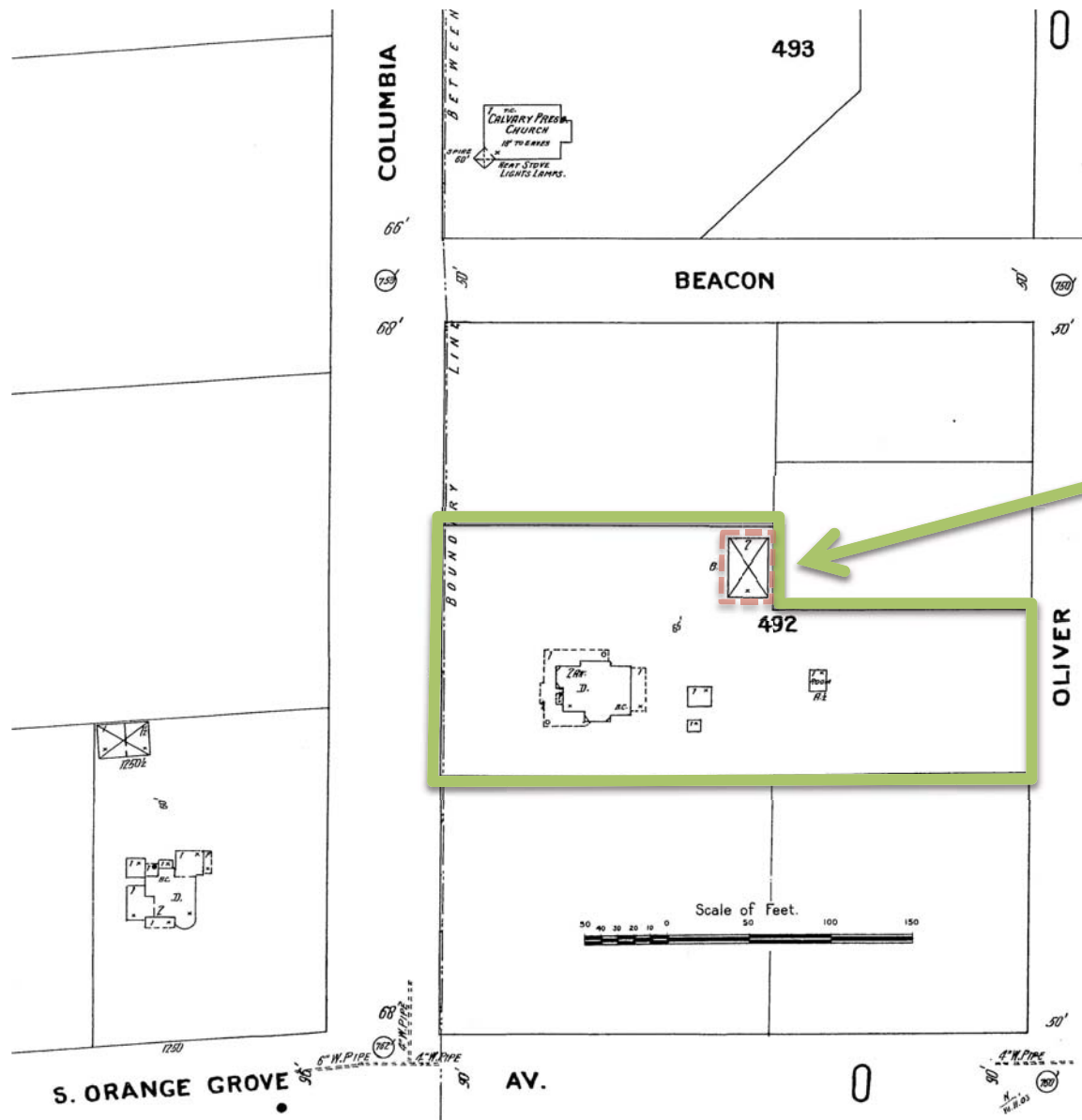
_____ Dated _____

_____ Dated _____



**Whitney R. Smith
 Residence & Studio,
 209 Beacon Street**

Figure 1 Location of Whitney R. Smith Residence and Studio. When the original garage was constructed in circa 1900, it formed part of a spacious, Victorian-era residence, facing Columbia Avenue. Source: Los Angeles County Tax Assessor Map.



**Original hipped-roof garage
of the Smith Residence,
Sanborn Map, 1903**

Figure 2 This 1903 Sanborn map shows the original construction of the Smith Residence, a small hipped-roof garage located on the grounds of a Victorian-era residence facing Columbia Avenue. Source: Sanborn Fire Insurance Map, Pasadena, 1903, Sheet 78.

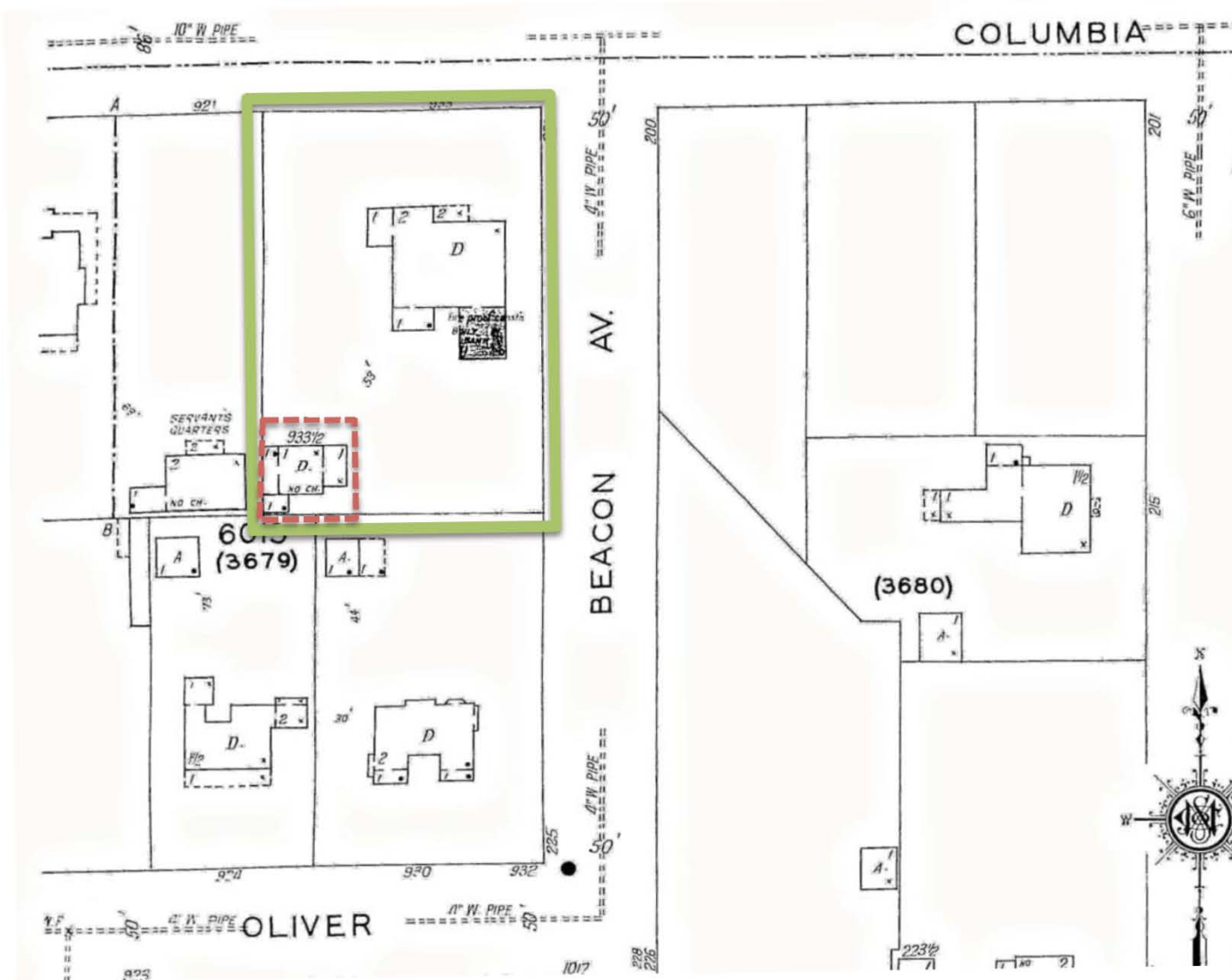


Figure 3 By 1931, the large original lots had been divided, and the hipped-roof garage of the Smith Residence shifted to the parcel directly adjacent to the north, with the address 933 1/2 Columbia Ave. Source: Sanborn Fire Insurance Map, Pasadena, 1930-1931, Vol. 6, 2C, Sheet 604.

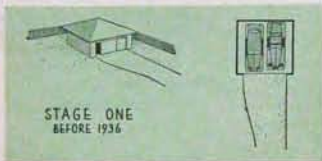
The magic of remodeling . . .

A house that grew year by year as the family grew . . .

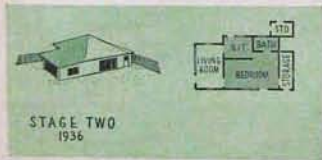
There are two ways to build the house you want. You can plan it at one point in time, trying to anticipate the future. Or you can buy an older house and alter it slowly to fit changing family needs, and as your budget increases to meet these needs.

For his own house, Architect Whitney R. Smith of South Pasadena, California, started small, with a remodeled double garage. In its future expansion, he could try continuously developing ideas, and he could make changes gradually.

Through this evolution, begun nearly 20 years ago, the house has become what you see here and on pages 62 and 63. Additions: an enlarged kitchen, an extra bath, a children's wing, a living room-greenhouse, a complete new living room, and a spacious terrace for outdoor dining and entertaining.



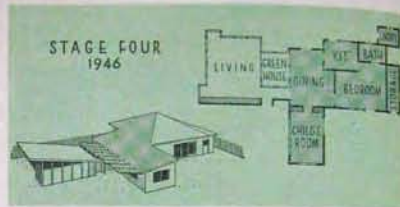
Stage 1 happened before the present owners entered the scene. The sale of the back garden of a large, old house meant here was a new home site with established trees, and also with an existing building in the form of a hipped roof double garage.



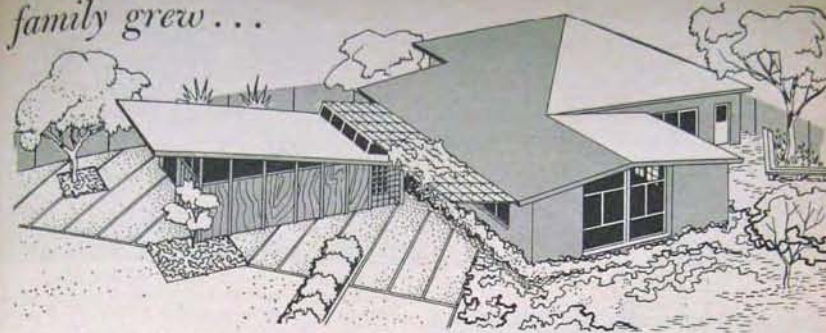
Stage 2 was the first remodel. The garage was partitioned to make a large bedroom, a kitchen, and a bath. A dining-living room was added to one side of the garage, storage space to the other. This is what the Smiths found when they bought in 1936.



