



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

**AGENDA
REGULAR MEETING
THURSDAY, OCTOBER 3, 2024
6:30 P.M.**

**AMEDEE O “DICK” RICHARDS JR. COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

South Pasadena Design Review Board Statement of Civility

As your appointed governing board, we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Design Review Board Meeting will be conducted in-person from the Amedee O. “Dick” Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – City Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/89814060953> **Meeting ID: 898 1406 0953**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link: <https://us02web.zoom.us/j/89814060953>

CALL TO ORDER: Chair Brian Nichols

ROLL CALL: Chair Brian Nichols
Vice-Chair Melissa Hon Tsai
Board Member Samantha Hill
Board Member James Martin
Board Member Kay Younger

COUNCIL LIAISON: Councilmember Michael Cacciotti

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT GUIDELINES ([Public Comments are limited to 3 minutes](#)) The Design Review Board welcomes public input. If you would like to comment on an agenda item, members of the public may participate by means of one of the following options:

Option 1:

Participate in-person at the City Council Chambers, 1424 Mission Street, South Pasadena, CA 91030.

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to PlanningComments@southpasadenaca.gov.

Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Design Review Board meeting.

NOTE: Pursuant to State law, the Design Review Board may not discuss or take action on issues not on the meeting agenda, except that members of the Design Review Board or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT

1. **Public Comment – General (Non-Agenda Items)**

CONSENT CALENDAR ITEM

2. **Minutes from the Regular Meeting of 8/1/24**

PUBLIC HEARING

PROJECT NO. 2573-DRX-TRP –A request for a Design Review Permit (DRX) for a 304 square-foot addition and associated improvements for an existing 1,584 square-foot single-family dwelling located at 1411 Indiana Avenue (Assessor's Parcel Number: 5311-011-038) in the Residential Single Family (RS) zone. The application includes a Tree Removal Permit (TRP) for the removal of an existing palm tree. In accordance with the California Environmental Quality Act (CEQA), this project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities).

Recommendation:

Finding the project exempt from California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1 (Existing Facilities). Approve the project, subject to the recommended conditions of approval.

DISCUSSION

1. **Introduction to Staff**

ADMINISTRATION

2. **Comments from City Council Liaison**
3. **Comments from Board Members**
4. **Comments from Subcommittees**
5. **Comments from Staff**

ADJOURNMENT

- 6. **Adjourn to the Regular Design Review Board meeting scheduled for November 7, 2024 at 6:30 p.m.**

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Design Review Board meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/Your-Government/Boards-Commissions/Design-Review-Board>

Agenda related documents provided to the Design Review Board are available for public review on the City’s website. Additional documents, when presented to Design Review Board, will also be uploaded and available on the City’s website.

AGENDA NOTIFICATION SUBSCRIPTION

Individuals can be placed on an email notification list to receive forthcoming agendas by emailing CityClerk@southpasadenaca.gov or calling the City Clerk’s Division at (626) 403-7230.

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City’s website as required by law.

9/26/2024

Date

Lilly Estrada, Administrative Secretary



**CITY OF SOUTH PASADENA
DESIGN REVIEW BOARD**

REGULAR MEETING MINUTES

THURSDAY, AUGUST 1, 2024 AT 6:30 P.M.

**CITY COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

CALL TO ORDER:

Chair Nichols called the Regular Meeting of the Design Review Board to order on Thursday, August 1, 2024 at 6:30 p.m. The meeting was conducted in person at the Council Chambers located at 1424 Mission Street, South Pasadena, California.

**ROLL CALL
PRESENT:**

Brian Nichols, Chair
Melissa Hon Tsai, Vice-Chair
Samantha Hill, Board Member
James Martin, Board Member

ABSENT:

Kay Younger, Board Member

**STAFF
PRESENT:**

Matt Chang, Planning Manager
Braulio Madrid, Associate Planner
Tatianna Marin, Acting Assistant Planner
Lillian Estrada, Administrative Secretary

APPROVAL OF AGENDA

Majority vote of the Board to proceed with Board business.

There were no changes requested and the Agenda was approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Board of site visits and ex-parte contact for items on the agenda.

None.

PUBLIC COMMENT

1. Public Comment – General (Non-Agenda Items)

None.

CONSENT CALENDAR ITEM

2. Minutes from the Regular Meeting of 5/2/24

The Consent Calendar item was approved as submitted.

PROJECT PREVIEW

- 3. PROJECT NO. 2569-DRX** – A request for a Design Review Permit for 1,056 square-foot tow-story addition, a 520 square-foot deck, and a new 500 square-foot detached garage to an existing 1, 188 sq. ft. single-family dwelling located at 1532 Indiana Avenue (APN: 5314-006-028).

Recommendation:

Provide feedback to the applicant regarding the proposed design.

Presentation:

Associate Planner Madrid presented the staff report.

Vice-Chair Tsai asked about discrepancies in roof slope on the various drawings. She also asked for clarification of the maximum height allowed in zoning code.

Associate Planner Madrid stated that these discrepancies will be removed in the final plans and were a result of multiple revisions. He added that maximum height allowed is 24 feet.

Applicant Presentation:

Project architect Jim Fenske made a presentation.

Board Member Discussion:

Board Members had a robust conversation and overall felt the project was much improved. They discussed the trellis, window sizes, height of structure, roofline, and garage. They asked Mr. Fenske if he wanted to add anything after hearing their comments.

Mr. Fenske stated his client wanted everything to blend and that they would look at bringing roofline down, and revisit the windows but hoped they could keep the

openness of the trellis and the eaves. He added that the contrast was cedar siding, cable rail, wood trellis and some stucco.

PUBLIC HEARING

4. Project No. DRX24-0005:

A request for a Design Review Permit for 542 sq. ft. one-story addition to the rear of an existing 1,686 sq. ft. single-story dwelling located at 1422 Maple Street (APN: 5319-011-025). In accordance with the California Environmental Quality Act (CEQA), this project qualifies for Categorical Exemption under Section 15301, Class 1 (Existing Facilities).

Recommendation:

Finding the project exempt from California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1 (Existing Facilities). Approve the project, subject to the recommended conditions of approval.

Presentation:

Acting Assistant Planner Marin presented the staff report.

Applicant Presentation:

The Applicant was present but did not have a presentation.

Chair Nichols asked how the water would flow with the proposed roofline.

Architect Rafael Salas stated that they would use crickets to address the water flow.

Public Comments:

With no requests to speak, the public comment portion of the hearing was closed.

Board Member Discussion:

Vice-Chair Tsai stated she felt the much-improved project was appropriate in scale, style, and finishes.

Chair Nichols and Board Member Hill stated that the project was well done and seamless.

Action and Motion:

MOTIONED BY BOARD MEMBER HILL AND SECONDED BY VICE-CHAIR TSAI, CARRIED 4-0, to approve the project as submitted with conditions of approval.

DISCUSSION

5. Potential Zoning Code Amendments

Recommendation:

Receive staff's presentation and provide feedback.

Presentation:

Planning Manager Chang presented the staff report.

Board Member Discussion:

A robust discussion ensued with suggestions from the Board for revisions to the Municipal Code. The suggestions included offering staff level reviews instead of chair reviews for some window change outs, ADUs, and re-roofs. In addition, the Board suggested that the approval window could be shortened for certain simpler projects. Other ideas from the Board included revising thresholds that trigger DRB approval, such as square footage for room additions. The Board also had a lengthy discussion about time restrictions for permits, pros and cons. The Board also recommended clarifying confusing aspects of code like building height limit.

ADMINISTRATION

6. Comments from City Council Liaison

None.

7. Comments from Board Members

None.

8. Comments from Subcommittees

None.

9. Comments from Staff

Planning Manager Chang told the Board Members that in addition to news of Zoning Code Amendments, staff had finally received certification for the Housing Element from the State.

ADJOURNMENT

11. Adjourn to the Regular Design Review Board meeting scheduled for September 5, 2024 at 6:30 p.m.

There being no further matters, Chair Nichols adjourned the Regular Design Review Board meeting at 7:57 p.m.

APPROVED,

Brian Nichols, Chair – Design Review Board

Date



Design Review Board Agenda Report

ITEM NO. 3

DATE: October 3, 2024

FROM: Alison Becker, Interim Community Development Director
Robert (Dean) Flores, Senior Planner

PREPARED BY: Braulio M. Madrid, Associate Planner

SUBJECT: **Project No. 2573-DRX-TRP – A for a 304 square-foot addition and associated improvements for an existing 1,584 square-foot single-family dwelling unit within the Residential Low Density (RS) zone located at 1411 Indiana Avenue (Assessor’s Parcel Number: 5311-011-038). The application includes a Tree Removal Permit (TRP) for the removal of an existing palm tree.**

Recommendation

Staff recommends that the Design Review Board (DRB):

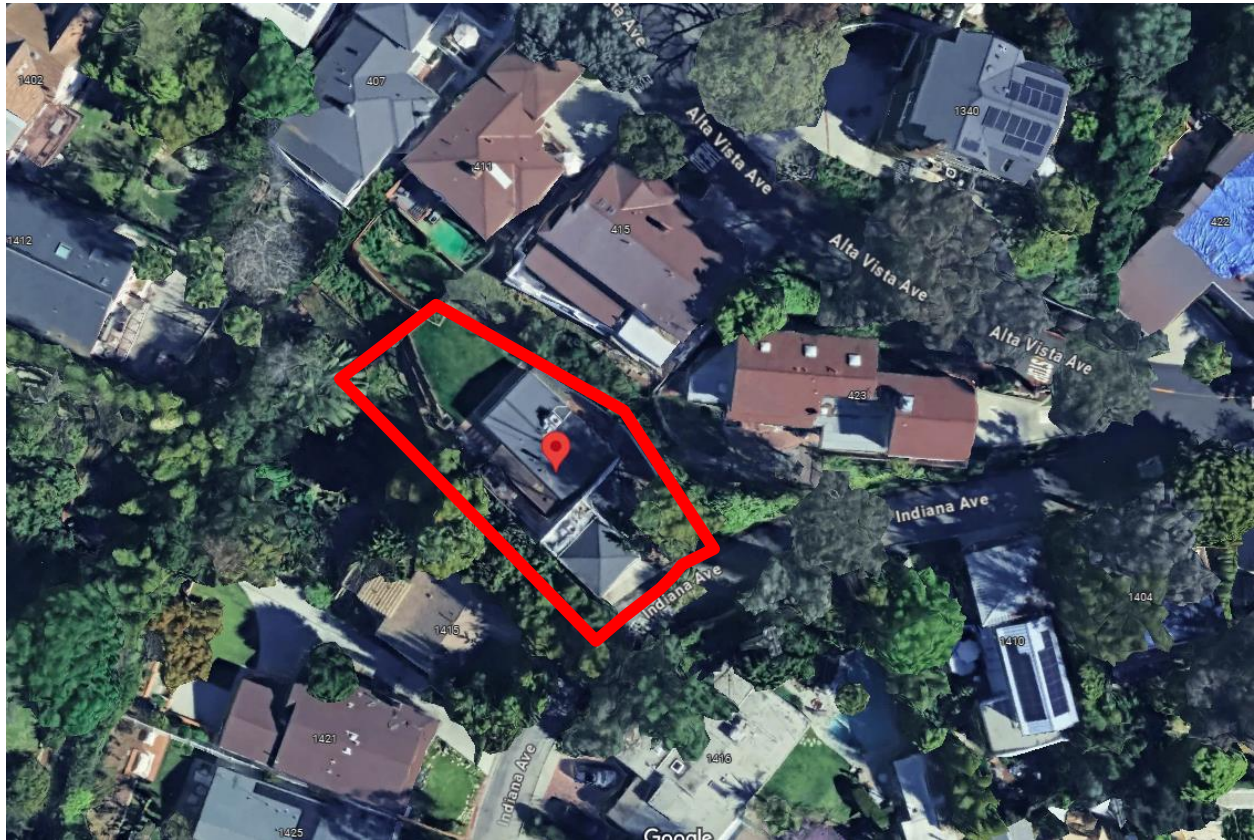
1. Finding the project exempt under California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1 (Existing Facilities).
2. Approve Project No. 2573-DRX-TRP, subject to the Conditions of Approval (**Attachment 1 – Condition of Approval**).

Background

The existing split-level single-family residence was built in 1957 with an attached garage facing Indiana Avenue. The home incorporates elements of mid-century style architecture. The existing design includes smooth stucco finish, wood window trim, wood garage door, and the use of glass block windows. (**Attachment 2 – Site and neighborhood Images**) The property is not on the City’s Inventory of Historic Resources, and it is not within a historic district. After its original built, the single-family dwelling had minor permits pulled for; a small addition, a new garage roof, and other miscellaneous permits such as plumbing and electrical.

The subject property is located at the north side of Indiana Avenue, west of the Alta Vista Ave. and Indiana Ave. intersection. It is surrounded by single-family homes with a mix of architectural styles. Figure 1 identifies an aerial of the subject property and the surrounding neighborhood, with the project site outlined in red.

Figure 1: Aerial



Project Description

The applicant is requesting the approval of a Design Review Permit for the proposed 304 square-foot addition which will be visible from the public right-of-way. The 288 square-foot addition at the front will add a living room, while the new 187 square-foot addition to the side will help create a new mud room. The project is proposing to honor the existing rational geometric architectural style and provided a new gable that mimics the slope of the existing pyramid roof, while keeping the existing maximum top of roof elevation, and keeping the white stucco exterior wall finish. The project proposes to use TM Cobb custom made wooden windows and doors, to match the existing ones. The addition is visible from the public right of way therefore the Design Review process is required pursuant to SPMC Section 36.410.040. **(Attachment 3- Project Plans).**

Project Analysis

Zoning Compliance and Development Standards

The proposed project complies with all applicable development standards for residences within the Residential Low Density (RS) zone. The design of the project will also be consistent with the character of the existing single-family residence and neighborhood. Additionally, the request complies with the South Pasadena Design

Guidelines for the purpose of promoting high-quality additions compatible with adjacent properties.

The subject property is located within the RS zoning district, which is intended for areas appropriate for development of detached, single-family homes. The purpose of Residential Zoning District General Development Standards (SPMC, Section 36.220.040) is to ensure that alterations to existing structures are suitable and compatible with the applicable development standards. Pursuant to Section 36.220.050 Development of Small Nonconforming Residential Parcels, the subject lot is deemed nonconforming, because it is less than 10,000 square-feet in size. Residential Development Standards from SPMC Sections 36.220.040 and 36.220.050, were applied to the proposed project. The table below lists the project's conformance with applicable development standards.

Nonconforming Residential Parcels / Residential Low Density (RS) Development Standards Compliance

Standard	Requirement	Existing	Proposed
Minimum Lot Size	10,000 SF	7,023 SF	No Change
Lot Coverage (SPMC 36.220.050)	50% max (3,512 SF max. allowed)	29.5% (2,035 SF)	33.8% (2,379 SF)
Floor Area Ratio (FAR)	35% max (2,458 SF max. allowed)	22.5% (1,584 SF)	26.8% (1,888 SF)
Building Height	35' max.	Approximately 24 ft. 5 in.	No Change, new addition is 19 ft. 1in.
Off-Street Parking	2-Covered Spaces	2 on-site parking	No Change
Front Setback Remaining (SPMC 36.220.050)	20 ft. minimum	Approximately 4 ft. 5 in.	No Change, Legal non- conforming.
East Side Setback	10% of lot width, 4 ft. minimum	7 ft. 5 in.	No change, new addition is 9 ft. 8 in.
West Side Setback	10% of lot width, 4 ft. minimum	9 ft. 7 in	No change, 9 ft. 7 in
Rear Setback	25 ft.	40 ft. 7 in.	No change, 40 ft. 7 in.

When completed, the materials, color scheme, and building massing of the renovated home will blend with the overall architectural character of the existing home and surrounding area, therefore preserving the residential integrity of the existing single-family neighborhood and not imposing any adverse impacts on adjacent properties.

General Plan Consistency

The General Plan (2040) land use designation of the project is Low Intensity Neighborhood, which allows for single-family dwellings at up to 5 units per acre. The proposed project, therefore, complies with the following General Plan goals, policies, and/or actions:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

General Standards for Construction

The Public Works Department has reviewed this project and recommended Conditions of Approval (Attachment 1) to mitigate any potential construction impact during construction. Tree removal permits shall be pulled and issued from the Public Works Department, prior to any tree trimmings or tree removals, as conditioned.

Findings

Design Review Required Findings

In order to approve a Design Review application, the Design review Board shall first find that the design and layout of the proposed development is in accordance with SPMC section 36.410.040 (Design Review):

- 1. Is consistent with the General Plan, any adopted design guidelines and any applicable design criteria for specialized areas (e.g., designated historic or other special districts, plan developments, or specific plans);**

The project site has a General Plan land use designation of Low Intensity Neighborhood. General Plan policies for this land use designation specify this land use category for detached single-family dwelling uses—there are no additional dwelling proposed, as such, it remains consistent with the General Plan.

The proposed addition to the existing single-family residence complies with all applicable requirements of the land use zoning. Compliance with SPMC and design guidelines is met including but not limited to lot coverage, floor area ratio, building height, setbacks, parking, exterior finishes, and building materials.

Additionally, the architectural design, materials, finishes and color scheme will blend with the overall character and color palette of the existing home and is also compatible with the surrounding properties.

- 2. Will adequately accommodate the functions and activities proposed for the site, will not unreasonably interfere with the use and enjoyment of neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards;**

The project is designed to accommodate the functions and activities related to typical single-family residential properties. As conditioned, the project's mass, scale, bulk, and temporary construction activities would not unreasonably interfere with the use and enjoyment of the neighboring, existing, or future developments, and will not create adverse pedestrian or traffic hazards.

- 3. Is compatible with the existing character of the surrounding neighborhood and that all reasonable design efforts have been made to maintain the attractive, harmonious, and orderly development contemplated by this Section, and the General Plan; and,**

The site arrangement and improvements will be compatible to the existing and intended character of the neighborhood since the proposed addition is in compliance with the General Plan and the Zoning Code. All building materials, colors and finishes will match the existing house, as conditioned. Furthermore, the proposed addition will enhance the visual integrity of the property and the surrounding area.

- 4. Would provide a desirable environment for its occupants and neighbors, and is aesthetically of good comparison, materials, and texture that would remain aesthetically appealing with a reasonable level of maintenance and upkeep.**

The proposed project addition has been designed with the consideration to its occupants and provides adequate indoor and outdoor space. The proposed project uses similar materials and colors to enhance the existing architecture and should remain appealing with a reasonable level of maintenance.

Alternatives to Consider

If the Design Review Board does not agree with Staff's recommendation, the following options are available:

1. The Design Review Board may approve the project with modified/added conditions; or
2. The Design Review Board may continue the project to address comments discussed; or
3. The Design Review Board may deny the project.

Environmental Analysis

This item is exempt from California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15031, Class 1 – Existing Facilities. Class 1 exemption includes additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet, in which the project site is in an area where all public facilities are available and is not located in an environmentally sensitive area.

Public Noticing

A Public Hearing Notice was published on September 20, 2024 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on September 19, 2024. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Next Steps

If the Design Review Board approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the Planning Commission. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Building Division and staff will review the construction plans to ensure that all conditions are satisfied.

Attachments

1. Conditions of Approval
2. Site and Neighborhood Images
3. Project Plans and Renderings

ATTACHMENT 1

Conditions of Approval

CONDITIONS OF APPROVAL Design Review

PROJECT NO. 2573-DRX-TRP
1411 Indiana Avenue (APN: 5311-011-038)

The following approvals are granted as described below and as shown on the development plans submitted to and approved by the Design Review Board on October 3, 2024:

Design Review: a 304 square-foot addition and associated improvements for an existing 1,584 square-foot single-family dwelling unit that is visible from the public right of way that was developed on a 7,023-square-foot lot.

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. Approval by the Design Review Board does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Design Review.
- P2. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P3. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P4. The applicant shall demonstrate that proposed building materials, and other architectural/site features are rated for appropriate durability and longevity. Final plans shall incorporate all changes as conditioned herein and shall recognize all easements or deed restrictions pertaining to the subject property. Any appreciable modification shall require the prior approval of the Planning Division.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Planning Commission concerning this use.

- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. During construction, the clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P9. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, as necessary, prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition per tentative landscape plans.
- P10. A construction sign with contact information for the contractor shall be posted on-site during construction.
- P11. The applicant shall submit a proposal to the Planning Division to legalize any unpermitted structures and fences on site, prior to final building permit issuance. Structures and fence shall comply with the regulations stipulated in the South Pasadena Municipal Code (SPMC) and California Building Code. If the structures or fences cannot comply, the applicant shall obtain a demolition permit to remove the unpermitted structures or fences.

BUILDING DIVISION:

- B1. The second sheet of building and grading plans is to list all conditions of approval and to include a copy of the Design Review Board Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the current Building Code shall be submitted to Building Division for review prior to permit issuance.

- B3. Park Impact fee to be paid at the time of permit issuance.
- B4. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B5. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B6. A drainage plan shall be approved prior to issuance of the building permit. The drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B7. Preliminary MS4 Project Application (MS4-1 FORM) completed by Engineer of Record shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans. The form can be found at the following link <https://www.dropbox.com/scl/fi/chxsvdnb9u6uuxb25ua76/SP-MS4-1-LID-Determination-Form.pdf?rlkey=d7q43dh29lurp3ma1q4acbote&dl=0>
- B8. Foundation inspection will not be made until setback of the addition has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B9. Project shall comply with the CalGreen Residential mandatory requirements.

PUBLIC WORKS DEPARTMENT:

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting for the project to be redesigned/resubmitted.
- PW2. The applicant shall pay all applicable City fees including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule, which can be found on the City's website. This includes all costs incurred by the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. The applicant shall identify all existing on-site easements. Any conflict with and/or presence of existing easements must be addressed. The applicant shall provide a Title Report, with effective date within the last 60 days, to verify the presence of easements.

- PW4. Indiana Avenue shall be photographed, and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the project approval and immediately upon completion of the project.
- PW5. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW6. The applicant shall replace all broken, damaged, or out-of-grade sidewalk and driveway approaches, and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- a. The applicant shall install new 4" thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
 - b. The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department.
- PW7. The applicant shall contact the City of South Pasadena Water Operations Manager, Victor Magana, VMagana@SouthPasadenaCA.gov for the fire flow test. The applicant shall submit water demand calculations to the City for potable water and fire (if applicable). The calculations will be used to verify the adequacy of the existing water meter connection for the proposed structure and Fire Department approved fire sprinkler system (if applicable). The applicant shall coordinate with the Water Operations Manager the size, location and the associated fee for the installation of a new water meter connection.
- PW8. The applicant shall provide clearance letter from utility companies for any proposed relocation of utility lines that encroach on the properties prior to obtaining permits for the project.

- PW9. Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.
- PW10. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW11. The applicant shall provide a Construction Management Plan to the Public Works Department for review and approval prior to issuance of permits. The Construction Management Plan shall include, but not be limited to, types of proposed construction activities, an on-site staging plan, haul route, construction schedule for major activities (i.e. demolition, grading, material delivery, etc.), and shall indicate a contractor parking location. All vehicles including workers' vehicles shall not be parked near the construction site. Provide a shuttle service if necessary.
- PW12. The applicant shall include the following information on the plans:
- a. The 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
 - b. The location, grade, and dimensions of all existing conditions and proposed improvements within the public right-of-way, including, but not limited to, curb and gutter, sidewalk, driveway, traffic striping, signage, trees, utilities, pavement and other features.
 - c. The location of all existing utilities on adjacent street(s), as well as the location and size of all existing or proposed utilities serving the property. Show all utility points of connection (POC).
 - d. Show the location and area of trench sections for any proposed sewer and water line connections within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
 - e. A trench restoration detail per City standards for proposed utility connections.
 - f. All utility poles adjacent to the properties and note to "PROTECT-IN-PLACE".
- PW13. The applicant shall add the following notes on the plans:

- a. The applicant shall bring the existing parkway on Indiana Avenue up to current standards per SPMC Section 31.48.
- b. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk and driveway approaches, and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
 - i. The applicant shall install new 4" thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520- C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
 - ii. The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110- 2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Community Development Department and the actual limits of concrete removal with the Public Works Department.
 - iii. The applicant shall remove and replace/install new curb and gutter conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 120-3, Type A2-6 and A2-8. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the actual limits of concrete removal with the Public Works Department.
- c. The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.

- d. Any construction activity that may require roadway or lane closures where two-way traffic cannot be accommodated will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and residents at least 48 hours in advance of the street closure.
- e. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- f. Temporary bins (low boy), if used, shall be “roll off” style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- g. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- h. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

FIRE DEPARTMENT:

- FD 1. Required Code References: Current South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code; Title 19 and applicable NFPA fire standards.
- FD 2. Fire Sprinklers are required per South Pasadena Municipal Code. Submit plans to City for approval.
- FD 3. Provide a Water Flow Test from City of South Pasadena Water Department at time of submittal along with fire sprinkler plans.
- FD 4. Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provide throughout all buildings with a Group R fire area.

