



**CITY OF SOUTH PASADENA
CULTURAL HERITAGE COMMISSION**

**AGENDA
REGULAR MEETING
THURSDAY, October 17, 2024 AT 6:30 P.M.**

**AMEDEE O. "DICK" RICHARDS JR. COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

South Pasadena Cultural Heritage Commission Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Cultural Heritage Commission Meeting will be conducted in-person from the Amedee O. "Dick" Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/82268359053> **Meeting ID: 822 6835 9053**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link:
<https://us02web.zoom.us/j/82268359053>

CALL TO ORDER:	Chair	Conrado Lopez
ROLL CALL:	Chair	Conrado Lopez
	Vice-Chair	Kristin Morrish
	Commissioner	William Cross
	Commissioner	Jeremy Ding
	Commissioner	Scott Severson
COUNCIL LIAISON:	Mayor Pro Tem	Jack Donovan

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with Commission business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Commissioners of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT GUIDELINES (Public Comments are limited to 3 minutes)

The Cultural Heritage Commission welcomes public input. If you would like to comment on an agenda item, members of the public may participate by one of the following options:

Option 1:

Participate in-person at the Council Chambers, 1424 Mission Street, South Pasadena

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to PlanningComments@southpasadenaca.gov.

Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Cultural Heritage Commission meeting.

NOTE: Pursuant to State law, the Cultural Heritage Commission may not discuss or take action on issues not on the meeting agenda, except that members of the Cultural Heritage Commission or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT**1. Public Comment – General (Non-Agenda Items)****CONSENT CALENDAR ITEM****2. Minutes from the Regular Meeting of September 19, 2024****PUBLIC HEARING**

3. **1831 Laurel Street, Project No. COA24-0011** – A request for a Certificate of Appropriateness (COA) for a 963-square-foot first floor addition, 753 second floor addition, construction of a new 233 square-foot front porch and 530 square-foot rear porch at a single-family dwelling located at 1831 Laurel Street (APN: 5320-022-005). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

4. **2033 Alpha Street, Project No. COA24-0009** – A request for a Certificate of Appropriateness (COA) for an 18 square-foot single-story addition, 1,082 second-story addition, and the construction of new 198 square-foot rear patio at an existing single-family dwelling located at 2033 Alpha Street (APN: 5310-016-021). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

5. **2039 Stratford Avenue, Project No. COA24-0014** – A request for a Certificate of Appropriateness (COA) to convert 514 square feet of attic space into habitable space and add 36.90 square feet to the second floor. Additionally, the request is to legalize 217 square feet of unpermitted work on the first floor and to legalize 67 square feet on the second floor for a total of 836 square feet to be added to an existing 1,404 square-foot single-story, single-family dwelling at 2039 Stratford Avenue (APN: 5320-014-028). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

ADMINISTRATION

- 6. Comments from City Council Liaison
- 7. Comments from Commissioners
- 8. Comments from Subcommittees
- 9. Comments from Staff

ADJOURNMENT

10. Adjourn to the Regular Cultural Heritage Commission meeting scheduled for November 21, 2024 at 6:30 PM.

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Cultural Heritage Commission meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/cultural-heritage-commission/cultural-heritage-commission-agendas>

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

10/10/2024

Date

Robert (Dean) Flores, Senior Planner



**CITY OF SOUTH PASADENA
CULTURAL HERITAGE COMMISSION**

MINUTES
THURSDAY, SEPTEMBER 19, 2024, AT 6:30 P.M.

CALL TO ORDER:

The Regular Meeting of the South Pasadena Cultural Heritage Commission was called to order by Vice-Chair Kristin Morrish on Thursday, September 19, 2024, at 6:30 p.m. The meeting was conducted in person from the Council Chambers located at 1424 Mission Street, South Pasadena, California.

ROLL CALL

PRESENT

Vice-Chair	Kristin Morrish
Commissioner	William Cross
Commissioner	Jeremy Ding
Commissioner	Scott Severson

ABSENT

Chair	Conrado Lopez
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CITY STAFF PRESENT:

Dean Flores, Senior Planner; Michael Donovan, Associate Planner; Tatianna Marin, Acting Assistant Planner; Lillian Estrada, Administrative Secretary.

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with business.

There were no changes requested and the Agenda was approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by the Commission of site visits and ex-parte contact for agenda items.

Commissioner Cross stated he drove by each site.

PUBLIC COMMENT

1. Public Comment – General (Non-Agenda Items)

None.

CONSENT CALENDAR ITEM

2. Minutes from the Regular Meeting of July 18, 2024

Commission Motion and Action:

MOVED BY COMMISSIONER DING AND SECONDED BY COMMISSIONER SEVERSON to approve the minutes as submitted.

AYES: Morrish, Cross, Ding, Severson

NOES:

ABSENT: Lopez

ABSTAINED:

Motion Carried: 4-0

PUBLIC HEARING

- 3. 1725 Bank Street, Project No. COA24-0010** – A request for a Certificate of Appropriateness (COA) for a 620 square-foot first floor addition and a 738 square-foot second story addition to an existing 2,430 sq. ft. two-story single-family dwelling at 1725 Bank Street (APN: 5320-005-018). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to conditions of approval.

Staff Presentation:

Acting Assistant Planner Tatianna Marin presented the staff report.

Questions for Staff:

None.

Applicant Presentation:

The applicant did not have a presentation but was available to answer questions.

Public Comment:

None.

Commissioner Discussion:

Commissioner Cross asked the applicant to summarize the changes that had been made since last meeting for the record.

Architect Miguel Iriarte stated that he further differentiated the addition from the old house by introducing a sill at the water table, tighter lap siding, and adding custom brackets.

Commissioner Severson stated he thought the detailing was very nice but that he was still not comfortable with the bump-out on the front of the facade. He added that he did not want to hold up the project if the others on the Commission disagreed with him.

Commission Cross said the materials were more important to him.

Commissioner Ding was fine with moving forward.

Commission Motion and Action:

MOVED BY COMMISSIONER DING, SECONDED BY COMMISSIONER CROSS, to find the project exempt from CEQA with mandatory findings and specific findings two, five, and eight. Approve the Certificate of Appropriateness, subject to conditions of approval.

AYES: Morrish, Cross, Ding, Severson

NOES:

ABSENT: Lopez

ABSTAINED:

Motion Carried 4-0

4. **1831 Laurel Street, Project No. COA24-0011** – A request for a Certificate of Appropriateness (COA) for a 963-square-foot first floor addition, 753 second floor addition, construction of a new 233 square-foot front porch and 530 square-foot rear porch at a single-family dwelling located at 1831 Laurel Street (APN: 5320-022-005). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation). Recommendation: Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

Vice-Chair Morrish recused herself from this item since she lives within 1000 feet of the project.

Staff Presentation:

Senior Planner Dean Flores stated the applicant requested to continue the item to the October Cultural Heritage Commission Meeting and therefore staff is recommending the item be continued to the next CHC Meeting.

Commission Motion and Action

MOVED BY COMMISSIONER DING, SECONDED BY COMMISSIONER CROSS, to continue the project to the October 17, 2024 Cultural Heritage Commission meeting.

AYES: Cross, Ding, Severson

NOES:

ABSENT: Lopez

ABSTAINED: Morrish

Motion Carried: 3-0

Vice-Chair Morrish rejoined the meeting.

5. **203 Oaklawn Avenue, Project No. MIL24-0001** – The Cultural Heritage Commission (CHC) will review and make a recommendation to the City Council for a proposed Mills Act Contract application (Project No. MIL24-0001) for a residence at 203 Oaklawn Avenue (APN: 5317-014-015). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for an exemption under the CEQA Guidelines Section 15308, Class 8 (Actions by regulatory Agencies for Protection of the Environment).

Recommendation:

Finding the project exempt from CEQA pursuant to Section 15308. Staff and the Subcommittee of the Cultural Heritage Commission recommend that the Commission make a recommendation to the City Council to enter into a Mills Act contract for 203 Oaklawn Avenue.

Staff Presentation:

Associate Planner Michael Donovan presented the staff report.

Questions for Staff:

Vice-Chair Morrish asked for clarification on the standards for determining if the project meets the Mills Act requirements and a typo was noted—it was staff's opinion that items 12 & 16 did not meet the criteria (not 12 & 20).

Applicant Presentation:

None.

Questions for Applicant:

None.

Public Comments

None.

Commissioner Discussion

Commissioner Cross stated that if there ever was a candidate for the Mills Act, this was it.

Commissioner Severson added that the property was beautiful, had a fascinating history, and deserved a Mills Act contract.

Commission Motion and Action

MOVED BY COMMISSIONER CROSS, SECONDED BY COMMISSIONER SEVERSON, to make a recommendation to the City Council to enter into a Mills Act contract for 203 Oaklawn Avenue.

AYES: Morrish, Cross, Ding, Severson

NOES:

ABSENT: Lopez

ABSTAINED:

Motion Carried: 4-0

6. **1209 Indiana Avenue, Project No. MIL24-0002** – The Cultural Heritage Commission (CHC) will review and make a recommendation to the City Council for a proposed Mills Act Contract application (Project No. MIL24-0002) for a residence at 1209 Indiana Avenue (APN: 5314-010-061) that is a Designated Historic Landmark (#60). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15308, Class 8 (Actions by Regulatory Agencies for the Protection of the Environment).

Recommendation:

Finding the project exempt from CEQA pursuant to Section 15308. Staff and the Subcommittee of the Cultural Heritage Commission recommend that the Commission make a recommendation to the City Council to enter into a Mills Act contract for 1209 Indiana Avenue.

Staff Presentation:

Senior Planner Flores presented the staff report.

Questions for Staff:

None.

Applicant Presentation:

None.

Questions for Applicant:

None.

Public Comments:

None.

Commissioner Discussion:

Commissioner Severson commented that it was another lovely home with gorgeous detailing.

Commissioner Ding concurred, saying it was a cool house.

Commission Motion and Action

MOVED BY COMMISSIONER DING, SECONDED BY COMMISSIONER CROSS, to make a recommendation to the City Council to enter into a Mills Act contract for 1209 Indiana Avenue.

AYES: Morrish, Cross, Ding, Severson

NOES:

ABSENT: Lopez

ABSTAINED:

Motion Carried: 4-0

ADMINISTRATION

7. Comments from City Council Liaison

None.

8. Comments from Commissioners

Vice-Chair Morrish suggested that since the Commission has only five Commissioners, the City staff may want to consider adding alternates. She added that her concern was that projects could be delayed if one commissioner recused themselves and one was absent.

9. Comments from Subcommittees

Commissioner Ding stated he was on two subcommittees: 1716 Wayne Avenue, which had been quiet, and 227 Oaklawn Avenue which is a Mills Act project and would be pushed until next year.

10. Comments from Staff

Senior Planner Flores introduced new associate planner Michael Donovan who hails from the City of Los Angeles.

ADJOURNMENT

11. Adjourn to the regular Cultural Heritage Commission meeting scheduled for October 17, 2024, at 6:30 p.m.

There being no further matters, Chair Lopez adjourned the Cultural Heritage Commission meeting at 7:12 p.m.

APPROVED,

Conrado Lopez, Chair
Cultural Heritage Commission

Date



Cultural Heritage Commission Agenda Report

ITEM NO. 3

DATE: October 17, 2024

FROM: Alison Becker, Acting Community Development Director
Elizabeth Bar-EI, Acting Deputy Community Development Director

PREPARED BY: Robert (Dean) Flores, Senior Planner

SUBJECT: **Project No. COA24-0011 – A request for a Certificate of Appropriateness (COA) for a 963-square-foot single-story addition, 753 second-story addition, construction of new 153 square-foot front porch, a 530 square-foot rear porch, and a new detached 2-car garage at a single-family dwelling located at 1831 Laurel Street (APN: 5320-022-005). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

BACKGROUND

Cultural Heritage Commission Meeting on August 15, 2024

The project was presented to the Cultural Heritage Commission as a two-story addition to an existing two-story, single-family residence. A copy of the staff report is provided as **Attachment 5**. At the meeting, the Cultural Heritage Commission determined that the proposed project was not in compliance with the Secretary of Interior (SOI) Standards due to the following:

1. Changes to the front façade including the scale of the proposed front porch,
2. Location of the proposed detached garage.

The Cultural Heritage Commission recommended the applicant redesign the front (north) elevation of the proposed project to meet the Secretary of Interior Standards and return to the Cultural Heritage Commission at the next scheduled meeting on September 19, 2024. The applicant then requested an additional continuance to the October 17, 2024 scheduled meeting.

Changes to Architectural Design

Taking the comments into consideration, the applicant made modifications to the architectural plans. **Figure 1** below depicts the existing residence; **Figures 2** and **3** are a comparison of the proposed project as presented at the August 15, 2024 meeting and the newly revised plans. As shown in the images below, and described further in the updated Project Narrative (**Attachment 3**), the front elevation features significant changes including revising the proposed front porch by reducing the size of the porch roof compared to the original proposal. Additionally, the trellis on either side of the porch has been removed as well as the planters that were originally proposed. Finally, the proposed detached two-car garage is setback ten feet from the front of the residence whereas the previous iteration showed the garage in line with the residence (see **Figure 4**).

Figure 1 – Existing North (Front Elevation)

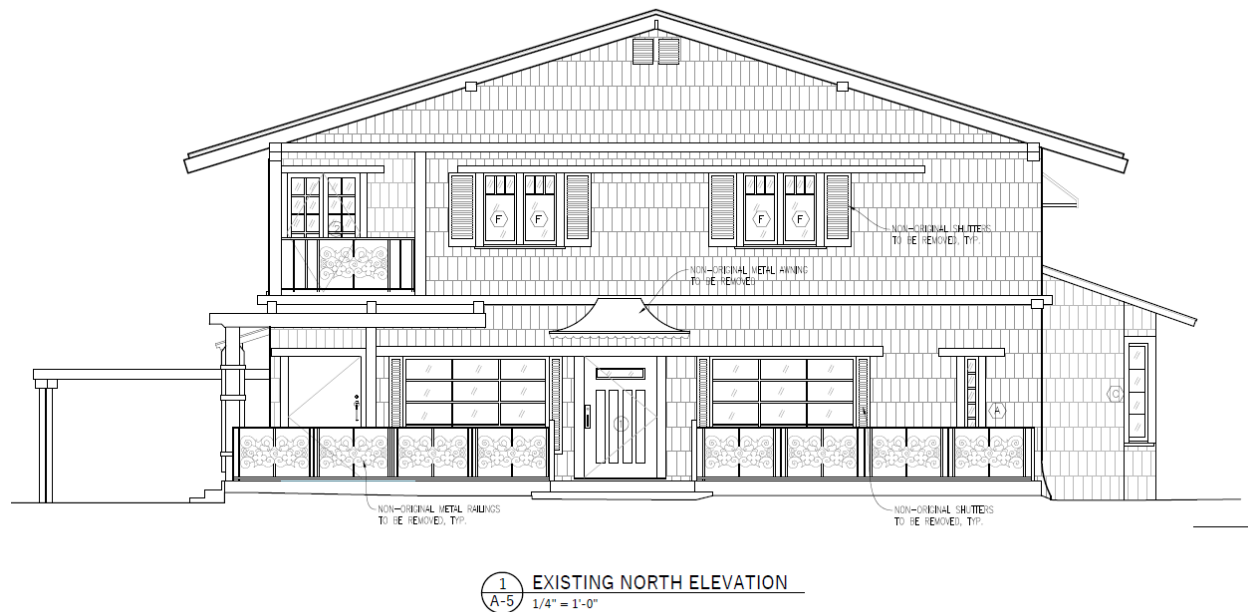


Figure 2 – Proposed Front (North) Elevation – August 15, 2024 CHC Meeting

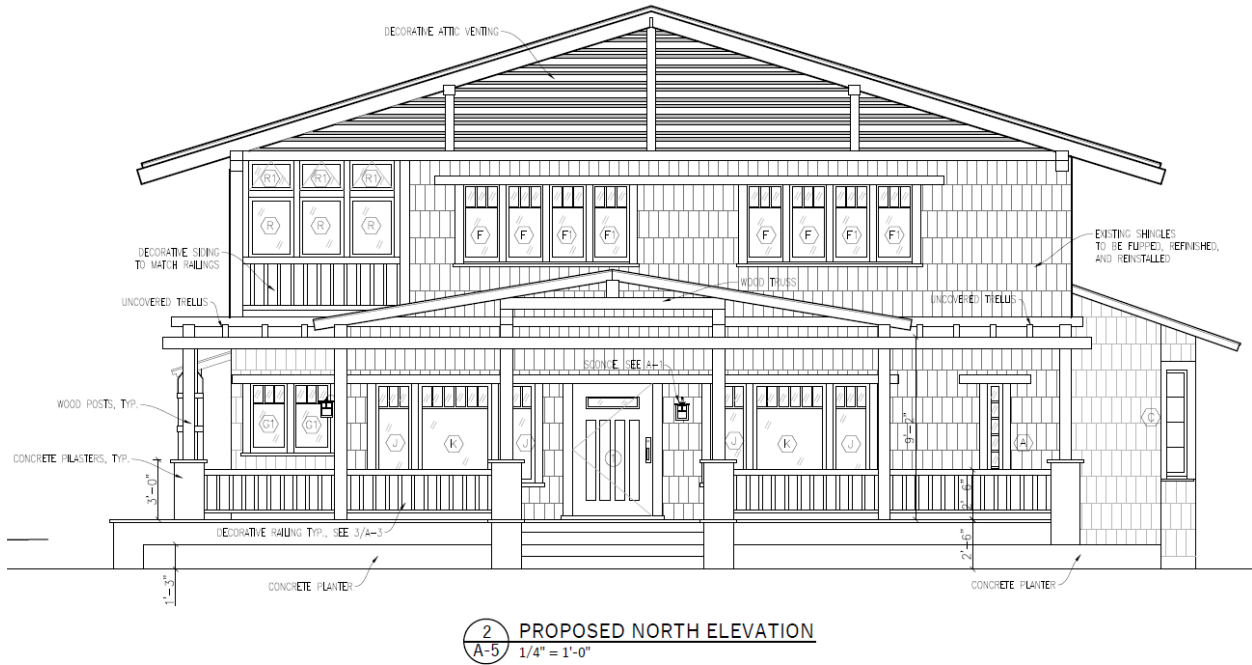


Figure 3 – Proposed Front (North) Elevation – Revised

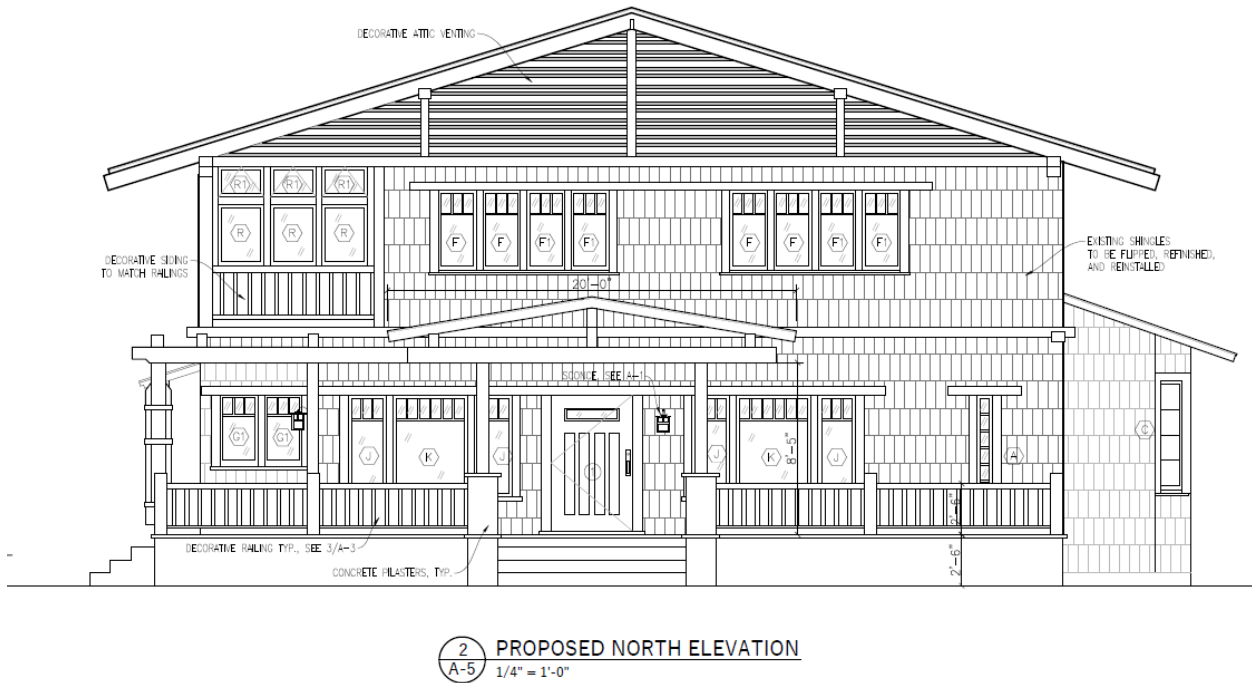
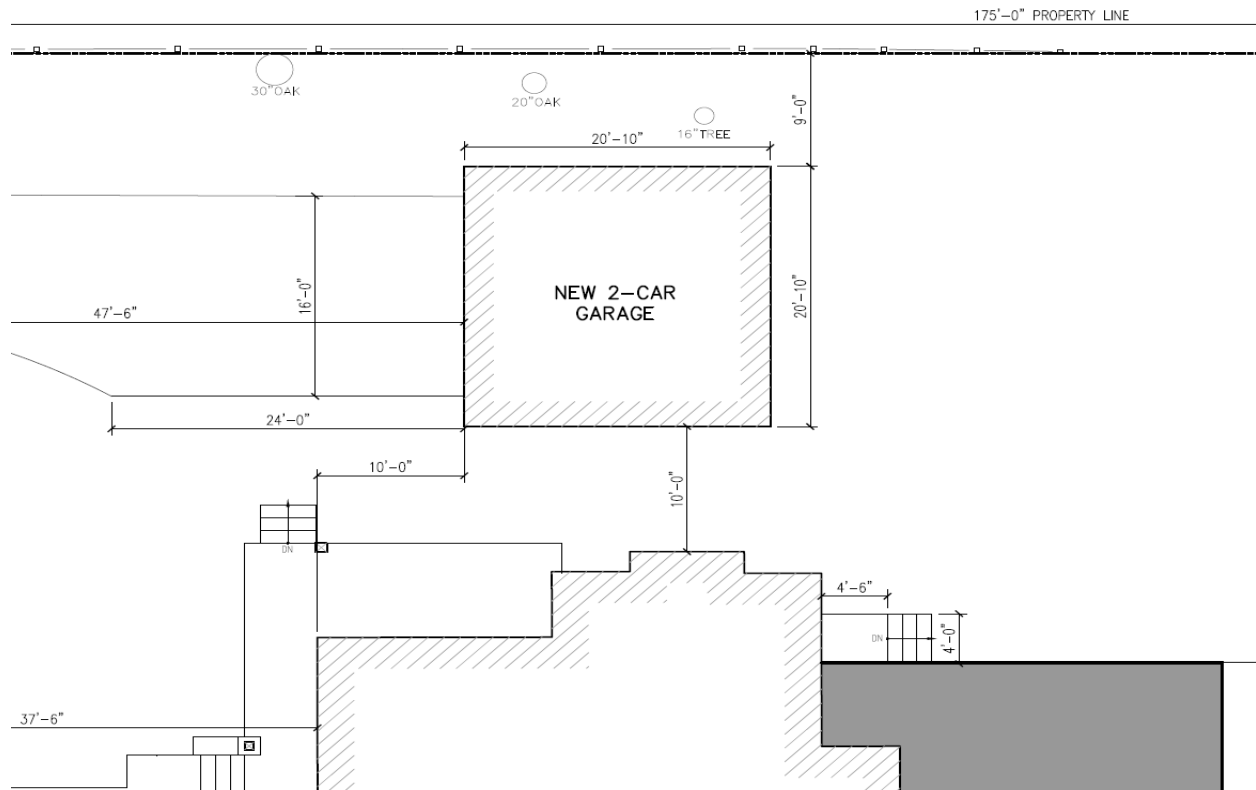


Figure 4 – Proposed Garage Location



PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct a 963-square-foot single-story addition, 753 second-story addition, construction of new 153 square-foot front porch and 530 square-foot rear porch to an existing two-story single-family dwelling. The proposed project also includes the construction of a new detached two-car garage. When complete, the property will include a total of 4,905 square feet of floor area. The additions will allow for a new office, two (2) new bedrooms, and two-and-a-half (2.5) bathrooms, for a total of six (6) bedrooms and six-and-a-half (6.5) baths. The updated architectural plans and proposed materials are included as **Attachment 2**.

PROJECT ANALYSIS

General Plan Consistency

The General Plan (2040) land use designation of the project is Very Low-Density Neighborhood, which allows for single-family dwellings at up to 3 units per acre. The proposed project, therefore, complies with the following General Plan goals, policies, and/or actions:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

Zoning Code Compliance

The subject property is zoned RE, which is intended for the development of detached single-family homes and accessory structures. The existing land use and density of the project site complies with the South Pasadena Municipal Code (SPMC) Division 36.220. The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s design standards and guidelines. Residential Development Standards from SPMC Section 36.220.040 was applied to the proposed project. **Table 1** below lists the project’s conformance with applicable development standards.

Table 1: Residential Development Standards Compliance

Standard	Requirement	Existing	Proposed
Lot Coverage	40% (7,004 SF max. allowed)	9.6% 1,681 SF	21.4% 3,761 SF
Floor Area Ratio (FAR)	35% (6,129 SF max. allowed)	18.2% 3,189 SF	28% 4,905 SF
Building Height	35 ft. max.	27 ft.	28 ft., 4 in.
Off-Street Parking	2-Car (Covered)	No garage	2-Car garage
Front Setback	25% of lot depth, 25 ft. minimum	37 ft., 6 in.	Unchanged
Side Setback	10% of lot width (10 ft. required)	West: 10 ft. East: 39 ft. 11 in.	Unchanged
Rear Setback	25 ft. minimum	95 ft. 2 in.	62 ft.

FINDINGS

Required Certificate of Appropriateness (COA) Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the South Pasadena Municipal Code.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The project is consistent with the goals and policies of the General Plan for preservation, rehabilitation, and use of historic resources in the City. The existing home, built in 1910, is listed on the City of South Pasadena's Historic Inventory List as a potential contributor to the eligible Oneonta Park District. The proposed project has been designed to retain and preserve the character-defining features of the house. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

2. The project is consistent with the goals and policies of Article IVH – Cultural Heritage Ordinance – of Chapter 2 of the South Pasadena Municipal Code.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the historic home consistent in a manner that is generally consistent with the *Secretary of Interior's Standards*.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.

The project, including the residence’s addition, is consistent with the *City of South Pasadena’s Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. “Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and scale in relation to the existing structure. Additions should have limited visibility from the street.” (p. 36)
2. “New additions should be compatible in mass and scale with the neighborhood, and should be visually subordinate to the original building.” (p. 37)
3. “Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent.” (p. 39)
4. “Façade treatments for new additions should be consistent with the existing building and its architectural style. Details and elements not found on the existing structure or inconsistent with the style should be avoided.” (p. 46)

The project is consistent with the standards in the Secretary of Interior’s Standards of Rehabilitation, as shown in **Table 3**.

Table 3: Consistency with Secretary of Interior Standards

Standard	Recommendation
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	Consistent.
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	Consistent.
Standard 4: Changes to a property that have	Consistent.

Standard	Recommendation
acquired historic significance will be retained and preserved.	
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	Consistent.
Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	Not applicable.
Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	Not applicable.
Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	Not applicable.
Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	Consistent.
Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	Consistent.

Project Specific Findings for a Certificate of Appropriateness

Finding 2. The project is appropriate to the size, massing, and design context of the historic neighborhood;

The project is appropriate to the size, massing and design context of the historic residence and the surrounding district, which is comprised of a mixture of one

and two-story residential buildings. The first- and second-story additions are located to the middle and rear of the structure and incorporates compatible building materials, finishes, and detailing as the historic property. Therefore, the proposed addition would be harmonious and compatible with surrounding homes and the neighborhood.

Finding 3. In the case of an addition or enlargement, the project provides clear distinction between the new and historic elements of the cultural resource or improvement;

The new addition is located at the middle and rear of the home. The new addition on the first floor is setback an additional six feet on the easterly side of the home from the existing home's side yard setback. The additions to the second story are stepped back on both sides from the first floor. To provide clear distinction between the new and historic elements, the proposal utilizes a smaller-sized exterior shingle siding than the existing siding. The proposal also includes clad casement and double hung windows instead of the existing fixed wood windows.

Finding 5. The project adds substantial new living space while preserving the single story [architectural style or building type] character of the streetscape;

The project will add substantial new living space while preserving the character of the eligible historic district. The proposed additions will provide an additional bedroom, bathrooms, and an office space and is designed to limit the overall scale and massing of the existing structure. Other than the replacement of the existing front porch and other minor treatments, the overall front façade will preserve the existing character of the streetscape.

ENVIRONMENTAL ANALYSIS

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

STAFF RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

ALTERNATIVES TO CONSIDER

The Cultural Heritage Commission has the following options available;

1. Approve the project with the recommendation of a Chair Review for minor modifications to the proposal; or
2. Approve the project as is or with modified condition(s) added or removed and provide findings; or
3. Continue the project, providing the applicant with clear recommendations to revise the proposal; or
4. Deny the project.

PUBLIC NOTICING

This item was originally noticed for the August 15, 2024 meeting on August 2, 2024 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on August 1, 2024. At the August 15, 2024, the public was made aware that the item was to be continued and thus does not require additional notification. Additionally, the public was made aware that the project is be considered a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

NEXT STEPS

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

ATTACHMENTS

1. Conditions of Approval
2. Architectural Plans
3. Project Narrative
4. Window & Door Brochures
5. Neighborhood Letters of Support
6. August 15, 2024 CHC Staff Report

ATTACHMENT 1

Conditions of Approval

CONDITIONS OF APPROVAL
Certificate of Appropriateness
Project No. COA24-0011
1831 Laurel Street (APN: 5320-022-005)

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. This approval and all rights hereunder shall terminate within 18 months of the effective date of their approval by the Cultural Heritage Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P2. Approval by the Cultural Heritage Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission/Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

BUILDING DIVISION

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior permit issuance
- B3. The proposed addition shall be designed and constructed to comply with current California Residential Code with Los Angeles County Amendments. The provisions of the California Historical Building Code may be used in specific design elements for the purposes of preserving the integrity of the qualified historical buildings or properties.
- B4. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B8. Each sheet of the plans shall be stamped and signed by a California licensed architect or engineer per R301.1.3.2 as adopted and amended by the City, for all dwellings of wood frame construction more than one story in height or with a basement located in Seismic Design Category D0, D1, or D2 or E.
- B9. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B10. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B11. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by other soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B12. Preliminary MS4 Project Application (MS4-1 FORM) completed by Engineer of Record shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans. The form can be found at the following link

<https://www.dropbox.com/scl/fi/xliqonam5j4jro5oklnw4/MS4-Permit-LID-Determination-Form.pdf?rlkey=zr7tu632u2staheexj6vqvxxvg&dl=0>

- B13. Foundation inspection will not be made until setback of the addition has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B14. The basement shall have an emergency escape and rescue opening with an area well per Section R310.2, R310.4, and R310.6 of the Residential Code.
- B15. The basement retaining walls at rear of the addition shall be designed to resist the soil surcharge pressure from the existing swinging pool.
- B16. Project shall comply with the CalGreen Residential mandatory requirements.
- B17. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B18. Separate permit is required for Fire Sprinklers.

FIRE DEPARTMENT:

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); Current California Fire Code (CFC); Current California Building Code and NFPA standards.
- FD2. Fire Sprinklers are required. Submit plans to City for approval.
- FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD4. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD5. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD6. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD7. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD8. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD9. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.

- FD10. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD11. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
- a. An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
 - b. Any addition to an existing building which has fire sprinklers installed;
 - c. Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
 - d. Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
 - e. An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.
- FD12. New and existing building shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be view from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
- FD13. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD14. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- a. On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - b. In each room used for sleeping purposes.
 - i. Exception: Single- or multiple-station smoke alarms in Group I-1 shall not be required where smoke detectors are provided in the sleeping rooms as part of an automatic smoke detection system (CFC 907.2.11.2).
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and

uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- FD15. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- FD16. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages.
- FD17. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD18. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).
- FD19. Exception. Interconnection is not required in existing dwelling units or within sleeping units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.
- FD20. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms.
- FD21. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD22. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- a. At each stairway on all floor levels where combustible materials have accumulated.
 - b. In every storage and construction shed.
 - c. Where special hazards exist included, but not limited to, storage and use of combustible and flammable liquids.
- FD23. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.
- FD24. For any questions related with water meter or water flow test, please contact Public Works at (626) 403 7240.

FD25. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

PUBLIC WORKS DEPARTMENT

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting for the project to be redesigned/resubmitted.
- PW2. The applicant shall pay all applicable City fees including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule, which can be found on the City's website. This includes all costs incurred by the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. Laurel Street shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the project approval and immediately upon completion of the project.
- PW4. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW5. The applicant shall replace all broken, damaged, or out-of-grade sidewalk and driveway approaches, and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- 1) The applicant shall install new 4" thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
 - 2) The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department.
- PW6. The applicant shall contact the City of South Pasadena Water Operations Manager, Victor Magana, VMagana@SouthPasadenaCA.gov for the fire flow test. The applicant shall submit water demand calculations to the City for potable water and fire (if applicable). The calculations will be used to verify the adequacy of the existing water meter connection for the proposed structure and Fire Department approved fire sprinkler system (if applicable). The applicant shall coordinate with the Water Operations Manager the size, location and the associated fee for the installation of a new water meter connection.
- PW7. Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.

- PW8. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW9. The applicant shall include the following information on the plans:
- 1) Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
 - 2) The location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
 - 3) Show the location and area of trench sections for any proposed sewer and water line connections within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
- PW10. The applicant shall add the following notes on the plans:
- 1) The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
 - 2) Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and resident at least 48 hours in advance of the street closure.
 - 3) No overnight storage of materials or equipment within the public right-of-way shall be permitted.
 - 4) Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
 - 5) The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
 - 6) The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

ATTACHMENT 2

Architectural Plans

SCOPE OF WORK

2-STORY ADDITION TO EXISTING
2-STORY HOME ADDING 1,716 SQ.
FT. AND COVERED FRONT AND
BACK PORCHES.

PROPERTY OWNERS:

MARK AND CHRISTINA GHALY
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

SURVEY:

RM LAND SURVEYING
P.O. BOX 1382
DUARTE, CA 91009
(626) 256-9047
rmlandsurvey@msn.com

SHEET INDEX:

- A-1 COVER SHEET, SHEET INDEX, STATISTICS/INFO, CALCULATIONS, VICINITY MAP
- A-1A EXISTING SITE PHOTOS
- A-1B NEIGHBORHOOD CONTEXT PHOTOS
- A-1C NEIGHBORHOOD CONTEXT PHOTOS (CONTINUED)
- A-1D PROPOSED RENDERINGS
- C-1 SURVEY
- A-2 SITE PLAN
- A-3 1ST FLOOR FLOORPLANS
- A-4 2ND FLOOR FLOORPLANS
- A-5 NORTH & SOUTH ELEVATIONS
- A-6 EAST ELEVATION
- A-7 WEST ELEVATION
- A-8 ROOFPLAN
- A-9 BASEMENT PLAN, GARAGE PLANS/ELEVATIONS, AND DEMO CALCULATION

INFORMATION:

LOT SIZE: 17,510 SQ. FT.
PARCEL #: 5320-022-005
LEGAL DESCRIPTION: ONEONTA PARK, LOT/SEC 5, BLK/DIV/TWN H
ZONE: RESIDENTIAL ESTATE - RE
YEAR CONSTRUCTED: 1910
HISTORIC DISTRICT: ONEONTA PARK (ELIGIBLE)
HISTORIC DESIGNATION: 5D1
OCCUPANCY: R3 - SINGLE FAMILY HOME
MAX HEIGHT: 28'-4"
FIRE SPRINKLERS: (E)=NONE, (N)=YES
TYPE OF CONSTRUCTION: VB
BUILDING CODE: SOUTH PASADENA MUNICIPAL CODE; 2022 CALIFORNIA
BUILDING, RESIDENTIAL, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY AND
GREEN BUILDING STANDARDS CODES W/ LACO AMENDMENTS AS APPLICABLE

SQ. FT. CALCULATIONS:

EXISTING:
LOT SIZE: 17,510
EXISTING HOME TOTAL: 3,189
1ST FLOOR: 1,681
2ND FLOOR: 1,508
CALIFORNIA BASEMENT: 115

PROPOSED:
TOTAL ADDITION AREA: 1,716
1ST FLOOR: 963
2ND FLOOR: 753
2-CAR GARAGE: 434
BASEMENT: 872
COVERED FRONT PORCH: 153
COVERED BACK PORCH: 530

FLOOR AREA RATIO (F.A.R.):

35% OF LOT AREA ALLOWED = 17,510 X 0.35 = 6,129 SQ. FT.

EXISTING: 3,189 = 18.2%
PROPOSED: 3,189 + 1,716 = 4,905 = 28%

LOT COVERAGE:

40% OF LOT AREA ALLOWED = 17,510 X 0.40 = 7,004 SQ. FT.

EXISTING = 1,681 = 9.6%
PROPOSED = 1,681 + 963 + 434 + 153 + 530 = 3,761 = 21.48%

SETBACK REQUIREMENTS:

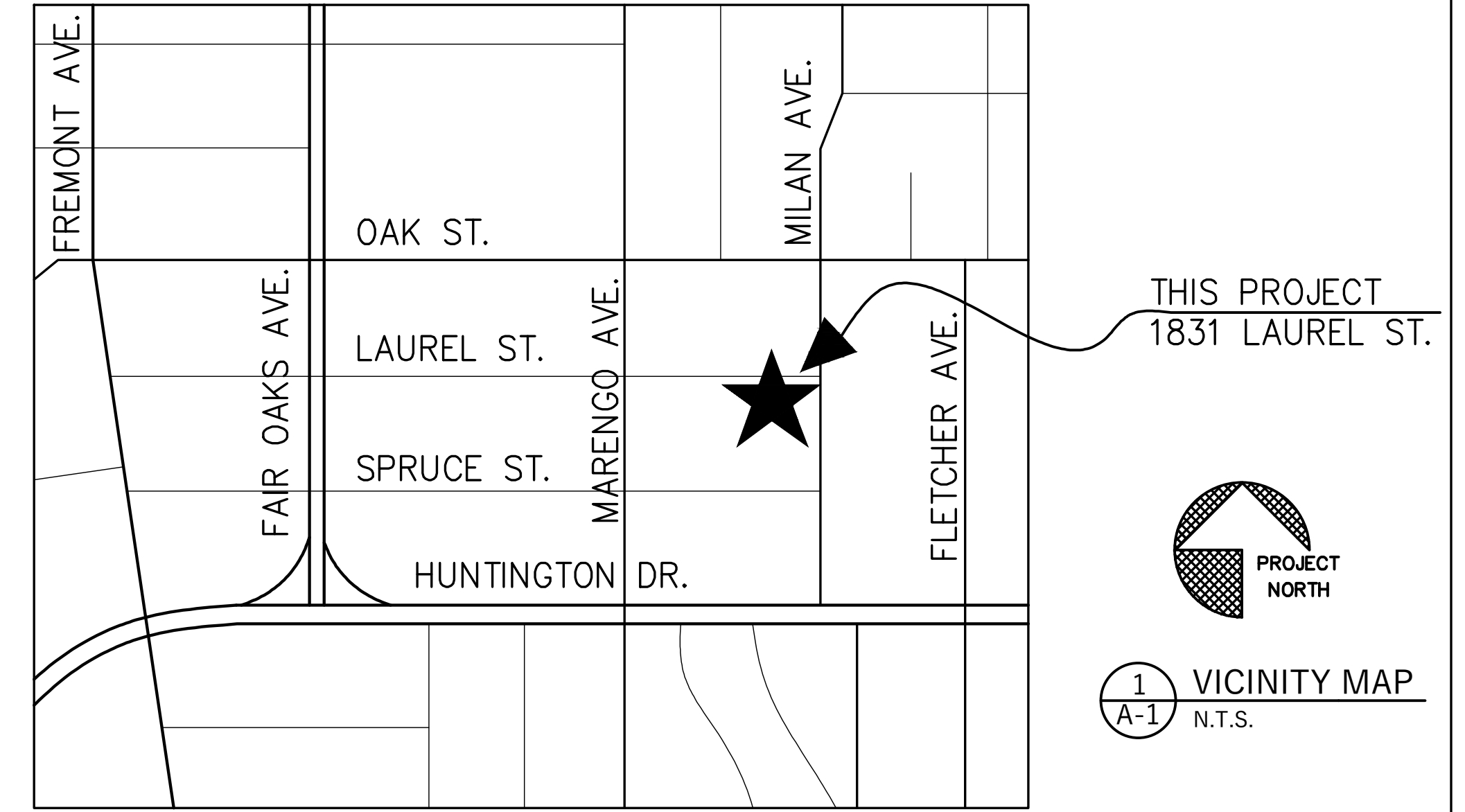
FRONT: 32'-6" REQUIRED
37'-6" PROVIDED
(SEE AVERAGE CALCULATION, SHEET A-2)
SIDES: 10'-0" REQUIRED
10'-0" PROVIDED ON WEST,
39'-11" PROVIDED ON EAST
(10% OF LOT WIDTH)
REAR: 25'-0" REQUIRED
62'-0" PROVIDED

NOTES:

PROPOSED GARAGE IS LESS THAN 500 SQ. FT. AND IS NOT
COUNTED IN THE F.A.R. CALCULATIONS PER SPMC 36.350.170(C)(2)



NOTE: RENDERINGS ARE FOR VISUAL REFERENCE ONLY, REFER TO PLANS FOR SPECIFIC INFORMATION INCLUDING
COLORS, MATERIALS, DIMENSIONS, LANDSCAPING, OR ANYTHING ELSE SHOWN IN THESE IMAGES.



**1831 LAUREL ST.
MATERIAL BOARD**

ROOFING



GAF "TIMBERLINE" HDZ
ASPHALT SHINGLES

EXTERIOR LIGHTING



ARROYO CRAFTSMAN "MISSION" SCONCE
WITH T-BAR OVERLAY, MEDIUM SIZE,
BRONZE FINISH, OFF-WHITE GLAZING

CASEMENT WINDOW



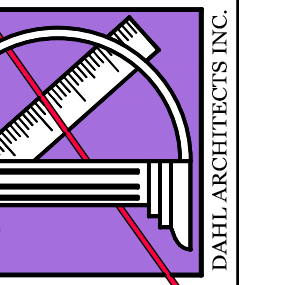
KITCHEN "TIMBER CURTAIN WALL"



ALL NEW EXTERIOR DOORS AND WINDOWS (INCLUDING
KITCHEN AREA "TIMBER CURTAIN WALL") TO BE
SIERRA PACIFIC ALUMINUM CLAD (WOOD INTERIOR).
SEE ELEVATIONS AND RENDERINGS FOR DIVIDED LITE
STYLE AND TYPE (CASEMENT, DOUBLE HUNG, ETC.)

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-9011 dahl@dahlarchitects.com

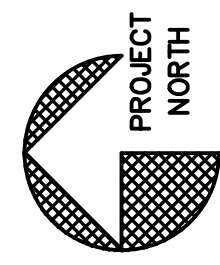


GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

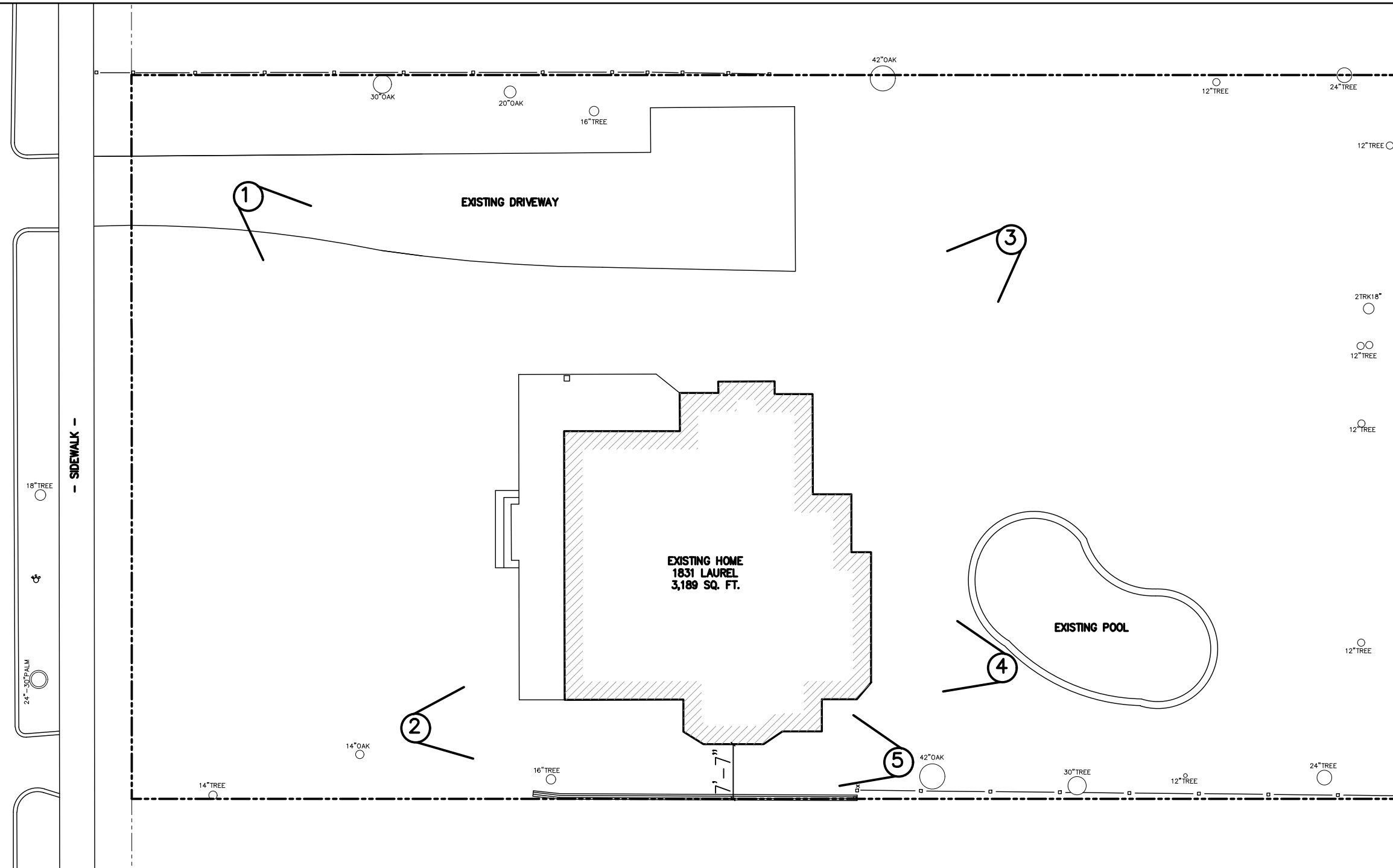
COVER SHEET, SHEET INDEX,
STATISTICS/INFO CALCULATIONS,
VICINITY MAP, SITE PLAN

Date 8/28/2024
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Drawn APD
Job
Sheet

A-1



LAUREL STREET



1



2



3



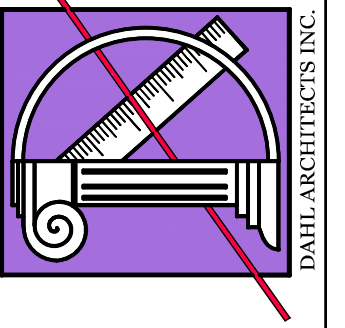
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5

REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 admin@dahlarchitects.com

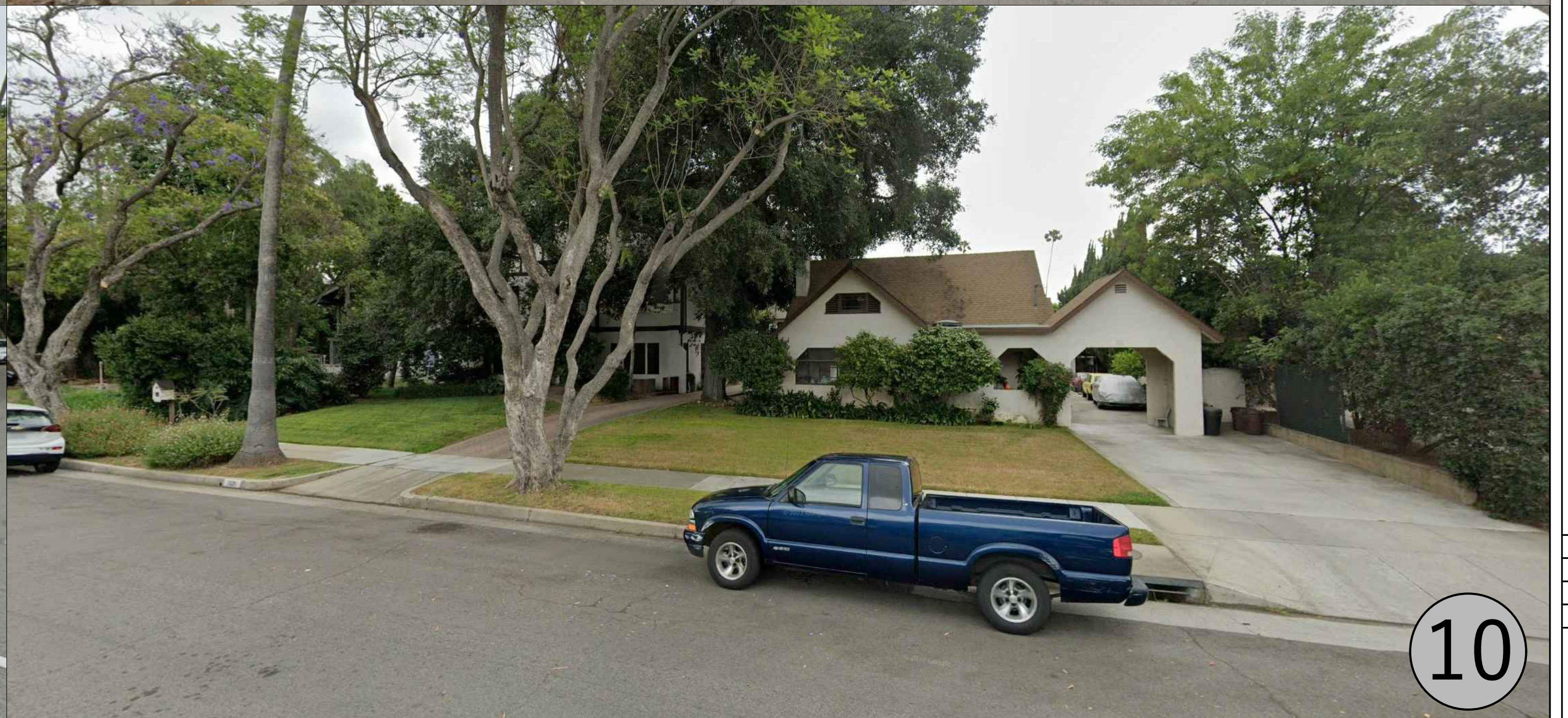
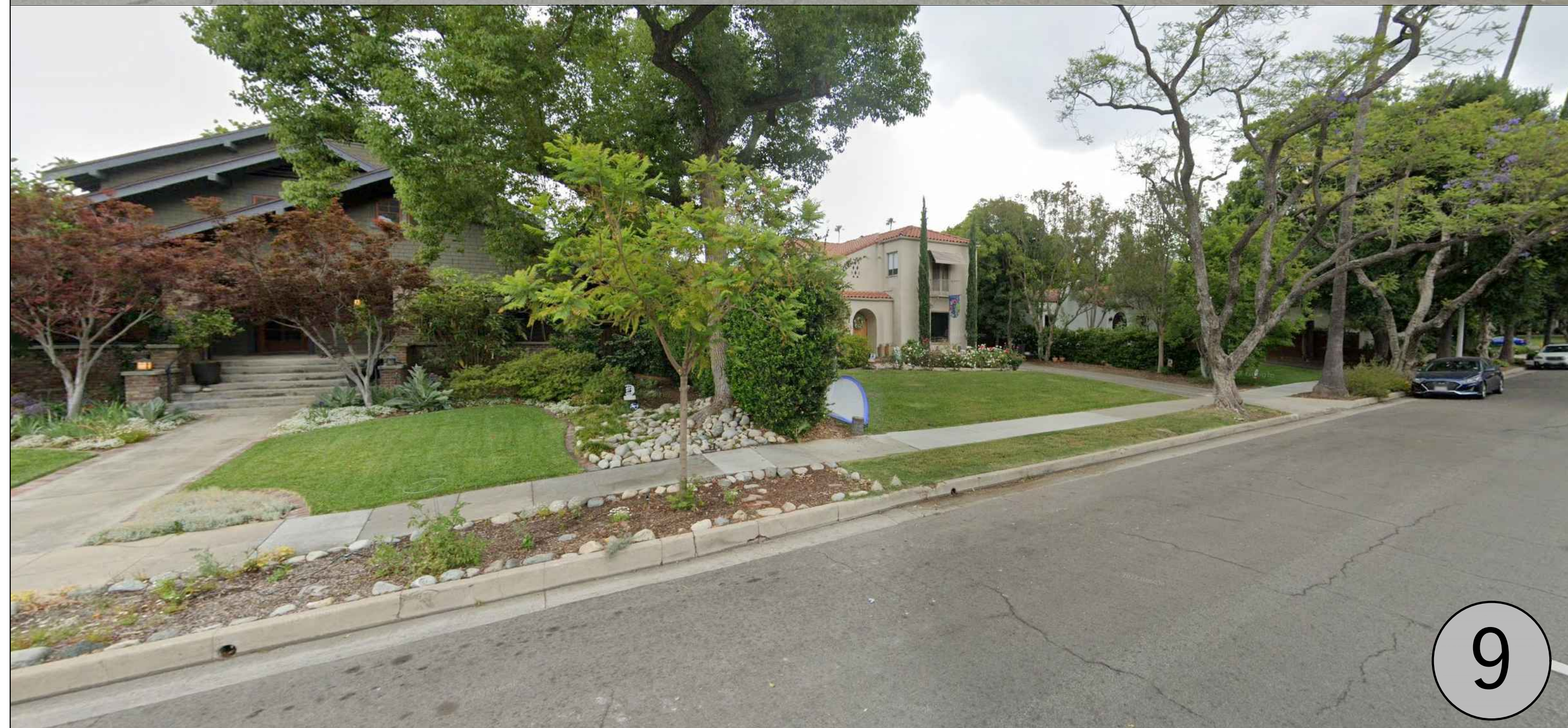
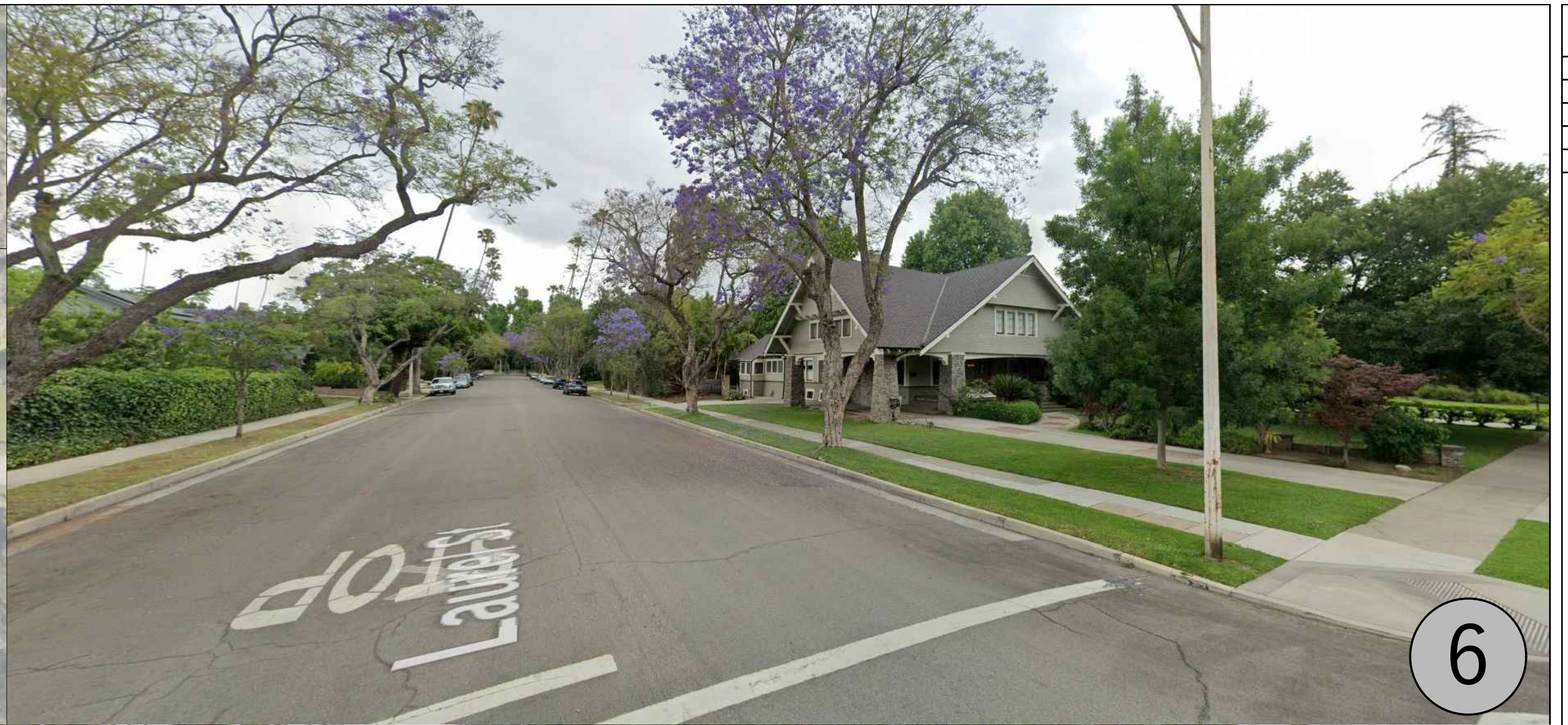


GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

EXISTING SITE PHOTOS

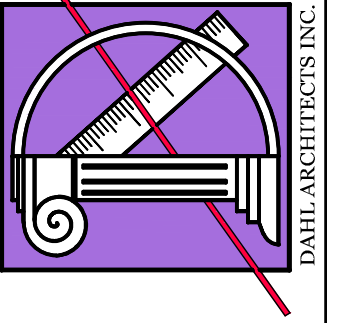
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Sheet	