Stage 3 began in 1941. The Smiths converted part of the added-on storage space to a laundry, then added a new room for their daughter. They also extended their living space with a terrace off the living-dining room; they added a trellis from the roof

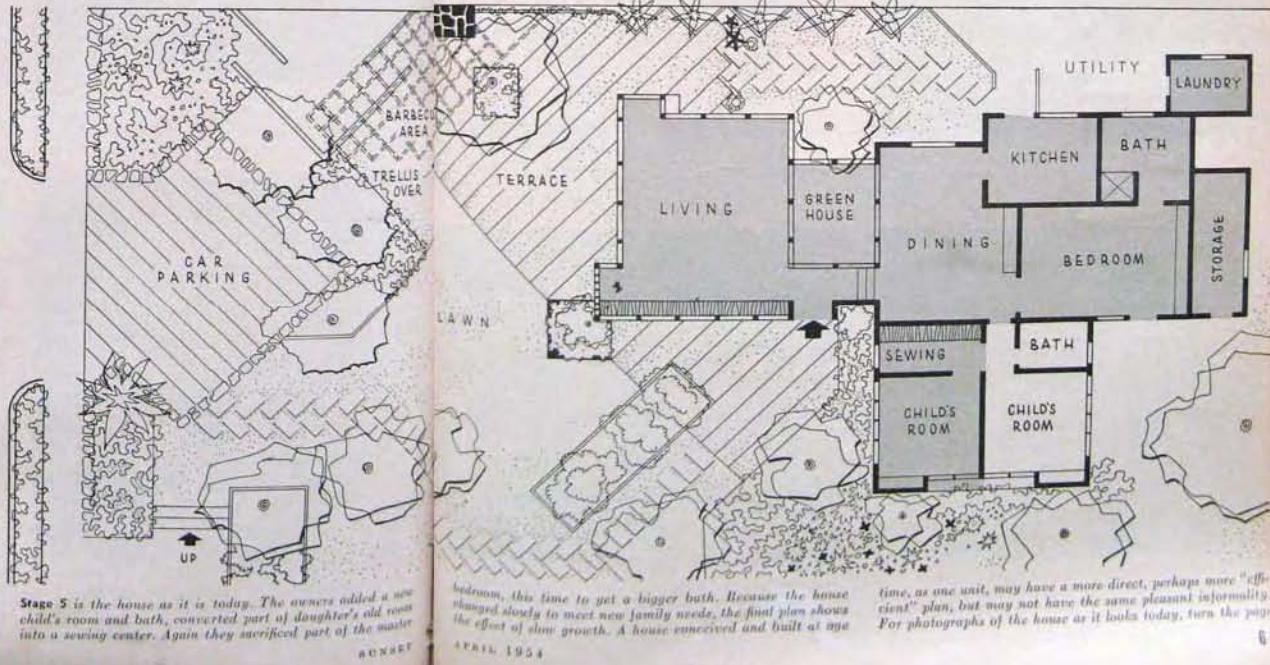


Stage 4 shows three more major alterations. The trellis over the terrace, added at stage 3, now supports a glass roof for an interior garden or greenhouse between the dining room (or former living room) and the newly added living room. Within the original building, the Smiths sacrificed a little of the master bedroom floor space by moving a wall to get a bigger kitchen



1936-1954: Here is the house today. No visitor ever sees it from this overhead angle, but we show it this way to explain how the separate additions were joined to the original garage structure. The large plan, below, also shows the house as it appears today, and how the site has finally been developed, divided into terraces, garden, car parking and (off kitchen

and laundry) utility area. Notice how the entry path from the car parking area winds through the trees, so the front of the house is hidden from the street. The terrace off the living room gives circulation around the house, and the barbecue area with trellis overhead gives space for outdoor entertaining. For details on how the barbecue area works, turn to page 82.



Stage 5 is the house as it is today. The owners added a new child's room and bath, converted part of daughter's old room into a sewing center. Again they sacrificed part of the master

bedroom, this time to get a bigger bath. Because the house changed slowly to meet new family needs, the final plan shows the effect of slow growth. A house conceived and built at one

time, as one unit, may have a more direct, perhaps more "efficient" plan, but may not have the same pleasant informality. For photographs of the house as it looks today, turn the page.

Figure 4 This Sunset Magazine article, "The Magic of Remodeling," traces the construction history of Whitney Smith's 209 Beacon Street, up to 1954. Source: *Sunset Magazine*, April 1954.

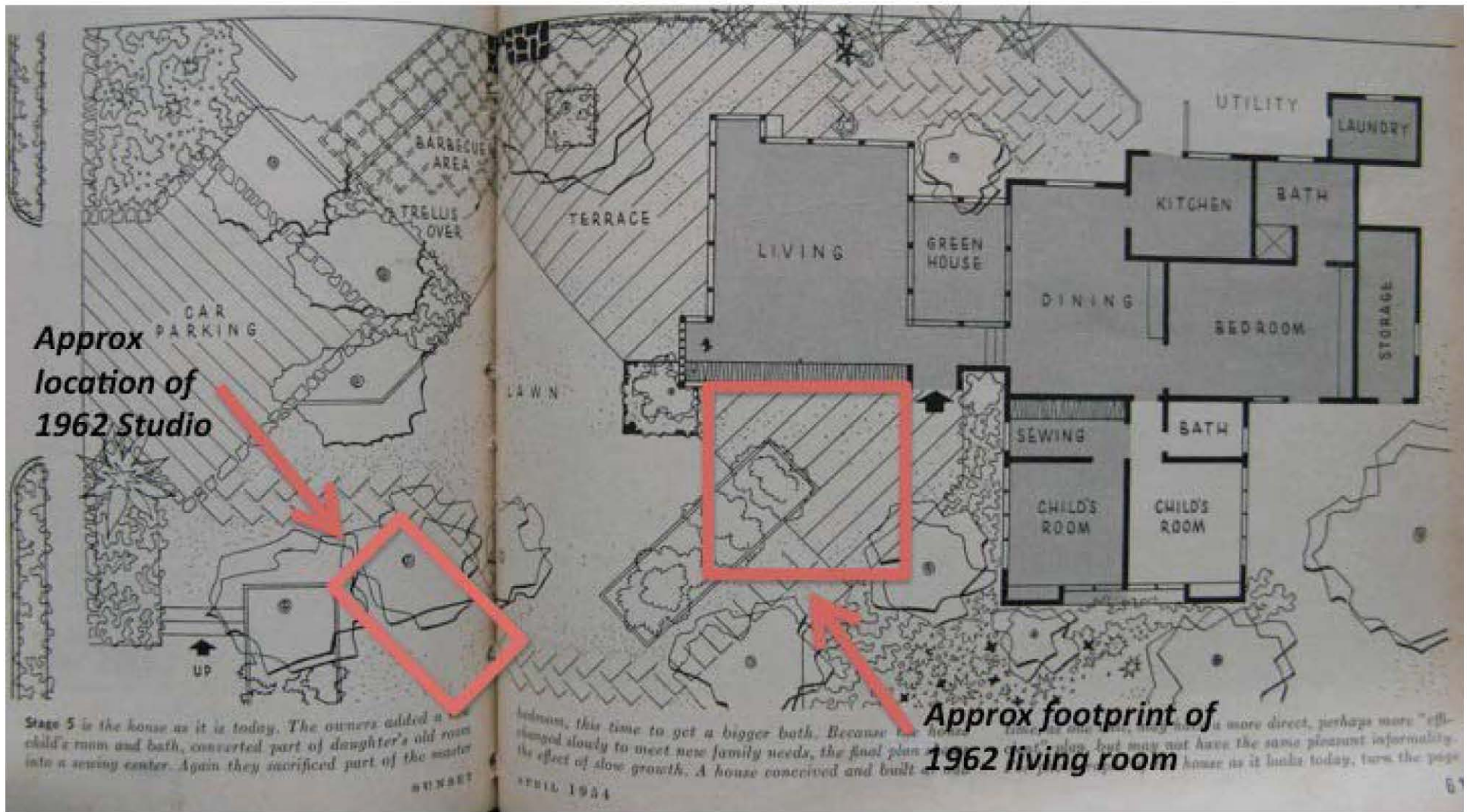


Figure 5 This site sketch included in the 1954 *Sunset Magazine* article shows the home's basic plan and siting as of 1954. An approximate footprint of the 1962 living room and studio have also been added. Source: *Sunset Magazine*, April 1954.

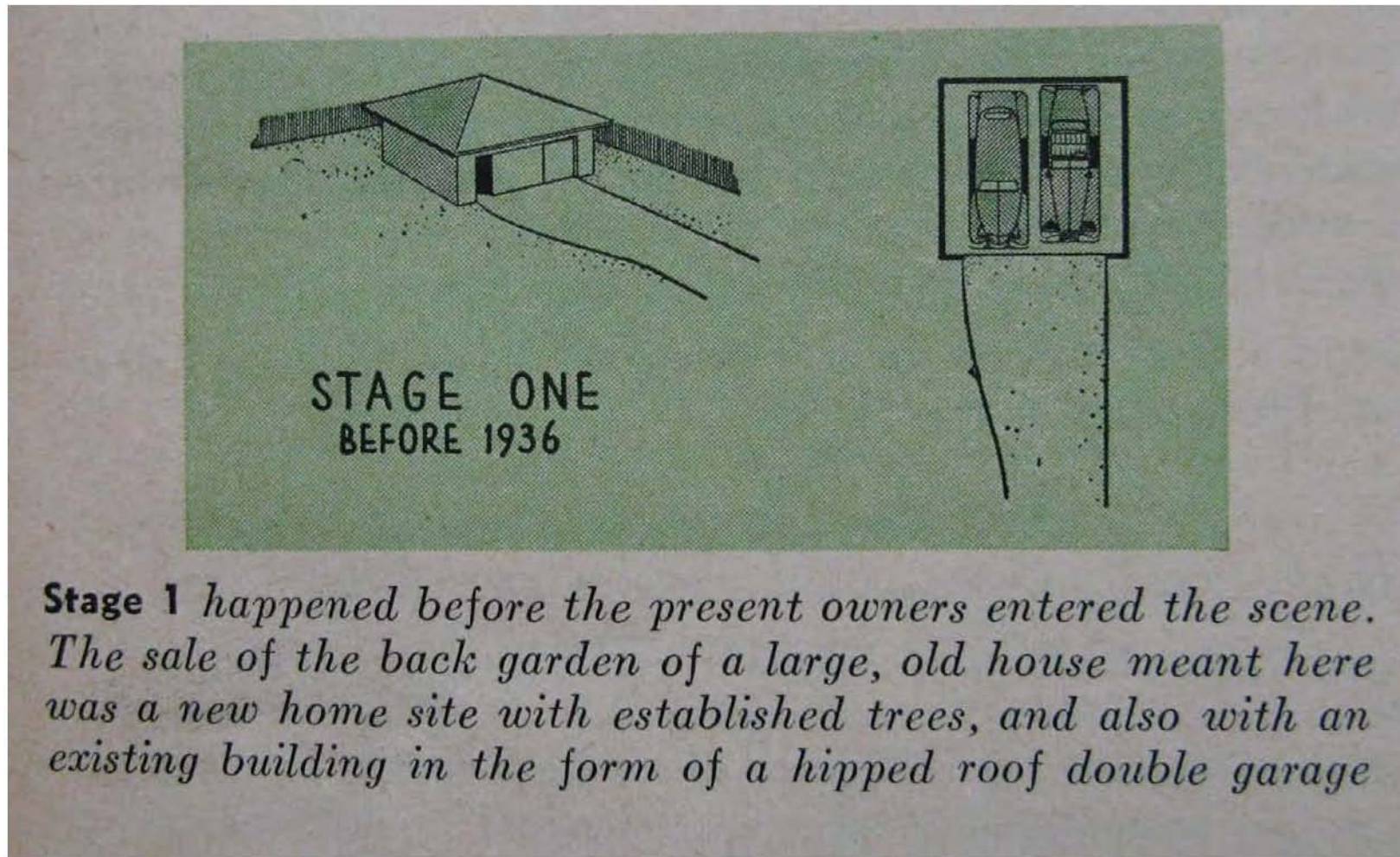
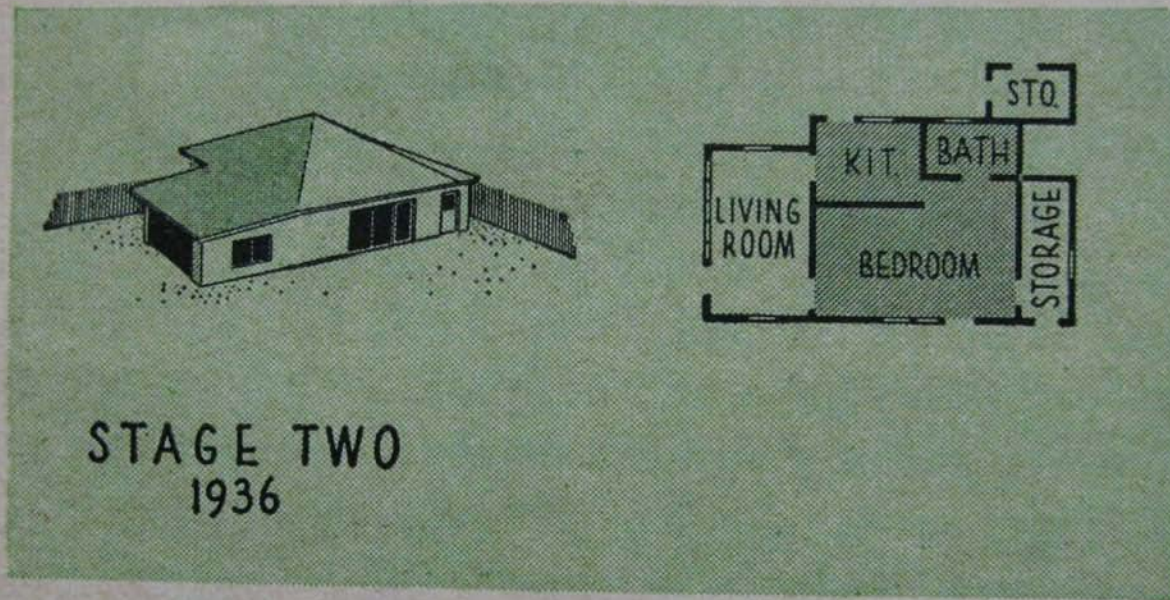


Figure 6 The first stages of construction, up to 1954. Stage 1 shows the original two-car garage.
Source: *Sunset Magazine*, April 1954.