- FD 5. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD 6. Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD 7. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD 8. Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD 9. Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD 10. Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Address numbers shall be maintain.
- FD 11. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD 12. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- a. On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
 - b. In each room used for sleeping purposes.
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed

on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- FD 13. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3).
- FD 14. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages.
- FD 15. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD 16. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).
- FD 17. Alarm Requirements. Single and multiple station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. Carbon monoxide alarms and carbon monoxide detectors shall be installed in accordance with this code, the current edition of NFPA 720 "Standard for the Installation of Carbon Monoxide (CO) Detection and Warning Equipment" and the manufacturer's installation instructions. Other carbon monoxide alarm and detection devices recognized in NFPA 720 are also acceptable.
- FD 18. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms. (CBC 420.4.3.1).
- FD 19. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- a. At each stairway on all floor levels where combustibles materials have accumulated.
 - b. In every storage and construction shed.

- c. Where special hazards exist included, but not limited to, the storage and use of combustible and flammable liquids.

- FD 20. A set of plans must remain on the job site at all times. Appointments for inspections should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.
- FD 21. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 2

Site and Neighborhood Pictures

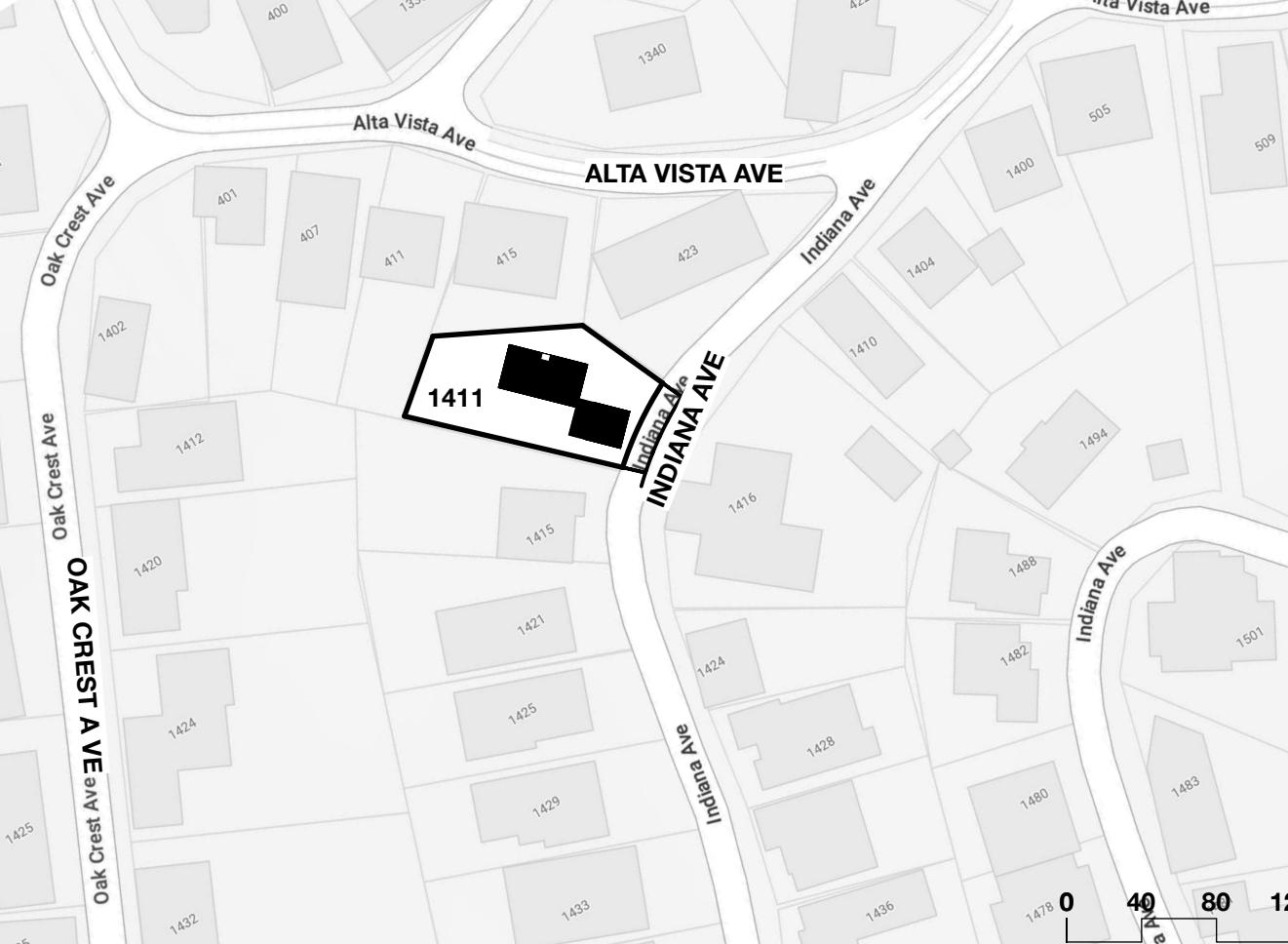
GENERAL NOTES:

- A) THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN FIVE FEET OF ANY POWER LINES - WETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- B) AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORD. 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED)
- C) PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. (R306.3)
- D) KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- E) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- F) PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- G) UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED) (R308.6.9)
- H) WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
- I) FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. 6109 OF LABC
- J) FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977, 3162B
- K) AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. R309.4
- L) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- M) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
- N) EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- O) A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

ABBREVIATIONS:

A	ABOVE FINISH FLOOR	FAU	FORCED AIR UNIT	P	PROPERTY LINE
APPROX	APPROXIMATELY	FD	FLOOR DRAIN	PL	PRESSURE TREATED
AC	AIR CONDITIONING	FF	FINISHED FLOOR	PP	POWER POLE
ACC	ACCESS	FJ	FLOOR JOIST		
ADD	ADDITIONAL / ADDITION	FS	FINISHED SURFACE	R	RADIUS OR RISER
ADU	ADDITIONAL DWELLING UNIT	FT	FEET / FOOT	RR	ROOF RAFTER
AP	ACCESS PANEL	FP	FIRE PLACE	REF	REFRIGERATOR
@	AT	FT	FIRE PLACE	REQ	REQUIRED
		GA	GAS METER	REV	REVISION
B	BUILDING	GPM	GALLON PER MINUTE	RM	ROOM
BLDG	BUILDING			S	SQUARE FEET
BO	BOTTOM OF			SFR	SINGLE FAMILY RESIDENCE
		H	HEIGHT	SIN	SQUARE INCHES
C	CEILING BEAM	HDRM	HEADROOM	SPECS	SPECIFICATIONS
CB	CEILING BEAM	HDR	HEADER	SHT	SHEET
CH	CEILING HEIGHT	ICV	IDLE CONTROL VALVE	SHTG	SHEATHING
CL	CENTER LINE OR CLOSET	INT	INTERIOR	SIM	SIMILAR
CLNG	CLEAR			STRUCT	STRUCTURAL
CLR	CLEAR			T	TREADS
CJ	CEILING JOIST			TL/W	TANKLESS WATER HEATER
CMU	CONCRETE MASONRY UNIT			TOR	TOP OF ROOF
CONC	CONCRETE			TOW	TOP OF WALL
CONST	CONSTRUCTION			T&G	TOUNGE AND GROOVE
CONT	CONTINUOUS			TYP	TYPICAL
CVRD	COVERED			W	WITH
				W/D	WASHER DRYER
D	DOUBLE			WD	WOOD
DBL	DOUBLE			W/O	WITHOUT
DIA	DIAMETER			W/C	WALK IN CLOSET
DIM	DIMENSION			WH	WATER HEATER
DN	DOWN			WM	WATER METER
DWG	DRAWING			WP	WEATHER PROOF
				WR	WATER RESISTANT
E	EACH				
EA	EACH				
EL	ELEVATION				
EP	ELECTRICAL PANEL				
EQ	EQUAL / EQUAL TO				
EXT	EXTERIOR				
(E)	EXISTING				

**VICINITY MAP:
SCALE 1"=100'0"**



LEGEND:

	(N) ADDITION: 288 SF + 165 SF = 304 SF
	(N) ENTRY STEPS, BRICK PAVER: 167 SF
	(E) BLOCK WALLS
	(E) BLDG. FOOTPRINT
	(E) PAVEMENT, BRICK.

SUBJECT PARCEL:

OWNER: AYA & RYAN DEAM
 ADDRESS: 1411 INDIANA AVE
 TELEPHONE: (310) 923-8339

APN: 5311-011-038
 TRACT / LOT: TR 8026 / LOT 221
 LOT SIZE: 7,023 SQ.FT.

ZONING: RS
 LAND USE: RESIDENTIAL LOW DENSITY
 OCCUPANCY GROUP: R 3
 CONSTRUCTION TYP: V-B

PERMIT HISTORY:
 EXISTING SINGLE FAMILY RESIDENCE BUILT: 1957
 ADDITION & REMODEL 1982

HEIGHT:
 EXISTING SINGLE FAMILY RESIDENCE: 19'7"
 PROPOSED ADDITION 19'5"

PARKING:
 EXISTING TO REMAIN 2-CAR GARAGE
 PROPOSED NEW NONE

APPLICABLE CODES: 2022 CRC, 2022 CGBSC, 2022 CPC, 2022 CEC, 2022 OFC, 2022 ENERGY CODE

LEGAL DESCRIPTION:
 LOT 221 OF TRACT NO. 8026, MAP BOOK 90, PAGE 57-59, LOS ANGELES COUNTY

FLOOR AREA RATIO (FAR):

(E) RESIDENCE	1,584 SF
(N) ADDITION	304 SF
(N) COMBINED TOTAL	1,888 SF
TOTAL FAR	0.26
(MAX RFA: 7,023 SF X 0.35 =	2,457 SF)

LOT COVERAGE:

LOT AREA:	7,023 SF
(E) MAIN HOUSE & GARAGE	1,584 SF
(E) ATTACHED DECK	491 SF
(N) ADDITION	304 SF
TOTAL	2,379 SF (33.8% OF LOT AREA)
(MAX. LOT COVERAGE	3,511.5 SF)

PROJECT DESCRIPTION:

1. PROPOSED 304 SF ONE STORY ADDITION TO EXISTING 1,524 SF ONE STORY SINGLE FAMILY RESIDENCE (288 SF LIVING ROOM EXTENSION & 16 SF ENTRY PORCH ENCLOSURE, INCLUDING INTERIOR REMODEL).

SLOPE ANALYSIS:

AVERAGE SLOPE FORMULA $S = \frac{100 (I \times L)}{A}$

$S = \frac{100 (2' \text{ INTERVAL} \times 593.49' \text{ LENGHT})}{7,023 \text{ SF}}$

S = 16.90 % AVERAGE SLOPE

SEE SITE TOPOGRAPHIC SURVEY BY SILLAS LAND SURVEYING FOR CALCULATION

ENGINEERING:

LANDSCAPE ARCHITECT:
 SUPERNATURAL
 NAME: MIKE TRAMUTOLA, CA #5714
 PHONE: (800) 237-8824

SURVEYOR:
 SILLAS LAND SURVEYING
 NAME: ALFREDO SILLAS L.S. 9113
 PHONE: (661) 839-2118

ENERGY CALCULATIONS:
 TITLE 24 DATA CORP.
 NAME: DAVID A. MC CLAIN
 PHONE: (800) 237-8824

STRUCTURAL ENGINEER:
 CRAIG PHILLIPS ENGINEERING & DESIGN, INC.
 NAME: CRAIG R. PHILLIPS, PE C-69673
 PHONE: (310) 625-2325

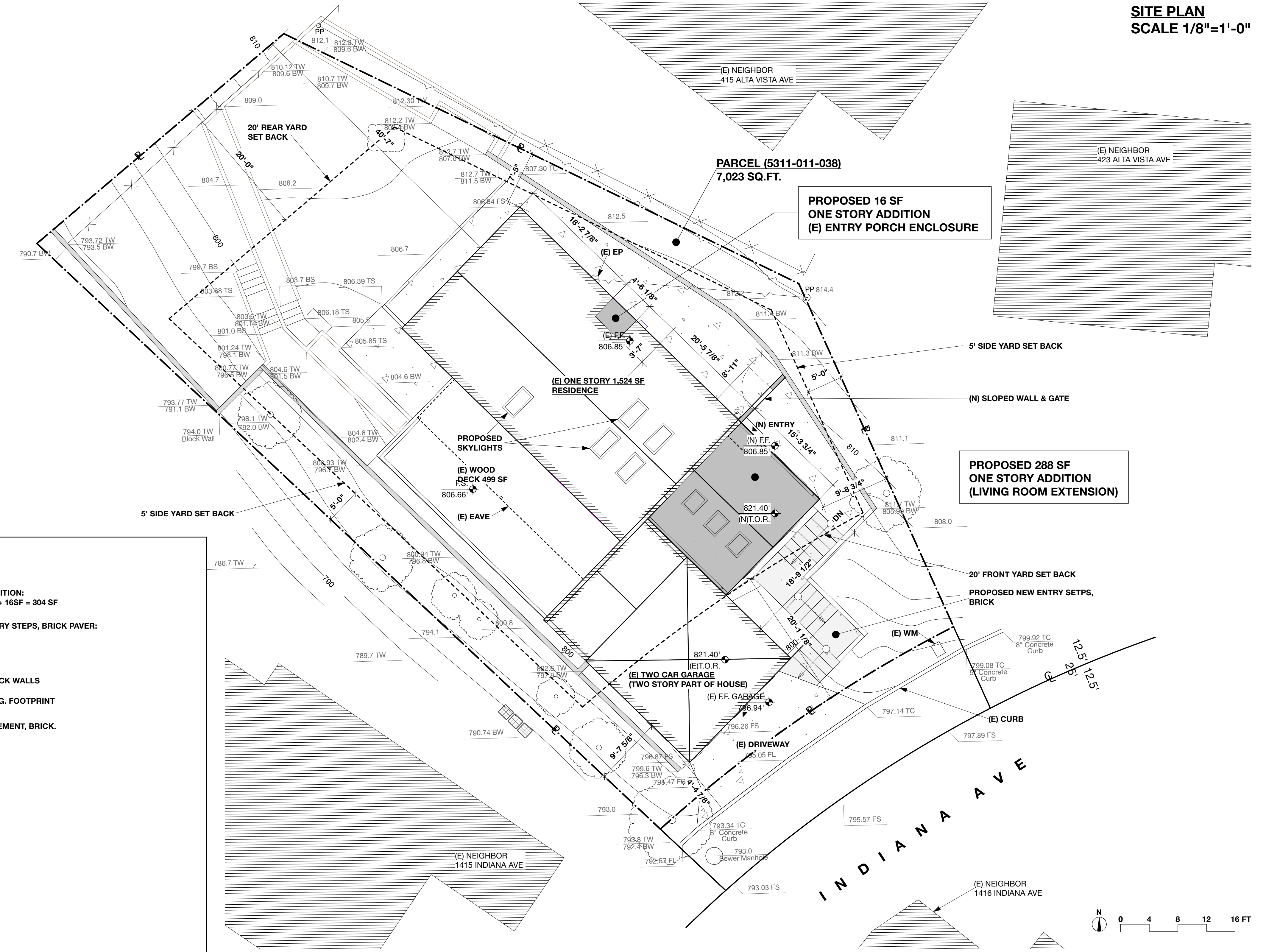
**PERMIT #
PLAN CHECK #**

THE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGN AND ARRANGEMENTS ARE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. NO PART HEREOF SHALL BE COPIED OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. SIGNATURE, LICENSE NUMBER AND EXPIRATION DATE OF THE DESIGNER SHALL BE REQUIRED FOR ALL DRAWINGS AND CONDITIONS OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

SHEET INDEX:

- DESIGN:**
- 1.1 SITE PLAN / INDEX / NOTES
 - 1.2 EXISTING SUBJECT SITE PHOTOS
 - 1.3 EXISTING 300' STREET FRONTAGE PHOTOS
 - 2.1 EXISTING FLOOR PLANS
 - 2.2 EXISTING ELEVATIONS
 - 2.3 EXISTING ELEVATIONS
 - 3.1 NEW FLOOR PLAN
 - 3.2 NEW ROOF PLAN
 - 3.3 NEW ELEVATIONS
 - 3.4 NEW ELEVATIONS
 - 4.1 NEW BUILDING SECTIONS
 - 5.1 NEW EXTERIOR FINISHES, WALL SECTION
 - 5.2 NEW WINDOW & DOOR SCHEDULES, BROCHURES
 - 10.1 EXT RENDERINGS
 - 10.2 BIRDS EYE VIEW
- LANDSCAPE DESIGN:**
 L100 TREE REMOVAL PLAN
 L200 PLANTING PLAN
- SURVEY:**
 ARCHITECTURAL SURVEY & SLOPE ANALYSIS

**SITE PLAN
SCALE 1/8"=1'-0"**



DESIGN
WOLFRAM KNORINGER
 1716 DELOZ AVE
 LOS ANGELES CA 90027
 323 829 7635

CLIENT
AYA & RYAN DEAM
 1411 INDIANA AVE
 SOUTH PASADENA CA 91030
 310 923 8339

DEAM RESIDENCE
 1411 INDIANA AVE
 SOUTH PASADENA

KEYPLAN

REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
 1411 INDIANA

SHEET TITLE
 Site Plan

DATE
 NOVEMBER 2023

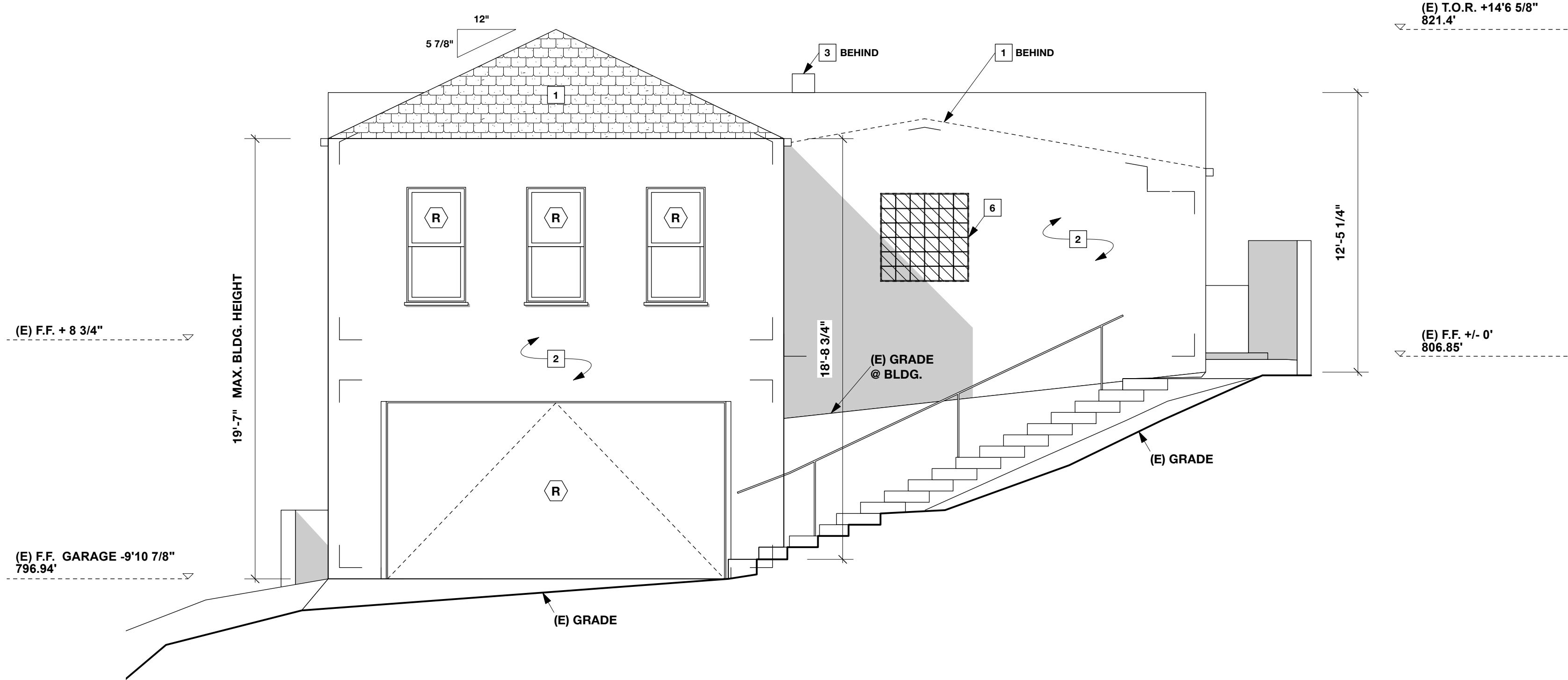
SCALE
 1/8" = 1'-0"

SHEET NO
 1.1 OF 17

LEGEND:

- PROPOSED DEMO
- (E) EGRESS WINDOW / DOOR
- REPLACE (E) WINDOW / DOOR
- (E) ASPHALT SHINGLE ROOF
- (E) STUCCO, WHITE
- (E) CHIMNEY
- (E) ATTIC / UNDERFLOOR VENT
- (E) CATHEDRAL CEILING
- (E) GLASS BLOCK
- (E) EXPOSED RIDGE BEAM
- (E) HVAC EQUIPMENT
- (E) DOWNSPOUT
- (E) GUTTER
- (E) SCUPPER
- (E) ELECTRICAL PANEL

1 (E) STREET ELEVATION
SCALE 1/4"=1'-0"

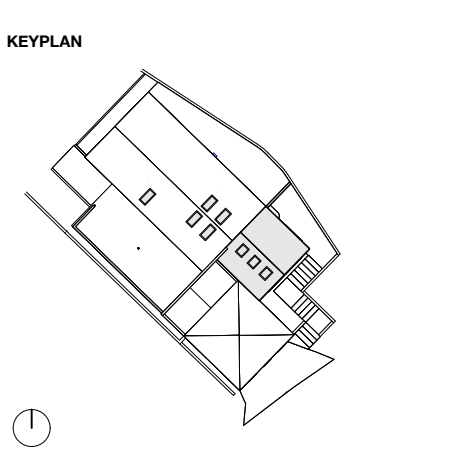
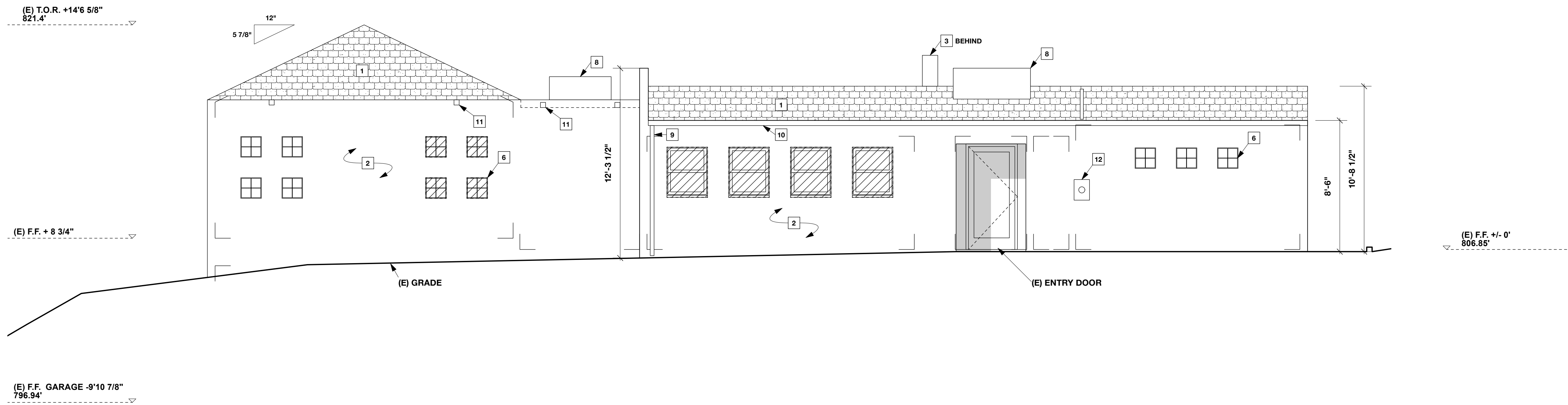


DESIGN
WOLFRAM KNORINGER
1716 DELOZ AVE
LOS ANGELES CA 90027
323 829 7635

CLIENT
AYA & RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA

2 (E) SIDE ELEVATION
SCALE 1/4"=1'-0"