A-1A



REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 admin@dahlarchitects.com

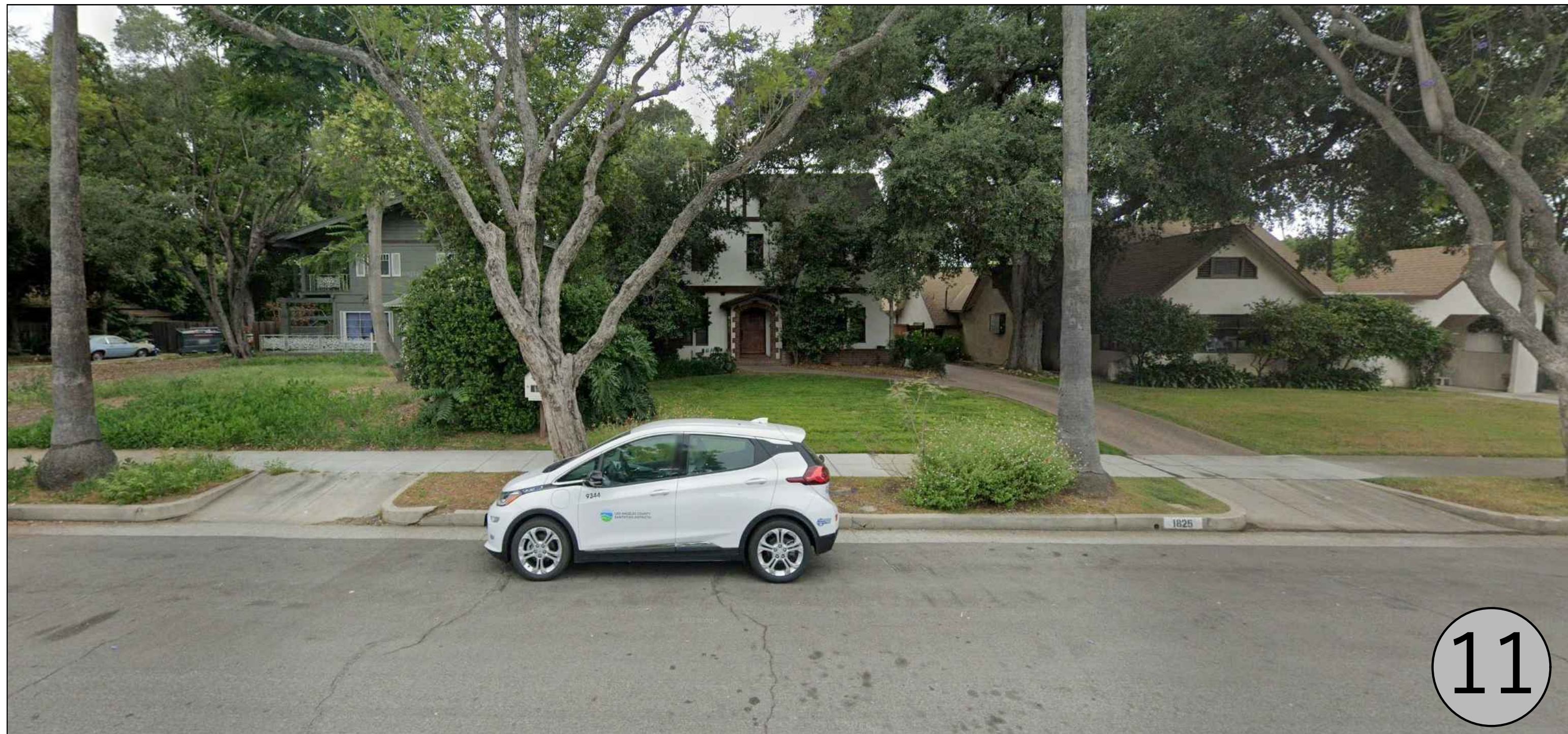


GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

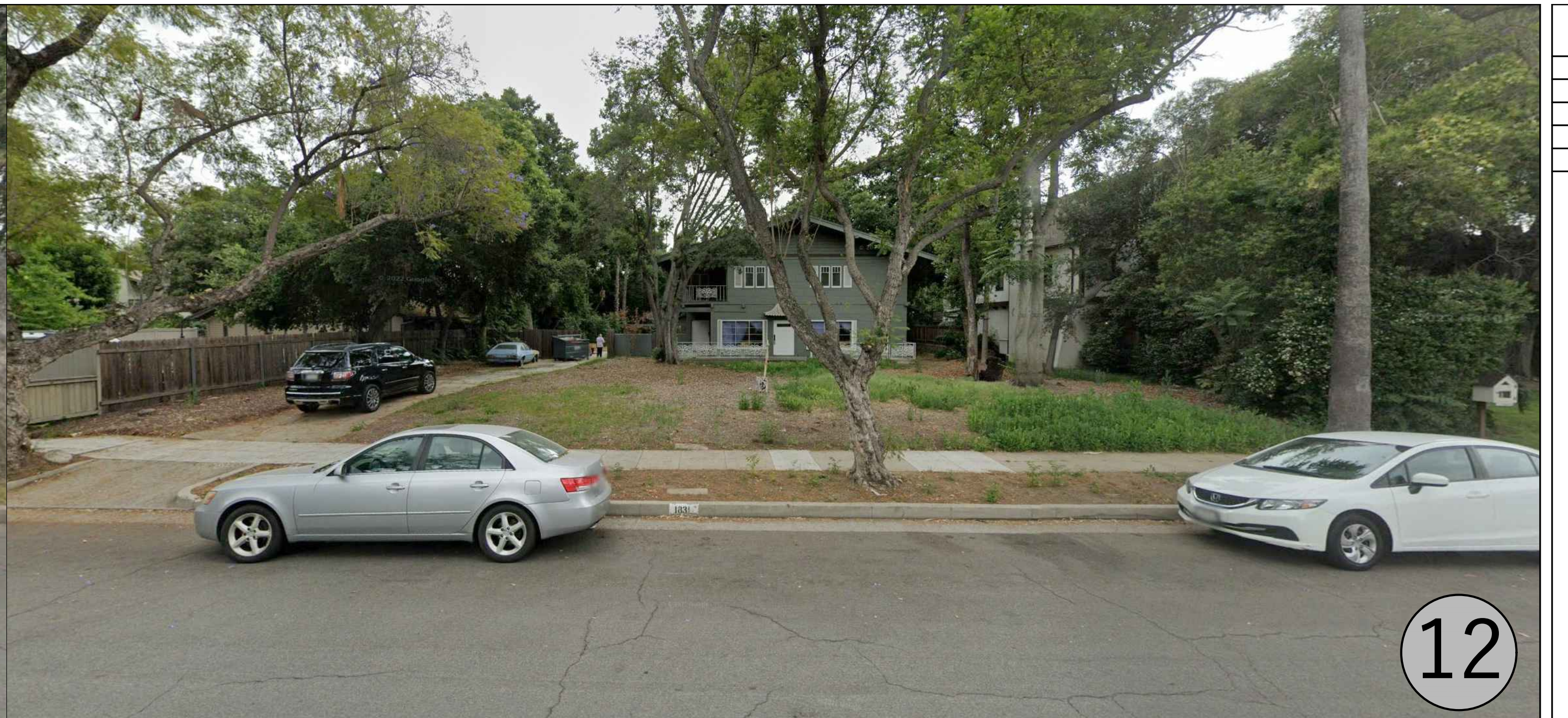
NEIGHBORHOOD CONTEXT PHOTOS

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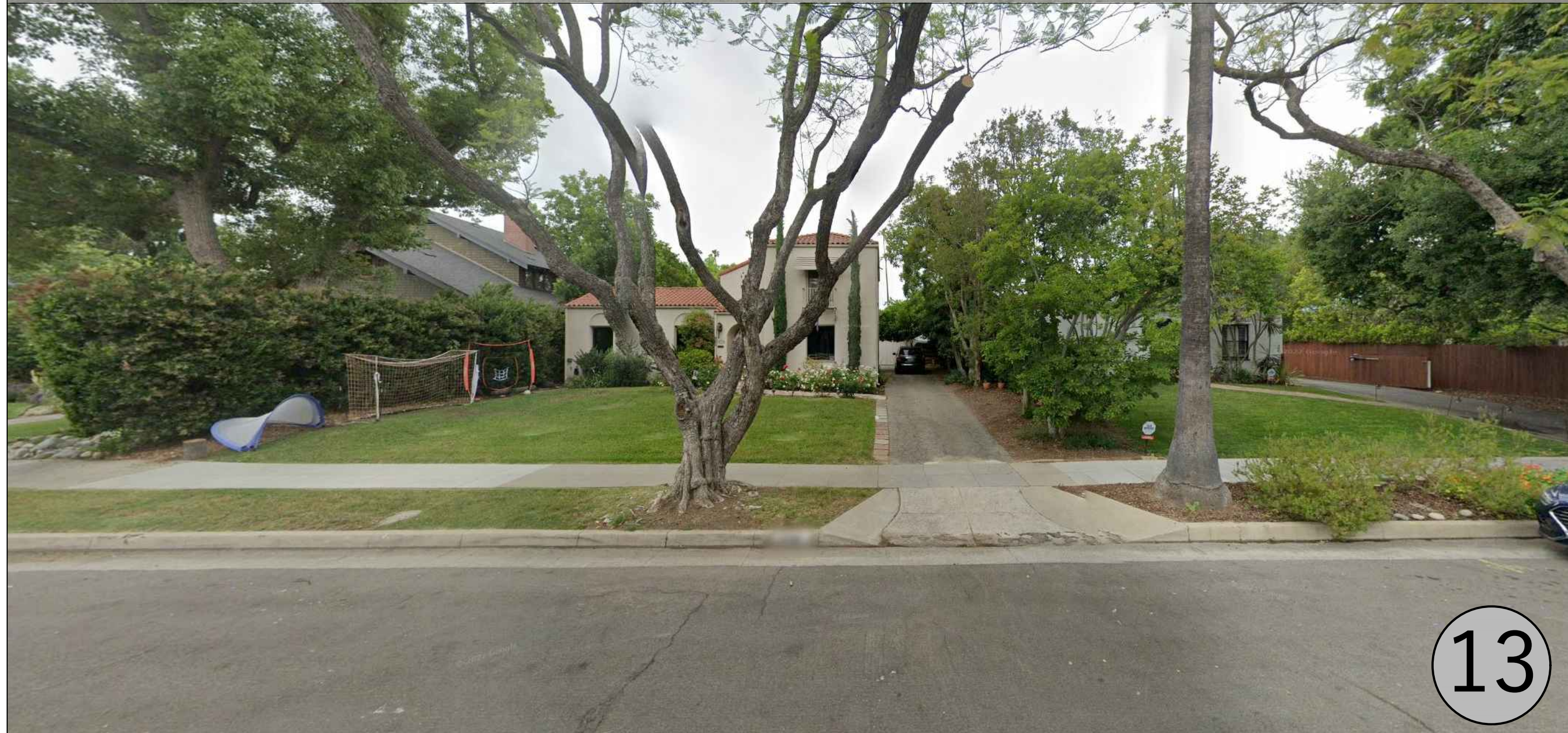
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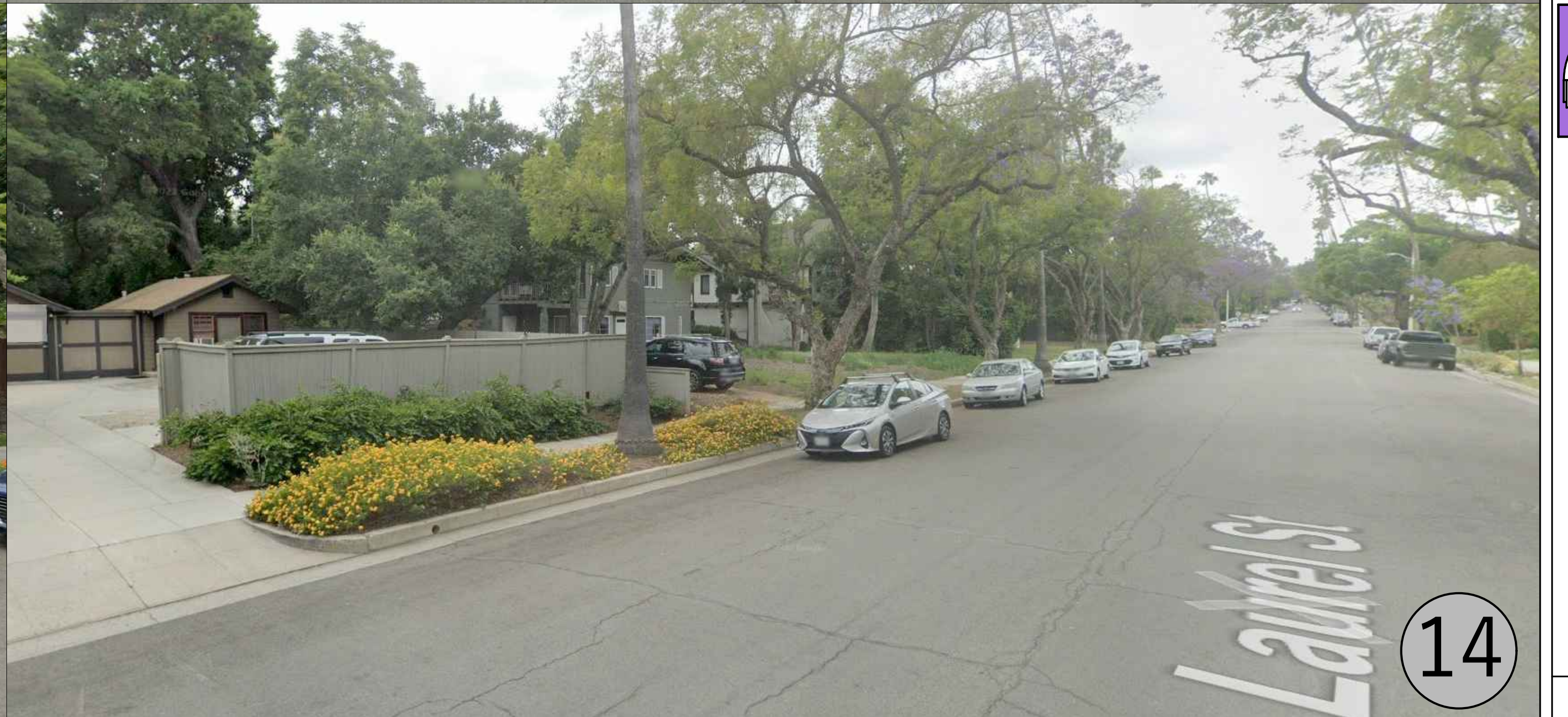
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12



13



14



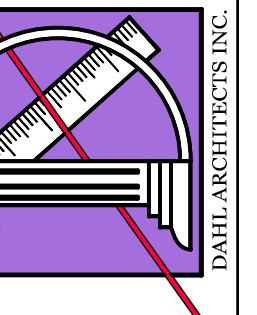
15



16

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 admin@dahlarchitects.com



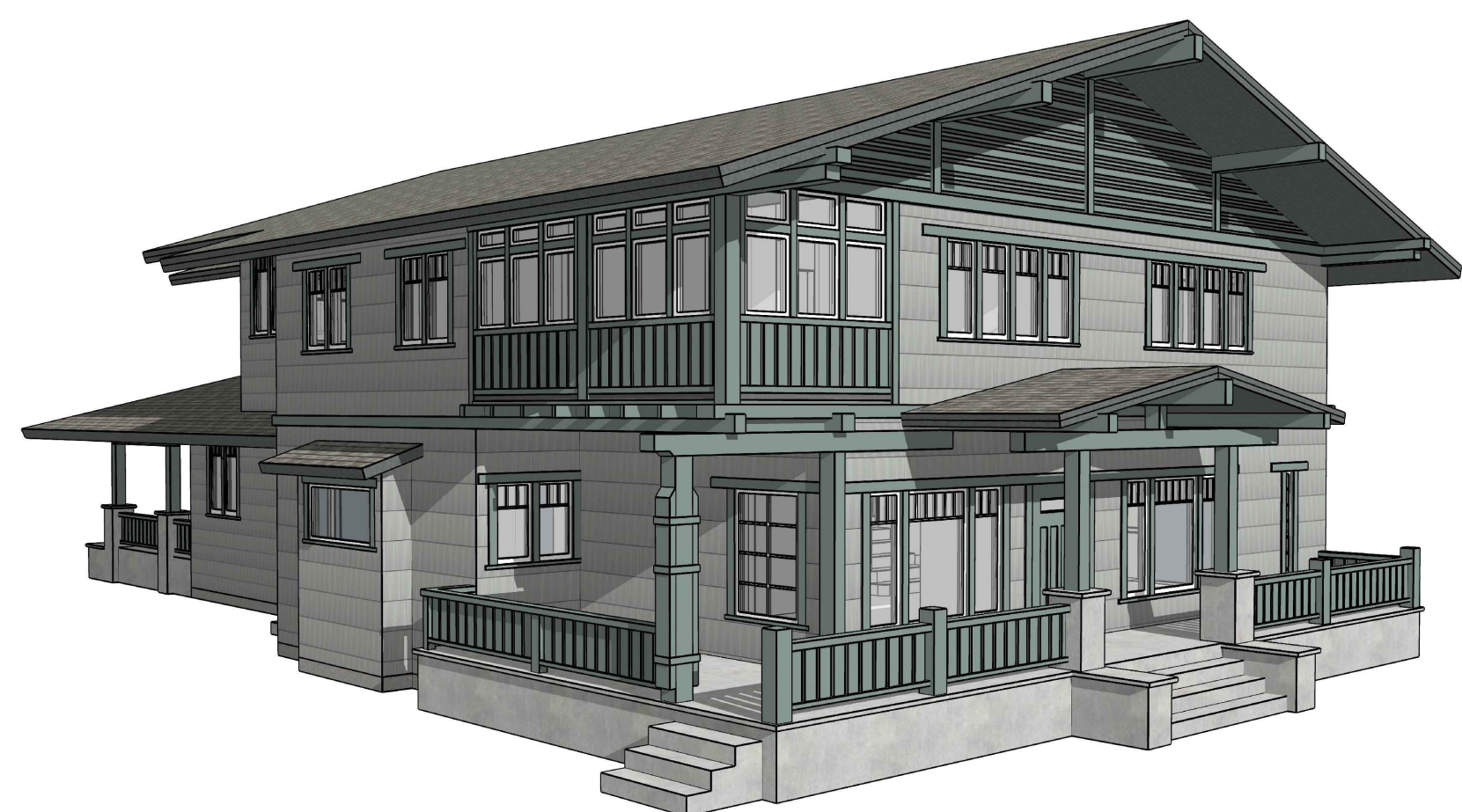
GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

NEIGHBORHOOD CONTEXT PHOTOS
(CONTINUED)

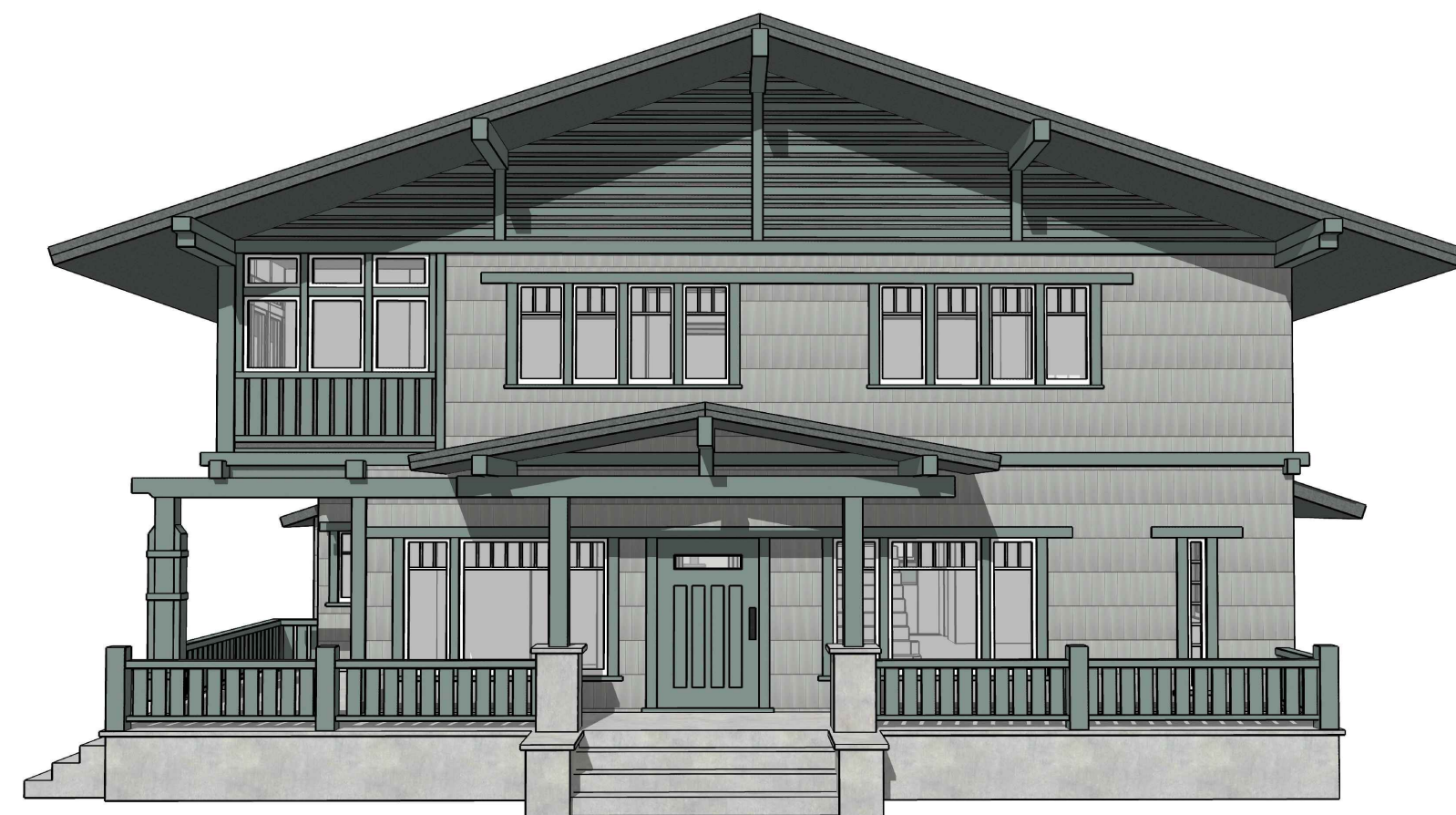
Date 8/28/2024
Scale N.T.S.
Drawn APD
Job
Sheet

A-1C

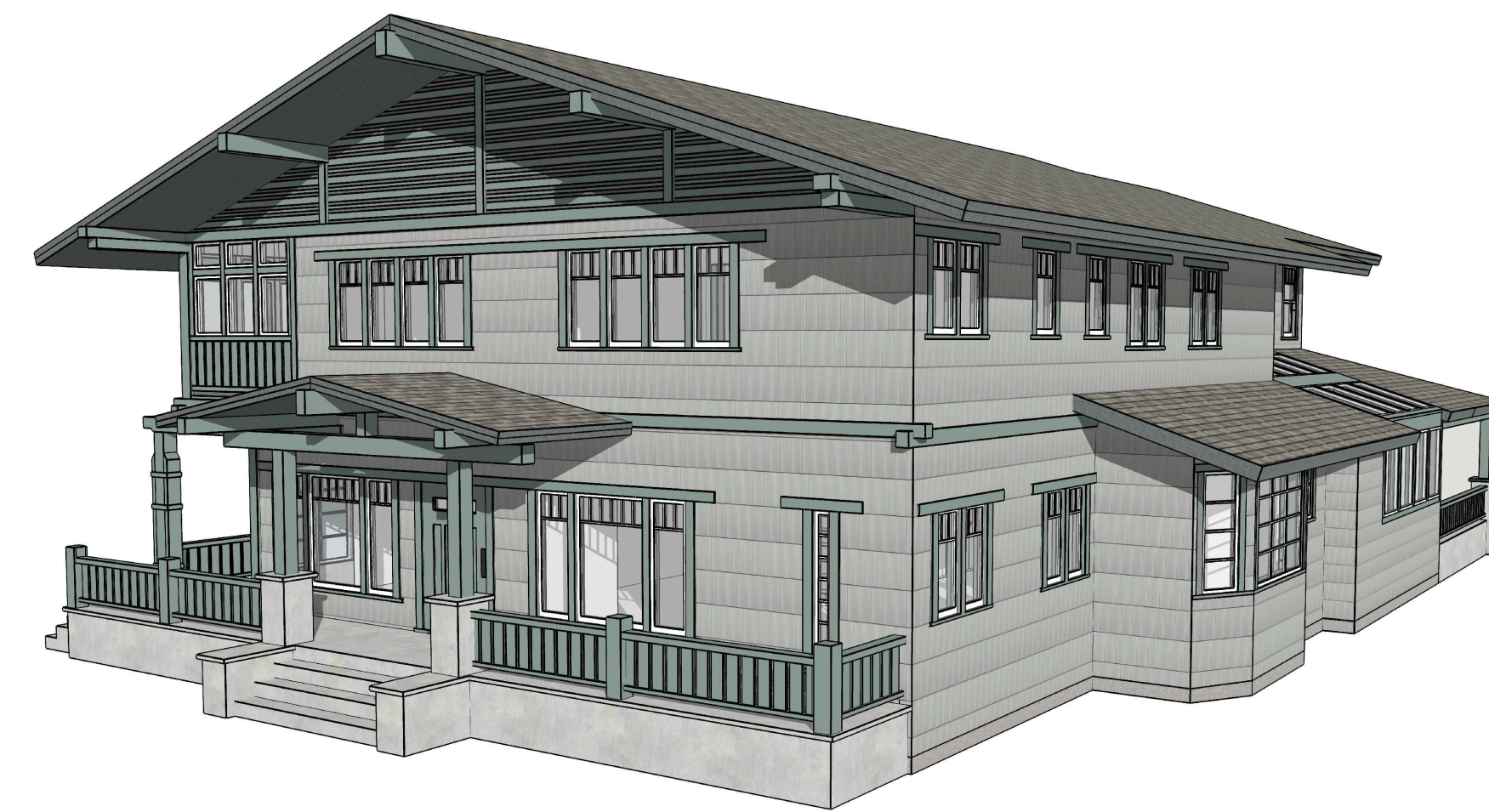
REV.	DATE



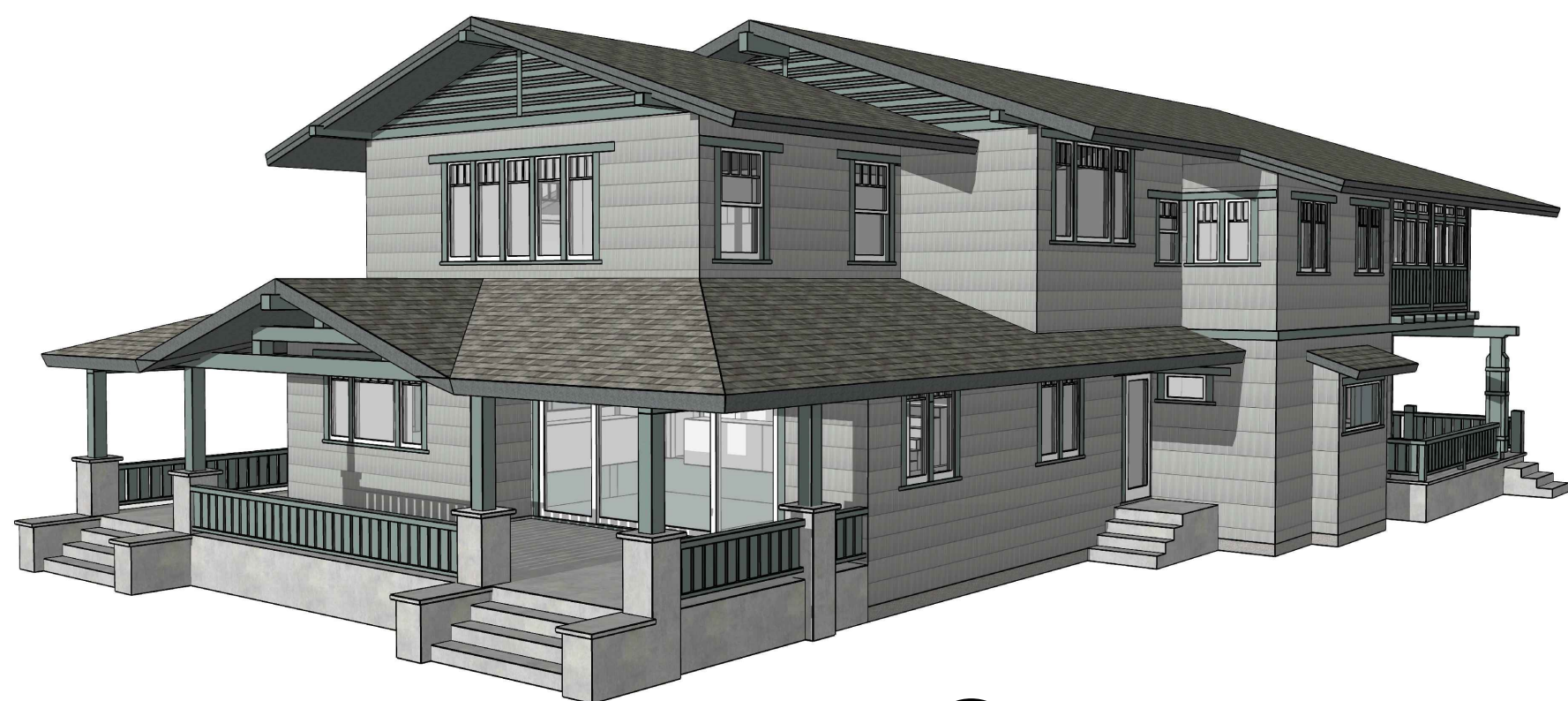
1 NORTHEAST CORNER
A-1D N.T.S.



2 NORTH (FRONT)
A-1D N.T.S.



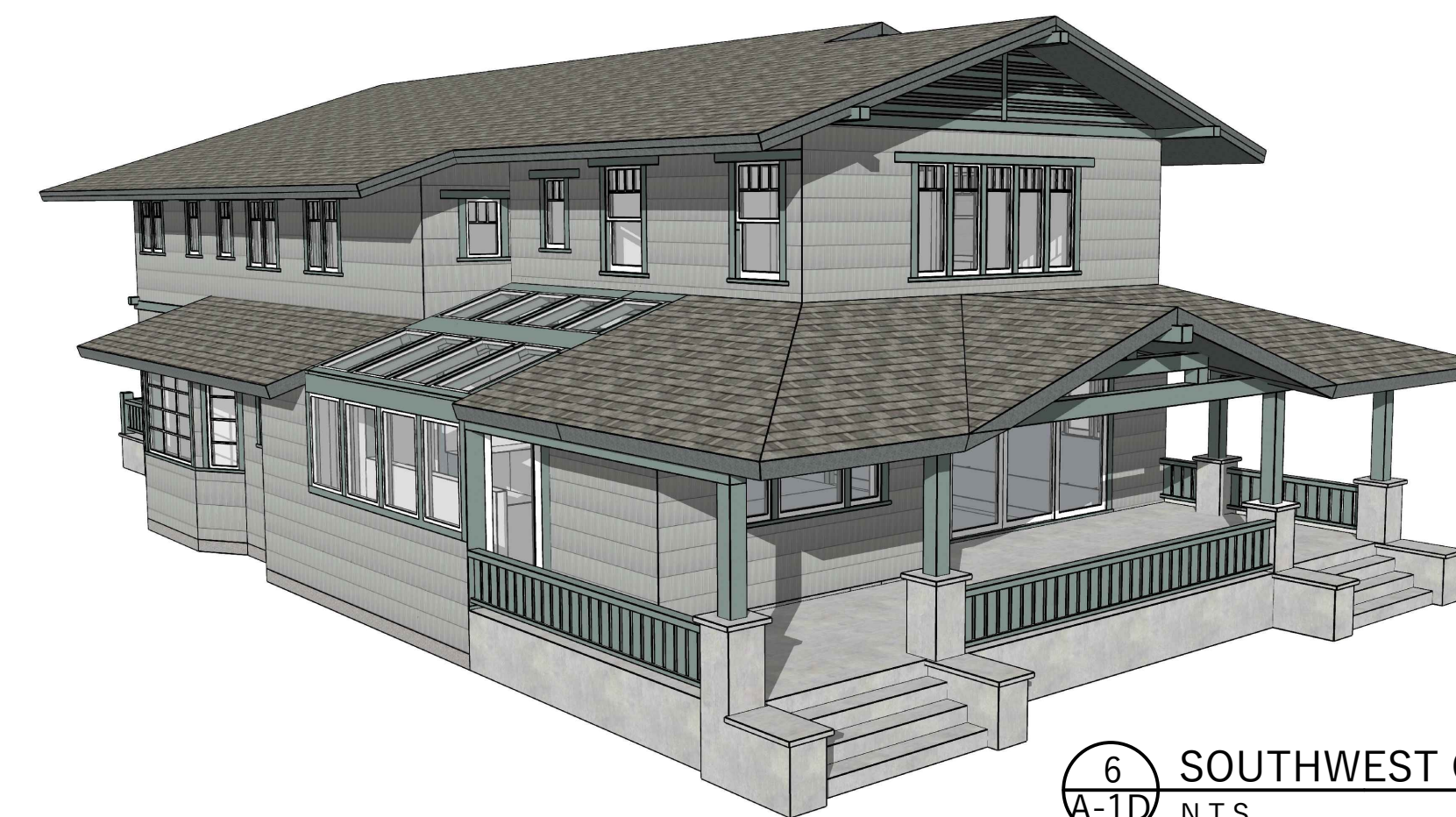
3 NORTHWEST CORNER
A-1D N.T.S.



4 SOUTHEAST CORNER
A-1D N.T.S.



5 SOUTH (REAR)
A-1D N.T.S.



6 SOUTHWEST CORNER
A-1D N.T.S.



7 EAST SIDE
A-1D N.T.S.

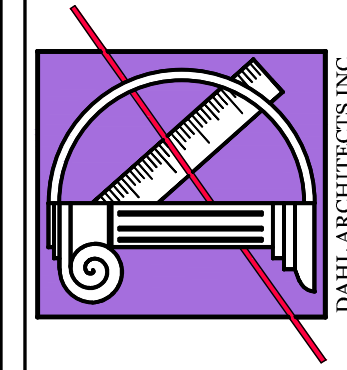


8 KITCHEN WINDOW
A-1D N.T.S.



9 WEST SIDE
A-1D N.T.S.

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SOUTH PASADENA, CA 91030

PROPOSED RENDERINGS

Date	8/28/2024
Scale	N.T.S.
Drawn	APD
Job	
Sheet	

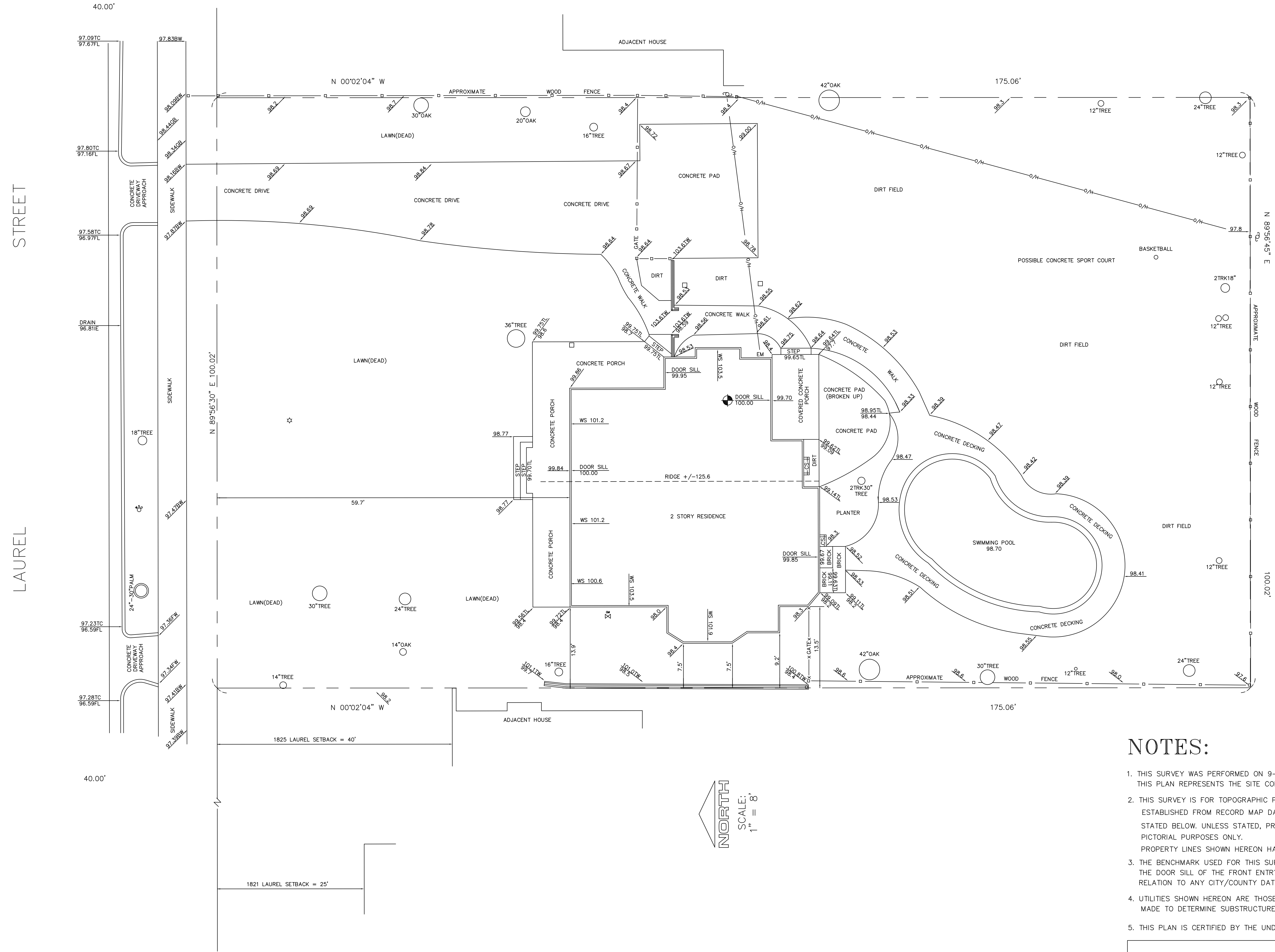
A-1D

NOTE: RENDERINGS ARE FOR VISUAL REFERENCE ONLY, REFER TO PLANS FOR SPECIFIC INFORMATION INCLUDING COLORS, MATERIALS, DIMENSIONS, LANDSCAPING, OR ANYTHING ELSE SHOWN IN THESE IMAGES.

LEGEND

AC	ASPHALT
A-C	AIR CONDITIONER
BW	BACK OF WALK
CB	CATCH BASIN
CE	CHINESE ELM
CS	CRAWL SPACE
CONC	CONCRETE
DS	DOWN SPOUT
EG	EDGE GUTTER
EM	ELECTRIC METER
EP	EDGE PAVEMENT
EUC	EUCALYPTUS
FIN FLR	FINISH FLOOR
FL	FLOW LINE
GB	GRADE BREAK
GM	GAS METER
IP	IRON PIPE
L/TG	LEAD/TAG
LA	LIQUID AMBER
MAG	MAGNOLIA
PA	PLANTER AREA
P/L	PROPERTY LINE
PP	POWER POLE
SCO	SEWER CLEAN OUT
SYC	SYCAMORE
TC	TOP OF CURB
TG	TOP OF GRATE
TL	TOP OF LANDING
TSTP	TOP OF STEP
TW	TOP OF WALL
WH	WATER HEATER
WM	WATER METER
WS	WINDOW SILL

CENTERLINE	
PROPERTY LINE	
WIRE FENCE	
WOOD FENCE	
IRON FENCE	
OVERHEAD	
FLAGSTONE	
MASONRY WALL	
STONE WALL	
GRASS LINE	
WATER VALVE	
WATER METER	
GAS METER	
FLOW PATH	
POWER POLE	
GUY WIRE	
BENCHMARK	
STORM DRAIN	
SEWER MH	
SEWER CLEAN OUT	
STREET SIGN	
AREA, STREET LIGHT	
DOWNSPOUT	



NOTES:

- THIS SURVEY WAS PERFORMED ON 9-20-2023 AT THE REQUEST OF MARK GHALY. THIS PLAN REPRESENTS THE SITE CONDITIONS OF THAT DAY.
- THIS SURVEY IS FOR TOPOGRAPHIC PURPOSES ONLY. PROPERTY LINES SHOWN HEREON WERE ESTABLISHED FROM RECORD MAP DATA UNLESS "PRECISE PROPERTY LINES ESTABLISHED" IS STATED BELOW. UNLESS STATED, PROPERTY LINES SHOWN HEREON ARE SHOWN FOR PICTORIAL PURPOSES ONLY. PROPERTY LINES SHOWN HEREON HAVE BEEN PRECISELY ESTABLISHED. NO CORNERS SET.
- THE BENCHMARK USED FOR THIS SURVEY WAS ASSUMED TO BE 100.00 AT THE DOOR SILL OF THE FRONT ENTRY DOOR AS SHOWN HEREON. IT HAS NO RELATION TO ANY CITY/COUNTY DATUM.
- UTILITIES SHOWN HEREON ARE THOSE VISIBLE ABOVE GROUND. NO ATTEMPT WAS MADE TO DETERMINE SUBSTRUCTURE UTILITY LINES.
- THIS PLAN IS CERTIFIED BY THE UNDERSIGNED ONLY IF "WET" STAMPED AND SIGNED.



Ron Martinez

LEGAL DESCRIPTION: LOT 5 BLK H ONEONTA PARK, MB 4/93-94
 APN: 5320 022 005
 LOT AREA: 17,509.6 SF

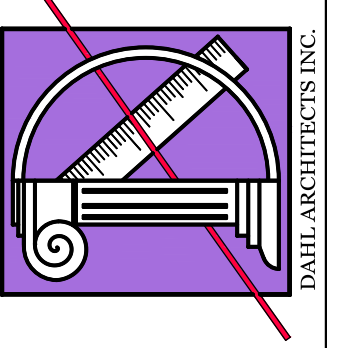
DRAWN BY ACAD	RM LAND SURVEYING LAND SURVEYING~CIVIL ENGINEERING~DEVELOPMENT/CONSTRUCTION SERVICES P.O. BOX 1382, DUARTE, CA, VOICE/FAX 626 256 9047 EMAIL: RMLANDSURVEY@MSN.COM
SURVEY DATE 9-20-2023	
PROJECT NO. GHALY	

GHALY RESIDENCE
1831 LAUREL STREET
SOUTH PASADENA, CALIFORNIA

TOPOGRAPHIC SURVEY

REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 adrian@dahlarchitects.com

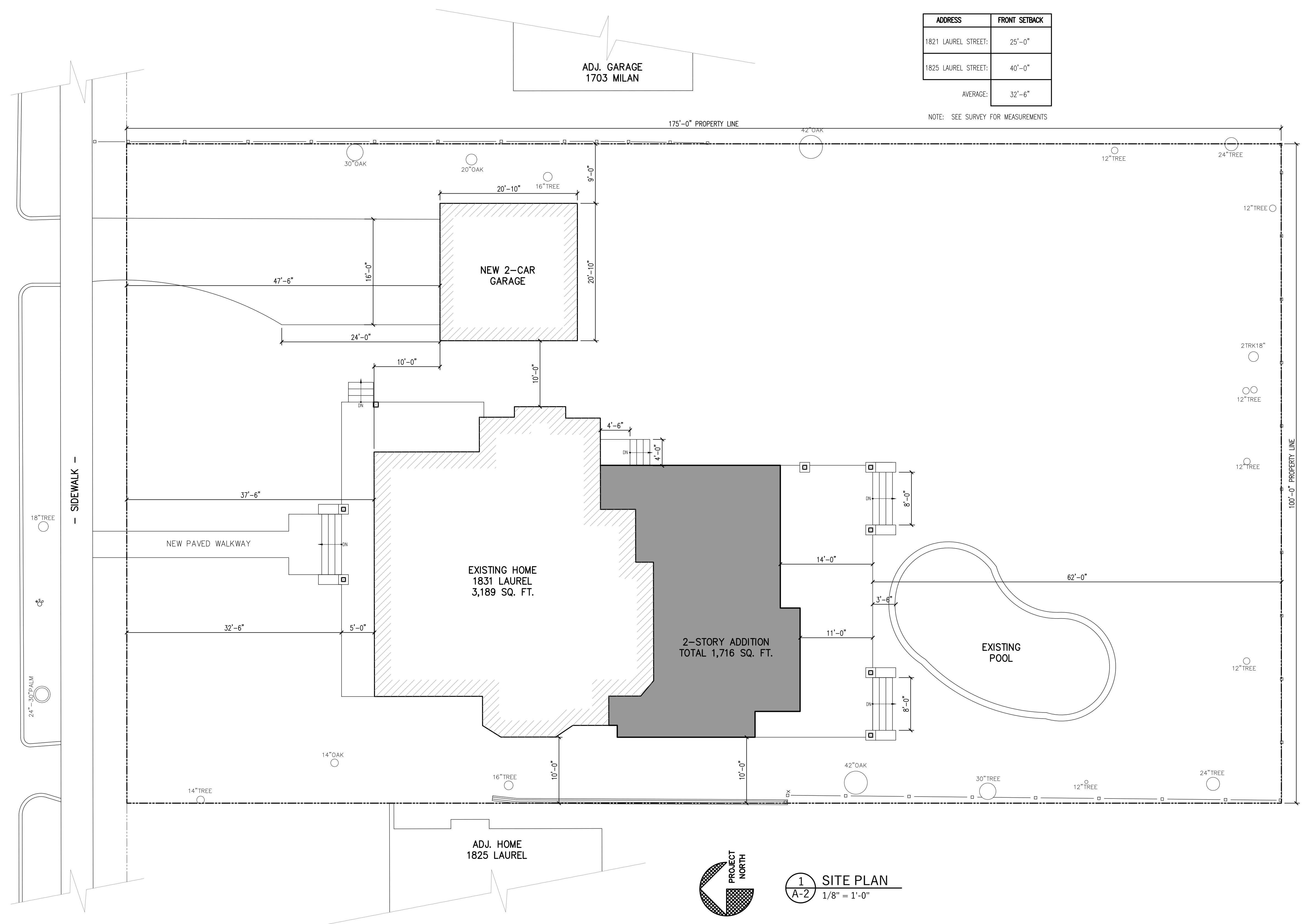


GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

SITE PLAN

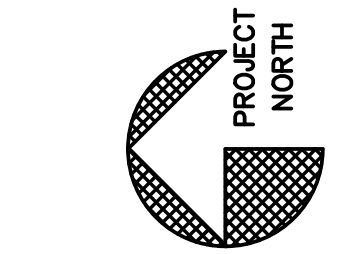
Date	8/28/2024
Scale	1/8"=1'-0"
Drawn	APD
Job	
Sheet	

A-2



ADDRESS	FRONT SETBACK
1821 LAUREL STREET:	25'-0"
1825 LAUREL STREET:	40'-0"
AVERAGE:	32'-6"

NOTE: SEE SURVEY FOR MEASUREMENTS



1 SITE PLAN
 A-2 1/8" = 1'-0"

SEE TOPOGRAPHIC SURVEY FOR EXISTING SITE INFORMATION
 (SURVEY WAS COMPLETED PRIOR TO HOME BEING MOVED 22'-3"
 NORTH AND 2'-5" EAST PER CHR24-0005 AND SP-BLD24-0191)

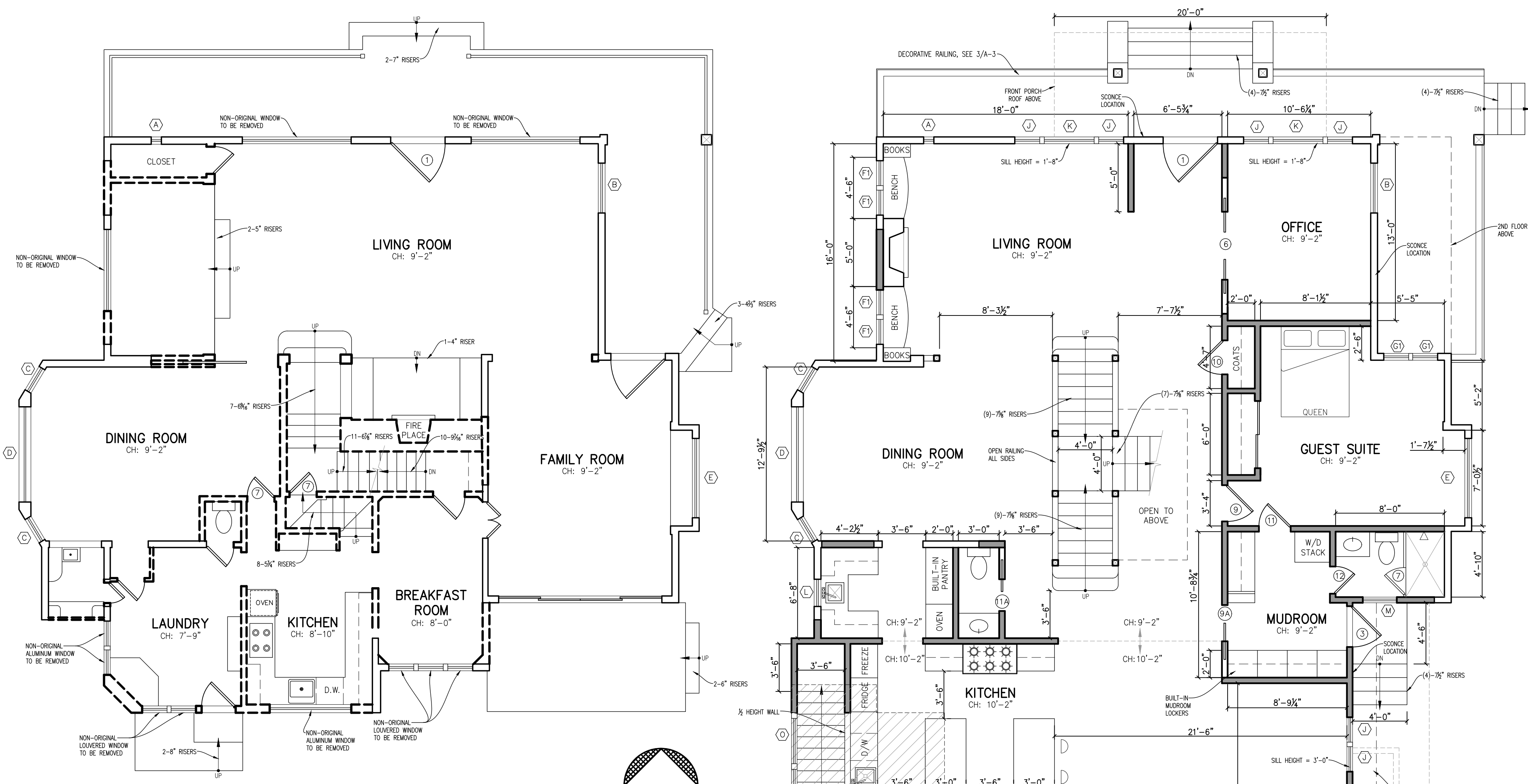
WINDOW SCHEDULE

	SIZE (W X H)	TYPE	FRAME	LITES	SILL HEIGHT	QUANTITY	NEW OR EXISTING	SAFETY GLAZING	NOTES
(A)	0'-9"W X 6'-0"H	FIXED	WOOD	7	0'-8"	1	EXISTING	NO	
(B)	3'-8"W X 5'-3"H	FIXED	WOOD	12	1'-5"	1	EXISTING	NO	
(C)	2'-0"W X 5'-4"H	FIXED	WOOD	4	2'-0"	2	EXISTING	NO	
(D)	7'-0"W X 5'-4"H	FIXED	WOOD	12	2'-0"	1	EXISTING	NO	
(E)	6'-10"W X 2'-8"H	FIXED	WOOD	NONE	3'-8"	1	EXISTING	NO	
(F)	1'-10"W X 4'-0"H	CASEMENT	WOOD	3 AT TOP	2'-6"	4	EXISTING	NO	
(Fi)	1'-10"W X 4'-0"H	CASEMENT	CLAD	3 AT TOP	2'-6"	16	NEW	SEE PLAN	NEW CLAD WINDOWS TO MATCH EXISTING "F"
(G)	1'-10"W X 3'-6"H	CASEMENT	WOOD	3 AT TOP	3'-0"	4	EXISTING	NO	
(Gi)	1'-10"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	5	NEW	NO	NEW WINDOWS TO MATCH ORIGINAL "G" WINDOWS
(H)	1'-6"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	2	NEW	NO	NEW WINDOWS IN EXISTING OPENINGS
(J)	1'-10"W X 5'-0"H	CASEMENT	CLAD	3 AT TOP	VARIES	17	NEW	SEE PLAN	SEE FLOORPLANS FOR VARYING SILL HEIGHTS
(K)	3'-8"W X 5'-0"H	FIXED	CLAD	3 AT TOP	VARIES	4	NEW	YES	8'-0" WIDE SET WITH "J" WINDOWS EA. SIDE
(L)	2'-0"W X 3'-0"H	CASEMENT	CLAD	3 AT TOP	3'-8"	2	NEW	NO	
(M)	2'-6"W X 1'-6"H	AWNING	CLAD	NONE	5'-6"	1	NEW	NO	GUEST BATHROOM HIGH WINDOW
(N)	2'-6"W X 3'-6"H	DOUBLE HUNG	CLAD	3 AT TOP	3'-2"	1	NEW	NO	
(O)	3'-0"W X 4'-6"H	FIXED	CLAD	NONE	3'-0"	4	NEW	YES	CONSERVATORY STYLE WINDOWS IN KITCHEN
(P)	3'-0"W X 5'-0"H	DOUBLE HUNG	CLAD	3 AT TOP	2'-0"	4	NEW	NO	PRIMARY BEDROOM WINDOWS
(Q)	2'-2"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	6	NEW	YES	FROSTED GLASS
(Qi)	2'-2"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	6	NEW	NO	ABOVE "Q" WINDOWS
(R)	2'-3½"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	3	NEW	YES	FROSTED GLASS
(Ri)	2'-3½"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	3	NEW	NO	ABOVE "R" WINDOWS

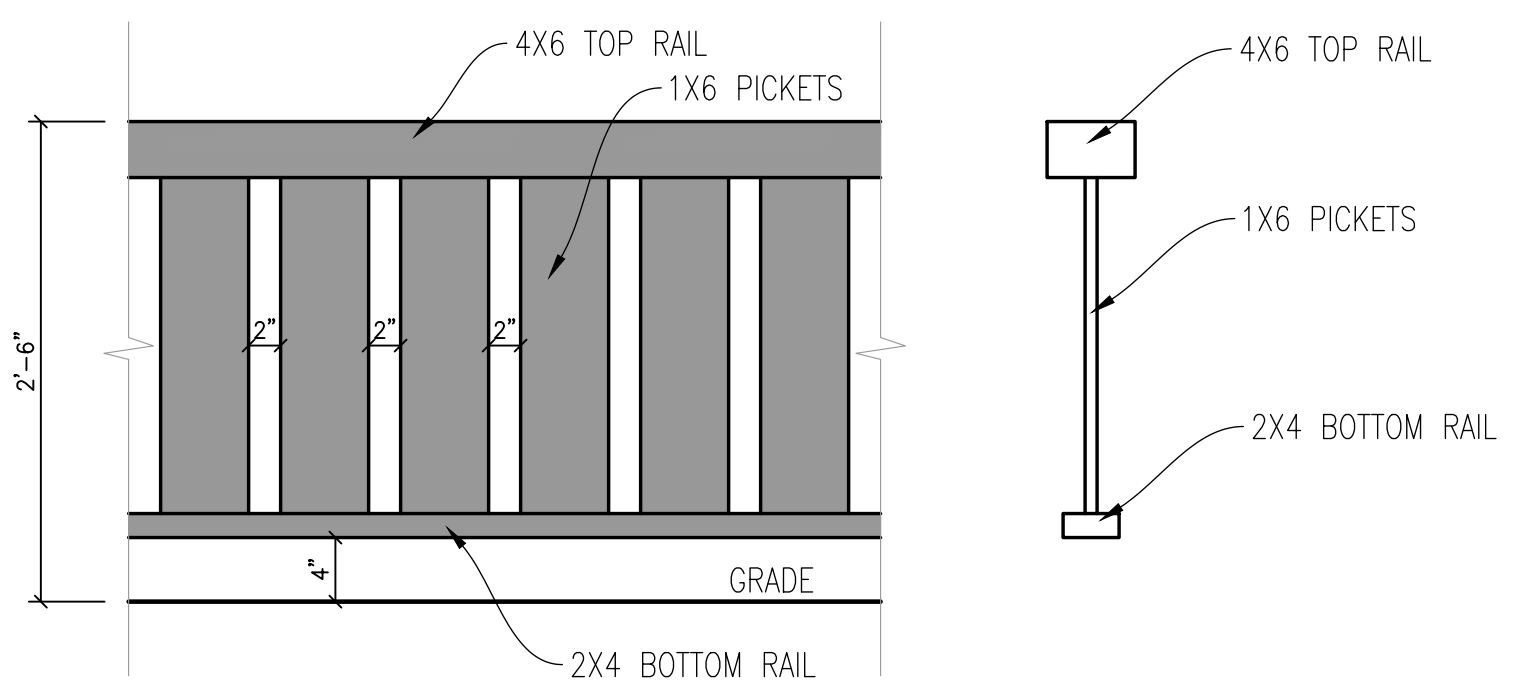
DOOR SCHEDULE

	SIZE (W X H)	DOOR FACE	MATERIAL	TYPE	LOCATION	QUANTITY	NEW OR EXISTING	NOTES
(1)	4'-0"W X 6'-8"H	PANEL	WOOD	SWING	EXTERIOR	1	EXISTING	EXISTING FRONT DOOR, SWING SIDE AND HARDWARE REVERSED
(2)	4'-0"W X 6'-6"H	FRENCH	WOOD	SWING	*INTERIOR	2 SETS	EXISTING	EXISTING SLEEPING PORCH DOORS, WILL NOW BE INTERIOR DUE TO INFILL
(3)	3'-0"W X 7'-6"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	
(4)	16'-0"W X 8'-0"H	FRENCH	CLAD	SLIDING	EXTERIOR	1 SET	NEW	OVERSIZED SLIDING DOOR WITH OPERABLE MIDDLE PORTION, FIXED ENDS
(5)	2'-8"W X 7'-0"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	PART OF CONSERVATORY STYLE KITCHEN WINDOW INSTALLATION
(6)	4'-0"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	1 SET	NEW	PAIR OF POCKET DOORS
(7)	2'-0"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	4	NEW	GLASS SHOWER DOORS
(8)	2'-6"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	1	NEW	GLASS SHOWER DOORS
(9)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	8	NEW	
(9A)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	POCKET	INTERIOR	1	NEW	
(10)	2'-6"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	3	NEW	
(10A)	2'-6"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(11)	2'-4"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	1	NEW	
(11A)	2'-4"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(12)	2'-0"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	2	NEW	

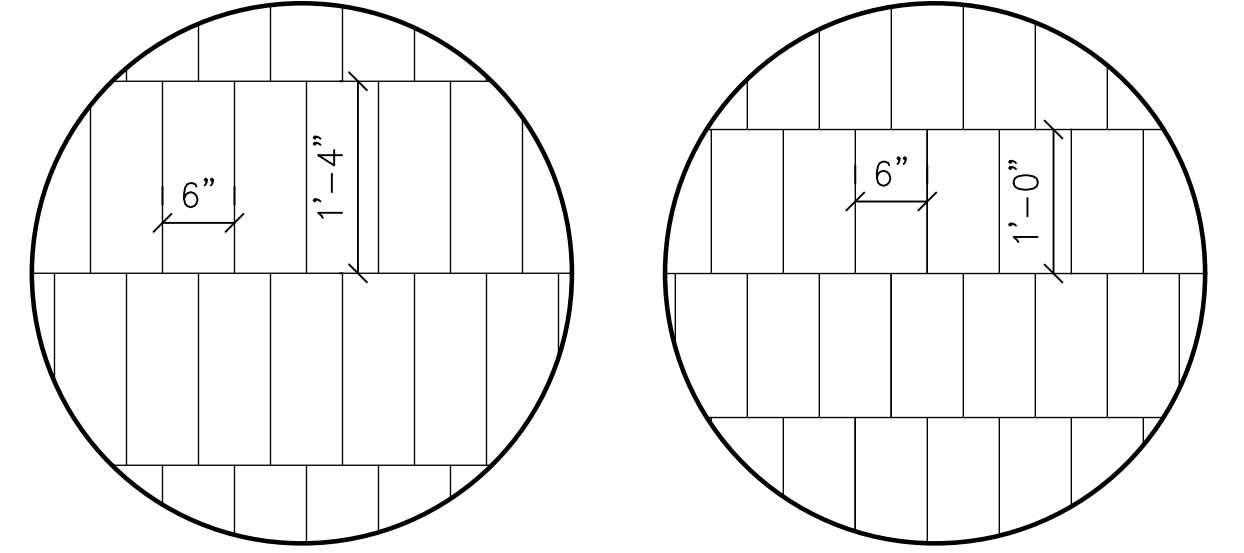
ALL NEW WINDOWS AND DOORS TO BE SIERRA PACIFIC CLAD
 PER TITLE 24 CALCULATIONS, ALL NEW WINDOWS TO HAVE MAX U-FACTOR OF 0.3 AND MAX SHGC OF 0.23
 MAXIMUM FLOW RATE FOR LAVATORY FAUCETS: 1.2 GPM @ 60 PSI; MIN .8 GPM @ 20 PSI
 MAXIMUM FLOW RATE FOR KITCHEN FAUCETS: 1.8 GPM @ 60 PSI
 MAXIMUM FLOW RATE FOR SHOWERS: 1.8 GPM @ 80 PSI
 EFFECTIVE FLUSH VOLUME FOR TOILETS: 1.28 GALLONS PER FLUSH
 ALL NONCOMPLIANT PLUMBING FIXTURES TO SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES PRIOR TO FINAL INSPECTION



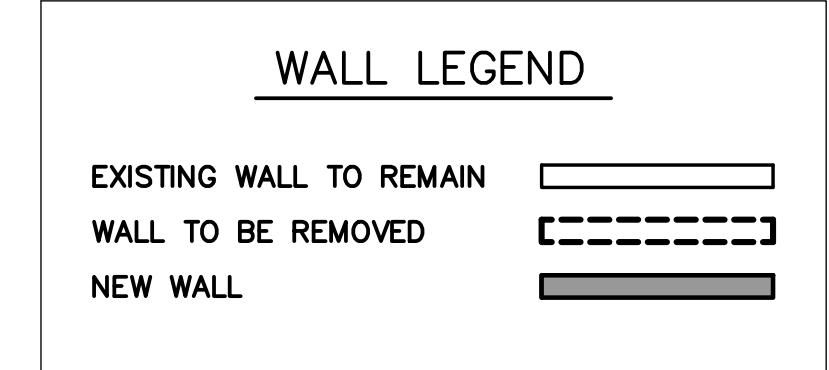
1 1ST FLOOR EXISTING/DEMO PLAN
 A-3 3/16" = 1'-0"



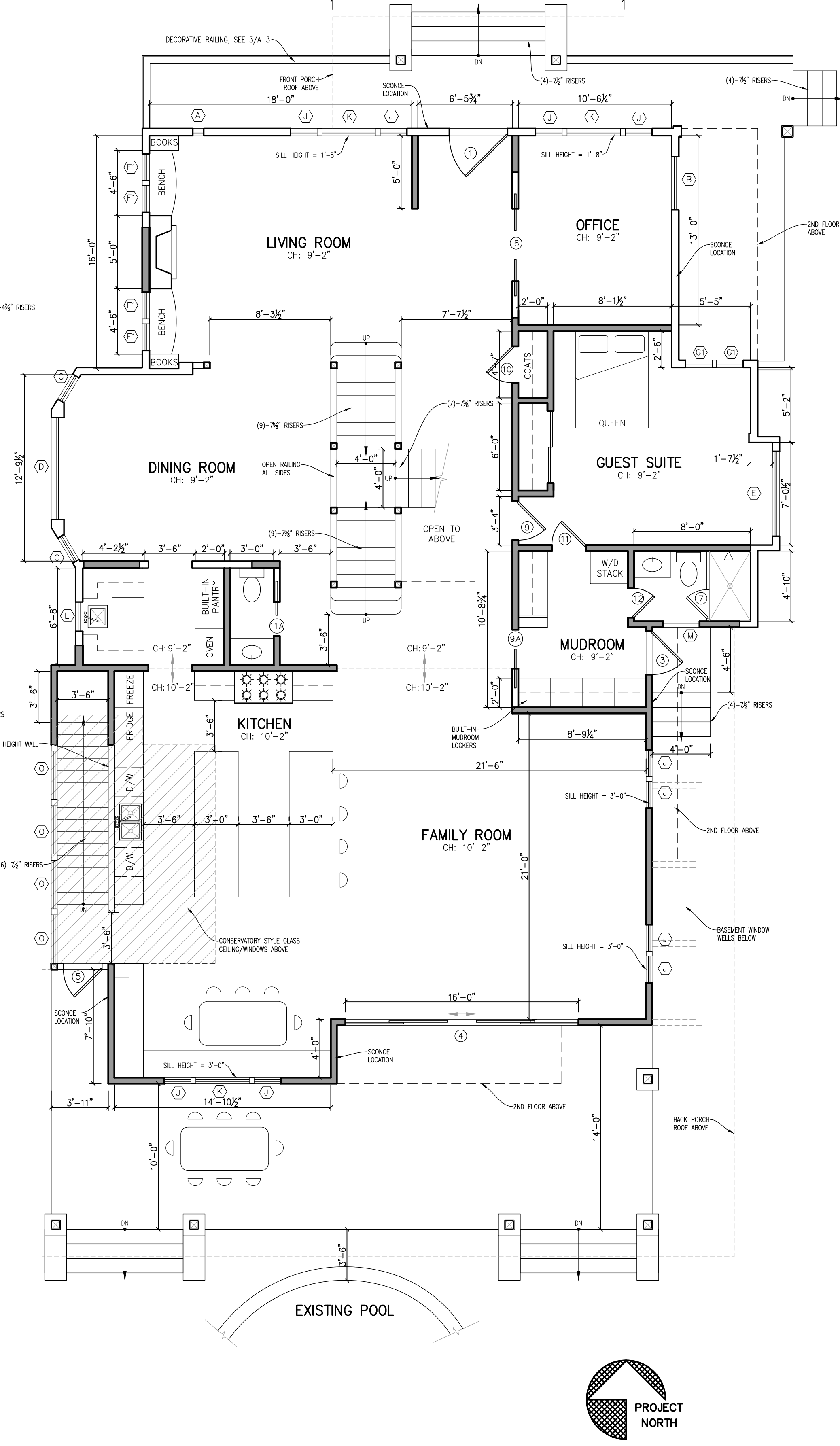
3 RAILING DETAILS
 A-3 1" = 1'-0"



4 SHINGLE DETAILS
 A-3 3/4" = 1'-0"



2 1ST FLOOR PROPOSED FLOORPLAN
 A-3 3/16" = 1'-0"



REV. DATE

DAHIL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 ad@dahilarchitects.com

GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

1ST FLOOR FLOORPLANS
 EXISTING AND PROPOSED

Date 8/28/2024
 Scale AS NOTED
 Drawn APD
 Job
 Sheet

A-3

WINDOW SCHEDULE

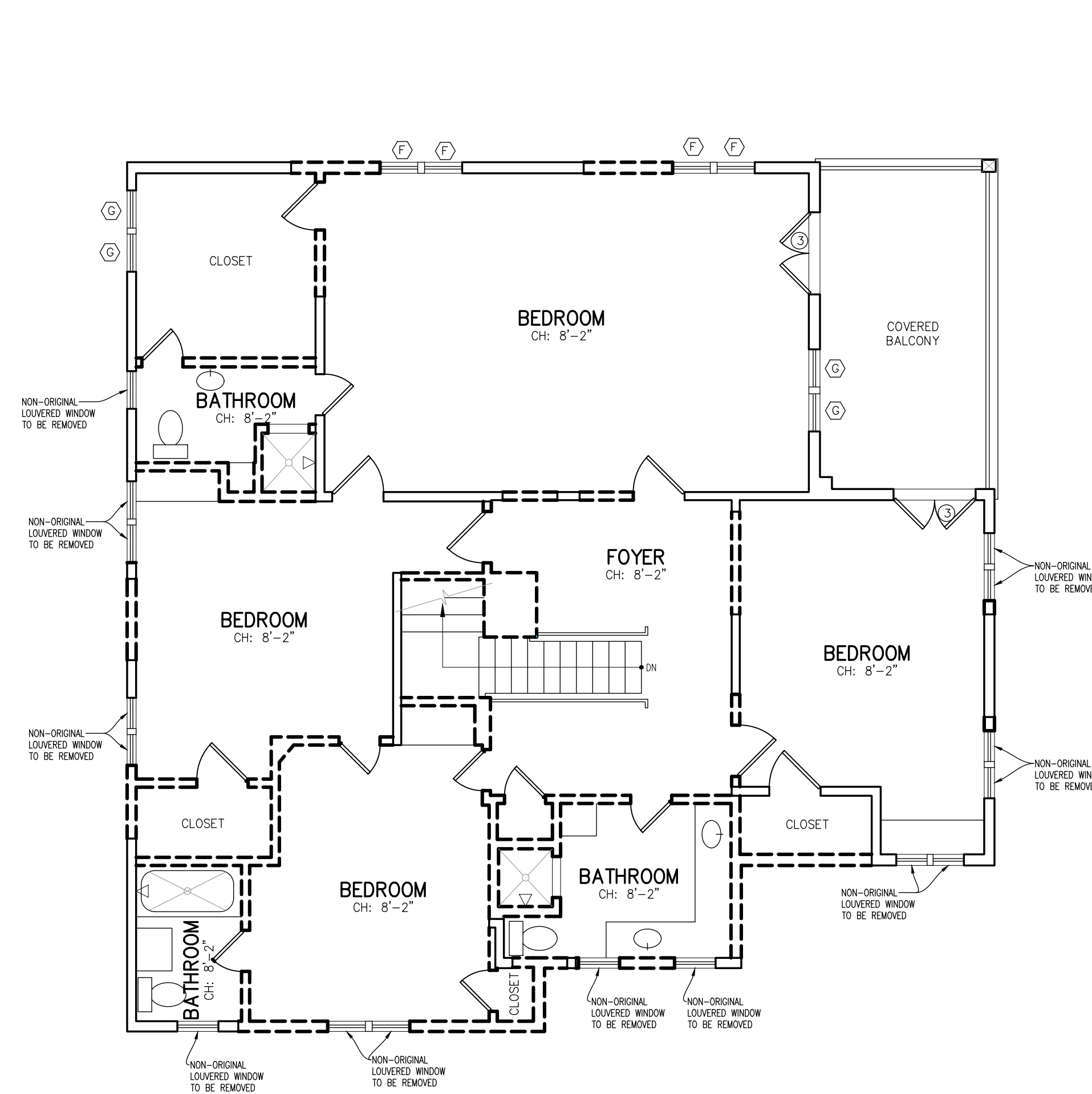
	SIZE (W X H)	TYPE	FRAME	LITES	SILL HEIGHT	QUANTITY	NEW OR EXISTING	SAFETY GLAZING	NOTES
(A)	0'-9"W X 6'-0"H	FIXED	WOOD	7	0'-8"	1	EXISTING	NO	
(B)	3'-8"W X 5'-3"H	FIXED	WOOD	12	1'-5"	1	EXISTING	NO	
(C)	2'-0"W X 5'-4"H	FIXED	WOOD	4	2'-0"	2	EXISTING	NO	
(D)	7'-0"W X 5'-4"H	FIXED	WOOD	12	2'-0"	1	EXISTING	NO	
(E)	6'-10"W X 2'-8"H	FIXED	WOOD	NONE	3'-8"	1	EXISTING	NO	
(F)	1'-10"W X 4'-0"H	CASEMENT	WOOD	3 AT TOP	2'-6"	4	EXISTING	NO	
(F1)	1'-10"W X 4'-0"H	CASEMENT	CLAD	3 AT TOP	2'-6"	16	NEW	SEE PLAN	NEW CLAD WINDOWS TO MATCH EXISTING "F"
(G)	1'-10"W X 3'-6"H	CASEMENT	WOOD	3 AT TOP	3'-0"	4	EXISTING	NO	
(G1)	1'-10"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	5	NEW	NO	NEW WINDOWS TO MATCH ORIGINAL "G" WINDOWS
(H)	1'-6"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	2	NEW	NO	NEW WINDOWS IN EXISTING OPENINGS
(J)	1'-10"W X 5'-0"H	CASEMENT	CLAD	3 AT TOP	VARIES	17	NEW	SEE PLAN	SEE FLOORPLANS FOR VARYING SILL HEIGHTS
(K)	3'-8"W X 5'-0"H	FIXED	CLAD	3 AT TOP	VARIES	4	NEW	YES	8'-0" WIDE SET WITH "J" WINDOWS EA. SIDE
(L)	2'-0"W X 3'-0"H	CASEMENT	CLAD	3 AT TOP	3'-8"	2	NEW	NO	
(M)	2'-6"W X 1'-6"H	AWNING	CLAD	NONE	5'-6"	1	NEW	NO	GUEST BATHROOM HIGH WINDOW
(N)	2'-6"W X 3'-6"H	DOUBLE HUNG	CLAD	3 AT TOP	3'-2"	1	NEW	NO	
(O)	3'-0"W X 4'-6"H	FIXED	CLAD	NONE	3'-0"	4	NEW	YES	CONSERVATORY STYLE WINDOWS IN KITCHEN
(P)	3'-0"W X 5'-0"H	DOUBLE HUNG	CLAD	3 AT TOP	2'-0"	4	NEW	NO	PRIMARY BEDROOM WINDOWS
(Q)	2'-2"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	6	NEW	YES	FROSTED GLASS
(Q1)	2'-2"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	6	NEW	NO	ABOVE "Q" WINDOWS
(R)	2'-3½"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	3	NEW	YES	FROSTED GLASS
(R1)	2'-3½"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	3	NEW	NO	ABOVE "R" WINDOWS