Stage 2 was the first remodel. The garage was partitioned to make a large bedroom, a kitchen, and a bath. A dining-living room was added to one side of the garage, storage space to the other. This is what the Smiths found when they bought in 1936

Figure 7 Stage 2 shows the garage's appearance after being converted into a guesthouse in circa 1907. This sketch reflects the property bought by the Smiths in 1936. Source: *Sunset Magazine*, April 1954.

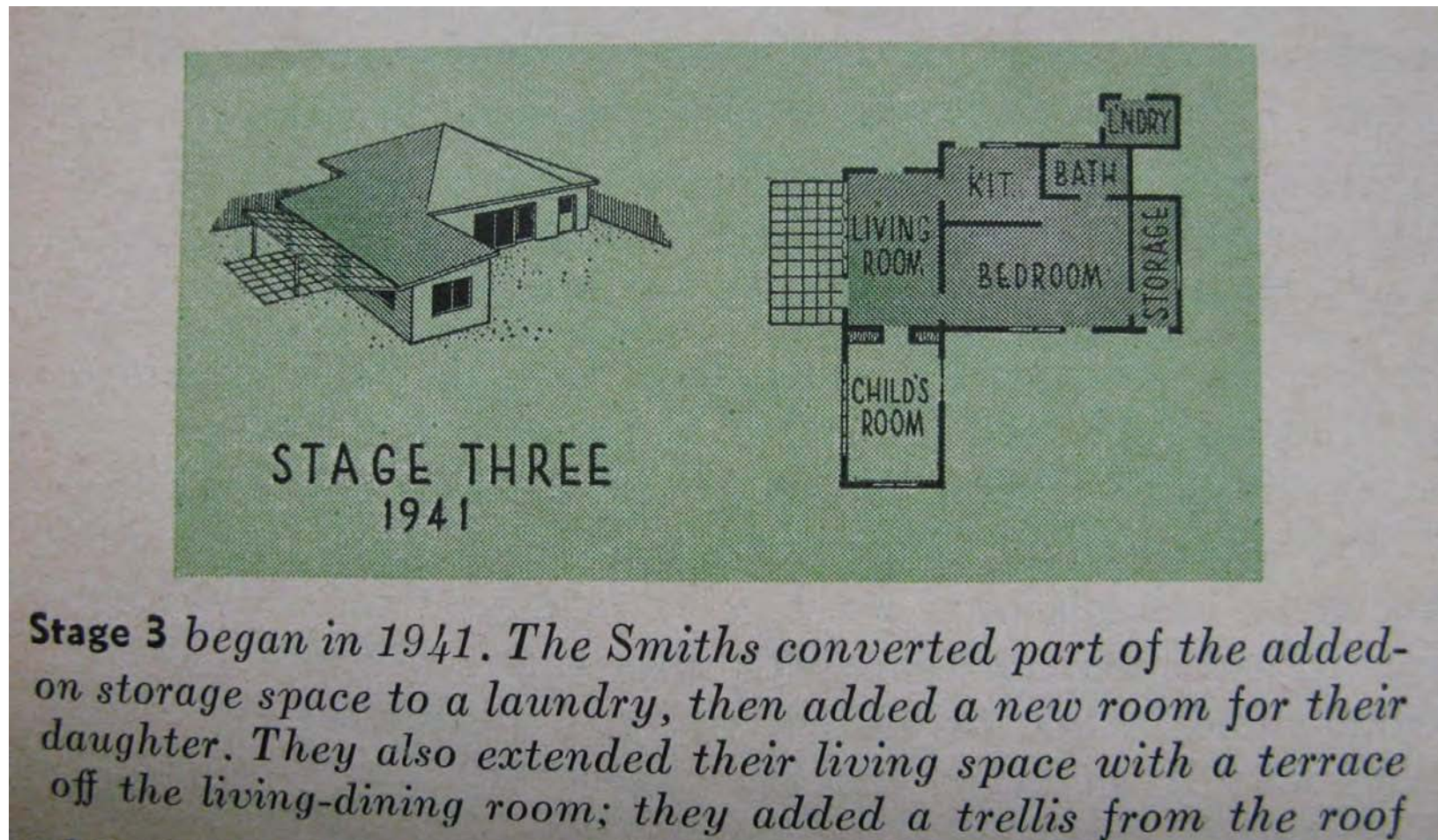


Figure 8 Smith's first major expansion came in 1941, when he added the second bedroom and a covered terrace along the east elevation, which improved indoor-outdoor integration and extended the home's living space into the garden. Source: *Sunset Magazine*, April 1954.

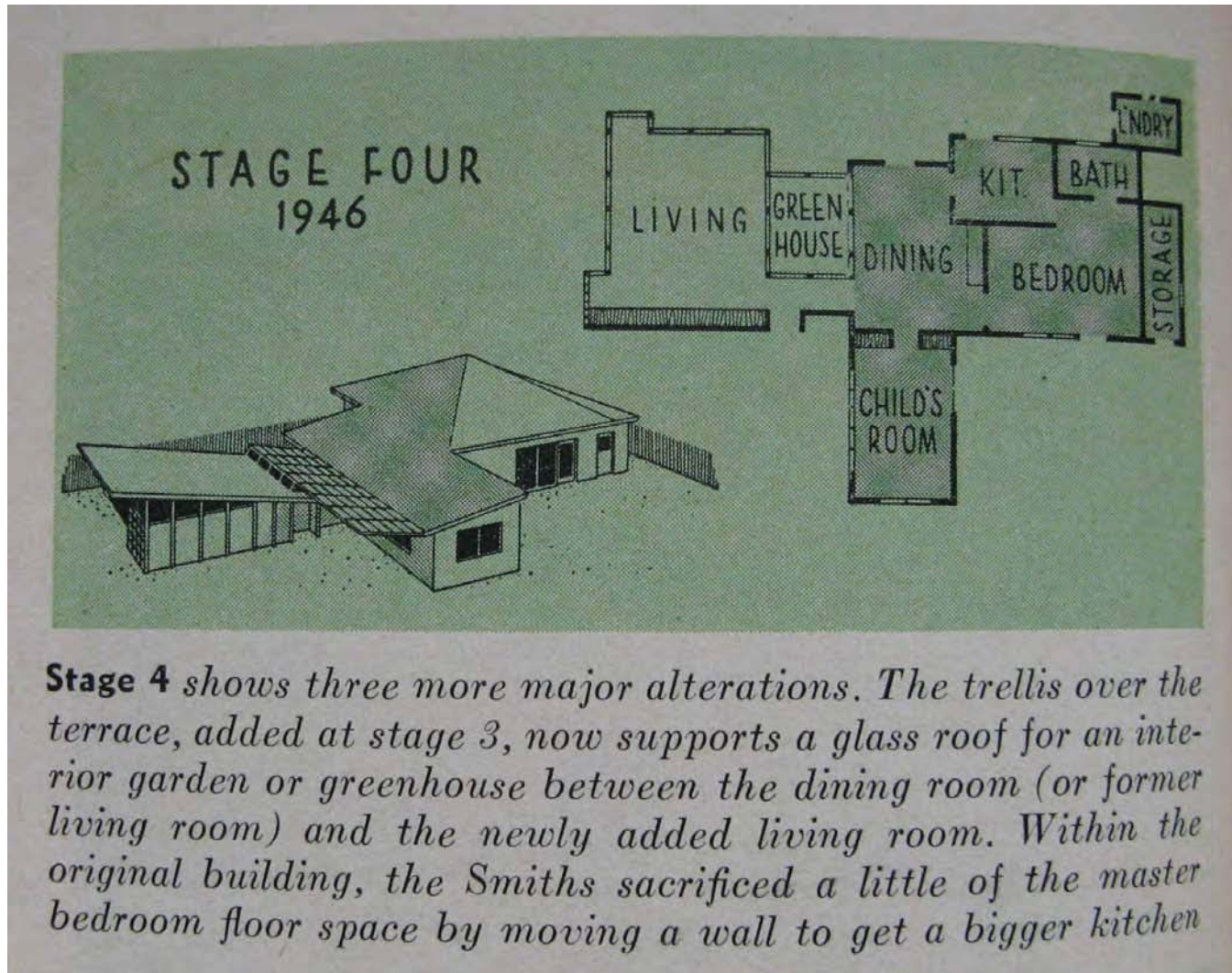


Figure 9 In 1946, Smith added a new living room, capped with a subtly sloped butterfly roof, and enclosed the terrace trellis with a glass roof, creating a greenhouse between the dining and living rooms. Source: *Sunset Magazine*, April 1954.

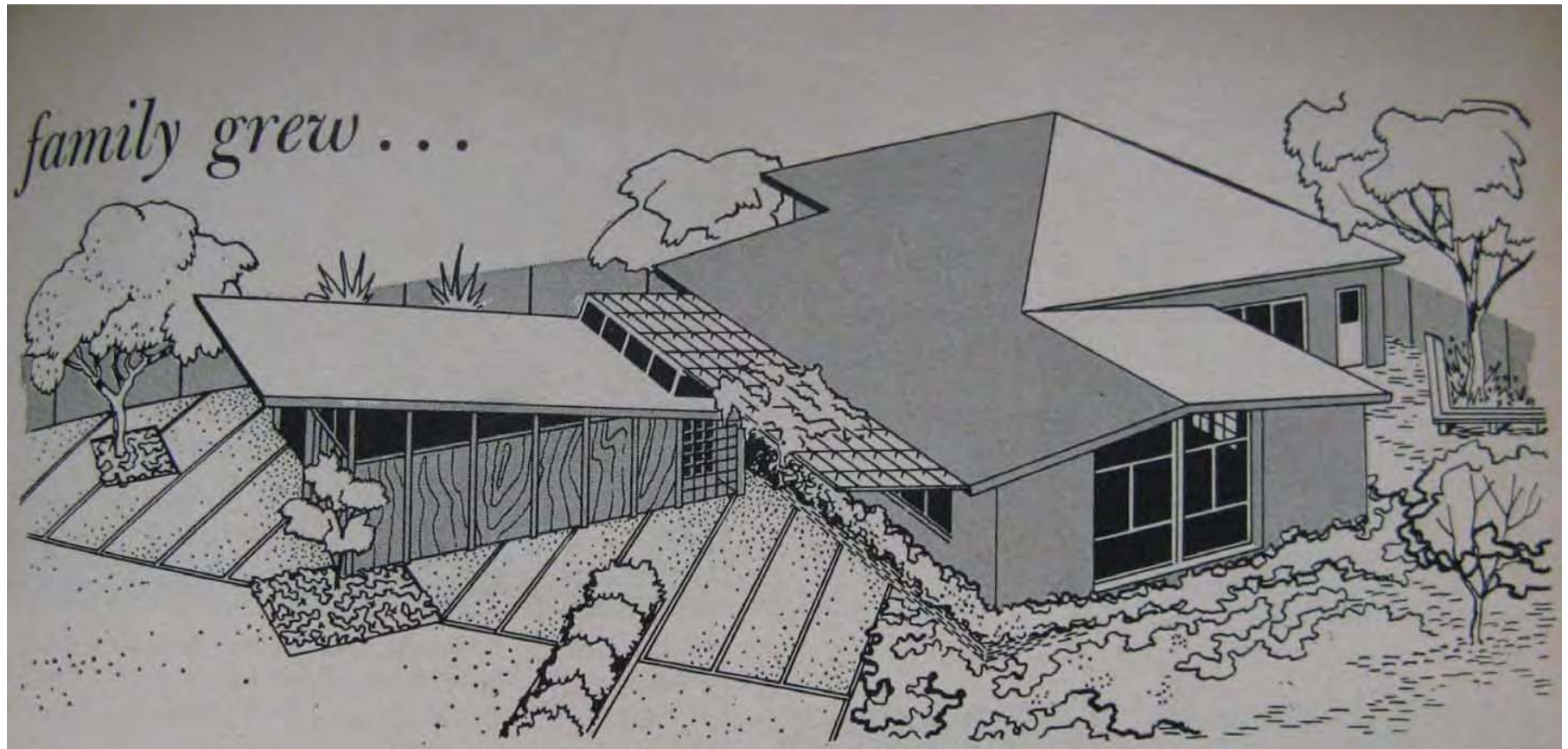


Figure 10 Smith Residence, as of 1954. In 1951, a third bedroom was joined to the adjacent 1941 bedroom, forming a wing capped with a side gable. In the final stage of construction in 1962, Smith extended the living room and added the studio in the lot's northeastern corner. Source: *Sunset Magazine*, April 1954.