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

SHEET TITLE
Existing Elevations

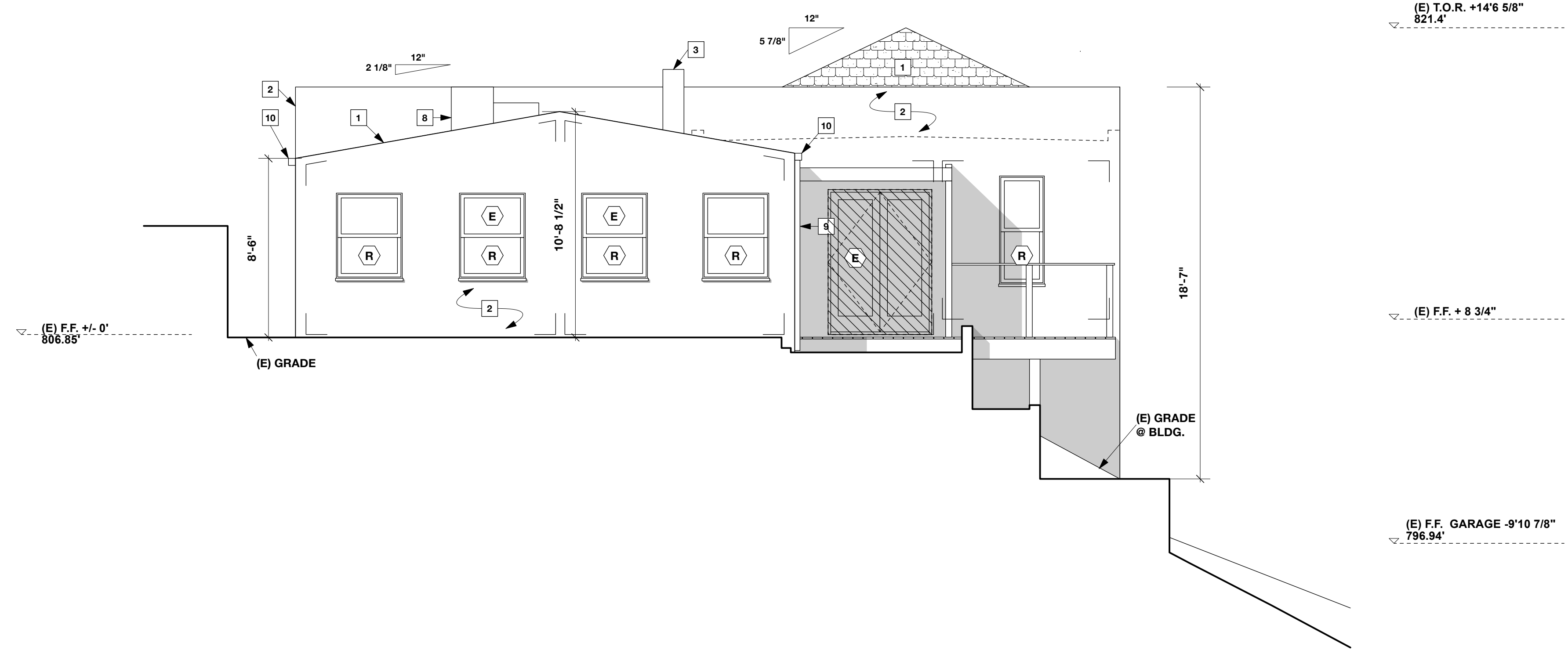
DATE
NOVEMBER 2023

SCALE
1/4" = 1'-0"

SHEET NO
2.2
OF 16

LEGEND:

- PROPOSED DEMO
- (E) EGRESS WINDOW / DOOR
- REPLACE (E) WINDOW / DOOR
- (E) ASPHALT SHINGLE ROOF
- (E) STUCCO, WHITE
- (E) CHIMNEY
- (E) ATTIC / UNDERFLOOR VENT
- (E) CATHEDRAL CEILING
- (E) GLASS BLOCK
- (E) EXPOSED RIDGE BEAM
- (E) HVAC EQUIPMENT
- (E) DOWNSPOUT
- (E) GUTTER
- (E) SCUPPER
- (E) ELECTRICAL PANEL



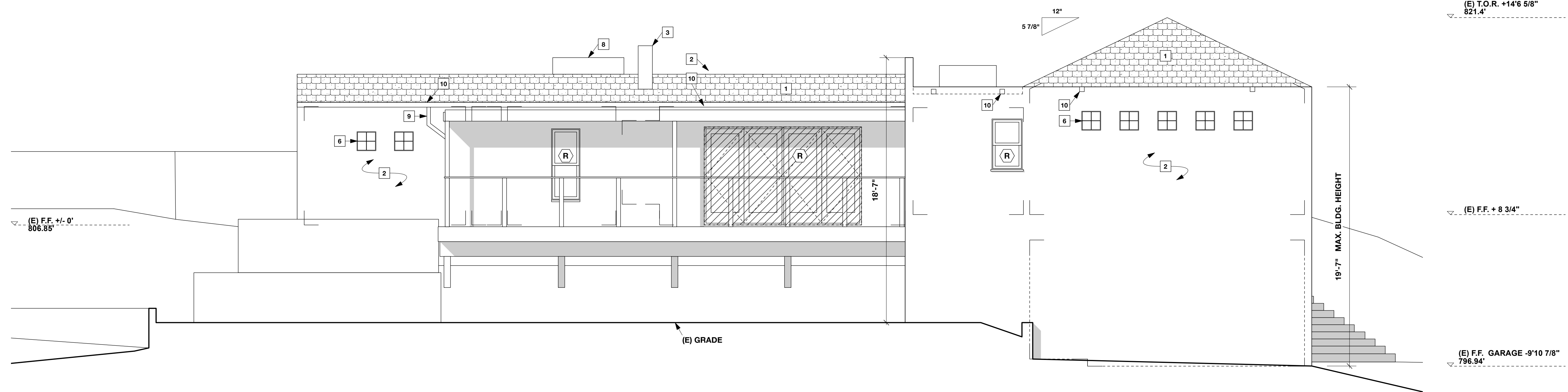
1 (E) REAR ELEVATION
SCALE 1/4"=1'-0"

DESIGN
WOLFRAM KNORINGER
1716 DELOZ AVE
LOS ANGELES CA 90027
323 829 7635

CLIENT
AYA & RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA

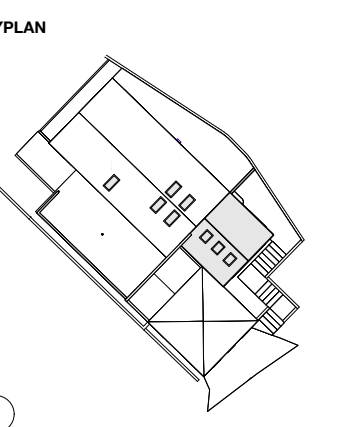
2 (E) SIDE ELEVATION
SCALE 1/4"=1'-0"



(E) T.O.R. +14'6 5/8"
821.4'

(E) F.F. + 8 3/4"

(E) F.F. GARAGE -9'10 7/8"
796.94'



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

SHEET TITLE
Existing Elevations

DATE
NOVEMBER 2023

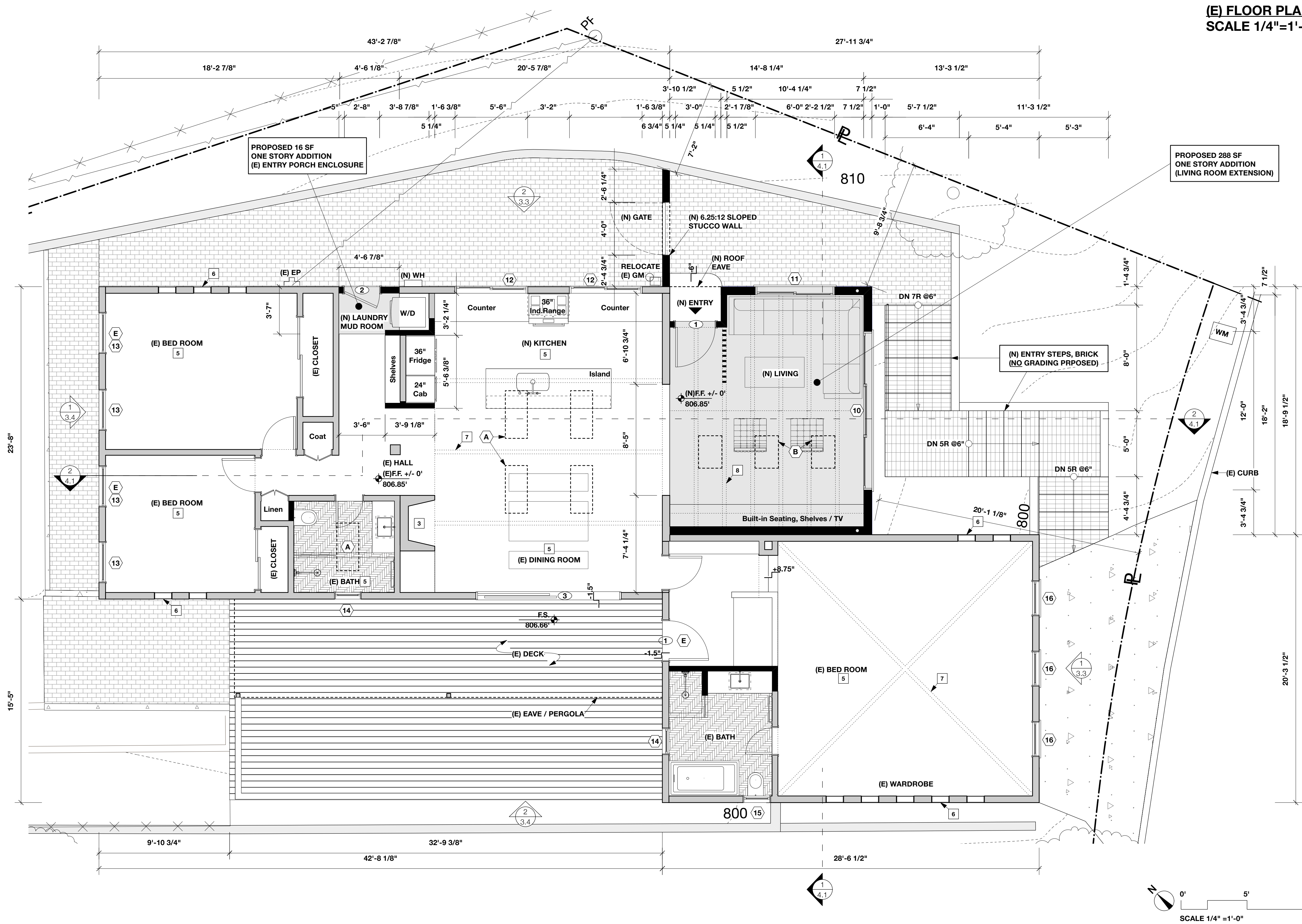
SCALE
1/4" = 1'-0"

SHEET NO
2.3
OF 16

LEGEND:

- NEW INT. & EXT WALL
- ADDITION
- (N) WINDOW KEY SYMBOL, SEE SCHEDULE 12
- (N) DOOR KEY SYMBOL, SEE SCHEDULE 5
- (N) SKYLIGHT KEY SYMBOL, SEE SCHEDULE A
- EXISTING INT. & EXT WALL
- EXISTING BLOCK WALL
- (E) BRICK PAVEMENT
- (N) BRICK PAVEMENT
- (E) & (N) EGRESS WINDOW / DOOR E
- (E) ASPHALT SHINGLE ROOF 1
- (E) STUCCO 2
- (E) CHIMNEY / FIRE PLACE 3
- (E) ATTIC / UNDERFLOOR VENT 4
- (E) CATHEDRAL CEILING 5
- (E) GLASS BLOCK 6
- (E) EXPOSED RIDGE BEAM 7
- (N) EXPOSED ROOF RAFTERS 8

- (N) SMOKE ALARM, HARDWIRED, INTERCONNECTED WITH BATTERY BACKUP, INSTALLED ACCORDING TO NFPA 72 SD
- (N) SMOKE AND CARBON MONOXIDE DETECTOR, HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP, INSTALLED ACCORDING TO NFPA 72 SCD
- (N) BATHROOM VENT PANASONIC VENTILATING FAN, WHISPER GREEN SELECT W/ LOW DIMMABLE LED LIGHT, 50-80-110 CFM ENERGY STAR RATED B

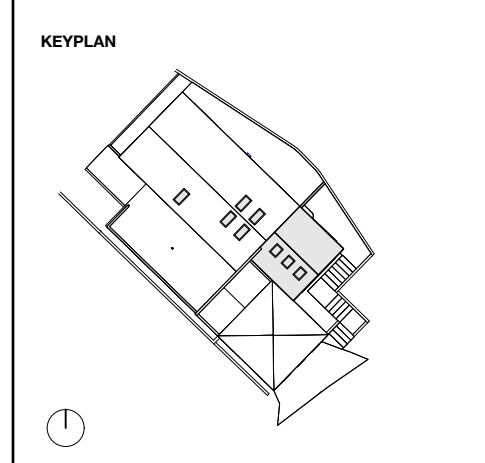


(E) FLOOR PLAN
SCALE 1/4"=1'-0"

DESIGN
WOLFRAM KNORINGER
1716 DELOZ AVE
LOS ANGELES CA 90027
323 829 7635

CLIENT
AYA & RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PLUMBING FIXTURE SCHEDULE

FIXTURE	WATER CONSUMPTION	QUANTITY
WATER CLOSETS WALL MOUNT	1.28 GAL/ FLUSH	4
SINGLE SHOWERHEAD	1.8 GPM AT 80PSI	3
KITCHEN FAUCET	1.8 GPM AT 60PSI	1
LAVATORY FAUCETS	1.2 GPM AT 60PSI MAX 0.8GPM @ 20PSI MIN.	6
DISHWASHER	ENERGY STAR RATED	1
CLOTHES WASHER	ENERGY STAR RATED	1

(N) DOOR SCHEDULE, SEE SHEET 5.2

Door No	Quantity	Door Type	Leaf Size	Height	R.O.	Material	Tempered	Glazing/Leaf	Finish	Interior	U-Factor	SHGC	Operation	Notes	Manufacturer / Model
1	2	EXT SWING	3'0"	6'8"	3'4" x 6'10"	BLACK ANODIZED ALUMINIUM	YES	DUAL PANE / LOW E3	BLACK ANODIZED ALUMINIUM	BLACK ANODIZED ALUMINIUM	0.43	0.2	IN-SWING	ENTRY, EGRESS	3200-T FLEETWOOD
2	1	EXT SWING	2'8"	6'8"	3'0" x 6'10"	BLACK ANODIZED ALUMINIUM	YES	DUAL PANE / LOW E3	BLACK ANODIZED ALUMINIUM	BLACK ANODIZED ALUMINIUM	0.43	0.2	IN-SWING		3200-T FLEETWOOD
3	1	SLIDING	1'1'0"	6'8"	1'1'0" x 6'10"	BLACK ANODIZED ALUMINIUM	YES	DUAL PANE / LOW E3	BLACK ANODIZED ALUMINIUM	BLACK ANODIZED ALUMINIUM	0.5	0.23	XO	USE (E) HDR	3070 FLEETWOOD

(N) WINDOW SCHEDULE, SEE SHEET 5.2

Window No	Quantity	Window Type	Frame Size	Material	Glazing	Tempered	Int. Finish	Ext. Finish	U-Fac.	SHGC	Operation	Screen	Notes	Manufacturer
10	1	3 PANEL SLIDING	12'0" x 4'2"	BLACK ANODIZED ALUMINIUM	DUAL PANE / LOW E3	YES	BLACK ANODIZED ALUMINIUM	BLACK ANODIZED ALUMINIUM	0.41	0.22	XO	NO	EXT. OAK SILL	330-T FLEETWOOD
11	1	SLIDING	5'6" x 4'2"	BLACK ANODIZED ALUMINIUM	DUAL PANE / LOW E3	YES	BLACK ANODIZED ALUMINIUM	BLACK ANODIZED ALUMINIUM	0.41	0.22	XO	NO	EXT. OAK SILL	330-T FLEETWOOD
12	2	SLIDING	5'6" x 3'0"	BLACK ANODIZED ALUMINIUM	DUAL PANE / LOW E3	YES	BLACK ANODIZED ALUMINIUM	BLACK ANODIZED ALUMINIUM	0.41	0.22	XO	NO		330-T FLEETWOOD
13 (E)	4	CASEMENT	3'1" x 3'11"	WOOD FIBERGLASS CLAD BLACK	DUAL PANE / LOW E3	YES	WOOD PAINTED BLACK	FIBERGLASS BLACK	0.29	0.2	ONE PER ROOM	REPLACE EXISTING, EGRESS	MARVIN ELEVATE	
14 (E)	2	CASEMENT	2'0" x 4'11"	WOOD FIBERGLASS CLAD BLACK	DUAL PANE / LOW E3	YES	WOOD PAINTED BLACK	FIBERGLASS BLACK	0.29	0.2	ONE PER ROOM	REPLACE EXISTING	MARVIN ELEVATE	
15 (E)	1	LOWER FIXED, UPPER AWNING	2'1" x 3'6"	WOOD FIBERGLASS CLAD BLACK	DUAL PANE / LOW E3	YES	WOOD PAINTED BLACK	FIBERGLASS BLACK	0.29	0.2	PUSH OUT	NO	REPLACE EXISTING	MARVIN ELEVATE
16 (E)	3	LOWER FIXED, UPPER AWNING	2'6" x 5'0"	BLACK ANODIZED ALUMINIUM	DUAL PANE / LOW E3	YES	BLACK ANODIZED ALUMINIUM	BLACK ANODIZED ALUMINIUM	0.48	0.19	CRANK & PUSH-OUT	ONE PER ROOM	REPLACE EXISTING, EXT. OAK SILL	350-T FLEETWOOD

(N) SKYLIGHT SCHEDULE, SEE SHEET 5.2

Skylight No	Roof Pitch	Quantity	Model #	Operation	Installation	Outside Curb Dim	Glazing SF	U-Factor	SHGC	Int. Finish	Glazing	Ext. Finish	Uniform Evaluation Service	LARR #
A	5 7/8:12	5	VELUXVCS-2246	SOLAR POWERED VENTED	CURB MOUNTED	2'1 1/2" x 4'1 1/2"	4'1 1/2"	U-Fac 0.43	SHGC 0.23	WHITE	LOW-E3	ALUMINIUM CLAD	UES ER-199	25885
B	5 7/8:12	3	VELUXVCS-2234	SOLAR POWERED VENTED	CURB MOUNTED	2'1 1/2" x 3'1 1/2"	3'1 1/2"	U-Fac 0.43	SHGC 0.23	WHITE	LOW-E3	ALUMINIUM CLAD	UES ER-199	25885

PROJECT TITLE
1411 INDIANA

SHEET TITLE
New Floor Plan

DATE
NOVEMBER 2023

SCALE
1/4" = 1'-0"

SHEET NO
3.1
OF 16

LEGEND:

(N) CLASS A ROOF ASPHALT SHINGLE
5 7/8":12" SLOPE TO DRAIN
GAF TIMBERLINE HDZ RS SERIES, BIRCHWOOD,
AGED SRI 24, CRRC LISTED, ICC-ES ESR-1475 &
ESR-3267 (SEE SHEETS 1.4), REFL 0.23, EMIT 0.93,
PER TITLE 24

(N) SKYLIGHT KEY SYMBOL, SEE SCHEDULE

(E) ASPHALT SHINGLE ROOF 5 7/8":12" SLOPE

(E) ASPHALT SHINGLE ROOF 2 1/8":12" SLOPE

(E) TORCH DOWN ROOF 1/4":12" SLOPE

(E) HVAC EQUIPMENT

(E) CHIMNEY

(N) CONCEALED 4" GUTTER W/ 3" DIA. INT. DRAIN

(A)

1

2

3

4

5

6

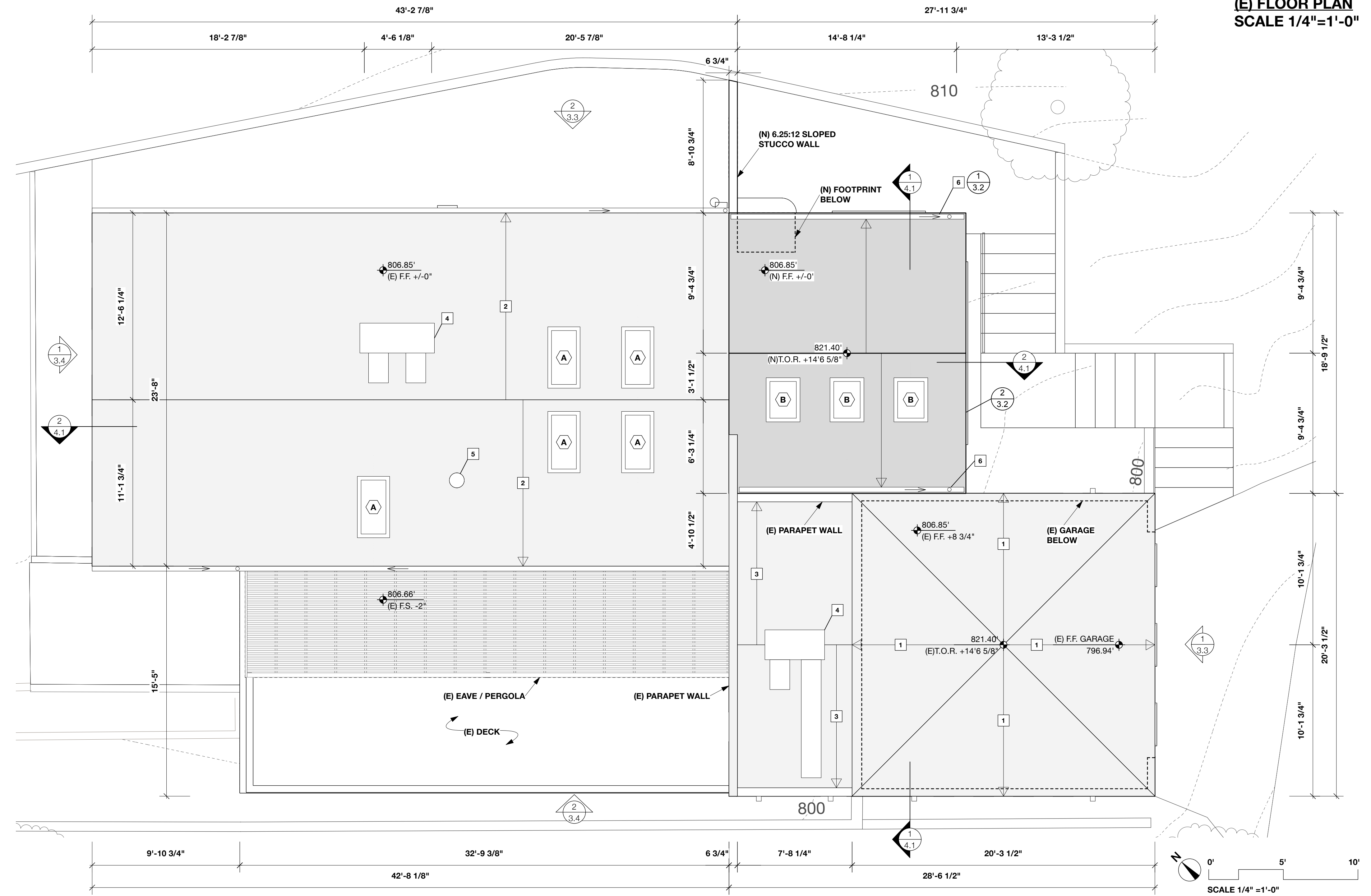
5 - DETAIL
SCALE 3" = 1'-0"

4 - DETAIL
SCALE 3" = 1'-0"

3 - DETAIL
SCALE 3" = 1'-0"

2 - DETAIL
SCALE 3" = 1'-0"

1 - DETAIL
SCALE 3" = 1'-0"

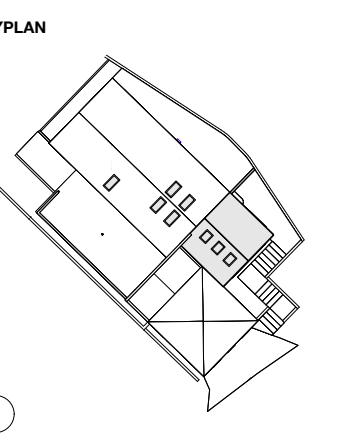


(E) FLOOR PLAN
SCALE 1/4" = 1'-0"

DESIGN
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1716 DELOZ AVE
LOS ANGELES CA 90027
323 829 7635

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DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