DOOR SCHEDULE

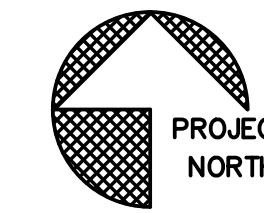
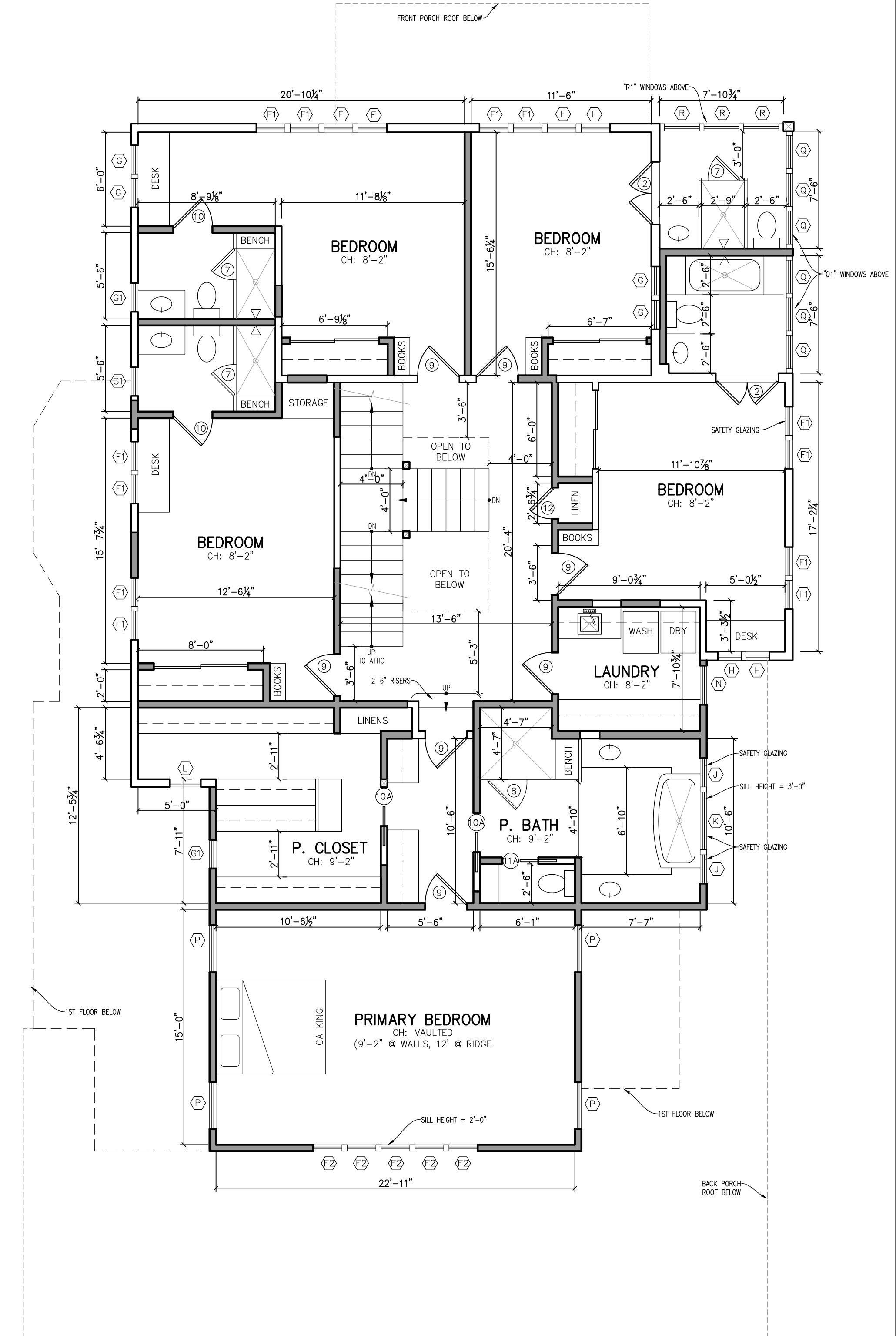
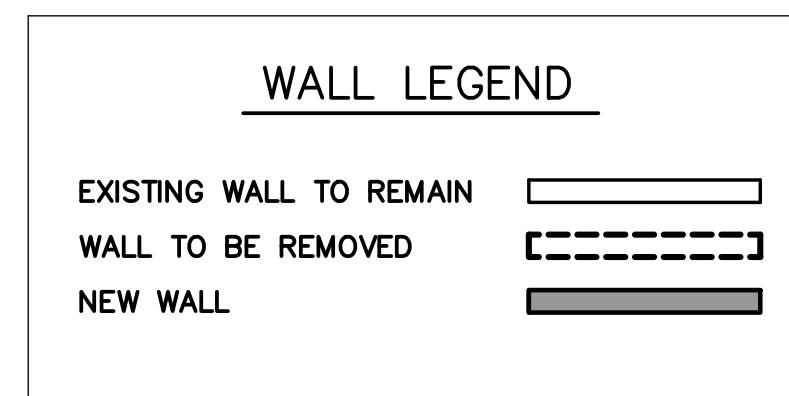
	SIZE (W X H)	DOOR FACE	MATERIAL	TYPE	LOCATION	QUANTITY	NEW OR EXISTING	NOTES
(1)	4'-0"W X 6'-8"H	PANEL	WOOD	SWING	EXTERIOR	1	EXISTING	EXISTING FRONT DOOR, SWING SIDE AND HARDWARE REVERSED
(2)	4'-0"W X 6'-6"H	FRENCH	WOOD	SWING	*INTERIOR	2 SETS	EXISTING	EXISTING SLEEPING PORCH DOORS, WILL NOW BE INTERIOR DUE TO INFILL
(3)	3'-0"W X 7'-6"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	
(4)	16'-0"W X 8'-0"H	FRENCH	CLAD	SLIDING	EXTERIOR	1 SET	NEW	OVERSIZED SLIDING DOOR WITH OPERABLE MIDDLE PORTION, FIXED ENDS
(5)	2'-8"W X 7'-0"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	PART OF CONSERVATORY STYLE KITCHEN WINDOW INSTALLATION
(6)	4'-0"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	1 SET	NEW	PAIR OF POCKET DOORS
(7)	2'-0"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	4	NEW	GLASS SHOWER DOORS
(8)	2'-6"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	1	NEW	GLASS SHOWER DOORS
(9)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	8	NEW	
(9A)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	POCKET	INTERIOR	1	NEW	
(10)	2'-6"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	3	NEW	
(10A)	2'-6"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(11)	2'-4"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	1	NEW	
(11A)	2'-4"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(12)	2'-0"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	2	NEW	

ALL NEW WINDOWS AND DOORS TO BE SIERRA PACIFIC CLAD

PER TITLE 24 CALCULATIONS, ALL NEW WINDOWS TO HAVE MAX U-FACTOR OF 0.3 AND MAX SHGC OF 0.23



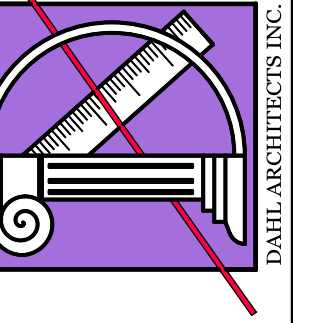
1 2ND FLOOR EXISTING/DEMO PLAN
3/16" = 1'-0"



2 2ND FLOOR PROPOSED FLOORPLAN
3/16" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(656) 564-0011 adahl@dahlarchitects.com



GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

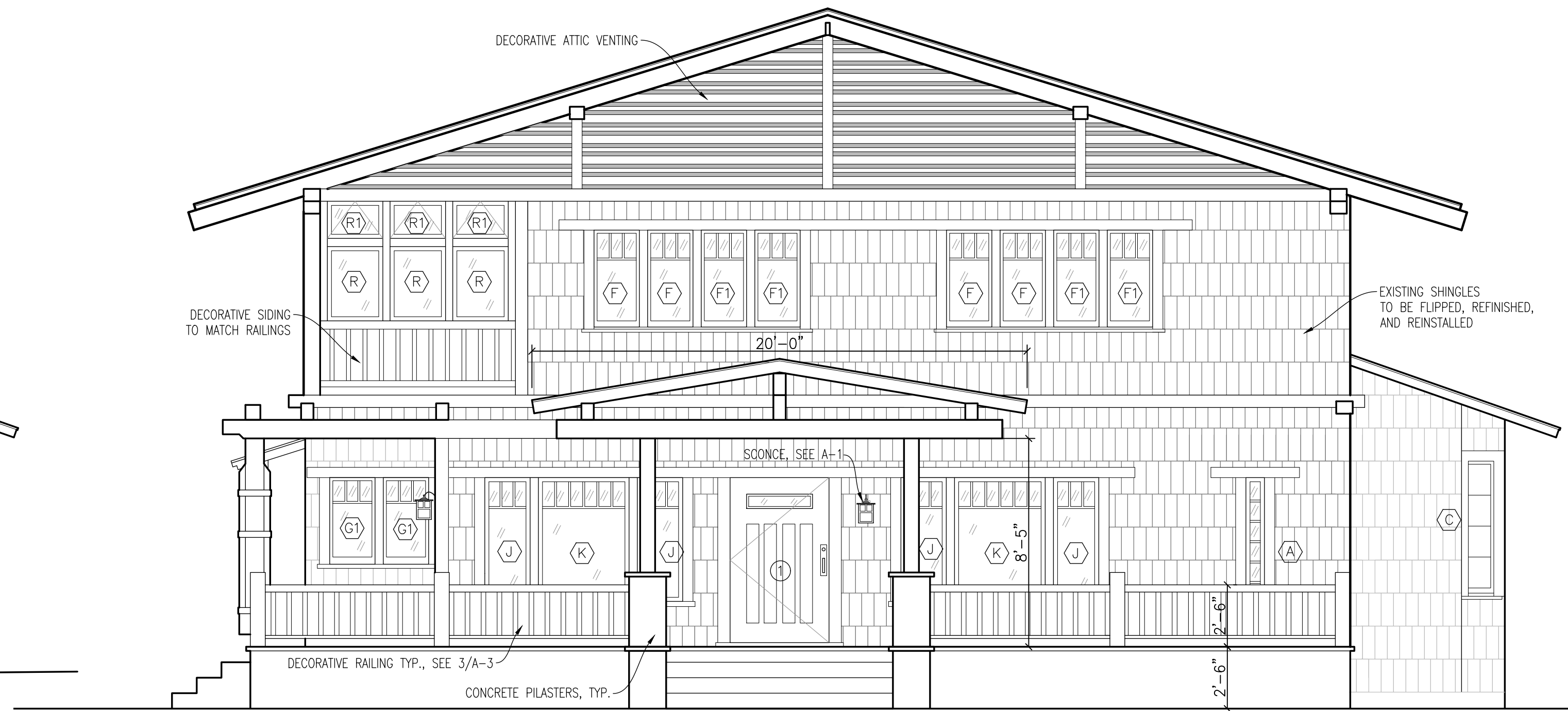
2ND FLOOR FLOORPLANS
EXISTING AND PROPOSED

Date 8/28/2024
Scale 3/16"=1'-0"
Drawn APD
Job
Sheet

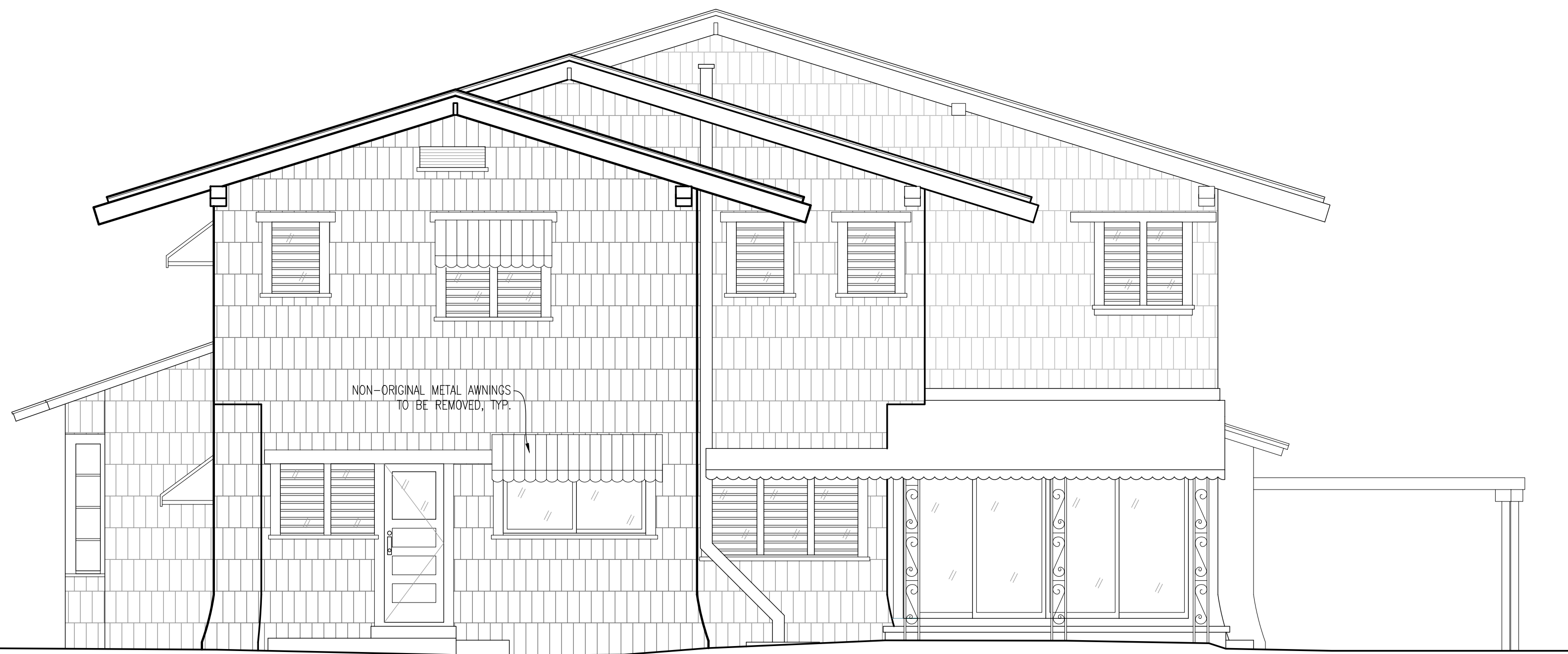
A-4



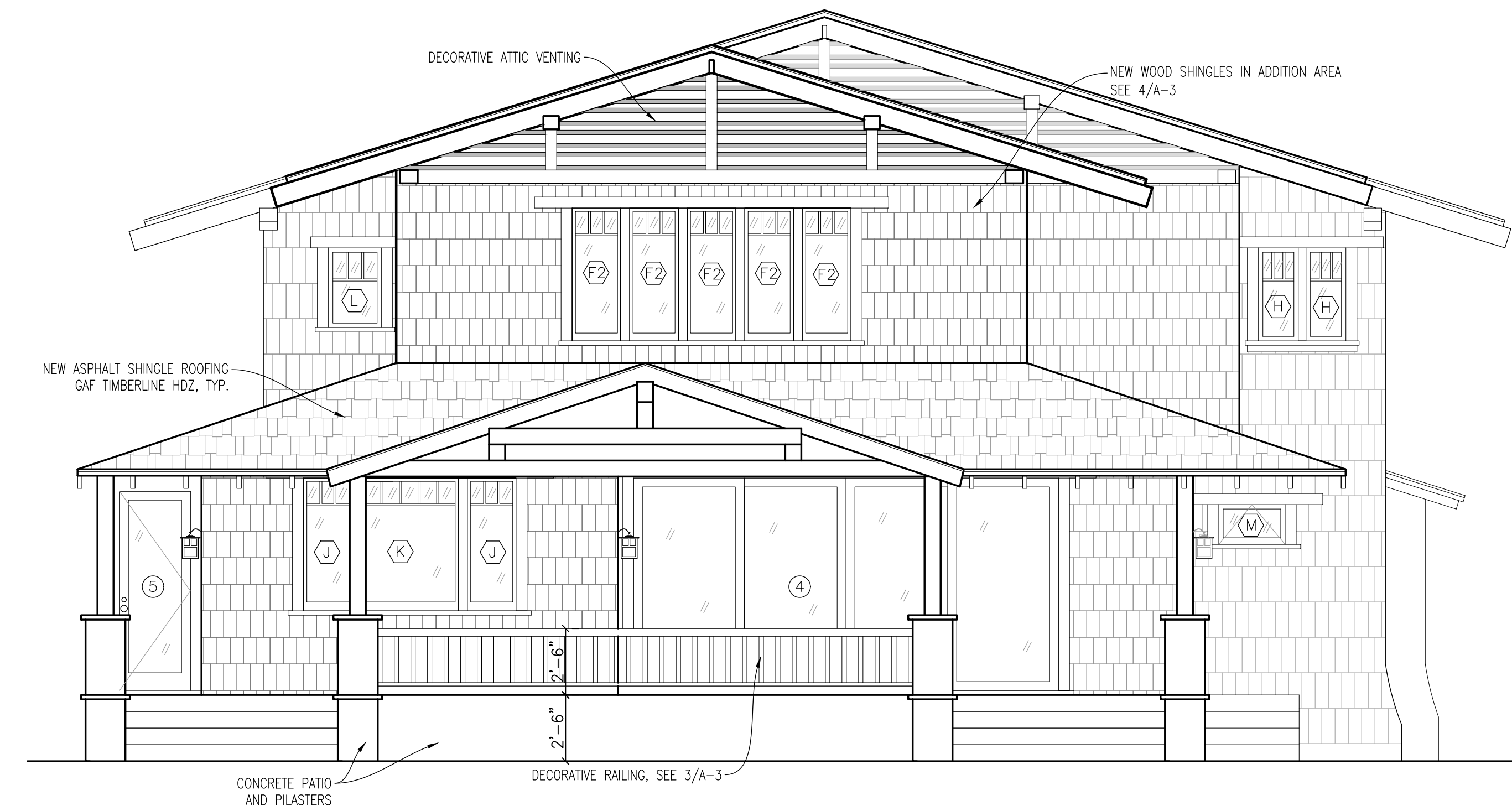
1 EXISTING NORTH ELEVATION
A-5 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
A-5 1/4" = 1'-0"



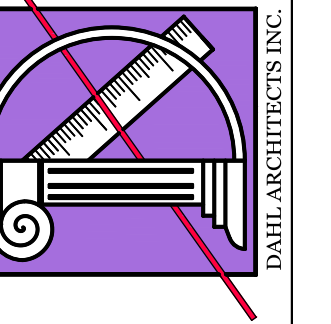
3 EXISTING SOUTH ELEVATION
A-5 1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION
A-5 1/4" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adrian@dahlarchitects.com



GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

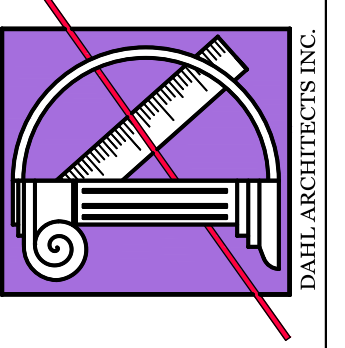
NORTH AND SOUTH ELEVATIONS

Date 8/28/2024
Scale 1/4" = 1'-0"
Drawn APD
Job
Sheet

A-5

REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 adahl@dahlahitects.com



GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

EAST ELEVATION

Date	8/28/2024
Scale	1/4"=1'-0"
Drawn	APD
Job	
Sheet	A-6



1 EXISTING EAST ELEVATION
 A-6 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
 A-6 1/4" = 1'-0"



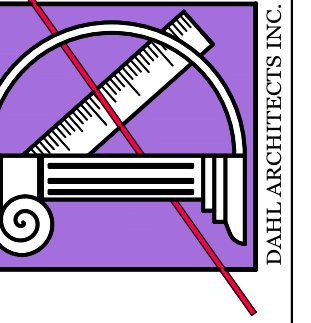
1 EXISTING WEST ELEVATION
A-7 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
A-7 1/4" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adahl@dahlahitects.com

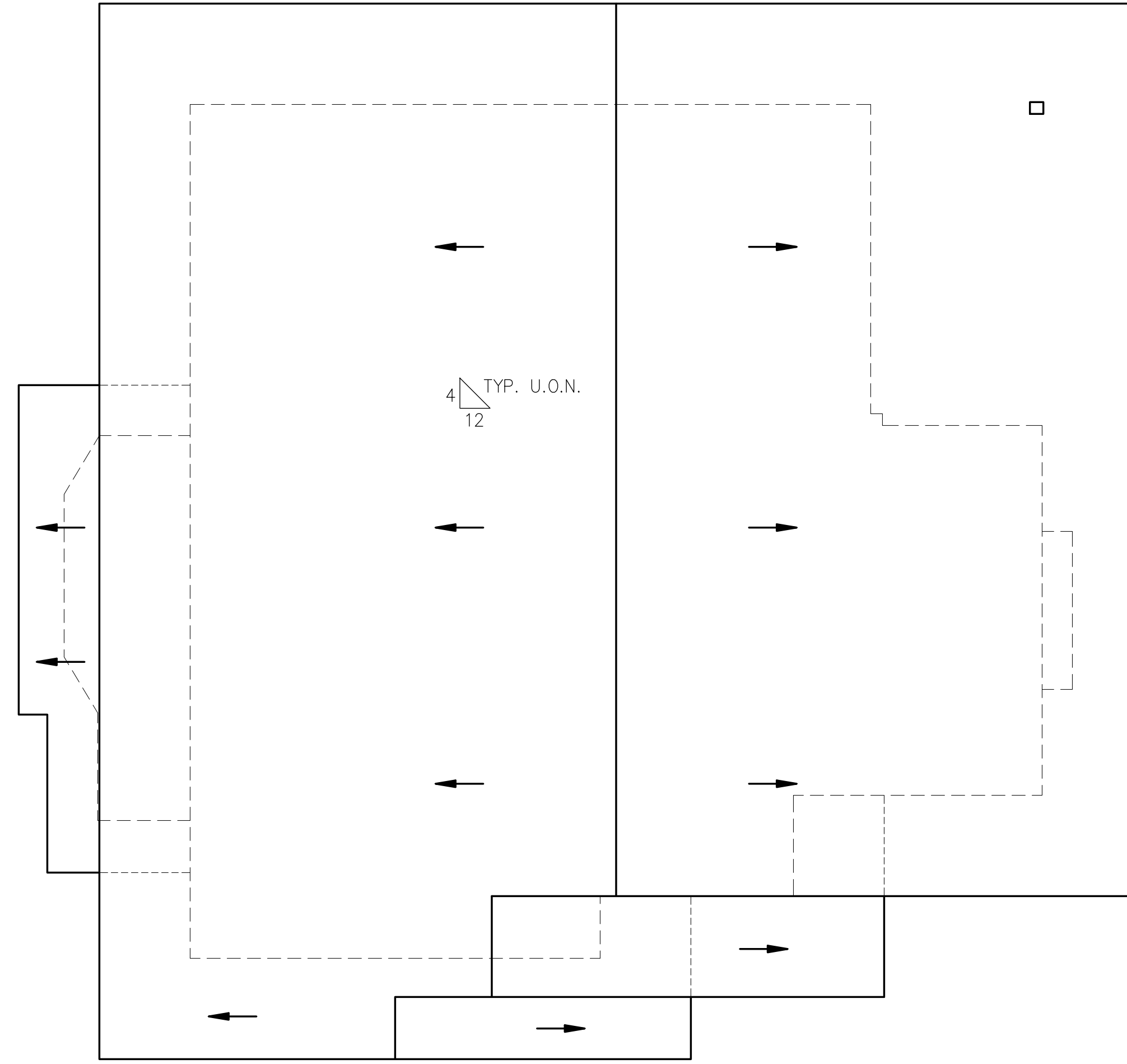


GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

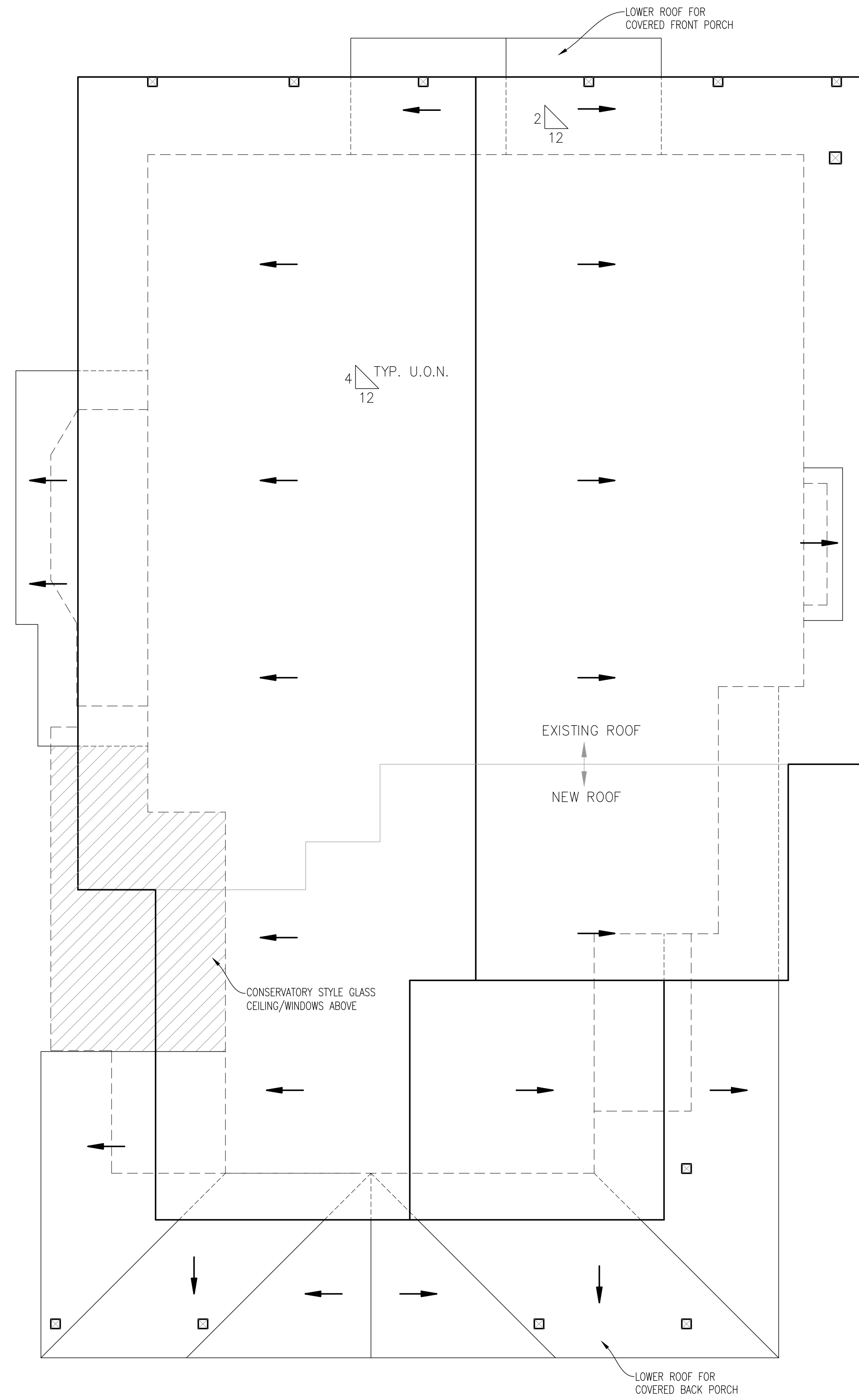
WEST ELEVATION

Date 8/28/2024
Scale 1/4" = 1'-0"
Drawn APD
Job
Sheet

A-7



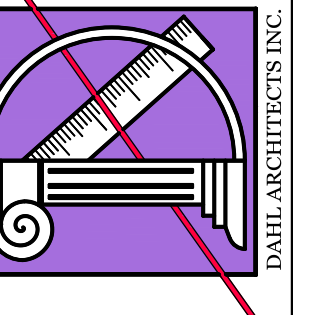
1 EXISTING ROOFPLAN
A-8 3/16" = 1'-0"



2 PROPOSED ROOFPLAN
A-8 3/16" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adrian@dahlarchitects.com

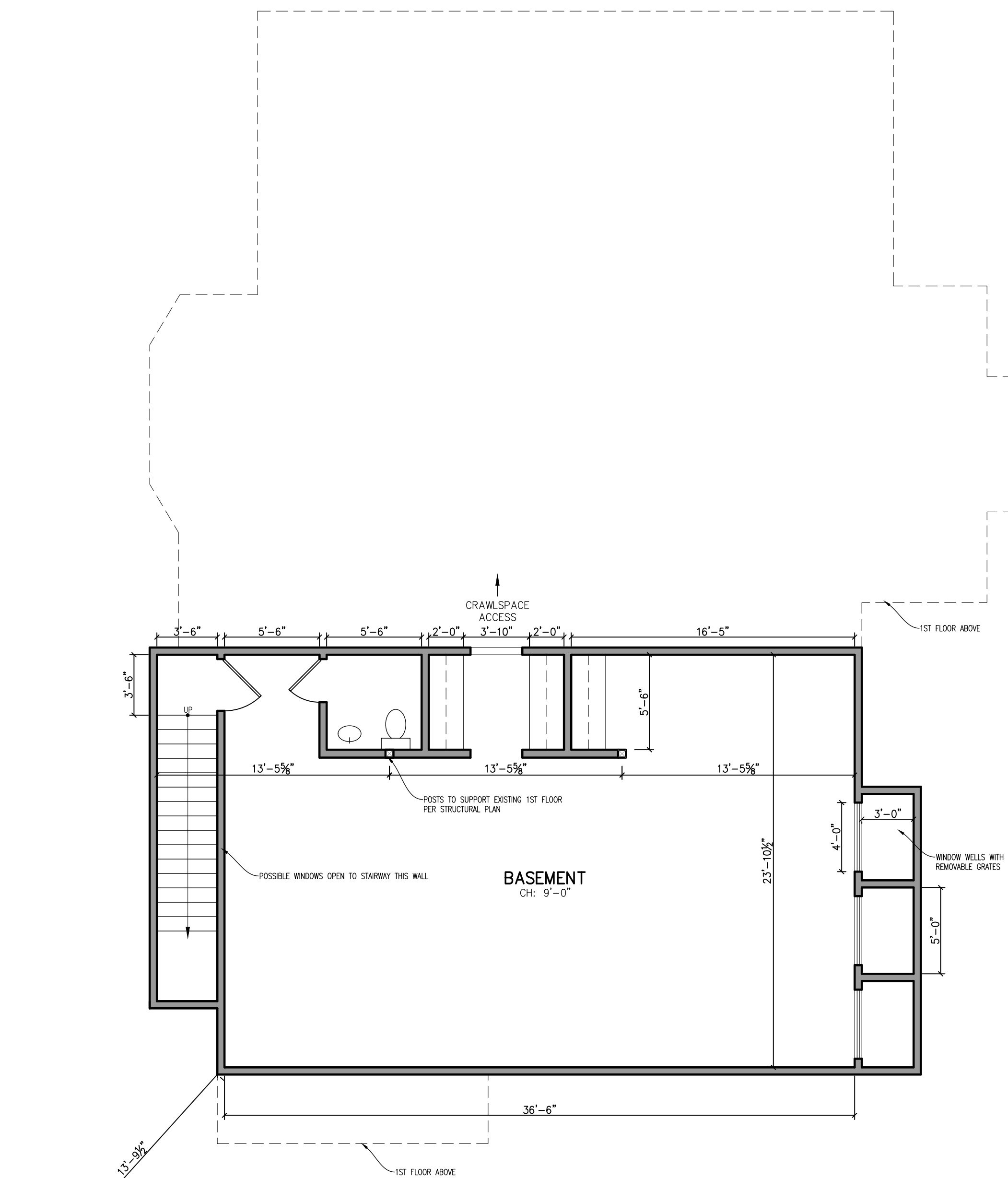


GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

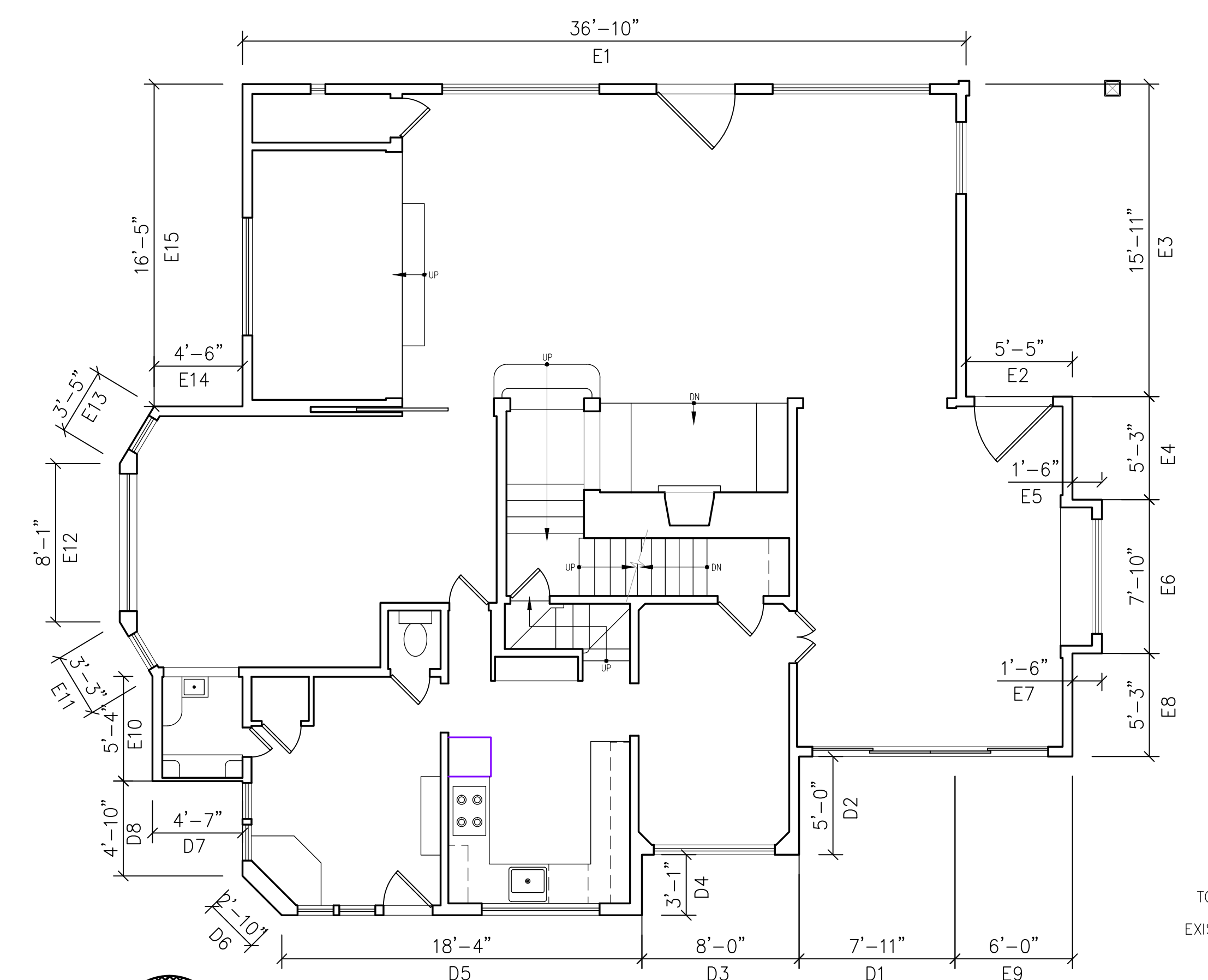
ROOFPLAN

Date 8/28/2024
Scale 3/16" = 1'-0"
Drawn APD
Job
Sheet

A-8



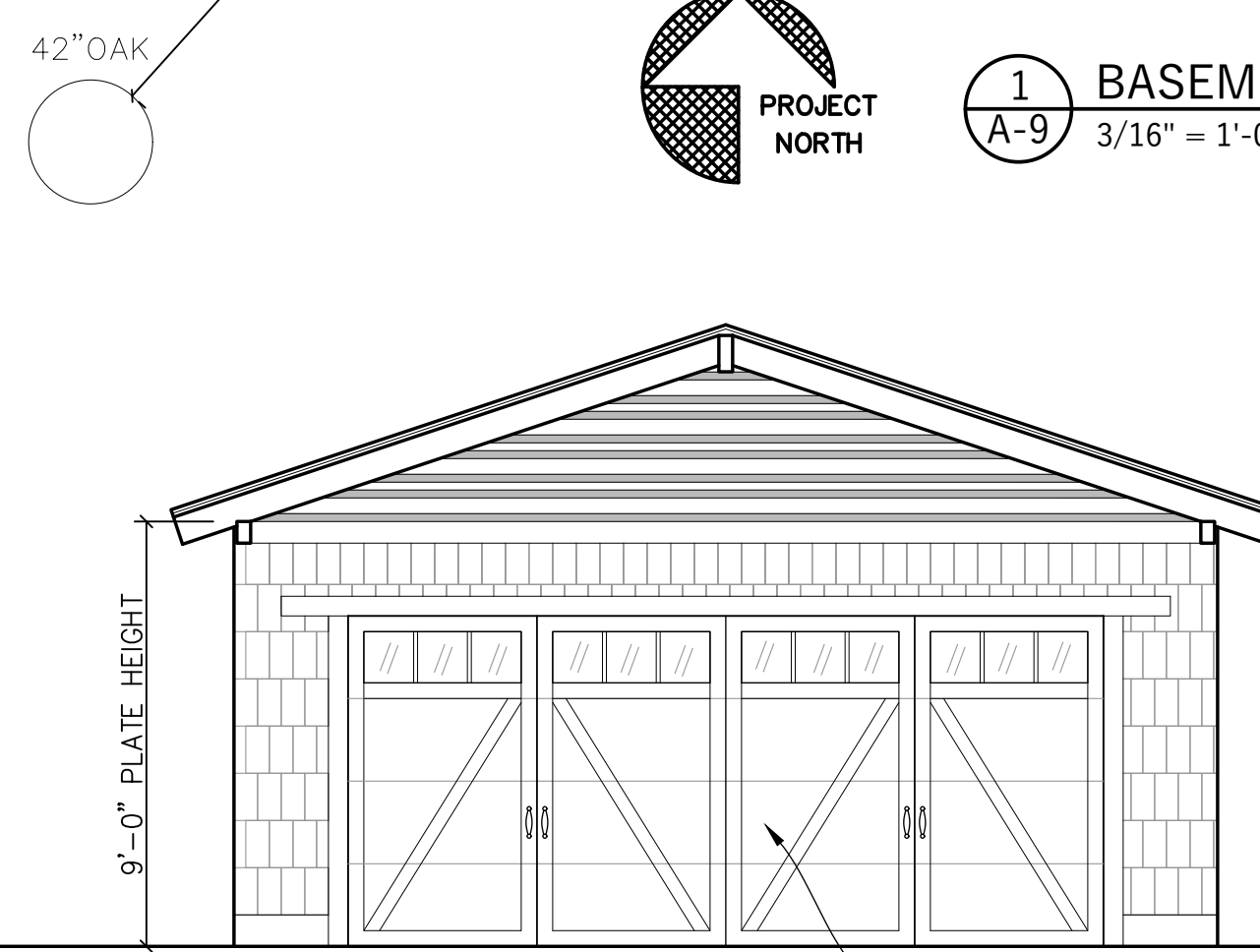
1 BASEMENT FLOORPLAN
 PROJECT NORTH
 A-9 3/16" = 1'-0"



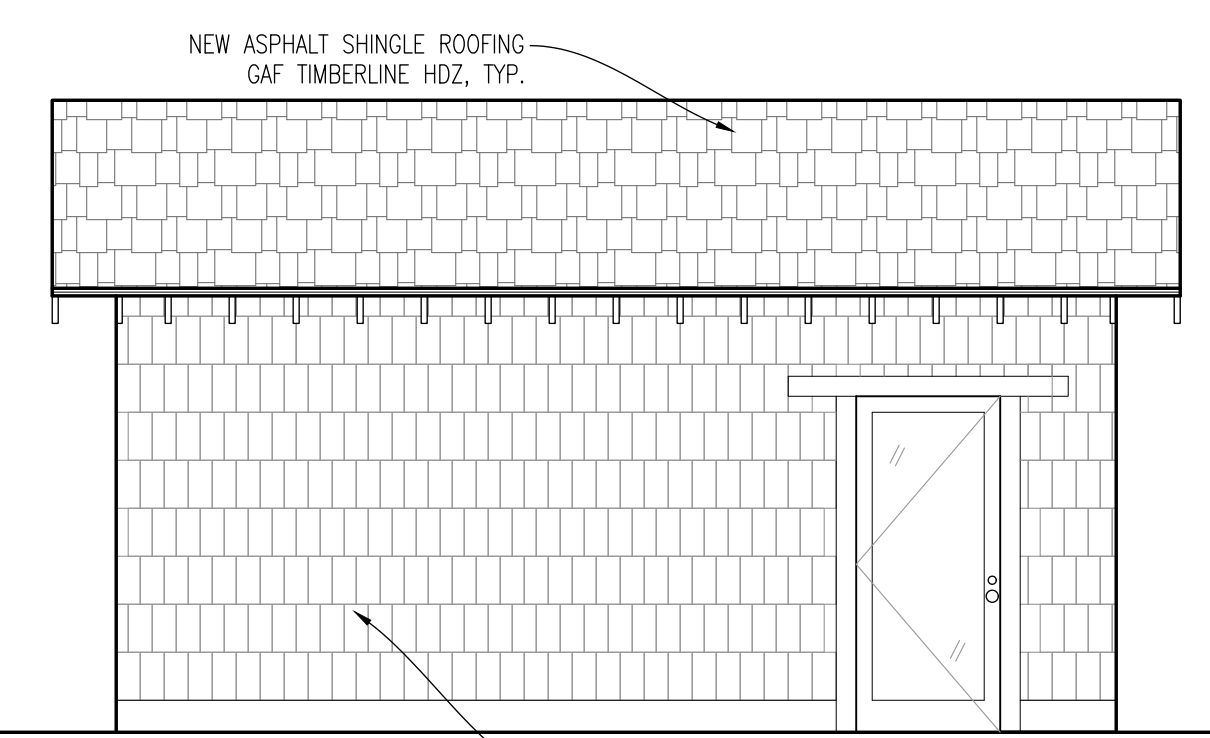
2 EXISTING/DEMO PLAN
 PROJECT NORTH
 A-9 3/16" = 1'-0"

DEMO CALCULATION (PERIMETER WALLS)			
EXISTING TO REMAIN	LENGTH	DEMO	LENGTH
E1	36'-10"	D1	7'-11"
E2	5'-5"	D2	5'-0"
E3	15'-11"	D3	8'-0"
E4	5'-3"	D4	3'-1"
E5	1'-6"	D5	18'-4"
E6	7'-10"	D6	2'-10"
E7	1'-6"	D7	4'-7"
E8	5'-3"	D8	4'-10"
E9	6'-0"	-	-
E10	5'-4"	-	-
E11	3'-3"	-	-
E12	8'-1"	-	-
E13	3'-5"	-	-
E14	4'-6"	-	-
E15	16'-5"	-	-
TOTAL:	126'-6"	TOTAL	54'-7"

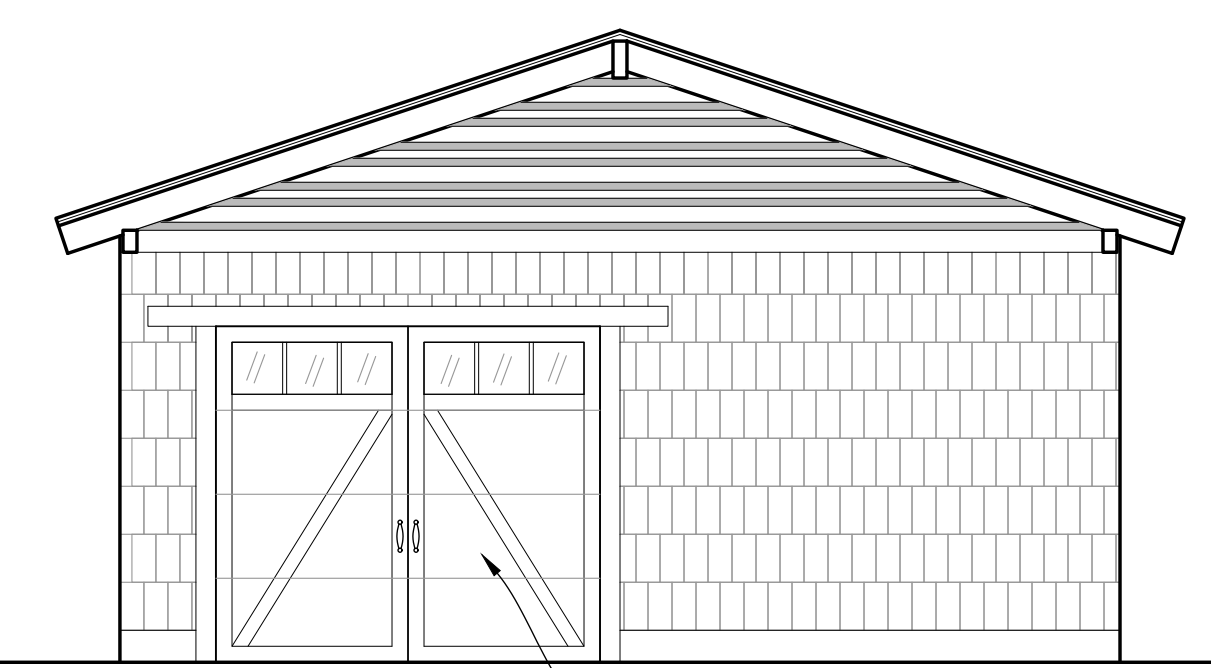
TOTAL LENGTH OF EXISTING PERIMETER WALLS = 181'-1"
 EXISTING WALLS TO BE REMOVED: 54.583/181.083 = 30.14%



4 GARAGE NORTH ELEVATION
 A-9 1/4" = 1'-0"

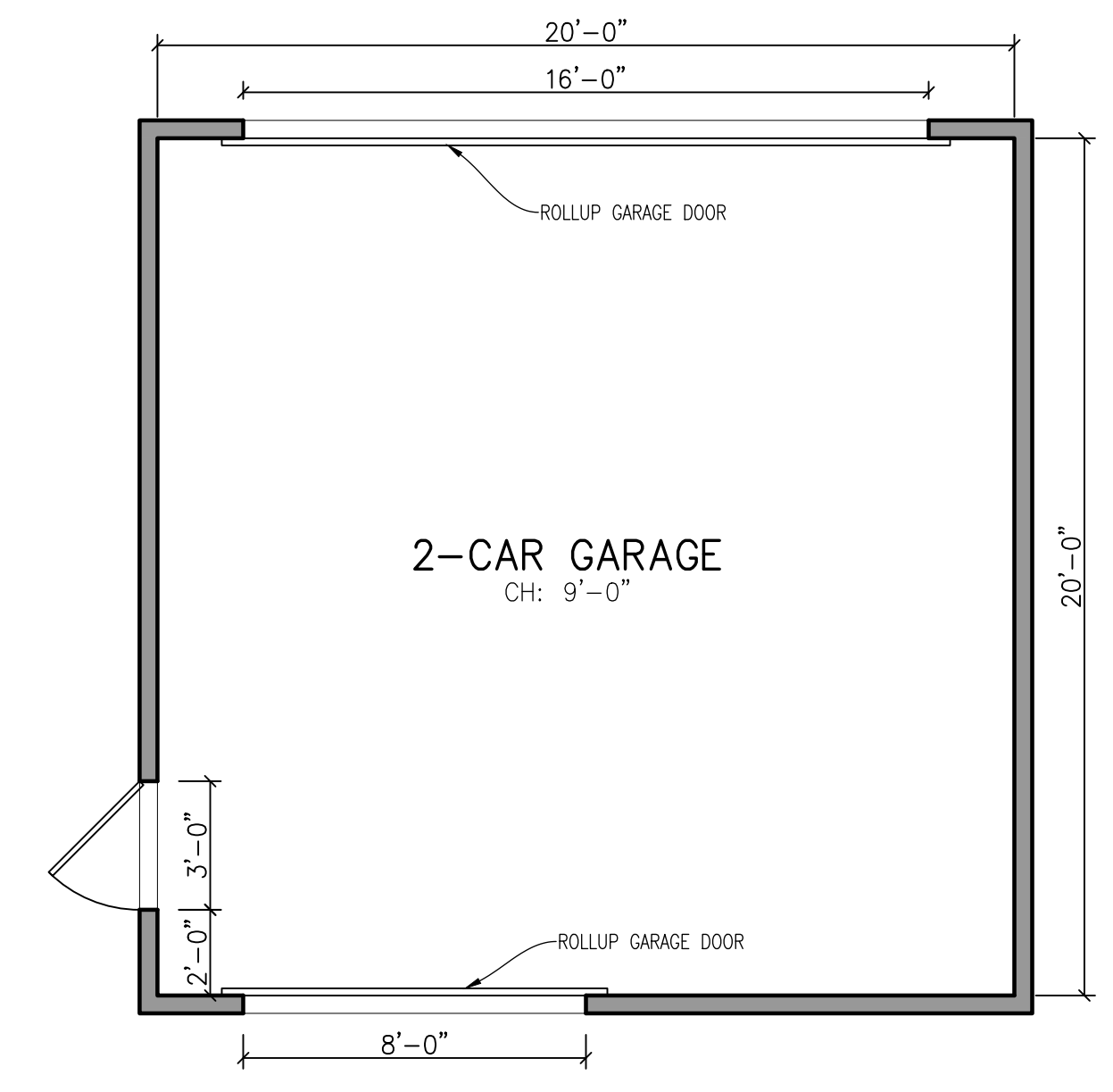


5 GARAGE WEST ELEVATION
 A-9 1/4" = 1'-0"



6 GARAGE SOUTH ELEVATION
 A-9 1/4" = 1'-0"

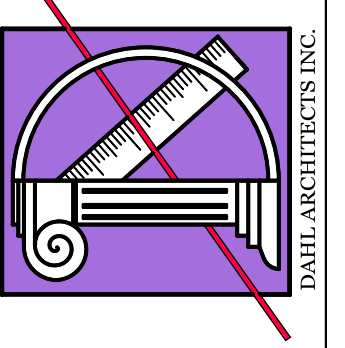
*EAST ELEVATION IS THE SAME AS WEST EXCEPT WITHOUT DOOR



3 GARAGE FLOORPLAN
 PROJECT NORTH
 A-9 1/4" = 1'-0"

REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 dahl@dahlarchitects.com



GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

**BASEMENT PLAN
 AND DEMO CALCULATION**

Date	8/28/2024
Scale	3/16" = 1'-0"
Drawn	APD
Job	
Sheet	

A-9

ATTACHMENT 3

Project Narrative



Dahl Architects, Inc

1134 El Centro Street
South Pasadena, CA 91030
(626) 564-0011, (626) 564-1591 fax

1831 Laurel CHC Resubmittal August 28, 2024 – Narrative of Changes

Since our previous meeting with the Cultural Heritage Commission on August 15th, we have considered the feedback we received from the Commissioners and modified the proposed project to be consistent with the Standards and Guidelines that dictated the discussion. These two changes to the proposed project are a reimagining of the front façade to reduce the scale of the proposed covered porch and moving the position of the garage to reestablish its historic relationship with the main home.

The Secretary of the Interior Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings (SOI Standards) provides instruction for replacing missing features such as porches:

“If adequate documentary and physical evidence exists, the feature may be accurately reproduced. A second option in a rehabilitation treatment for replacing a missing feature, particularly when the available information about the feature is inadequate to permit an accurate reconstruction, is to design a new feature that is compatible with the overall historic character of the building.” (SOI Standards, Page 78).

By using the documentary evidence of the Sanborn Fire Insurance Maps from 1910 and 1930, we have determined that there was a large covered porch on the original home that was replaced at some point by the small metal canopy that is inappropriate for the home’s Craftsman style. Beyond the size and location of the porch, we don’t know exactly how it looked or any of its detailing. Instead of accurately reproducing this feature, we are proposing to create a new design that is compatible with the historic character of the home. Compared to the previously proposed porch, we have reduced the width of the porch roof to be consistent with the roof shown on the Sanborn Maps – 20’ instead of the previous 30’. The reduced width also reduces the height of the roof and which allows it to avoid crowding the 2nd floor windows above. We have also removed the trellis portion that was proposed on the east and west sides of the porch roof, removed four of the six wood posts, removed the two concrete pilasters at each corner, removed the low planter in front and around the porch, and simplified the truss design under the porch roof gable. These changes reduce the scale of the proposed porch which allows the remaining original features of the home to be more visible (such as the braced wood column on the northeast corner) and for the overall change to the front façade to be minimized. The new porch will also be differentiated from the original home by using nominally-sized factory-cut lumber for the wood posts instead of the actual-size and rough-hewn lumber of the original posts (for example the new 8x8 posts will actually be 7-1/4”x7-1/4” instead of 8”x8”). Similar to the proposed differentiation in the addition by changing the shingle exposure, this differentiation won’t be immediately obvious but will be visible upon closer inspection.

The Sanborn Maps also provide documentary evidence for the location of the missing garage. Based on the 1910 map, the original home did have a 1-car garage in the southwest corner of the property along with a driveway on the west side of the home. By 1930, the map showed a 2-car garage on the east side of the home, about 10' back from the front of the home. During the 20 year period between maps, there was also a side addition on the west of the home which made the driveway on that side and the rear 1-car garage unusable. From 1930 until the demolition of the 2-car garage due to damage from a falling tree in 2008, the location next to the home acquired significance due to its visibility from the street and its relationship to the main home – the public would not have known there was another garage in the back and it is unclear when that garage was removed (but likely at the same time that the current swimming pool was added). We are proposing to build a new 2-car garage on the east side of the home that also has a 10' setback behind the front of the home to reestablish the historic relationship between garage and home. Similar to the porch, we don't know what the missing garage looked like beyond its general location and size. Following the SOI Standards, the new garage will be compatible with the design of the home and differentiated from original features. The proposed garage is a simplified form of the home with a basic gabled roof and shingles – however the shingles will have a shorter exposure (12" instead of 16") in the same way that the addition to the home is differentiated from the existing.

We hope that the City Staff and Commissioners agree that these changes to the previously submitted design bring the project into compliance with the Secretary of the Interior Standards for Rehabilitation and South Pasadena's Design Guidelines for Alterations & Additions to Historic Residences. We are looking forward to explaining these changes in more detail and discussing the project with you again during the next CHC Hearing.

Attachments:

- 1910 Sanborn Fire Insurance Map
- 1930 Sanborn Fire Insurance Map

ATTACHMENT 4

Window & Door Brochures

Clad Sedona Pushout Casement

WINDOWS F1,
G1, H, J, L,



Add a luxurious accent with our push-out casement window built with Old-World craftsmanship featuring interior wooden screens and dark bronze hardware made from sand-cast bronze. Available as single, French or radius top configurations to compliment any design.

Standard Construction:

- 0.062" thick extruded aluminum exterior.
- Clad frame is extruded with integral nail fin and corners are sealed with silicone, corner pads and mechanically fastened.
- 5-11/16" overall frame depth with standard 4-9/16" jamb depth.
- 1-3/4" sash thickness.
- Seamless, compression-style frame weatherstrip, leaf sash weatherstrip.
- Single handle lock system up to 42" tall. Multipoint with two locks if taller than 42". Standard SST friction hinge allows for 90-degree sash opening.
- French Casements have interior face-mounted flush bolts on the inactive sash.
- Standard pull-open wood screen with optional Genius roll-up screen. Standard mesh is charcoal fiberglass. Optional BetterVue and Ultra Vue mesh.



MINIMUM / MAXIMUM FRAME SIZES			
Additional sizes may be available upon approval.			
PUSHOUT CASEMENT		FRENCH PUSHOUT CASEMENT *	
Minimum Frame Width	15"	Minimum Frame Width	36"
Minimum Frame Height	18"	Minimum Frame Height	36"
Maximum Frame Width	36"	Maximum Frame Width	72"
Maximum Frame Height	84"	Maximum Frame Height	60"

*Not Rated

Performance Data:



Operating Casement: 36" x 72"

AIR INFILTRATION0.01/0.01/A3
WATER..... NO LEAKAGE @ 6.00 PSF
STRUCTURAL.....LC-PG35 (+35/-35)



Operating Casement: 36" x 84"

AIR INFILTRATION.....0.01/0.19/A4
WATERNO LEAKAGE @ 6.89 PSF
STRUCTURALCW-PG45 (+45/-45)*

*w/Multipoint hardware



Casement Picture: 78" x 75"

AIR INFILTRATION...0.01/0.01/FIXED
WATER..... NO LEAKAGE @ 7.52PSF
STRUCTURAL..... CW-PG50 (+50/-50)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Sedona Casement Product Performance Guide (Structural) located in the Technical Resources Library on our website.

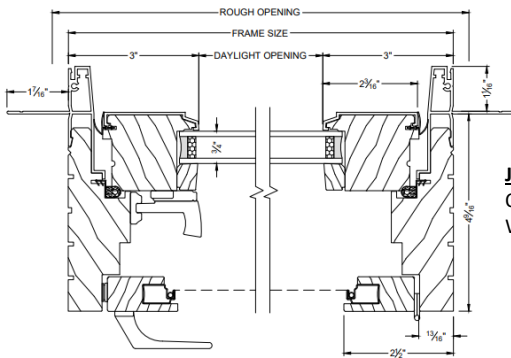
Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Low-E 366/i89	Low-E 272 Clear	Low-E 366	Low-E 366/i89
U-FACTOR..... 0.33	U-FACTOR.....0.32	U-FACTOR.....0.28	U-FACTOR.....0.30	U-FACTOR.....0.29	U-FACTOR.....0.26
SHGC..... 0.29	SHGC..... 0.19	SHGC.....0.19	SHGC.....0.28	SHGC.....0.19	SHGC.....0.19
VT 0.48	VT..... 0.43	VT.....0.42	VT0.48	VT 0.43	VT.....0.42
CR 56	CR..... 57	CR.....44	CR 59	CR..... 60	CR.....48

All values represent insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Sedona Pushout Casement Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

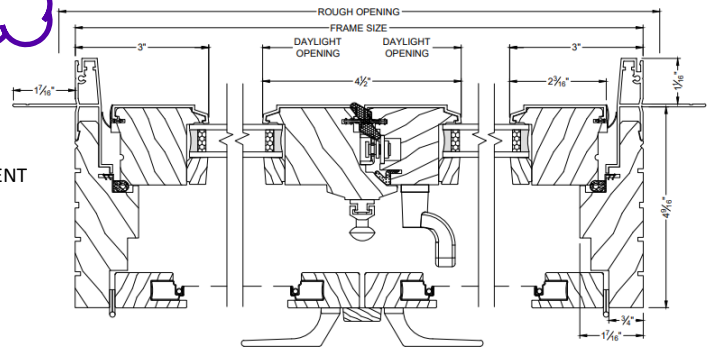
Clad Sedona Pushout Casement
Operating



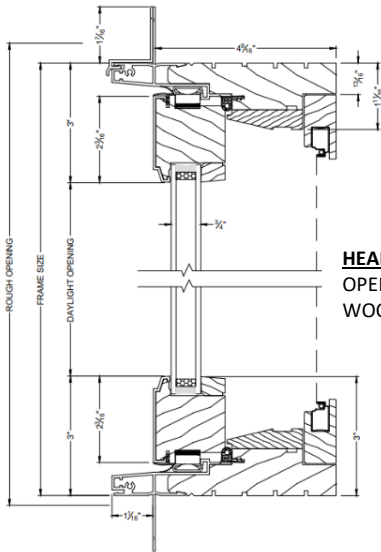
**WINDOWS F1,
G1, H, J, L,**

JAMB DETAIL
OPERATING PUSHOUT CASEMENT
WOOD SWING SCREEN

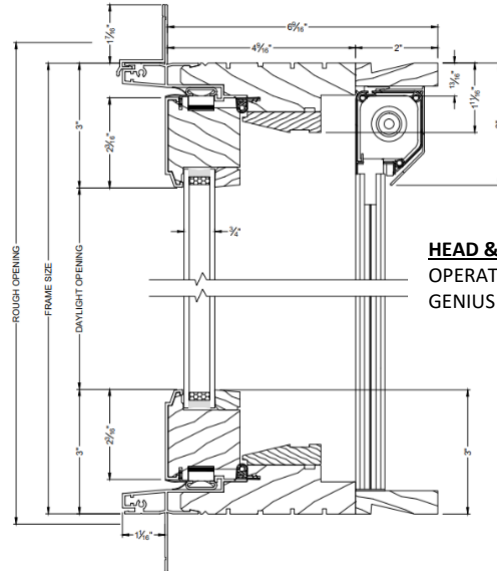
Clad Sedona French Pushout Casement
Operating



HEAD & SILL DETAIL
OPERATING PUSHOUT CASEMENT
GENIUS ROLL DOWN SCREEN

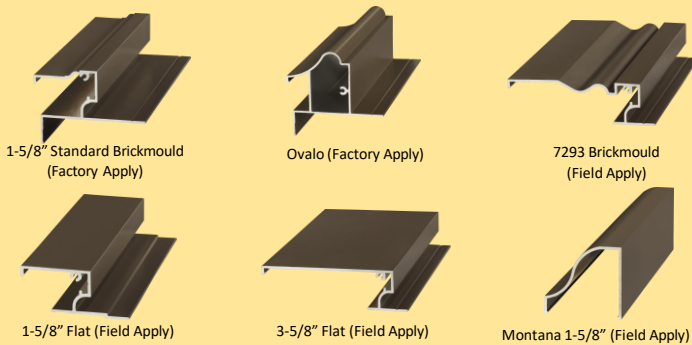


HEAD & SILL DETAIL
OPERATING PUSHOUT CASEMENT
WOOD SWING SCREEN



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

EXTERIOR TRIM OPTIONS



Clad Sedona Pushout Casement Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available in black warm edge or Cardinal spacer for optimum efficiency.
- Grille options include Simulated Divided Lite and Grilles-Between-Glass.
- Wood swing screen or optional Genius retractable screens.
- 10 factory finished Ultra Coat Paint or Primed interior.