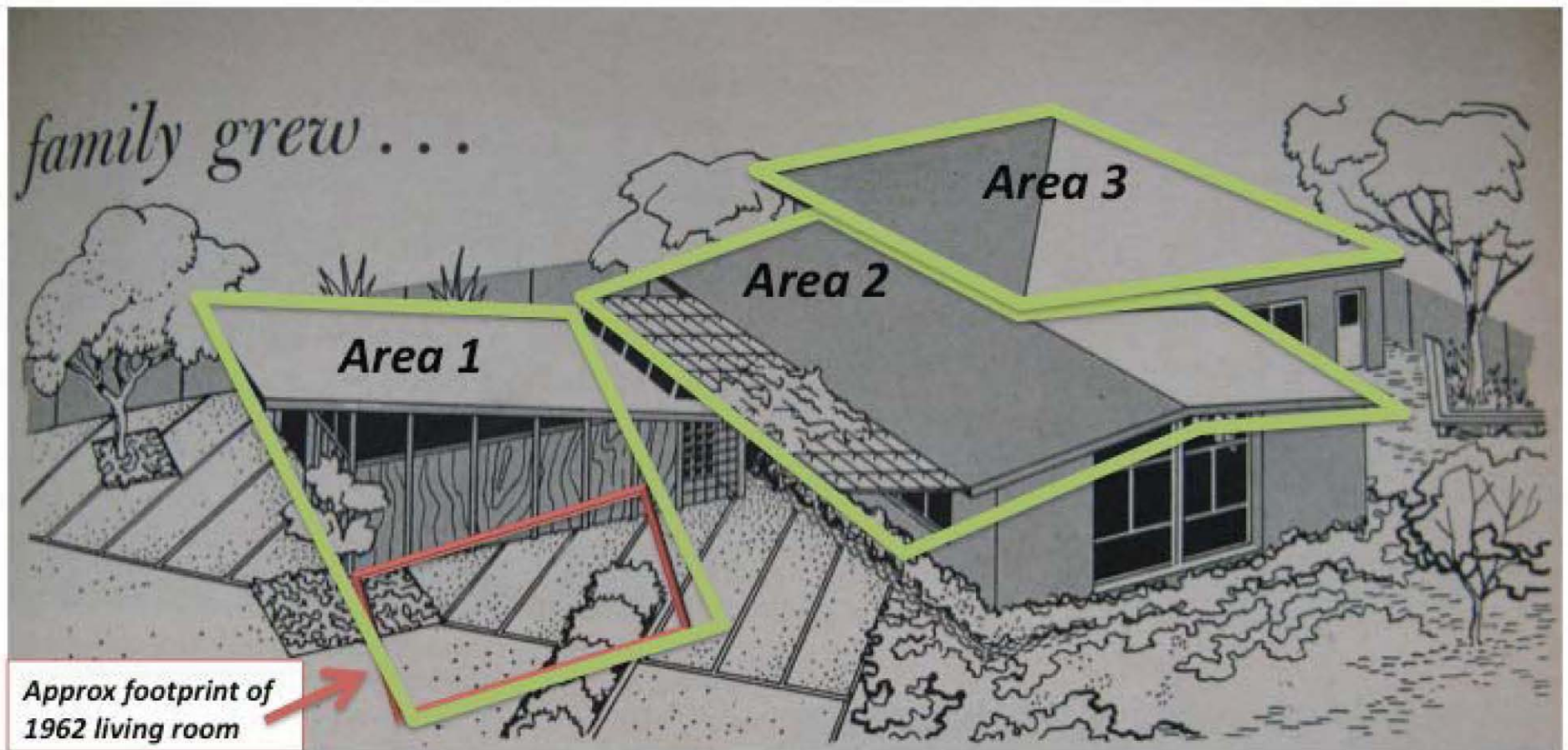


Figure 11 This sketch from *Sunset Magazine* illustrates the three basic areas described in the landmark nomination: Area 1 (1962 and 1946), Area 2 (circa 1907, 1941, and 1951), and Area 3 (circa 1900).



Figure 12 The Smith Residence in 1949, before the façade and living room were extended in 1962. In August 1949, *Arts and Architecture* published Smith's home, praising it as a "Living Room for a Garden." A month later, the *New York Times* featured the residence as the illustration for an article entitled "Designs for Better Living, the Home Today and Tomorrow." Source: *Arts and Architecture*, August 1949.



Figure 13 Whitney Smith's 209 Beacon Street, in a recent photo. This image highlights the transparency and weightlessness of Smith's interpretation of modular post-and-beam construction, as well as the seamlessness of the 1946 and 1962 additions, on the left and right, respectively.

Exhibit “D”
Standards for Rehabilitation

The Secretary of the Interior

Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and the environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ATTACHMENT 2
Cultural Heritage Commission Report

CITY OF SOUTH PASADENA

CULTURAL HERITAGE COMMISSION AGENDA REPORT

Project Address: 209 Beacon Avenue Project #: 2246-MIL
Applicants/Owners: Marc and Gail Wilson
Zoning: Residential single Family (RS) General Plan: Low Density Residential
APN: 5317-006-001 Zoning District: Residential Low Density
CHC Meeting Date: September 19, 2019

Staff Recommendation: Staff recommends approval of the proposed project as it meets the Criteria for Mills Act Contract (SPMC Section 2.68B.1.c.).

Project Proposal:

The Cultural Heritage Commission will review the final application for a Mills Act Contract for the property at 209 Beacon Avenue. The property is historically known as the Whitney R. Smith Residence and Studio. It was designated a local landmark in 2011. The Commission shall make a recommendation on the application to the City Council. The City Council is the review authority that makes the final approval of Mills Act contracts.

Proposed Scope of Work:

The applicant has provided information regarding the condition of the historic property. The following is a general listing of the work plan and restoration items:

- Main House/Studio: Roof system repairs/waterproofing.
Main House/Studio: Repairs/carpentry work and repainting.
Repairs/reconstruction of north elevation door/wood screen.
Studio: Geotechnical stabilization to corner of Studio.

Financial Investment and Analysis:

The total cost of the proposed scope of work is \$149,400. The total tax savings for the owners is estimated at \$137,000. The financial analysis for the project is included as the supporting documents for the Mills Act Contract

Property Tax Reduction:

The total estimated cost to the city as a result of property tax reduction is approximately \$21,990 over the ten year life of the contract, which amounts to \$2,199 annually.

Historic Property Information:

Year Built: 1900-1962 National Register Status Code: 1CS1
Historic Name: N/A Architectural Style: Mid Century Modern

Definition of Status Code:

This property was designated a local landmark in 2011.

CHC Member Located within 500' of Subject Property: [] Yes [X] No
[] Mark Gallatin, Chair [] William Cross
[] Rebecca Thompson, Vice Chair [] Kristin Morrish
[] Steven Friedman

1 Listed in the CR as individual property by the SHRC.

Criteria for Mills Act Contract (SPMC Section 2.68B.1.c.)

As outlined in the Cultural Heritage Ordinance, in considering the merits of a proposed Mills Act Contract, the Commission shall use the following criteria in making a recommendation to the City Council. Staff's review of the project's compliance with each criterion is as follows:

- (i) **Financial Investment.** The estimated tax benefit is not expected to exceed the applicant's proposed financial investment in the cultural resource over the first 10 years of the contract. *Staff response: The total cost of the proposed scope of work is \$149,400. The estimated total tax savings to the owner is \$137,000. The financial analysis for the project is included as an attachment in this packet.*

- (ii) **Public Benefit.** The proposed Mills Act contract features a work plan that will provide a benefit to the public by: rehabilitating the property for continued occupancy or adaptive reuse; improved viability through systems upgrades and structural reinforcement upgrades; preserving and maintaining the character-defining features of the property, and/or restoring character-defining features of the property that have been significantly altered or removed over time. *Staff response: The application proposes significant repairs and restoration of the roof and exterior wood character-defining features of the house that are visible to the public from the sidewalk and street. The proposed improvements will contribute to the preservation of this designated local landmark.*

- (iii) **Retroactive Limitations.** The estimated tax benefit will not be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty. *Staff response: The application does not propose maintenance or alteration work that was previously completed or initiated.*

- (iv) **Limitations on Maintenance.** The estimated tax benefit will not be used for routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements. *Staff response: The application does not propose to use the estimated tax benefit for maintenance of the property.*

- (v) **Limitations on Interior Work.** The estimated tax benefit will not be used for work within the interior of a cultural resource unless the commission determines the following exceptions should be made: the interior work is necessary to improve the structural integrity of the property; the interior work is necessary to preserve and maintain character-defining features within the cultural resource that are specifically identified as part of the official landmark nomination; and/or the interior work is necessary to preserve and maintain character-defining features of the property that were discovered subsequent to its landmark designation. The commission must first determine that those interior features are character-defining based on substantial evidence provided by the applicant. *Staff response: The total cost of work proposed in the application, which includes proposed the exterior scope of work and stabilization of the Studio, is \$149,400. It is estimated that the entire scope of work will be completed by the fifth year (2025) of the Mills Act Contract.*

- (vi) **Limitations on Landscaping.** The estimated tax benefit will not be used for landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination. *Staff response: The application does not propose landscaping work.*

Alternatives:

In addition to Staff's recommendation, the following alternatives are offered for the Cultural Heritage Commission's consideration:

1. Recommend approval of the application with conditions.
2. Recommend denial of the application as proposed.

Environmental Review:

This item is exempt from any California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15308, Class 8: Actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.

Public Notification of Agenda Item:

The public is made aware of this item by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Next Steps:

The recommendation of the Commission and the final application will be presented to the City Council in an Agenda Report at a noticed public hearing prior to December 31, 2019.

Attachments:

1. Final Mills Act Application and supporting documents
2. Mills Act Letter of Intent



City Council Agenda Report

ITEM NO. 18

DATE: November 20, 2019

FROM: Stephanie DeWolfe, City Manager *JD*

PREPARED BY: Joanna Hankamer, Director of Planning and Community Development *JH*
Kanika Kith, Interim Senior Planner *kk*

SUBJECT: Project No. 2236-MIL - Approval of a Mills Act Contract for Property Located at 320 Grand Avenue, Landmark No. 54, the Koebig House (Assessor's Parcel Number 5317-040-008)

Recommendation

It is recommended that the City Council enter into a Mills Act contract with the property owners of 320 Grand Avenue, Landmark No. 54, the Koebig House.

Executive Summary

A Mills Act contract is an agreement between the City and the property owner. The contract requires that the property owner complete specific restoration and maintenance tasks, as submitted in the proposed restoration work plan reviewed by the CHC. The proposed work plan is included as Exhibit C to the Mills Act contract. In return, for the duration of 10 years, the property owner receives a reduction in their property tax bill with the agreement that those property tax savings be reinvested into the property and fund the approved improvements.

On September 19, 2019, the Cultural Heritage Commission (CHC) reviewed the proposed Mills Act application and voted 5-0 recommending that the City Council enter into the Mills Act contract. The house is historically known as the Koebig House, qualifies for a Mills Act contract because it is a local landmark, City Landmark No. 54, designated on December 5, 2018.

Commission Review and Recommendation

In accordance to South Pasadena Municipal Code Chapter 2 Section 2.68 (B)(1)(c), the CHC recommended that the subject property be approved for a Mills Act Contract with the City based upon the following required criteria:

- (i) *Financial Investment. The estimated tax benefit is not expected to exceed the applicant's proposed financial investment in the cultural resource over the first 10 years of the contract.*

The total cost of the proposed scope of work is \$102,430, which exceeds the estimated total tax savings to the owner of \$51,918. The financial analysis for the project is included as an attachment to the Mills Act contract.

- (ii) *Public Benefit. The proposed Mills Act contract features a work plan that will provide a benefit to the public by: rehabilitating the property for continued occupancy or adaptive reuse; improved viability through systems upgrades and structural reinforcement upgrades; preserving and maintaining the character-defining features of the property, and/or restoring character-defining features of the property that have been significantly altered or removed over time.*

The proposed work plan includes significant repairs and restoration of the brick and wood character-defining features of the house that are visible to the public from the sidewalk and street. The proposed improvements will contribute to the preservation of this designated local landmark.

- (iii) *Retroactive Limitations. The estimated tax benefit will not be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty.*

The proposed work plan does not propose maintenance or alteration work that was previously completed or initiated.

- (iv) *Limitations on Maintenance. The estimated tax benefit will not be used for routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements.*

The proposed work plan does not propose to use the estimated tax benefit for maintenance of the property.