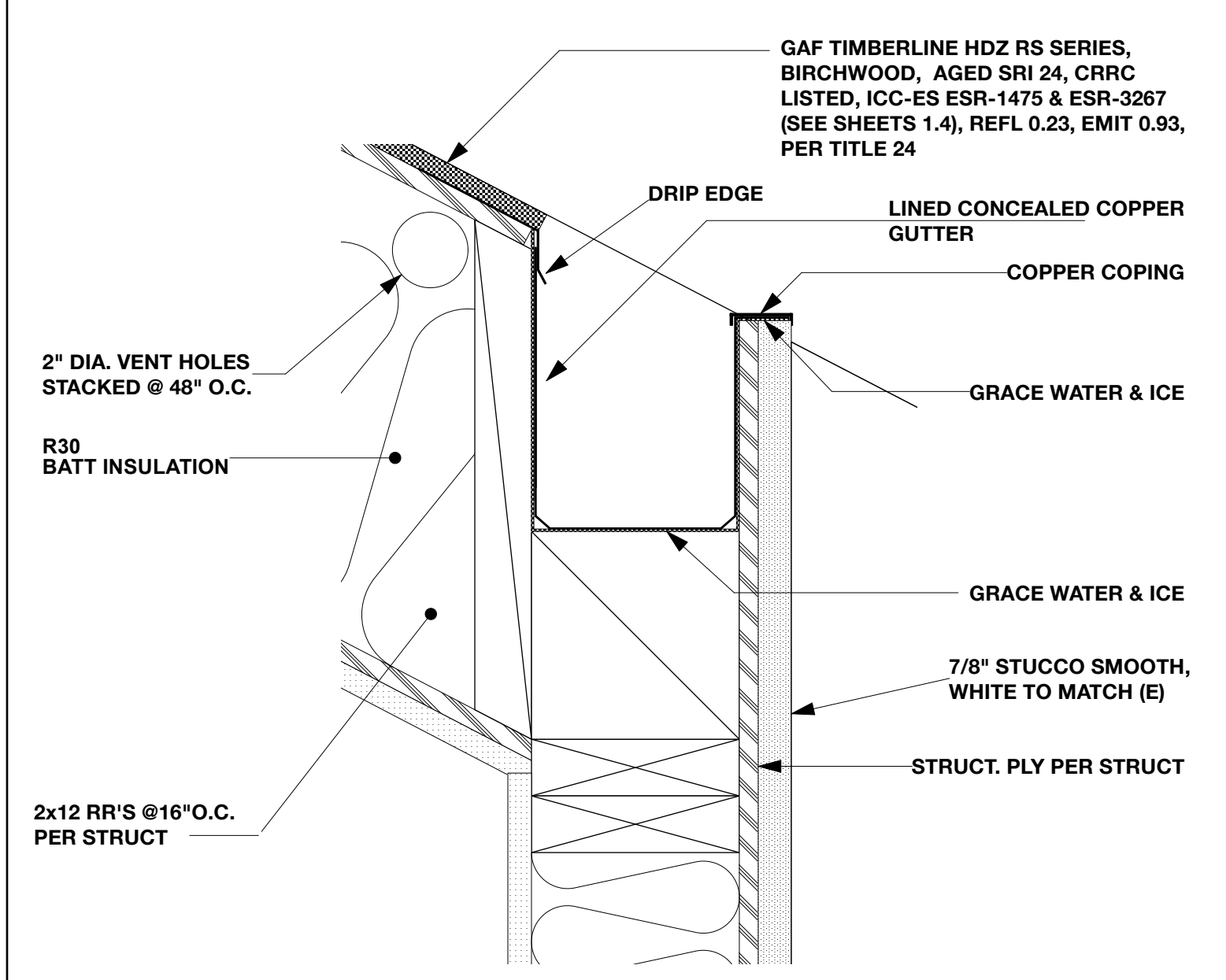
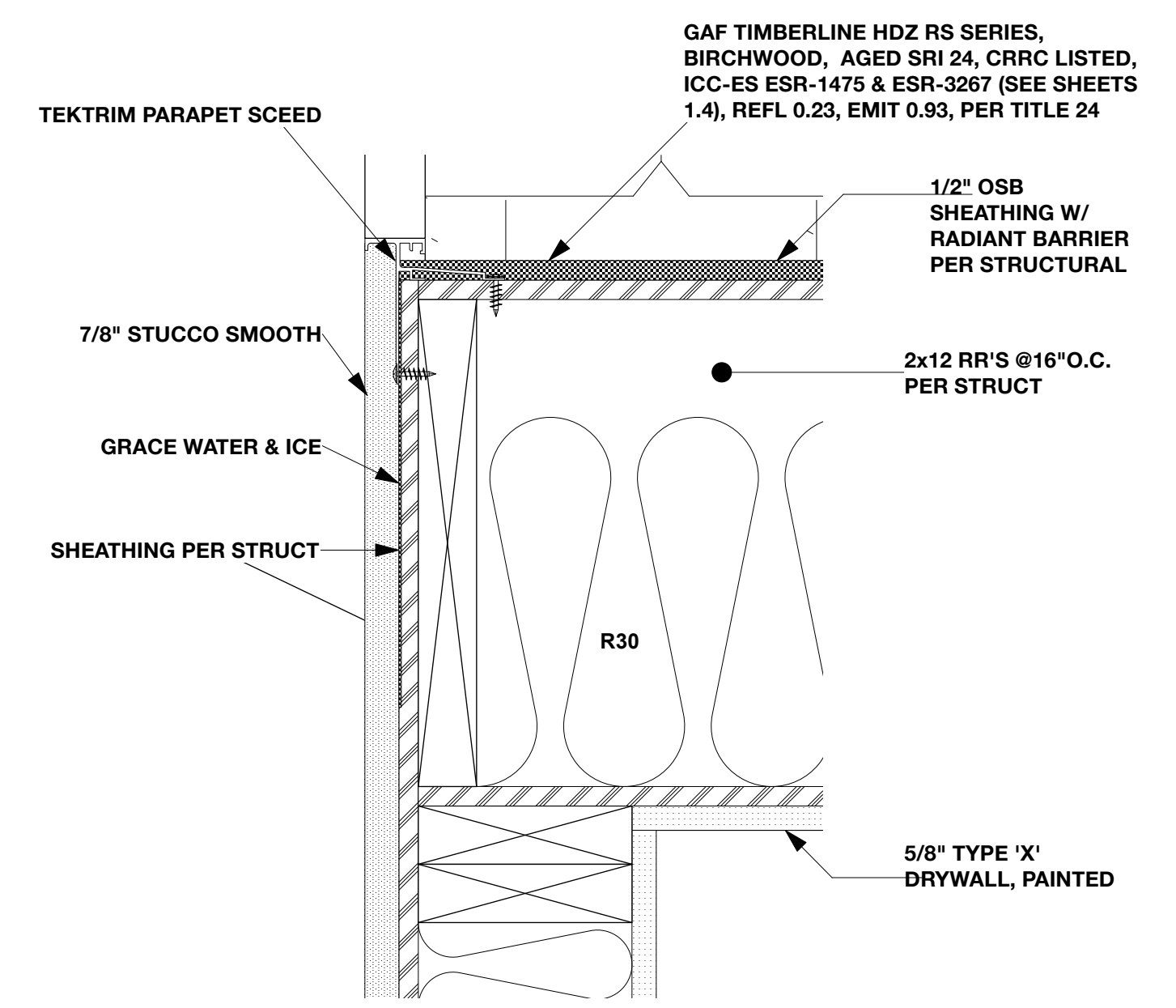
PROJECT TITLE
1411 INDIANA

SHEET TITLE
New Roof Plan

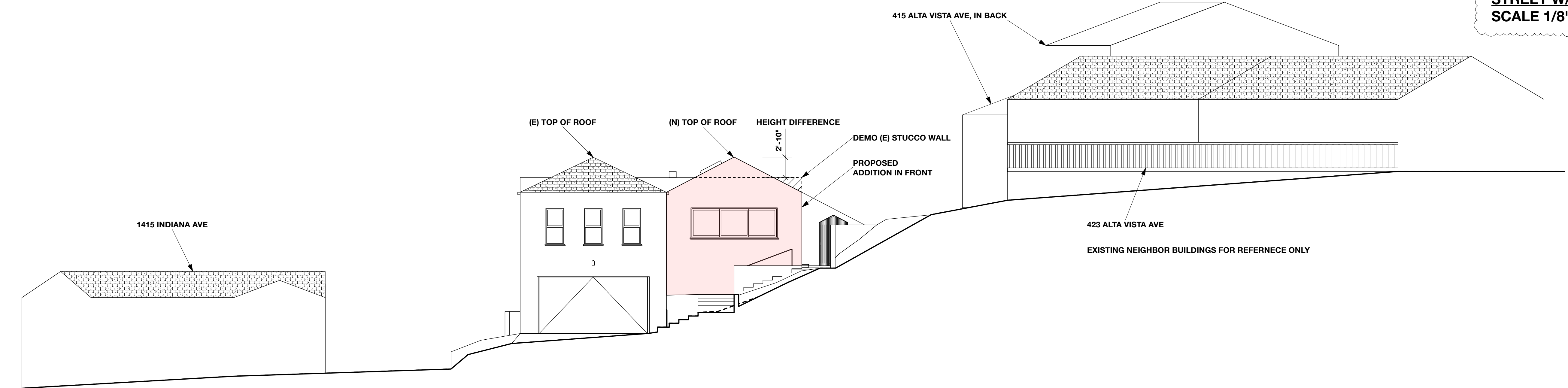
DATE
NOVEMBER 2023

SCALE
AS NOTED

SHEET NO
3.2
OF 16



STREET W/ NEIGHBOR BUILDINGS
SCALE 1/8"=1'-0"



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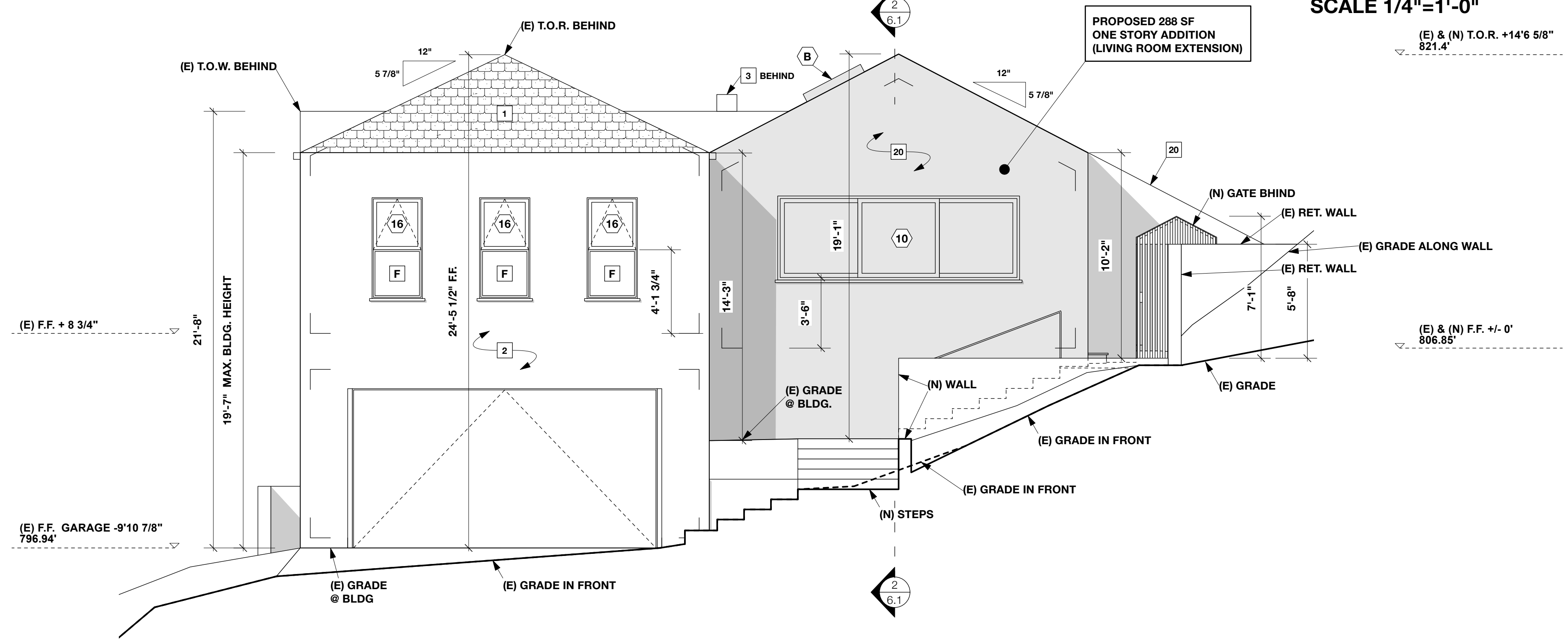
CLIENT
AYA & RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA

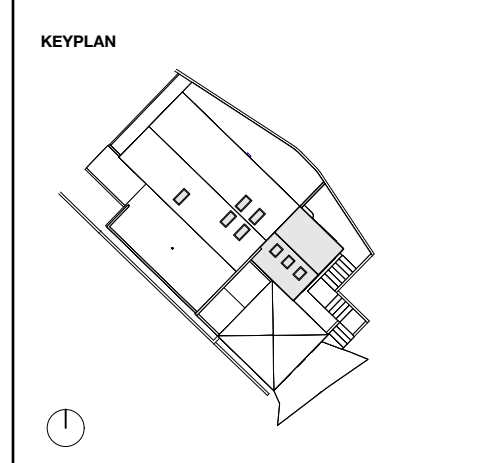
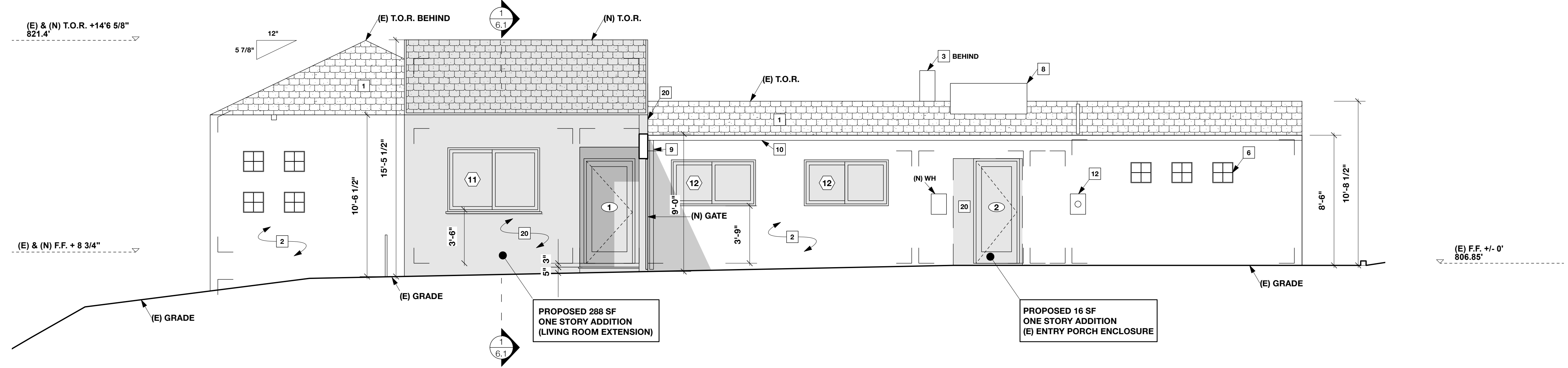
LEGEND:

- | | | | |
|-----------------------------|--|---------------------------------------|--|
| PROPOSED DEMO | | ADDITION / ALTERATION | |
| (E) EGRESS WINDOW / DOOR | | (N) WINDOW KEY SYMBOL, SEE SCHEDULE | |
| (E) ASPHALT SHINGLE ROOF | | (N) DOOR KEY SYMBOL, SEE SCHEDULE | |
| (E) STUCCO, WHITE | | (N) SKYLIGHT KEY SYMBOL, SEE SCHEDULE | |
| (E) CHIMNEY | | (N) STUCCO, SMOOTH WHITE | |
| (E) ATTIC / UNDERFLOOR VENT | | TEMPERED FIXED PART OF WINDOW | |
| (E) CATHEDRAL CEILING | | | |
| (E) GLASS BLOCK | | | |
| (E) EXPOSED RIDGE BEAM | | | |
| (E) HVAC EQUIPMENT | | | |
| (E) DOWNSPOUT | | | |
| (E) GUTTER | | | |
| (E) SCUPPER | | | |
| (E) ELECTRICAL PANEL | | | |

1 (N) STREET ELEVATION
SCALE 1/4"=1'-0"



2 (N) SIDE ELEVATION
SCALE 1/4"=1'-0"



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

SHEET TITLE
New Elevations

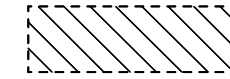
DATE
NOVEMBER 2023

SCALE
1/4" = 1'-0"

SHEET NO
3.3
OF 17

LEGEND:

PROPOSED DEMO

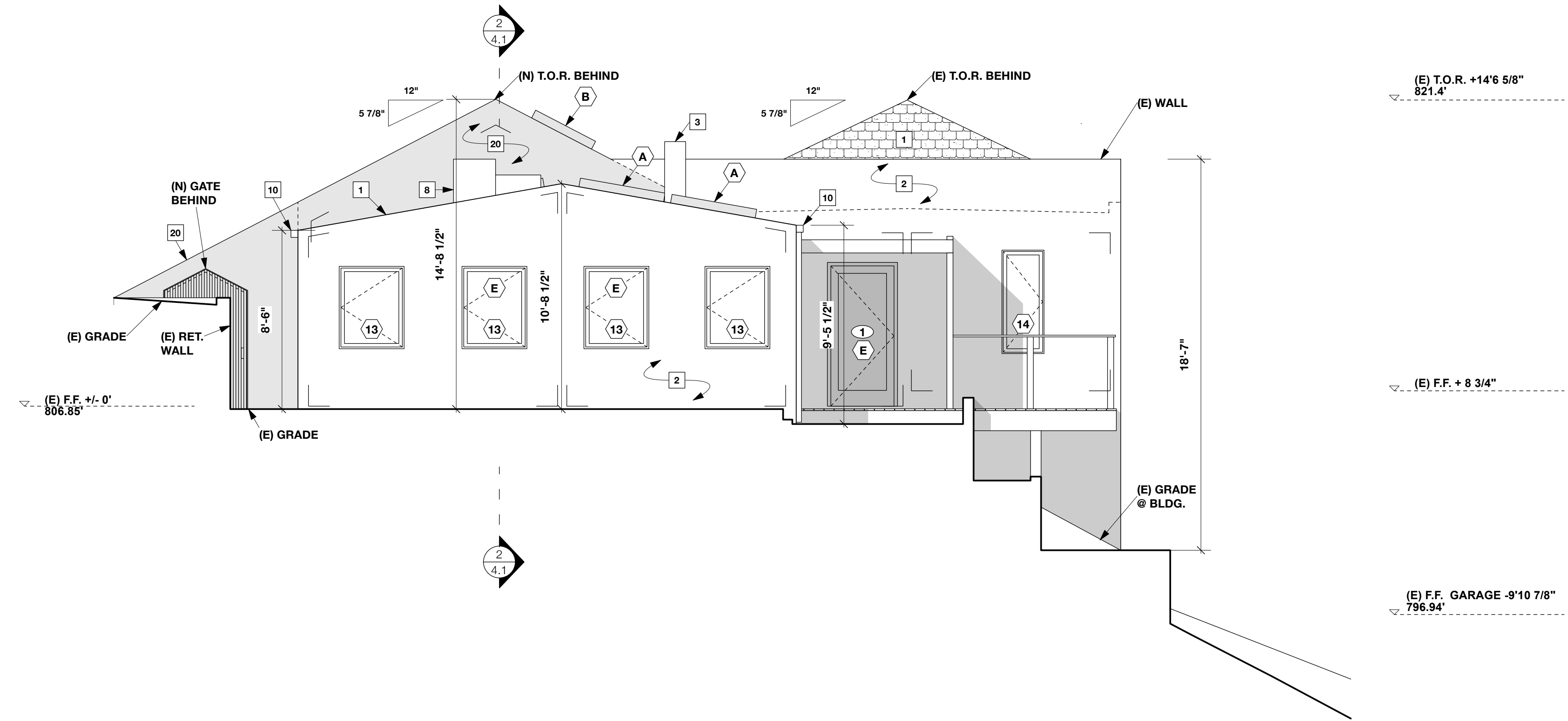


ADDITION / ALTERATION



- (E) EGRESS WINDOW / DOOR E
- (E) ASPHALT SHINGLE ROOF 1
- (E) STUCCO, WHITE 2
- (E) CHIMNEY 3
- (E) ATTIC / UNDERFLOOR VENT 4
- (E) CATHEDRAL CEILING 5
- (E) GLASS BLOCK 6
- (E) EXPOSED RIDGE BEAM 7
- (E) HVAC EQUIPMENT 8
- (E) DOWNSPOUT 9
- (E) GUTTER 10
- (E) SCUPPER 11
- (E) ELECTRICAL PANEL 12

- (N) WINDOW KEY SYMBOL, SEE SCHEDULE N
- (N) DOOR KEY SYMBOL, SEE SCHEDULE 5
- (N) SKYLIGHT KEY SYMBOL, SEE SCHEDULE A
- (N) STUCCO, SMOOTH WHITE 20



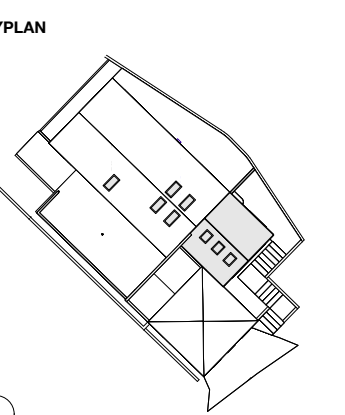
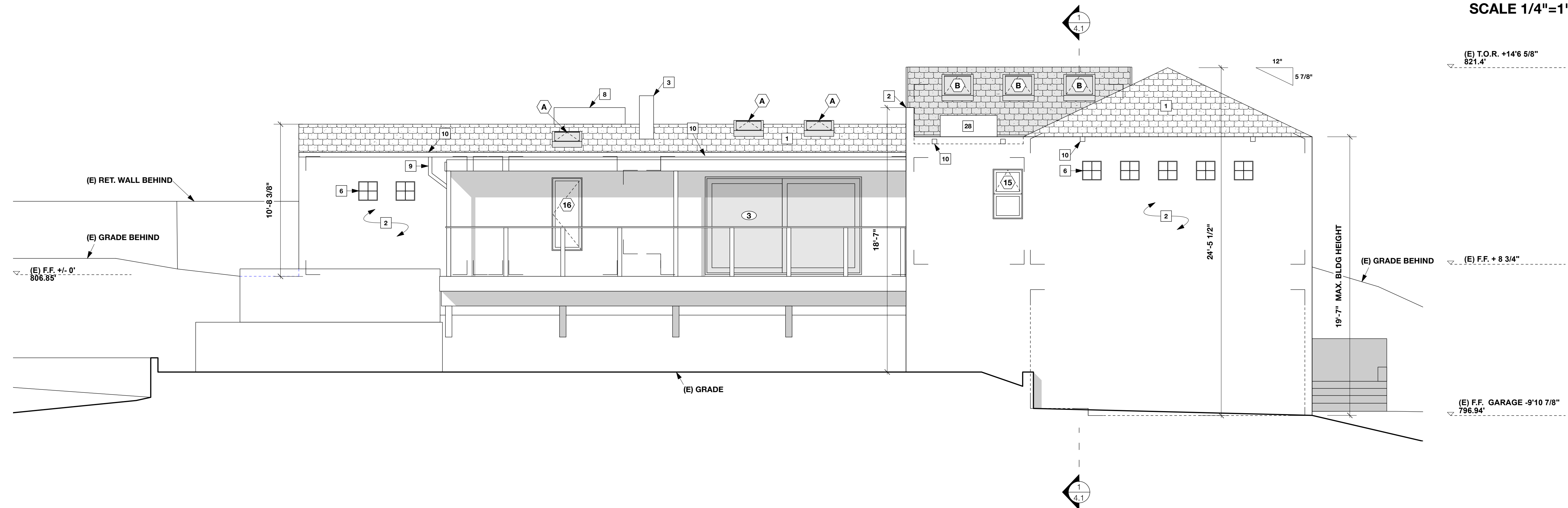
1 (N) REAR ELEVATION
SCALE 1/4"=1'-0"

DESIGN
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1716 DELOZ AVE
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SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA

2 (N) SIDE ELEVATION
SCALE 1/4"=1'-0"