OPERATING HANDLE AND SCREEN PULL

Available in: Dark Bronze and Satin Nickel finishes



Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.

Place Business Card or
Company Information Here

Clad Direct Glaze

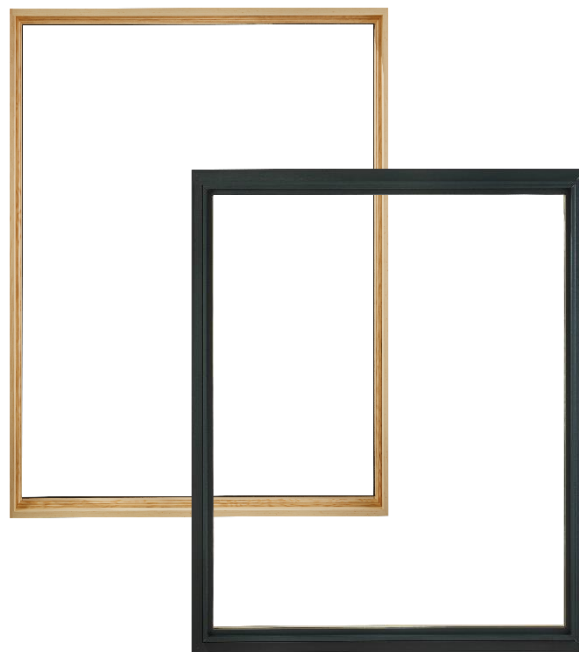
WINDOWS K, Q, R



Known for their straight lines, narrow profiles, and large sizes, Sierra Pacific's Direct Glaze windows in geometric or radius shapes will accentuate and amplify your design. And feel free to be creative with your design as we'll work with you to create your own custom shapes.

Standard Construction:

- 0.062" extruded aluminum cladding.
- Clad frame is extruded with integral nail fin and corners are sealed with silicone and foam pads and mechanically fastened.
- Standard 4-9/16" jamb depth. Minimum jamb depth of 3-1/2".
- Standard 3/4" overall glass thickness, glazed from the interior and secured with a removable glazing bead in a traditional and contemporary profile.
- Geometric and radius shapes.



MINIMUM / MAXIMUM FRAME SIZES	
Additional sizes may be available upon request and approval. <i>Min/Max sizes listed Do Not apply to radius units. Please contact SPW for details.</i>	
DIRECT GLAZE	
Minimum Frame Width	10"
Minimum Frame Height	10"
Maximum Frame Width	144"
Maximum Frame Height	144"
Max. Frame Sq. Ft.	60 Sq. Ft.

Performance Data:



Direct Glaze: 96" x 75" (Single Unit Only)

AIR INFILTRATION.....0.01/0.01/Fixed
 WATER.....NO LEAKAGE @ 6.06 PSF
 STRUCTURAL.....CW-PG40 (+40/-40)



Direct Glaze: 60" x 120" (Single Unit Only)

AIR INFILTRATION.....0.01/0.01/Fixed
 WATER.....NO LEAKAGE @ 6.06 PSF
 STRUCTURAL.....CW-PG40 (+40/-40)



Direct Glaze: 72" x 60" (Single Unit Only)

AIR INFILTRATION.....0.01/0.01/Fixed
 WATER.....NO LEAKAGE @ 8.35 PSF
 STRUCTURAL.....CW-PG55 (+55/-55)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Direct Glaze Product Performance Guide (Structural) located in the Technical Resources Library on our website.

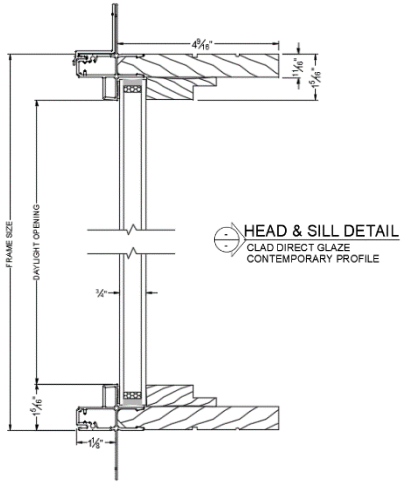
Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E Clear	Low-E 366	Triple IG LE/CL/CL	Low-E Clear	Low-E 366	Triple IG LE/CL/CL
U-FACTOR.....0.32	U-FACTOR.....0.31	U-FACTOR.....0.24	U-FACTOR.....0.28	U-FACTOR.....0.27	U-FACTOR.....0.21
SHGC.....0.38	SHGC.....0.25	SHGC.....0.35	SHGC.....0.37	SHGC.....0.25	SHGC.....0.35
VT.....0.65	VT.....0.59	VT.....0.59	VT.....0.65	VT.....0.59	VT.....0.59
CR.....52	CR.....52	CR.....62	CR.....55	CR.....55	CR.....64

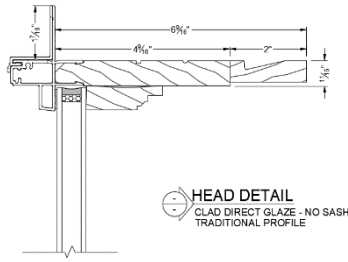
Values represent Direct Glaze units with insulated glass using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Direct Glaze Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

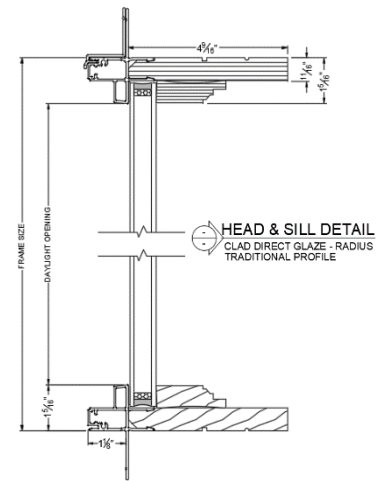
Direct Glaze - Contemporary
4-9/16" Jamb



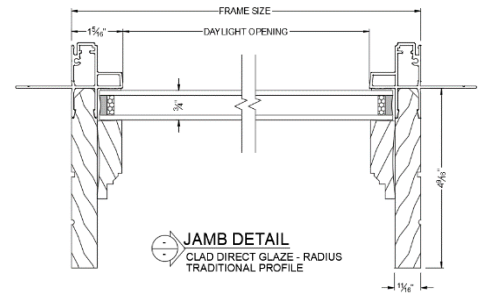
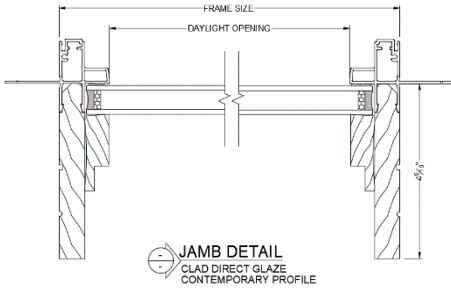
Direct Glaze - Traditional
6-9/16" Jamb



Direct Glaze - Radius Traditional
4-9/16" Jamb



WINDOWS K, Q, R



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Common Direct Glaze shapes. Contact us for virtually limitless available options.

EXTERIOR TRIM OPTIONS

1-5/8" Standard Brickmould (Factory Apply)	Ovalo (Factory Apply)	7293 Brickmould (Field Apply)
1-5/8" Flat (Field Apply)	3-5/8" Flat (Field Apply)	Montana 1-5/8" (Field Apply)

Clad Direct Glaze Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-Glass available in 5/8" and 1" flat.
- Factory side-by-side, stacking and pocket mulls. Structural support options available.
- 10 factory finished Ultra Coat Paint or Primed interior.

Place Business Card or Company Information Here

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.

Clad Standard Awning

WINDOWS M,
Q1, R1



Like all our products, Sierra Pacific awning windows are custom made, by hand, to your exact specifications. The Clad Standard Awning is commonly used alone or in combination with the Clad Standard Casement creating identical sightlines and symmetrical balance.

Standard Construction:

- 0.050" thick extruded aluminum exterior frame with mitered and sealed injected corners.
- 5-11/16" overall frame depth with standard 4-9/16" jamb depth.
- Full 1-3/4" sash thickness with 2-3/8" stiles and rails.
- Seamless, compression-style frame weatherstrip. PVC bulb sash weatherstrip.
- Truth Encore guide bar operator and standard folding handle/cover.
- Two flush handle sash locks on every unit.



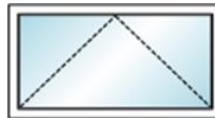
MINIMUM / MAXIMUM FRAME SIZES			
Additional sizes may be available upon approval.			
STANDARD AWNING – OPERATING		STANDARD AWNING – PICTURE/FIXED	
Minimum Frame Width	15.6875"	Minimum Frame Width	12"
Minimum Frame Height	16.1875"	Minimum Frame Height	12"
Maximum Frame Width	60.1875"	Maximum Frame Width	120"
Maximum Frame Height	64.1875"	Maximum Frame Height	120"
		Maximum Square Feet	55

Performance Data:



Operating Awning: 48.1875" x 48.1875"

AIR INFILTRATION.....0.01/0.01/A3
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....CW-PG50 (+50/-50)



Operating Awning: 60.1875" x 32.1875"

AIR INFILTRATION.....0.01/0.02/A3
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....CW-PG50 (+50/-50)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Standard Awning Product Performance Guide (Structural) located in the Technical Resources Library on our website.

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)	Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)
U-FACTOR.....0.33	U-FACTOR.....0.32	U-FACTOR.....0.25	U-FACTOR.....0.30	U-FACTOR.....0.29	U-FACTOR.....0.23
SHGC.....0.28	SHGC.....0.19	SHGC.....0.24	SHGC.....0.28	SHGC.....0.19	SHGC.....0.24
VT.....0.47	VT.....0.42	VT.....0.40	VT.....0.47	VT.....0.42	VT.....0.40
CR.....54	CR.....54	CR.....51	CR.....58	CR.....58	CR.....56

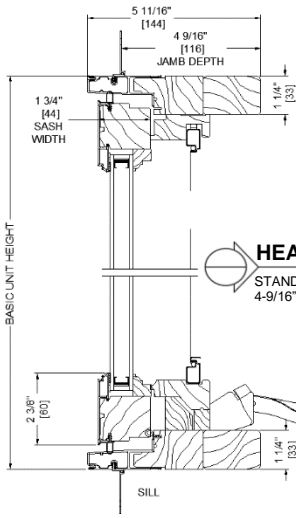
Values represent insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Standard Awning Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

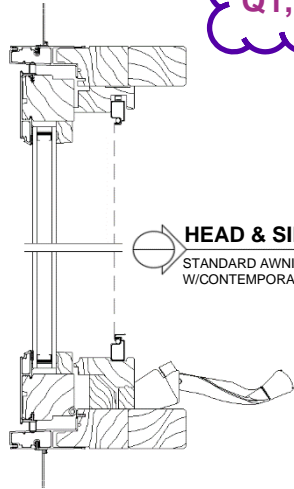
Operating Awning



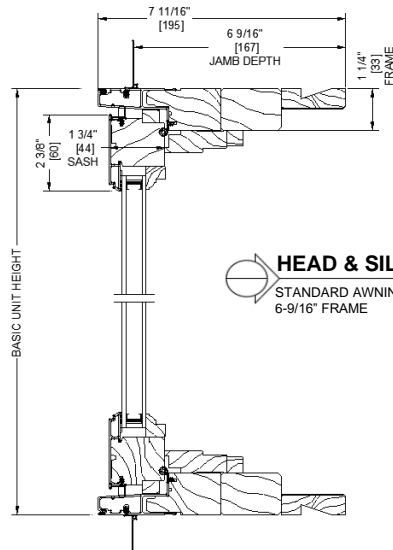
Picture/Fixed Awning



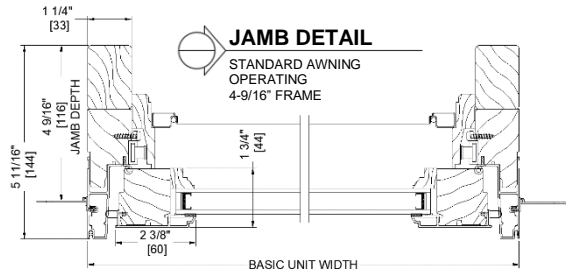
HEAD & SILL DETAIL
STANDARD AWNING OPERATING
4-9/16" FRAME



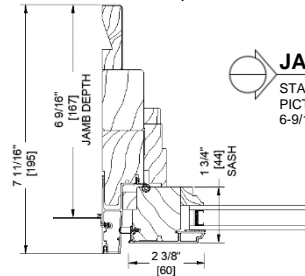
HEAD & SILL DETAIL
STANDARD AWNING OPERATING
W/CONTEMPORARY GLAZING BEAD



HEAD & SILL DETAIL
STANDARD AWNING PICTURE/FIXED
6-9/16" FRAME



JAMB DETAIL
STANDARD AWNING
OPERATING
4-9/16" FRAME



JAMB DETAIL
STANDARD AWNING
PICTURE/FIXED
6-9/16" FRAME

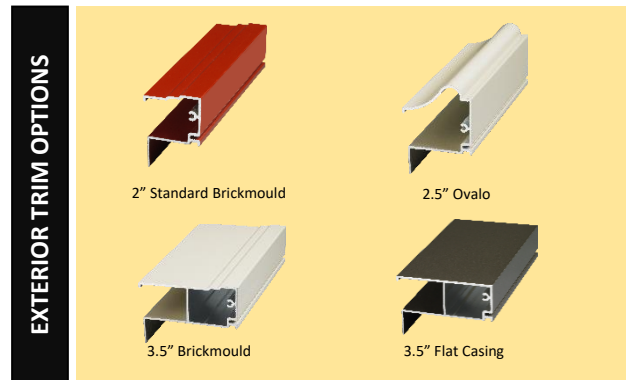
Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Typical configurations shown. Handing as viewed from the exterior. Contact us for additional options.

Clad Standard Casement Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2604 specifications. Optional AAMA 2605 available.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-Glass available in 5/8" and 1" flat.
- Optional veneer wrapped lift rail screen.
- 10 Factory finished Ultra Coat Paint, 3 Ultra Stain or Primed interior options.



Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



Westchester Double Hung



Old world design meets modern day performance. The design of the Westchester Double Hung is historically driven with it's narrow checkrail, stiles, and wide bottom rail, while maintaining the modern conveniences of hidden tilt latches, effortless operation, and superior performance in low maintenance finishes. With a complete product offering including operating double and single hung, picture, and transom configurations, the Westchester Double Hung is sure to fill any niche.

Standard Construction:

- Frame with 0.063" thick exterior cladding with integral nail fin, mitered corners that are mechanically fastened and 5/8" thick wood interior.
- Sloped sill fabricated with 0.078" thick extruded vinyl with aluminum clad exterior and wood interior. PVC endcap water management system with integral angled installation leg.
- Full 1-3/4" thick sash with stiles and rails slot and tenon joined; Checkrail joined using dovetail and thermally broken with fiberglass interlock. Narrow 2" stiles and upper sash top rail, 1-1/2" checkrail, and 3-3/8" bottom sash rail. Stiles run through the bottom and top rails. 3/4" and 1" glass thickness.
- Removable tilt in sash operated with concealed constant force balances and hidden tilt latches in the sash stiles.
- Lock and latches operated with single combination lock and tilt mechanism.
- Standard, innovative, narrow profile, removable Flexscreen.



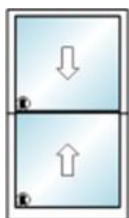
Pictured: Westchester Double Hung, (Right) Ultra coat black interior

MINIMUM / MAXIMUM FRAME SIZES

Additional sizes may be available upon request and approval.

WESTCHESTER DOUBLE/SINGLE HUNG		WESTCHESTER PICTURE		WESTCHESTER TRANSOM	
Minimum Frame Width	17-1/2"	Minimum Frame Width	17-1/2"	Minimum Frame Width	17-1/2"
Minimum Frame Height	35-1/2"	Minimum Frame Height	35-1/2"	Minimum Frame Height	15-1/2"
Maximum Frame Width	59-1/2"	Maximum Frame Width	83-1/2"	Maximum Frame Width	95-1/2"
Maximum Frame Height	107-1/2"	Maximum Frame Height	107-1/2"	Maximum Frame Height	35-1/2"
		Maximum Sq/Ft	56	Maximum Sq/Ft	24

Performance Data:



Operating Double Hung: 47.5" x 83.5" Frame Size

AIR INFILTRATION.....0.13/0.11
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....LC-PG50 (+50/-55)

Operating Double Hung: 59.5" x 107.5" Frame Size

AIR INFILTRATION.....0.13/0.13
 WATER.....NO LEAKAGE @ 4.50 PSF
 STRUCTURAL.....LC-PG30 (+30/-30)



Picture Unit: 71.5" x 107.5" Frame Size

AIR INFILTRATION.....0.01/0.02
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....LC-PG50 (+50/-50)

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)	Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)
U-FACTOR.....0.32	U-FACTOR.....0.31	U-FACTOR.....0.24	U-FACTOR.....0.29	U-FACTOR.....0.28	U-FACTOR.....0.21
SHGC.....0.28	SHGC.....0.20	SHGC.....0.26	SHGC.....0.30	SHGC.....0.20	SHGC.....0.26
VT.....0.49	VT.....0.46	VT.....0.44	VT.....0.51	VT.....0.46	VT.....0.44
CR.....53	CR.....54	CR.....51	CR.....56	CR.....57	CR.....55

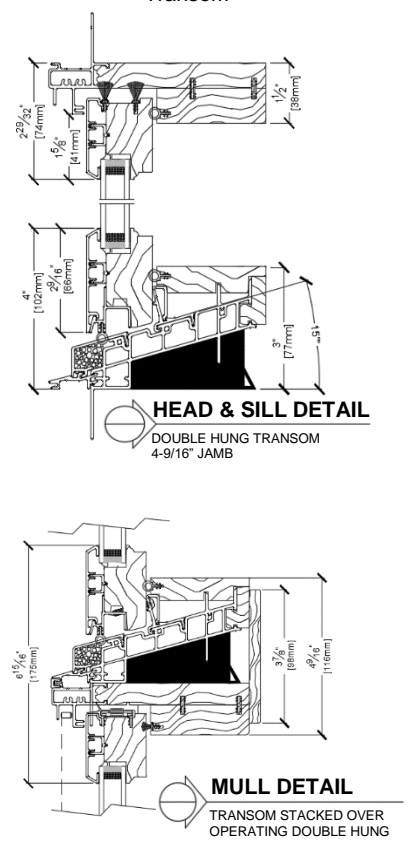
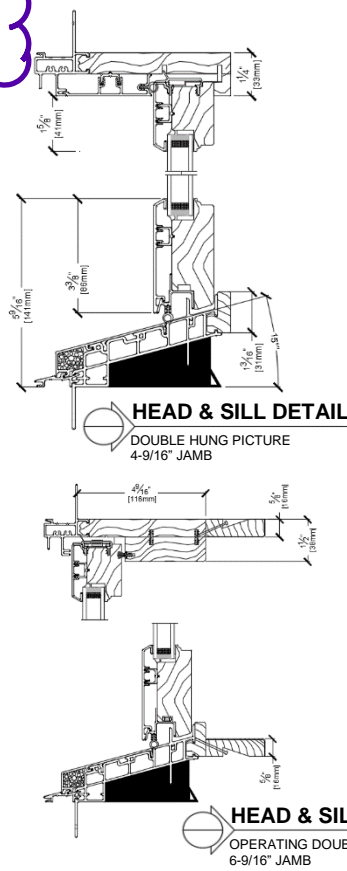
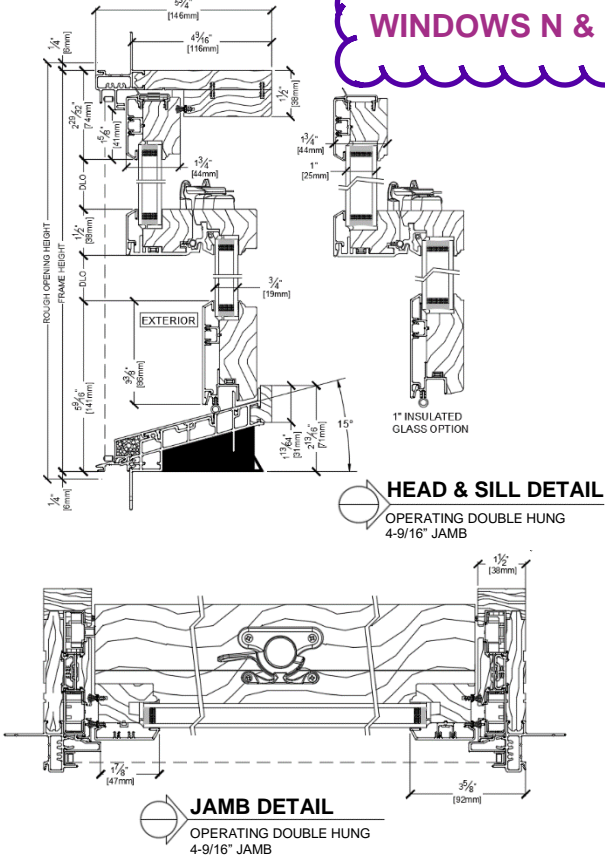
Values represent insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Westchester Double/Single Hung Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

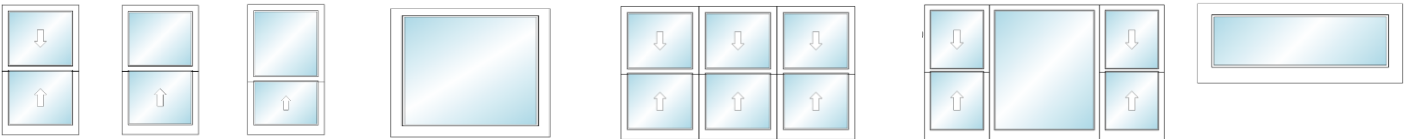
Clad Westchester Double Hung
Operating

Clad Westchester Double Hung
Picture

Clad Westchester Double Hung
Transom



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Typical configurations shown. Contact us for additional options.

LOCKING/OPERATING HARDWARE



Bright Brass



Matte Black

OPTIONAL LIFT HANDLES



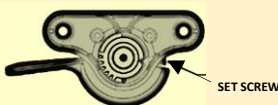
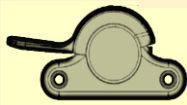
Finger Lift

Cabinet Handle

Twelve Available Finishes:

White, Champagne, Bronze, Bright Brass, Brushed Chrome, Polished Chrome, Antique Brass, Oil Rubbed Forever Bronze, Chestnut Bronze, Matte Black, Satin Nickel, Satin Brass

OPTIONAL CUSTODIAL LOCK FEATURE



Westchester Double Hung / Single Hung
Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available using black warm edge or Cardinal XL Edge spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-Glass available in 5/8" flat and 11/16" contour.
- 60/40, 40/60 or custom venting splits.
- Optional roll formed full or half framed screens.
- Optional non-tilt adapter hardware.
- 10 factory finished Ultra Coat Paint colors or 3 Ultra Stain interior options.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



Timber Curtain Wall



Make a dramatic statement to a home or commercial building using our custom-designed Architectural Wall System with all-wood interiors and structural integrity. These advanced systems feature laminated wood beams that can be designed into your residential or commercial projects. Our wood curtain wall can be constructed with insulated glass for maximum unobstructed views or compliment your wall design with our operable doors and windows for optional ventilation and functionality.

Standard Construction:

- Vertical and structural corner wall systems available.
- Each wall system is expertly designed to meet your project’s structural load and performance requirements.
- Beam depths will vary based on structural load and overall size of curtain wall.
- Standard 3 inch or 5 inch thick Douglas fir glue-laminated beams.
- 6063 T5 grade exterior aluminum, powder coated in AAMA 2605 or AAMA 2604 textured finish.
- Pressure equalized, exterior glazed system with 1 inch or 1-1/4 inch overall insulated glass thickness with box spacer.
- Concealed fasteners, anchors, and connection devices for a clean, finished look.



Pictured: Timber Curtain Wall System with Outswing Door.

Performance Data:



Tested Wall Configuration: 126" x 102"*

AIR INFILTRATION.....0.03 @ 6.24 PSF
 WATER.....NO LEAKAGE @ 10.5 PSF
 STRUCTURAL.....+70/-70 (DP70)
 LATERAL DISPLACEMENT.....NO DAMAGE WHEN DISPLACED 1.25"***
 SEISMIC MOVEMENT.....WITHSTAND UP TO 1.87" MOVEMENT**



**The above stated values for air, water, structural windload, lateral displacement and seismic testing are a base representation of a test specimen measuring 126 INCHES (3200mm) wide by 102 INCHES (2590mm) high. Configurations and sizes will vary per project therefore engineering must be consulted to determine the performance values for each project’s application.*

***Lateral displacement and seismic movement tested to AAMA 501.4 standard.*

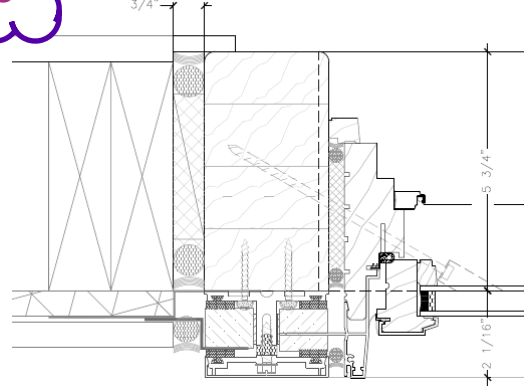
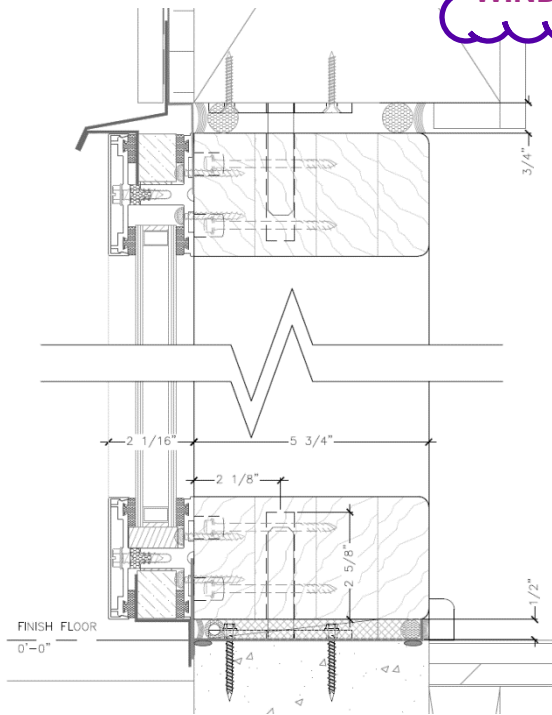
Thermal Performance (NFRC):

The Timber Curtain Wall System is constructed using insulated glass units or select SPW operating units. Therefore, the thermal performance for the wall system will be dependent on the type of glass used or the performance of the SPW unit type being used. Please refer to the website, www.sierrapacificwindows.com/TechnicalDocuments, for various glass make-ups simulated for NFRC numbers.

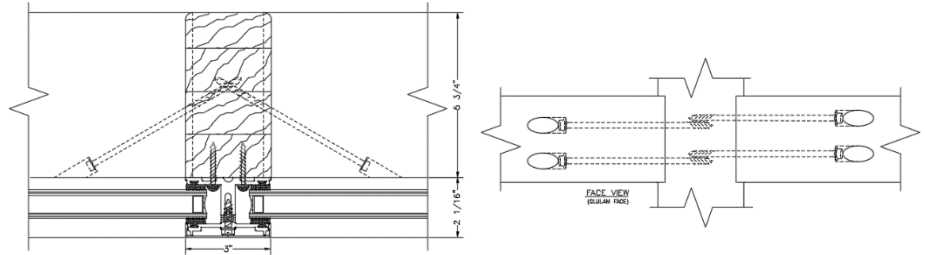
Typical Head and Sill Pin Anchor
3" x 5 3/4" Glulam
Vertical Section

WINDOW SYSTEM O

Typical End Post w/Clad Urban Awning
3" x 5 3/4" Glulam
Horizontal Section



Intermediate Post @ Mullion
3" x 5 3/4" Glulam
Horizontal Section w/Face View



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Every Timber Curtain Wall System is custom designed, meeting the project's performance requirements and unique design. Contact your SPW Architectural Consultant to discuss the limitless design potential this wall system can provide.

Architectural Wall System Additional Features

- Color Palette of 70 powder coated colors in six design collections in AAMA 2605 or AAMA 2604 finish.
- Optional architectural grade Alaskan yellow cedar beams ideal for high moisture applications.
- Sierra Pacific windows and doors may be incorporated in to the wall system.
- Vertical and Structural Corner construction available.
- Options for custom exterior aluminum caps or wood exterior caps may be incorporated.

Place Business Card or
Company Information Here

Please visit our website for additional details or to contact your nearest Sierra Pacific Architectural Consultant.

Clad Swing Patio Door (CA)



Available as an inswing or outswing operation, single, double, or triple, with or without sidelites, Sierra Pacific's California based swinging doors are the most eloquent answer to opening your world to the outdoors. Personalize your design with a graceful radius top, lockrail, or panel insert. Beyond their beauty, you'll quickly see our doors are built to the highest quality of standards.

Standard Construction:

- 1-3/4" thick panel is constructed with 0.075" thick extruded aluminum. Available with 3-3/8" or 4-5/8" stiles and with 4-5/8", 6-13/16", or 10" bottom rail.
- Standard 4-9/16" jamb depth frame constructed with 0.062" thick extruded aluminum and integral nailing flange.
- Multi-point locking mechanism with solid forged brass handles
- 3, 4, or 5 hinges depending on door height. Standard adjustable hinges and optional ball bearing hinges on inswing and outswing operating doors.



MINIMUM / MAXIMUM FRAME SIZES - OPERATING			
Additional sizes may be available upon approval.			
	1-WIDE	2-WIDE	3-WIDE
INSWING DOOR			
Minimum Frame Width*	19-11/16"	38-9/16"	59-1/16"
Maximum Frame Width*	43-11/16"	86-9/16"	113-1/16"
OUTSWING DOOR			
Minimum Frame Width*	19-13/16"	39-1/4"	59-7/16"
Maximum Frame Width*	43-13/16"	87-1/4"	113-7/16"
Minimum Frame Height	61-3/4" (Inswing)	61-3/16" (Outswing)	
Maximum Frame Height	121-3/4" (Inswing)	121-3/16" (Outswing)	

*Actual minimum and maximum width limitations will vary depending on height selected.

Performance Data:



Inswing French: 74.5625" x 98"

AIR INFILTRATION.....0.06/0.06/A3
 WATER.....NO LEAKAGE @ 3.76 PSF
 STRUCTURAL.....LC-PG25 (+25/-25)



Inswing w/Mulled Sidelite: 87.25" x 98"

AIR INFILTRATION.....0.04/0.07/A3
 WATER.....NO LEAKAGE @ 4.59 PSF
 STRUCTURAL.....LC-PG30 (+30/-30)

Outswing French: 75.125" x 97.25"

AIR INFILTRATION.....0.03/0.03/A3
 WATER.....NO LEAKAGE @ 2.92 PSF
 STRUCTURAL.....LC-PG25 (+25/-25)

Outswing w/Mulled Sidelite: 88" x 97"

AIR INFILTRATION.....0.02/0.06/A3
 WATER.....NO LEAKAGE @ 2.93 PSF
 STRUCTURAL.....LC-PG40 (+40/-40)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Swing Door Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Low-E 272/180/i89	Low-E 272 Clear	Low-E 366	Low-E 272/180/i89
U-FACTOR.....0.31	U-FACTOR.....0.31	U-FACTOR.....0.24	U-FACTOR.....0.29	U-FACTOR.....0.28	U-FACTOR.....0.22
SHGC.....0.25	SHGC.....0.17	SHGC.....0.22	SHGC.....0.25	SHGC.....0.17	SHGC.....0.22
VT.....0.43	VT.....0.38	VT.....0.37	VT.....0.43	VT.....0.38	VT.....0.37
CR.....59	CR.....59	CR.....53	CR.....62	CR.....63	CR.....59

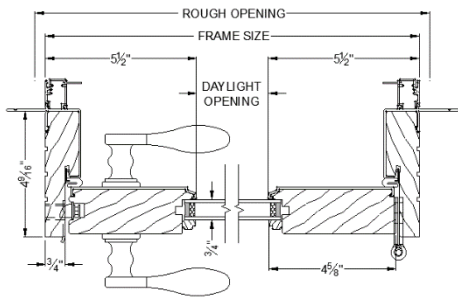
Values represent the California based Clad Inswing Doors. Insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Swing Door Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

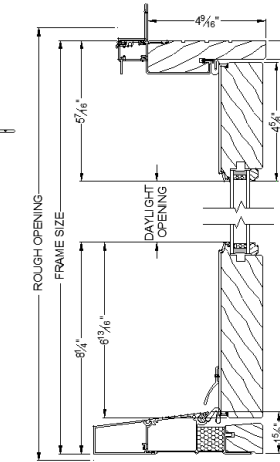
Clad Inswing Door
4-9/16" JAMB



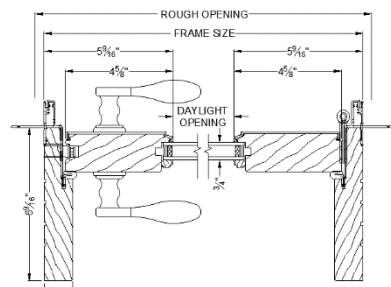
Clad Outswing Door
6-9/16" JAMB



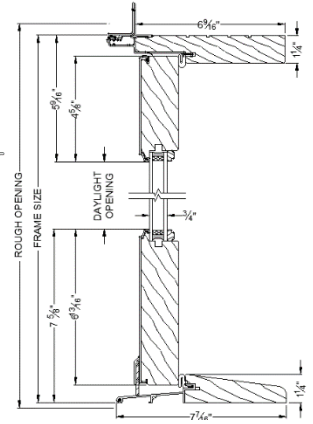
JAMB DETAIL
1-PANEL OPERATING INSWING
4-9/16" JAMB



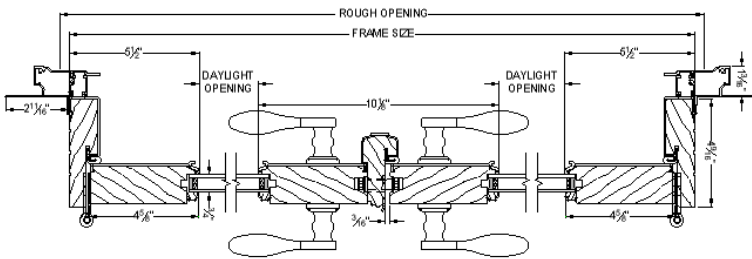
HEAD & SILL DETAIL
1-PANEL OPERATING INSWING
4-9/16" JAMB



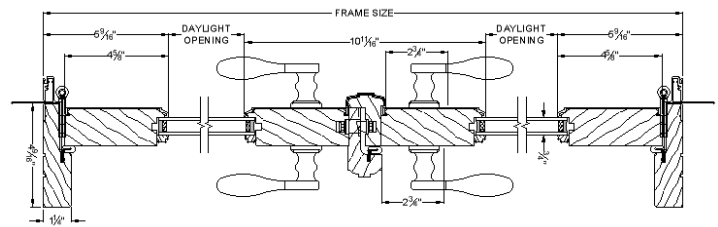
JAMB DETAIL
1-PANEL OPERATING OUTSWING
6-9/16" JAMB



HEAD & SILL DETAIL
1-PANEL OPERATING OUTSWING
6-9/16" JAMB



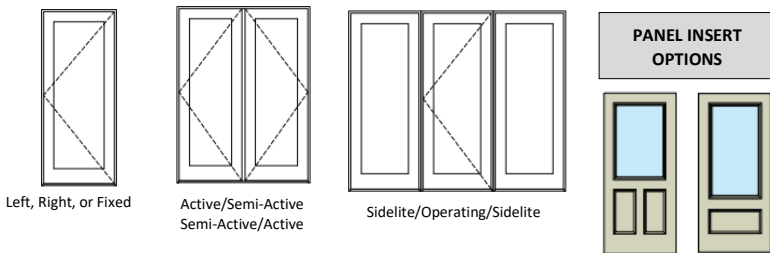
JAMB DETAIL
2-PANEL OPERATING INSWING
WITH BRICKMOULD
4-9/16" JAMB



JAMB DETAIL
2-PANEL OPERATING OUTSWING
4-9/16" JAMB

Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

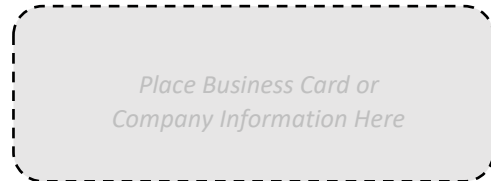
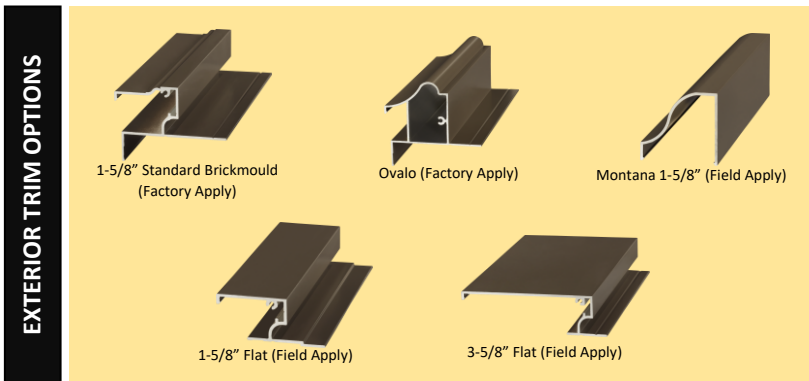
Typical configurations shown. Matching transoms available. Contact us for additional options. Handing as viewed from the exterior.



Clad Swing Door Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Grille options include Simulated Divided Lite and Grilles-Between-Glass.
- Available as Outswing or Inswing.
- ADA (Low Profile) sill.
- 10 factory finished Ultra Coat Paint or Primed interior.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



Clad Sliding Patio Door (CA)



Sierra Pacific Sliding Patio Doors create a graceful transition from your indoor to outdoor living areas. These doors are as secure and durable as they are beautiful, and feature a multi-point locking system, passing the most stringent forced entry requirements.

Standard Construction:

- Frames covered with 0.062" thick extruded aluminum exterior.
- 1-3/4" panels covered with 0.075" thick extruded aluminum exterior.
- Panels have wide 4-5/8" wood stiles and top rail, 6-13/16" bottom rail. Narrow 3-3/8" wood stiles available. Narrow 2-5/16" stiles available on sidelites.
- Pultruded, thermally efficient, bronze fiberglass sill.
- Standard stainless steel multi-point locking hardware.
- Forged brass interior and exterior handles in three styles and multiple finishes. Optional flush handles.
- Extruded aluminum 18x18 View Clear mesh sliding screens, color matched to the clad exterior. Optional 20x20 View Clear Plus mesh sliding screens.



Pictured: OXXO Sliding Door – Wide stiles and bottom rail on left; narrow stiles and bottom rail on right.

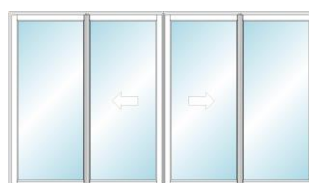
MINIMUM / MAXIMUM FRAME SIZES			
Custom sizing available in 1/16" increments. Additional sizes may be available upon approval.			
	2-WIDE	3-WIDE	4-WIDE
Minimum Frame Width	59-3/16"	92-11/16"	117-3/16"
Maximum Frame Width	117-3/16"	145-11/16"	233-3/16"
Minimum Frame Height	61-1/2"		
Maximum Frame Height	121-1/2"		

Performance Data:



2-wide Sliding Door: 95-1/4" x 97-3/4"

AIR INFILTRATION...0.24/0.08/A2
 WATER..... NO LEAKAGE @ 6.9PSF
 STRUCTURAL.....LC-PG45 (+45/-45)



4-wide Sliding Door: 189-1/4" x 97-3/4"

AIR INFILTRATION...0.05/0.04/A3
 WATER..... NO LEAKAGE @ 3.76PSF
 STRUCTURAL..... LC-PG25 (+25/-25)

For a comprehensive list of tested and rated sizes and configurations, please refer to the [Clad Door Product Performance Guide](#) (Structural) located in the Technical Resources Library on our website.

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Low-E 366/i89	Low-E 272 Clear	Low-E 366	Low-E 366/i89
U-FACTOR.....0.32	U-FACTOR.....0.32	U-FACTOR.....0.27	U-FACTOR.....0.29	U-FACTOR.....0.29	U-FACTOR0.25
SHGC.....0.28	SHGC.....0.19	SHGC.....0.18	SHGC.....0.28	SHGC.....0.18	SHGC.....0.18
VT.....0.47	VT.....0.42	VT.....0.41	VT.....0.47	VT.....0.42	VT.....0.41
CR.....54	CR.....54	CR.....43	CR.....57	CR.....57	CR.....47

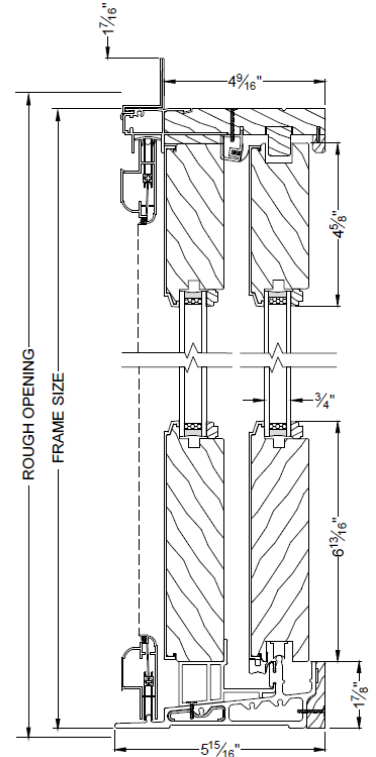
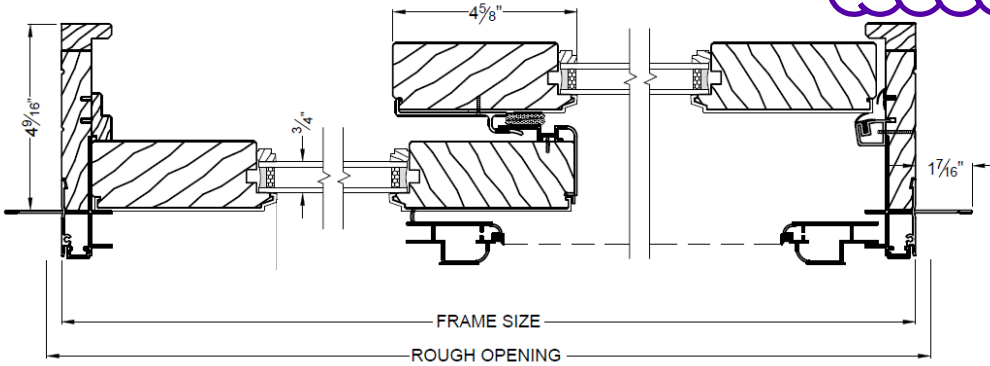
All values represent CA Sliding Patio Door units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the [Clad Patio Slider Product Performance Guide](#) (NFRC) located in the Technical Resources Library on our website.

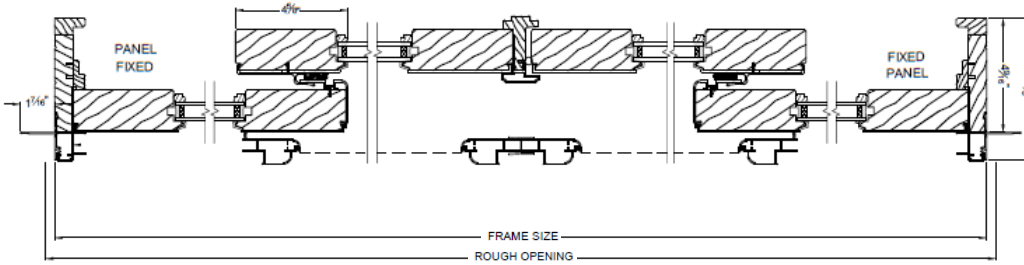
Standard 4-9/16" Jamb
HORIZONTAL OPERABLE SECTION – 2 PANEL



Standard 4-9/16" Jamb
VERTICAL OPERABLE SECTION

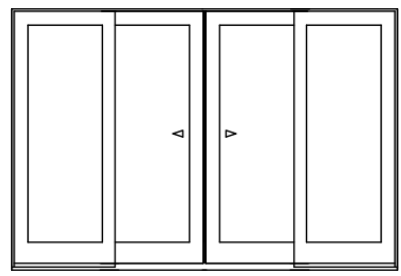
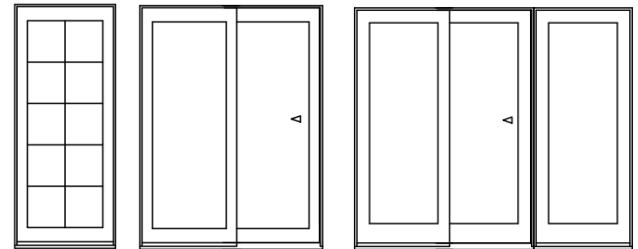
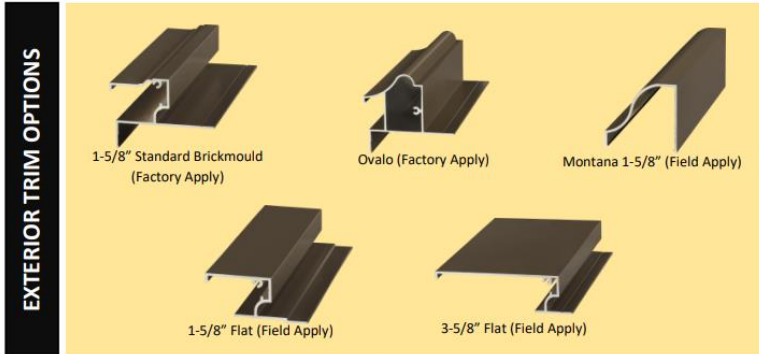


Standard 4-9/16" Jamb
HORIZONTAL OPERABLE SECTION – 4 PANEL



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

Typical configurations shown. Handing as viewed from exterior. Contact us for additional options.



Clad Sliding Patio Door (CA) Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 or 2604 specifications.
- Extensive offering of performance glass available in black warm edge or Cardinal spacer for optimum efficiency.
- Grille options including Simulated Divided Lites and Grilles-Between-Glass.
- 10 factory finished Ultra Coat Paint or Primed interior.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



ATTACHMENT 5

Neighborhood Letters of Support

June 13, 2024

Dear City of South Pasadena,

We, the undersigned, are neighbors of Mark and Christina Ghaly, and their four children, Cayna, Jacob, Eli and Sarah. We have witnessed the detracting to our neighborhood of the long-neglected home at 1831 Laurel and are thrilled the Ghaly family is willing and eager to improve it. For our safety and overall aesthetic of our neighborhood we are in full support of the City of South Pasadena doing whatever it takes, as quickly as possible, to provide the Ghaly family with the necessary approvals to move all aspects of this project forward this Summer. Doing so will help this project be completed as soon as possible and ultimately return the Laurel block between Milan and Marengo back to its full potential.

We have reviewed the proposed exterior elevations their architect, Steve Dahl, has created, and we look forward to these renderings becoming reality as soon as possible.

Thank you for your consideration.

Sincerely,

The neighbors of 1831 Laurel Street

CAMILLO A. STEPHANIO BELENDA
Name

1644 Spruce St.
Address

Ann and Dong Larson
Name

1836 Oak St.
Address

Pamela W Smith
Name

1830 Spruce St
Address

Rick Smith
Name

1830 Spruce St
Address

Michael Downer
Name

1837 Spruce St.
Address

Bob Morrish
Name

1709 Milan Ave
Address

Karen Maguire
Name

Address

Susan ten Grotenhuis
Name

Address

Laurysa Easterby
Name

1625 Milan Ave
Address

Tyler Phelps
Name

1617 Milan Ave.
Address

Bill Horsfall
Name

1429 MILAN AVE
Address

Mary Lou Horsfall
Name

1429 Milan Ave
Address

Mimi Butler
Name

1331 milan Ave.
Address

Ming Kuo
Name

1840 Laurel St.
Address

BETTY WANG
Name

1822 SPRUCE ST.
Address

Nathan Zhang
Name

1821 Spruce St.
Address

Mark's Kristin Smith
Name

1831 Spruce St.
Address

Jacqueline Roth
Name

1803 Milan Ave
Address

Frederic A. Roth
Name

1303 Milan Ave.
Address

Michele Downing
Name

1837 Spruce So Pas. CA
Address 91030

Les Mallygrave
Name LESLEY
MALLYGRAVE

1601 MILAN AVE
Address 40 PASADENA CA 91030

Name

Address

Name

Address

Name

Address

Name

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ATTACHMENT 6

August 15, 2024 CHC Staff Report



Cultural Heritage Commission Agenda Report

ITEM NO. 3

DATE: August 15, 2024

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Robert (Dean) Flores, Senior Planner

SUBJECT: **Project No. COA24-0011 – A request for a Certificate of Appropriateness (COA) for a 963-square-foot single-story addition, 753 second-story addition, construction of new 233 square-foot front porch, a 530 square-foot rear porch, and a new detached 2-car garage at a single-family dwelling located at 1831 Laurel Street (APN: 5320-022-005). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

BACKGROUND

Project Timeline/Previous Approvals

On December 20, 2023, the Cultural Heritage Commission (CHC) Chair approved a Chair Review application for a house relocation (within the same site) to move the existing two-story single-family residence closer to the front of the property (22'-3" north and 2'-3" east from the previous location). The house move was completed on July 10, 2024.

On June 13, 2024, the applicant submitted an application for a Certificate of Appropriateness for first- and second-story additions to an existing single-family residence. On July 24, 2024, the project application was deemed complete.

Site Characteristics

The subject property is a rectangular-shaped 17,510 square-foot lot located on the southerly side of Laurel Street between Marengo Avenue and Milan Avenue. The subject property is located in the Residential Estate zoning district, or RE Zone, and is surrounded by one- and two-story single-family residential uses. Neighborhood images are included on page A-1B of the architectural plans (**Attachment 2**).

The subject site is currently developed with an existing 3,189 square-foot two-story single-family dwelling with no existing garage. The site also features an existing pool located behind the home. The subject site is included in the City's Inventory of Historic Resources, listed as part of the Eligible Oneonta Park District (**5D1**). The eligible district is comprised of moderately sized period revival buildings built between 1907 and 1950.

Image 1: Street View of the Property



The single-family residence (see **Image 1** above) was built in 1910 in the Craftsman style. Character-defining features include the exterior shingle siding, second story balcony, covered porch on the east side, fixed wood windows, bay window, and exposed wood rafters.

Since being built, the property has undergone a few alterations – some permitted and some the City has no records of. According to building permit records:

- In 1951, a permit was issued to “expand window length,” (it is presumed that during this time, the home also added the metal awnings, metal railings, and window shutters),
- In 1961, a permit was issued for the installation of a pool,
- In 1962, a permit was issued for an interior remodel,
- In 2008, a demolition permit was issued for the demolition of the existing garage.

Building permit records are included as **Attachment 3**.

PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct a 963-square-foot single-story addition, 753 second-story addition, construction of new 233 square-foot front porch and 530 square-foot rear porch to an existing two-story single-family dwelling. The proposed project also includes the construction of a new detached two-car garage. When complete, the property will include a total of 4,905 square feet of floor area. The additions will allow for a new office, two (2) new bedrooms, and two-and-a-half (2.5) bathrooms, for a total of six (6) bedrooms and six-and-a-half (6.5) baths. The architectural plans and proposed materials are included as **Attachment 2**.

PROJECT ANALYSIS

General Plan Consistency

The General Plan (2040) land use designation of the project is Very Low-Density Neighborhood, which allows for single-family dwellings at up to 3 units per acre. The proposed project, therefore, complies with the following General Plan goals, policies, and/or actions:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

Zoning Code Compliance

The subject property is zoned RE, which is intended for the development of detached single-family homes and accessory structures. The existing land use and density of the project site complies with the South Pasadena Municipal Code (SPMC) Division 36.220. The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s design standards and guidelines. Residential Development Standards from SPMC Section 36.220.040 was applied to the proposed project. **Table 1** below lists the project’s conformance with applicable development standards.

Table 1: Residential Development Standards Compliance

Standard	Requirement	Existing	Proposed
Lot Coverage	40% (7,004 SF max. allowed)	9.6% 1,681 SF	21.9% 3,841 SF
Floor Area Ratio (FAR)	35% (6,129 SF max. allowed)	18.2% 3,189 SF	28% 4,905 SF
Building Height	35 ft. max.	27 ft.	28 ft., 4 in.
Off-Street Parking	2-Car (Covered)	No garage	2-car garage
Front Setback	25% of lot depth, 25 ft. minimum	37 ft., 6 in.	Unchanged
Side Setback	10% of lot width (10 ft. required)	West: 10 ft. East: 39 ft. 11 in.	Unchanged
Rear Setback	25 ft. minimum	95 ft. 2 in.	62 ft.

Certificate of Appropriateness (COA)

The proposed first and second floor additions require a Certificate of Appropriateness review and approval from the Cultural Heritage Commission as the addition is larger

than 200 square feet and also features alterations to the front elevation of the home. The subject property has been identified as a contributor to an eligible historic district by the City of South Pasadena. As such, an addition should be visually subordinate, or secondary, to the original structure.

As previously stated, the proposed project includes a 963 square-foot first story addition, a new 753 square-foot second story addition, two new porches, and a detached garage. The majority proposed work is concentrated in the middle and rear of the existing structure and maintains the character of the existing one-story structure. The only changes proposed to the front elevation include the construction of a new porch to replace the existing porch railings, installation of new attic venting, new windows, and the removal of the existing metal awning and window shutters, which are not presumed to be part of the original home (see **Attachment 4** – Project Narrative for more information regarding the home’s history).

The proposed first- and second-story additions will have a very limited visibility from the public right-of-way along Laurel Street. The second story addition is carefully differentiated from the existing structure in that it is articulated from the original home as it is recessed from both sides to clearly distinguish between the existing and new. The new addition also incorporates design elements such as incorporating slightly smaller shingle siding, clad (instead of wood) casement and double hung windows, and the installation of the front and rear porches. The existing and proposed elevations can be found on **Images 2-4**.

Image 2: Existing and Proposed North (Front) Elevations

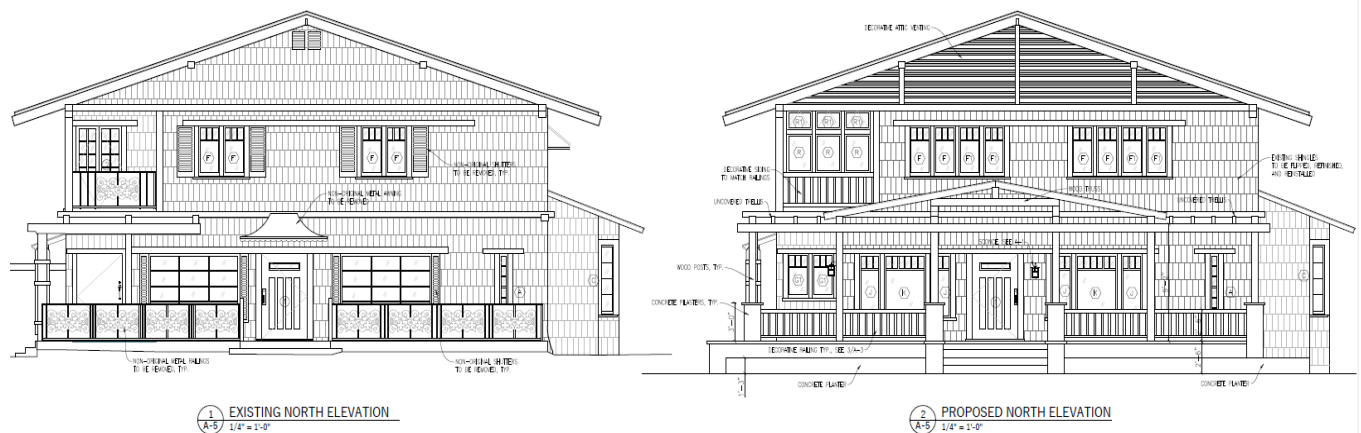


Image 3: Existing and Proposed South (Rear) Elevations

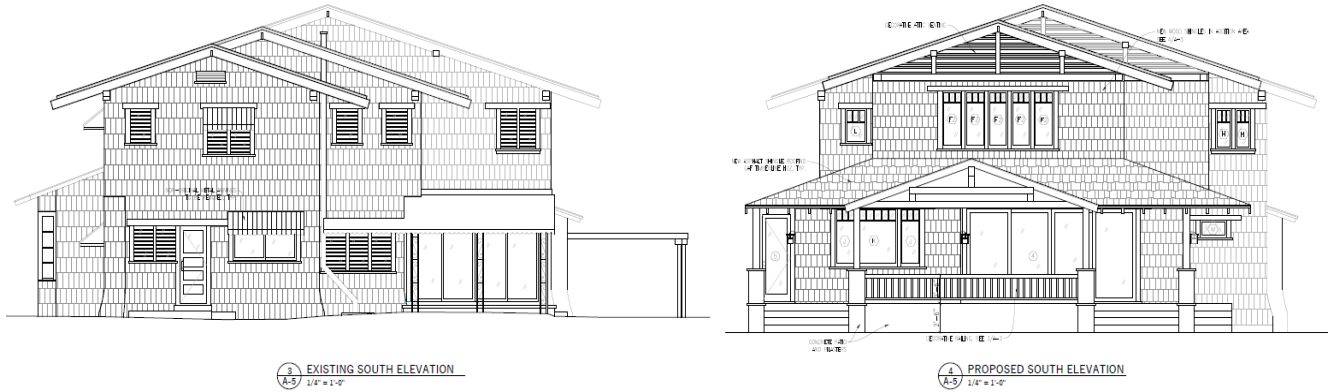
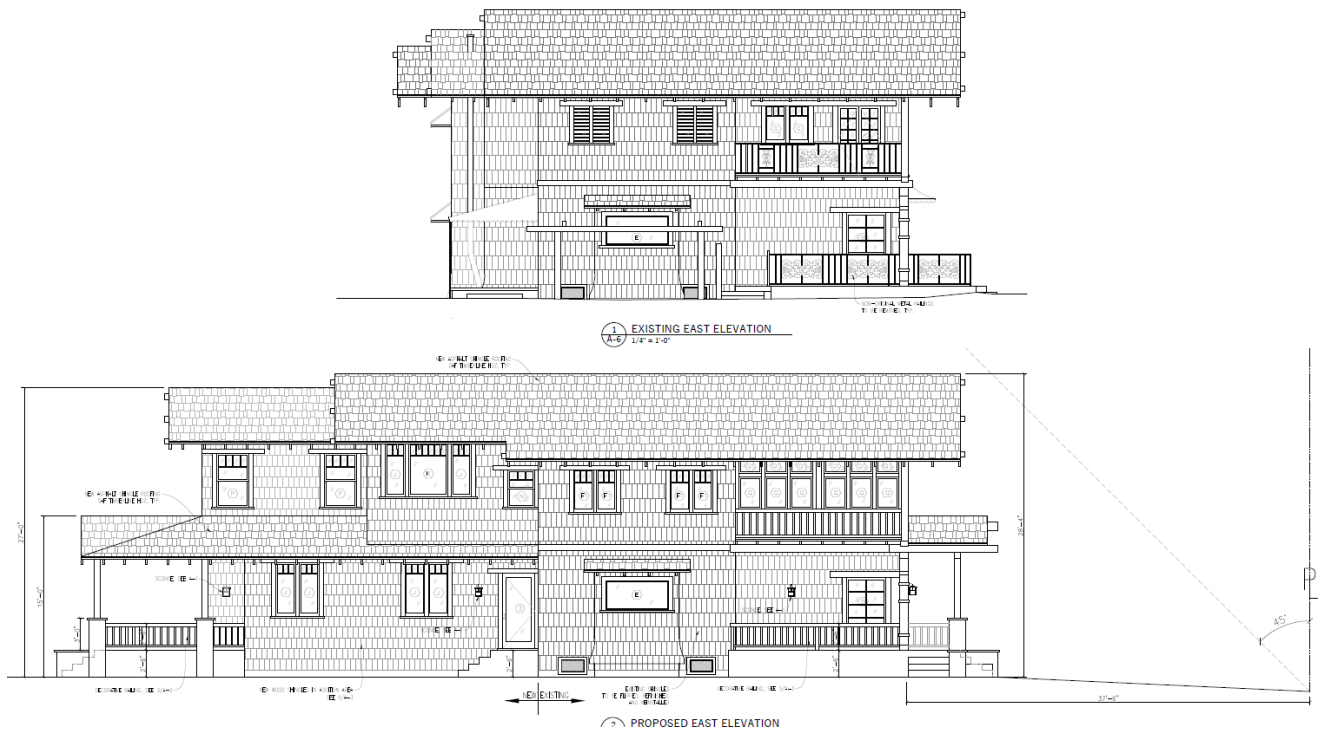


Image 4: Existing and Proposed East (Side) Elevations



FINDINGS

Required Certificate of Appropriateness (COA) Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the South Pasadena Municipal Code.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The project is consistent with the goals and policies of the General Plan for preservation, rehabilitation, and use of historic resources in the City. The existing home, built in 1910, is listed on the City of South Pasadena's Historic Inventory List as a potential contributor to the eligible Oneonta Park District. The proposed project has been designed to retain and preserve the character-defining features of the house. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

2. The project is consistent with the goals and policies of Article IVH – Cultural Heritage Ordinance – of Chapter 2 of the South Pasadena Municipal Code.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the historic home consistent in a manner that is generally consistent with the *Secretary of Interior's Standards*.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.

The project, including the residence's addition, is consistent with the *City of South Pasadena's Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. "Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and

scale in relation to the existing structure. Additions should have limited visibility from the street.” (p. 36)

2. “New additions should be compatible in mass and scale with the neighborhood, and should be visually subordinate to the original building.” (p. 37)
3. “Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent.” (p. 39)
4. “Façade treatments for new additions should be consistent with the existing building and its architectural style. Details and elements not found on the existing structure or inconsistent with the style should be avoided.” (p. 46)

The project is consistent with the standards in the Secretary of Interior’s Standards of Rehabilitation, as shown in **Table 3**.

Table 3: Consistency with Secretary of Interior Standards

Standard	Recommendation
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	Consistent.
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	Consistent.
Standard 4: Changes to a property that have acquired historic significance will be retained and preserved.	Consistent.
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	Consistent.

Standard	Recommendation
<p>Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</p>	<p>Not applicable.</p>
<p>Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</p>	<p>Not applicable.</p>
<p>Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</p>	<p>Not applicable.</p>
<p>Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</p>	<p>Consistent.</p>
<p>Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p>	<p>Consistent.</p>

Project Specific Findings for a Certificate of Appropriateness

Finding 2. The project is appropriate to the size, massing, and design context of the historic neighborhood;

The project is appropriate to the size, massing and design context of the historic residence and the surrounding district, which is comprised of a mixture of one and two-story residential buildings. The first- and second-story additions are located to the middle and rear of the structure and incorporates compatible building materials, finishes, and detailing as the historic property. Therefore, the proposed addition would be harmonious and compatible with surrounding homes and the neighborhood.

Finding 3. In the case of an addition or enlargement, the project provides clear distinction between the new and historic elements of the cultural resource or improvement;

The new addition is located at the middle and rear of the home. The new addition on the first floor is setback an additional six feet on the easterly side of the home from the existing home's side yard setback. The additions to the second story are stepped back on both sides from the first floor. To provide clear distinction between the new and historic elements, the proposal utilizes a smaller-sized exterior shingle siding than the existing siding. The proposal also includes clad casement and double hung windows instead of the existing fixed wood windows.

Finding 5. The project adds substantial new living space while preserving the single story [architectural style or building type] character of the streetscape;

The project will add substantial new living space while preserving the character of the eligible historic district. The proposed additions will provide an additional bedroom, bathrooms, and an office space and is designed to limit the overall scale and massing of the existing structure. Other than the replacement of the existing front porch and other minor treatments, the overall front façade will preserve the existing character of the streetscape.