- (v) *Limitations on Interior Work. The estimated tax benefit will not be used for work within the interior of a cultural resource unless the commission determines the following exceptions should be made: the interior work is necessary to improve the structural integrity of the property; the interior work is necessary to preserve and maintain character-defining features within the cultural resource that are specifically identified as part of the official landmark nomination; and/or the interior work is necessary to preserve and maintain character-defining features of the property that were discovered subsequent to its landmark designation. The commission must first determine that those interior features are character-defining based on substantial evidence provided by the applicant.*

The total cost of the proposed scope of work is \$102,430. The cost of the proposed exterior work on the house and yards is \$101,280 with a remaining of \$1,150 for interior improvements that are character-defining features or necessary to improve the structural integrity of the property. In year 2020 of the contract, the proposed work plan includes \$69,680 on repair and restoration of the exterior brick cladding and mortar. The \$69,680 of

expenditures in the first year of the contract exceeds the estimated \$51,917.60 of total tax savings by the owner by \$17,762.40. The proposed improvements will contribute to the preservation of this designated local landmark.

(vi) *Limitations on Landscaping. The estimated tax benefit will not be used for landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination.*

The proposed work plan does not propose landscaping work. Hardscape repairs in the yards are proposed, which are character-defining features of the property.

Entering into the Mills Act contract will promote the City's Preservation Element of the General Plan, Section 5.5, Goal 6, Policy 6.3, "Encourage property owners to take advantage of the available financial incentives."

Fiscal Impact

A Mills Act contract allows a tax reduction for a property owner who agrees to perform certain restoration and maintenance tasks over a 10-year period. Although the City will see a reduction in property tax revenue (between approximately 40% - 60% per Mills Act contracted property), the benefits of the program include economic benefits of conserving resources and reinvestment as well as the important role historic preservation can play in revitalizing older areas, creating cultural tourism, building civic pride, and retaining the sense of place and continuity with the community's past.

Legal Review

The City Attorney has reviewed this Staff Report.

Environmental Analysis

This project is exempt from any California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15308, Class 8: Actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.

Public Notification of Agenda Item

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Attachments:

1. Mills Act Contract
2. CHC Staff Report

ATTACHMENT 1
Mills Act Contract

MILLS ACT CONTRACT

THIS CONTRACT (“Contract”) is made and entered into this ___th day of November 2019, by and between the CITY OF SOUTH PASADENA, CALIFORNIA, a municipal corporation (“City”), and William and Teresa Sherman (“Owners”).

RECITALS

(i) California Government Code Section 50280 *et seq.*, authorizes cities to enter into contracts with the Owner of qualified historical property to provide for the use, maintenance, and restoration of such historical property so as to retain its characteristics as property of historical significance;

(ii) Owner possesses fee title in and to that certain real property, together with associated structures and improvements thereon, located at 320 Grand Avenue, South Pasadena, California, Assessor’s Parcel Number 5317-040-008 (“Historic Property”). A legal description of the Historic Property is attached hereto, marked as “Exhibit A” and is incorporated herein as if fully set forth;

(iii) The Historic Property is identified as City Landmark No. 54 known as the Koebig House, designated a local landmark on December 5, 2018, attached hereto marked “Exhibit B”. The English Revival style house featuring high pitched roofs, open gables and dormers, and local stone and bricks. The house was constructed in 1927 and was designed by a nationally known architect, H. Roy Kelley, for an orthopedic surgeon, Walter C.S. Koebig. In February 1929, the house was featured in *House Beautiful* magazine as the winner of the “small house” competition. The magazine described the house as “...has a straightforward simplicity that is very delightful and a beautifully textured wall surface obtained by the use of small pieces of stratified rock, ranging in color from warm buff to brown, and selected brick roughly laid.” In 1931, Kelley was appointed by President Hoover to the Presidential Advisory Commission on Home Building. In 1937, *Life* magazine commissioned Kelley to design a “model home for all the nation.”;

(iv) City and Owner, for their mutual benefit, now desire to enter into this Agreement both to protect and preserve the characteristics of historical significance of the Historic Property, and to qualify the Historic Property for an assessment of valuation pursuant to the provisions of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code.

NOW, THEREFORE, City and Owner, in consideration of the mutual covenants and conditions contained herein, do hereby agree as follows:

1. EFFECTIVE DATE AND TERM. The Agreement shall be effective and commence on November ___, 2019 and shall remain in effect for a minimum period of

ten (10) years, unless the property owner is issued a notice of non-renewal as provided in Section 2.68(b)(1)(E)(v) of the South Pasadena Municipal Code.

2. **AUTOMATIC RENEWAL.** Unless a notice of non-renewal is issued, this Agreement shall automatically be extended by one year for each anniversary date of the Agreement unless otherwise specific herein.

3. **APPEAL OF NOTICE OF NON-RENEWAL.** The property owner shall have the right (per Government Code Section 50282) to appeal a notice of non-renewal to the City Council.

4. **CONFORMANCE WITH NATIONAL STANDARDS.** The contract agreement is to assist in the Preservation of the qualifying property; therefore, Restoration and Rehabilitation of the property and all work associated with thereto shall be subject to comply with the recommendations of the Cultural Heritage Commission and, shall conform to the rules and regulations of the State of California Office of Historic Preservation (Department of Parks and Recreation) and the United States Secretary of the Interior's Standards for the Treatment of Historic Properties, attached hereto marked "Exhibit D". Owner shall preserve and maintain the characteristics of historical significance of the Historic Property. Attached hereto marked as "Exhibit C" and incorporated herein as if fully set forth, is a list of those minimum standards and conditions for maintenance, use and preservation of the Historic Property, which shall apply to such property throughout the term of this Agreement.

5. **LIMITATIONS.** Under Section 2.68(b)(1)(C)(iii)-(v), the estimated tax benefit will not be used for: (1) any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty; (2) routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements; (3) work within the interior of a Historic Property unless the Cultural Heritage Commission determines an exception should be made; and (4) landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination.

6. **INSPECTIONS.** The owner shall agree to allow periodic examination of the interior and exterior of the premises by the County Assessor, the Department of Parks and Recreation, the State Board of Equalization, and the City, as may be necessary to verify the owner's compliance with the contract agreement, and to provide any information requested to ensure compliance with the contract agreement. During the term of this Agreement, after five years, and every five years thereafter, the City, County of Los Angeles, or City and County shall have the option to inspect the premises to determine the property owner's compliance with the contract Agreement.

7. **REPORTS.** The owner shall agree to submit evidence to the City in accordance with the reporting schedule specified in the Mills Act Contract (and at a

minimum every three years) to confirm that Preservation tasks were completed in accordance with the time line stipulated in this Agreement.

8. NON-RENEWAL. If recommended by the Commission and approved by the City Council, a notice of non-renewal may be issued six (6) years into the duration of this Agreement. The procedure for notice of non-renewal by the owner or the City shall be in accordance with Government Code Section 50282 as it may be amended from time to time.

9. BINDING EFFECT OF CONTRACT. This Agreement shall be binding on all successors-in interest of the owner to the benefits and burdens of this Agreement. The contract shall stipulate escrow instructions that require a review and re-evaluation of the property every three years.

10. CANCELLATION. City following a duly noticed public hearing as set forth in California Code Section 50280 *et seq.*, may cancel this Agreement if City determines that the Owner has breached any of the conditions or covenants of the Agreement or has allowed the Historic Property to deteriorate to the point that it no longer meets the significance criteria under which it was designated. City may also cancel this Agreement if it determines Owner has failed to restore or rehabilitate the Historic Property in the manner specified in Paragraph 4 of this Agreement. The City may also cancel this Agreement if, upon consultation with the State of California Office of Historic Preservation, the preservation, rehabilitation, or restoration becomes infeasible due to damage caused by natural disaster. City's right to cancel this Agreement pursuant to this paragraph shall in no way limit or restrict its rights or legal remedies arising from City's Cultural Heritage Ordinance and Municipal Code.

11. CANCELLATION FEE. In the event of cancellation, Owner shall be subject to payment of those cancellation fees set forth in California Government Code Section 50280 *et seq.*, described herein. Upon cancellation, Owner shall pay a cancellation fee equal to twelve and one-half percent (12.5%) of the current fair market value of the property as determined by the County Assessor as though the Historic Property were free of the contractual restriction pursuant to this Agreement. The Owner shall pay the cancellation fee to the County Auditor in the time and manner prescribed by the County Auditor.

12. ENFORCEMENT OF AGREEMENT. In lieu of and/ or in addition to any provisions to cancel this Agreement as referenced herein, City may specifically enforce, or enjoin the breach of the terms of this Agreement.

13. WAIVER. City does not waive any claim or default by Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in the City's regulations governing historic properties are available to City to pursue in the event there is a breach of this Agreement. No waiver by City of any breach or default under this Agreement shall be deemed to be a waiver of any other subsequent breach thereof or default hereunder.

14. **BINDING EFFECT OF AGREEMENT.** Owner hereby subjects the Historic Property to the covenants, reservations and restrictions set forth in this Agreement. City and Owner hereby declare their specific intent that the covenants, reservations, and restriction as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon Owner's successors and assigns in title or interest to the Historic Property.

Each and every contract, deed or other instrument hereinafter executed, governing or conveying the Historic Property, or any portion thereof, shall conclusively be held to have been executed, delivered and accepted subject to the covenants, reservations and restriction expressed in this Agreement regardless of whether such covenants, reservations and restrictions are set forth in such contract, deed or other instrument.

City and Owner hereby declare their understanding and intent that the burden of the covenants, reservations and restrictions set forth herein touch and concern the land in that it restricts development of the Historic Property. City and Owner hereby further declare their understanding and intent that the benefit of such covenants, reservations and restrictions touch and concern the land by enhancing and maintaining the cultural and historic characteristics and significance of the Historic Property for the benefit of the public and Owner.

15. **NOTICE.** Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below, by personal delivery or United States mail, postage prepaid, addressed as follows:

City: City of South Pasadena
Director of Planning and Building
1414 Mission Street
South Pasadena, California 91030

Owner: William and Teresa Sherman
320 Grand Avenue
South Pasadena, California 91030

16. **EFFECT OF AGREEMENT.** None of the terms, provisions or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors or assigns, nor shall such terms, provisions or conditions cause them to be considered joint ventures or members of any joint enterprise.

17. **INDEMNITY OF CITY.** Owner agrees to protect, defend, indemnify, and shall hold City and its elected officials, officers, agents, and employees harmless from liability for claims, loss, proceedings, damages, causes of action, liability, costs or expense, including reasonable attorney's fees in connection with damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of such Owner or those of its contractor, subcontractor, agent, employee or other person acting on its behalf which relate to the use, operation, capital

improvement and maintenance of the Historic Property. Owner hereby agree to and shall defend the City and its elected officials, officers, agents, and employees with respect to any and all actions for damages caused by, or alleged to have been suffered, by reason of the operations referred to in this Agreement regardless of whether or not the City prepared, supplied or approved the plans, specifications or other documents for the Historic Property.

18. **BINDING UPON SUCCESSORS.** All of the agreements, rights, covenants, reservations, and restrictions contained in the Agreement shall be binding upon and shall inure to benefit of the parties herein, their heirs, successors, legal representative, assigns and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner whatsoever.

19. **LEGAL COSTS.** In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.

20. **SEVERABILITY.** In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be affected thereby.

21. **GOVERNING LAW.** This Agreement shall be construed and governed in accordance with the laws of the State of California.

22. **EMINENT DOMAIN PROCEDURES.** Upon the filing of an action in eminent domain by a public agency for the condemnation of the fee title of any land described herein or of less than fee interest which will present the portion of land condemned or other land or a portion of it which is the subject of this Agreement from being used for any authorized use, or upon the acquisition in lieu of eminent domain by a public agency for a public improvement, the portions of this Agreement by which Owner agree to preserve and to restrict the use of property described herein shall be null and void upon such filing as to the portion of the land condemned or acquired and to the additional land the use of which for an authorized purpose will be prevented as a result of condemnation or acquisition.

If, subsequent to the filing of an action in eminent domain, the proposed condemnation is abandoned by the condemning agency as to all or a portion of the land subject to the Agreement, the restrictions on the use of the property included in this Agreement shall, without further agreement of the parties, be re-instituted and the terms of this Agreement shall be in full force and effect.

23. RECORDATION. No later than thirty (30) days after the parties execute this Agreement, the Owner or Owner's agent shall record this Agreement in the Office of the County Recorder of the County of Los Angeles.

24. AMENDMENTS. This Agreement may be amended, in whole or in part, only by written-recorded instrument executed by the parties hereto.

25. NOTICE TO OFFICE OF HISTORIC PRESERVATION. The City shall provide written notice of this Agreement to the State Office of Historic Preservation within six (6) months of entering into this Agreement.