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

SHEET TITLE
New Elevations

DATE
NOVEMBER 2023

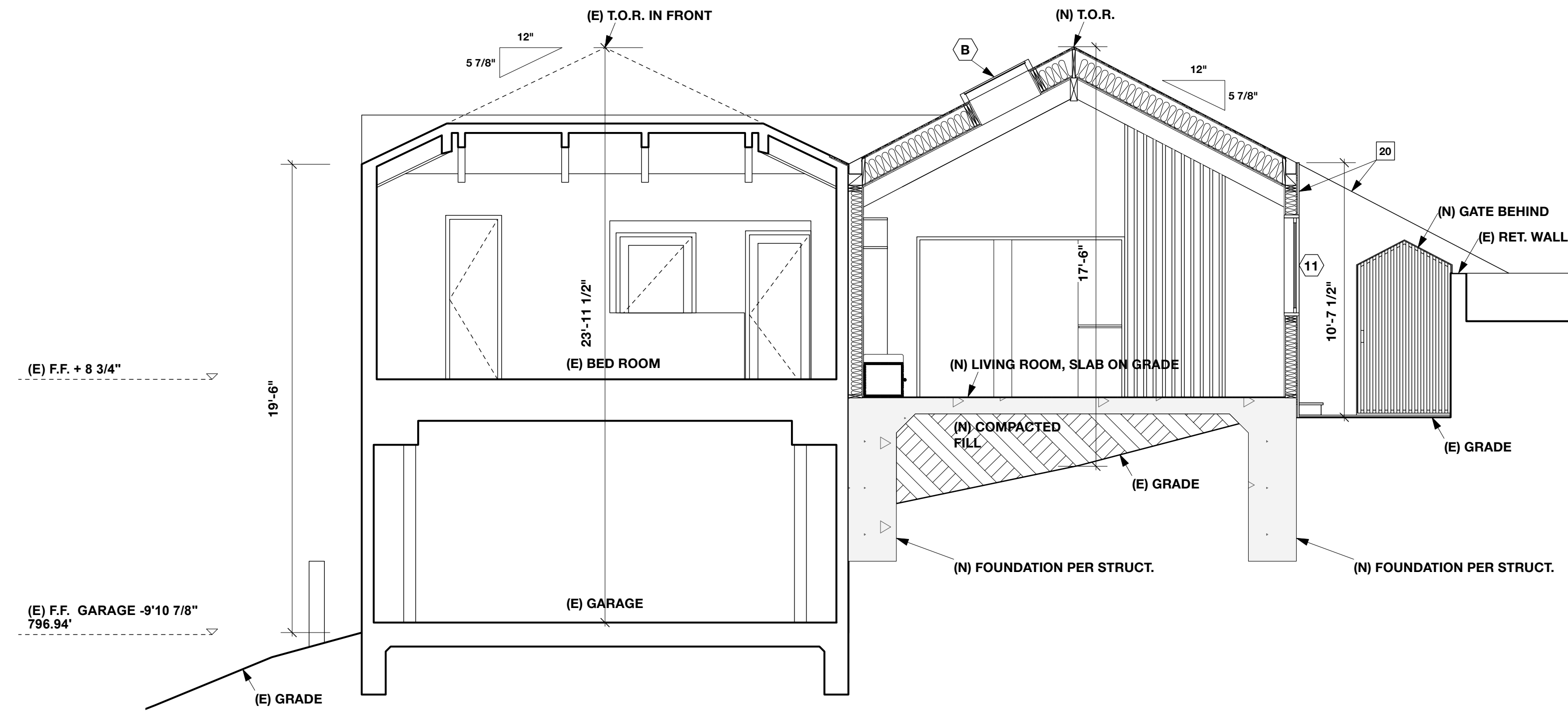
SCALE
1/4" = 1'-0"

SHEET NO
3.4
OF 17

LEGEND:

- PROPOSED DEMO
- (E) EGRESS WINDOW / DOOR
 - (E) ASPHALT SHINGLE ROOF
 - (E) STUCCO, WHITE
 - (E) CHIMNEY
 - (E) ATTIC / UNDERFLOOR VENT
 - (E) CATHEDRAL CEILING
 - (E) GLASS BLOCK
 - (E) EXPOSED RIDGE BEAM
 - (E) HVAC EQUIPMENT
 - (E) DOWNSPOUT
 - (E) GUTTER
 - (E) SCUPPER

- (N) WINDOW KEY SYMBOL, SEE SCHEDULE
- (N) DOOR KEY SYMBOL, SEE SCHEDULE
- (N) SKYLIGHT KEY SYMBOL, SEE SCHEDULE
- (N) STUCCO, SMOOTH WHITE



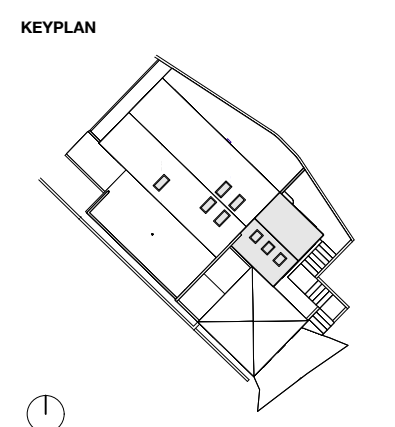
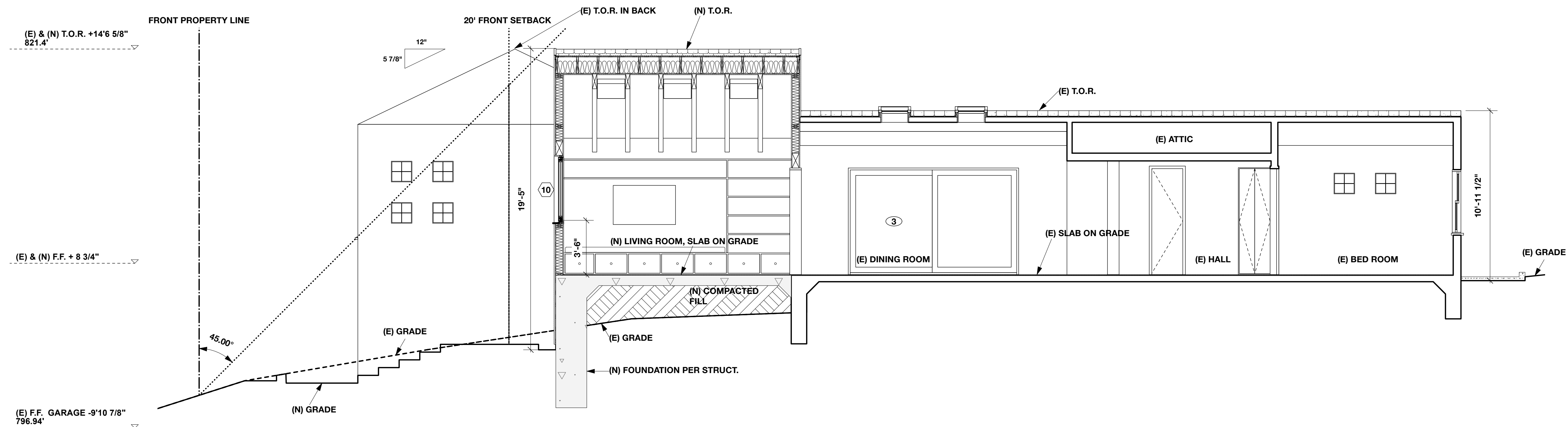
1 (N) SECTION
SCALE 1/4"=1'-0"

DESIGN
WOLFRAM KNORINGER
1716 DELOZ AVE
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323 829 7635

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310 923 8339

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SOUTH PASADENA

2 (N) SECTION
SCALE 1/4"=1'-0"



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

SHEET TITLE
Bldg. Sections

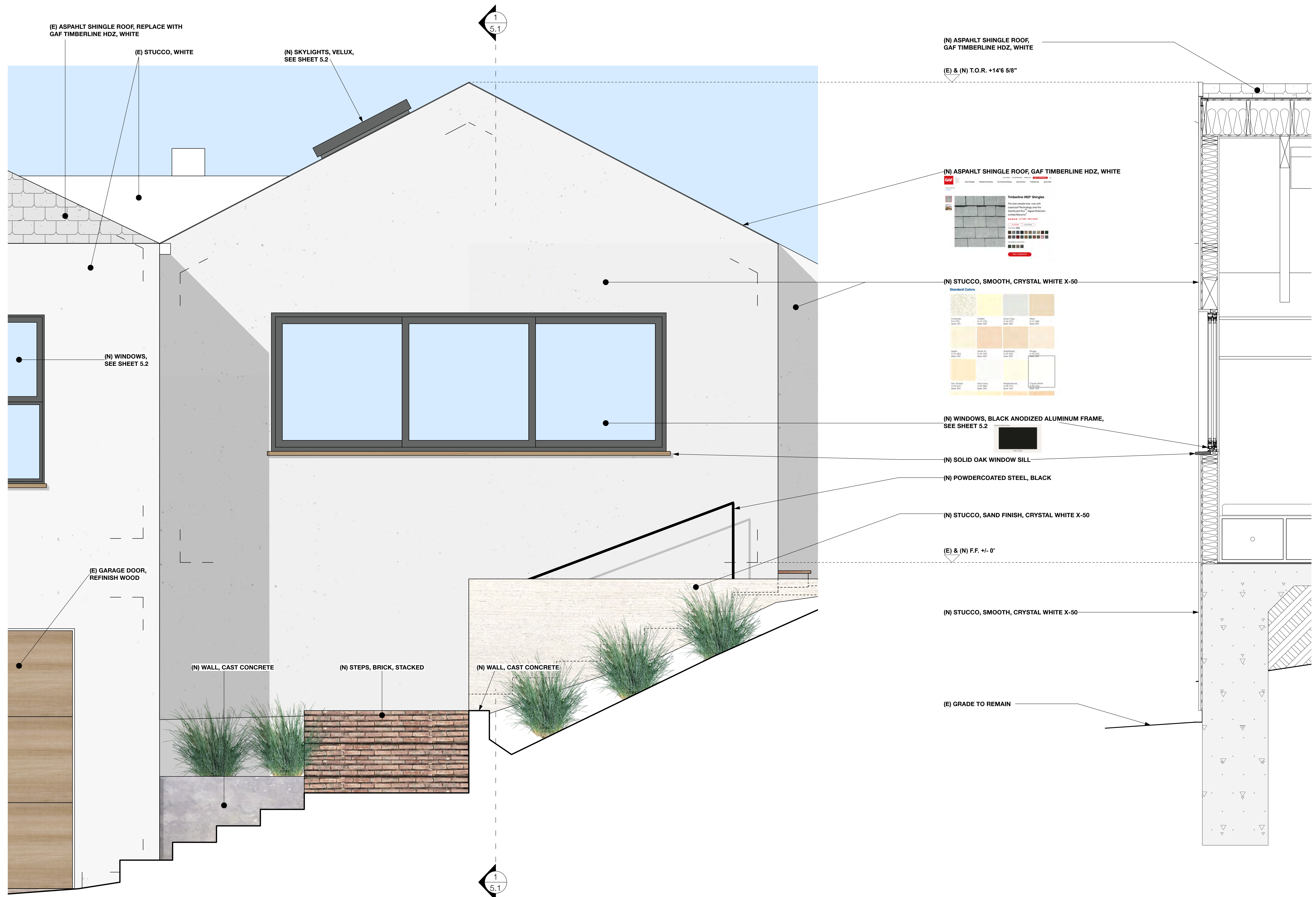
DATE
NOVEMBER 2023

SCALE
1/4" = 1'-0"

SHEET NO
4.1
OF 17

2 ELEVATION
SCALE 3/4"=1'-0"

1 SECTION
SCALE 3/4"=1'-0"



(E) ASPHALT SHINGLE ROOF, REPLACE WITH GAF TIMBERLINE HDZ, WHITE

(E) STUCCO, WHITE

(N) SKYLIGHTS, VELUX, SEE SHEET 5.2

(N) ASPHALT SHINGLE ROOF, GAF TIMBERLINE HDZ, WHITE

(E) & (N) T.O.R. +14'6 5/8"

(N) WINDOWS, SEE SHEET 5.2

(N) ASPHALT SHINGLE ROOF, GAF TIMBERLINE HDZ, WHITE

(N) STUCCO, SMOOTH, CRYSTAL WHITE X-50

(N) WINDOWS, BLACK ANODIZED ALUMINUM FRAME, SEE SHEET 5.2

(N) SOLID OAK WINDOW SILL

(N) POWDERCOATED STEEL, BLACK

(N) STUCCO, SAND FINISH, CRYSTAL WHITE X-50

(E) & (N) F.F. +/- 0'

(E) GARAGE DOOR, REFINISH WOOD

(N) STUCCO, SMOOTH, CRYSTAL WHITE X-50

(N) WALL, CAST CONCRETE

(N) STEPS, BRICK, STACKED

(N) WALL, CAST CONCRETE

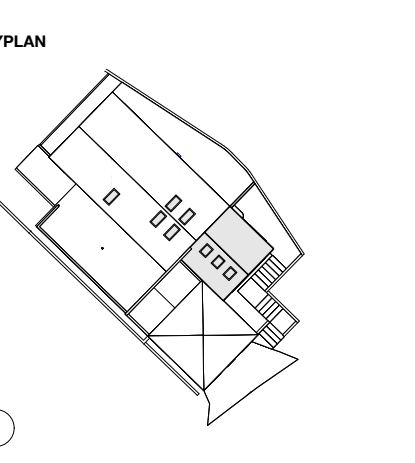
(E) GRADE TO REMAIN

←-----AREA OF PROPOSED ADDITION TO EXISTING RESIDENCE-----→

DESIGN
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SOUTH PASADENA



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

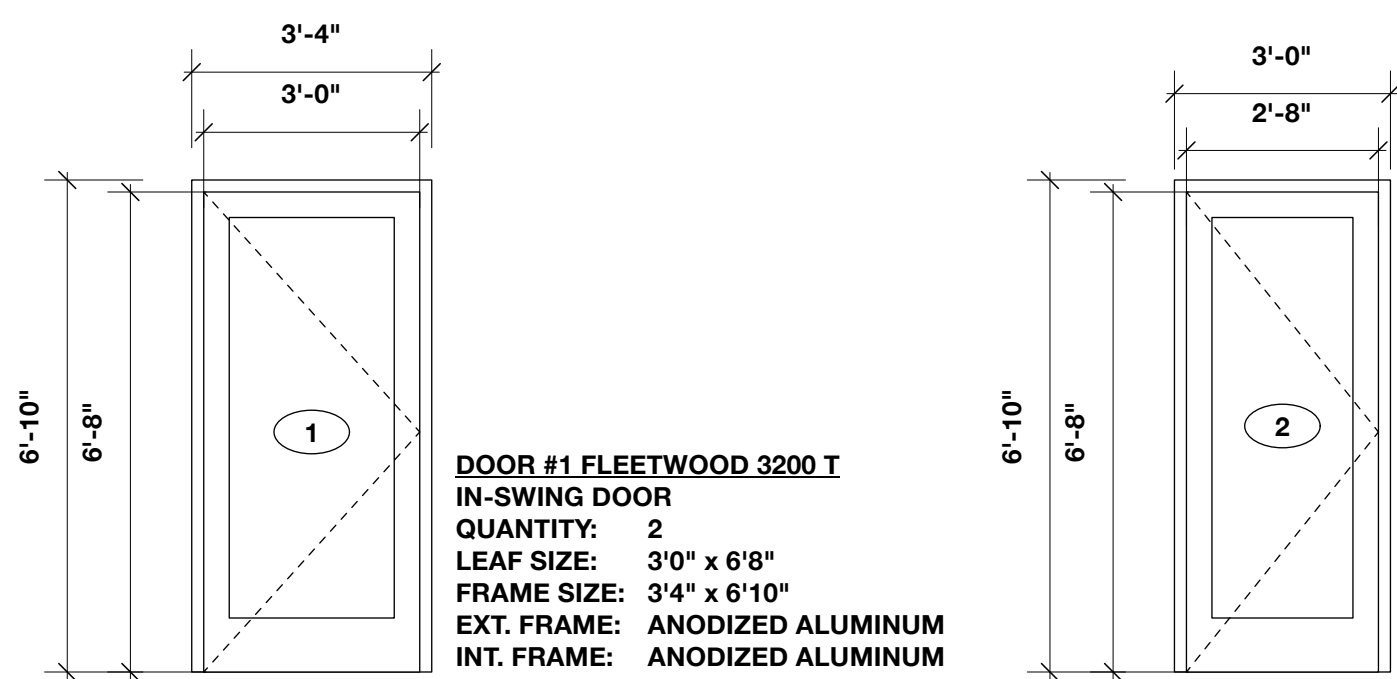
SHEET TITLE
Exterior Materials

DATE
NOVEMBER 2023

SCALE
3/4" = 1'-0"

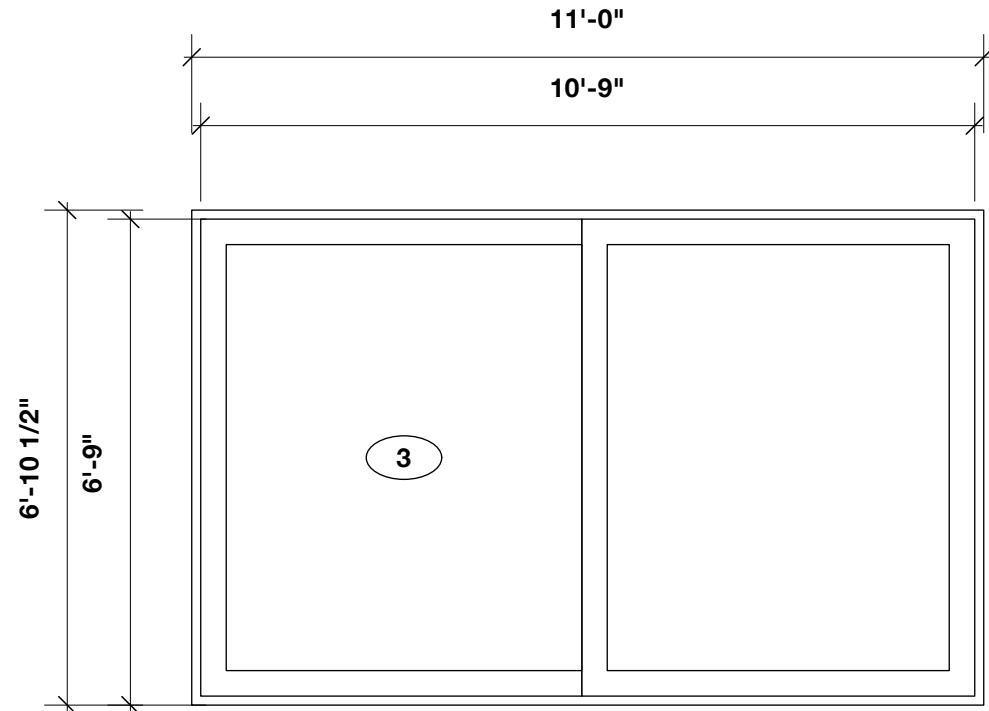
SHEET NO
5.1
OF 16

(N) DOORS EXTERIOR VIEW
SCALE 3/8"=1'-0"



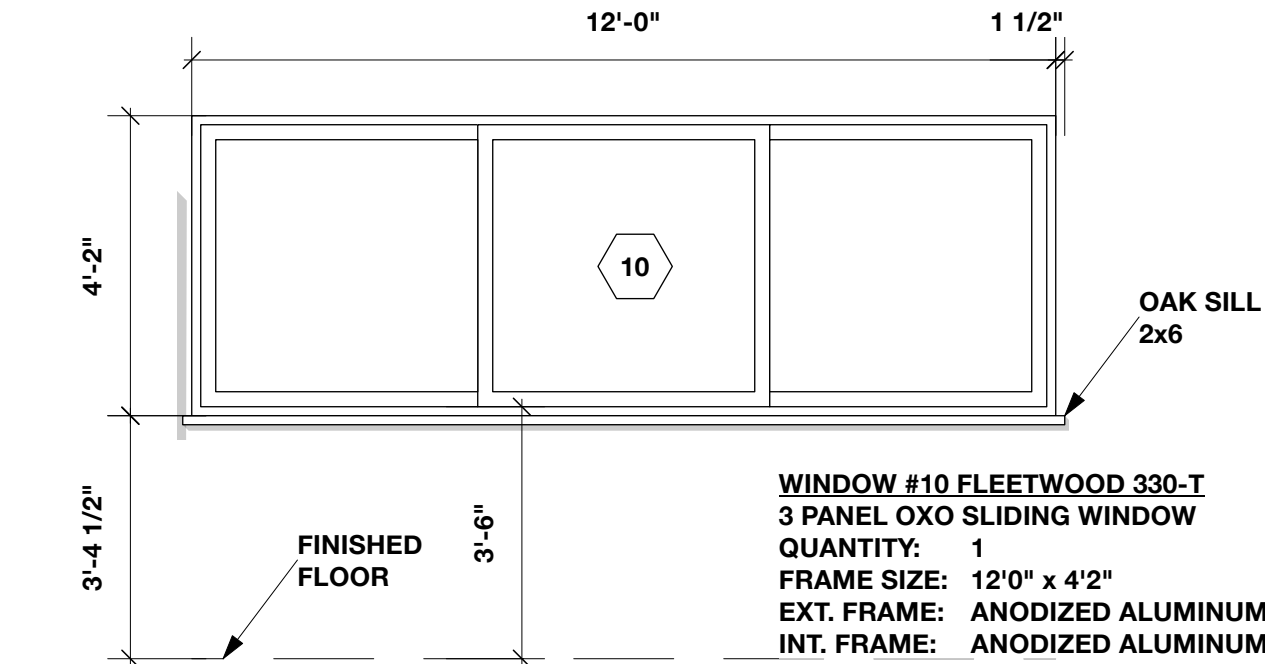
DOOR #1 FLEETWOOD 3200-T
IN-SWING DOOR
QUANTITY: 2
LEAF SIZE: 3'0" x 6'8"
FRAME SIZE: 3'4" x 6'10"
EXT. FRAME: ANODIZED ALUMINUM
INT. FRAME: ANODIZED ALUMINUM

DOOR #2 FLEETWOOD 3200-T
IN-SWING DOOR
QUANTITY: 1
LEAF SIZE: 2'8" x 6'8"
FRAME SIZE: 3'0" x 6'10"
EXT. FRAME: ANODIZED ALUMINUM
INT. FRAME: ANODIZED ALUMINUM

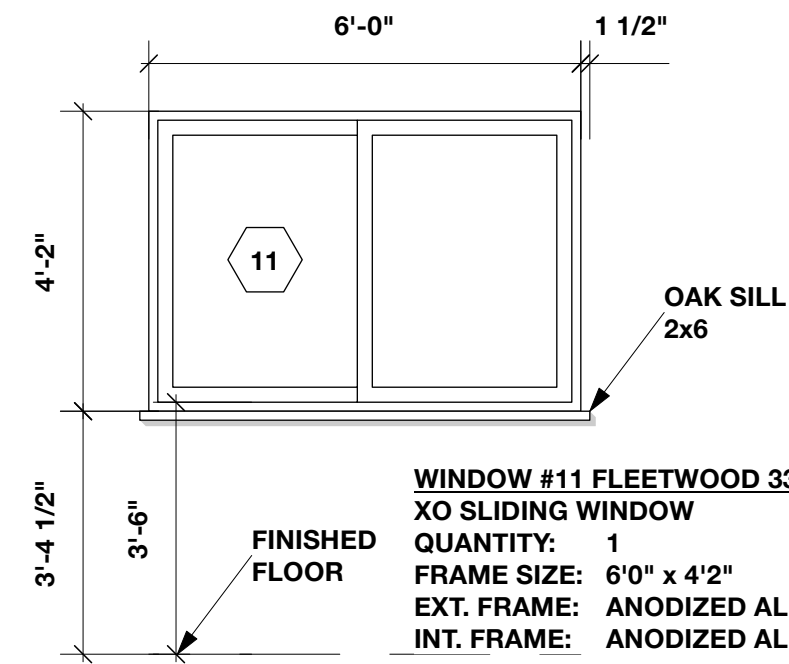


DOOR #3 FLEETWOOD 3070
SLIDING DOOR
QUANTITY: 1
LEAF SIZE: 10'9" x 6'9"
FRAME SIZE: 11'0" x 6'10"
EXT. FRAME: ANODIZED ALUMINUM
INT. FRAME: ANODIZED ALUMINUM

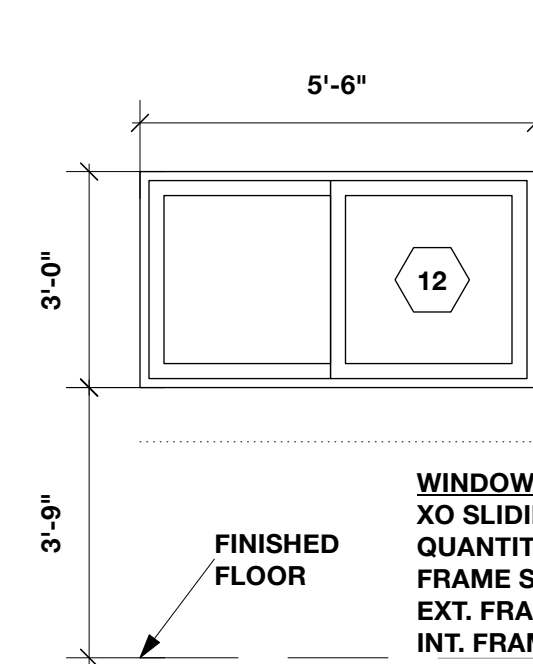
(N) WINDOWS EXTERIOR VIEW
SCALE 3/8"=1'-0"