ENVIRONMENTAL ANALYSIS

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

STAFF RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

ALTERNATIVES TO CONSIDER

The Cultural Heritage Commission has the following options available;

1. The Cultural Heritage Commission can Approve the project as is or with modified condition(s) added or removed and provide findings; or

2. The Cultural Heritage Commission can Continue the project, providing the applicant with clear recommendations to revise the proposal; or
3. The Cultural Heritage Commission can Deny the project.

PUBLIC NOTICING

A Public Hearing Notice was published on August 2, 2024, in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on July 31, 2024. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

NEXT STEPS

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

ATTACHMENTS

1. Conditions of Approval
2. Architectural Plans
3. Building Permits
4. Project Narrative
5. Window & Door Brochures



Cultural Heritage Commission Agenda Report

ITEM NO. 4

DATE: October 17, 2024

FROM: Alison Becker, Acting Community Development Director
Elizabeth Bar-EI, Acting Deputy Community Development Director

PREPARED BY: Robert (Dean) Flores, Senior Planner

SUBJECT: **Project No. COA24-0009 – A request for a Certificate of Appropriateness (COA) for an 18 square-foot single-story addition, 1,082 second-story addition, and the construction of new 198 square-foot rear patio at an existing single-family dwelling located at 2033 Alpha Street (APN: 5310-016-021). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Find the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0009 subject to the draft conditions of approval (**Attachment 1**).

BACKGROUND

Project Timeline

On April 1, 2024, the applicant submitted an application for a Certificate of Appropriateness for first- and second-story additions to an existing single-family residence. On September 26, 2024, the project application was deemed complete, after multiple rounds of corrections that included a redesign of the project to ensure compliance with the Certificate of Appropriateness criteria, the South Pasadena Design Guidelines for Historic Properties, and the Secretary of Interior Standards for Rehabilitation.

PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct an 18 square-foot single-story rear addition, 1,082 second-story addition, and the construction of new 198 square-foot rear covered patio at an existing single-family dwelling. The proposed project also includes the replacement of existing aluminum windows with fiberglass windows. The additions will allow for four (4) new bedrooms, and two-and-a-half (2.5) bathrooms, for a total of six (6) bedrooms and three-and-a-half (3.5) baths. The existing detached garage will be converted into an accessory dwelling unit (ADU) under a separate permit. The architectural plans and proposed materials are included as **Attachment 2**.

Site Characteristics

The subject property is a rectangular-shaped 7,232.5 square-foot lot located on the westerly side of Alpha Street between Valley View Road and Moffat Street. The subject property is located in the Residential Low Density zoning district, or RS Zone, and is surrounded by one- and two-story single-family residential uses. Both houses adjacent to the subject property are already two-story dwelling units. Neighborhood images are included on page C of the architectural plans (**Attachment 2**).

The subject site is currently developed with an existing 1,386 square-foot single-story, single-family dwelling with an existing detached one-car garage. The property also features an existing unpermitted porch on the south side of the home that will be removed. The subject site is included in the City's Inventory of Historic Resources, listed as part of the eligible Valley View Heights District (**5D1**). The eligible district is comprised of one-to-two-story homes predominantly of Craftsman style (but also features Colonial Revival and Spanish Revival styles) built between 1912 and 1938.

Image 1: Street View of the Property



The single-family residence (see **Image 1** above) was built in 1922 in the Colonial Revival style. Character-defining features include the exterior wood siding, porch columns, steep gable roof, an arrangement of casement wood and aluminum windows, and exposed wood rafters. It's important to note that the City has no records as to whether the aluminum windows were permitted or not.

Since being built, the property has undergone the following construction and alterations:

- In 1922, permits were issued for the construction of the home and detached garage,
- In 1986, a permit was issued for a reroof of the home and garage (composition shingles),
- In 1988, a permit was issued for an interior remodel,
- In 2006, a permit was issued to upgrade the brace cripple walls for the purposes of earthquake retrofit.

Building permit records are included as **Attachment 3**.

PROJECT ANALYSIS

General Plan Consistency

The General Plan (2040) land use designation for the subject site is Low-Density Neighborhood, which allows for single-family dwellings at up to 5 units per acre. The proposed project, therefore, complies with the following General Plan goals, policies, and/or actions:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

The proposed project is consistent with Goal 3 and Policy 3.4 above because the proposal preserves and enhances the existing architectural style and neighborhood as a whole by ensuring that the project maintains the existing architectural style as a contributor to the eligible district. The proposed design features only elements or treatments that are consistent with the Colonial Revival style. Additionally, as shown below, the proposal maintains compliance with the City's applicable development standards and Design Guidelines. Furthermore, the second story stepback and sloping roofline reduce the perception of the height of the structure from the street, thus

maintaining the traditional neighborhood scale while providing floor area to meet the residents' needs.

Zoning Code Compliance

The subject property is zoned Residential Low Density (RS), which is intended for the development of detached single-family homes and accessory structures. The existing land use and density of the project site complies with the South Pasadena Municipal Code (SPMC) Division 36.220. The purpose of the Certificate of Appropriateness process is to ensure that the proposed site layout and building design are suitable and compatible with the City's design standards and guidelines. Pursuant to Section 36.220.050 Development of Small Nonconforming Residential Parcels, the subject lot is deemed nonconforming, because it is less than 10,000 square-feet in size. Residential Development Standards from SPMC Sections 36.220.040 and 36.220.050 were applied to the proposed project. **Table 1** below lists the project's conformance with applicable development standards.

Table 1: Residential Development Standards Compliance

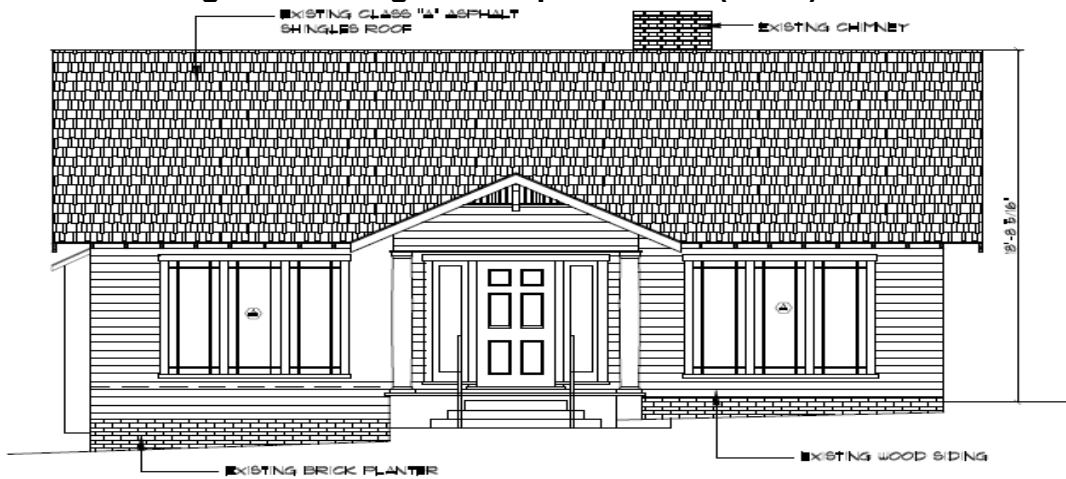
Standard	Requirement	Existing	Proposed
Lot Coverage	50% (3,616.25 SF max. allowed)	23% 1,667 SF	25.8% 1,865 SF
Floor Area Ratio (FAR)	35% (2,531.35 SF max. allowed)	19% 1,386 SF	34.4% 2,486 SF
Building Height	35 ft. max.	18 ft. 8 in.	22 ft. 7.5 in.
Off-Street Parking	2-Car (Covered)	1-car garage	Unchanged
Front Setback	15' (with porch) 20' (w/o porch)	30 ft. 0.5 in.	Unchanged
Side Setback	10% of lot width (5 ft. minimum)	North: 11 ft. 7 in. South: 5 ft. 3 in.	Unchanged
Rear Setback	20 ft.	63 ft. 0.5 in.	53 ft. 0.5 in.

Certificate of Appropriateness (COA)

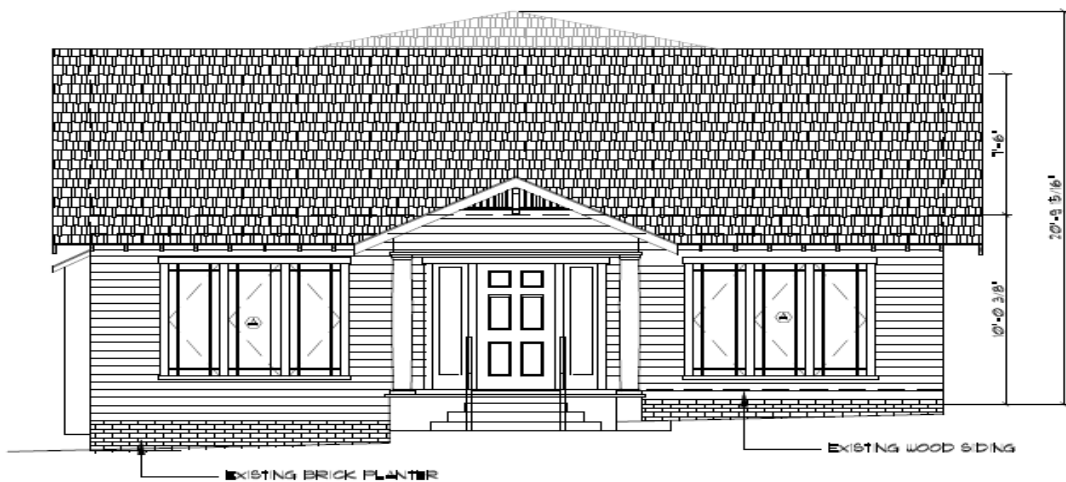
The proposed project requires a Certificate of Appropriateness review and approval from the Cultural Heritage Commission as the addition is larger than 200 square feet and also features alterations to the roof, which is visible from the street. The subject property has been identified as a contributor to an eligible historic district by the City of South Pasadena. As such, an addition should be visually subordinate, or secondary, to the original structure.

As previously stated, the proposed project includes an 18 square-foot first story rear addition, a new 1,082 square-foot second story addition, a rear covered patio, and replacement of windows from aluminum to fiberglass. The majority of the proposed work is concentrated in the middle and rear of the existing structure and maintains the character of the existing one-story structure. Due to the steep slope of the existing gable roof that is a predominate feature of the front façade, the rear second-story additions will be subordinate to the existing home. The second story addition features articulation on either side of the structure and includes the installation of exterior Hardie board shingles rather than the existing home's wood siding. Additionally, the new addition features various 3:12 hip roofs instead of the existing home's steep 6:12 gable roof. Lastly, although the second-story addition will be slightly visible from the front, the addition is setback from the primary front façade and will not alter the front elevation. The existing and proposed elevations can be found on **Images 2-5**.

Image 2: Existing and Proposed East (Front) Elevations



1 EXISTING EAST ELEVATION (FRONT)
A-5 1/4" = 1'-0"



2 NEW EAST ELEVATION (FRONT)
A-5 1/4" = 1'-0"

Image 3: Existing and Proposed North (Side) Elevations

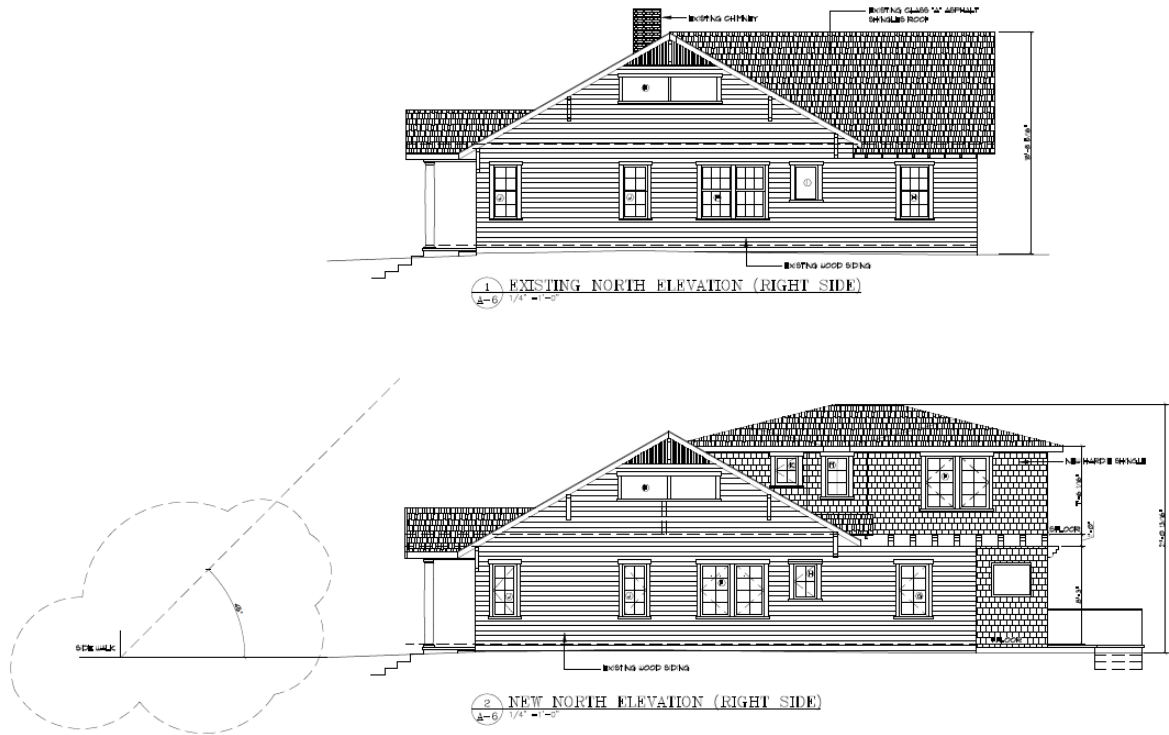


Image 4: Existing and Proposed South (Side) Elevations

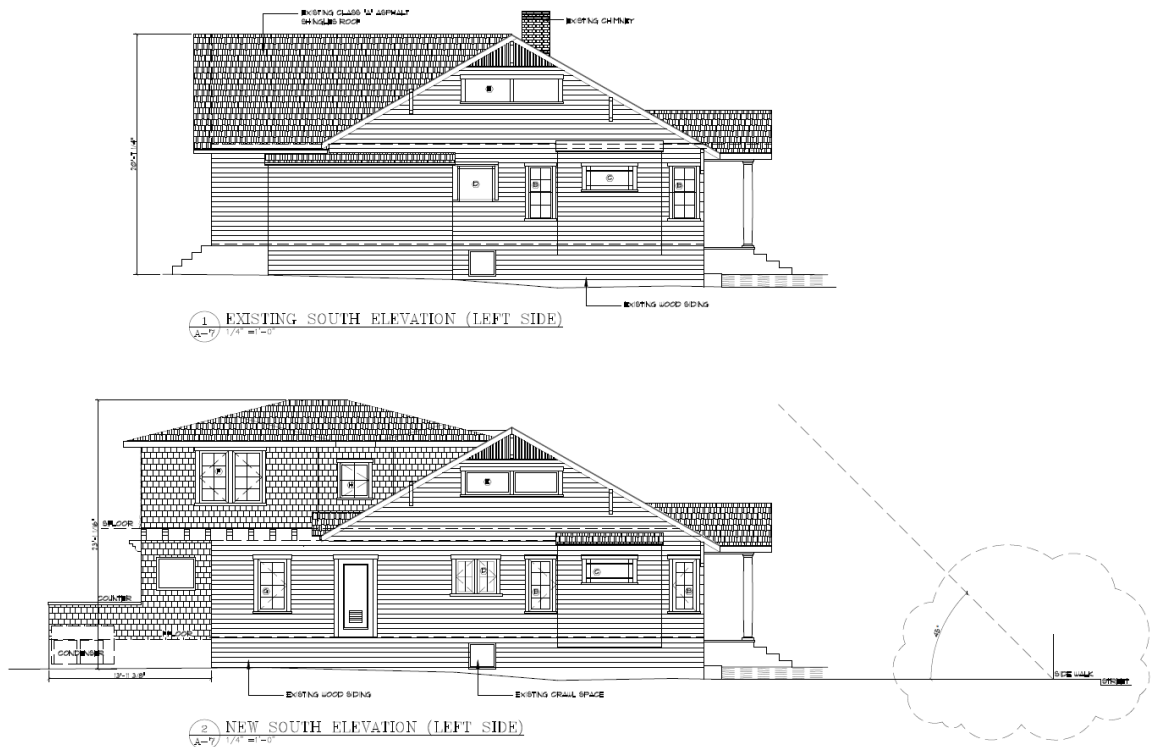
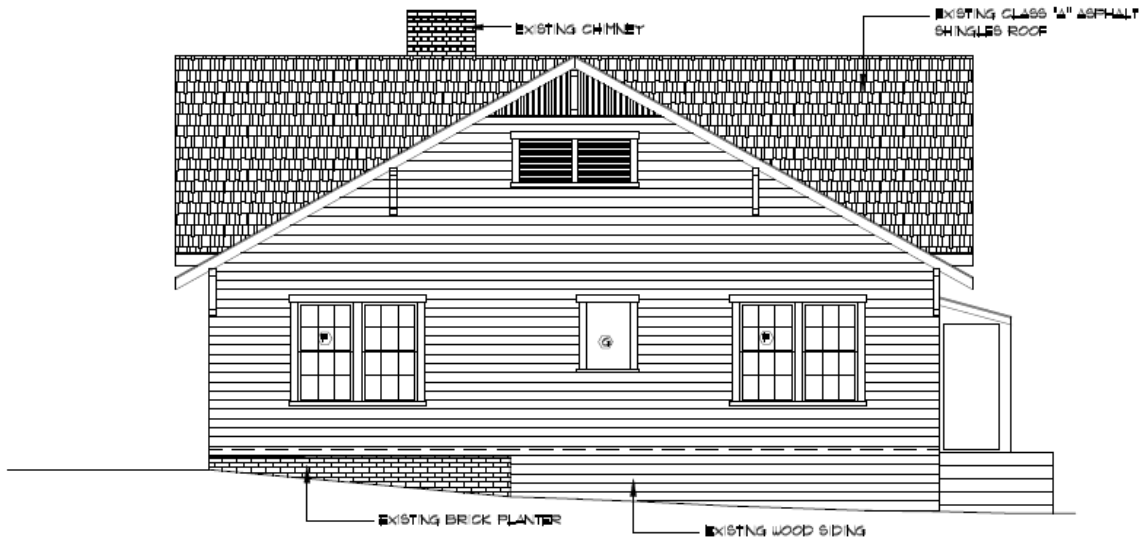
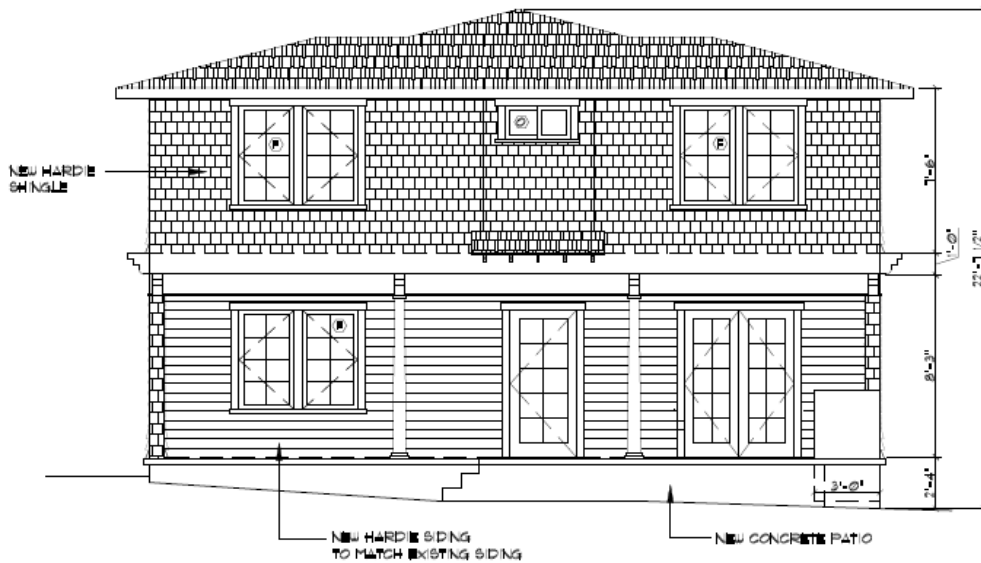


Image 5: Existing and Proposed West (Rear) Elevations



3 EXISTING WEST ELEVATION (BACK)
A-5 1/4" = 1'-0"



4 NEW WEST ELEVATION (BACK)
A-5 1/4" = 1'-0"

FINDINGS

Required Certificate of Appropriateness (COA) Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the South Pasadena Municipal Code.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The project is consistent with the goals and policies of the General Plan for preservation, rehabilitation, and use of historic resources in the City. The existing home, built in 1922, is listed on the City of South Pasadena's Historic Inventory List as a potential contributor to the eligible Valley View Heights District. The proposed project has been designed to retain and preserve the character-defining features of the house. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

The proposed project is consistent with Goal 3 and Policy 3.4 above because the proposal preserves and enhances the existing architectural style and neighborhood as a whole by ensuring that the project does not detract from the existing architectural style. The proposed design does not feature elements or treatments that are inconsistent with the Colonial Revival style. Additionally, as shown in the staff report, the proposal maintains compliance with the City's applicable development standards and Design Guidelines.

2. The project is consistent with the goals and policies of Article IVH – Cultural Heritage Ordinance – of Chapter 2 of the South Pasadena Municipal Code.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the historic home consistent in a manner that is generally consistent with the *Secretary of Interior’s Standards* as shown in **Table 3** below.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.

The project, including the residence’s addition, is consistent with the *City of South Pasadena’s Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. “Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and scale in relation to the existing structure. Additions should have limited visibility from the street.” (p. 36)
2. “New additions should be compatible in mass and scale with the neighborhood, and should be visually subordinate to the original building.” (p. 37)
3. “Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent.” (p. 39)
4. “Façade treatments for new additions should be consistent with the existing building and its architectural style. Details and elements not found on the existing structure or inconsistent with the style should be avoided.” (p. 46)

The project is consistent with the standards in the Secretary of Interior’s Standards of Rehabilitation, as shown in **Table 3**.

Table 3: Consistency with Secretary of Interior Standards

Standard	Recommendation
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	Consistent.
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.

Standard	Recommendation
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	Consistent.
Standard 4: Changes to a property that have acquired historic significance will be retained and preserved.	Consistent.
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	Consistent.
Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	Not applicable.
Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	Not applicable.
Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	Not applicable.
Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	Consistent.
Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	Consistent.

Project Specific Findings for a Certificate of Appropriateness

Finding 2. The project is appropriate to the size, massing, and design context of the historic neighborhood;

The project is appropriate to the size, massing and design context of the historic residence and the surrounding district, which is comprised of a mixture of one and two-story residential buildings. The first- and second-story additions are located to the middle and rear of the structure and the project incorporates building materials, finishes, and detailing that are compatible with the historic property. The proposal also includes the installation of fiberglass windows to replace aluminum windows. Therefore, the proposed addition would be harmonious and compatible with surrounding homes and the neighborhood.

Finding 3. In the case of an addition or enlargement, the project provides clear distinction between the new and historic elements of the cultural resource or improvement;

The new addition is located at the middle and rear of the home. The proposed additions offer differentiation in the form of proposing Hardie board shingles instead of the existing wood siding, articulation of portions of the second floor on either side and providing hip roofs instead of the existing gable roof. Thus, the proposed addition provides clear distinction between the new and historic elements of the cultural resource.

Finding 5. The project adds substantial new living space (for example: a second story toward the rear of a residence) while preserving the single story [architectural style or building type] character of the streetscape;

The project will add substantial new living space while preserving the character of the eligible historic district. The proposed additions will provide additional bedrooms, bathrooms, and is designed to limit the overall scale and massing of the existing structure because the second story addition is located toward the rear of the home and features minimal visibility from the front of the home. Additionally, there are no proposed improvements to the front elevation so the proposal will preserve the existing character of the streetscape.

ENVIRONMENTAL ANALYSIS

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

STAFF RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Find the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0009 subject to the draft conditions of approval (**Attachment 1**).

ALTERNATIVES TO CONSIDER

The Cultural Heritage Commission has the following options available:

1. Approve the project with the recommendation of a Chair Review for minor modifications to the proposal; or
2. Approve the project as is or with modified condition(s) added or removed and provide findings; or
3. Continue the project, providing the applicant with clear recommendations to revise the proposal; or
4. Deny the project.

PUBLIC NOTICING

A Public Hearing Notice was published on October 4, 2024, in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on October 3, 2024. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

NEXT STEPS

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

ATTACHMENTS

1. Conditions of Approval
2. Architectural Plans
3. Building Permits

ATTACHMENT 1

Conditions of Approval

CONDITIONS OF APPROVAL
Certificate of Appropriateness
Project No. COA24-0009
2033 Alpha Street (APN: 5310-016-021)

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. This approval and all rights hereunder shall terminate within 18 months of the effective date of their approval by the Cultural Heritage Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P2. Approval by the Cultural Heritage Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission/Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

BUILDING DIVISION

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior permit issuance
- B3. The proposed addition shall be designed and constructed to comply with current California Residential Code with Los Angeles County Amendments. The provisions of the California Historical Building Code may be used in specific design elements for the purposes of preserving the integrity of the qualified historical buildings or properties.
- B4. When new non-historical lighting and space conditioning system components, devices, appliances and equipment are installed, they shall comply with the requirements in the California Energy Code, except where the historical significance or charter-defining features are threatened.
- B5. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B6. Park Impact Fee to be paid at the time of permit issuance.
- B7. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B8. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B9. Each sheet of the plans shall be stamped and signed by a California licensed architect or engineer per R301.1.3.2 as adopted and amended by the City, for all dwellings of wood frame construction more than one story in height or with a basement located in Seismic Design Category D0, D1, or D2 or E.
- B10. A grading and drainage plan shall be approved prior to issuance of the building permit.
- B11. Project shall comply with the CalGreen Residential mandatory requirements.
- B12. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B13. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B14. Separate permit is required for Fire Sprinklers.

FIRE DEPARTMENT:

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); Current California Fire Code (CFC); Current California Building Code and NFPA standards.

- FD2. Fire Sprinklers are required. Submit plans to City for approval.
- FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD4. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD5. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD6. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD7. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD8. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD9. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD10. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD11. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
- a. An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
 - b. Any addition to an existing building which has fire sprinklers installed;
 - c. Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
 - d. Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
 - e. An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire

Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.

- FD12. New and existing building shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be view from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
- FD13. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD14. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- a. On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - b. In each room used for sleeping purposes.
 - i. Exception: Single- or multiple-station smoke alarms in Group I-1 shall not be required where smoke detectors are provided in the sleeping rooms as part of an automatic smoke detection system (CFC 907.2.11.2).
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- FD15. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- FD16. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages.
- FD17. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD18. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).
- FD19. Exception. Interconnection is not required in existing dwelling units or within sleeping units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.
- FD20. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke

alarms.

- FD21. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, an automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD22. Buildings under construction shall meet the condition of “Chapter 33 Fire Safety During Construction and Demolition” of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- a. At each stairway on all floor levels where combustible materials have accumulated.
 - b. In every storage and construction shed.
 - c. Where special hazards exist included, but not limited to, storage and use of combustible and flammable liquids.
- FD23. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.
- FD24. For any questions related with water meter or water flow test, please contact Public Works at (626) 403 7240.
- FD25. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

PUBLIC WORKS DEPARTMENT

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting for the project to be redesigned/resubmitted.
- PW2. The applicant shall pay all applicable City fees including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule, which can be found on the City’s website. This includes all costs incurred by the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. Alpha Street shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the project approval and immediately upon completion of the project.
- PW4. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.

- PW5. The applicant shall replace all broken, damaged, or out-of-grade sidewalk and driveway approaches, and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- 1) The applicant shall install new 4" thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
 - 2) The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department.
- PW6. The applicant shall contact the City of South Pasadena Water Operations Manager, Victor Magana, VMagana@SouthPasadenaCA.gov for the fire flow test. The applicant shall submit water demand calculations to the City for potable water and fire (if applicable). The calculations will be used to verify the adequacy of the existing water meter connection for the proposed structure and Fire Department approved fire sprinkler system (if applicable). The applicant shall coordinate with the Water Operations Manager the size, location and the associated fee for the installation of a new water meter connection.
- PW7. Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.
- PW8. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW9. The applicant shall include the following information on the plans:
- 1) Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
 - 2) The location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
 - 3) Show the location and area of trench sections for any proposed sewer and water line connections within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
- PW10. The applicant shall add the following notes on the plans:
- 1) The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH)

- (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- 2) Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and resident at least 48 hours in advance of the street closure.
 - 3) No overnight storage of materials or equipment within the public right-of-way shall be permitted.
 - 4) Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
 - 5) The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
 - 6) The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

ATTACHMENT 2

Architectural Plans

- 1. 2022 CALIFORNIA BUILDING CODE
- 2. 2022 CALIFORNIA RESIDENTIAL CODE
- 3. 2022 CALIFORNIA ELECTRICAL CODE
- 4. 2022 CALIFORNIA MECHANICAL CODE
- 5. 2022 CALIFORNIA PLUMBING CODE
- 6. 2022 CALIFORNIA ENERGY CODE
- 7. 2022 CALIFORNIA GREEN BUILDING STANDARD

PROPERTY OWNER
 DAVID CHANG
 2033 ALPHA AVE SOUTH PASADENA, CA 91030

LEGAL DESCRIPTION:
 ASSESSOR'S ID # 5310-016-021
 TYPE OF CONSTRUCTION V-B (NO SPRINKLER)
 OCCUPANCY GROUP R8

LOT COVERAGE:

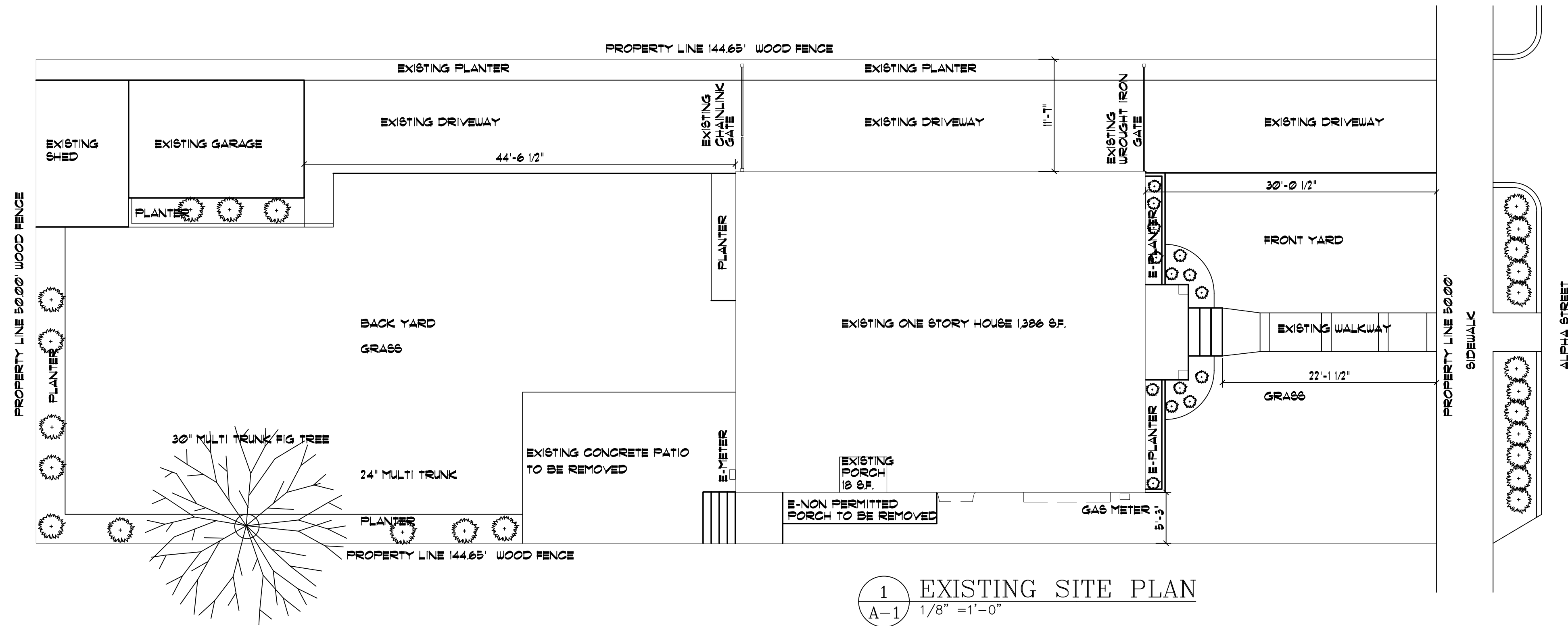
LOT SIZE 50.00 X 144.65	7,232.50 SF.
EXISTING ONE STORY HOUSE	1,386.00 SF.
EXISTING SIDE COVERED PORCH	18.00 SF.
EXISTING FRONT PORCH	43.00 SF.
EXISTING GARAGE	220.00 SF.
TOTAL EXISTING LOT COVERAGE	1,667.00 SF.

NEW LOT COVERAGE	
EXISTING HOUSE	1,386.00 SF.
EXISTING GARAGE	220.00 SF.
EXISTING FRONT PORCH	43.00 SF.
NEW FIRST FLOOR ADDITION	18.00 SF.
NEW REAR PATIO AREA	198.00 SF.
TOTAL NEW LOT COVERAGE	1,865.00 SF.

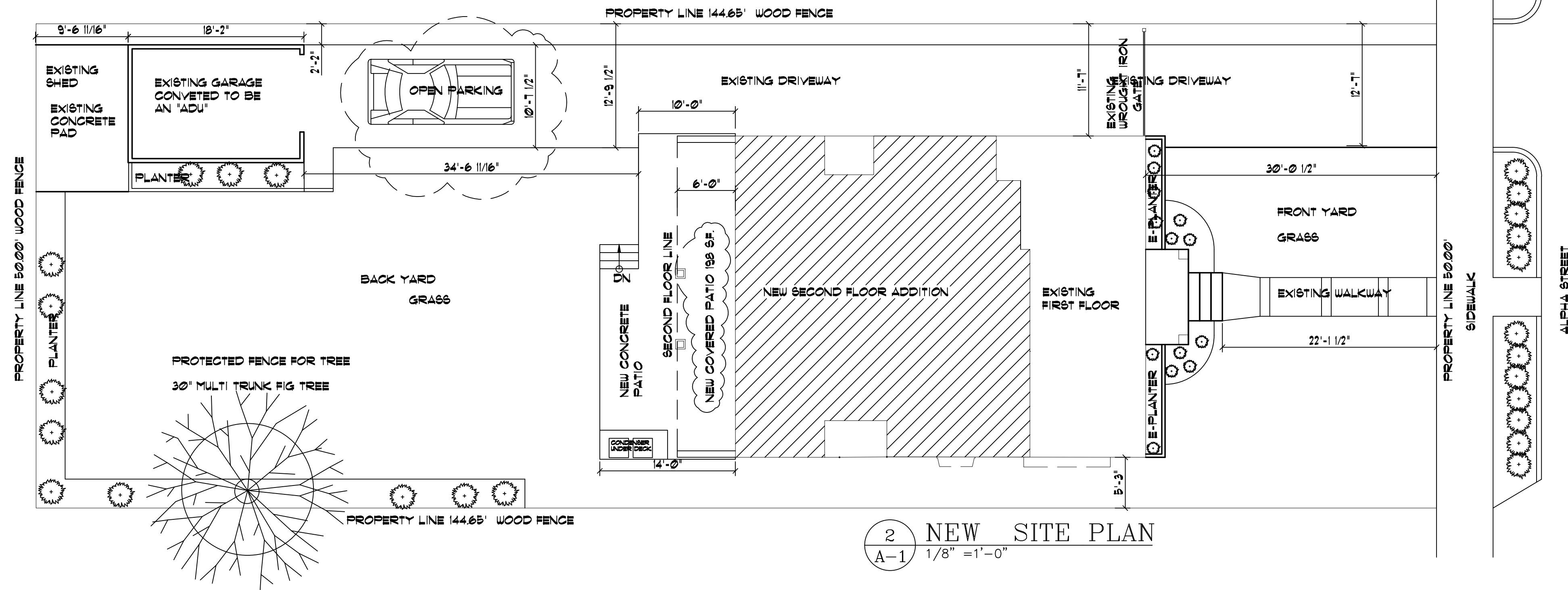
EXISTING HOUSE	1,386.00 SF.
NEW FIRST FLOOR ADDITION	18.00 SF.
NEW SECOND FLOOR ADDITION	1,082.00 SF.
TOTAL NEW LIVING AREA	2,486.00 SF.

ALLOWABLE LOT COVERAGE 50% 7,232.50 = 3,616.25 SF.
 EXISTING LOT COVERAGE 1,667.00 SF.
 NEW LOT COVERAGE 1,865.00 SF.
 ALLOWABLE F.A.R. 35% 7,232.50 = 2,531.35 SF.
 EXISTING F.A.R. 35% 1,386 / 7,232.50 = 19% SF.
 PROVIDED F.A.R. 35% 2,486 / 7,232.50 = 34.37 % SF.

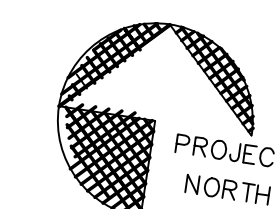
SCOPE OF WORK:
 EXISTING NON PERMITTED ADDITION TO BE REMOVED AND REMODEL FIRST FLOOR. REPLACE EXISTING ALUMINUM WINDOWS TO FIBERGLASS WINDOWS, NEW COVERED BACK PORCH AND NEW SECOND FLOOR ADDITION



1 EXISTING SITE PLAN
 A-1 1/8" = 1'-0"

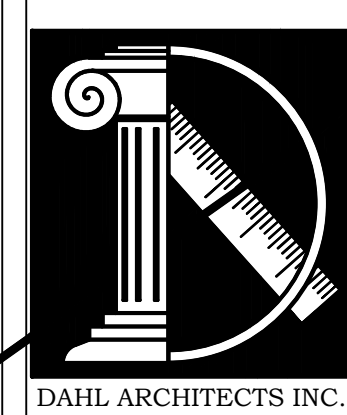


2 NEW SITE PLAN
 A-1 1/8" = 1'-0"



REV DATE
 7/31/24

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 S. PASADENA, CA 91030
 PHONE (626) 564-0011 FAX (626) 564-1591



CHANG RESIDENCE
 2033 ALPHA AVE.
 S. PASADENA, CA 91030
 (818) 392-4264

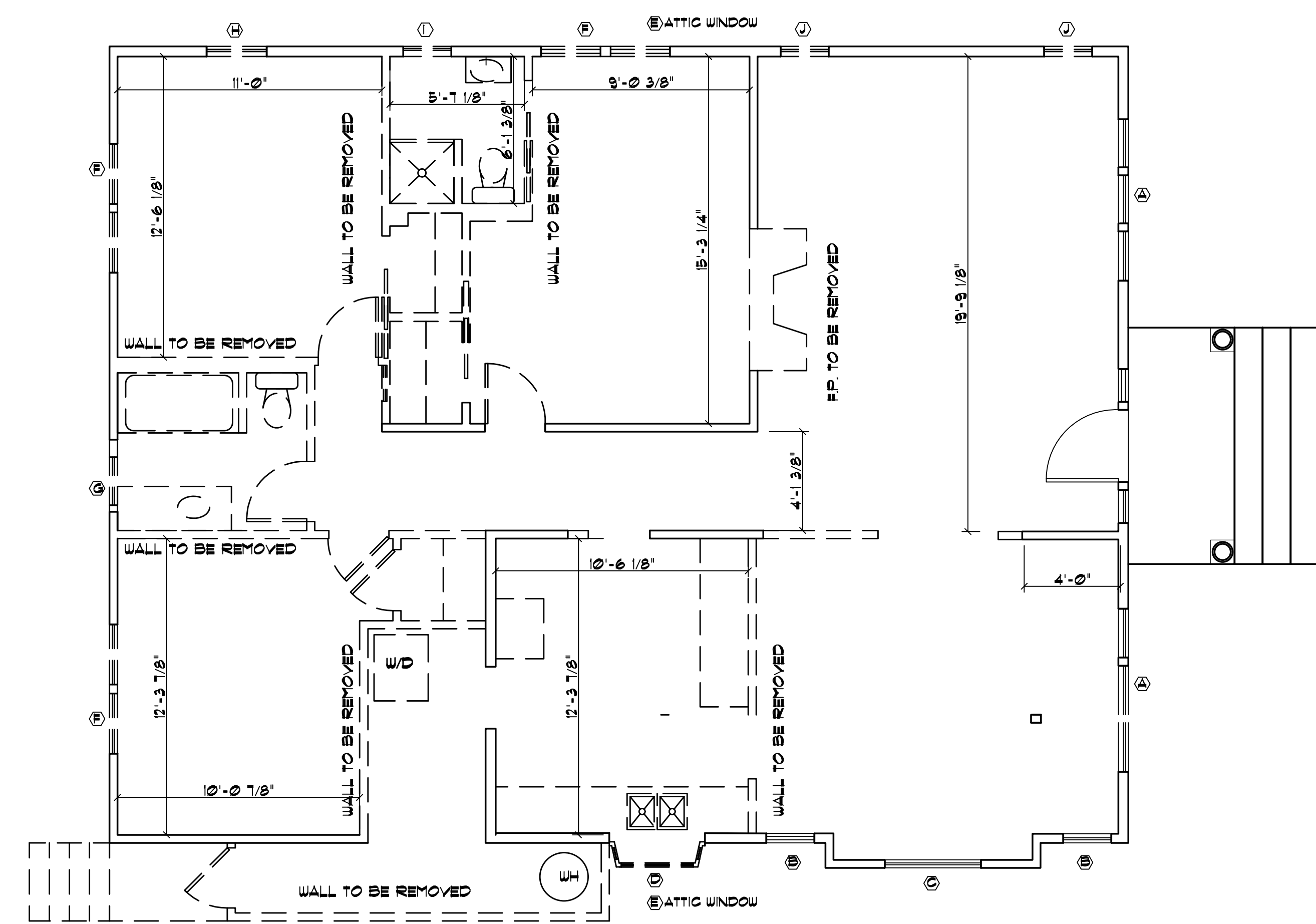
SITE PLAN
 Date
 Scale AS NOTED
 Drawn
 Job
 sheet
 A-1
 of sheets

EXISTING WINDOW SCHEDULE						
NO.	WINDOW SIZE	GLAZING	MATERIAL	TYPE	FINISH	REMARKS
A	8'-6" X 6'-0"	SINGLE	WOOD	CASEMENT	PAINT	EXISTING WINDOW TO REMAIN
B	2'-0" X 4'-6"	DOUBLE	ALUMINUM	6/H		EXISTING WINDOW TO BE REMOVED
C	4'-0" X 2'-0"	SINGLE	WOOD	FIXED	PAINT	EXISTING WINDOW TO REMAIN
D	2'-0" X 4'-6"	DOUBLE	VINYL	FIXED		EXISTING WINDOW TO BE REMOVED
E	8'-0" X 6'-0"	SINGLE	WOOD	FIXED		EXISTING WINDOW TO BE REMOVED
F	5'-6" X 4'-6"	DOUBLE	ALUMINUM	6/H		EXISTING WINDOW TO BE REMOVED
G	2'-0" X 3'-0"	DOUBLE	ALUMINUM	6/H		EXISTING WINDOW TO BE REMOVED
H	2'-3" X 3'-0"	DOUBLE	ALUMINUM	6/H		EXISTING WINDOW TO BE REMOVED
I	2'-0" X 3'-0"	DOUBLE	ALUMINUM	6/H		EXISTING WINDOW TO BE REMOVED
J	2'-0" X 4'-6"	DOUBLE	ALUMINUM	6/H		EXISTING WINDOW TO BE REMOVED

NEW WINDOW SCHEDULE						
NO.	WINDOW SIZE	GLAZING	MATERIAL	TYPE	FINISH	REMARKS
A	8'-6" X 6'-0"	SINGLE	WOOD	CASEMENT	PAINT	EXISTING WINDOW TO REMAIN
B	2'-0" X 4'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
C	4'-0" X 2'-0"	SINGLE	WOOD	FIXED	PAINT	EXISTING WINDOW TO REMAIN
D	3'-6" X 3'-0"	SINGLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
E	8'-0" X 6'-0"	SINGLE	WOOD	FIXED	PAINT	EXISTING WINDOW TO REMAIN
F	5'-6" X 4'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
G	2'-6" X 4'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
H	2'-6" X 3'-0"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
J	2'-0" X 4'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
K	2'-0" X 2'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
L	2'-6" X 3'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
M	2'-6" X 3'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
O	3'-0" X 1'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
P	4'-0" X 1'-6"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW
Q	2'-6" X 3'-0"	DOUBLE	FIBER GLASS	CASEMENT		NEW FIBERGLASS WINDOW

DOOR SCHEDULE							
NO.	DOOR SIZE	THICKNESS	DOOR FACE	MATERIAL	TYPE	DOOR FINISH	REMARKS
1	3'-0" X 6'-8"	1 3/4"	FRENCH	WOOD W/ TEMP. GLASS	SWING	PAINTED	EXISTING W/SIDE LIGHTS
2	2'-0" X 6'-8"	1 3/4"	6/C	WOOD	SWING	PAINTED	NEW DOOR
3	2'-8'-0" X 6'-8"	1 3/8"	6/C	WOOD	SWING	PAINTED	NEW DOOR
4	3'-0" X 6'-8"	1 3/4"	FRENCH	WOOD	SWING	PAINTED	NEW DOOR TEMP. GLASS
5	2'-2'-6" X 6'-8"	1 3/4"	FRENCH	WOOD	SWING	PAINTED	NEW DOOR TEMP. GLASS
6	3'-0" X 6'-8"	1 3/4"	6/C	METAL	SWING	PAINTED	NEW DOOR W/ LOUVERS
7	6'-0" X 6'-8"	1 3/4"		WOOD	SLIDING	PAINTED	CLOSET DOOR
8	2'-6" X 6'-8"	1 3/8"	6/C	WOOD	SWING	PAINTED	
9	8'-0" X 6'-8"			WOOD	SLIDING	PAINTED	CLOSET DOOR

WALL LEGEND
 EXISTING WALL TO REMAIN
 EXISTING WALL TO BE REMOVED
 NEW WALL



1 EXISTING FLOOR PLAN
 A-2 1/4" = 1'-0"

REV DATE
 7/31/24

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 S. PASADENA, CA 91030
 PHONE (626) 564-0011 FAX (626) 564-1591



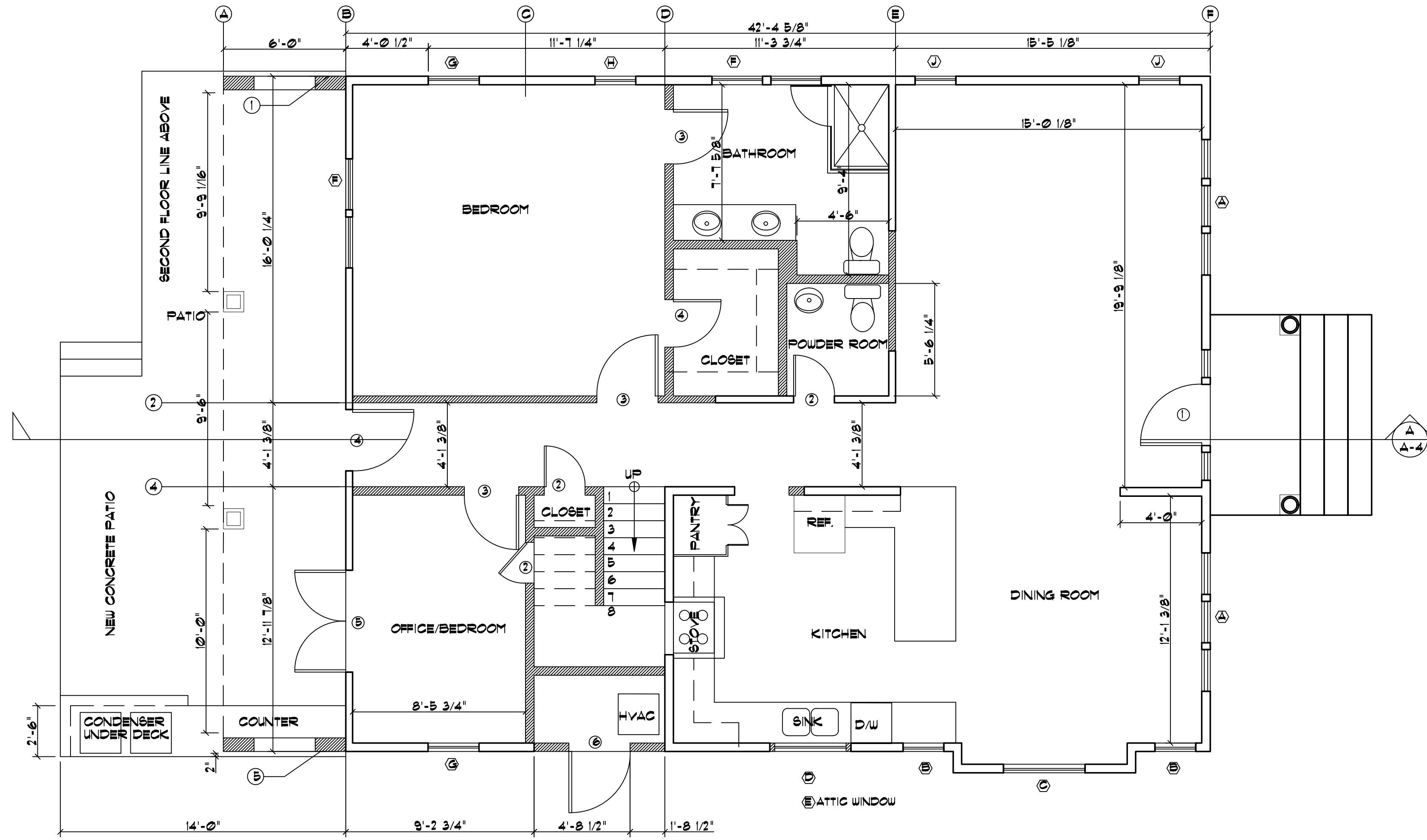
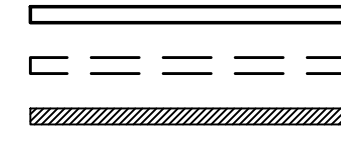
CHANG RESIDENCE
 2033 ALPHA AVE.
 S. PASADENA, CA 91030
 (818) 392-4264

EXISTING
 FLOOR PLAN

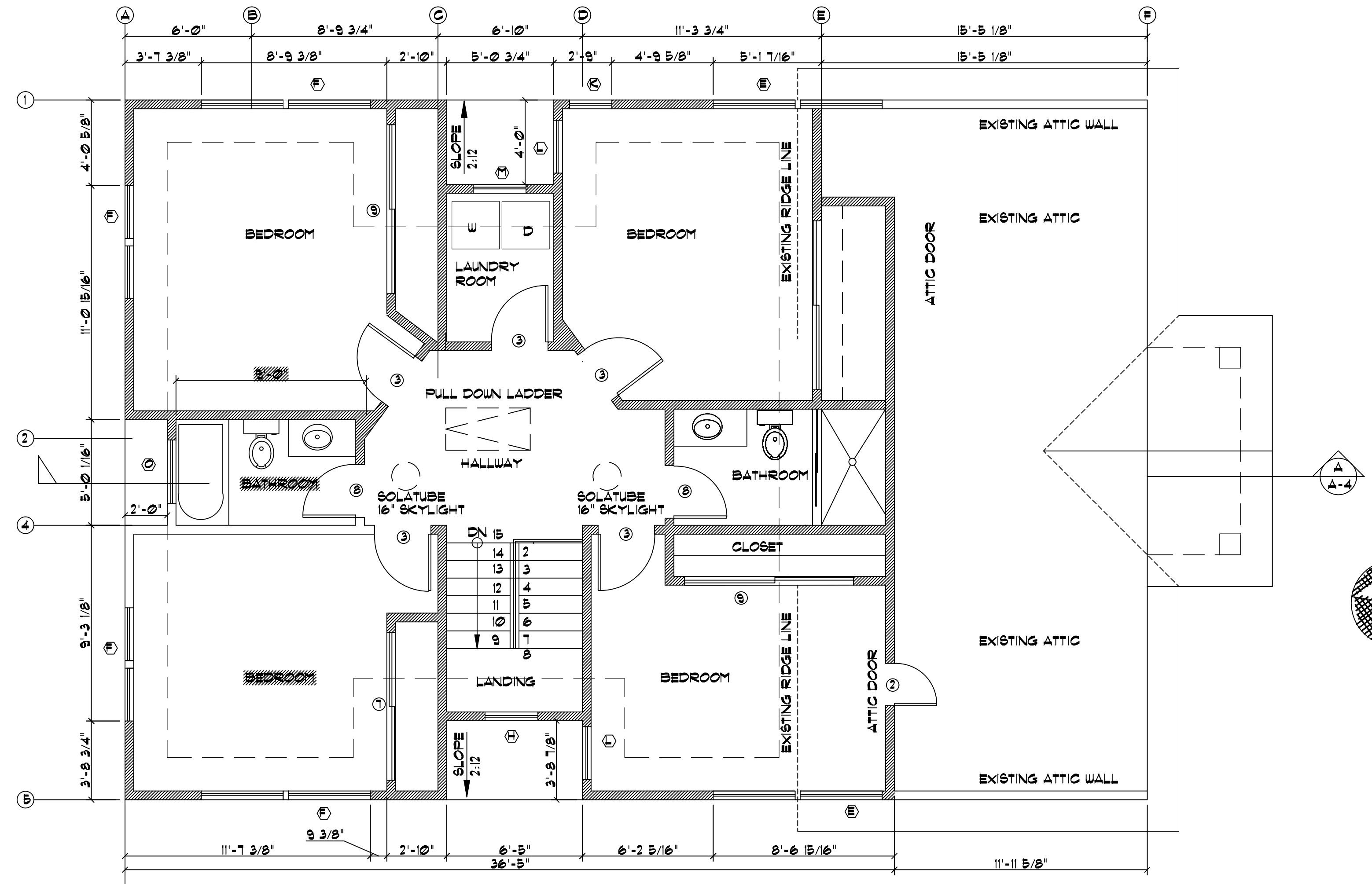
Date
 Scale AS NOTED
 Drawn
 Job
 sheet
 A-2
 of sheets

WALL LEGEND

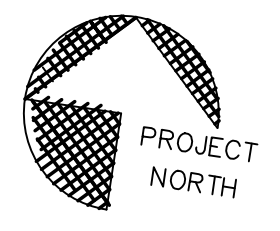
EXISTING WALL TO REMAIN
 EXISTING WALL TO BE REMOVED
 NEW WALL

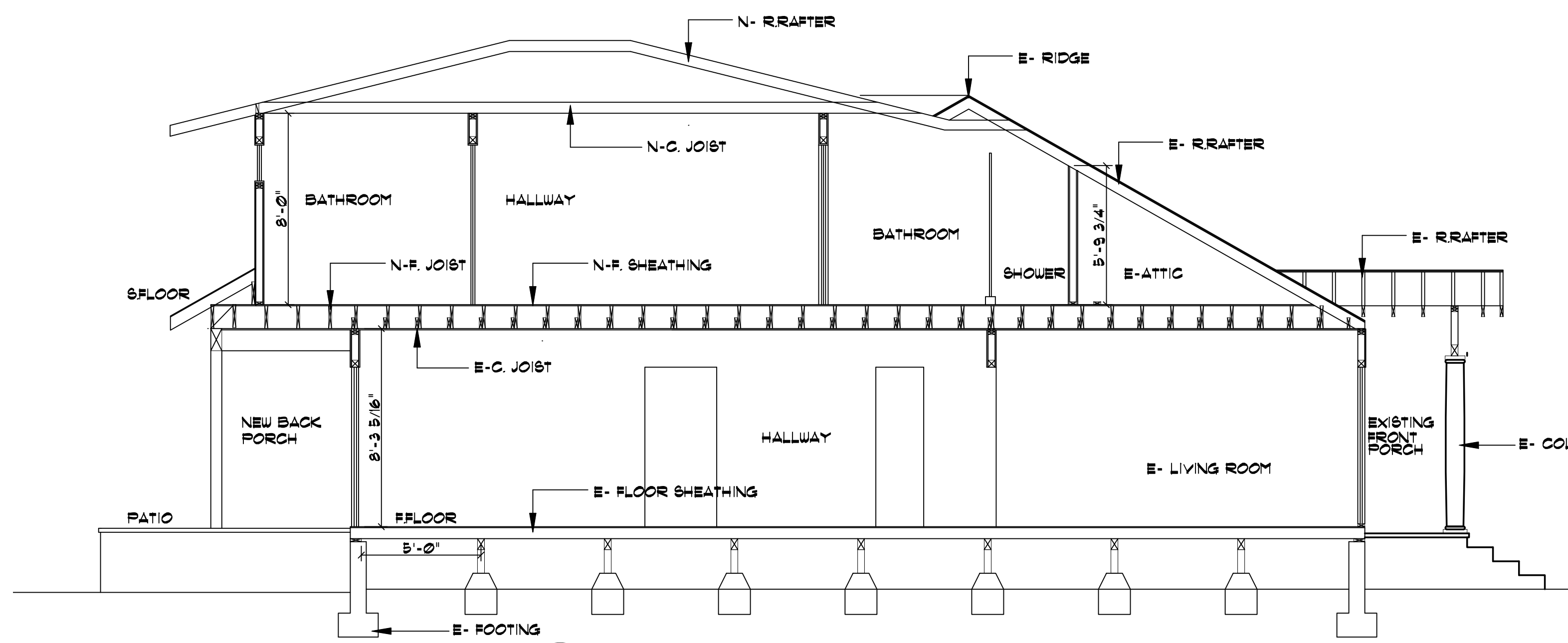
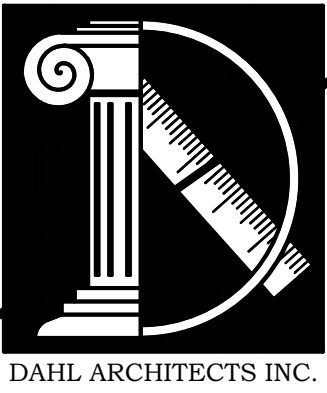


1 NEW FIRST FLOOR PLAN
 1/4" = 1'-0"

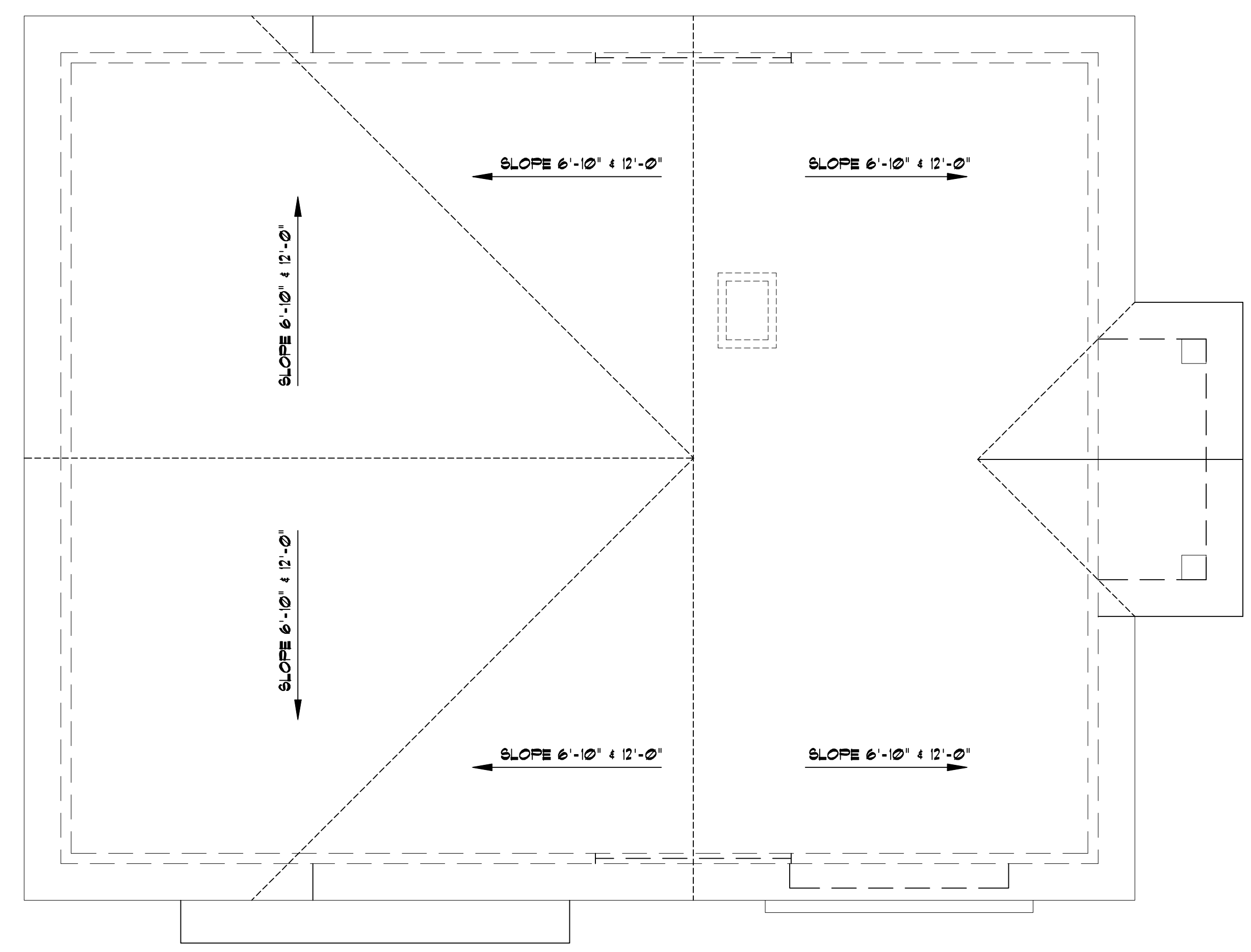


2 NEW SECOND FLOOR PLAN
 1/4" = 1'-0"

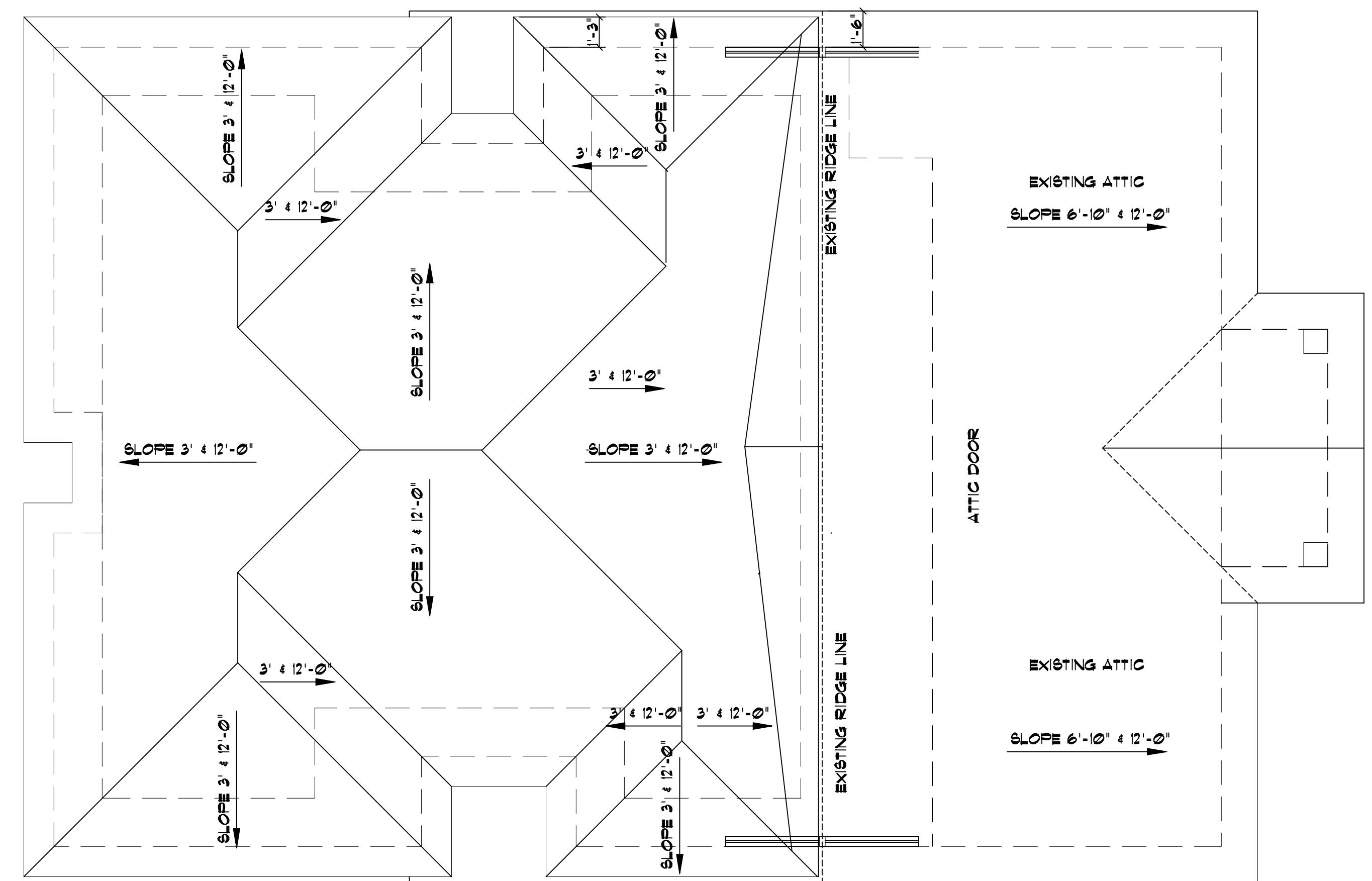




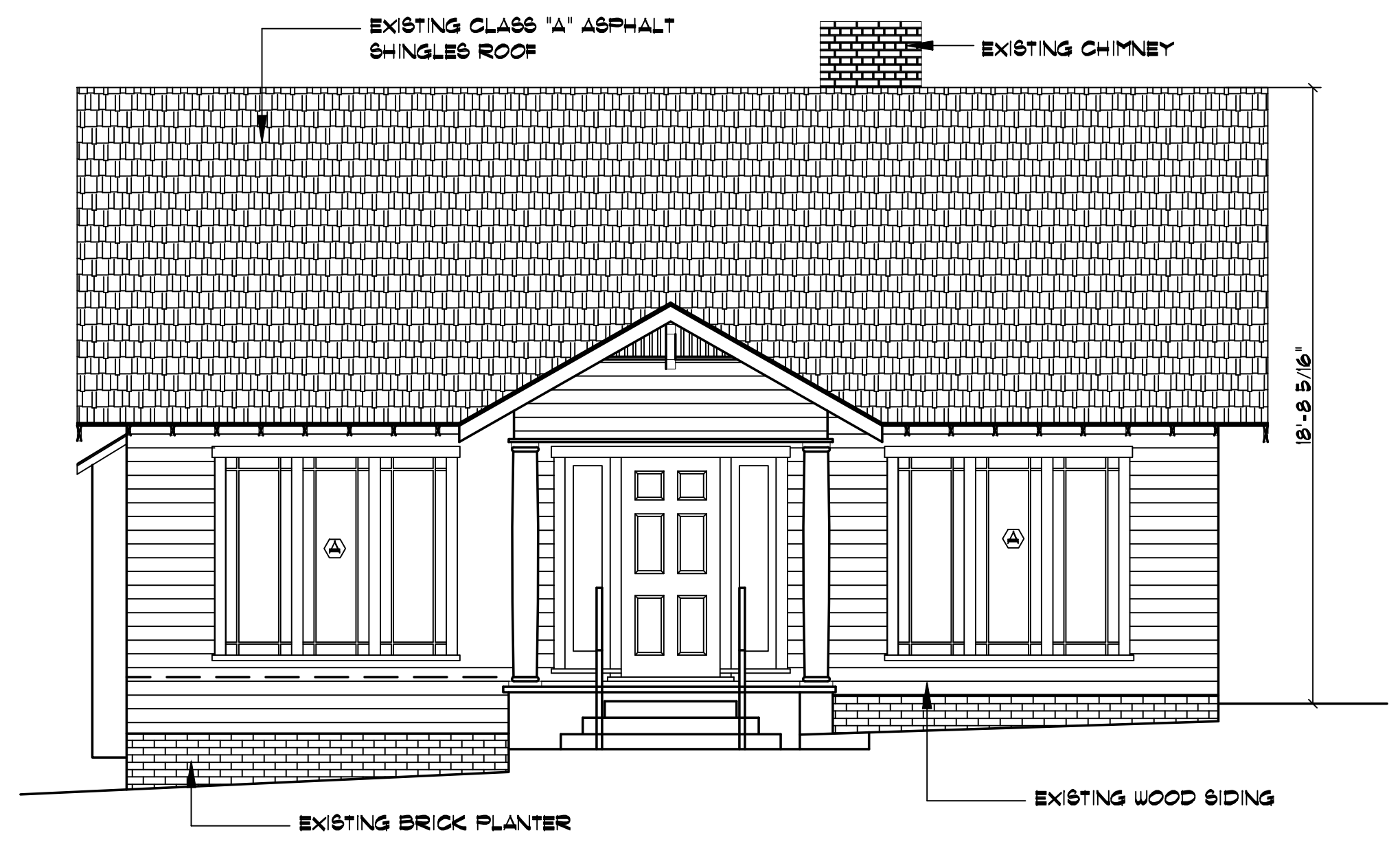
A BUILDING SECTION "A"
 A-4 1/4" = 1'-0"