IN WITNESS THEREOF, City and Owner have executed this Agreement on the day and year first above written.

CITY OF SOUTH PASADENA

Date: _____

By: _____

MAYOR

Attest:

CITY CLERK

Approved as to Form:

CITY ATTORNEY

Date: _____

Date: _____

William Sherman, Owner

Date: _____

Teresa Sherman, Owner

Exhibit "A"
Grant Deed

RECORDING REQUEST

85-1235629

AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

NAME: MACDONALD, HALSTED & LAYBOURNE
THOMAS CURTISS, JR.
RANDOLPH M. SHARON
ADDRESS: 1200 Wilshire Blvd., Ste. 600
CITY & STATE: Los Angeles, California 90017
ZIP: []

RECORDED IN OFFICIAL RECORDS
RECORDER'S OFFICE
LOS ANGELES COUNTY
CALIFORNIA
21' MIN. 3 P.M. OCT 18 1985
PAST.

FEE
\$5
M

Title Order No. Escrow No.

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned declares that the documentary transfer tax is \$ -0-* and is
 computed on the full value of the interest or property conveyed, or is
 computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale. The land, tenements or realty is located in
 unincorporated area city of South Pasadena and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
WILLIAM D. SHERMAN, M.D. and TERESA SHAW SHERMAN, husband and wife as joint tenants

hereby GRANT(S) to WILLIAM D. SHERMAN, M.D. and TERESA SHAW SHERMAN, husband and wife, as community property

the following described real property in the City of South Pasadena county of Los Angeles, state of California:

Lot 6 of Tract No. 8445 as per map recorded in Book 94, Page 17 of Maps, in the office of the County Recorder of said County.

RECEIVED

JUL 03 2019

CITY OF SOUTH PASADENA
PLANNING AND BUILDING DEPT

*The Grantors and the Grantees are the same parties, and their proportionate interests in the real property has not changed.

Dated September 19, 1985

William D. Sherman
WILLIAM D. SHERMAN, M.D.

Teresa Shaw Sherman
TERESA SHAW SHERMAN

Exhibit “B”
City Council Resolution for
Landmark Nomination

RESOLUTION NO. 7591**A RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF SOUTH PASADENA, CALIFORNIA,
DESIGNATING 320 GRAND AVENUE, KNOWN AS THE KOEBIG
HOUSE, AS A HISTORIC CITY LANDMARK
(LANDMARK NUMBER 54)**

WHEREAS, Section 2.62 of the South Pasadena Municipal Code, Ordinance No. 2315 (“Cultural Heritage Ordinance”) authorizes the Cultural Heritage Commission (“the Commission”) to recommend to the City Council the designation of appropriate properties as Landmarks; and

WHEREAS, on April 5, 2018, the Planning Division received an application for Landmark designation for the Historic home located at 320 Grand Avenue, historically known as the “Koebig House”; and

WHEREAS, on April 19, 2018, at the regularly scheduled CHC meeting, the CHC reviewed the request of Landmark Designation and appointed the Landmark Subcommittee (“Subcommittee”) with two Commission members; and

WHEREAS, on May 15, 2018, the Subcommittee met with the property owners at the subject site to tour the property; and

WHEREAS, on August 8, 2018, the Subcommittee formalized their findings and notified Staff of their request to carry the Landmark nomination to the full CHC for the Commission’s formal vote on the recommendation to City Council for Designation; and

WHEREAS, on September 20, 2018, the CHC formalized their recommendation to the City Council for designation of the Koebig House as a City Landmark by a unanimous vote of 4-0, with one CHC member absent; and

WHEREAS, on October 4, 2018, the CHC provided notice to the City Council via the City’s Clerk’s office of the Commission’s formal recommendation to have the Koebig House designated as a City Landmark by the City Council of South Pasadena; and

WHEREAS, on October 17, 2018, the City Council of the City of South Pasadena held a duly noticed regularly scheduled meeting to set a date certain for the public hearing of the Landmark Designation at the regularly scheduled City Council Meeting on December 5, 2018.

WHEREAS, on December 5, 2018, the City Council of South Pasadena held a duly noticed regularly scheduled meeting to provide a public hearing and receive public testimony on the proposed Landmark Designation of the Koebig House located at 320 Grand Avenue.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SOUTH PASADENA, CALIFORNIA, DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That the above recitals are all true and correct.

SECTION 2. The City Council has determined that the criteria standards as outlined in the Cultural Heritage Ordinance, Section 2.63(B), have been satisfactorily met for the eligibility of Landmark listing based upon the recommendation of applicable criteria by the Cultural Heritage Commission:

- 3. Its identification (such as the residence, ownership, or place of occupation, etc.) with a person, persons or groups who significantly contributed to the culture and development of the City, State, or United States.**

The original owner of the home was Dr. Walter C.S. Koebig. Dr. Koebig was a noted orthopedic surgeon in California in the first half of the 20th century. Among his accomplishments, he held a prominent position in the state health and development department of physical training work in the schools, and was the head of the corrective work in the Los Angeles City Schools.

- 4. Its exemplification of a particular architectural style of an era of history of the City.**

While there are several other homes on South Grand Avenue designed in the Tudor Revival style, the Koebig House is singular in its brick construction and evocation of an English Cotswold Cottage located on a slightly raised site. These characteristics cause the home to, literally and figuratively, rise above the other 1920s period revival homes in the neighborhood.

- 6. Its identification as the work of a person or persons whose work has influenced the heritage of the City, the State, or the United States.**

The Koebig House was designed by H. Roy Kelly, whom had a long, award-winning career as an architect based in Southern California. Kelley's design for this house captured first place in House Beautiful magazine's first "small house" competition in 1929. He served on the architectural advisory board of Good Housekeeping magazine from 1931 to 1938 and was commissioned by Life magazine in 1937 to design a model home for the entire nation. Kelley served on the architectural advisory committees for the Bel-Air Estates and the Palos Verdes Estates and in 1931 he was appointed to the Presidential Advisory Commission on

Home Building by Herbert Hoover. His work helped popularize ranch-style and mid-century modern homes in the West.

7. Its embodiment of elements of outstanding attention to architectural design, engineering, detail design, detail, materials, or craftsmanship.

Both inside and out, the Koebig House exhibits thoughtful attention to architectural design, detail, materials, and craftsmanship. The placement of bricks and clinkers making up the exterior facades of the home was carefully considered to maximize the charm, character and texture of the house. This attention to detail was continued in the construction of the rear patio, planter beds and retaining walls, as well as the decorative wrought iron gates and original light fixtures. The home features rarely seen details such as the vertically placed “combers” over the upper windows and the oriel window with its leaded glass consisting of diamond-shaped lights. Use of quality materials, attention to detail and outstanding workmanship are apparent on the home’s interior as well. In the foyer and living room, original dark mahogany paneling and “hand adzed” (chilled) ceiling beams are intact, as are much of the original tile and fixtures in the bathrooms.

SECTION 3. The City Council considered the designation criteria contained in the Cultural Heritage Ordinance and makes the following findings as required in Section 2.63(A) based upon the recommendation of the Cultural Heritage Commission:

a. That the designation of Landmark or Historic District is consistent with one or more of the purposes set forth in Section 2.58B; and

Designation of the Koebig House as a city landmark is consistent with the purpose of the Cultural Heritage Ordinance in that it will preserve, maintain, and safeguard the city’s heritage and character as embodied and reflected in the site and structures that serve as significant reminders of the city’s social, educational, cultural and architectural history; encourage maintenance and preservation of areas that are associated with a historic event, activity, or persons that contribute to the historic character of landmarks and historic structures; preserve diverse and harmonious architectural styles, reflecting phases of the city’s history; and encourage public knowledge, understanding, and appreciation of our cultural and environmental heritage. Therefore this finding can be made.

b. That the Landmark or Historic District meets one or more of the criteria for designation listed in Section 2.63(B); and

The proposed landmark meets criteria 3, 4, 6 and 7 for landmark designation listed in subsection 2.63(b) of the South Pasadena Municipal Code. Therefore, this finding can be made.

c. That the Landmark or Historic District possesses Historic Integrity of Location, design, setting, materials, workmanship, feeling, or association.

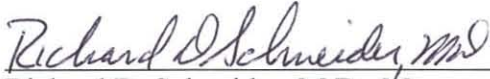
The proposed landmark exhibits a high degree of integrity, as it has had only minimal alterations since its construction 90 years ago. Therefore, this finding can be made.

SECTION 4. Based on the evidence presented in the Staff Report, testimony received during the public hearing, minutes, other records of proceeding, and its findings herein, the City Council hereby approves the designation of 320 Grand Avenue, historically known as the Koebig House, as official Historic Landmark Number 54.

SECTION 5. That this Resolution shall take effect immediately upon its adoption.

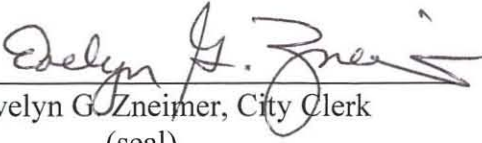
SECTION 6. The City Clerk of the City of South Pasadena shall certify to the passage and adoption of this resolution and its approval by the City Council and shall cause the same to be listed in the records of the City.

PASSED, APPROVED AND ADOPTED ON this 5th day of December, 2018.


Richard D. Schneider, M.D., Mayor

ATTEST:

APPROVED AS TO FORM:


Evelyn G. Zneimer, City Clerk
(seal)


Teresa L. Highsmith, City Attorney


I HEREBY CERTIFY the foregoing resolution was duly adopted by the City Council of the City of South Pasadena, California, at a regular meeting held on the 5th day of December, 2018, by the following vote:

AYES: Cacciotti, Joe, Khubesrian, Mahmud, and Mayor Schneider

NOES: None

ABSENT: None

ABSTAINED: None

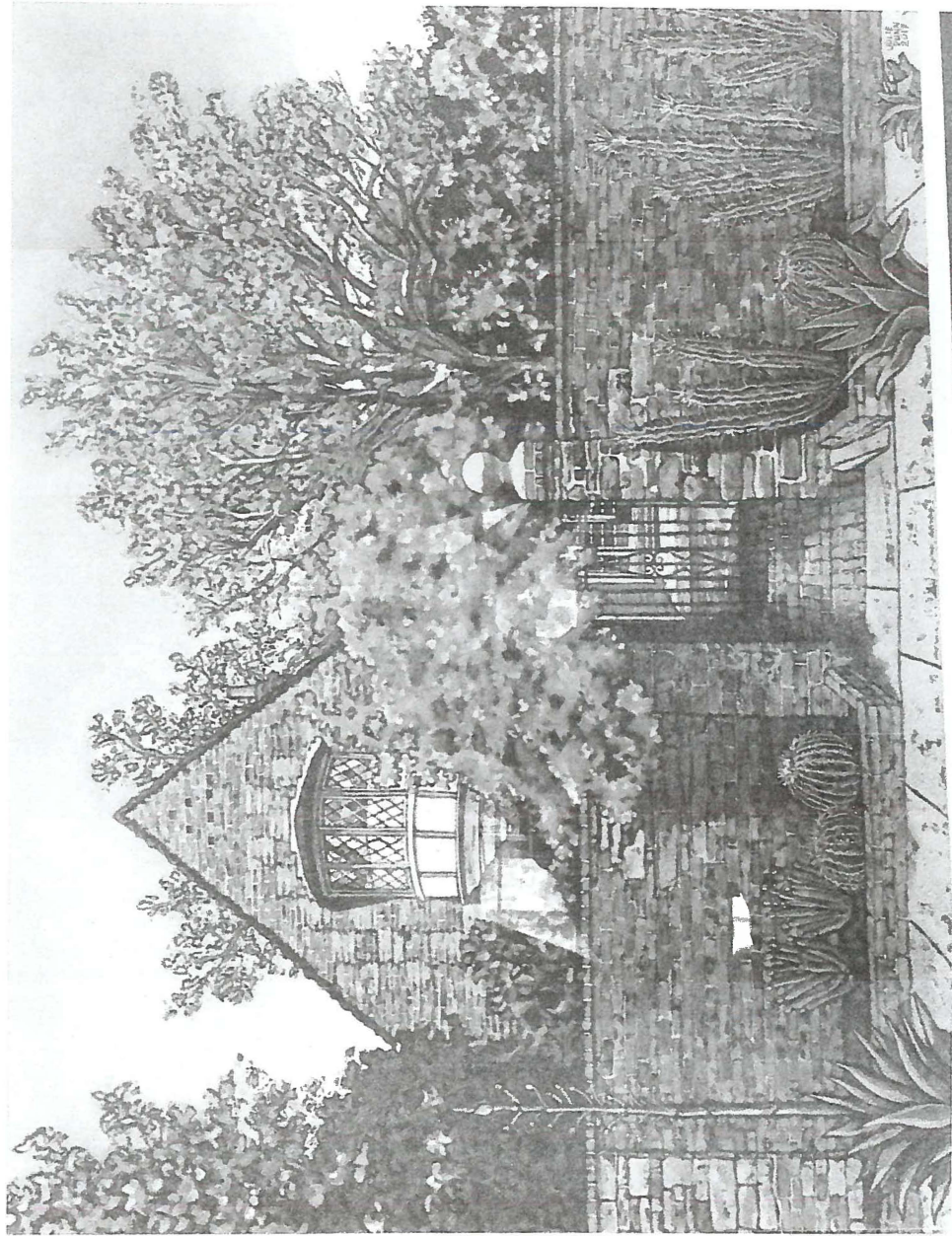


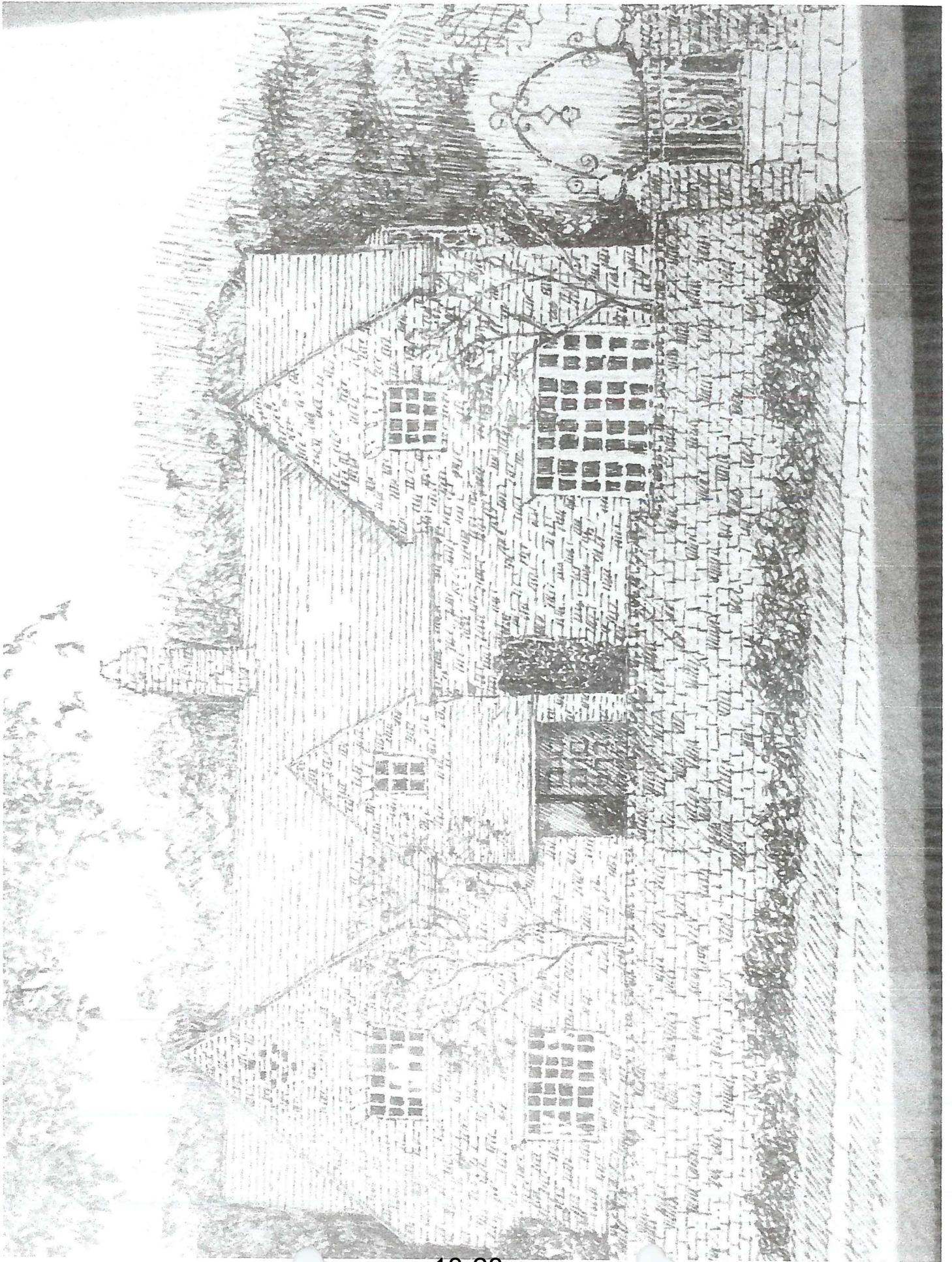
Evelyn G. Zneimer, City Clerk
(seal)

Exhibit “C”
Proposed Restoration Work Plan
&
Financial Analysis



320 SOUTH GRAND





Koebig House Landmark Description

4.4.18

Designed by nationally known architect H. Roy Kelley, the Koebig House at 320 South Grand, 1927-28, received immediate and widespread recognition as an exemplar of a new type of American home. The so-called “small house,” with a few rooms designed to maximize function, was championed by progressive architects and even the federal government as an answer to housing middle class families after World War 1 and through the difficult economic times of the 1930s. Kelley was appointed by President Hoover in 1931 to the Presidential Advisory Commission on Home Building. In 1937, *Life* magazine commissioned him to design a “model home for all the nation.” In California, Kelley’s long career included contributions to the development of the ranch and midcentury modern styles, both logical outcomes of the “small house” movement.

In February 1929, the Koebig House was featured in *House Beautiful* as the winner of the magazine’s first “small house” competition. The photos and plans also traveled across the country in an exhibition featuring the work of the winners and runners-up. The caption for the Koebig House described the front façade. “This house, which suggests those of the Cotswolds of England, has a straightforward simplicity that is very delightful and a beautifully textured wall surface obtained by the use of small pieces of stratified rock, ranging in color from warm buff to brown, and selected brick roughly laid.”

By naming the Cotswolds as an inspiration, the judges may have been referring to contemporary notions of the simple cottages typical of the English countryside, to the high pitched roofs, the open gables and dormers, and the charming look of local stone and brick. The vertically placed stones above the second floor windows are known as “combers” in the Cotswolds, where they direct water away from the walls. Casement windows, all original to this project, typify English domestic architecture. So does the dramatic oriel window on the south façade of the Koebig House.

But *House Beautiful* may have had a more generalized notion of English houses. Kelley certainly did. In 1916, after he had finished his studies at Cornell University, he penned an essay on the English house. Many of his ideas found a home in South Pasadena.

Simplicity creates beauty, he argued, not applied ornament. The visual appeal of the Koebig front façade depends on the shape and irregular placement of the gables and casement windows across an otherwise unadorned façade. Kelley let the natural beauty and variety of the stones and brick provide color and texture.

Another element Kelley associated with the English house, and a point made by the *House Beautiful* judges, was respect for the natural setting. The Koebig House sits on a modest rise, enough so that Kelley needed to add a retaining wall at the street level. Like many architects of the early twentieth century, Kelley believed nature was a source of healthy relaxation for a family. He had no use for a front porch, which he thought only offered the noise from the street and a place to watch neighbors. Instead, he oriented the Koebig House to the back garden. Doors from the living room and sun room open onto a terrace and a garden. [The original garden was replaced by a swimming pool in 1985.]

Kelley's interpretation of the English house also appears in the interior. The entry hall features mahogany panels reminiscent of English Tudor homes. Kelley specified "hand adzed" (chiseled) beams for the living room. Even with these references to the past, Kelley planned the house to function efficiently for a modern American family. At the front door, for example, the entry hall leads to a dining room on the left, to stairs leading to the sunken living room on the right, and directly across from the door, to stairs leading up to the bedrooms on the second floor, all the rooms central to a family's daily life.

The house featured a maid's quarters, which was located at the back corner of the house, behind the kitchen. The maid used a door that opened to the north, providing access to a

walled service yard (to accommodate a clothesline) and a narrow sidewalk that led to the street, a path also used by service people making deliveries to the house. [The path survives, but the quarters and the service yard have been modernized.]

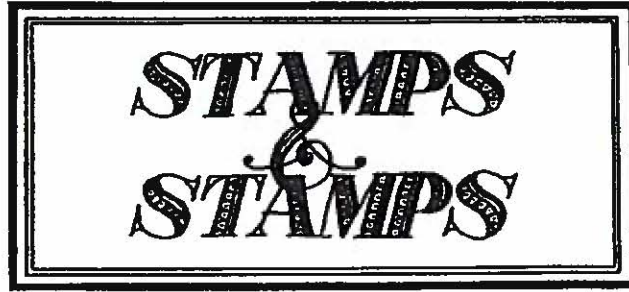
The Koebig House was built at a time when the suburbs of Los Angeles were expanding, and as they did, automobile use increasing. Kelley built a three-bay garage that opened onto Hermosa Street. The garage featured a sand pit to capture oil during a change, a gas tank, as well as a hoist and ladder to use when making repairs. The garage survives, including its attached workshop and tool shed.

When *House Beautiful* printed their story on the Koebig House, they noted the successful floor plan, specifically drawn for the Koebig family. "The plan of the house is well organized and nicely balanced and shows an economical adaptation to definite requirements. It is designed for a family of four, a man and his wife and the owner's father and mother, who each have a separate bedroom."

The owner of the house, Walter C.S. Koebig, was an established orthopedic surgeon at the time. He specialized in the care of children and, in the 1922, according to a story in the *Los Angeles Times*, "holds a position in the state health and development department of physical training work in the schools, and is at the head of the corrective work in the Los Angeles schools." His parents, Mr. and Mrs. A.H. Koebig, were German immigrants (from the late nineteenth century) who settled in San Bernardino; they had three sons. One of the sons ran a business with the father: Koebig & Koebig offered civil, consulting, sanitary and structural engineering services in Los Angeles. The family's importance occasioned a notice in the *Los Angeles Times* and the *San Bernardino County Sun* in 1930, both noting the golden wedding anniversary of the parents, which included a dinner at the Jonathan Club and a reception at "320 South Grand avenue, South Pasadena, for which more than 200 invitations were issued."

In South Pasadena, the Koebig House sits in a neighborhood of houses of comparable size, many built in this interwar period of the 1920s and '30s. Some, like the Koebig House, show elements of the English Revival style. But the Koebig House stands apart. With its superior design, it belongs to the tradition—which originated in Pasadena—of exquisite, architect-designed family homes near the Arroyo Seco. The choice of clinker brick on the house and surrounding walls is a small nod to the fabled Arts and Crafts artisans who established this Arroyo culture at the turn of the twentieth century.

(end)



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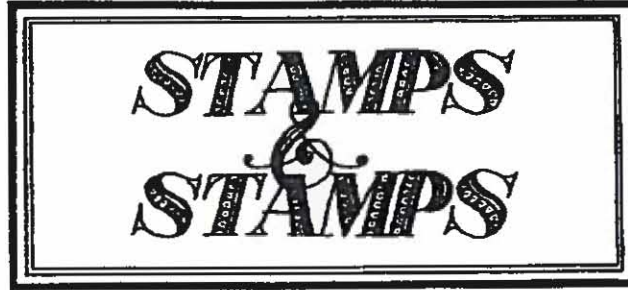
JUL 03 2019

CITY OF SOUTH PASADENA
PLANNING AND BUILDING DEPARTMENT

Mills Act Application, 320 Grand Ave., South Pasadena

Section II: Rehabilitation Plan, Maintenance List

<i>Proposed Scope of Work</i>	<i>Year</i>
1. Restore cracks in the clinker brick cladding, Clean and repoint lime mortar and cement between the bricks and stone (including house exterior walls, garage, and perimeter walls)	2020
2. Clean and repoint lime mortar and cement between the bricks and stone at the chimney	2020
3. Reinforce the garage opening and install a steel beam to ensure seismic stability	2020
4. Restore backyard paving and front walkway	2021
5. Restore/replace deteriorated exterior wood doors	2029
6. Restore, wax, and touch up interior wood paneling and ceiling beams in the foyer and living room	2029
7. Restore terracotta floor tiles in the bathroom	2029
<i>Maintenance:</i>	
8. Install copper plumbing from the street to the house	2029



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CITY OF SOUTH PASADENA
PLANNING AND BUILDING DE

Mills Act Application, 320 Grand Ave., South Pasadena

Section III: Cost Estimate of Rehabilitation/Maintenance Plan

All work efforts described in these plans will be carried out in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. Architects and/or contractors leading work efforts will have demonstrated historic preservation experience and will meet the *Secretary of the Interior's Professional Qualifications Standards* in their respective fields.