WINDOW #10 FLEETWOOD 330-T
3 PANEL OXO SLIDING WINDOW
QUANTITY: 1
FRAME SIZE: 12'0" x 4'2"
EXT. FRAME: ANODIZED ALUMINUM
INT. FRAME: ANODIZED ALUMINUM

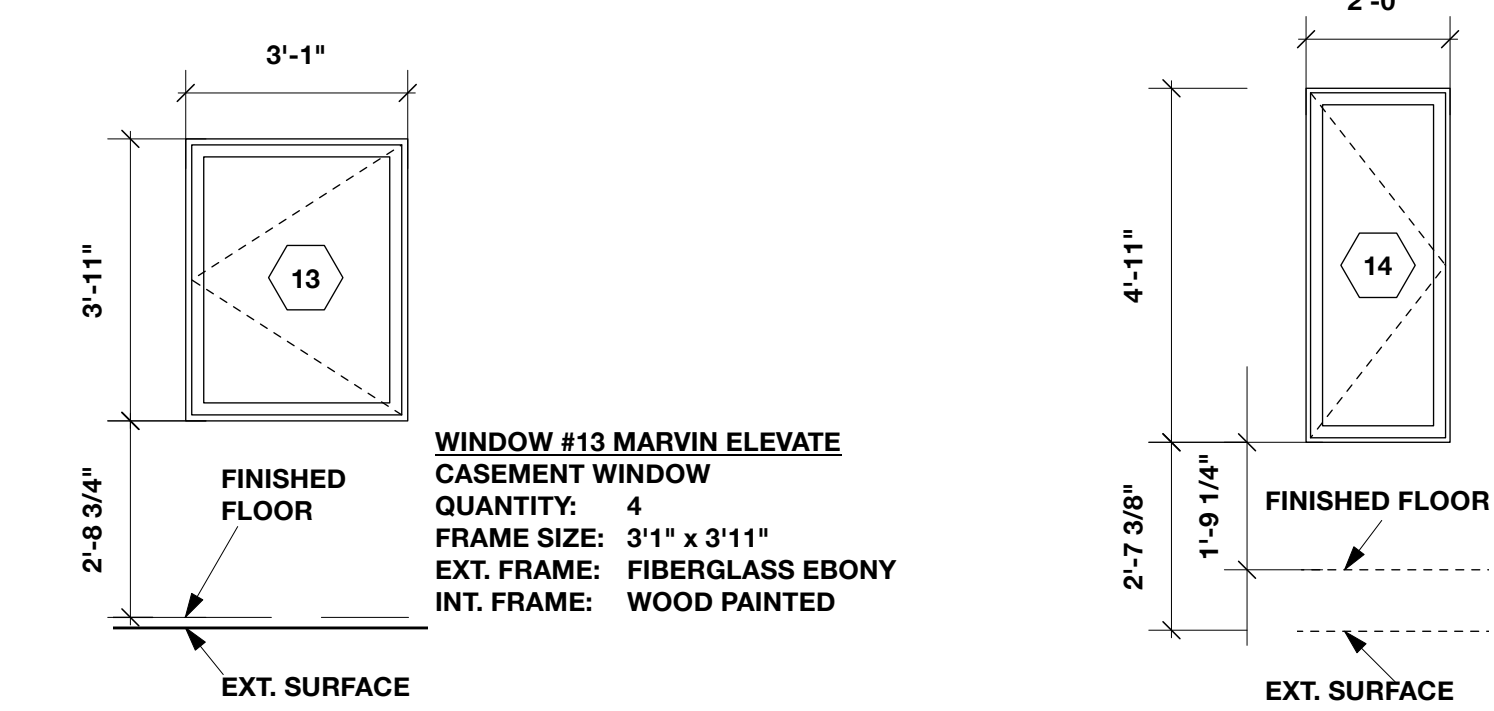


WINDOW #11 FLEETWOOD 330-T
OXO SLIDING WINDOW
QUANTITY: 1
FRAME SIZE: 6'0" x 4'2"
EXT. FRAME: ANODIZED ALUMINUM
INT. FRAME: ANODIZED ALUMINUM



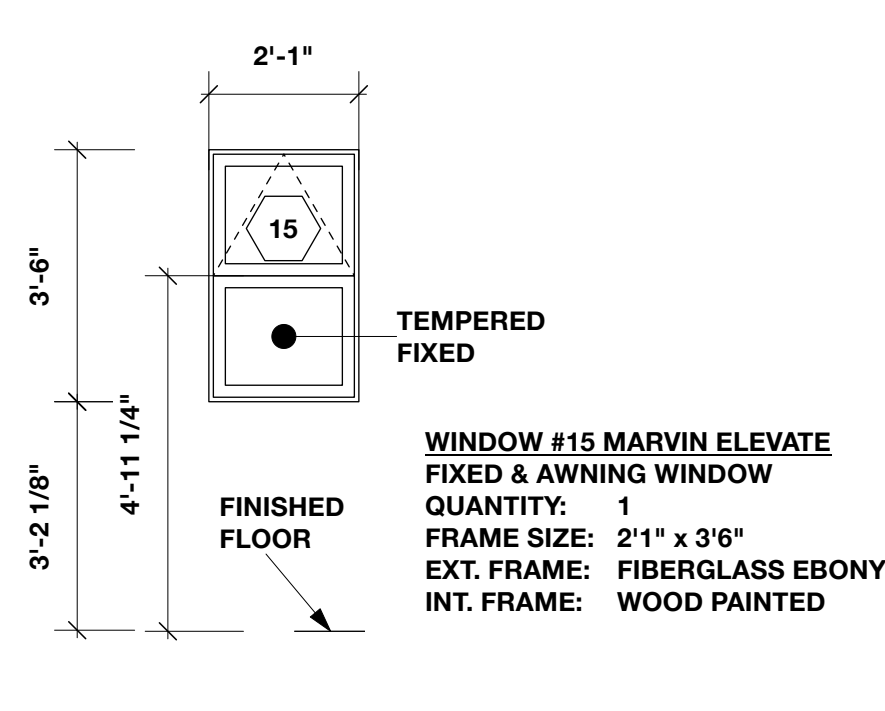
WINDOW #12 FLEETWOOD 330-T
OXO SLIDING WINDOW
QUANTITY: 2
FRAME SIZE: 5'6" x 3'0"
EXT. FRAME: ANODIZED ALUMINUM
INT. FRAME: ANODIZED ALUMINUM

REPLACE (E) WINDOWS
SCALE 3/8"=1'-0"



WINDOW #13 MARVIN ELEVATE
CASEMENT WINDOW
QUANTITY: 4
FRAME SIZE: 3'11" x 3'11"
EXT. FRAME: FIBERGLASS EBONY
INT. FRAME: WOOD PAINTED

WINDOW #14 MARVIN ELEVATE
CASEMENT WINDOW
QUANTITY: 2
FRAME SIZE: 2' x 4'11"
EXT. FRAME: FIBERGLASS EBONY
INT. FRAME: WOOD PAINTED



WINDOW #15 MARVIN ELEVATE
FIXED & AWNING WINDOW
QUANTITY: 1
FRAME SIZE: 2'11" x 3'6"
EXT. FRAME: FIBERGLASS EBONY
INT. FRAME: WOOD PAINTED

WINDOW #16 FLEETWOOD 350-T
FIXED & AWNING WINDOW
QUANTITY: 3
FRAME SIZE: 2'6" x 5'
EXT. FRAME: ANODIZED ALUMINUM
INT. FRAME: ANODIZED ALUMINUM

(N) DOOR SCHEDULE

Door No.	Quantity	Door Type	Leaf Size	Width	Height	R.O.	Material	Door	Tempered	Glazing/Leaf	Finish	Interior	U-Factor	SHGC	Operation	Notes	Manufacturer / Model
1	2	EXT SWING	3'0"	6'8"	3'4" x 6'10"		BLACK ANODIZED ALUMINUM	YES		DUAL PANE / LOW-E3	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	0.43	0.2	IN-SWING	ENTRY, EGRESS	3200-T FLEETWOOD
2	1	EXT SWING	2'8"	6'8"	3'0" x 6'10"		BLACK ANODIZED ALUMINUM	YES		DUAL PANE / LOW-E3	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	0.43	0.2	IN-SWING		3200-T FLEETWOOD
3	1	SLIDING	11'0"	6'8"	11'0" x 6'10"		BLACK ANODIZED ALUMINUM	YES		DUAL PANE / LOW-E3	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	0.5	0.23	XO	USE (E) HDR	3070 FLEETWOOD

(N) WINDOW SCHEDULE

Window No.	Quantity	Window Type	Frame Size	Material	Int. Finish	Ext. Finish	U-Fac.	SHGC	Operation	Screen	Notes	Manufacturer
10	1	3 PANEL SLIDING	12'0" x 4'2"	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	0.41	0.22	XOX	NO	EXT. OAK SILL	330-T FLEETWOOD
11	1	SLIDING	5'6" x 4'2"	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	0.41	0.22	XO	YES	EXT. OAK SILL	330-T FLEETWOOD
12	2	SLIDING	5'6" x 3'0"	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	0.41	0.22	XO	NO		330-T FLEETWOOD
13 (E)	4	CASEMENT	3'11" x 3'11"	WOOD, FIBERGLASS CLAD BLACK	WOOD PAINTED BLACK	FIBERGLASS BLACK	0.29	0.2		ONE PER ROOM	REPLACE EXISTING EGRESS	MARVIN ELEVATE
14 (E)	2	CASEMENT	2'0" x 4'11"	WOOD, FIBERGLASS CLAD BLACK	WOOD PAINTED BLACK	FIBERGLASS BLACK	0.29	0.2		YES	REPLACE EXISTING	MARVIN ELEVATE
15 (E)	1	LOWER FIXED UPPER AWNING	2'1" x 3'6"	WOOD, FIBERGLASS CLAD BLACK	WOOD PAINTED BLACK	FIBERGLASS BLACK	0.29	0.2	PUSH-OUT	NO	REPLACE EXISTING	MARVIN ELEVATE
16 (E)	3	LOWER FIXED UPPER AWNING	2'6" x 5'0"	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	BLACK ANODIZED ALUMINUM	0.48	0.19	CRANK & PUSH-OUT	ONE PER ROOM	REPLACE EXISTING EXT. OAK SILL	350-T FLEETWOOD

(N) SKYLIGHT SCHEDULE

Skylight No.	Roof Pitch	Quantity	Model #	Operation	Installation	Outside Curb Dim	GLazing SF	U-Factor	SHGC	Int. Finish	Glazing	Ext. Finish	Uniform Evaluation Service	LARR #
A	5.7/8:12	2	VELUXVCS-2246	SOLAR POWERED VENTED	CURB MOUNTED	2'1 1/2" x 4'1 1/2"	41 1/2"	U-Fac: 0.43	SHGC: 0.23	WHITE	LOW-E3	ALUMINUM CLAD	UES ER-199	25885
B	5.7/8:12	3	VELUXVCS-2234	SOLAR POWERED VENTED	CURB MOUNTED	2'1 1/2" x 3'1 1/2"	31 1/2"	U-Fac: 0.43	SHGC: 0.23	WHITE	LOW-E3	ALUMINUM CLAD	UES ER-199	25885

MARVIN

CASEMENT + AWNING

ELEVATE
Wide range of options and product types

MARVIN ELEVATE COLLECTION

WOOD
Bare pine, painted Designer Black, painted White, or clear coat

FIBERGLASS
4 color options

Standard + custom sizing for replacement, remodeling, or new construction

Available in 6 finish options with 2 door handle styles

Hurricane Impact Zone 3, + PG-30 Products

VELUX

Glazings and Certification

Glazing	NFRC U-factor	NFRC SHGC	NFRC Vt	Hallmark 426-H-695	IAPMO-ES ER 199	Fla Prod Approval 13303	HVH Z	TDI
04 Laminated -2.3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane.	0.52	0.24	0.55	✓	✓	✓		SK-03
06 Impact - 2.3 mm laminated (2.28 mm interlayer) with tempered Low E366 outer pane for hurricane areas	0.48	0.24	0.55	✓	✓	✓	✓	SK-14
08 White laminated -2.3 mm Laminated (0.76mm white interlayer) with tempered Low E366 outer pane.	0.52	0.23	0.39	✓	✓	✓		SK-03

FLEETWOOD

SERIES 330-T
HORIZONTAL SLIDER - FIXED

DESIGNER LATCH
This is a standard feature. The 330-T is equipped with our proprietary latch, precisely made in the USA and constructed of 316 stainless steel. It's a self-latching design so you only need to close the window to lock it in the correct position. This latch is available in brushed or black painted stainless steel.

ENCAPSULATED SCREEN
Most windows on the market have screens that jut out from the main frame. Fleetwood's screens are encapsulated within the frame depth, creating a sleek and sleek appearance.

TANDEM ROLLERS
The 330-T rolling system stands alone in the market as the only sliding window with an adjustable tandem roller. This small but capable roller is constructed of stainless steel with nylon tires, and can carry up to 75 pounds of weight.

HIGH PERFORMANCE CAPABILITY
For applications requiring high performance windows, the 330-T has the answer with a variety of options that increase its strength, including an integral stack bar and a high water job kit.

STEEL LOOK APPLIED GRID
The 330-T, as well as several other products, offers the feature, which replicates the classic look of a steel window, yet retains all the advantages of aluminum.

HINGED SCREEN
This heavy engineered screen features a magnetic keeper latch and compression bulb as the top guard. The feature is easily adjusted with the cam handle for large openings, which is what the factory recommends for coastal and high wind projects.

NARROW BUTT HINGES
Each casement butt hinge is 2" long, 1/2" in diameter, and constructed of 316 stainless steel. For maximum coastal protection, each hinge is electroplated and then finish coated in powder coated. For an even closer profile, we offer a concealed stainless steel 4-1/2" long with cam handle hardware.

WELDED CORNERS
Typical residential casement windows have screw joint corners, which weaken over decades as the windows are opened. However, Fleetwood welds the vent corners for lifetime performance. For added strength, each corner includes an aluminum extruded corner key that is compressed using a hydraulic press and welded into place.

SERIES 350-T
CASEMENT + AWNING + HOPPER - FIXED

STEEL LOOK APPLIED GRID
The 350-T, as well as several other products, offers the feature, which replicates the classic look of a steel window, yet retains all the advantages of aluminum.

HINGED SCREEN
This heavy engineered screen features a magnetic keeper latch and compression bulb as the top guard. The feature is easily adjusted with the cam handle for large openings, which is what the factory recommends for coastal and high wind projects.

NARROW BUTT HINGES
Each casement butt hinge is 2" long, 1/2" in diameter, and constructed of 316 stainless steel. For maximum coastal protection, each hinge is electroplated and then finish coated in powder coated. For an even closer profile, we offer a concealed stainless steel 4-1/2" long with cam handle hardware.

WELDED CORNERS
Typical residential casement windows have screw joint corners, which weaken over decades as the windows are opened. However, Fleetwood welds the vent corners for lifetime performance. For added strength, each corner includes an aluminum extruded corner key that is compressed using a hydraulic press and welded into place.

SERIES 3200-T
NARROW STYLE HINGED DOOR

STEEL LOOK
The 3200-T Steel Look 350-T and LockBox simulate a classic steel hinged door without the cost and challenges of steel. The Steel Look package, in complete with combined with the 350-T and 3800-T.

SLENDER YET STRONG
The 3200-T boasts a jamb profile of less than 4" after the frame is installed. Additionally, the horizontal rollers have been reduced to provide the least sightline possible. Though the 3200-T is a hinged door with its heavy aluminum walls and a corner assembly similar to the 3900-T.

MINIMALIST HARDWARE
The FIB hardware selected for the 3200-T has a narrow handle plate from the Series 2000-C that allows the same lever operation. The door self latches when closed and is secured with a dead bolt. The position plate is a great option with a flush mounted concealed lever that operates two short bolts.

ADJUSTABLE HINGES & LARGE SIZES
Each operable pane is equipped with four adjustable hinges that are mounted into the frame. Through sliding in profile, the hinges easily support panes as large as 8'0" x 10'0".

SERIES 3070
MULTI-SLIDE & POCKET DOOR

ATTENTION TO DETAIL
The 3070 is loaded with features that accentuate its beauty and practical design. For example, the frame fillets conceal the installation screws, enhance weather performance, and guard against sand, dirt, and debris.

CUSTOMIZABLE FEATURES
The 3070 can be featured to accommodate a wide variety of aesthetics and purposes. For example, both of the lock site choices offer unique design and ergonomic based on our patented Anitstep technology.

WEATHER RATED FLUSH SILL
The optional Active-Drafting system allows for a continuous flush sill, similar to our Series 3500-Active-Track, but with tested weather performance. The suggested Active-Draft can also enhance air-tightness and weather performance.

DESIGN FLEXIBILITY
Be limited only by your imagination and stay true to the design intent with virtually unlimited choice panel arrangement. The 3070's robust offering includes custom made and outside custom egress corners, pocketing systems, and traditional configurations.

WOLFRAM KNORINGER
1716 DELOZ AVE
LOS ANGELES CA 90027
323 829 7635

AYA & RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE

1411 INDIANA

SHEET TITLE

Door, Window Schedule

DATE

NOVEMBER 2023

SCALE

3/8" = 1'-0"

SHEET NO

5.2
OF 16



STREET VIEW



ENTRY PATIO AND PORCH



ENTRY STEPS



STREET VIEW



STREET ELEVATION

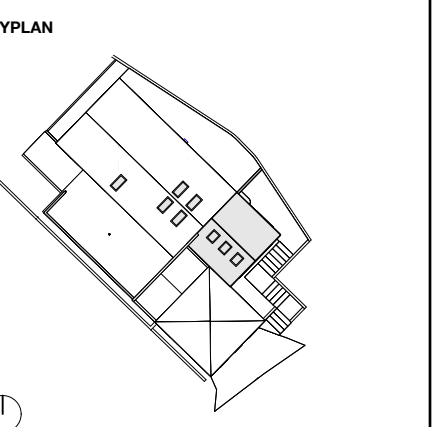


ENTRY PATIO AND GATE

DESIGN
WOLFRAM KNORINGER
 1716 DELOZ AVE
 LOS ANGELES CA 90027
 323 829 7635

CLIENT
AYA & RYAN DEAM
 1411 INDIANA AVE
 SOUTH PASADENA CA 91030
 310 923 8339

DEAM RESIDENCE
 1411 INDIANA AVE
 SOUTH PASADENA



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

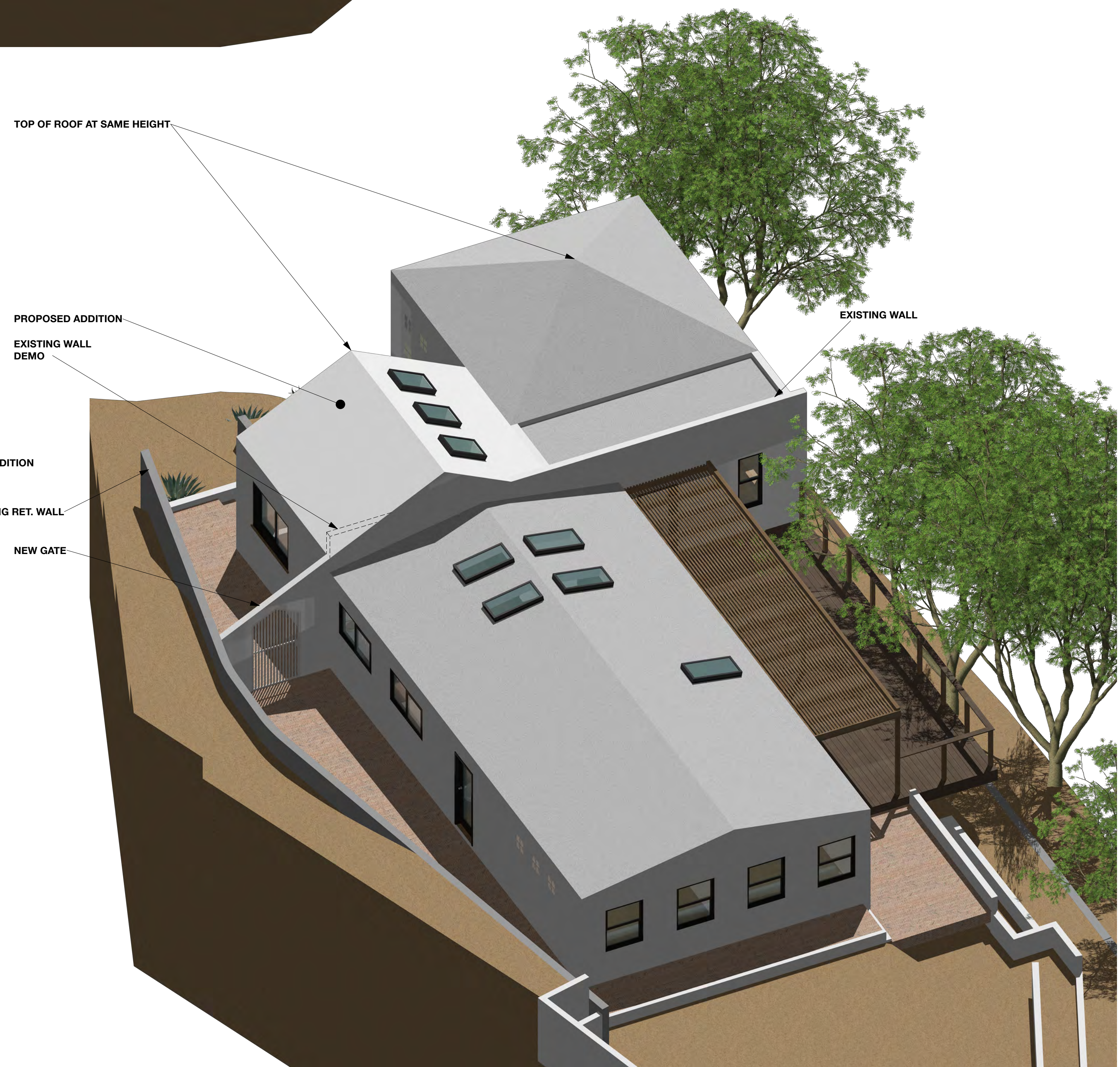
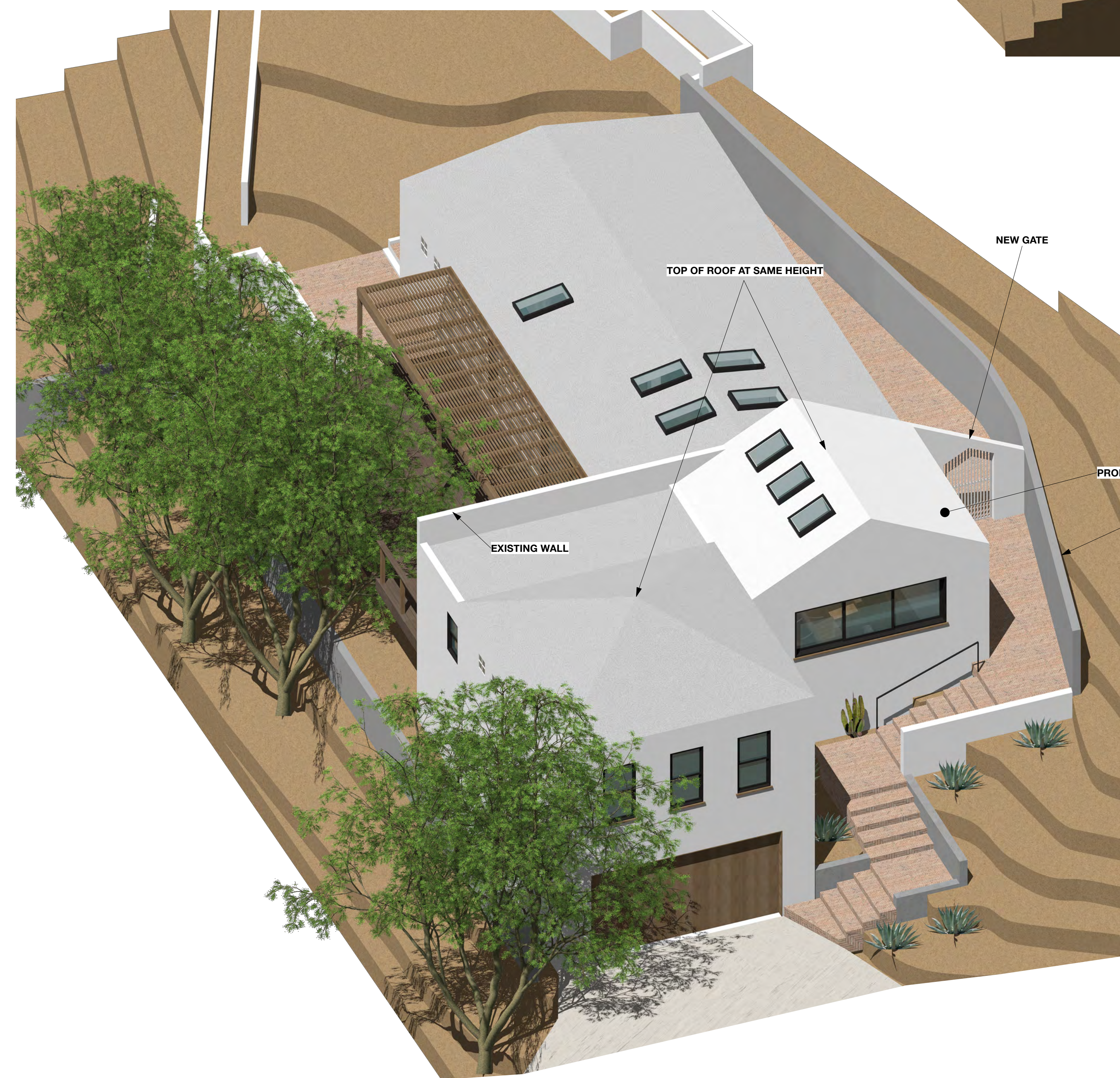
PROJECT TITLE
1411 INDIANA