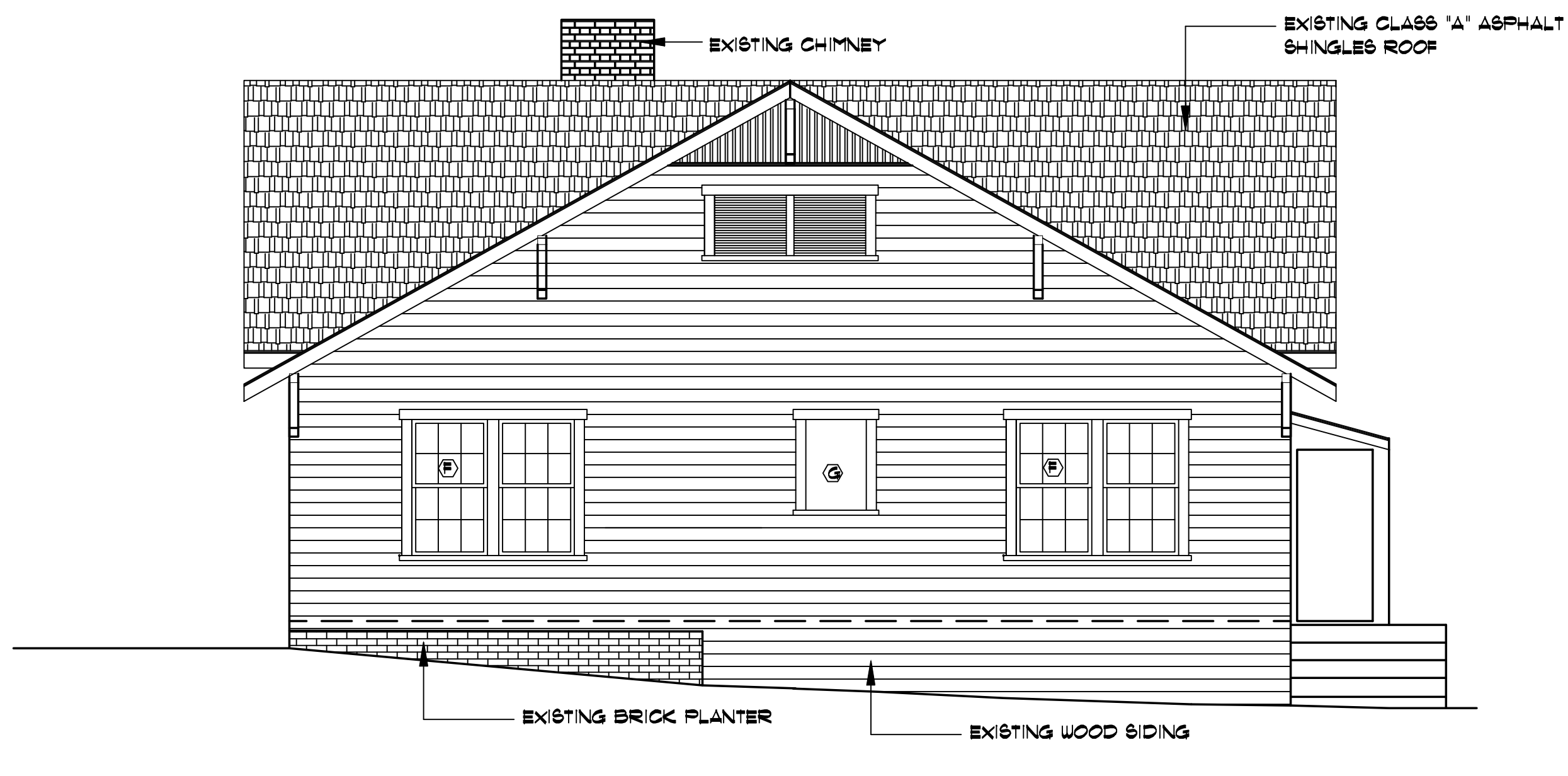
1 EXISTING ROOF PLAN
 A-4 1/4" = 1'-0"



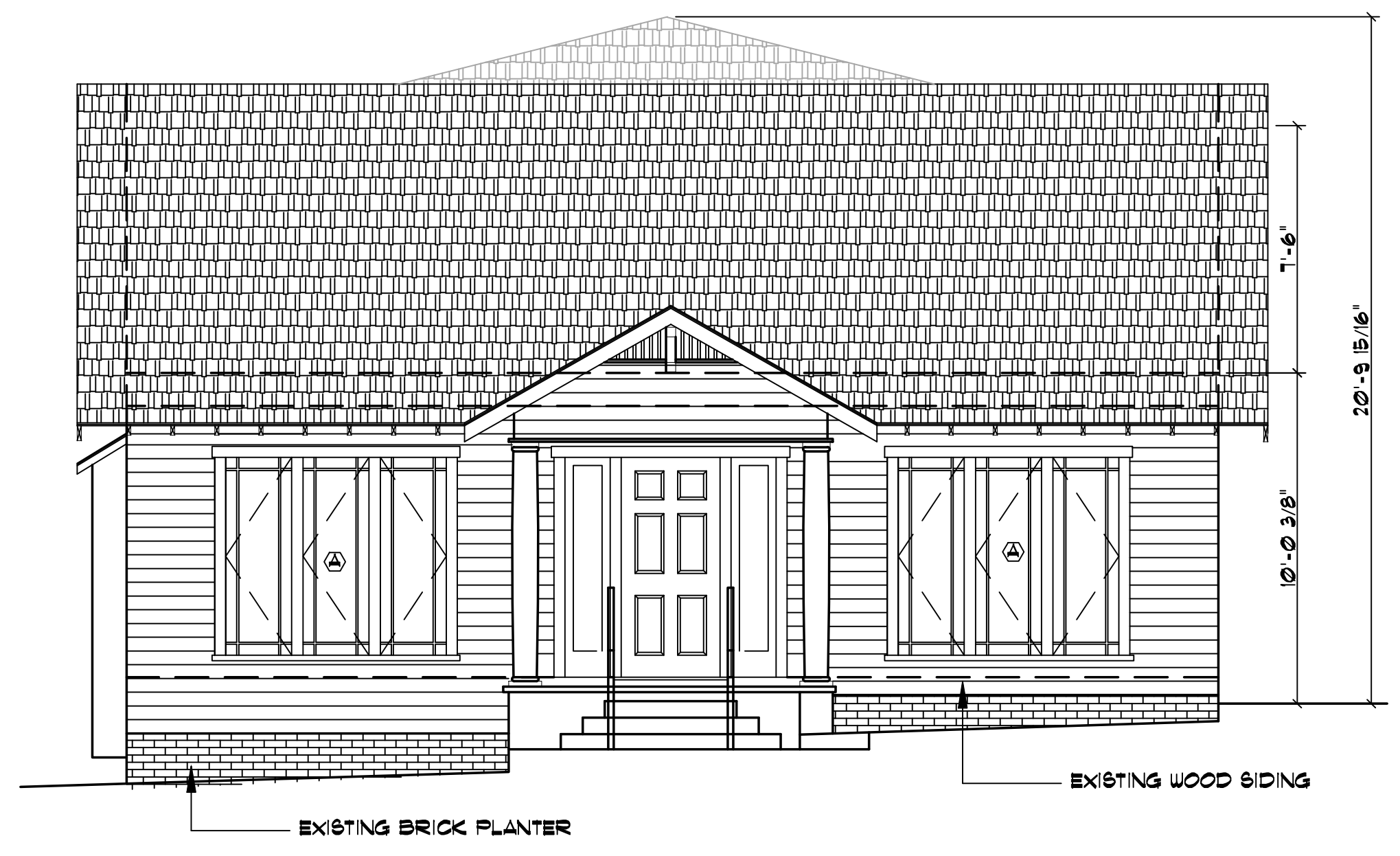
2 NEW ROOF PLAN
 A-4 1/4" = 1'-0"



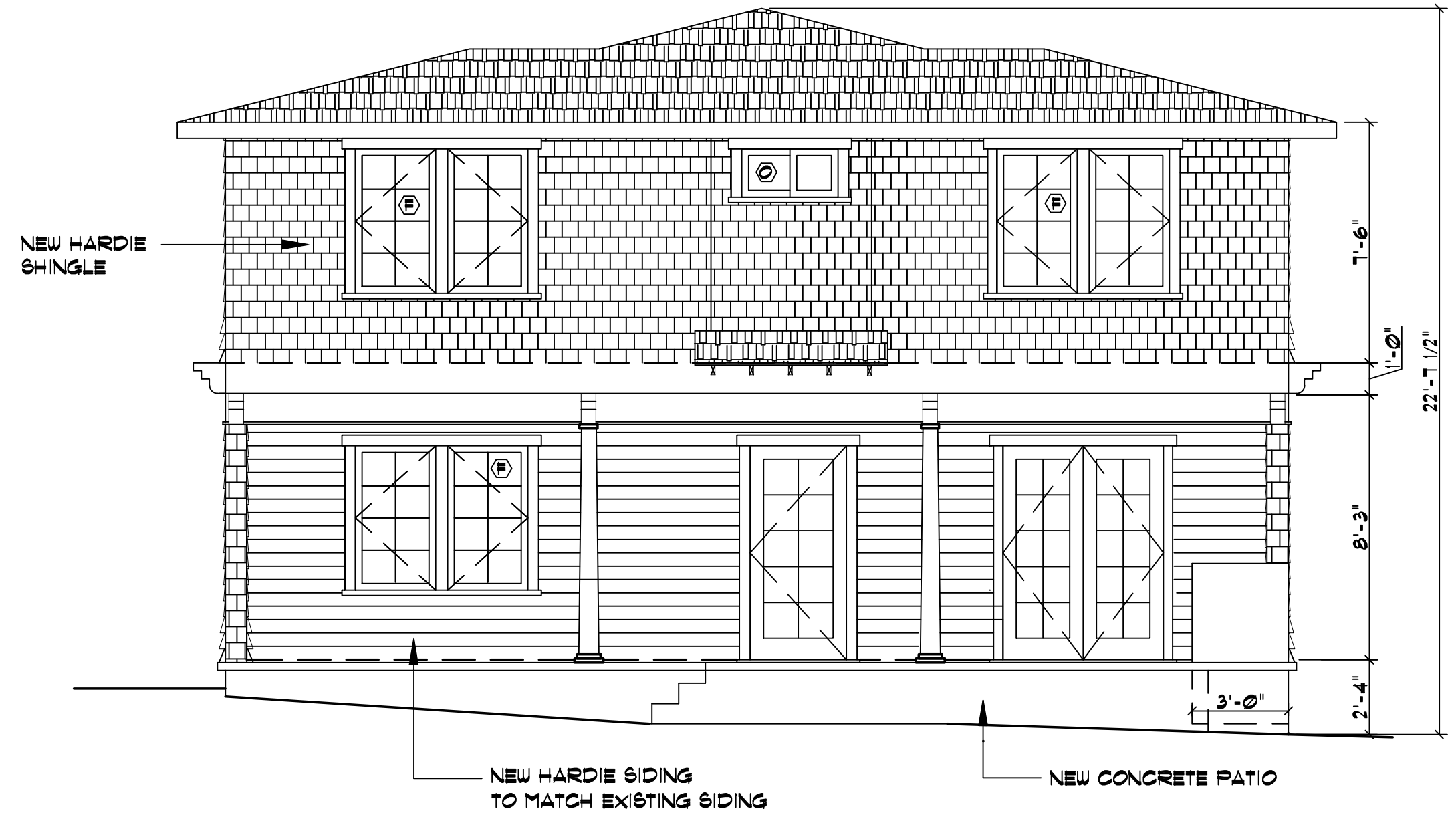
1 EXISTING EAST ELEVATION (FRONT)
A-5 1/4" = 1'-0"



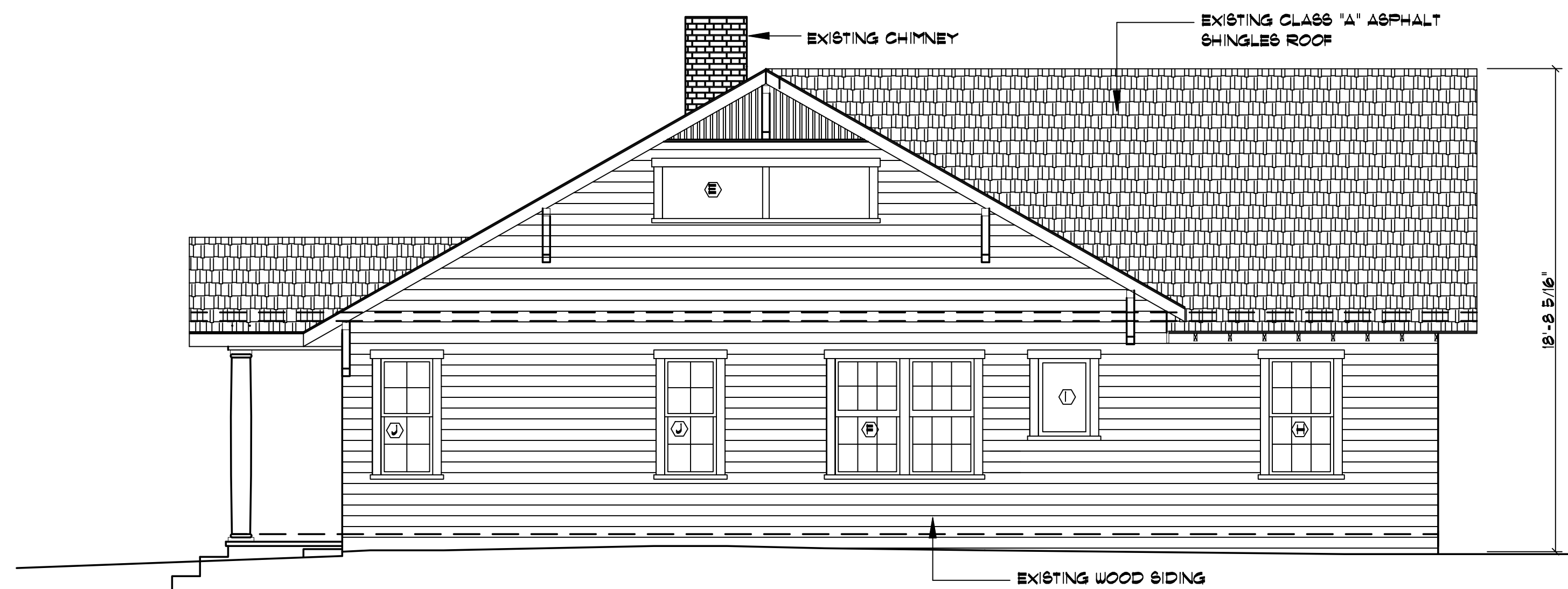
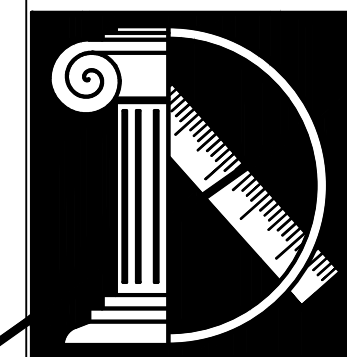
3 EXISTING WEST ELEVATION (BACK)
A-5 1/4" = 1'-0"



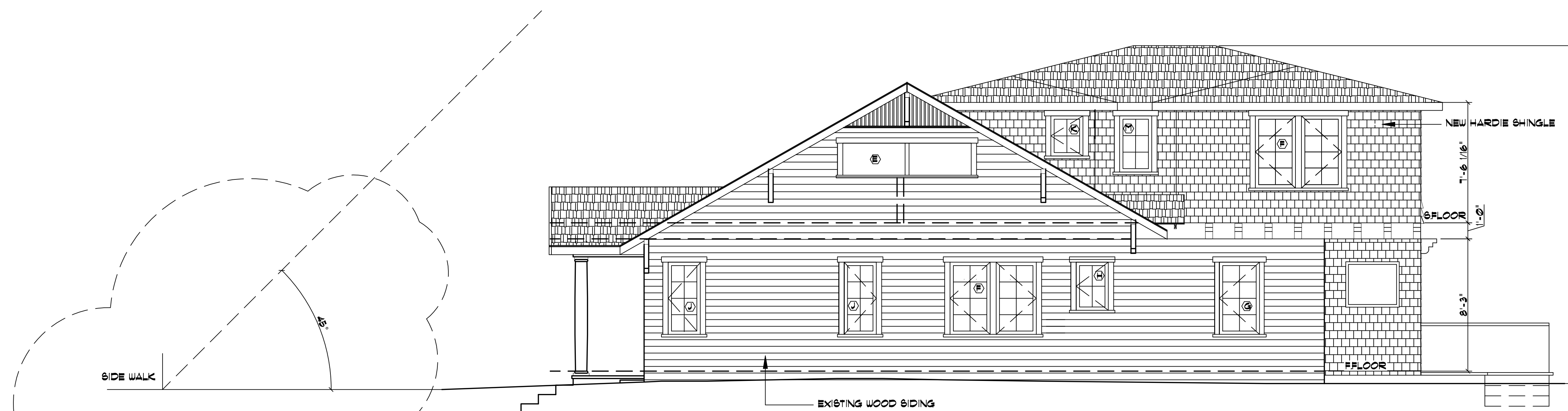
2 NEW EAST ELEVATION (FRONT)
A-5 1/4" = 1'-0"



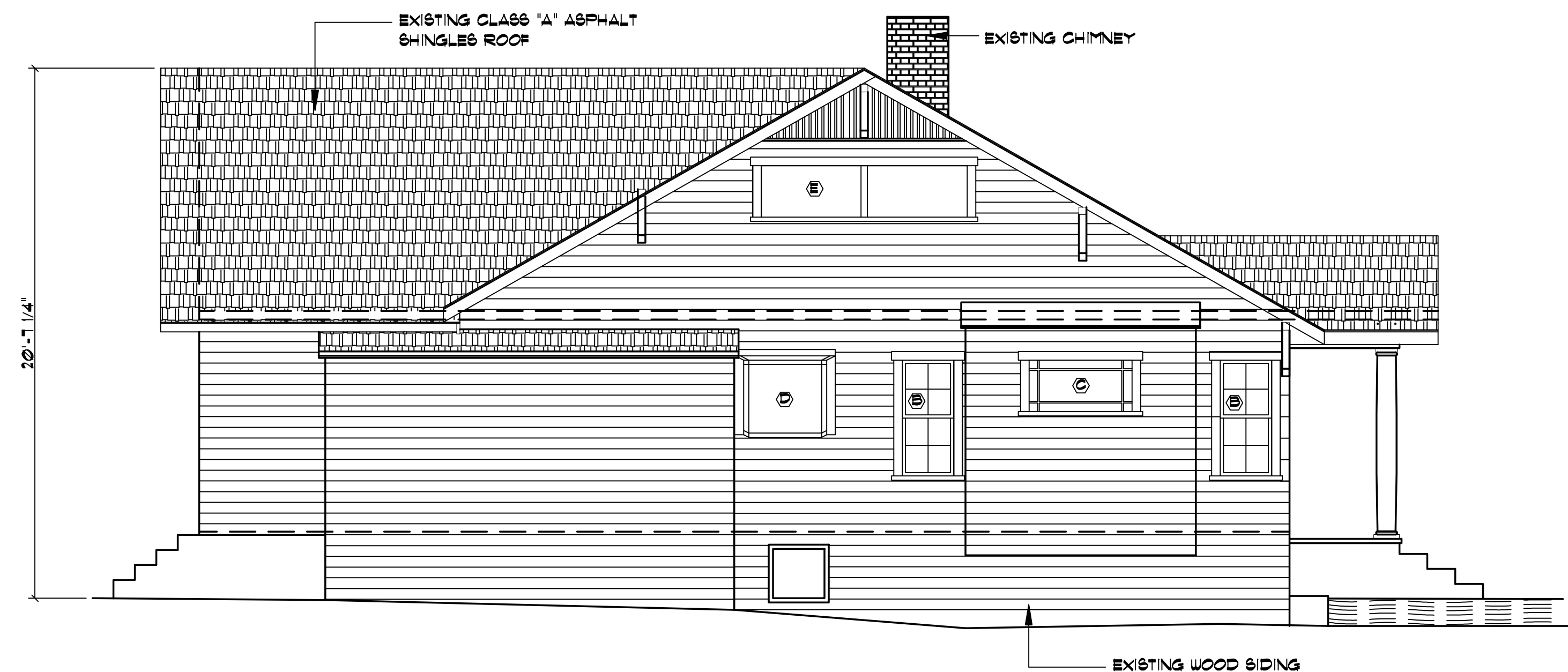
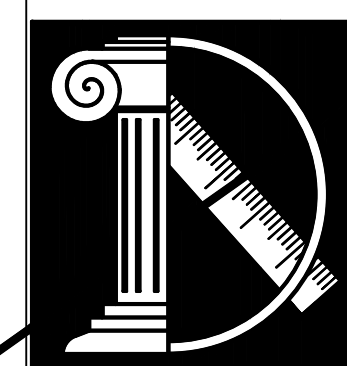
4 NEW WEST ELEVATION (BACK)
A-5 1/4" = 1'-0"



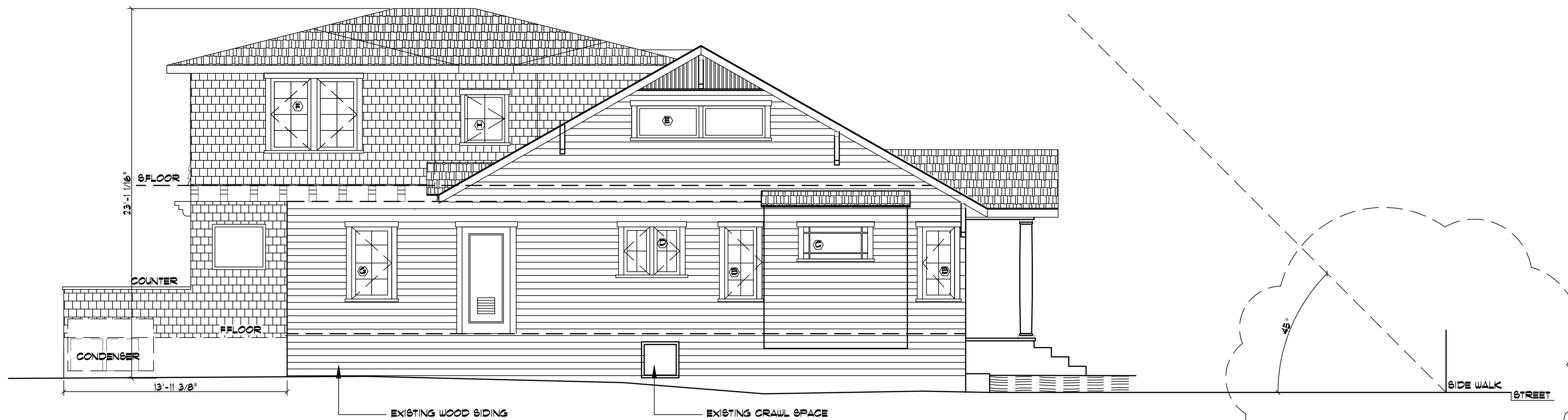
1 EXISTING NORTH ELEVATION (RIGHT SIDE)
A-6 1/4" = 1'-0"



2 NEW NORTH ELEVATION (RIGHT SIDE)
A-6 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION (LEFT SIDE)
A-7 1/4" = 1'-0"



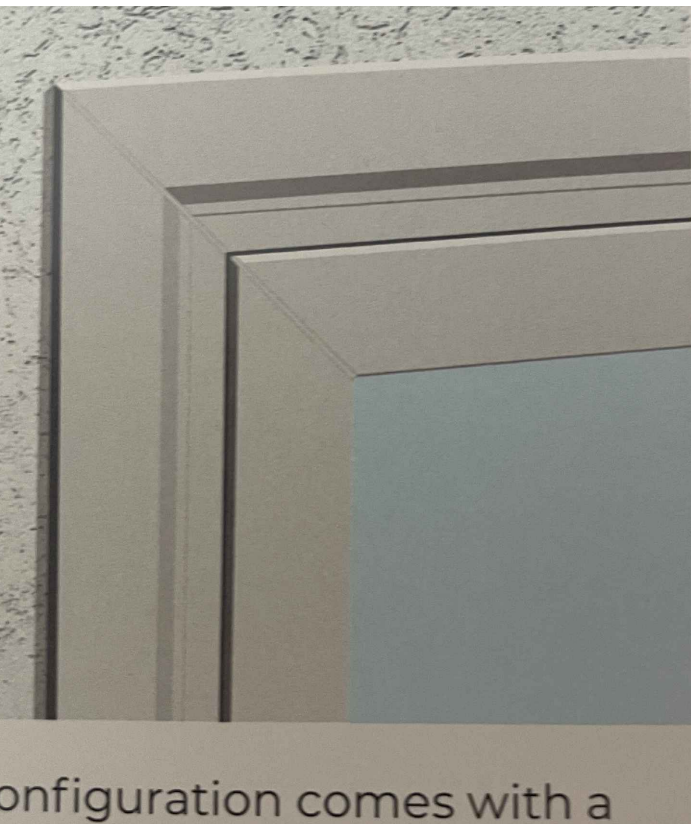
2 NEW SOUTH ELEVATION (LEFT SIDE)
A-7 1/4" = 1'-0"



ROOF SAMPLE



SHINGLE SAMPLE



WINDOW SAMPLE



MILGARD WINDOW



2043 ALPHA AVE. ⑳ 2045 AND 2041 ALPHA AVE. ㉓ 2037 ALPHA AVE. ㉑

MATERIAL SAMPLES



2029 ALPHA AVE. ⑲ 2025 ALPHA AVE. ⑲ 2021 ALPHA AVE. ⑲ 2019 ALPHA AVE. ⑲ 2015 ALPHA AVE. ⑲ 2011 ALPHA AVE. ⑲ 2005 ALPHA AVE. ⑲



2001 ALPHA AVE. ⑲ 2006 ALPHA AVE. ⑲ 2012 ALPHA AVE. ⑲ 2018 ALPHA AVE. ⑲ 2024 ALPHA AVE. ⑲

VALLEY VIEW ROAD



2028 ALPHA AVE. ⑲ 2032 ALPHA AVE. ⑲



2036 ALPHA AVE. ⑲ 2042 ALPHA AVE. ⑲ 2046 ALPHA AVE. ⑲ 2050 ALPHA AVE. ⑲ 2060 ALPHA AVE. ⑲

⑲ 2001	⑲ 2005	⑲ 2011	⑲ 2015	⑲ 2019	⑲ 2021	⑲ 2025	⑲ 2029	⑲ 2033	⑲ 2037	⑲ 2041	⑲ 2045	⑲ 2043		
⑲ 2006	⑲ 2012	⑲ 2018	⑲ 2024	VALLEY VIEW ROAD				⑲ 2028	⑲ 2032	⑲ 2034	⑲ 2042	⑲ 2046	⑲ 2050	⑲ 2060

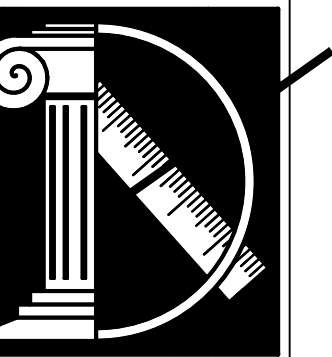
PHOTO KEY



REV DATE



DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
S. PASADENA, CA 91030
PHONE (626) 564-0011 FAX (626) 564-1591



DAHL ARCHITECTS INC.

CHANG RESIDENCE
2033 ALPHA AVE.
S. PASADENA, CA 91030
(818) 392-4264

NEIGHBORHOOD
PHOTO AND
MATERIAL BOARD

Date
Scale AS NOTED
Drawn
Job
sheet
of sheets



2033 ALPHA AVE. BEFORE
CHANG RESIDENCE

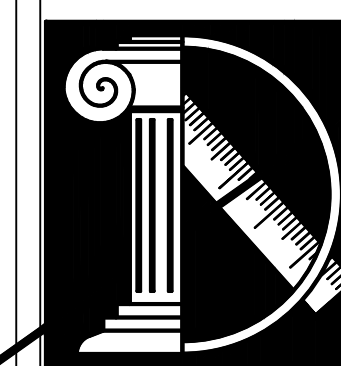


2033 ALPHA AVE. BEFORE 20
CHANG RESIDENCE



NEW ADDITION RENDERING WITH NEIGHBOR'S HOUSE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
S. PASADENA, CA 91030
PHONE (626) 564-0011 FAX (626) 564-1591



DAHL ARCHITECTS INC.

CHANG RESIDENCE
2033 ALPHA AVE.
S. PASADENA, CA 91030
(818) 392-4264

NEIGHBORHOOD
PHOTO BOARD

Date

Scale AS NOTED

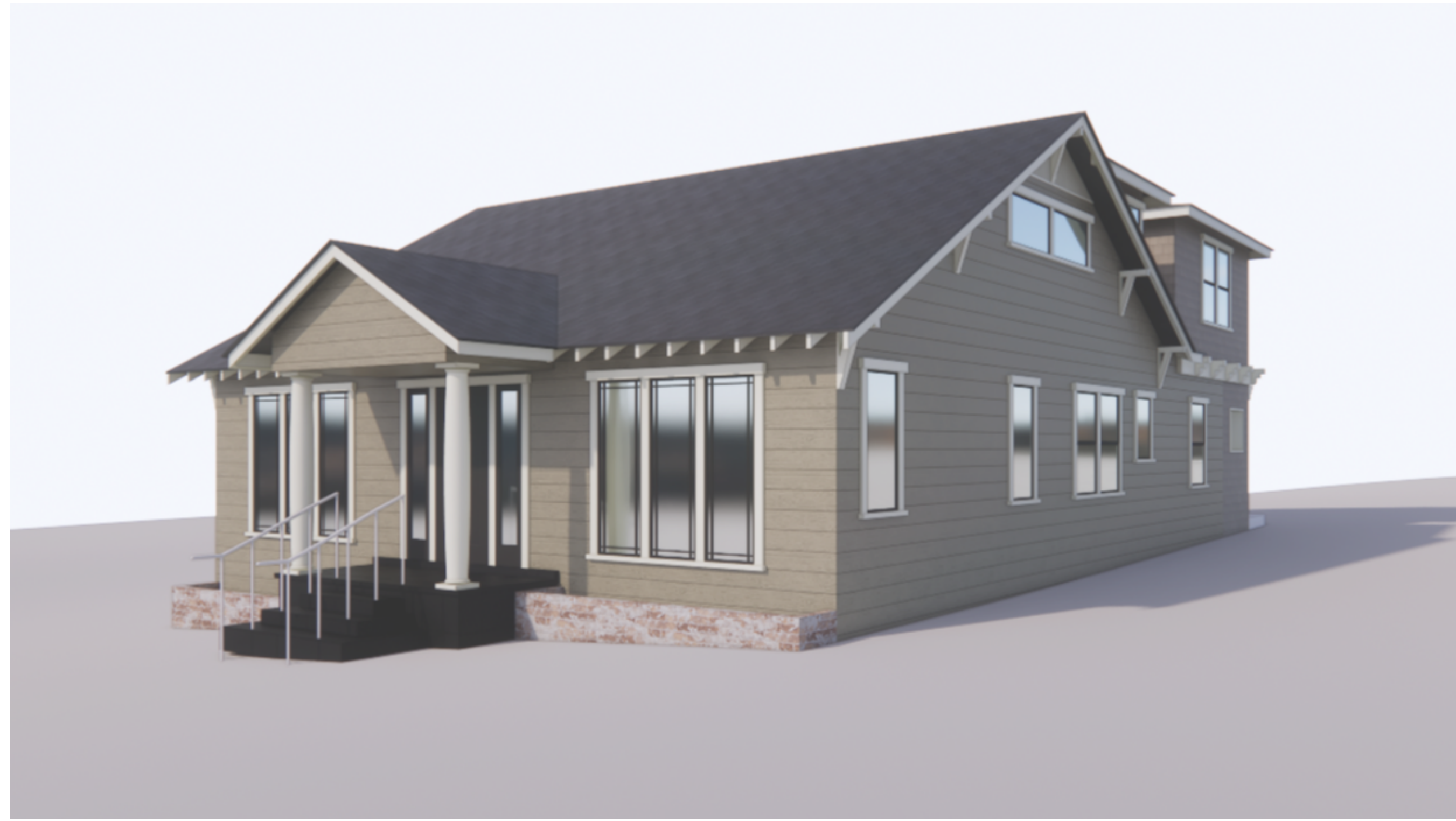
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Job

sheet

C-1

of sheets



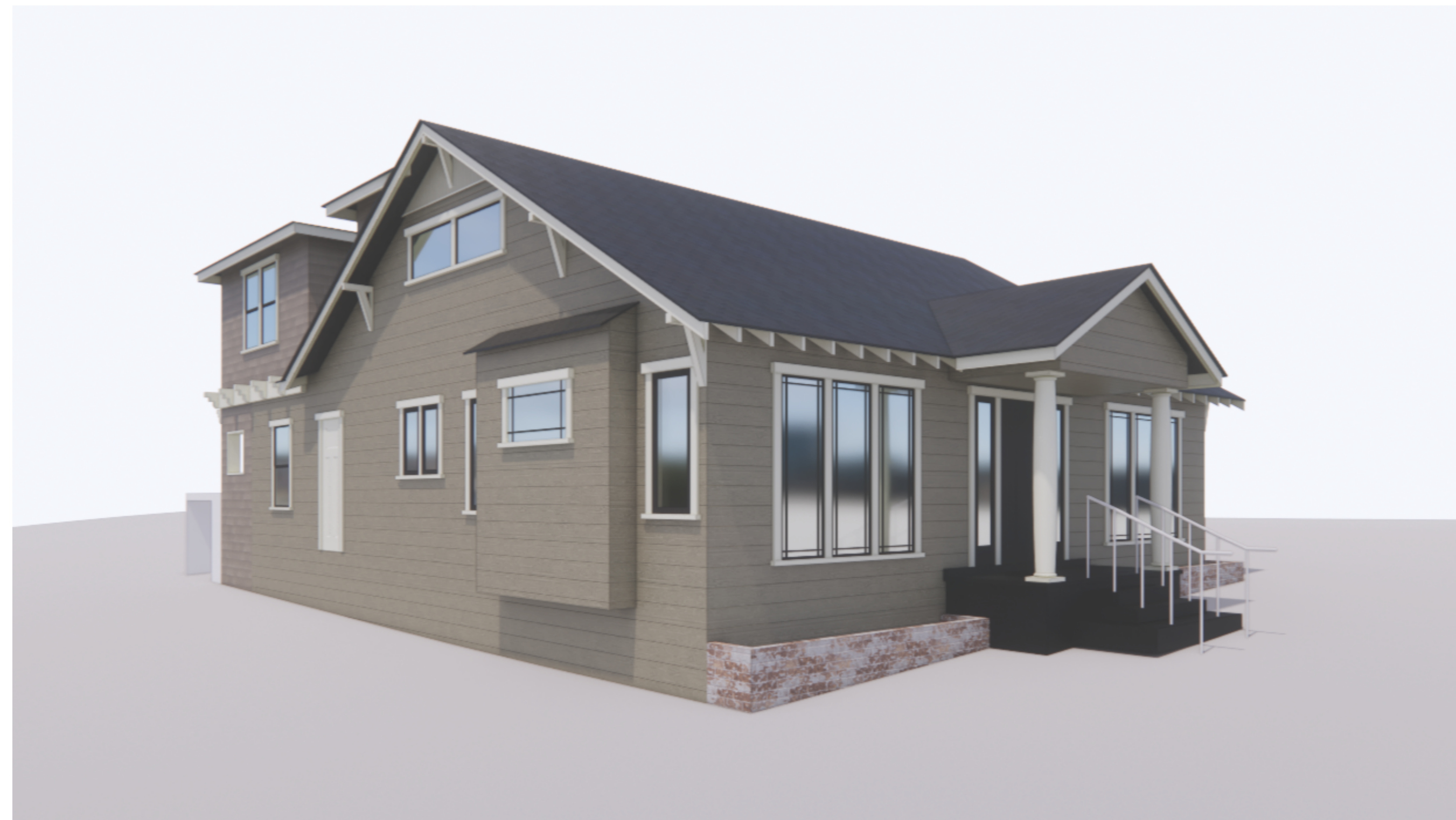
FRONT AND DRIVEWAY VIEW RENDERING



REAR PATIO AND DRIVEWAY VIEW RENDERING



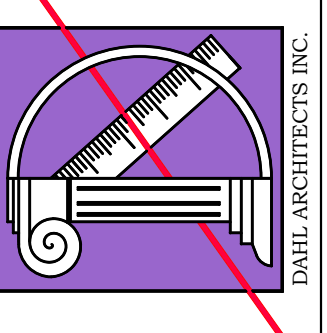
REAR PATIO AND SIDEYARD VIEW RENDERING



FRONT PATIO AND SIDEYARD VIEW RENDERING

Rev. Date

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA, CA 91030
 (626) 564-0011



CHANG RESIDENCE
 2033 ALPHA STREET
 SOUTH PASADENA, CA 91030

NEIGHBORHOOD
 PHOTO BOARD
 CONTINUED

Date

Scale AS NOTED

Drawn

Size (24x36)

Sheet

C-2

ATTACHMENT 3

Building Permits

CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS

LOCATION 2033 ALPHA

LOT 88 BLOCK _____ TRACT VALLEY VIEW HEIGHTS

OWNER A. MC MILLAN

NEW HOUSE

TRENCH	FRAME	WIRING	RGH. PLMB.	SEWER	FIN. PLMB.	FIN. BLDG.	ELEC. FIX.
DATE	NUMBER	CLASSIFICATION	CONTRACTOR			ESTIMATED COST	
<u>4-27-22</u>	<u>3155</u>	BUILDING	<u>DAY LABOR</u>			<u>3000⁰⁰</u>	
		ELEC. WIRING					
		ELEC. FIXTURES					
		PLUMBING					
		SEWER					
		HOUSE CONN.					

(110 book)

Made in Duplicate.

No. 3424

City of South Pasadena

Department of Buildings

This permit becomes null and void if work is not commenced within 60 days from date of issue.

SOUTH PASADENA, CAL. Nov 16 1922

Permission is hereby granted to Mary M. Millan Owner

Owner's Address: 2033 alpha

City and State _____ Phones _____

Contractor's Name _____

Contractor's Address: _____

City and State _____ Phones _____

To Garage 12x18

On Lot 88 Block _____

Tract Valley View Tract

Street and Number 2033 alpha

In accordance with Application No. _____ on file in this office, and subject to the provisions of the Building Ordinances of the City of South Pasadena.

Estimated value, \$ 150.00

Fee, \$ 60

R. V. Orlicson
Building Inspector.

(Owner must post Inspection Card on job)

NOTIFY FOR INSPECTION

WHEN

1—Trench is dug.
2—Foundation is in.
3—Joists are laid.

4—Frame is up.
5—Rough plumbing is in.
6—Electric wires are in.

7—Plumbing fixtures are in.
8—Electric fixtures are in.
9—Final completion.



City of South Pasadena

1414 Mission Street
South Pasadena, CA 91030
Office Hrs: 7:30 am to 5:00 pm, M-Th
7:30 am to 4:00 Friday
Phone Number (626) 403-7220
Insp. Request (626) 403-7226

BUILDING PERMIT APPLICATION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____, Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: *[Signature]* Date: 5-15-06

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: *[Signature]* Date: 5-15-06

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: GREG SYLVIS

Signature: *[Signature]* Date: 5-15-06

SITE ADDRESS 2033 ALPHA ST		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME CAROL MAJORS		
STREET ADDRESS SAME		
CITY	STATE	ZIP CODE
PHONE NUMBER		
PRINCIPAL DESIGNER'S NAME T.A. PUKISS		LICENSE NO S3291
STREET ADDRESS 5149 LA CANADA BLVD		
CITY LA CANADA	STATE CA	ZIP CODE 91011
PHONE NUMBER 818-5659671		
CONTACT PERSON GREG SYLVIS		
PHONE NUMBER 626-6285781		
CONTRACTOR'S NAME GREG SYLVIS		
STREET ADDRESS 500 BELLMORE WAY		
CITY PASADENA	STATE CA	ZIP CODE 9103
LICENSE CLASS B1	LICENSE NUMBER 442627	EXPIRATION DATE 7-31-07
PHONE NUMBER 626-4496118		
WORKER'S COMPENSATION INSURANCE COMPANY NAME		
WORKER'S COMP INSURANCE POLICY NUMBER		EXPIRATION DATE

DESCRIPTION OF WORK VOLUNTARY UPGRADE BRACE CABLE WALK, BOCT MUDSILLS PER ENGINEER DETAIL		
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
NUMBER OF STORIES	FIRE SPRINKLERS <input type="checkbox"/> YES <input type="checkbox"/> NO	CODE IN EFFECT LACBC-02
STATISTICAL CLASSIFICATION NO: 0/S R UNITS		PLANNING FILE NO.
\$ 2000 INITIAL VALUATION		\$ REVISED VALUATION
PLAN CHECK FEE 1/2 HR.		\$ 36.25
ADDITIONAL PLAN CHECK FEE		
PLAN CHECK NUMBER 15208	INITIALS MR	DATE 5-15-06
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
<input type="checkbox"/> SCHOOL FEES PAID <input type="checkbox"/> SCAQMD		
<input type="checkbox"/> SANITATION DIST. PAID <input type="checkbox"/> INDUSTRIAL WASTE APPROVAL		
<input type="checkbox"/> HEALTH DEPT. APPROVAL <input type="checkbox"/> OSHA PERMIT OBTAINED		
<input type="checkbox"/> FIRE DEPT. APPROVAL <input type="checkbox"/> PUBLIC WORKS FEES PAID		
BUILDING PERMIT FEE		\$ 77.41
ISSUANCE FEE		\$ 27.75
SMIP FEE		\$
PLAN MAINTENANCE FEE		\$
		\$
		\$
TOTAL		\$ 105.16
PERMIT NUMBER 15208	INITIALS MR	DATE 5-15-06
DATE OF FINAL 5/16/06		FINAL BY <i>[Signature]</i>

NO.	INSPECTION	DATE	INSPECTOR
-----	------------	------	-----------

REQUIRED BUILDING INSPECTIONS AND APPROVALS

B1	Soils Engineer's Approval		
B2	Location and Setbacks	5/16/05	MM/12/11
B3	Foundation/Trench Forms		
B4	Structural Concrete Slab on Grade		
B5	Raised Floor Framing		
B6	Underfloor Insulation		
B7	First Level Floor Diaphragm		
B8	Second Level Floor Diaphragm		
B9	Third Level Floor Diaphragm		
B10	Roof Diaphragm		
B11	Concrete Deck		
B12	Steel Framing		
B13	Fire Dept. Frame Inspection		
B14	Bldg. Dept. Frame Inspection		
B15	Fire Sprinkler Hangers		
B16	Insulation/Weather Stripping		
B17	Interior Lath and/or Drywall		
B18	Exterior Lath		
B19	Rated Horizontal Assemblies		
B20	Rated Wall Assemblies		
B21	Rated Opening Protection		
B22	Rated Shaft Construction		
B23	T-Bar Ceilings		
B24	Lot Drainage		
B25	Planning Dept. Approval		
B26	Fire Dept. Approval		
B27	Public Works Dept. Approval		

DESCRIBE COMPLETELY THE INTENDED USE OF ALL SPACE APPLICABLE TO THIS BUILDING PERMIT

THE FOLLOWING STATEMENT MUST BE SIGNED BY THE BUILDING OWNER. WHEN APPROVED BY THE BUILDING OFFICIAL, THE OWNER'S AGENT MAY SIGN FOR PERMITS OTHER THAN THE INITIAL OR SHELL BUILDING PERMIT.

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amounts specified on the hazardous materials information guide? YES NO

If the answer to the question above was yes, will the proposed building or modified facility be within 1000 feet of the outer boundary of a school. YES NO

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines. YES NO

I have read the hazardous material information guide and the SCAQMD permitting checklist. I understand my requirements under the State of California Health and Safety Code Section 25505, 25533, and 25634 concerning hazardous materials reporting.

OWNER AGENT

NAME: _____

SIGNATURE: _____

PEDESTRIAN PROTECTION: _____ DATE APPROVED: _____
DATE PERMITTED TO BE REMOVED: _____

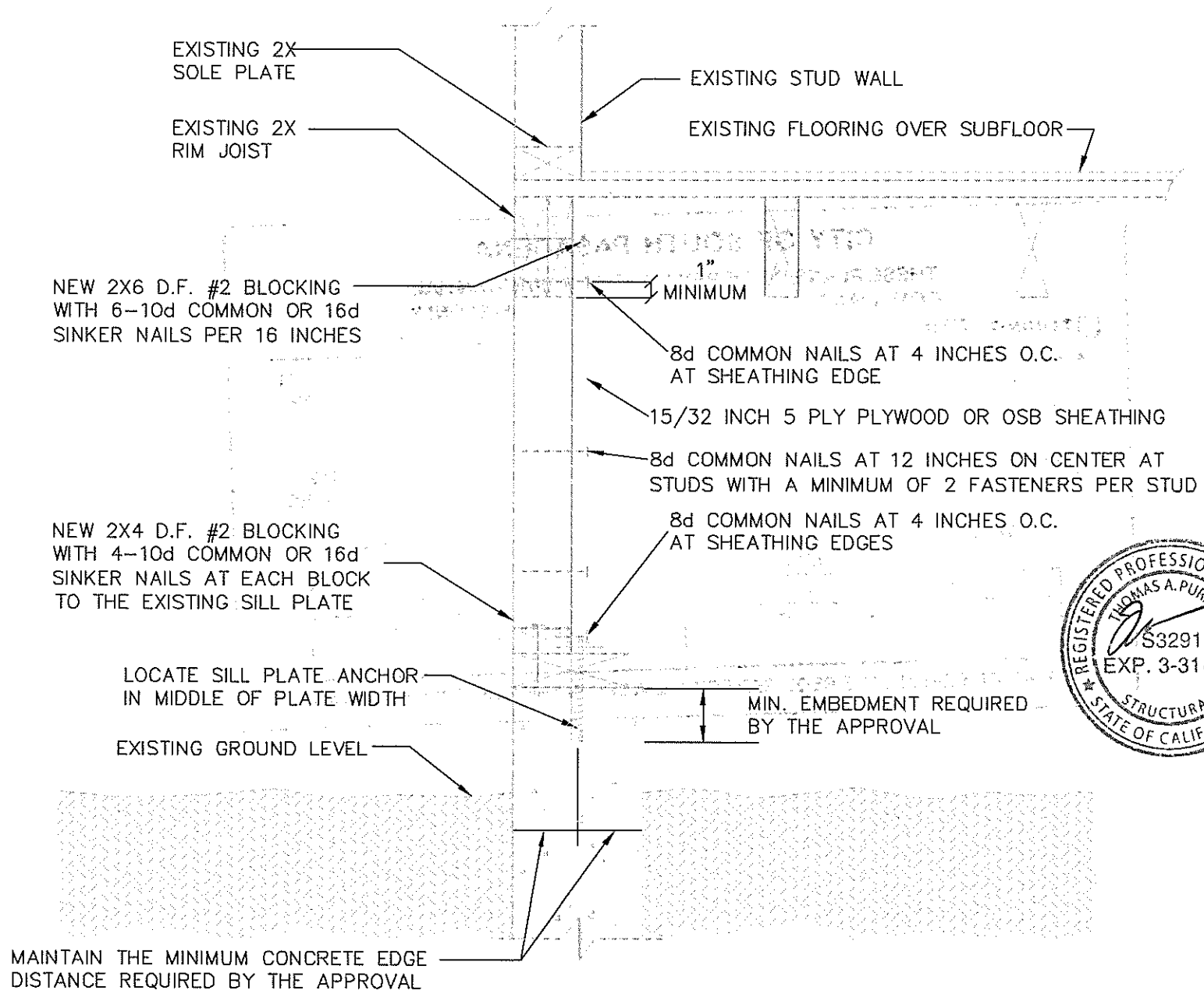
INSPECTION NOTES _____

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).

Lender's Name: _____

Lender's Address: _____



2a

CRIPPLE WALL SECTION—PARALLEL JOISTS

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL COMPLIANCE WITH THE CITY OF SOUTH PASADENA CODE(S) ONLY

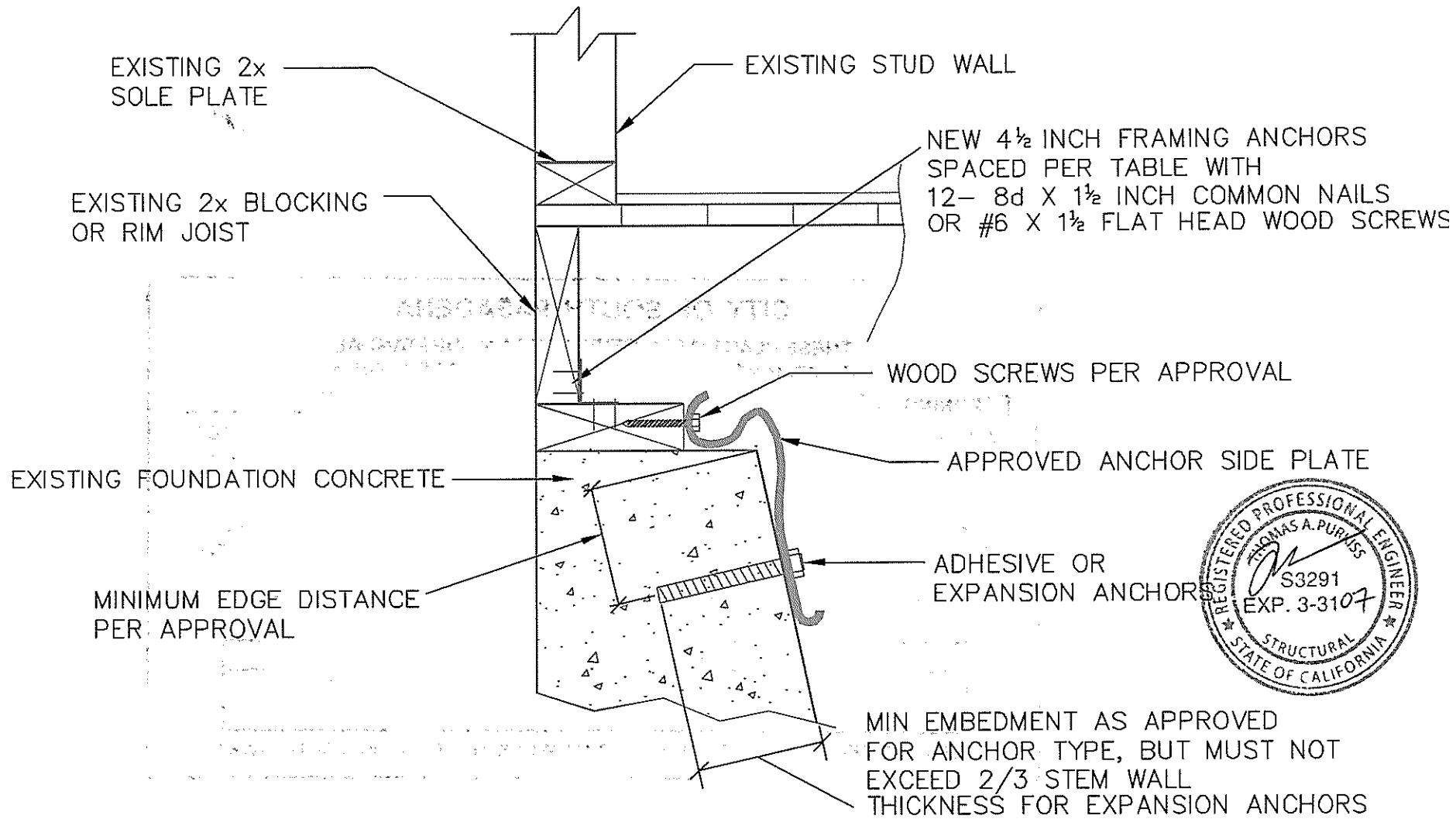
ZONING BLDG FIRE SAFETY ELECTRICAL MECHANICAL PLUMBING GAS OTHER _____

ALL OBSERVED VIOLATIONS ARE SUBJECT TO FURTHER INVESTIGATION AND CALCULATION OF PENALTIES. ANY VIOLATIONS NOT PRESENTLY ADOPTED BY THE CITY OF SOUTH PASADENA ARE PRESENTLY PRESENTED

THESE PLANS HAVE NOT BEEN REVIEWED FOR COMPLIANCE WITH THE AMERICAN WITH DISABILITIES ACT

PLANNING DIVISION		PLANNING DIVISION	
INITIALS	DATE	INITIALS	DATE
		*	5/15/06

SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY



7

SILL PLATE BOLTING— TRAPEZOIDAL FOOTING

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL
COMPLIANCE WITH THE CITY ZONING CODE(S) ONLY

ZONING SLDG PLANNING GRAD _____

ALL OBSERVATIONS AND RECOMMENDATIONS ARE SUBJECT TO FURTHER REVIEW AND/OR CALCULATION BY THE CITY ENGINEER OR ANY VIOLATIONS BY THE CITY ENGINEER.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENTLY ADOPTED CITY ZONING CODE(S) AS PRESENTED.