<i>Proposed Scope of Work and Description</i>	<i>Est. Cost</i>
<p>1. Restore cracks in the clinker brick cladding, Clean and repoint lime mortar and cement between the bricks and stone (including house exterior walls, garage, and perimeter walls) <i>Remove all cracked and broken bricks, replace them with structurally sound bricks that match the existing.</i> <i>Examine the existing bed and head joints between the bricks for mortar that has failed and remove and replace the failed mortar only. If the mortar has turned to powder it should be removed to a depth where it has some integrity.</i> <i>A sample section of the interior wall in garage and exterior walls will be restored at the beginning of this project to be used as a benchmark for the remaining work.</i></p>	\$ 60,880.00
<p>2. Clean and repoint lime mortar and cement between the bricks and stone at the chimney <i>Includes scaffolding construction to access the chimney and repoint exterior portion above the roof.</i></p>	\$ 8,800.00

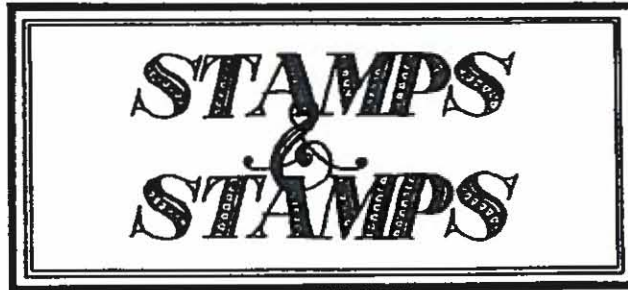
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JUL 03 2019

CITY OF SOUTH PASADENA
PLANNING AND BUILDING DEPT.

3.	Reinforce the garage opening and install a steel beam to ensure seismic stability <i>Engineer, remove and replace the brick above the garage door with a structurally engineered design.</i>	\$ 14,900.00
4.	Restore backyard paving and front walkway <i>Demo approximately 370-square feet of existing brick patio including 2-steps and landing and install new brick in pattern including high desert flagstone sections to mimic the existing deck.</i>	\$12,500.00
5.	Restore/replace deteriorated exterior wood doors <i>Replace two sets of French doors on the back of the house, matching design, stain, and finish of the existing doors.</i>	\$4,200.00
6.	Restore, wax, and touch up interior wood paneling and ceiling beams in the foyer and living room <i>Hardwax paneling and beams to match existing finish.</i>	\$900.00
7.	Restore terracotta floor tiles in the bathroom <i>Replace two cracked tiles to match existing tiles and seal.</i>	\$250.00
Maintenance:		
8.	Install copper plumbing from the street to the house <i>Replace main water line from meter to house with 1" copper line, trench and refill.</i>	\$2,800.00
Total investment in Rehabilitation and Maintenance:		\$105,230.00
Potential Mills Act Property Tax Savings over 10-year period*:		\$51,917.60
Potential Cost to the City of South Pasadena (10 years):		\$8,306.80

* This is only a preliminary estimate, tax adjustments are conducted by the Los Angeles County Assessor's Office.



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JUL 03 2019

CITY OF SOUTH PASADENA
PLANNING AND BUILDING DE

Mills Act Application, 320 Grand Ave., South Pasadena

Section IV: Historical Property Tax Analysis

(for informational purposes only)

A: DETERMINE ANNUAL INCOME AND ANNUAL OPERATING EXPENCES:

Gross Income (Monthly Rent x 12)	\$61,248.00
Realtor.com Rent Estimate: \$5,104.00	
Less 5% Vacancy & Collection Loss	\$3062.40
Effective Annual Income:	\$58,185.60
Less Expenses	\$34,892.40
Insurance: \$3,312.00	
Utilities (gas, electricity, water, trash): \$9,312.00	
Maintenance: \$19,206.00	
Management (5% of GI): \$3,062.40	
Annual Net Income:	\$23,292.20

B: DETERMINE CAPITALIZATION RATE:

2019 Interest Component	4.75%
Historical Property Risk Component	4%
Property Tax Rate	1.02%
Amortization Component (50 years)	1.34%
0.67*0.02=0.0134	
Total Capitalization Rate:	11.11% (0.1111)

C: CALCULATE MILLS ACT ASSESSED VALUE:

Annual Net Income / Capitalization Rate	\$209,650.77
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D: DETERMINE ESTIMATED TAX REDUCTION:

Current Taxes (2018-2019)	\$7,330.20
(Current Assessed Value – 7000) x 0.01	
Less Mills Act Taxes (Mills Act Value x 0.0102)	\$2,138.44
Potential Mills Act Property Tax Savings*:	\$5,191.76

Annual Cost to City (16%)	\$830.68
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* This worksheet estimates the tax adjustment possible through the Mills Act Program. This is only a preliminary estimate, tax adjustments are conducted by the Los Angeles County Assessor's Office.

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MAR 06 2019

**CITY OF SOUTH PASADENA
PLANNING AND BUILDING DEPT.**

From: Dr. William D. Sherman
320 Grand Avenue
South Pasadena, CA 91030

To: City of South Pasadena,
Planning Department

Re: Mills Act Application

Date: 2/15/2019

This is a letter of intent to file the Mills Act application for the property at 320 Grand Avenue. The site is located on the southeast corner of Grand Avenue and Hermosa street and is a part of the Grand Avenue North potential Historic District. The current owners have lived there since 1981.

The house was designated as a City Landmark # 54 in 2018 (approved by the City Council on 12/5/2018). Designed by a well-known architect H. Roy Kelly for an orthopedic surgeon Walter C.S. Koebig and built in 1927, the house is a remarkably intact example of the English Revival style. Steep cross-gabled roof, brick and stone veneer, wood paneling and ceiling beams in the interior are among the character-defining features of this house. The landmark possesses historic integrity of location, design, setting, materials, workmanship, feeling, and association.

The house has not undergone any major repair or restoration since it was built, other than minor interior remodeling. A number of features require historically accurate renovations to ensure structural stability and authenticity of the house, garage, and perimeter walls (see photos attached). The preliminary scope of work to be implemented under the Mills Act in 2019-2029 includes the following:

- Restore cracks in the clinker brick cladding;
- Clean and repoint lime mortar and cement between the bricks and stone;
- Restore/replace deteriorated exterior wood doors;
- Restore, wax, and touch up interior wood paneling and ceiling beams in the foyer and living room;
- Restore terracotta floor tiles in the bathroom;
- Reinforce the garage opening and install a steel beam to ensure seismic stability;
- Restore backyard paving and front walkway;
- Install copper plumbing from the street to the house.

All the proposed tasks will meet the Secretary of the Interior Standards for Historic Rehabilitation. Please schedule this proposal for a discussion with the Cultural Heritage Commission.

Sincerely,

A handwritten signature in blue ink, appearing to read "W.D. Sherman", with a stylized flourish at the end.

Dr. William D. Sherman

320 Grand Avenue, Letter of Intent for the Mills Act Application
ATTACHMENT





Cracks on the walls to be restored and mortar to be cleaned and repointed





Terracotta floor tiles to be repaired



Wood paneling to be restored and waxed



Backyard paving to be restored



Garage opening beam to be reinforced

Exhibit “D”
Standards for Rehabilitation

The Secretary of the Interior

Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and the environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ATTACHMENT 2
Cultural Heritage Commission Report

CULTURAL HERITAGE COMMISSION AGENDA REPORT

Project Address: 320 Grand Avenue Project #: 2236-MIL
Applicants/Owners: William and Teresa Sherman
Zoning: Residential Estate (RE) General Plan: Estate and Very Low Res.
APN: 5317-040-008 Zoning District: Residential Estate
CHC Meeting Date: September 19, 2019

Staff Recommendation:
Staff recommends approval of the proposed project as it meets the criteria for Mills Act Contract (SPMC Section 2.68B.1.c.).

Project Proposal:

The Cultural Heritage Commission will review the final application for a Mills Act Contract for the single family residence at 320 Grand Avenue. The house is historically known as the Koebig House. Designated a local landmark on December 5, 2018. The Commission shall make a recommendation on the application to the City Council. The City Council is the review authority that makes the final approval of Mills Act contracts.

Proposed Scope of Work:

The applicant has provided information regarding the condition of the historic property. The following is a general listing of the work plan and restoration items:

- Restore cracks in the clinker brick cladding.
Clean and repoint lime mortar and cement between the bricks and stone.
Restore/replace deteriorated exterior wood doors.
Restore, wax, and touch up interior wood paneling and ceiling beams in the foyer and living room.
Restore terracotta floor tiles in the bathroom.
Reinforce the garage opening and install a steel beam to ensure seismic stability.
Restore backyard paving and front walkway.
Install copper plumbing from the street to the house.

Financial Investment and Analysis:

The total cost of the proposed work plan is \$105,230. The estimated total tax savings to the owner is \$51,197.60. The financial analysis for the project is included as the supporting documents for the Mills act Contract.

Property Tax Reduction:

The total estimated cost to the city as a result of property tax reduction is approximately \$8,306.80 over the ten year life of the contract, which amounts to \$830.68 annually.

Historic Property Information:

Year Built: 1927 National Register Status Code: 1CS1
Historic Name: N/A Architectural Style: English Revival

Definition of Status Code:

This property is a designated local landmark

1 Listed in the CR as individual property by the SHRC

CHC Member Located within 500' of Subject Property: Yes No

- | | |
|---|--|
| <input type="checkbox"/> Mark Gallatin, Chair | <input type="checkbox"/> William Cross |
| <input type="checkbox"/> Rebecca Thompson, Vice Chair | <input type="checkbox"/> Kristin Morrish |
| <input type="checkbox"/> Steven Friedman | |

Criteria for Mills Act Contract (SPMC Section 2.68B.1.c.)

As outlined in the Cultural Heritage Ordinance, in considering the merits of a proposed Mills Act Contract, the Commission shall use the following criteria in making a recommendation to the City Council. Staff's review of the project's compliance with each criterion is as follows:

(i) **Financial Investment.** The estimated tax benefit is not expected to exceed the applicant's proposed financial investment in the cultural resource over the first 10 years of the contract. *Staff response: The total cost of the proposed scope of work is \$105,230. The estimated total tax savings to the owner is \$51,918. The financial analysis for the project is included as an attachment in this packet.*

(ii) **Public Benefit.** The proposed Mills Act contract features a work plan that will provide a benefit to the public by: rehabilitating the property for continued occupancy or adaptive reuse; improved viability through systems upgrades and structural reinforcement upgrades; preserving and maintaining the character-defining features of the property, and/or restoring character-defining features of the property that have been significantly altered or removed over time. *Staff response: The application proposes significant repairs and restoration of the brick and wood character-defining features of the house that are visible to the public from the sidewalk and street. The proposed improvements will contribute to the preservation of this designated local landmark.*

(iii) **Retroactive Limitations.** The estimated tax benefit will not be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty. *Staff response: The application does not propose maintenance or alteration work that was previously completed or initiated.*

(iv) **Limitations on Maintenance.** The estimated tax benefit will not be used for routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements. *Staff response: The application does not propose to use the estimated tax benefit for maintenance of the property.*

(v) **Limitations on Interior Work.** The estimated tax benefit will not be used for work within the interior of a cultural resource unless the commission determines the following exceptions should be made: the interior work is necessary to improve the structural integrity of the property; the interior work is necessary to preserve and maintain character-defining features within the cultural resource that are specifically identified as part of the official landmark nomination; and/or the interior work is necessary to preserve and maintain character-defining features of the property that were discovered subsequent to its landmark designation. The commission must first determine that those interior features are character-defining based on substantial evidence provided by the applicant.

Staff response: The total cost of the proposed scope of work is \$105,230. The cost of the proposed exterior work on the house and yards is \$101,280. In year 2020 of the contract, the application proposes \$69,680 on repair and restoration of the exterior brick cladding and mortar. The \$69,680 of expenditures in the first year of the contract exceeds the estimated \$51,197.60 of total tax savings by the owner by \$18,482.40

(vi) Limitations on Landscaping. The estimated tax benefit will not be used for landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination.

Staff response: The application does not propose landscaping work. Hardscape repairs in the yards are proposed.

Alternatives:

In addition to Staff's recommendation, the following alternatives are offered for the Cultural Heritage Commission's consideration:

1. Recommend approval of the application with conditions.
2. Recommend denial of the application as proposed.

Environmental Review:

This item is exempt from any California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15308, Class 8: Actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.

Public Notification of Agenda Item:

The public is made aware of this item by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Next Steps:

The recommendation of the Commission and the final application will be presented to the City Council in an Agenda Report at a noticed public hearing prior to December 31, 2019.

Attachments:

1. Final Mills Act Application and supporting documents
2. Mills Act Letter of Intent