SHEET TITLE
Ext. Renderings

DATE
 NOVEMBER 2023

SCALE
 AS NOTED

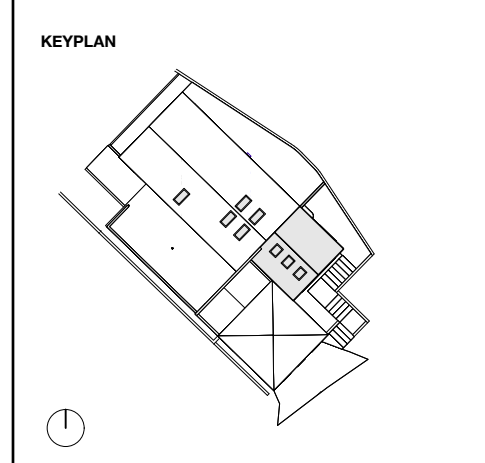
SHEET NO
10.1
 OF 16



DESIGN
WOLFRAM KNORINGER
 1716 DELOZ AVE
 LOS ANGELES CA 90027
 323 829 7635

CLIENT
AYA & RYAN DEAM
 1411 INDIANA AVE
 SOUTH PASADENA CA 91030
 310 923 8339

DEAM RESIDENCE
 1411 INDIANA AVE
 SOUTH PASADENA



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

SHEET TITLE
Birds Eye Views

DATE
 NOVEMBER 2023

SCALE
 AS NOTED

SHEET NO
10.2
 OF 17

SUPERNATURAL

1494 Kenmore Road
Pasadena, CA 91106
www.studio-supernatural.com
510 910 5662

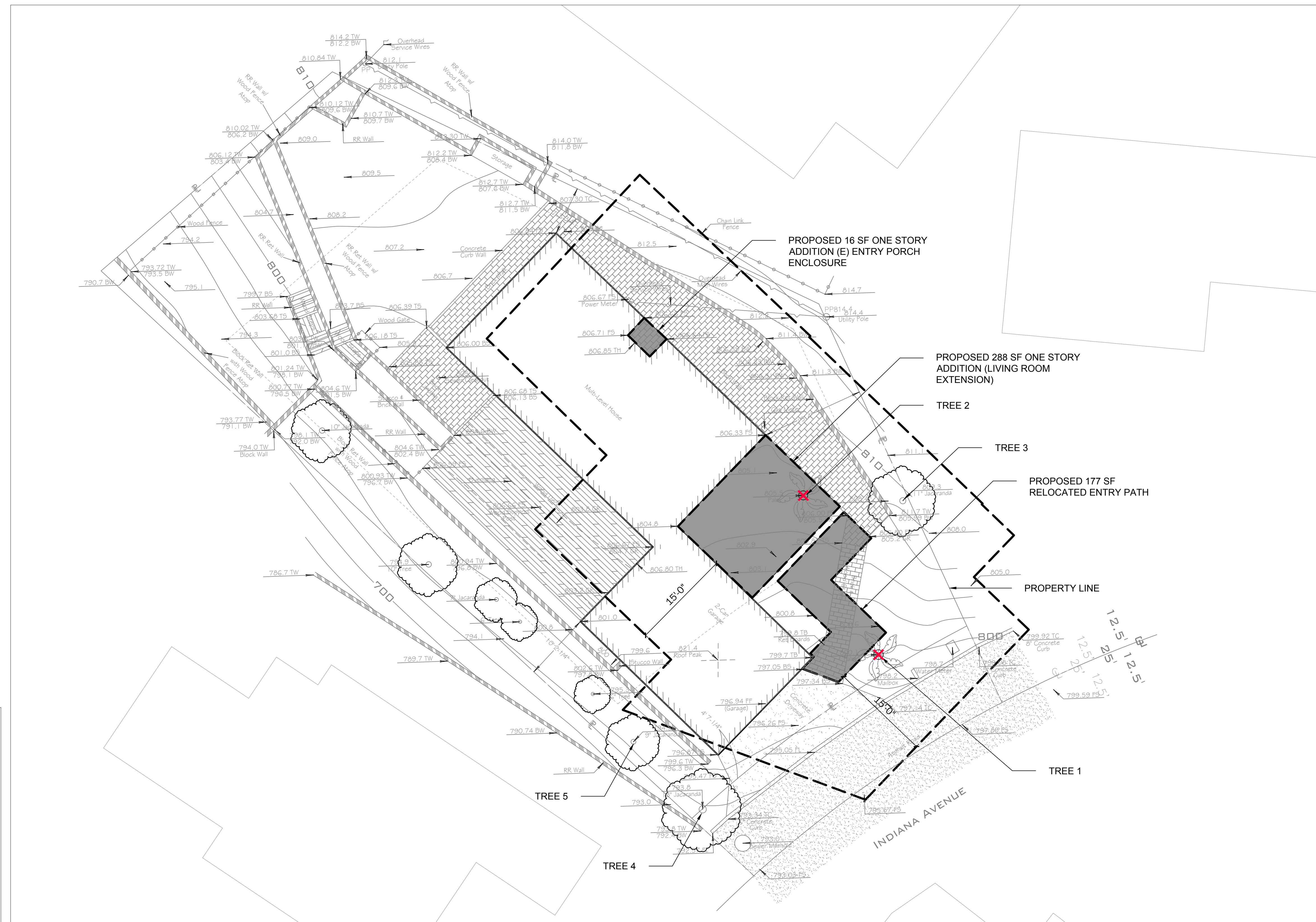
Deam Residence

1411 Indiana Ave
South Pasadena, CA 91030
PROJECT NUMBER 2317

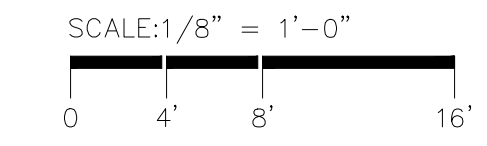
CLIENT:
AYA AND RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA, CA 91030
310-923-8339

CONSULTANTS:

KEY PLAN:



SITE PLAN 1

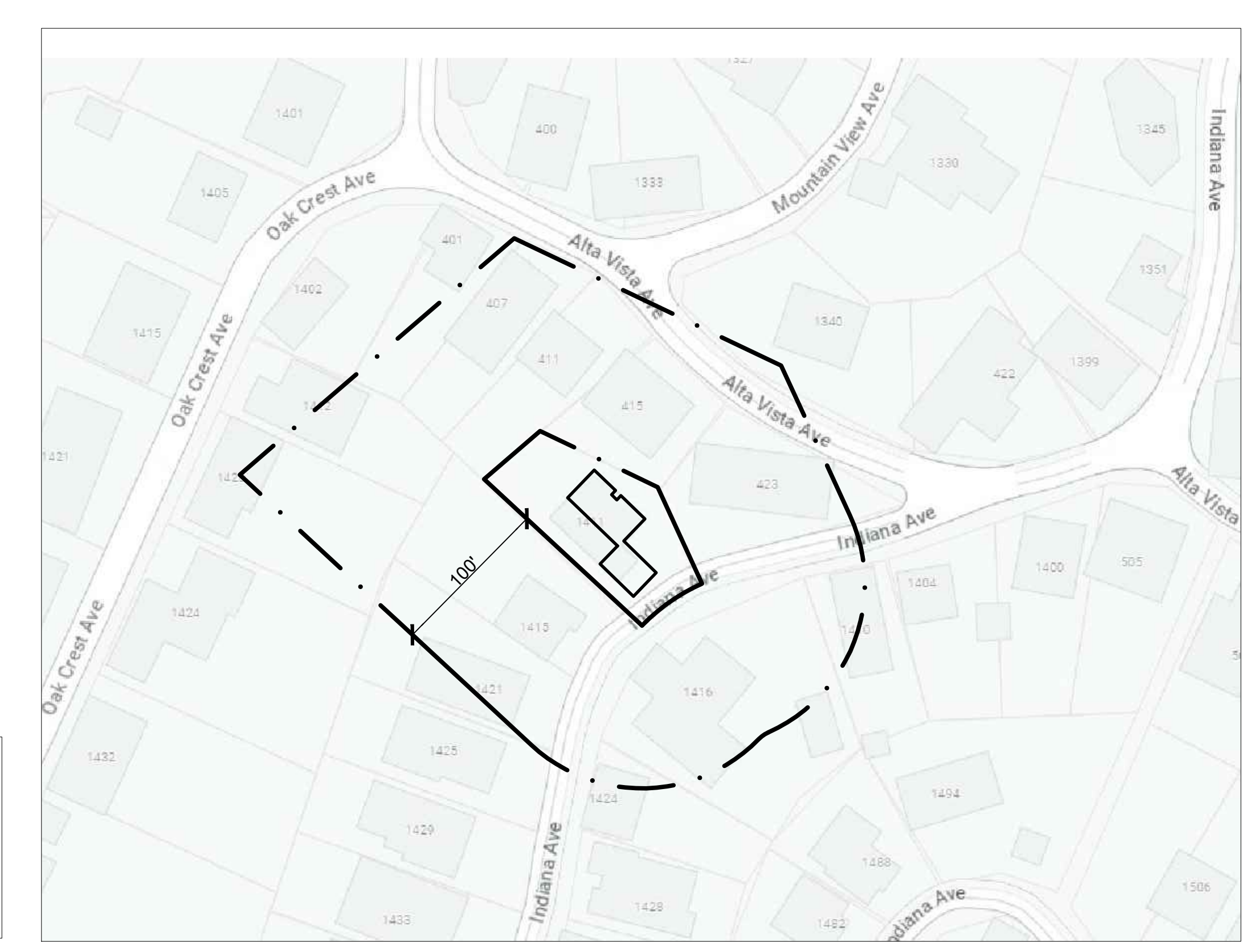


CONSTRUCTION PROJECT TREE INFORMATION
1411 INDIANA AVE
SOUTH PASADENA, CA 90130

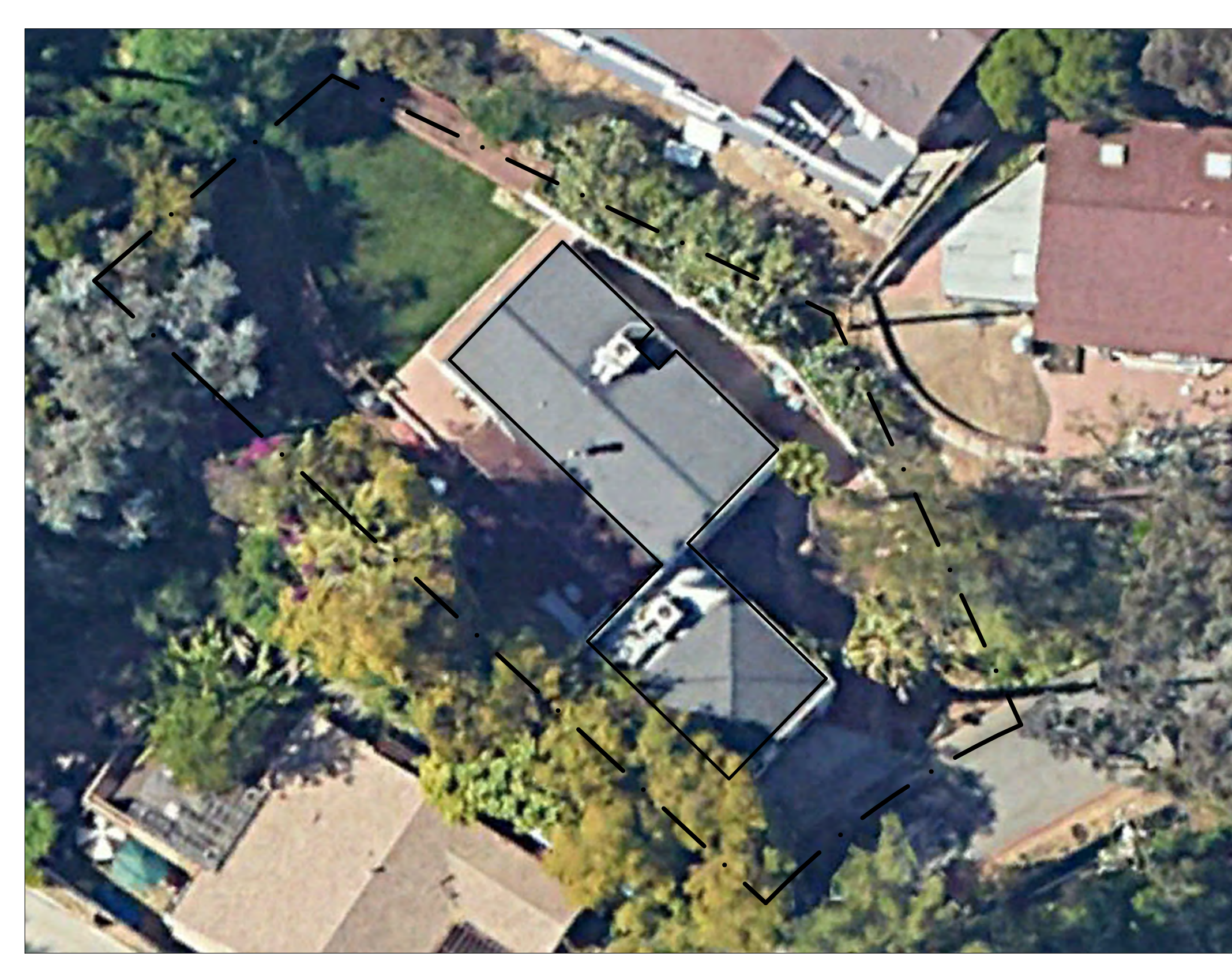
NO HERITAGE, OAK OR NATIVE TREES ARE LOCATED ON THE PROPERTY OR WITHIN THE PROJECT AREA

TREE NUMBER	SPECIES	DBH	EFFECT OF PROJECT
1	WASHINGTONIA ROBUSTA	17"	REMOVE
2	WASHINGTONIA ROBUSTA	16"	REMOVE
3	JACARANDA MIMOSIFOLIA	15"	PROTECT
4	JACARANDA MIMOSIFOLIA	13"	PROTECT
5	JACARANDA MIMOSIFOLIA	9"	PROTECT

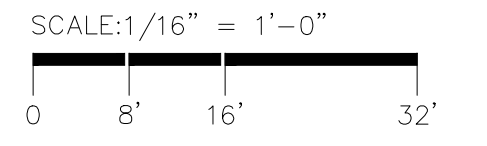
SIX TOTAL REPLACEMENT TREES (1.6" INCREMENT FOR NON NATIVE) WILL BE REQUIRED



CONTEXT MAP: NTS 3



AERIAL PHOTO 2



IMPACTED PROPERTIES WITHIN 100 FEET OF PROJECT AREA

1410, 1416, 1424, 1415, 1421, 1425 INDIANA
401, 407, 411, 415, 423 ALTA VISTA
1412, 1420 OAK CREST
1340 MOUNTAIN VIEW

**PRELIMINARY
NOT FOR CONSTRUCTION**

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ISSUES AND REVISIONS

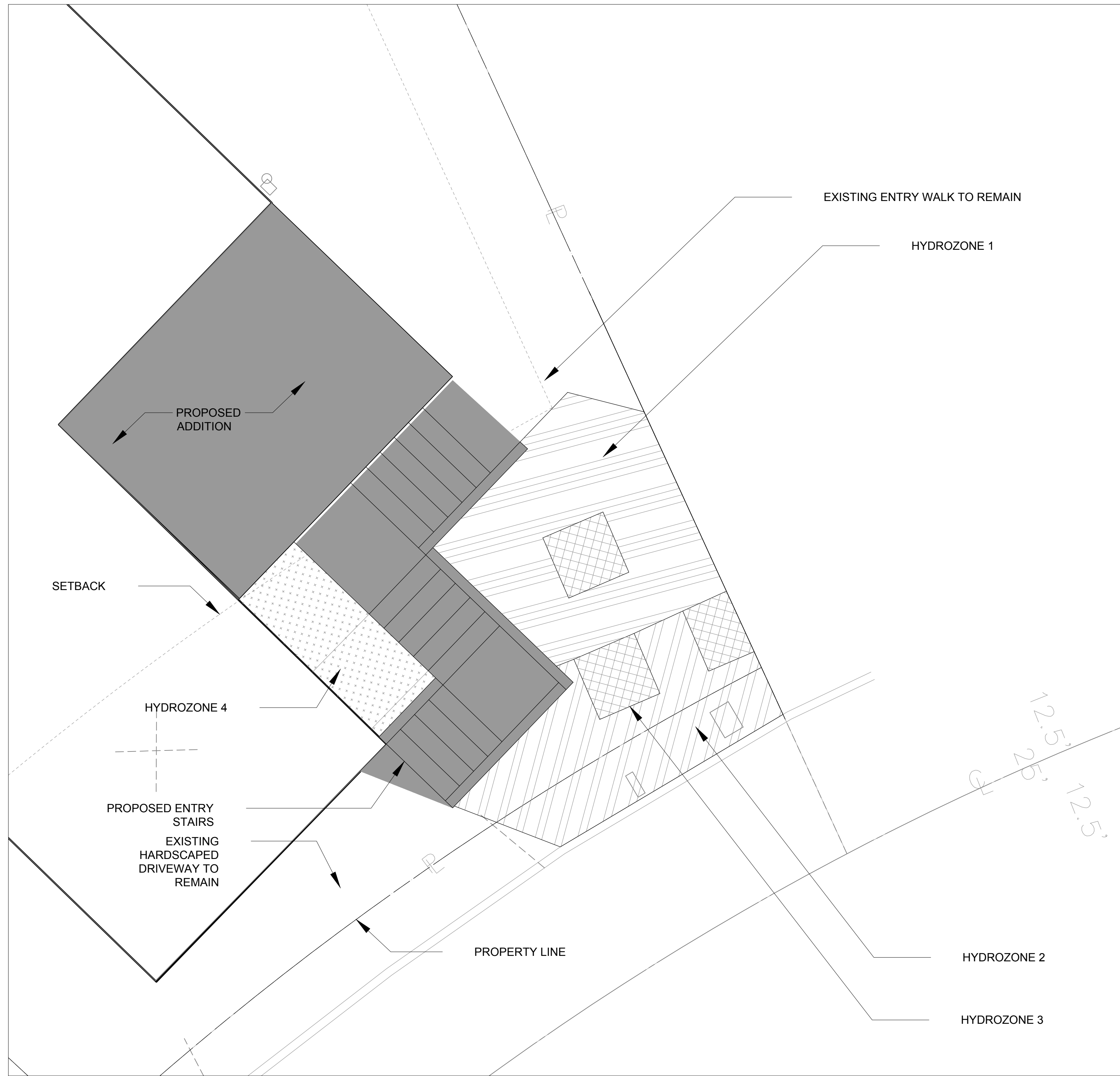
NO.	DESCRIPTION	DATE	REV

**LANDSCAPE TREE
REMOVAL PLAN**

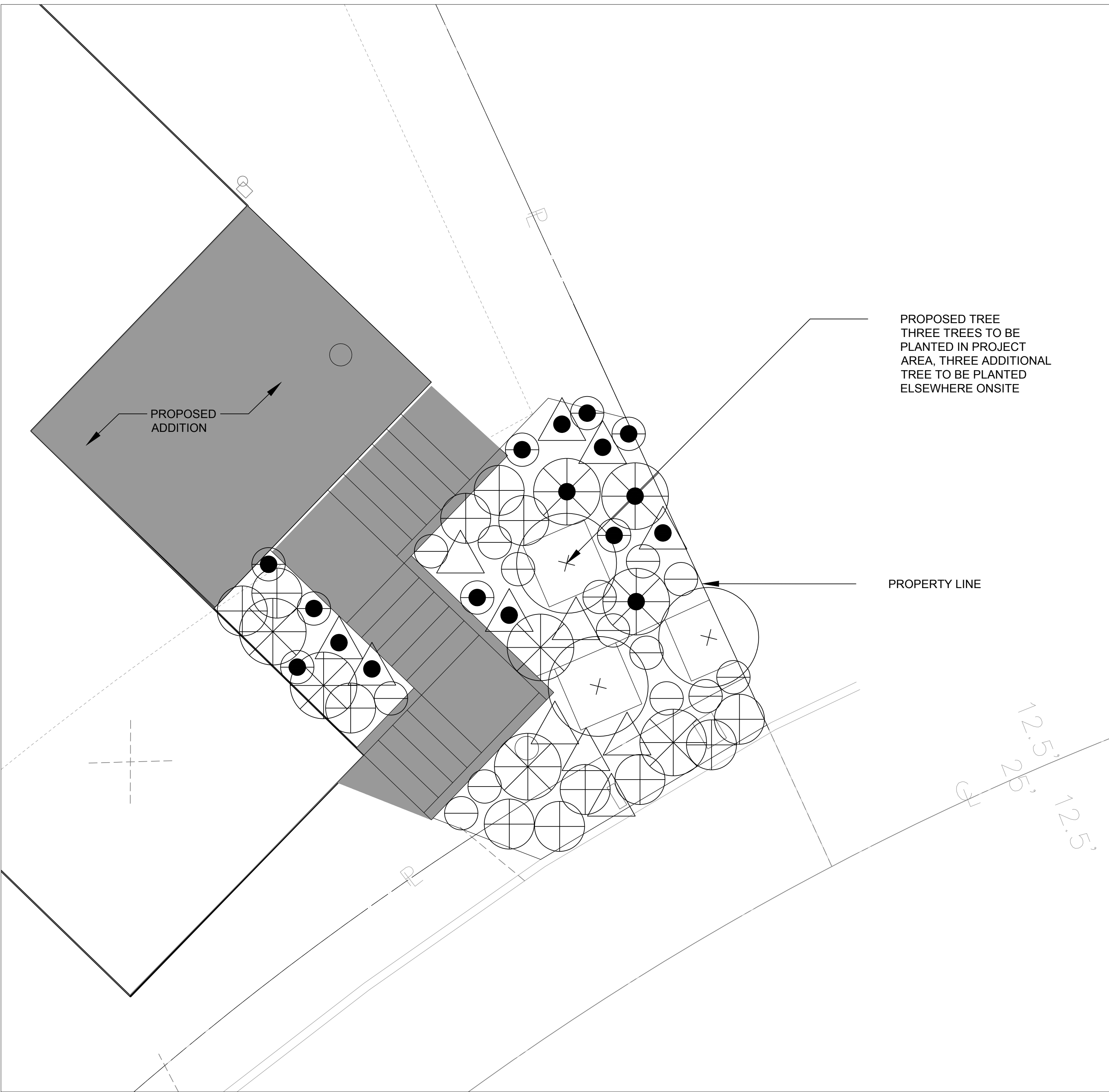
L100.0

CONSULTANTS:

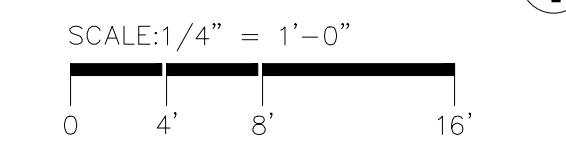
KEY PLAN:



HYDROZONE/HARDSCAPE PLAN 2



PLANTING PLAN 1



PLANNING NOTES

FRONT YARD PAVING: EXCLUDING THE EXISTING PERMITTED GARAGE, THE TOTAL SETBACK AREA: 791 SF
THE COMBINED EXISTING TO REMAIN AND PROPOSED HARDSCAPE AREA: 275 SF (35%)