THESE PLANS DO NOT CONFLICT WITH THE
AMERICAN

REVISION			
INITIALS	DATE	DESCRIPTION	DATE
		*	5/15/06

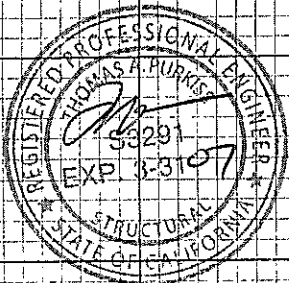
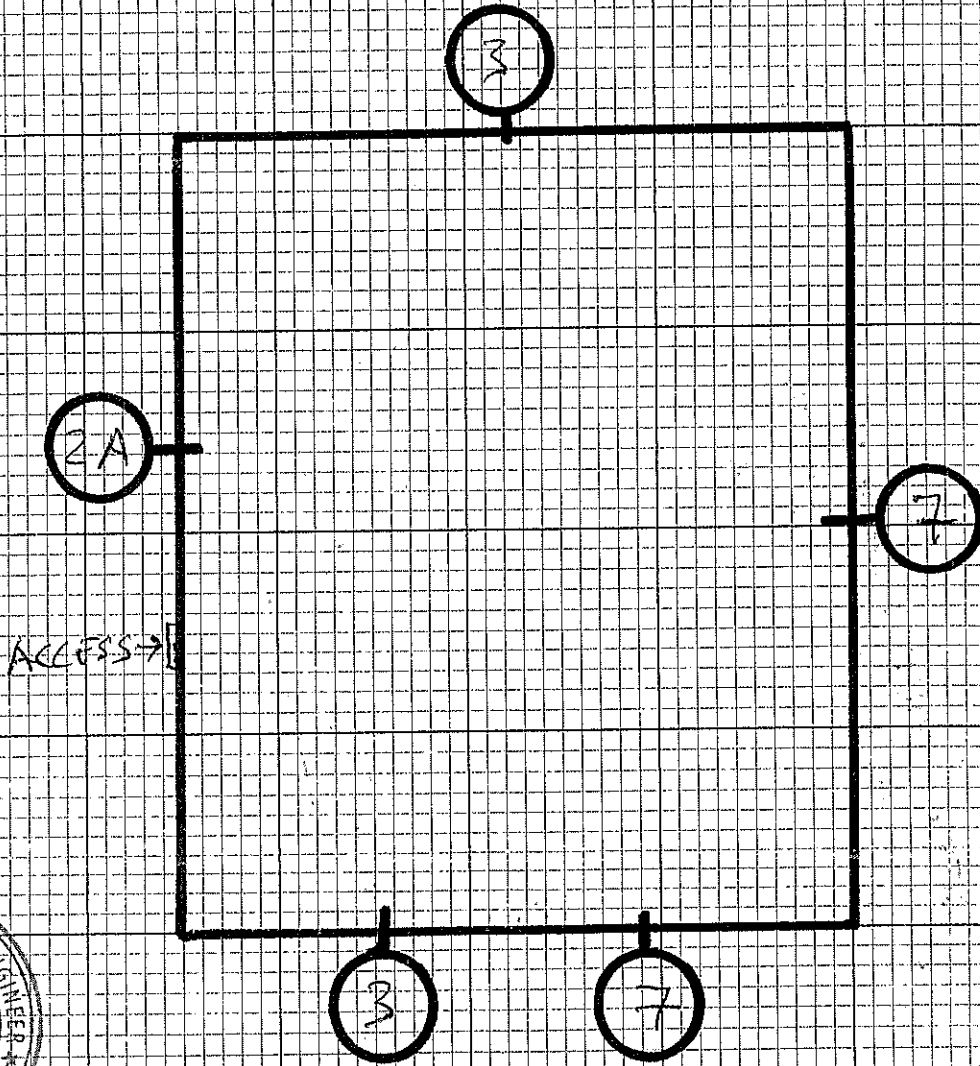
SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY

06061

BRACE CRIPPLE WALLS
BOBT PERIMETER MUD SILLS
VOLUNTARY UPGRADE
1 STORY SFD

CAROL MAJORS
2033 ALPHA ST
SOUTH PASADENA 91030

TAPJOB.
No. 06061



← **ALPHA ST.** →

1000-04
1000-04

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL COMPLIANCE WITH THE ZONING BULOG CODE(S) ONLY

ZONING ALL OBSERVED VIOLATIONS TO FURTHER CALCULATIONS
 BULOG ALL WORKS ADOPTED

Volume
Folio
Boards

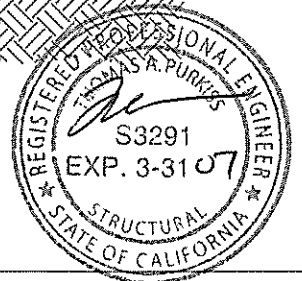
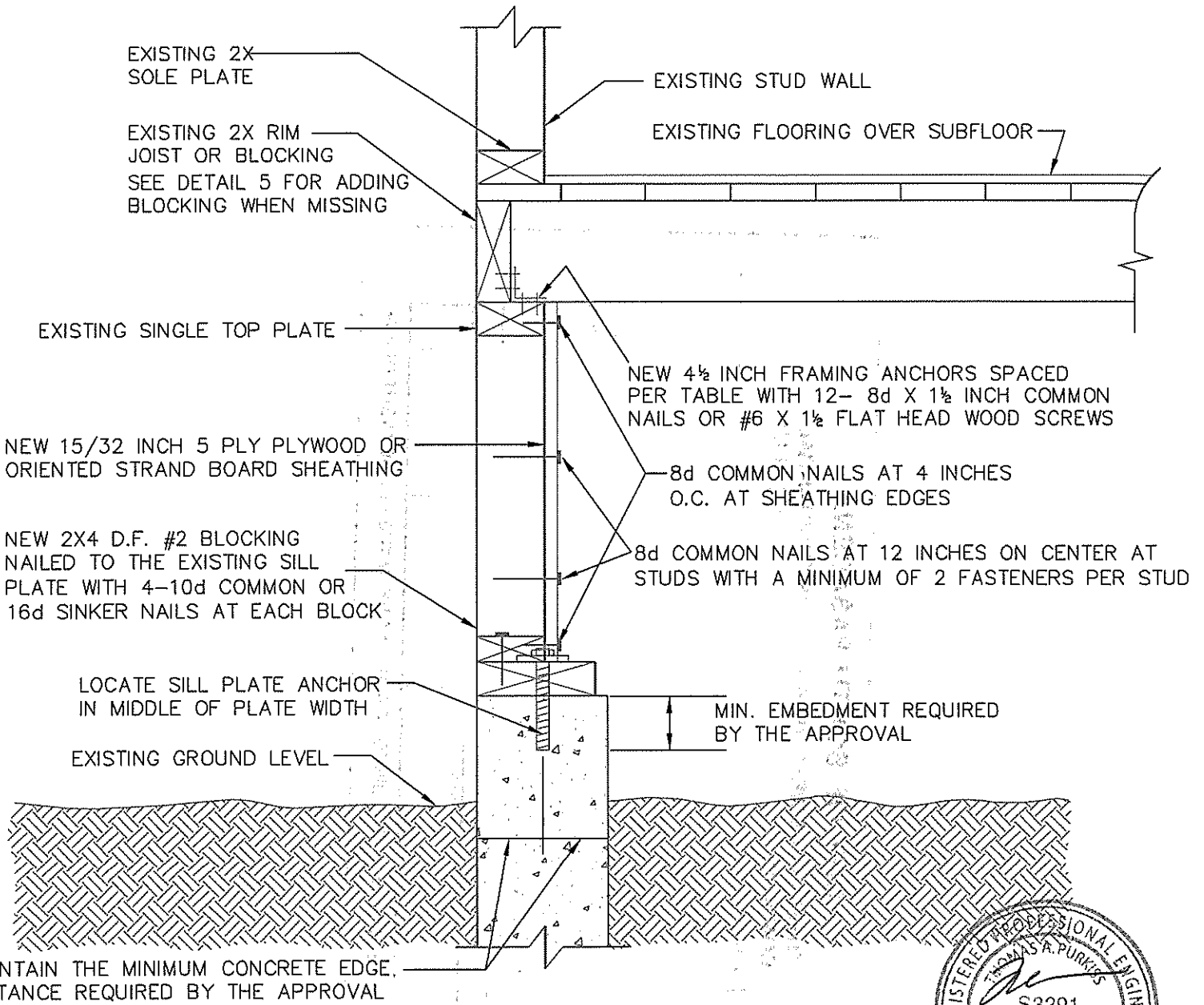
THESE PLANS SUBJECT TO THE CITY OF SOUTH PASADENA

THESE PLANS HAVE NOT BEEN REVIEWED BY THE AMERICAN DIVISION

INITIALS	DATE	INITIALS	DATE

SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY

DATE 5/15/66



3

CRIPPLE WALL SECTION—PERPENDICULAR JOISTS

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL COMPLIANCE WITH THE CITY ZONING ORDINANCE(S) ONLY

ZONING BLDG PLANNING HEALTH DEPT FIRE DEPT PUBLIC WORKS OTHER AGENCIES
ALL OBSERVATIONS MUST BE CORRECTED AND RE-APPROVED BY THE CITY ENGINEER OR
TO FURTHER CORRECTED AND RE-APPROVED BY THE CITY ENGINEER OR
CALCULATIONS MUST BE RE-CHECKED BY THE CITY ENGINEER OR
ALL VARIATIONS MUST BE APPROVED BY THE CITY ENGINEER OR
ADOPTED BY THE CITY ENGINEER OR

THESE PLANS HAVE NOT BEEN REVIEWED BY THE CITY ENGINEER OR THE CITY ENGINEER

CITY ENGINEER		DATE	
INITIALS	DATE	INITIALS	DATE
		*	5/16/06

SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY

CITY OF PASADENA
 1414 Mission Street • South Pasadena, California 91030
 (818) 799-9101

PLANNING & BUILDING DIVISION
 PLAN CHECK APPLICATION

Building Address <u>2033 Alpha Ave</u>		
Lot No.	Block	Tract
Owner <u>CAROL MAJORS</u>		
Mailing Address <u>524 Orange Grove</u>		
City <u>So Pasadena</u>	Zip <u>91030</u>	Tel. <u>818-792-6500</u>
Arch., Engr., Designer <u>Owner.</u>		
Address <u>Same.</u>		Tel.
City	Zip	State Lic. No.
Proposed Construction <u>addition, Bathroom +</u>		
<u>Remove old wall, & install new wall in Dining Room</u>		
Sq. Ft. Size <u>49</u>	No. Stories <u>1</u>	No. Dw. Units <u>1</u>
		<u>36.00</u> <u>05.88</u> *
New <input type="checkbox"/>	Add. <input type="checkbox"/>	Alter. <input checked="" type="checkbox"/> Repair <input type="checkbox"/> Demolition <input type="checkbox"/>
U.B.C. Edition <u>85</u>	Type Const. <u>T-N</u>	Occ. Group <u>R-3</u>
Occ. Load	F. D. Appr. Required <input type="checkbox"/>	H. D. Appr. Required <input type="checkbox"/>
Grading Permit <input type="checkbox"/>	Obtained <input type="checkbox"/> N.A. <input type="checkbox"/>	Variance Required <input type="checkbox"/> Obtained <input type="checkbox"/> N.A. <input type="checkbox"/>
Use Permit Required <input type="checkbox"/>	Des. Rev. Required <input type="checkbox"/>	APN
No. Bedrooms	Lot Size	
Special Conditions		

VALUATION: \$ 2400

F E E S	PLAN CHECKING FEE	36 00
	TOTAL	
	Permit No. <u>7522</u>	Date <u>12-5-88</u>

*WARNING: Plan Check Fees, where no action is taken by the applicant in One Hundred Eighty (180) Days and no Building Permit is issued, are forfeited to the City.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant X Carol Majors Date 12/5/88
 Mailing Address 524 Orange Grove Ave
 City, State, Zip So Pasadena Ca 91030

SMOKE DETECTORS REQUIRED

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101
PLANNING & BUILDING DIVISION

BUILDING PERMIT

Building Address 2033 ALPHA SO PAS			U.B.C. Edition 82	Type Const. V-N	Occ. Load	Occ. Group R-3
Lot No.	Tract	Tract	USE ZONE R-1	Variance Required	Appr.	
Owner C. MAJORS			Lot Size			
Mailing Address			VALUATION: \$ 2,200.00			
City		Zip	Tel.	BUILDING FEE 48⁰⁰		
Contractor RAINWATER ROOFING CO			S.M.I. FEE 50			
Address 1848 BUENA VISTA			PLAN CHECKING FEE			
City DUARTE	Zip 91010	Tel. 818 359 0019	Energy Compl. Fee			
State Lic. & Classif. 295985 C-39 Roofing		City Lic. No.	Penalty \$48⁵⁰			
Arch., Engr., Designer		Address		SPECIAL INSP. FINAL		
City		Zip	State Lic. No.		BY BPC DATE: 4/7/86	
Proposed Construction Reroof Dwelling & Garage			PERMIT NO.: 002025	WORKERS COMP. EXP. 9-3-86	PROCESSED BY: OR	
Install 200# composition shingles			Date: 4-4-86			
Sq. Ft. Size 2,200	No. Stories 1	No. Units one	<p style="text-align: center;">LICENSED CONTRACTOR'S DECLARATION 1850</p> <p>I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.</p> <p>Exp. Date 5-31-97 Signature of Contractor Jack Rainwater</p>			
New <input type="checkbox"/> Add. <input type="checkbox"/> Alter. <input checked="" type="checkbox"/> Repairs <input type="checkbox"/> Demolition <input type="checkbox"/>			<p style="text-align: center;">OWNER-BUILDER DECLARATION</p> <p>I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Codes) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).</p> <p><input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)</p> <p><input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)</p> <p><input type="checkbox"/> I am exempt under Sec. _____, B. & P.C. for this reason _____</p> <p>Date _____ Owner _____</p>			
<p style="text-align: center;">WORKER'S COMPENSATION DECLARATION</p> <p>I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C.).</p> <p>Policy No. 703553 Company STATE FUND</p> <p>arcadia, Ca</p> <p style="text-align: center;">CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE</p> <p>I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.</p> <p>Date _____ Applicant _____</p> <p>NOTICE TO APPLICANT: If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.</p> <p style="text-align: center;">CONSTRUCTION LENDING AGENCY</p> <p>I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)</p> <p>Lender's Name NONE</p> <p>Lender's Address _____</p> <p>I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.</p> <p>Signature of Applicant J. Rainwater Date 4-4-86</p> <p>Mailing Address _____</p> <p>City, State, Zip _____</p>						

department of PUBLIC WORKS

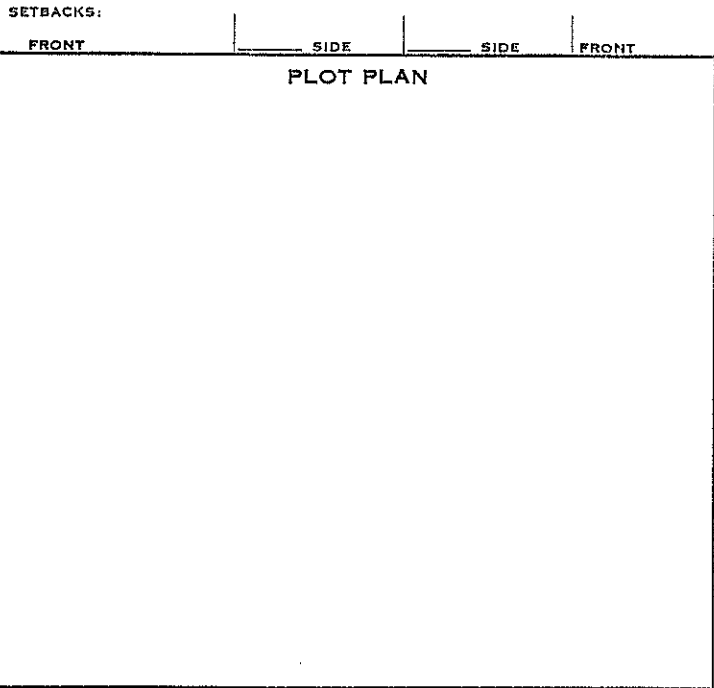
INSPECTOR COPY

CONST. HRS. 8 AM-7 PM ONLY
ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.

INSPECTION RECORD

			INSPECTION NOTES
FOUNDATION: (Gr. Certif. Comp. Tests, Setbacks, Forms, Reinf. Steel, Excavation.			<p><i>Re-roof OK Smoke detector installed</i></p> <p><i>4/7/86 DEC</i></p>
FLOOR SLAB/JSTS., GIRDERS: Mesh, Vap. Barrier, Blkg., Spans, Access, Vents, Tr. Lmbr.			
MASONRY: Reinf., Mortar Jts., Grout Lifts, Clean-Outs, Bolts.			
ROOF SHTG: Nailing, Diaph. Blocking, Material Grade and Thickness, Roof Drains.			
FRAMING: Walls, Raft., Jsts., Blocking, Bracing, Nailing, Backing, Diaphr. Draft Stops.			
INSULATION: Thickness, R-Values, Piping, Sound Caulking.			
FIREWALLS: Material, Thickness, Dampers, Doors, Closers, Fusible Links.			
INTERIOR: LATH/DRY WALL: Nailing, Supports, Laps, Joint Reinf.			
EXTERIOR LATH/SIDING: Mesh, Fasteners, Laps, Paper, Thickness, Backing.			
FINAL INSPECTION: Finish Grading Certif., Slope Plant., Energy Compl. Card Posted, Pkg. Access, Fire Doors, Exits, Locking Devices, Landings, House Numbers, Weather Stripping, Pl./Engr. Clear.			
SWIMMING POOL/SPA			
EXCAV. REINF. SETBACKS: Radius Stil., Bonding, Exp. Soil, Ramp Loc., Surcharge.			
FENCE/GATES: Height, Closers, Accessibility, Latches, Stability.			
FINAL INSPECTION			
MISCELLANEOUS			
SPRAY PAINT BOOTH:			
RETAINING WALL:			
DUST COLLECTION SYSTEM:			
VENEER:			
RE-ROOF:	<i>4/7/86</i>	<i>DEC</i>	
SIGN(S):			
INSPECTION	DATE	INSP. SIGN.	



SMOKE DETECTORS REQUIRED

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101
PLANNING & BUILDING DIVISION

BUILDING PERMIT

Building Address <u>2033 Alpha Ave</u>			U.B.C. Edition <u>85</u>	Type Const. <u>V-N</u>	Occ. Load	Occ. Group <u>A-3</u>
Lot No.	Tract	Tract	USE ZONE	Variance Required		Appr.
Owner <u>Carol Majors</u>			Lot Size			
Mailing Address <u>524 Orange Grove</u>						
City <u>So Pasadena</u>	Zip <u>91030</u>	Tel. <u>818 799624</u>	VALUATION: \$ <u>2400</u>			
Contractor <u>Owner</u>			BUILDING FEE		<u>54 00</u>	
Address			S.M.I. FEE		<u>50</u>	
City	Zip	Tel.	F	PLAN CHECKING FEE		
State Lic. & Classif.	City Lic. No.		E	Energy Compl. Fee		
Arch., Engr., Designer			E	Penalty		
Address	Tel.		S	SPECIAL INSP.		
City	Zip	State Lic. No.			<u>54 50</u>	
Proposed Construction <u>alteration Addition of Bathroom +</u>	PERMIT NO.: <u>007575</u>		WORKERS COMR. EXP.		PROCESSED BY: <u>A.H.</u>	
<u>Re install DR wall & Remodel Kitchen</u>					Date: <u>12-14-88</u>	
Sq. Ft. Size <u> </u>	No. Stories <u>1</u>	No. Units <u> </u>	<p style="text-align: center;">LICENSED CONTRACTOR'S DECLARATION</p> <p>I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.</p> <p>Exp. _____ Signature of _____ Date _____ Contractor _____</p>			
New <input type="checkbox"/>	Add. <input type="checkbox"/>	Alter. <input checked="" type="checkbox"/>				
<p style="text-align: center;">WORKER'S COMPENSATION DECLARATION</p> <p>I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C.).</p> <p>Policy No. _____ Company _____</p>			<p style="text-align: center;">OWNER-BUILDER DECLARATION</p> <p>I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Codes Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).</p> <p><input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)</p> <p><input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)</p> <p><input checked="" type="checkbox"/> I am exempt under Sec. _____, B.&P.C. for this reason _____</p> <p style="text-align: right;">4021E00 ... 54,50 CHECK</p> <p>Date <u>12-14-88</u> Owner <u>Carol Majors</u> 12-14-88 *</p>			
<p style="text-align: center;">CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE</p> <p>I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.</p> <p>Date _____ Applicant _____</p> <p>NOTICE TO APPLICANT: If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.</p>						
<p style="text-align: center;">CONSTRUCTION LENDING AGENCY</p> <p>I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)</p> <p>Lender's Name _____</p> <p>Lender's Address _____</p> <p>I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.</p> <p>Signature of Applicant <u>Carol Majors</u> Date <u>12-14-88</u></p> <p>Mailing Address _____</p> <p>City, State, Zip _____</p>						

FINAL

BUILDING & SAFETY

DATE: 12-14-88

BY:

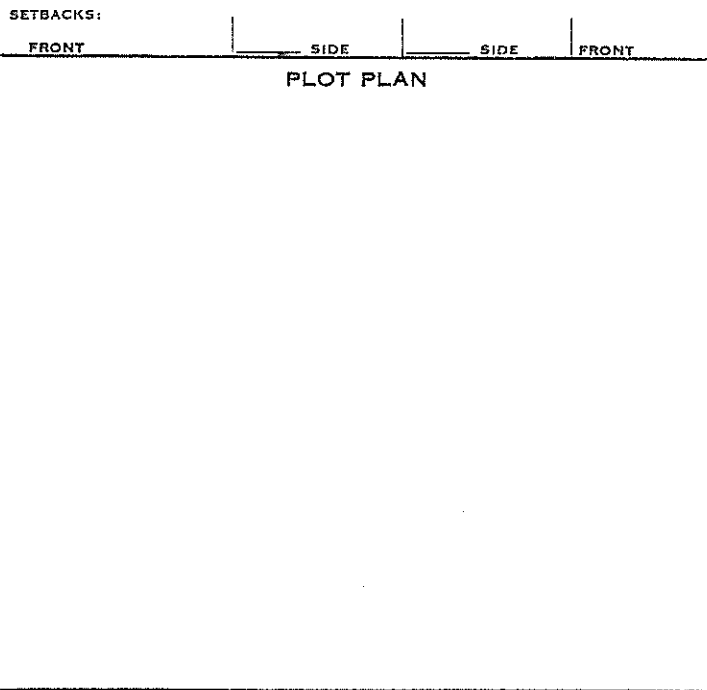
CONST. HRS. 8 AM-7 PM ONLY
ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.

INSPECTOR COPY

INSPECTION RECORD

			INSPECTION NOTES
FOUNDATION: (Gr. Certif. Comp. Tests, Setbacks, Forms, Reinf. Steel, Excavation.			
FLOOR SLAB/JSTS., GIRDERS: Mesh, Vap. Barrier, Blkg., Spans, Access, Vents, Tr. Lmbr.			PARTIAL REMODEL INTERIOR 12/21/88 <i>Bonhill</i>
MASONRY: Reinf., Mortar Jts., Grout Lifts, Clean-Outs, Bolts.			
ROOF SHTG: Nailing, Diaph. Blocking, Material Grade and Thickness, Roof Drains.			
FRAMING: Walls, Raft., Jsts., Blocking, Bracing, Nailing, Backing, Diaphr. Draft Stops.	EXISTING	12/21/88	<i>Bonhill</i>
INSULATION: Thickness, R-Values, Piping, Sound Caulking. <i>WALKS ONLY</i>			<i>Bonhill</i>
FIREWALLS: Material, Thickness, Dampers, Doors, Closers, Fusible Links.			
INTERIOR: LATH/DRY WALL: Nailing, Supports, Laps, Joint Reinf.	12/29/88		<i>Bonhill</i>
EXTERIOR LATH/SIDING: Mesh, Fasteners, Laps, Paper, Thickness, Backing.			
FINAL INSPECTION: Finish Grading Certif., Slope Plant., Energy Compl. Card Posted, Pkg. Access, Fire Doors, Exits, Locking Devices, Landings, House Numbers, Weather Stripping, Pl./Engr. Clear.			2-3-89 <i>measuring</i>
SWIMMING POOL/SPA			
EXCAV. REINF. SETBACKS: Radius Stil., Bonding, Exp. Soil, Ramp Loc., Surcharge.			
FENCE/GATES: Height, Closers, Accessibility, Latches, Stability.			
FINAL INSPECTION			
MISCELLANEOUS			
SPRAY PAINT BOOTH:			
RETAINING WALL:			
DUST COLLECTION SYSTEM:			
VENEER:			
RE-ROOF:			
SIGN(S):			
INSPECTION	DATE	INSP. SIGN.	





Cultural Heritage Commission Agenda Report

ITEM NO. 5

DATE: October 17, 2024

FROM: Alison Becker, Acting Community Development Director
Elizabeth Bar-El, Interim Deputy Director

PREPARED BY: Tatianna Marin, Acting Assistant Planner

SUBJECT: **Project No. COA24-0010 - A request for a Certificate of Appropriateness (COA) to convert 514 square feet of attic space into habitable space and add 36.90 square feet to the second floor. Additionally, the request is to legalize 217 square feet of unpermitted work on the first floor and to legalize 67 square feet on the second floor for a total of 836 square feet to be added to an existing 1,404 square-foot single-story, single-family dwelling at 2039 Stratford Avenue (APN: 5320-014-028). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Find the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0014, subject to the draft Conditions of Approval (**Attachment 1**).

BACKGROUND

Constructed in 1924, the subject site is included in the City's Inventory of Historic Resources, listed as part of the Lower Stratford Grouping (**5D3**), an eligible district comprised of one-story, single-family residences built between 1923 and 1932. The residence is designed in the English Revival style.

The subject site is located on the south side of Stratford Avenue, between Marengo Avenue and Milan Avenue. The property measures a total of 6,600 square feet. The property has an approximate depth of 130 feet and an approximate width of 50 feet. The subject site is currently developed with a one-story, single-family residence and a detached two-car garage.

The subject property has undergone unpermitted modifications over the years, including a 217 square-foot unpermitted sunroom with aluminum framed sliding windows on the first floor to the rear and 67 square feet of additional space to the attic. In addition, minor permits have been issued for reroofing and mechanical permits. (Attachment 2 - Building Permits).



Image 1: Street View of the Property

As shown in **Image 1** above, the home's English Revival style is noticeable in the structure's current condition with the use of asphalt shingle roofing on a steeply pitched gabled roof, recessed entry door with a curved roofline, smooth stucco finish, and multi-paned windows.

PROJECT DESCRIPTION

The applicant is requesting approval for a project that will legalize, convert and expand 619 square feet of attic space to create a second habitable floor comprising an additional bedroom, bathroom and closet. In addition, the request proposes to remove an unpermitted sunroom on the first floor at the rear of the building, replacing it with a smaller addition that will include a bedroom and laundry room. The combined work totals 836 square foot of additional legal floor area for a total floor area of 2,240 square feet.

The first-floor addition will feature double pane casement windows and swing doors to better match the English Revival style. In addition, the existing north facing, second-floor dormer, which is proposed to be expanded by two feet on each side to accommodate for the upstairs bathroom, will have a fiberglass casement window. The rear addition will also feature a composite wood 3-foot balcony railing that will be accessible from the converted second floor. **(Attachment 3 – Project Plans)**

The addition will not impact the front elevation and view from the street.

PROJECT ANALYSIS

General Plan Consistency

The General Plan (2040) land use designation of the project is Low Density Neighborhood, which allows for detached single-family units. The proposed project does not involve a subdivision of the existing lot; therefore, it is consistent with the General Plan.

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

The proposed project is consistent with Goal 3 and Policy 3.4, above, because the proposal preserves and enhances the existing architectural style and the neighborhood by ensuring that the project does not detract from the existing architectural style. The proposed design does not feature elements or treatments that are inconsistent with the English Revival style, and in fact removes illegally installed windows that are inconsistent with the style. Additionally, as shown below, the proposal maintains compliance with the City’s applicable development standards and the *City of South Pasadena’s Historic Design Guidelines for Alterations and Additions to Historic Residences*.

Zoning Code Compliance

The subject site is located within the Residential Low Density (RS) zoning district. The existing land use and density of the project site complies with Section 36.220, Residential Zoning Districts of the South Pasadena Municipal Code (SPMC). The purpose of the Certificate of Appropriateness review process is to ensure that the proposed work and building design are suitable and compatible with the City’s design standards and guidelines. Pursuant to Section 36.220.050 (Development of Small Nonconforming Residential Parcels), the subject lot is deemed nonconforming, because it is less than 10,000 square-feet in size. Residential development standards from SPMC Sections 36.220.040 and 36.220.050 were applied to the proposed project. **Table 1** below lists the project’s conformance with applicable development standards.

Table 1: (RS) Residential Low Density Development Standards Compliance

Standard	Requirement	Existing	Proposed
Lot Coverage	50% (3,300 SF max. allowed)	26% 1,765 SF	30% 1,982 SF
Floor Area Ratio (FAR)	35% (2,310 SF max. allowed)	21% 1,404 SF	33% 2,240 SF
Building Height	35 ft.	23 ft.	Unchanged
Off-Street Parking	2-Car (Covered)	2-car garage	Unchanged
Front Setback (East)	25 ft minimum	30 ft.	Unchanged
Side Setback (North)	10% of lot width (5 ft.)	9 ft. 5 in.	Unchanged
Side Setback (South)	10% of lot width (5 ft.)	6 ft.	Unchanged
Rear Setback (North)	25 ft minimum	42 ft. 7 in.	45 ft. 5 in.

Certificate of Appropriateness (COA)

The proposed project requires a Certificate of Appropriateness with review and approval from the Cultural Heritage Commission as the addition is larger than the 200 square-foot threshold for CHC review as stipulated in Section 2.65 of the SPMC. The subject property has been identified as a contributor to a historic district in the South Pasadena Inventory of Historic Resources. As such, an addition should be visually subordinate, or secondary, to the original structure.

Project Design Elements

The proposed project design consists of enhancing the existing space without adversely affecting the architectural style of the home; moreover, there are no changes being proposed to the street-facing façade of the home. The existing attic space is proposed to be converted into habitable space. Through this conversion, the existing roof line and height will be maintained. The only alteration being proposed to the existing roof form is the existing north-facing, second-floor dormer, which is proposed to be expanded by two feet on each side to accommodate for the upstairs bathroom. The new dormer will have a fiberglass casement window.

With the removal of the unpermitted sunroom to the rear, the existing aluminum windows on the rear first floor will be replaced with new wood-clad swing doors on the west side elevation and fiberglass casement windows on the south side elevation. Additionally, windows and doors on the side and rear elevations will be relocated and replaced to align with the proposed interior layout and improve energy efficiency. The existing original wood framed windows proposed to be replaced have faced severe sun damage and will be replaced with fiberglass and composite windows as these materials mimic the look of traditional wood while providing better durability. As proposed, the addition does not alter the original style of the home, remove, or modify original features and spaces as illustrated in the development plans. (**Attachment 3**).

The first-floor rear addition is proposed to be differentiated from the existing structure by providing a different stucco color and a ½" stucco expansion joint on the north and south elevation. The single-family home will remain compatible with the Lower Stratford Grouping, as the existing design style of the home will not be modified, and, most significantly, the front elevation will not be impacted.

Image 2: Existing and Proposed East (Front) Elevations



Image 3: Existing and Proposed West (Rear) Elevations

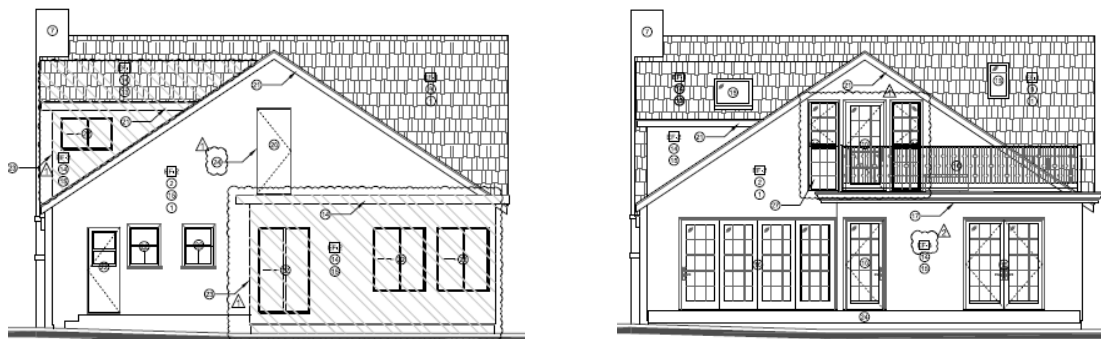
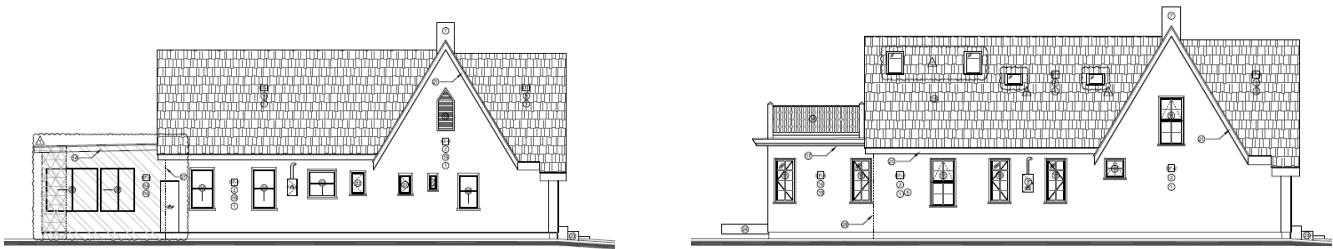


Image 4: Existing and Proposed North (Side) Elevations



Image 5: Existing and Proposed South (Side) Elevations



City of South Pasadena Design Guidelines for Historic Properties

As codified in the SPMC section 2.65, the City of South Pasadena Design Guidelines for Alteration and Additions to Historic Residences (“The Guidelines”) are to be assessed in the issuance of a Certificate of Appropriateness (COA). The Guidelines are based on the Secretary of the Interior’s Standards for Treatment of Historic Properties, which intend to foster the preservation and rehabilitation of the character-defining features. The standard procedure for historic buildings is to identify, retain, and preserve the form and detailing of the architectural materials and features that are important in defining the historic character of the structure. Additions or alterations are encouraged to be compatible with these historic features. The Design Guidelines includes a section focused on English Revival styles (pages 18-19). The English Revival style architecture is not a unifying featured style in the neighborhood, as the neighborhood consists of mainly Spanish Colonial styles.

The materials, finishes, detailing, and size/mass of the addition, with the proposed work, are all compatible with the existing style of the home. The property will retain the original architectural style after the proposed addition.

Findings

Required Certificate of Appropriateness Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the SPMC.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The proposed project is consistent with the General Plan for preservation, rehabilitation, and use of historic resources in the City. The areas where the additions are proposed will not be visible from the street with no impact to the

existing roof form. The proposed addition has been designed to be subordinate, contemporary, and to be treated as new additions without applying new interpretations to the original design. The property will continue to be used as a single-family residence, in addition to retaining the original English Revival style design. Existing and original features are also maintained, therefore preserving the historic character, scale, and “small-town atmosphere” as to the surrounding land uses. As proposed, the project is therefore consistent with General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

The proposed project is consistent with Goal 3 and Policy 3.4 above because the proposal preserves and enhances the existing architectural style and neighborhood as a whole by ensuring that the project does not detract from the existing architectural style. The proposed design does not feature elements or treatments that are inconsistent with the English Revival style. The proposal maintains compliance with the City’s applicable development standards and the *City of South Pasadena’s Historic Design Guidelines for Alterations and Additions to Historic Residences*.

2. The project is consistent with the goals and policies of this article.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. In particular, the project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource and maintaining it as a contributor to the potential Lower Stratford District. The project preserves the architectural and aesthetic features of the historic home consistent in a manner that is generally consistent with the *Secretary of Interior’s Standards*.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section, which the Commission applies to alterations, demolitions, and relocation requests.

The project, including the residence’s addition, is consistent with the *City of South Pasadena’s Historic Design Guidelines for Alterations and Additions to Historic Residences*; the following are most relevant to the proposed modifications and addition to the property:

1. “Roofs are the most significant features that define the massing and proportions of historic residences in South Pasadena. Roof forms, pitch, overhangs at eaves, and roofing materials vary widely by architectural style...The original roof form should be preserved. Any replacement of deteriorated features or addition of small features should be done in the style of the original building, considering the original roof form and slopes.” (p. 26)
2. “Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and scale in relation to the existing structure.” (p. 36)
3. “New additions should be compatible in mass and scale with the neighborhood and should be visually subordinate to the original building.” (p.37)
4. “Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent.” (p. 39)
5. “Window mullion widths, window trim, and surrounds should be consistent with the existing windows.” (p. 42)

The proposed project is consistent with the criteria listed above from “The Guidelines” as the original roof form and style will be maintained through the attic conversion. Additionally, the rear first-floor addition will not be visible from the public right-of way, will be subordinate in scale and size to the main existing structure, and will maintain its compatibility with the neighborhood. The project as proposed will provide windows that are consistent with architectural style of English Revival by providing divided light casement windows.

The proposed project is consistent with the applicable criteria identified under subsection (e)(8) of section 2.65 Certificate of *appropriateness – Alteration and demolition* of the South Pasadena Municipal Code. In addition to the standards in the Secretary of Interior’s Standards of Rehabilitation.

Consistency with Secretary of the Interior Standards	
Standard	Staff’s Recommended Consistency Determination
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships	Consistent.

Consistency with Secretary of the Interior Standards	
Standard	Staff's Recommended Consistency Determination
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials of alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	Consistent.
Standard 4: Changes to a property that have acquired historic significance will be retained and preserved.	Consistent.
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of Craftsman style that characterize a property will be preserved.	Consistent.
Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	Consistent.
Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	Not applicable.
Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	Not applicable, no archeological resources are known to exist on the site.
Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	Consistent.
Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and	Consistent.

Consistency with Secretary of the Interior Standards	
Standard	Staff's Recommended Consistency Determination
integrity of the historic property and its environment would be unimpaired.	

*Recommended Project Specific Findings for a Certificate of Appropriateness
(1,2, and 6)*

Finding No. 1: The project removes inappropriate alterations of the past;

The project consists of legalizing approximately 217 square feet of unpermitted construction on the first floor and 63 square feet of unpermitted construction on the second floor built by previous owners. The unpermitted work also included inappropriate aluminum doors and windows. The current project proposal will remove the ground floor unpermitted work to create a cohesive English Revival style home without adversely affecting the existing building mass, footprint and form. The project also proposes composite and fiberglass windows on the rear elevation to match the window styles found elsewhere on the English Revival style home. In addition, the conversion of the attic space will comply with current Building Code standards including seismic upgrades to improve the structural integrity of the home while maintaining the existing building form.

Finding No. 2: The project is appropriate to the size, massing, and design context of the historic neighborhood;

The eligible historic district is comprised of English Revival and Spanish Colonial style architecture. The proposed project is appropriate to the size, massing, and design context of the historic residence and district as the massing and style of the home will remain the same. The building materials, finishes, and detailing are compatible for the existing historical architectural design of the subject residence. The proposed addition has been designed to be subordinate, contemporary, and to be treated as new additions without applying new interpretations to the original design. Therefore, the proposed addition will be harmonious and compatible with the surrounding potentially historic neighborhood.

Finding No. 6: The project enhances the appearance of the [residence or building] without adversely affecting its original design, character, or heritage;

The proposed project consists of legalizing a rear first-floor addition and converting the existing attic into habitable space. The attic conversion will maintain the existing roof line and will minimally impact the existing roof form by expanding the existing north-facing dormer to accommodate the proposed bathroom. The rear first-floor addition proposes new fiberglass and composite divided-lite casement windows to match the existing window style typically found on English Revival homes. The proposed addition will not modify the architectural style of the front façade, ensuring to preserve the original structure and streetscape in compliance with “The Guidelines” for historic properties.

Environmental Analysis

This project qualifies for categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Staff Recommendation

Staff recommends that the Cultural Heritage Commission:

1. Find the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0014, subject to the draft Conditions of Approval (Attachment 1).

Alternatives to Consider

The Cultural Heritage Commission has the following options available:

1. Approve the project with the recommendation of a Chair Review for minor modifications to the proposal; or
2. Approve the project as is or with modified condition(s) added or removed and provide findings; or
3. Continue the project, providing the applicant with clear recommendations to revise the proposal; or
4. Deny the project if it finds that the project does not meet the City’s COA requirements.

Public Noticing

A Public Hearing Notice was published on October 4, 2024, in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on August 3, 2024. In addition, the public was made aware that this item was to be considered at a public hearing, by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Next Steps

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the plan check process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

Attachments

1. Conditions of Approval
2. Building Permit History
3. Project Plans
4. Materials Brochure
5. Project Narrative

ATTACHMENT 1

Conditions of Approval

Attachment 1
CONDITIONS OF APPROVAL
Certificate of Appropriateness
Project No. COA24-0014
2039 Stratford Avenue (APN: 5320-014-028)

DEVELOPMENT
REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

P1. The following approval is granted as described below and as shown on the development plans submitted to the Cultural Heritage Commission on October 17, 2024:

Certificate of Appropriateness for:

- a. To convert 514 square feet of attic space into habitable space and add 36.90 square feet to the second floor. Additionally, the request is to legalize 217 square feet of unpermitted work on the first floor and to legalize 67 square feet on the second floor for a total of 836 square feet to be added to an existing 1,404 square-foot single-story, single-family dwelling at 2039 Stratford Avenue
- P2. This approval and all rights hereunder shall terminate within 18 months of the effective date of their approval by the Cultural Heritage Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Cultural Heritage Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any permitted or unpermitted building/structure on the property involved with the Certificate of Appropriateness.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.

- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P7. Any modification to the approved plans shall require review and approval of the Planning Division.

Notes on Construction Plans

The contractor shall be responsible to implement and monitor compliance with the following conditions:

- P8. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
- P9. The hours of all construction activities shall be limited to the following: 8:00 am to 7:00 pm, Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P10. When applicable, during construction, the demolition, clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P11. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, as necessary,

prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition.

BUILDING DIVISION:

- B1. The second sheet of building plans shall list all conditions of approval and to include a copy of the Letter of Determination from Planning. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the current building code in effect shall be submitted to Building Division for review prior permit issuance.
- B3. School Developmental Fees shall be paid to School District prior to the issuance of the building permit.
- B4. Park Impact Fee to be paid at the time of permit issuance.
- B5. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B6. A drainage plan shall be approved prior to issuance of the building permit. The drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B7. Project shall comply with the CalGreen Residential mandatory requirements.
- B8. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B9. Separate permit is required for Fire Sprinklers.
- B10. Additions, alterations, repairs and changes of use or occupancy in all buildings and structures shall comply with the provisions for new buildings and structures except as otherwise provided in the California Existing Building Code in effect.

Note: Whether the existing structure or a portion thereof is permitted, compliance with the current Building Code with respect to the proposed scope will be enforced. To achieve compliance, the elements within the area under the scope may have to be retrofitted, in some cases its volume be expanded, or its footprint be enlarged. Conditions B11 through B14 are some examples. Careful planning should be given to ensure that compliance with the Building Code does not result in inadvertent violations with other City's rules and regulations.
- B11. Per Section 305.1 of the Residential Code, habitable space, hallways and portions of basements containing these spaces shall have a ceiling height of not less than 7 feet. Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6 feet 8 inches.

Note: To comply with the current Energy Code, the existing roof rafters may have to be deepened to accommodate the thickness of the insulation and additional space for ventilation within the enclosure, thus further reducing the available ceiling height, even to the point of resulting in a Building Code violation. Careful planning should be given to evaluate the effects of Building Code upgrade. Determine in advance if new roof dormers should be added or changing the existing roof height or pitch is required to raise the ceiling above the code minimum height.

- B12. Per Exception 1 under Section 305.1 of the Residential Code, for rooms with sloped ceilings, the required floor area of the room shall have a ceiling height of not less than 5 feet and not less than 50 percent of the required floor area shall have a ceiling height of not less than 7 feet.
- B13. Per Exception 2 under Section 305.1 of the Residential Code, the ceiling height above bathroom and toilet room fixtures shall be such that the fixture is capable of being used for its intended purpose. A shower or tub equipped with a showerhead shall have a ceiling height of not less than 6 feet 8 inches above an area of not less than 30 inches by 30 inches at the showerhead.
- B14. The existing ceiling joists (as well as its existing supporting walls and foundation) at the attic shall be evaluated by a California licensed architect or engineer to determine whether they are adequate to support new floor loading under the current code. Supporting structural calculations shall be provided. If strengthening or replacement of existing ceiling/floor joists is required, ensure the minimum ceiling height at the habitable attic as well as that of the floor below are in compliance.
- B15. Each sheet of the plans shall be stamped and signed by a California licensed architect or engineer per R301.1.3.2 as adopted and amended by the City, for all dwellings of wood frame construction more than one story in height or with a basement located in Seismic Design Category D0, D1, or D2 or E.

PUBLIC WORKS DEPARTMENT:

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting for the project to be redesigned/resubmitted.
- PW2. The applicant shall pay all applicable City fees including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule, which can be found on the City's website. This includes all costs incurred by the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. The applicant shall identify all on-site existing easements. Any conflict with and/or presence of existing easements must be addressed. The applicant shall provide a Title Report, with effective date within the last 60 days, to verify the presence of easements.

- PW4. Stratford Avenue shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the project approval and immediately upon completion of the project.
- PW5. The applicant shall show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW6. The applicant shall provide a Construction Management Plan to the Public Works Department for review and approval prior to issuance of permits. The Construction Management Plan shall include, but not be limited to, types of proposed construction activities, an on-site staging plan, haul route, construction schedule for major activities (i.e. demolition, grading, material delivery, etc.), and shall indicate a contractor parking location.
- PW7. The applicant shall include the following information on the plans:
- i. The 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
 - ii. The location, grade, and dimensions of all existing conditions and proposed improvements within the public right-of-way, including, but not limited to, curb and gutter, sidewalk, driveway, traffic striping, signage, trees, utilities, meters, pavement and other features.
 - iii. The location of all existing utilities on adjacent street(s), as well as the location and size of all existing or proposed utilities serving the property. Show all utility points of connection (POC).
 - iv. Show the location and area of trench sections for any proposed sewer and water line connections within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
 - v. A trench restoration detail per City standards for proposed utility connections.
 - vi. All utility poles adjacent to the property and note to "PROTECT-IN-PLACE".
- PW8. The applicant shall add the following information on the plans:
- i. The applicant shall bring the existing parkway on Stratford Avenue up to current standards per SPMC Section 31.48.
 - ii. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk and driveway approaches, and repaint all curb markings along the perimeter

of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).

- iii. The proposed building structure shall not be constructed within critical root zone area of any trees.
- iv. Any construction activity that may require roadway or lane closures where two-way traffic cannot be accommodated will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and residents at least 48 hours in advance of the street closure.
- v. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- vi. Temporary bins (low boy), if used, shall be “roll off” style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- vii. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- viii. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

FIRE DEPARTMENT:

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code; Title 19 and applicable NFPA fire standards.
- FD2. Fire Sprinklers are required per South Pasadena Municipal Code. Submit plans to the City for approval.
- FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD4. Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

- FD5. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed contractor. Provide a set of drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD6. Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code.
- FD7. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD8. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.
- FD9. Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD10. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
- 1) An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
 - 2) Any addition to an existing building which has fire sprinklers installed;
 - 3) Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
 - 4) Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;

5) An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.

FD11. New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be view from the public way, a monument, pole or other sign or means shall be use to identify the structure. Address numbers shall be maintained.

FD12. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.

FD13. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:

- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
- 2) In each room used for sleeping purposes.
- 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

FD14. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed (CFC 907.2.11.3)

FD15. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages.

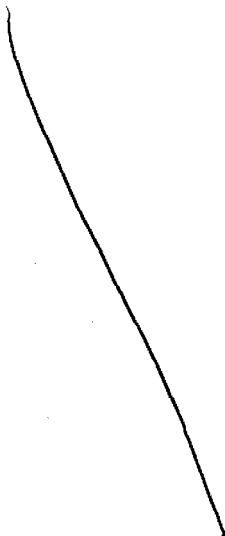
- FD16. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD17. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).
- FD18. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, an automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD19. Garage Separation. Separations shall comply with the following:
- 1) The private garage shall be separated from the dwelling unit and its attic area by means of a minimum ½ inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separate from all habitable rooms above by not less than a 5/8 inch (15.9mm) Type X gypsum board or equivalent. Door openings between a private garage and the dwelling unit shall be equipped with either solid wood doors or solid or honeycomb core steel doors not less than 1 3/8 inches (34.9 mm) thick, or doors in compliance with Section 715.4.3. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Doors shall be self-closing and self-latching.
 - 2) Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019 inch (0.48 mm) sheet steel and shall have no openings into the garage.
 - 3) A separation is not required between a Group R-3 and U carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.

- FD20. Automatic garage door openers. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. See Health and Safety Code Sections 19890 and 19891 for additional provisions for residential garage door openers.
- FD21. Floor surface. Parking surfaces shall be concrete or similar noncombustible and nonabsorbent materials. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
- FD22. Buildings under construction shall meet the condition of “Chapter 33 Fire Safety During Construction and Demolition” of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustibles materials have accumulated.
 - 2) In every storage and construction shed.
 - 3) Where special hazards exist included, but not limited to, storage and use of combustible and flammable liquids.
- FD23. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 2

Building Permit History

2039 STRATFORD AVENUE



CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS

LOCATION 2039 Stratford
 LOT _____ BLOCK _____ TRACT _____
 OWNER M.H. McCall
 DESCRIPTION Floor furnace install.

\$ 195⁰⁰

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	PERMIT FEE
		PLAN CHECKING		
8-31-50	24175	BUILDING	Ward Heater Co.	2 00
		TEMP POWER		
		ELEC. WIRING		
		ELEC. FIXTURES		
		PLUMBING		
		SEWER		
		HOUSE CONN.		
		DRIVEWAY		
		FURNACE		

CITY OF SOUTH PASADENA

JOB CARD

BUILDING DEPARTMENT

LOCATION 2039 Stratford M.H. McCall
 BUILDING Floor Furnace SUBS IN _____
 GENERAL CONTRACTOR Wood Heating Co. PERMIT No. 24175
 ELECTRICAL " _____ " _____
 PLUMBING " _____ " _____

ITEM	DATE CALLED	TIME	DATE INSPECT		DATE CLEARED	INSPECTOR
			(1) MADE	(2)		
TRENCHES		A.M. P.M.				
FRAME		A.M. P.M.				
VENTS & FURN.*		A.M. P.M.				
WIRING		A.M. P.M.				
PLUMBING		A.M. P.M.				
LATH		A.M. P.M.				
FINAL PLUMB.		A.M. P.M.				
FINAL ELECT.		A.M. P.M.				
FINAL BUILD.		A.M. P.M.				
CLEAN UP		A.M. P.M.				

ITEM**DATE****REMARKS**

**CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS**

LOCATION 2039 STRATFORD

LOT 28 BLOCK _____ TRACT 6403

OWNER M. H. McColl

New House

TRENCH	FRAME	WIRING	RGH. PLMB.	SEWER	FIN. PLMB.	FIN. BLDG.	ELEC. FD
--------	-------	--------	------------	-------	------------	------------	----------

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	ESTIMATED COST
<u>9-6-24</u>	<u>4651</u>	<u>BUILDING</u>	<u>OWNER</u>	<u>4500⁰⁰</u>
		<u>ELEC. WIRING</u>		
		<u>ELEC. FIXTURES</u>		
		<u>PLUMBING</u>		
		<u>SEWER</u>		
		<u>HOUSE CONN.</u>		

hinge 30'
Made in Duplicate

No. 4651

City of South Pasadena

Department of Buildings

This permit becomes null and void if work is not commenced within 90 days from date of issue.

South Pasadena, Calif. 9-6-1924

Permission is hereby granted to M. H. Call, Owner

Owner's Address: 1960 Fletcher

City and State _____ Phones _____

Contractor's Name Day Work

Contractor's Address: _____

City and State _____ Phones _____

To 5 Rooms 34 x 45

Garage 20 x 18

On Lot 28 Block _____

Tract 6403

Street and Number 2039 Stratford

In accordance with Application No. _____ on file in this office, and subject to the provisions of the Building Ordinances of the City of South Pasadena.

Estimated Value, \$ 4500 00

Fee, \$ 4 90

K. J. Orleson

159 S. Newland Building Inspector.

(Owner must post Inspection Card on job)

NOTIFY FOR INSPECTION

- 1—Trench is dug.
- 2—Foundation is in.
- 3—Joists are laid.

- 4—Frame is up.
- 5—Rough plumbing is in.
- 6—Electric wires are in.

- 7—Plumbing fixtures are in.
- 8—Electric fixtures are in.
- 9—Final completion.

WHEN

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101
PLANNING & BUILDING

BUILDING PERMIT

Building Address 2039 Stratford St.			U.B.C. Edition 91	Type Const. WN	Occ. Load	Occ. Group R3
Lot No.	Tract	Tract	USE ZONE R1	Variance Required		Appr.
Owner Joe Hannegar			Lot Size			
Mailing Address 29198 Highway 190						
City Porterville		Zip 93257	Tel. 209 784-7255			
Contractor Owner			VALUATION: \$ 1,600.00			
Address			BUILDING FEE	37 -		
City			S.M.I. FEE	50		
State Lic. & Classif.			PLAN CHECKING FEE			
Arch., Engr., Designer			Energy Compl. Fee			
Address			Penalty			
City			SPECIAL INSP.			
Proposed Construction Re-Roof			PAID			
Sched. Construction			PERMIT NO.: 15436	WORKERS COMP. EXP. Exempt	PROCESSED BY: JK	
Sq. Ft. Size 1,700 sq. ft.			Date: 12-30-93			
New <input type="checkbox"/> Add. <input type="checkbox"/> Alter. <input type="checkbox"/> Repairs <input checked="" type="checkbox"/> Demolition <input type="checkbox"/>						
FINAL BUILDING & SAFETY						
<p style="text-align: center;">WORKER'S COMPENSATION DECLARATION</p> <p>I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab.C.).</p> <p>Policy No. _____ Company _____</p>						
<p style="text-align: center;">CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE</p> <p>I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Law of California.</p> <p>Date 12/30/93 Applicant Steve Toddhill</p> <p>NOTICE TO APPLICANT: If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.</p>						
<p style="text-align: center;">CONSTRUCTION LENDING AGENCY</p> <p>I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)</p> <p>Lender's Name NONE</p> <p>Lender's Address _____</p>						
<p>I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.</p> <p>Signature of Applicant Steve Toddhill Date 12/30/93</p> <p>Mailing Address 609 S. Chand Ave</p> <p>City, State, Zip Alt. Ca. 91801</p> <p style="text-align: center;">(For Owner)</p>						
<p style="text-align: center;">OWNER-BUILDER DECLARATION</p> <p>I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Codes Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)</p> <p><input type="checkbox"/> I, as owner of the property, or my employees with wages at their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)</p> <p><input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)</p> <p><input checked="" type="checkbox"/> I am exempt under Sec. _____, B. & P.C. for this reason.</p> <p>Date 12/30/93 Owner Steve Toddhill</p>						

INSPECTOR COPY

CONST. HRS. 8 AM-7 PM ONLY
ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.

INSPECTION RECORD

FOUNDATION: (Gr. Certif. Comp. Tests, Setbacks, Forms, Reinf. Steel, Excavation.			INSPECTION NOTES
FLOOR SLAB/JSTS., GIRDERS: Mesh, Vap. Barrier, Blkg., Spans, Access, Vents, Tr. Lmbr.			
MASONRY: Reinf., Mortar Jts., Grout Lifts, Clean-Outs, Bolts.			
ROOF SHTG: Nailing, Diaph. Blocking, Material Grade and Thickness, Roof Drains.	1/6/94	<i>[Signature]</i>	
FRAMING: Walls, Raft., Jsts., Blocking, Bracing, Nailing, Backing, Diaphr. Draft Slops.			
INSULATION: Thickness, R-Values, Piping, Sound Caulking.			
FIREWALLS: Material, Thickness, Dampers, Doors, Closers, Fusible Links.			
INTERIOR LATH/DRY WALL: Nailing, Supports, Laps, Joint Reinf.			
EXTERIOR LATH/SIDING: Mesh, Fasteners, Laps, Paper, Thickness, Backing.			
FINAL INSPECTION: Finish Grading Certif., Slope Plant., Energy Compl. Card Posted, Pkg. Access, Fire Doors, Exits, Locking Devices, Landings, House Numbers, Weather Stripping, Pl./Engr. Clear.	7/18/94	<i>[Signature]</i>	

SWIMMING POOL/SPA

EXCAV. REINF. SETBACKS: Radius Sit., Banding; Exp. Soil, Ramp Loc., Surcharge.			
FENCE/GATES: Height, Closers, Accessibility, Latches, Stability.			
FINAL INSPECTION			

SETBACKS:

FRONT
SIDE
SIDE
FRONT

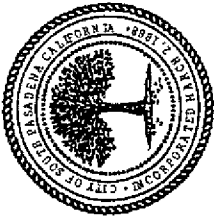
PLOT PLAN

MISCELLANEOUS

SPRAY PAINT BOOTH:			
RETAINING WALL:			
DUST COLLECTION SYSTEM:			
VENEER:			
RE-ROOF:			
SIGN(S):			
INSPECTION	DATE	INSP. SIGN.	

STREET

PLEASE PLAN A 1" SQ. SCALE



City of South Pasadena
 1414 Mission Street
 South Pasadena, CA 91030
 Office Hrs: 7:30 am to 5:00 pm, M-Th
 7:30 am to 4:00 Friday
 Phone Number (626) 403-7220
 Insp. Request (626) 403-7226

SITE ADDRESS 2039 STRATFORD AVE	
ASSESSOR PARCEL NUMBER	PARCEL
BOOK	PAGE
ADDITIONAL INFORMATION / LEGAL DESCRIPTION	
OWNER'S NAME MIKE HANNEGAN	
STREET ADDRESS 2039 STRATFORD AVE	
CITY SOUTH PASADENA CA	ZIP CODE 91030
PHONE NUMBER (626) 428-2877	LICENSE NO
PRINCIPAL DESIGNER'S NAME DUSTIN DENOVEL	
STREET ADDRESS 498 VAN BUREN DR	
CITY MONTEREY PARK CA	ZIP CODE 91755
LICENSE CLASS C-39	LICENSE NUMBER 753875
PHONE NUMBER (626) 233-7594	EXPIRATION DATE 9-30-16
CONTRACTOR'S NAME DUSTIN DENOVEL D.B.A.	
STREET ADDRESS 498 VAN BUREN DR	
CITY MONTEREY PARK CA	ZIP CODE 91755
LICENSE CLASS C-39	LICENSE NUMBER 753875
PHONE NUMBER (626) 233-7594	EXPIRATION DATE 9-30-16
WORKER'S COMPENSATION INSURANCE COMPANY NAME STATE FUND	
WORKER'S COMP INSURANCE POLICY NUMBER 1557000-15	EXPIRATION DATE 4-01-16

REROOF APPLICATION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____ Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: Dusti Dnovel Date: 9-30-15

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: Dusti Dnovel Date: 9-30-15

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: DUSTIN DENOVEL Date: 9-30-15
 Signature: Dusti Dnovel

2037 STRATFORD

DESCRIPTION OF WORK
 Reroof Over Existing Tear-Off and Reroof
 New Plywood and Roof Metal Roof of Existing
 Other _____

TYPE OF STRUCTURE
 RESIDENTIAL NONRESIDENTIAL

AREA 35 SQUARES / SQ. FT. CODE IN EFFECT _____

INITIAL VALUATION \$ 20,000 REVISED VALUATION \$ _____

PRE-ROOF INSPECTION IS REQUIRED

DO NOT COVER THE ROOF UNTIL APPROVAL FROM THE CITY BUILDING INSPECTOR HAS BEEN OBTAINED

ANY PORTION OF THE ROOF WHICH IS COVERED WITHOUT INSPECTION SHALL BE ENTIRELY UNCOVERED AT THE EXPENSE OF THE APPLICANT

BUILDING PERMIT FEE \$ 435.30
 ASSessor FEE \$ 28.70
 _____ \$ _____
 _____ \$ _____
 _____ \$ _____

380853 PERMIT NUMBER 035869 INITIALS JD DATE 9-30-15
 TOTAL \$ 464.00

DATE OF FINAL \$ _____ FINAL BY [Signature] 11/17/15

INSPECTION NOTES

NO	INSPECTION	DATE	INSPECTOR
REQUIRED BUILDING INSPECTIONS AND APPROVALS			
R1	Pre-roof, Tear Off, or Sheathing	10/09/15	<i>WB</i>
R2	Final Roof Inspection		

1 X4 spaced sheathing + 1/2" OSB

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).

Lender's Name: _____

Lender's Address: _____



City of South Pasadena
 1414 Mission Street
 South Pasadena, CA 91030
 Office Hrs: 7:30 am to 5:00 pm, M-Th
 7:30 am to 4:00 Friday
 Phone Number (626) 403-7220
 Insp. Request (626) 403-7226

SITE ADDRESS 2039 STRATFORD AVE	
ASSESSOR PARCEL NUMBER	PARCEL
BOOK	PAGE
ADDITIONAL INFORMATION / LEGAL DESCRIPTION	
OWNER'S NAME	
STREET ADDRESS	
CITY	STATE
PHONE NUMBER	ZIP CODE
PRINCIPAL DESIGNER'S NAME	
LICENSE NO.	
STREET ADDRESS	
CITY	STATE
PHONE NUMBER	ZIP CODE
CONTACT PERSON	
PHONE NUMBER	
CONTRACTOR'S NAME	
STREET ADDRESS	
CITY	STATE
LICENSE CLASS	LICENSE NUMBER
PHONE NUMBER	EXPIRATION DATE
WORKER'S COMPENSATION INSURANCE COMPANY NAME	
WORKER'S COMP. INSURANCE POLICY NUMBER	EXPIRATION DATE

REROOF APPLICATION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____, Business and Professions Code for the following reason:

Signature: Dustin Dmornal Date: 9.30.15

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: Dustin Dmornal Date: 9.30.15

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

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I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: Dustin Dmornal Date: 9.30.15

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: DUSTIN DENGEJEL Date: 9.30.15

Signature: Dustin Dmornal

DESCRIPTION OF WORK

Reroof Over Existing Tear-Off and Reroof

New Plywood and Roof Metal Roof or Existing

Other GARAGE (DETACHED)

TYPE OF STRUCTURE

RESIDENTIAL NON-RESIDENTIAL

AREA _____ SQUARES / SQ. FT. _____ CODE IN EFFECT _____

INITIAL VALUATION \$ SEE PA# 358109

REVISED VALUATION \$ _____

PRE-ROOF INSPECTION IS REQUIRED

DO NOT COVER THE ROOF UNTIL APPROVAL FROM THE CITY BUILDING INSPECTOR HAS BEEN OBTAINED

ANY PORTION OF THE ROOF WHICH IS COVERED WITHOUT INSPECTION SHALL BE ENTIRELY UNCOVERED AT THE EXPENSE OF THE APPLICANT

BUILDING PERMIT FEE \$ _____

ISSUANCE FEE \$ 28.70

AD 9-30-15

TOTAL \$ 28.70

PERMIT NUMBER 035870 INITIALS CD DATE 9-30-15

DATE OF FINAL 11/17/15 FINAL BY [Signature]

INSPECTION NOTES

NO	INSPECTION	DATE	INSPECTOR
	REQUIRED BUILDING INSPECTIONS AND APPROVALS		
R1	Prerof, Tear Off, or Sheathing	6/09/15	ML
R2	Final Roof Inspection		

1 x 4 spaced sheathing + 1/2" OSB

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).
Lender's Name: _____
Lender's Address: _____

Cover

ATTACHMENT 3

Project Plans

SFD RENOVATION AT: 2039 STRATFORD AVENUE, SOUTH PASADENA, CA 91030

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

PROJECT CONTACTS

OWNER/APPLICANT
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

DESIGNER
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM // P: 858-382-1627

SHEET INDEX

- A0.0 TITLE SHEET
- A0.01 CONDITIONS OF APPROVAL & DECISION LETTERS
- A0.02 CALGREEN SHEETS / MANDATORY REQUIREMENTS
- A0.03 T-24 CALCULATIONS
- A0.04 RESERVED
- A0.10 DETAILS - WALL, FLOOR, CEILING ASSEMBLIES, RAILS
- A0.11 DETAILS - WINDOWS & DOORS
- A0.12 SCHEDULE - WINDOWS
- A0.13 SCHEDULE - DOORS
- A0.14 SCHEDULE - FIXTURES & FINISHES
- A0.15 EXISTING PHOTOS
- A0.16 PROPOSED RENDERINGS
- A1.0 PLOT PLAN/SITE PLAN
- A1.1 FLOOR PLAN - LEVEL 1 - EXISTING & PROPOSED
- A1.1E REFL. CEILING, LIGHTING, & POWER - LEVEL 1
- A1.2 FLOOR PLAN - LEVEL 2 - EXISTING & PROPOSED
- A1.2E REFL. CEILING, LIGHTING, & POWER - LEVEL 2
- A1.3 ROOF PLAN - EXISTING & PROPOSED
- A2.1 SECTIONS - EAST-WEST CUTS
- A2.2 SECTIONS - NORTH-SOUTH CUTS
- A3.1 EXTERIOR ELEVATIONS - NORTH - EXISTING & PROPOSED
- A3.2 EXTERIOR ELEVATIONS - SOUTH - EXISTING & PROPOSED
- A3.3 EXTERIOR ELEVATIONS - EAST - EXISTING & PROPOSED
- A3.4 EXTERIOR ELEVATIONS - WEST - EXISTING & PROPOSED
- A6.1 INTERIOR ELEVATIONS - KITCHEN
- A6.2 INTERIOR ELEVATIONS - BATHROOMS

GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
2. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
3. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
4. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
5. TRASH AND CONSTRUCTION RELATED SOILED WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLES TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
6. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
7. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
8. SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.
9. PROJECT SHALL COMPLY WITH THE CALGREEN RESIDENTIAL MANDATORY REQUIREMENTS.

APPLICABLE CODES

PLANS ARE COMPLETE AND CONFORM WITH:

- CITY OF SOUTH PASADENA MUNICIPAL CODES
- 2022 STATE OF CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ABBREVIATIONS

ACOUS	ACOUSTIC	F.L.	FLOW LINE	SM	SIMILAR
ADD.	ADDITIONAL	F.F.	FLOOR	SQ	SQUARE
A.F.F.	ABOVE FINISH FLOOR	FIR	FLOURESCENT	S.C.	SOLID CORE
APPROX.	APPROXIMATELY	FNFD	FOUNDATION	S.D.	STAINLESS STEEL
ASSM	ASSEMBLY	FRMG	FRAMING	STD	STANDARD
B	BUILDING	GA	GAUGE	STL	STEEL
BLDG	BUILDING	GALV	GALVANIZED	STR	STRUCTURAL
BM	BEAM	G.I.	GALVANIZED IRON	S.V.	SHEET VINYL
BD	BOARD	GL	GLASS, GLAZING	T.C.	TOP OF CURB
BD	BOTTOM	G.S.	GALVANIZED STEEL	T.O.C.	TOP OF CONCRETE
BOT	BOTTOM	GYP	GYP/SUM WALLBOARD	T.O.W.	TOP OF WALL
CAB	CABINET	H.C.	HOLLOW CORE	TEL	TELEPHONE
CLG	CEILING	H.M.	HOLLOW METAL	TEMP	TEMPERATURE TEMPERED
C.J.	CONTROL JOINT	HORZ	HORIZONTAL	T.O.G.	TOP OF GRADE
C.G.J.	CEILING JOINT	HRDWD	HARDWOOD	THK	THICK, THICKNESS
C.G.H.	CEILING HEIGHT	HRDWR	HARDWARE	T.O.P.	TOP OF PLATE
CLR	CLEAR	INT	INTERIOR	TYP	TYPICAL
COL	COLUMN	INCAND	INCANDESCENT	V.O.T.	VINYL COMPOSITION TILE
CONC	CONCRETE	LAV	LAVATORY	VERT	VERTICAL
CONT	CONTINUOUS	LT	LIGHT	VEST	VESTIBULE
CSMT	CASEMENT	MAX	MAXIMUM	WJ	WELD
C.T.	CERAMIC TILE	MECH	MECHANICAL	WD	WOOD
DBL	DOUBLE	MT	METAL	W.I.	WROUGHT IRON
DETS	DETAILS	MIB	MINIUM	W.D.W.	WINDOW
D.F.J.	DRINKING FOUNTAIN	MISC	MISCELLANEOUS	W.P.	WATERPROOF
DIA.	DIAMETER	MID	MOUNTED	W.R.	WATER-RESISTIVE
DM	DIVISION	N.O.	NOT IN CONTRACT		
DSP.	DISPOSER	N.I.C.	NOT IN PROJECT SCOPE		
DET	DETAIL	N.L.S.	NUMBER		
DN	DOWN	NO. #	NUMBER		
DR	DOOR	O.C.	ON CENTER		
DRWR	DRAWER	OPNG	OPENING		
D.S.	DOWNSPOUT	O.D.	OUTSIDE DIAMETER		
EA	EACH	P.	PLATE		
E.I.A.	EXPANSION JOINT	PLY	PLYWOOD		
ELEC	ELECTRICAL	PNTD	PAINTED		
EL	ELEVATION	P.T.	PRESSURE TREATED		
EQ	EQUAL	REF	REFERENCE		
EXST	EXISTING	REFL	REFLECTED		
EXT	EXTERIOR	REIN	REINFORCED		
F.F.	FINISH FLOOR	REQD	REQUIRED		
F.O.C.	FACE OF CONCRETE	REV	REVISION		
F.O.S.	FACE OF STUD	R.V.B.M.S	ROOM, ROOMS		
FN	FINISH, FINISHED	R.R.	ROOF RAFTER		
FXT	FIXTURE	SCHED	SCHEDULE		
F.G.	FINISH GRADE	SF	SQUARE FEET		
F.J.	FLOOR JOIST	SHT	SHEET		

SYMBOLS LEGEND

###-#	ROOM TAG	EXISTING GFCI-1	EXISTING GFCI DUPLEX RECEPTACLE
#	WINDOW TAG	NEW GFCI-1	NEW GFCI DUPLEX RECEPTACLE
•	DOOR TAG	EXISTING DUPLEX	EXISTING DUPLEX RECEPTACLE
⊕	WALL TYPE TAG	NEW DUPLEX	NEW DUPLEX RECEPTACLE
#	KEY NOTE/PLAN NOTE	NEW QUADPLEX	NEW QUADPLEX RECEPTACLE
IF-#	INTERIOR FINISH TAG	NEW 220V	NEW 220V RECEPTACLE
EF-#	EXTERIOR FINISH TAG		BATH FAN
A#	APPLIANCE TAG		COMBINATION SMOKE/CO DETECTOR
F#	FIXTURE TAG		DETAIL REFERENCE
PF#	PLUMBING FIXTURE TAG		DETAIL TAG
LT#	LIGHT FIXTURE TAG		SECTION REFERENCE
⊕	LIGHT SWITCH - DIMMABLE		ELEVATION REFERENCE
⊕	LIGHT SWITCH W/ OCCUPANCY SENSOR		
⊕	3-WAY LIGHT SWITCH		

ITEMS LISTED IN LEGEND MAYBE MOVED TO ACCOMMODATE PRODUCTION.