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes		
Enter value in Pale Blue Cells		
Tan Cells Show Results		
Click on the blue cell on right to Pick City Name	Pasadena	Name of City
ET _c of City from Appendix A	52.30 ET _c (inches/year)	
	285 Overhead Landscape Area (ft ²)	
	0 Drip Landscape Area (ft ²)	
	0 SLA (ft ²)	
Total Landscape Area	385.00	
Results:		
ET _c x (0.62) x [(0.55 x LA) + (1.0 - 0.55) x SLA]		
MAWA calculation incorporating Effective Precipitation (Optional)		
ET _c of City from Appendix A	52.30 ET _c (inches/year)	
Total Landscape Area	385.00 LA (ft ²)	
Special Landscape Area	0.00 SLA (ft ²)	
14 Total annual precipitation (inches/year)	3.50 Epp (in/year) (25% of total annual precipitation)	
Enter Effective Precipitation		
Results:		
MAWA = (ET _c - Epp) x [(0.55 x LA) + (1.0 - 0.55) x SLA]	6.48756 Gallons	
	856.57 Cubic Feet	
	8.57 ACF	
	0.02 Acres-feet	
	0.91 Millions of Gallons	

Irrigation Efficiency Default Values for overhead ETc and drip ETc	
Plant Species	Plant Factor
Hydrangea	0.50
Cornflower	0.50
Daylily	0.50
Geranium	0.50
Impatiens	0.50
Ornamental Shrub	0.50
Ornamental Tree	0.50
Peony	0.50
Rose	0.50
Shrub	0.50
Tulip	0.50
Wisteria	0.50
Zinnia	0.50
Aspen	0.50
Birch	0.50
Cherry	0.50
Deciduous Tree	0.50
Juniper	0.50
Linden	0.50
Maple	0.50
Pine	0.50
Redwood	0.50
Spruce	0.50
Yew	0.50

MAWA WORKSHEET 4

SHRUB, VINE & SUCCULENTS LEGEND:					
SYMBOL	TYPE	SIZE	WUCOLS	QTY	COMMENTS
⊗	LARGE SHRUB LOW WATER HESPERALOE, YUCCA, SENNA, ROMNEYA, ECHIUM			5	
⊗	LARGE SHRUB MEDIUM WATER LEUCOSPERMUM SP.			3	
⊗	SHRUB LOW WATER FALLUGIA PARADOXA, SALVIA APIANA/ALLEN CHICKERING/LEUCOPHYLLA, ARTEMESIA POWIS CASTLE, TAGETES LEMMONII			12	
⊗	GRASS LOW WATER MUHLENBERGIA CAPILLARIS, BOUTELOUA BLONDE AMBITION, ARTISTIDA PURPUREA			14	
⊗	GRASS MEDIUM WATER MUHLENBERGIA RIGENS			8	
△	CACTI/SUCCULENT LOW WATER CEREUS, LOPHO CERUS, ECHINOPSIS, ALOE FEROX, AREITZIL, A. PETRICOLA			6	
△	CACTI/SUCCULENT WATER PACHYPODIUM			6	
⊕	TREE, 24" BOX MINIMUM DESERT MUSEUM PALO VERDE			3	3 ADDITIONAL TREES (6 TOTAL) TO BE PROVIDED FOR PLANTING OUTSIDE THE PROJECT AREA

PLANTING SCHEDULE 3

**PRELIMINARY
NOT FOR CONSTRUCTION**

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ISSUES AND REVISIONS			
NO.	DESCRIPTION	DATE	REV

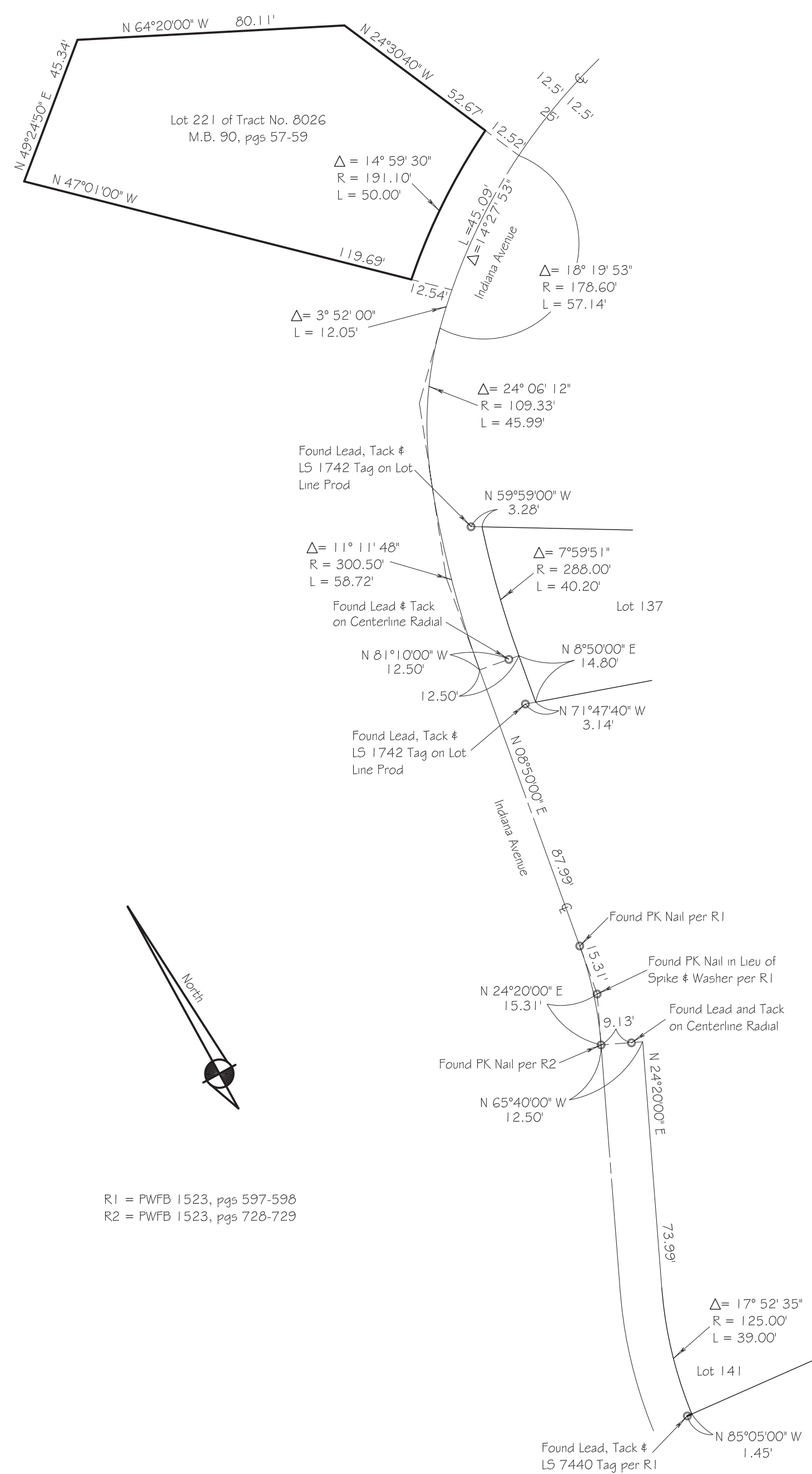
PLANTING PLAN
L200.0

SCALE: 1" = 8'

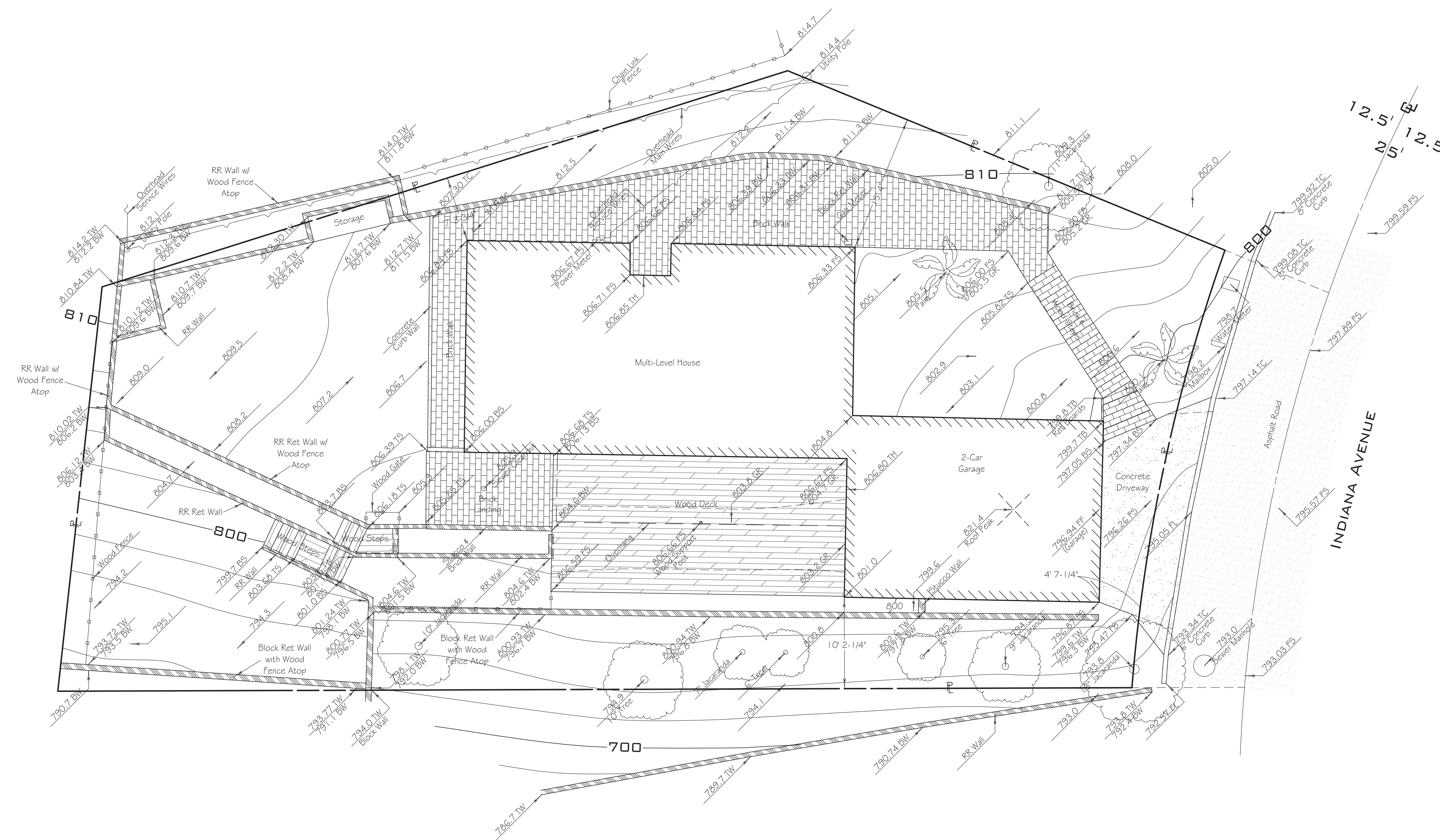
ARCHITECTURAL SURVEY

BOUNDARY DETAIL

Not To Scale



R1 = PWF 1523, pgs 597-598
R2 = PWF 1523, pgs 720-729



LEGEND

- FF = Finished Floor
- FS = Finished Surface
- FL = Flowline
- TL = Threshold
- BW = Bottom of Wall
- TW = Top of Wall
- TC = Top of Curb
- TS = Top of Step
- BS = Bottom of Step
- WI = Wrought Iron
- RR = Railroad Tie
- GR = Ground
- Cl = Tree Cluster
- TB = Top of Board
- Ret = Retaining

Note: Hatch Patterns and Tree Drip Lines Are Not to Scale

LEGAL DESCRIPTION: LOT 221 OF TRACT NO. 8026, MAP BOOK 90, PAGE 57-59

BENCH MARK: ASSUMED DATUM

BOUNDARY: RECORD INFORMATION ADJUSTED TO FOUND CENTERLINE SURVEY MONUMENTS

DATE OF SURVEY: OCTOBER 18, 2022

SITE ADDRESS: 1411 INDIANA AVENUE, S. PASADENA

AREA: 7,023 SQUARE FEET, 0.16 ACRES

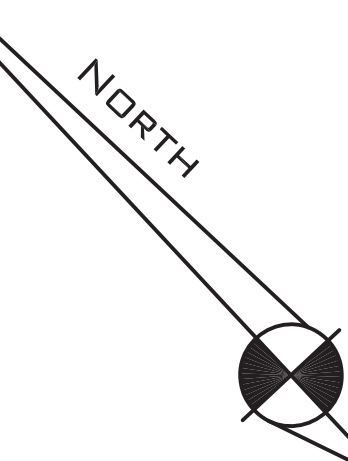
ASSESSOR'S PARCEL NO.: 5311-011-038

SLOPE ANALYSIS

$$\text{Average Slope Formula: } S = \frac{100 \cdot (l \times L)}{A}$$

$$S = \frac{100 \times (2' \text{ interval} \times 593.49' \text{ length})}{(7,023 \text{ square feet})}$$

$$\text{Average Slope} = 16.90$$



PLAN PREPARED FOR: AYA & RYAN DEAM
1411 INDIANA AVENUE
SOUTH PASADENA, CA 91030

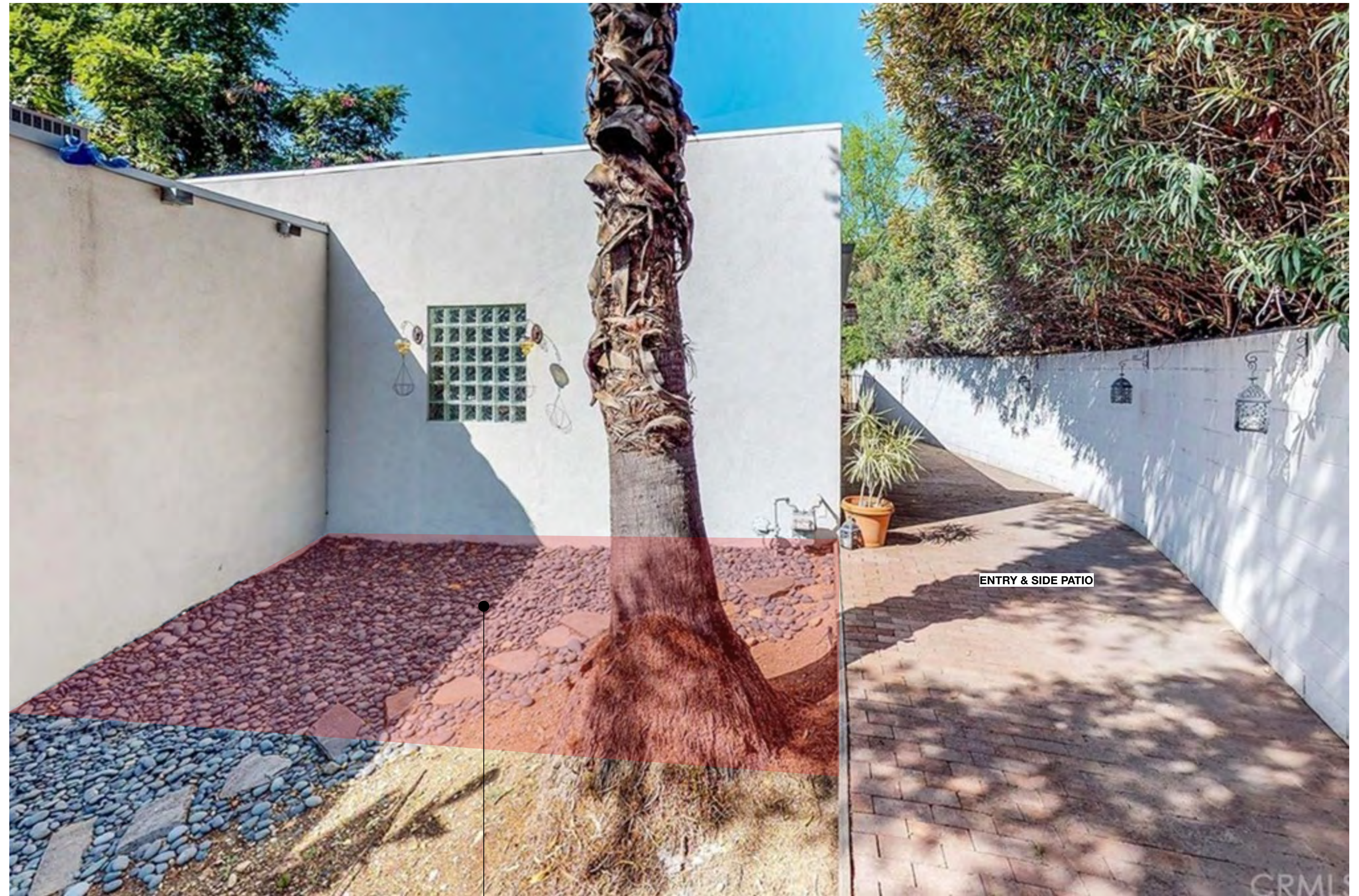
PLAN PREPARED BY: SILLAS LAND SURVEYING
1644 N. AVON STREET
BURBANK, CA 91505
(661) 839-2188
ALFREDO SILLAS, L.S. 9113

ATTACHMENT 3

Project Plans and Renderings



STREET VIEW OF PROPERTY



AREA OF PROPOSED ADDITION



ENTRY & SIDE PATIO



STREET VIEW FROM ROOF



REAR ELEVATION

DESIGN

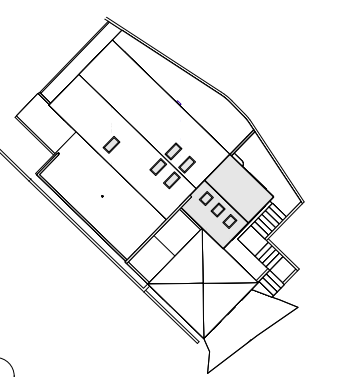
WOLFRAM KNORINGER
1716 DELOZ AVE
LOS ANGELES CA 90027
323 829 7635

CLIENT

AYA & RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA

KEYPLAN



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE

1411 INDIANA

SHEET TITLE

Existing Site Photos

DATE

NOVEMBER 2023

SCALE

NO SCALE

SHEET NO

1.2
OF 16

1-ALTA VISTA AVE WEST TO EAST, NORTH SIDE OF STREET



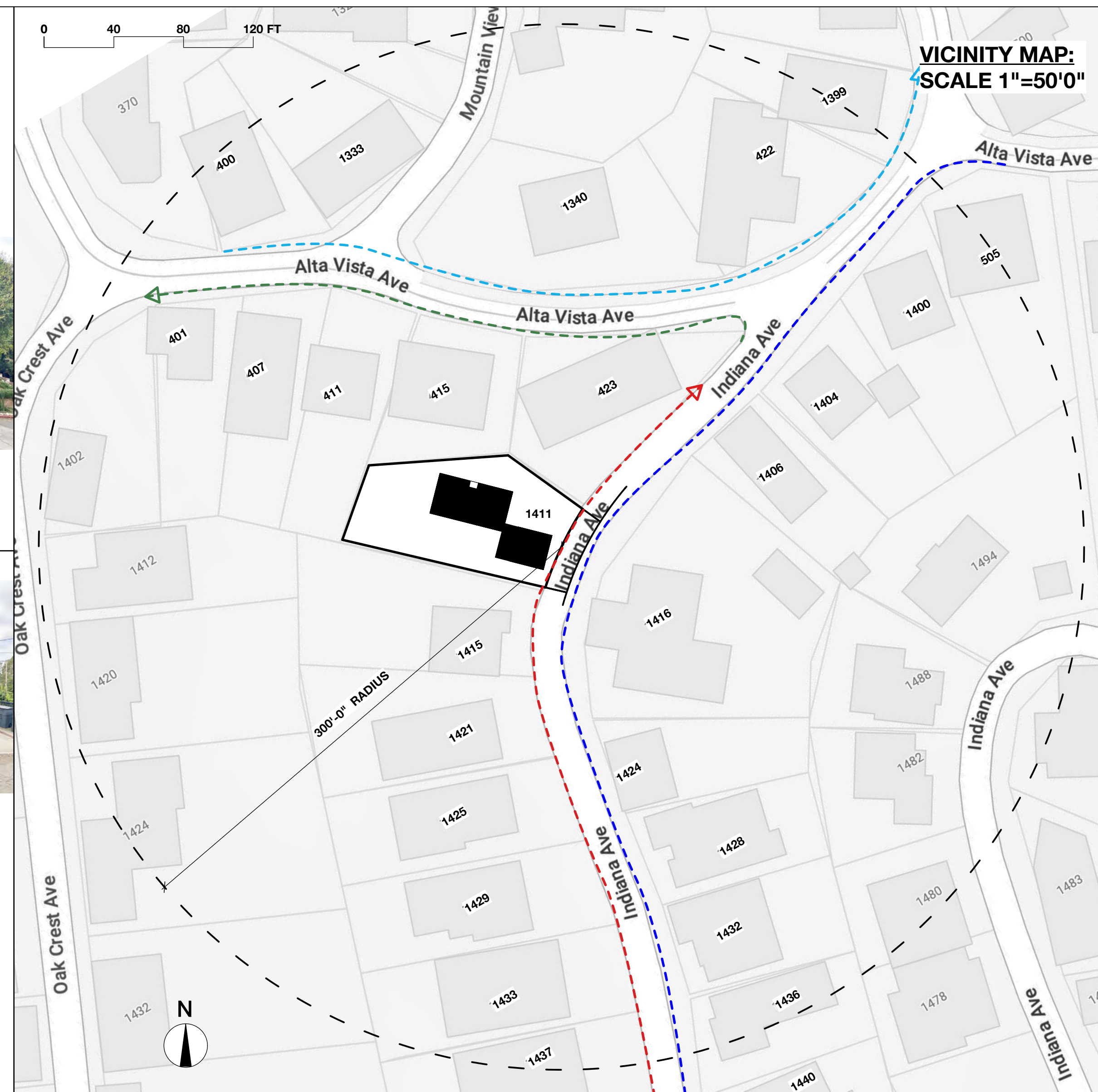
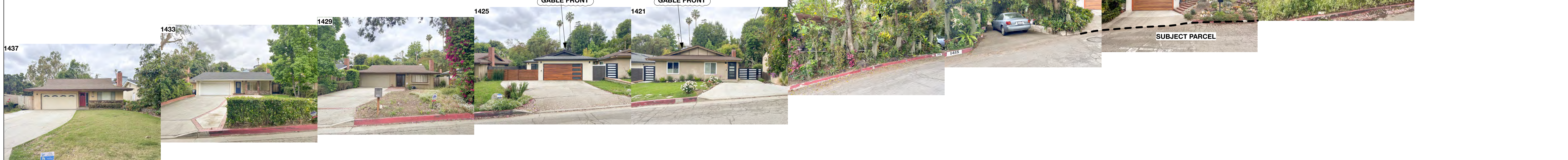
2-ALTA VISTA AVE EAST TO WEST, SOUTH SIDE OF STREET



3-INDIANA AVE NORTH TO SOUTH, EAST SIDE OF STREET



4-INDIANA AVE SOUTH TO NORTH, WEST SIDE OF STREET

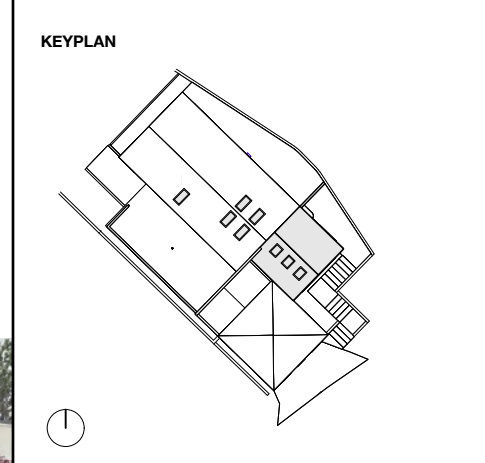


**VICINITY MAP:
SCALE 1"=50'0"**

DESIGN
WOLFRAM KNORINGER
1716 DELOZ AVE
LOS ANGELES CA 90027
323 829 7635

CLIENT
AYA & RYAN DEAM
1411 INDIANA AVE
SOUTH PASADENA CA 91030
310 923 8339

DEAM RESIDENCE
1411 INDIANA AVE
SOUTH PASADENA



REVISIONS

DESCRIPTION	DATE
PLANNING SUBMITTAL	3/23
PLANNING SUBMITTAL	11/23

PROJECT TITLE
1411 INDIANA

SHEET TITLE
Existing Street Photos

DATE
NOVEMBER 2023

SCALE
AS NOTED

SHEET NO
1.3
OF 16