REVIEWING AGENCIES

CITY OF SOUTH PASADENA
COMMUNITY DEVELOPMENT DEPARTMENT
1414 MISSION STREET
SOUTH PASADENA, CA 91030
T: 626.403.7200

APPROVALS / STAMPS

ISSUED FOR

DATE	REMARKS
1/11/2024	CONCEPT DEVELOPMENT
5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITTAL
8/8/2024	PLANNING CORRECTIONS
9/19/2024	PLANNING CORRECTIONS 2

OWNER:
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:
APN: 5320014028
TRACT: 6403
BLOCK: NONE
LOT: 28
MAP: 70-76 5320-14

PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM
P: 858-382-1627

PROJECT DATA

PROJECT ADDRESS
2039 STRATFORD AVENUE
SOUTH PASADENA, CA 91030

LEGAL DESCRIPTION
APN: 5320014028
TRACT: 6403
BLOCK: NONE
LOT: 28
MAP: 70-76 6 5320-14

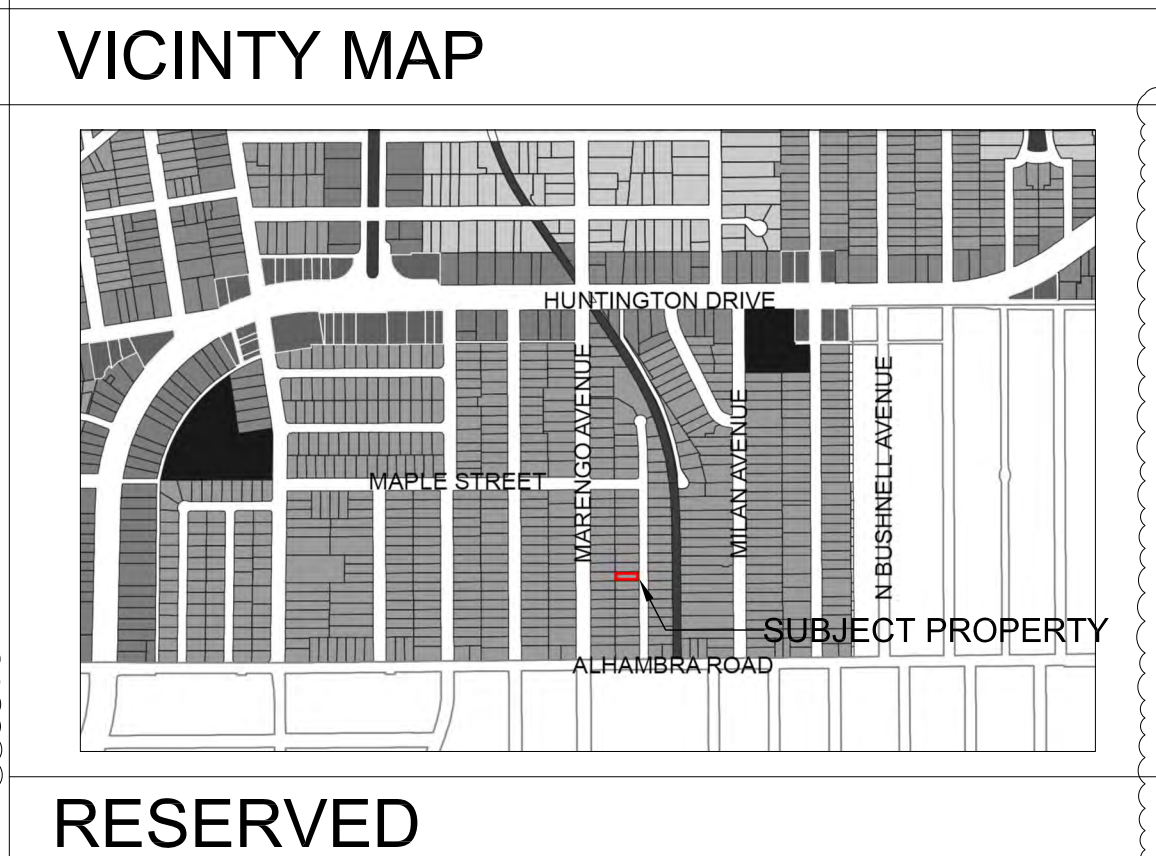
PROJECT SCOPE
RENOVATION TO EXISTING SINGLE FAMILY HOME; CONVERT 514.94 SF OF ATTIC INTO HABITABLE SPACE; LEGALIZE 217.42 UNPERMITTED SF ON FIRST FLOOR AND 67.32 UNPERMITTED SF ON SECOND FLOOR; ADDITION OF 36.90 SF ON SECOND LEVEL; TOTAL ADDITIONAL SQUARE FOOTAGE TO BE ADDED, CONVERTED TO HABITABLE OR LEGALIZED IS 836.58 SF.

CONSTRUCTION TYPE
V-B

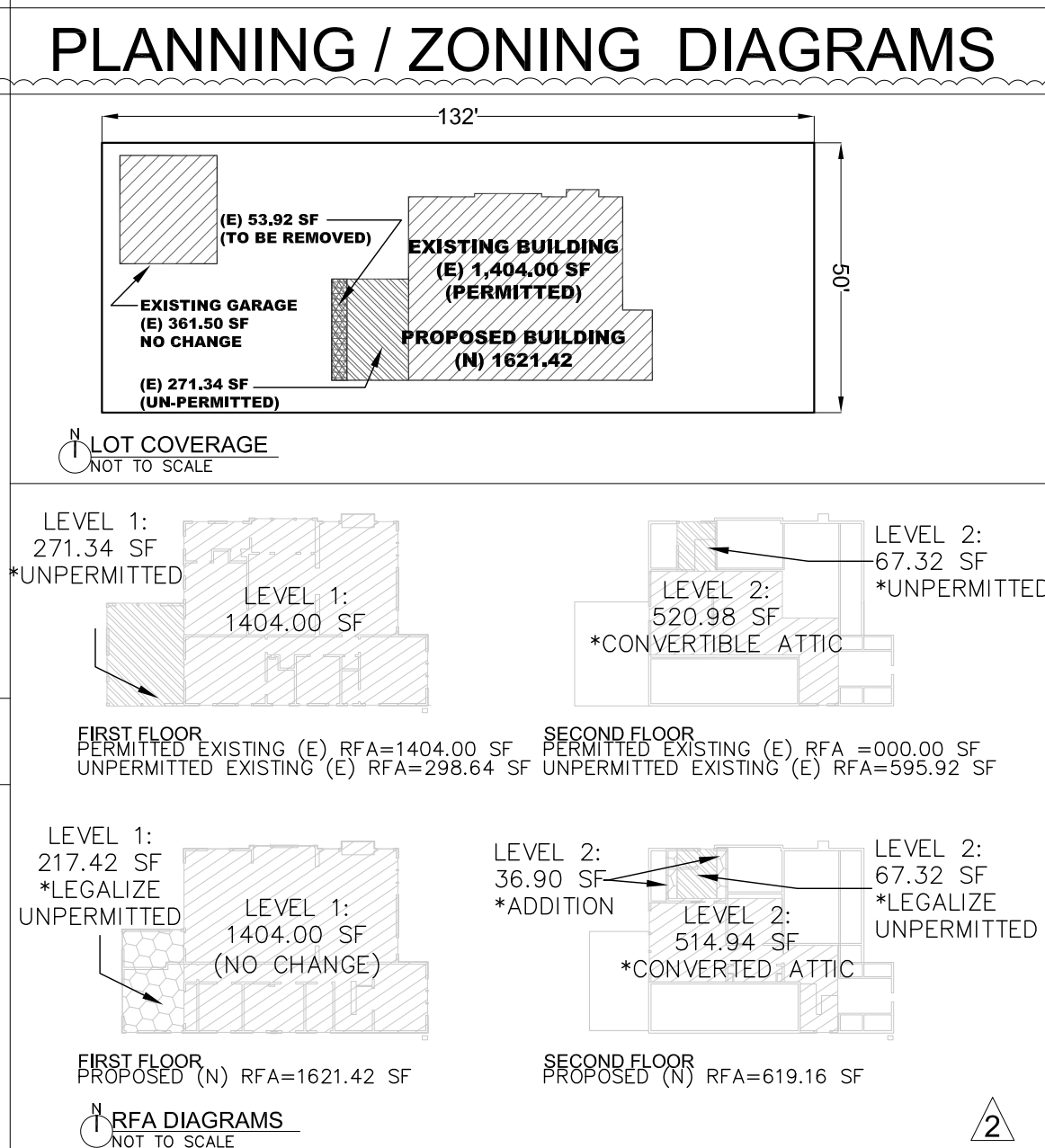
OCCUPANCY
SINGLE FAMILY RESIDENTIAL

NUMBER OF STORIES
2

FIRE SPRINKLERS
NFPA-13D (PROPOSED NEW/DEFERRED SUBMITTAL)



RESERVED



PLANNING / ZONING

ZONING
ZONE: RS- RESIDENTIAL SINGLE FAMILY, LOW DENSITY
LOT AREA: 6,600 SF
APPLICABLE ZONING CODE(S):
36.220. RESIDENTIAL ZONING DISTRICTS

TITLE SHEET

A0.00

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS RESIDENCE

DRAWN: AS

DATE: 5/11/24

ISSUED FOR

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6/24/2024	PLANNING SUBMITTAL
8/8/2024	PLANNING CORRECTIONS ¹
9/19/2024	PLANNING CORRECTIONS 2 ²

OWNER:

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1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:

APN: S320014028
TRACT: 6403
BLOCK: NONE
LOT: 28
MAP: 70-76 S320-14

PLANS PREPARED BY:

ASHLY SIGLE
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MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM
P: 858-392-1827



CONDITIONS OF
APPROVAL &
DECISION LETTERS

A0.01

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

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DRAWN: AS

DATE: 5/11/24

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8/8/2024	PLANNING CORRECTIONS ¹
9/19/2024	PLANNING CORRECTIONS 2 ²

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P: 858-392-1827



CALGREEN SHEETS
& MANDATORY
REQUIREMENTS

A0.02

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS RESIDENCE


DRAWN: AS

DATE: 5/11/24

ISSUED FOR	
DATE	REMARKS
1/11/2024	CONCEPT DEVELOPMENT
5/11/2024	DESIGN DEVELOPMENT
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8/8/2024	PLANNING CORRECTIONS ¹
9/19/2024	PLANNING CORRECTIONS 2 ²

OWNER:
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LEGAL INFO:
APN: S320014028
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PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM
P: 858-392-1827


T-24 CALCULATIONS

A0.03

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS RESIDENCE


DRAWN: AS

DATE: 5/11/24

ISSUED FOR	
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5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITTAL
8/8/2024	PLANNING CORRECTIONS ¹
9/19/2024	PLANNING CORRECTIONS 2 ²

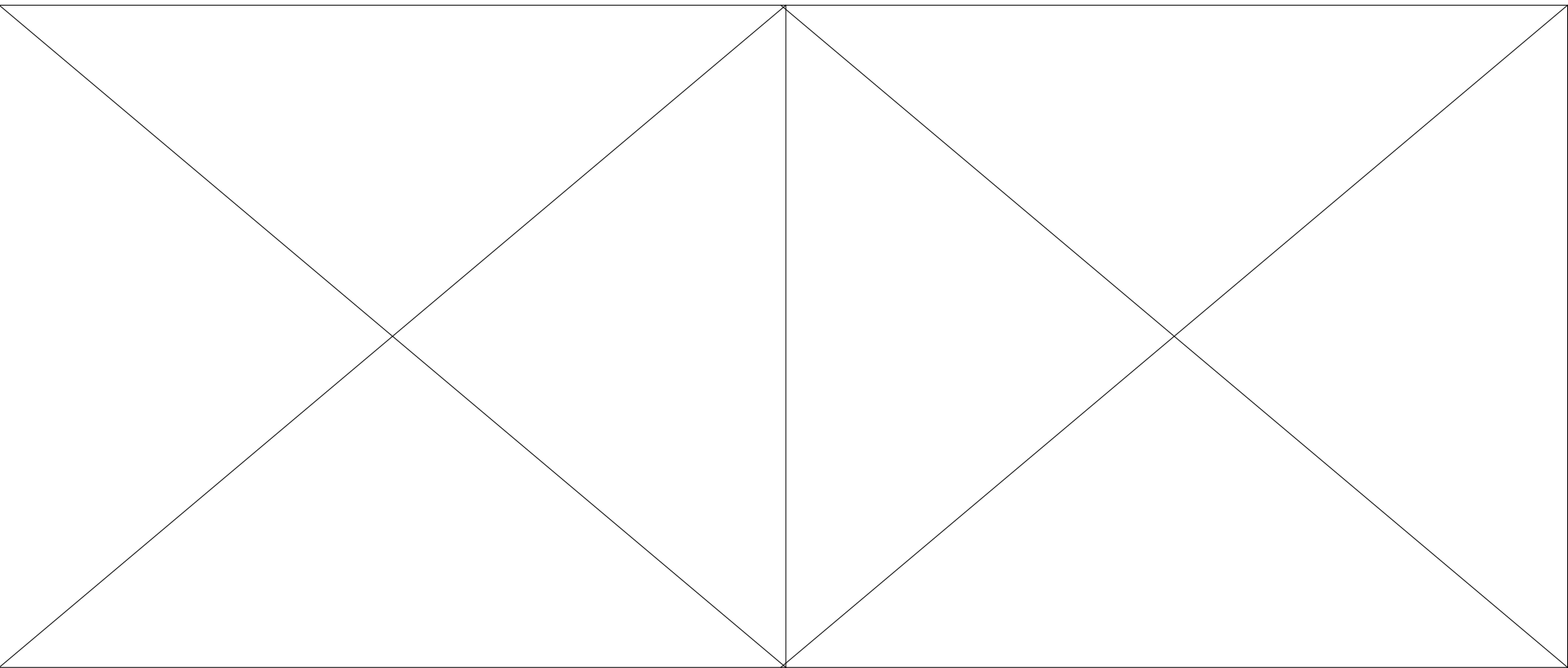
OWNER:
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:
APN: S320014028
TRACT: 6403
BLOCK: NONE
LOT: 28
MAP: 70-76 S320-14

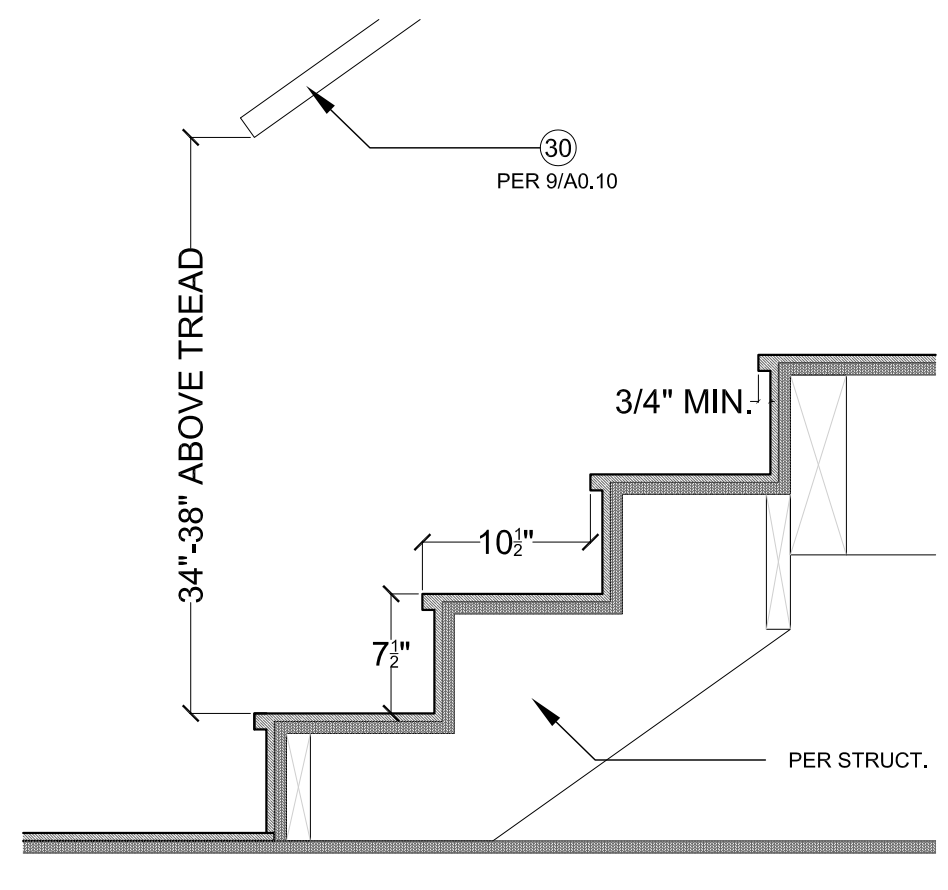
PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM
P: 858-392-1827


RESERVED

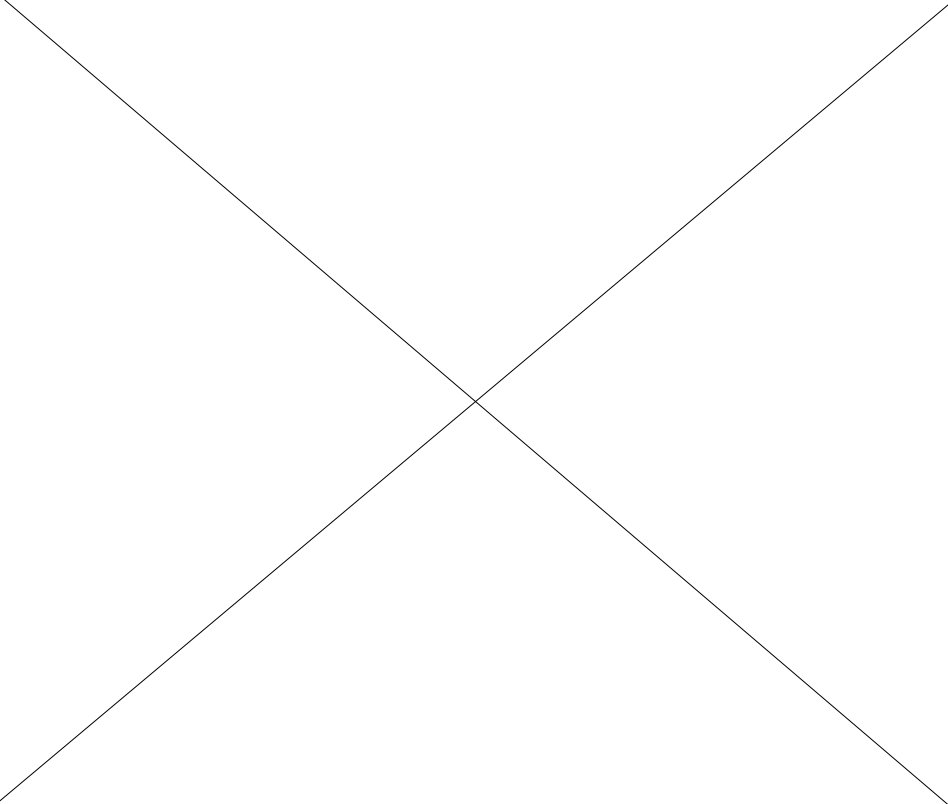
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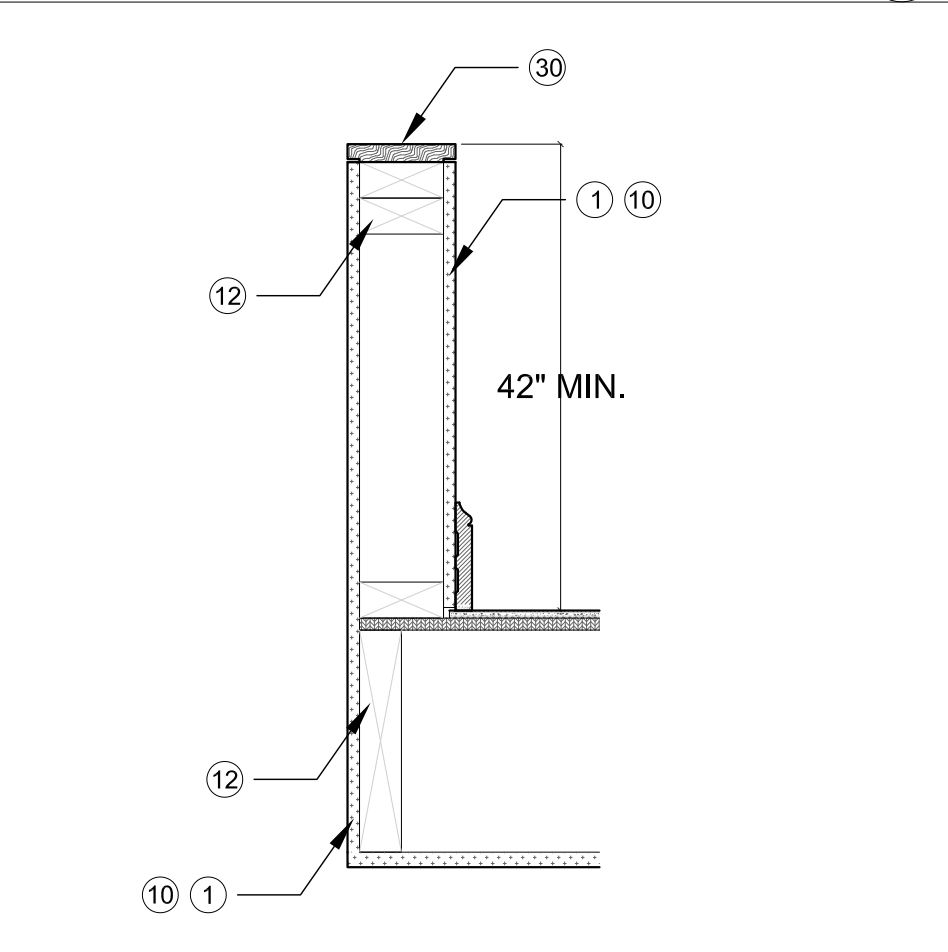
RESERVED
N.T.S. (20)



TYP. INTERIOR STAIR
1" = 1'-0" (15)

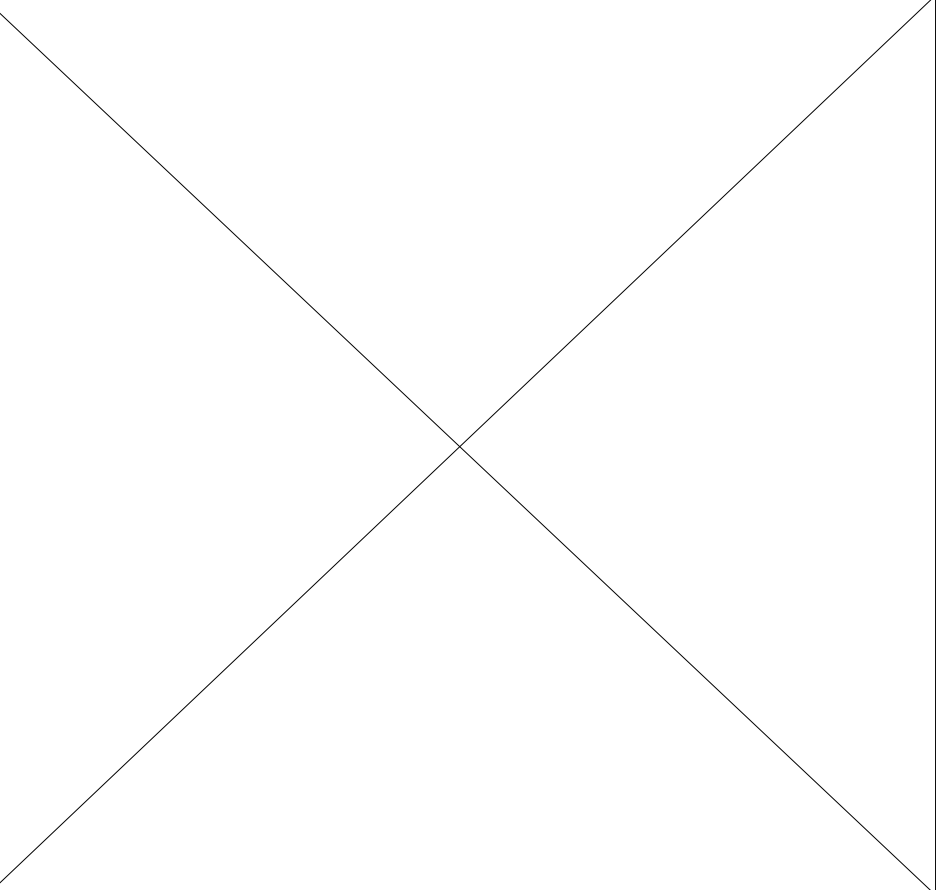


RESERVED
N.T.S. (10)

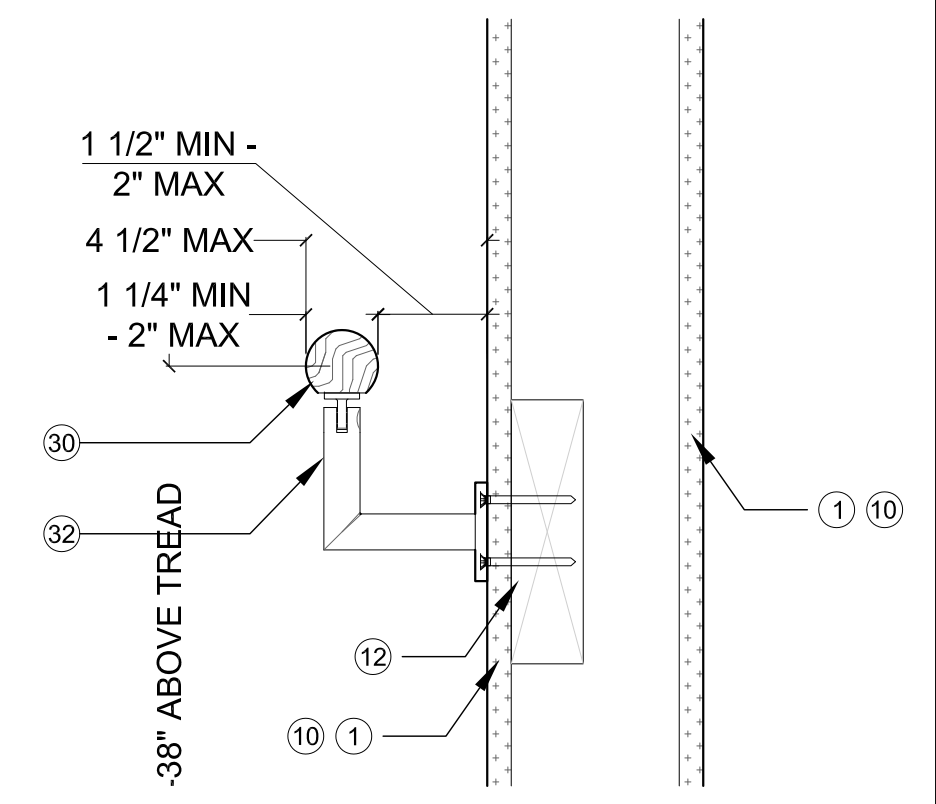


INTERIOR STAIR GUARDRAIL
1-1/2" = 1'-0" (5)

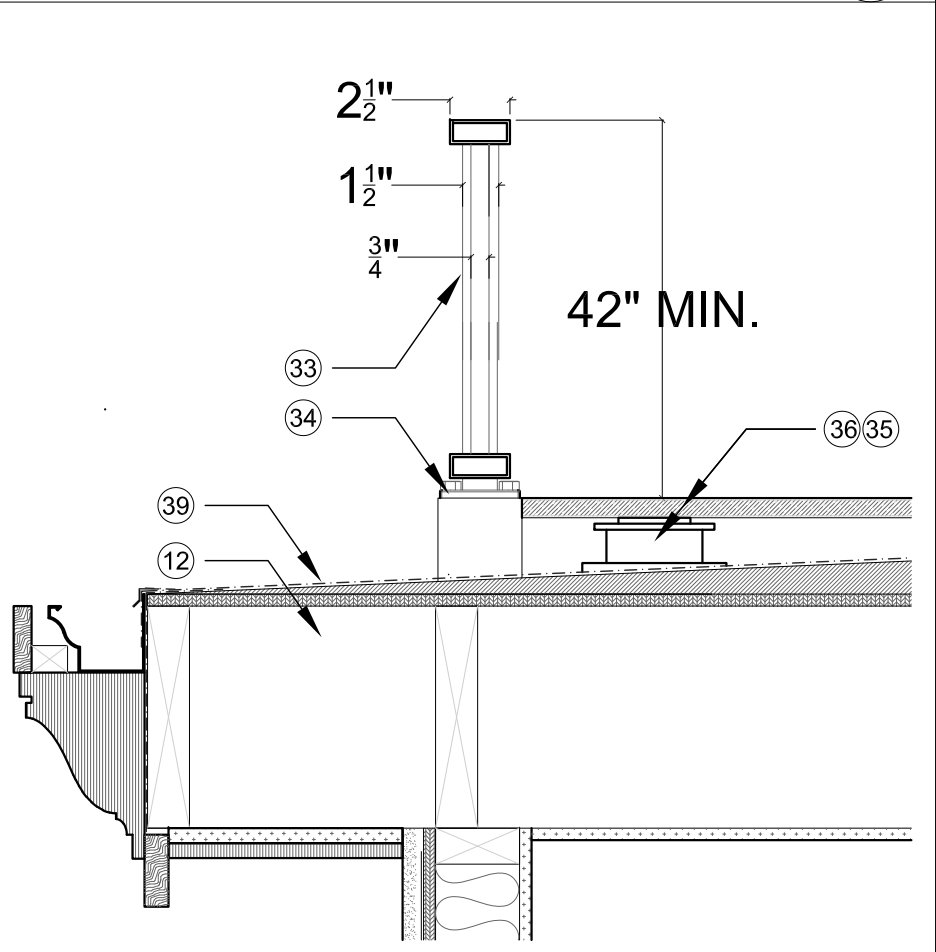
RESERVED
N.T.S. (19)



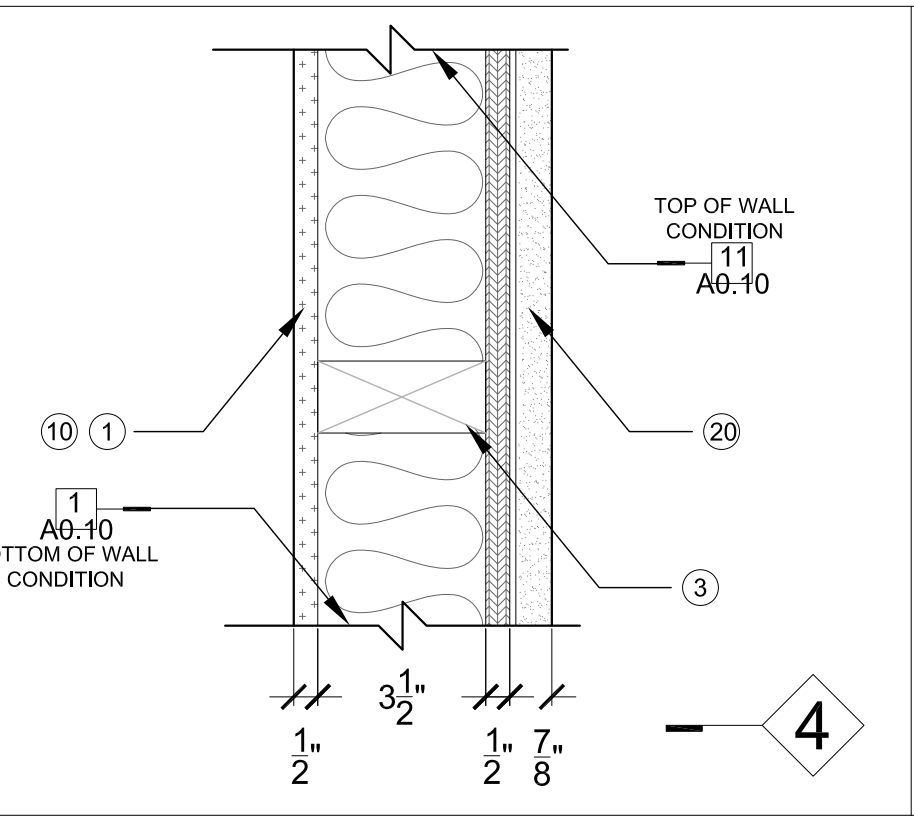
RESERVED
N.T.S. (14)



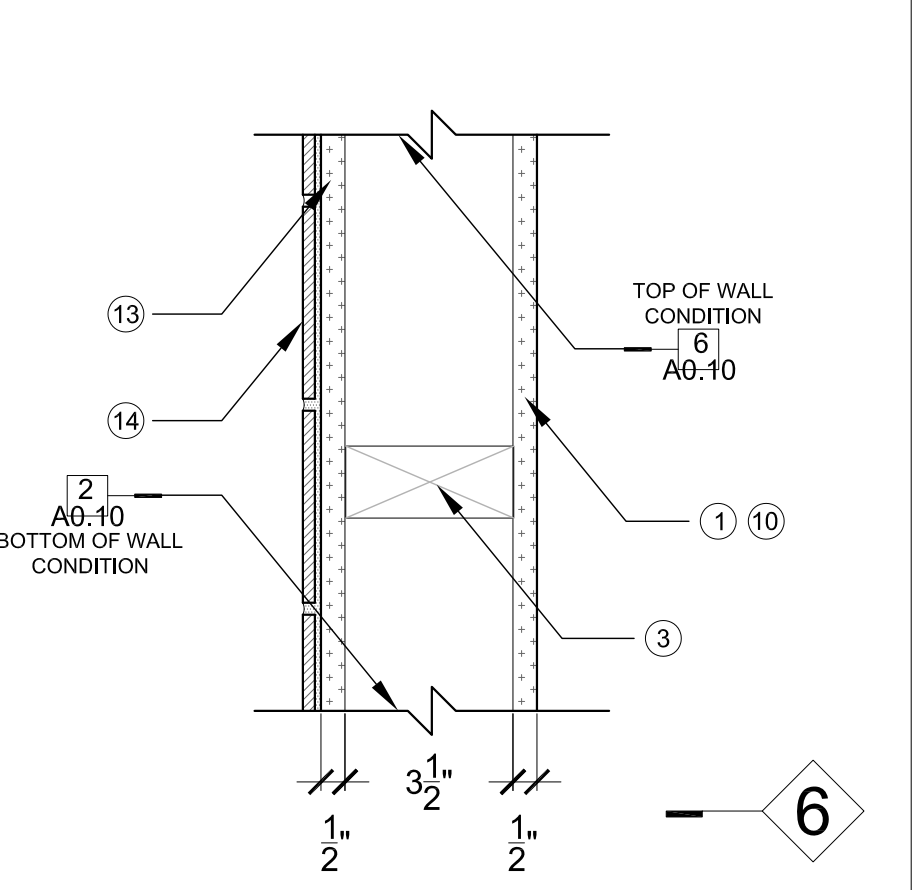
INTERIOR HAND RAIL @ STAIR
1-1/2" = 1'-0" (9)



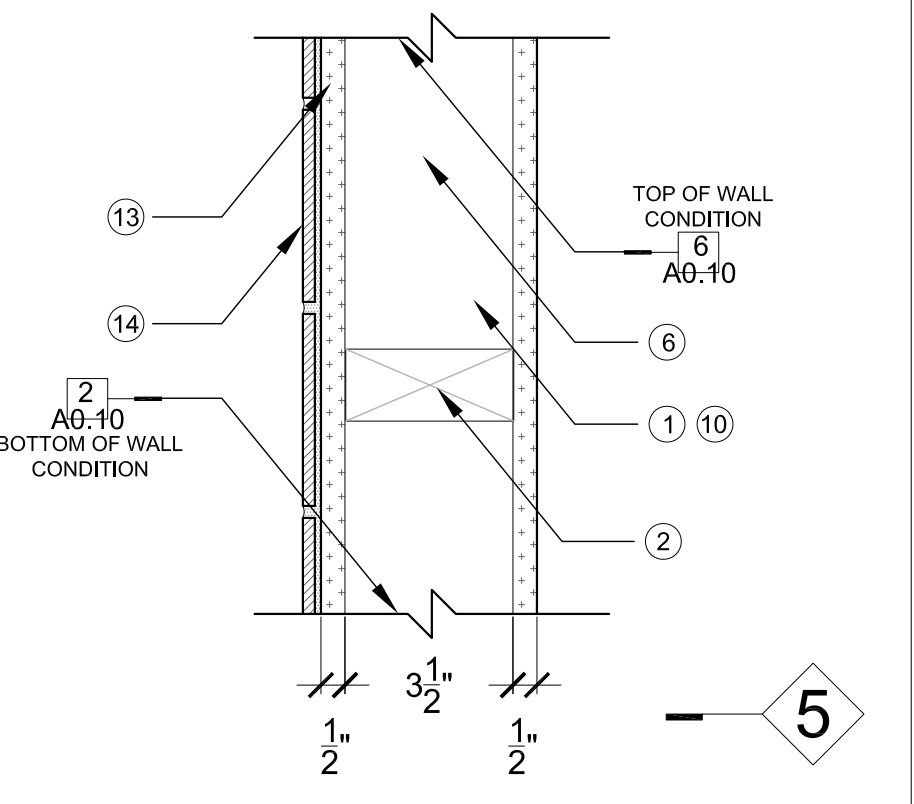
ROOF DECK & GUARDRAIL
1-1/2" = 1'-0" (4)



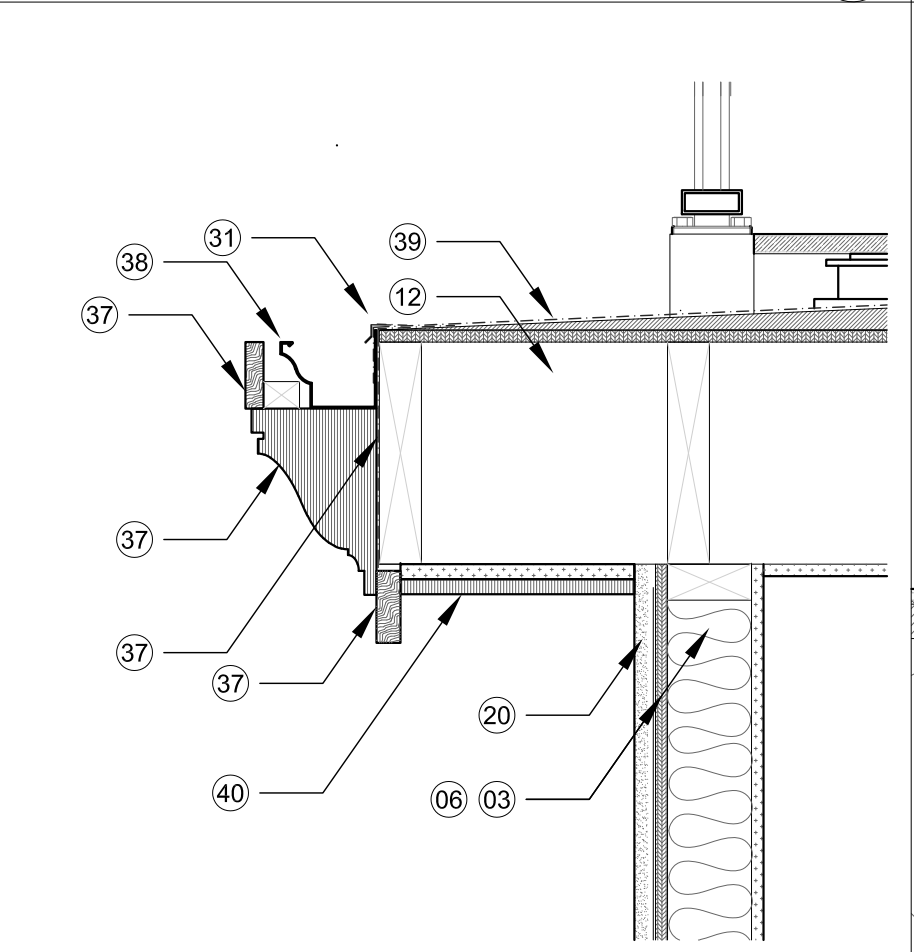
(N) WOOD EXTERIOR WALL DRYWALL
1 SIDES, STUCCO 1 SIDE
6" = 1'-0" (18)



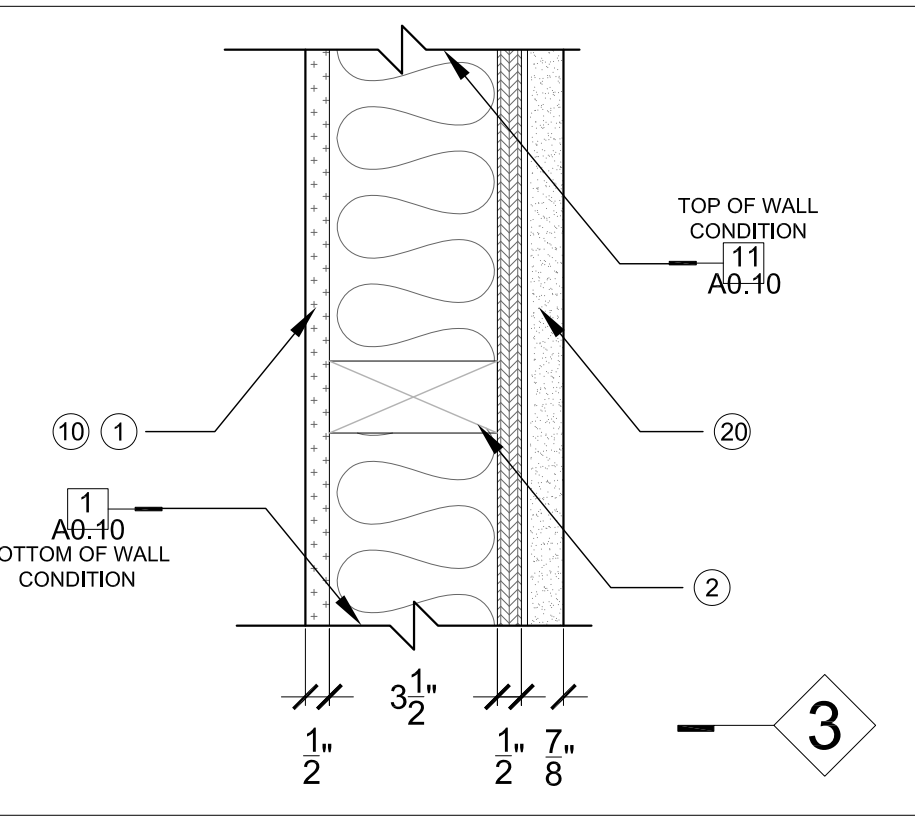
(N) WOOD PARTITION WALL
NEW TILE 1 SIDE
6" = 1'-0" (13)



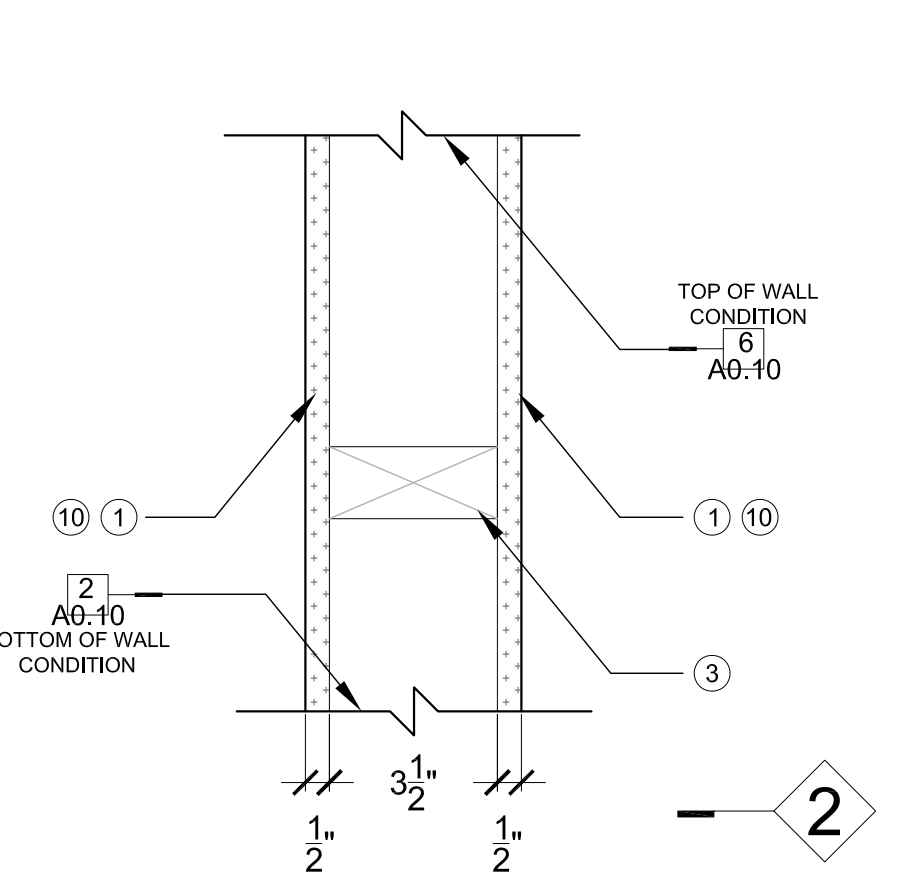
(E) WOOD PARTITION WALL
NEW TILE 1 SIDE
6" = 1'-0" (8)



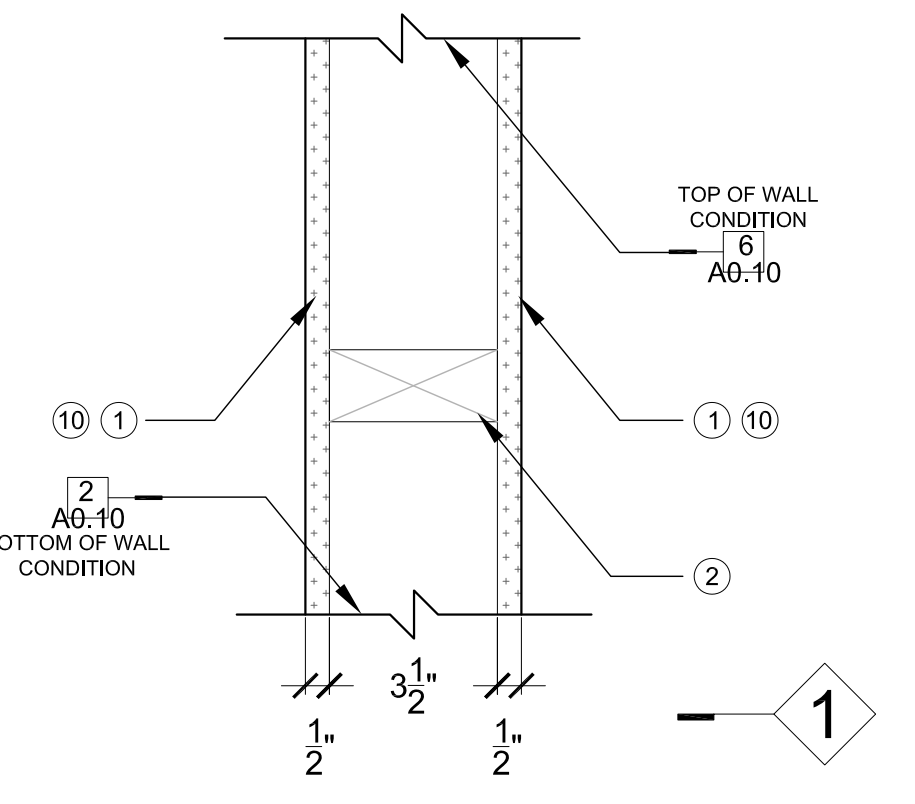
ROOF DECK OVERHANG,
DECK EDGE & CORNICE
1-1/2" = 1'-0" (3)



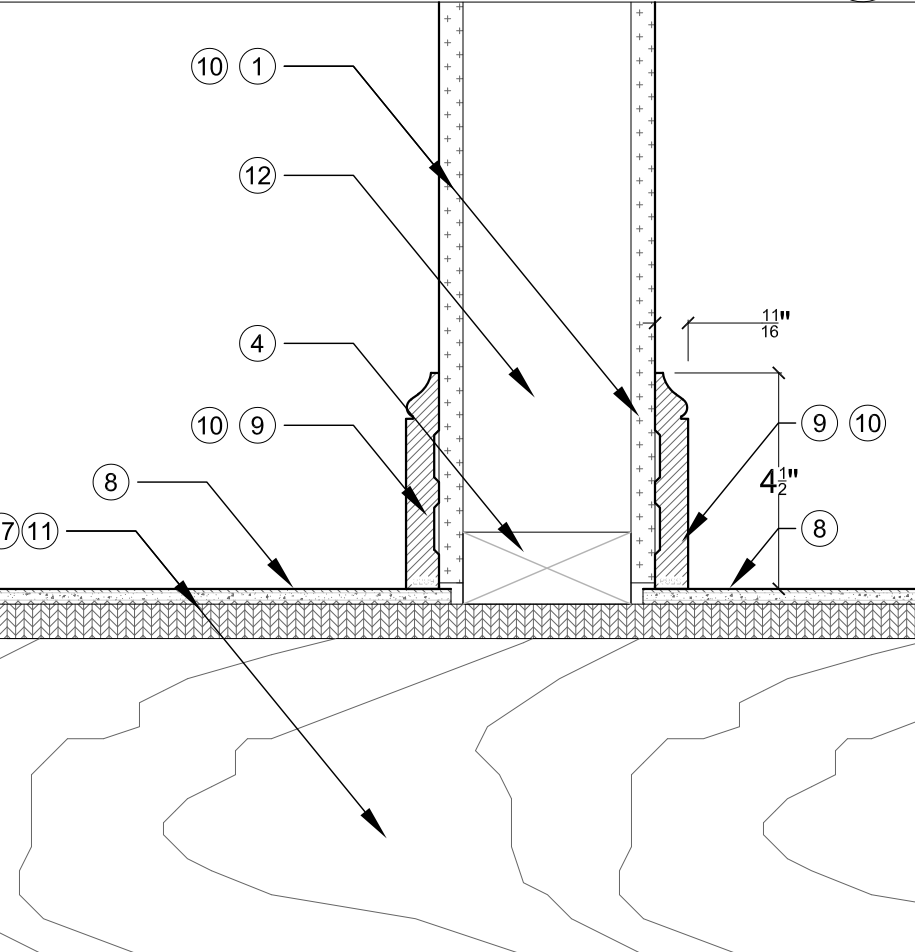
(E) WOOD EXTERIOR WALL DRYWALL
1 SIDES, STUCCO 1 SIDE
6" = 1'-0" (17)



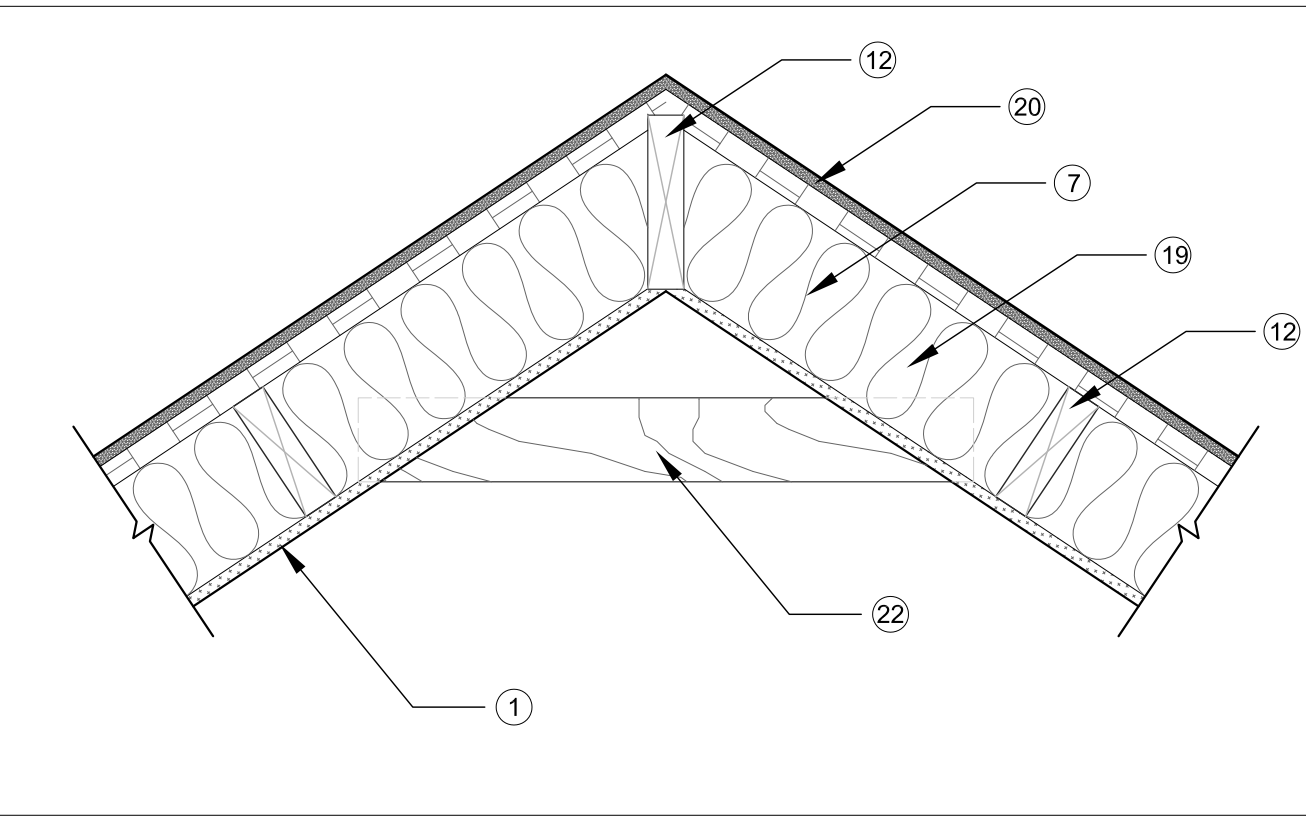
(N) WOOD PARTITION WALL
DRYWALL 2 SIDES
6" = 1'-0" (12)



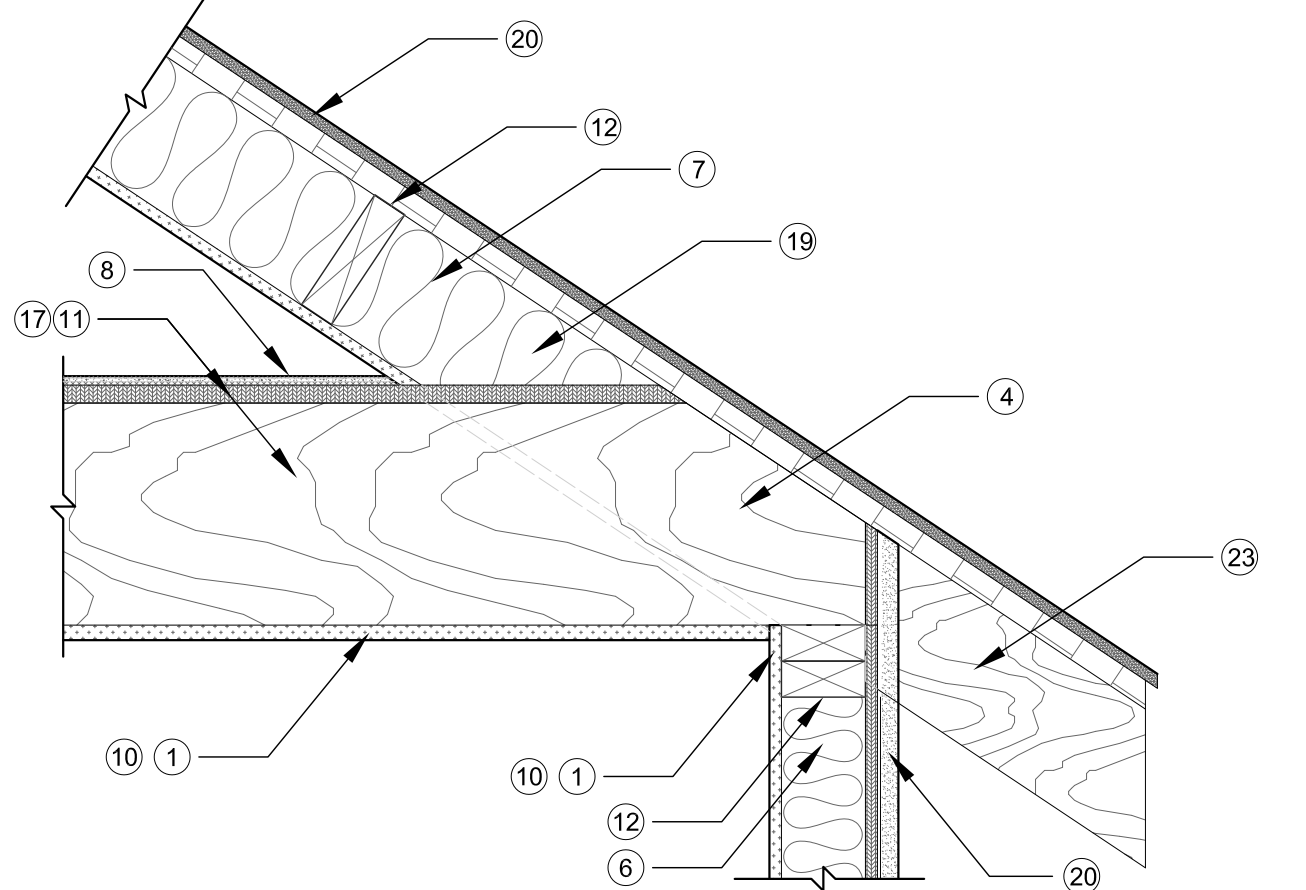
(E) WOOD PARTITION WALL
DRYWALL 2 SIDES
6" = 1'-0" (7)



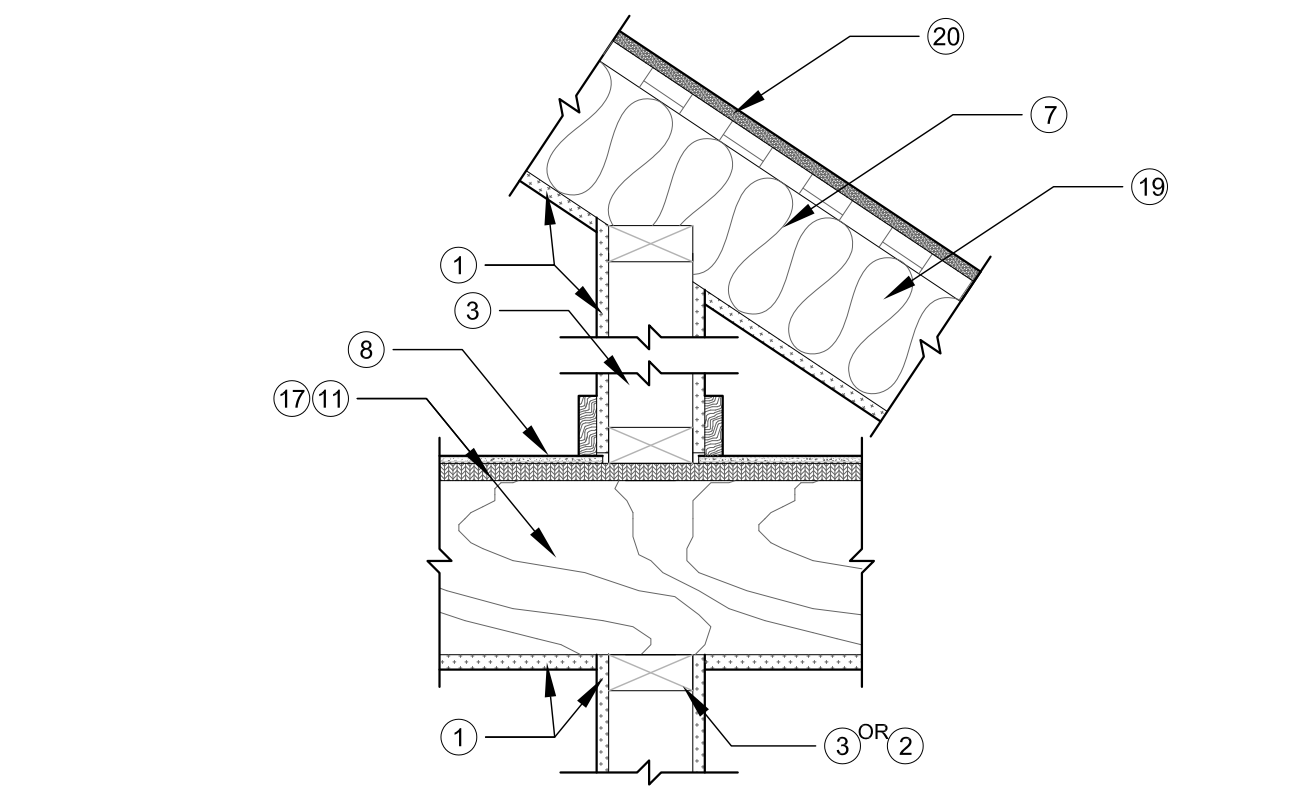
TYP. BOTTOM OF WALL
3" = 1'-0" (2)



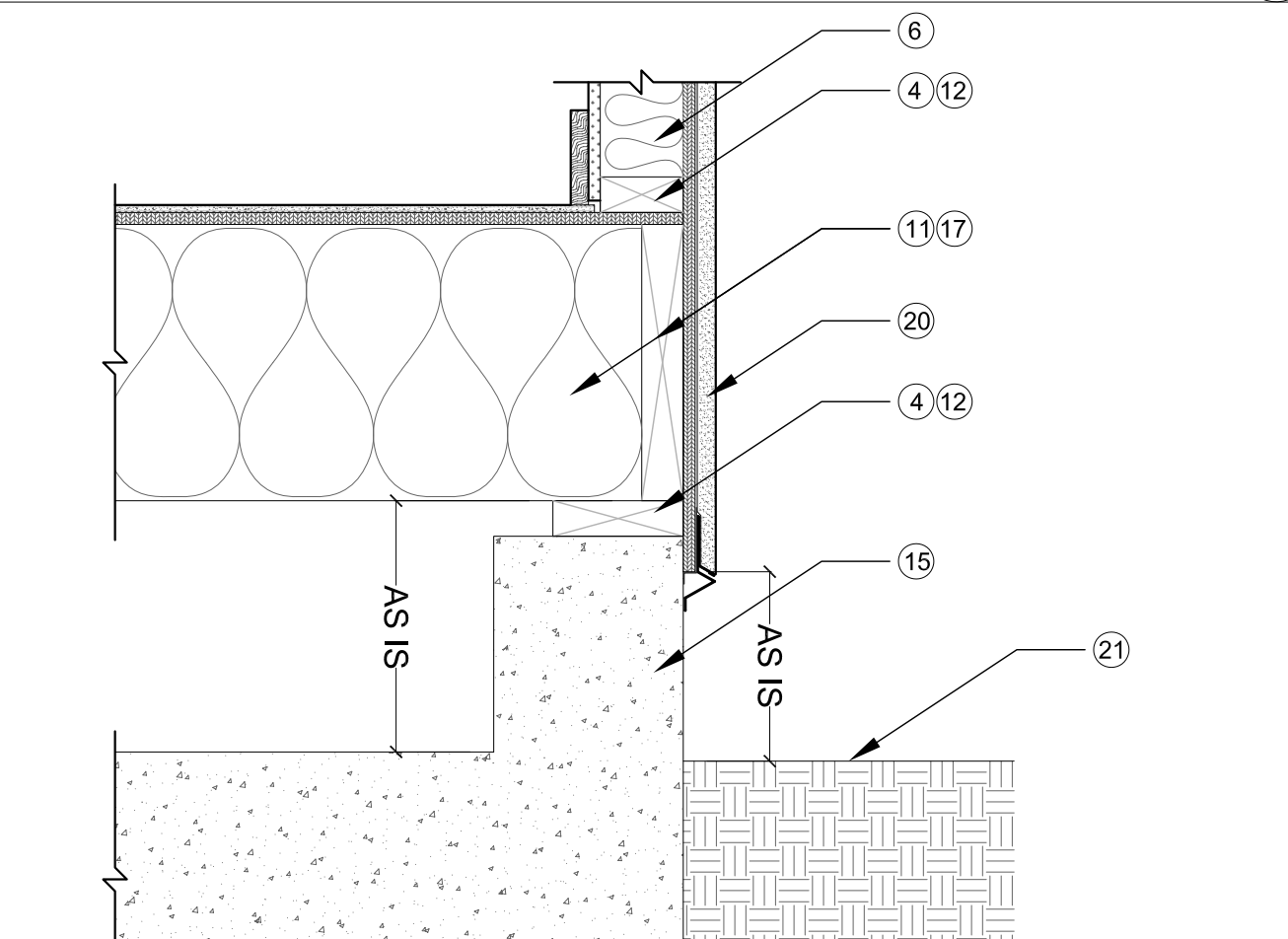
TYP. ROOF & CEILING
ASSEMBLY @ RIDGE
1" = 1'-0" (16)



TYP. TOP OF EXT. WALL &
ROOF @ SIDEWALL
N.T.S. (11)



TYPICAL ROOF / CEILING
ASSEMBLY
N.T.S. (6)



TYP. EXTERIOR WALL
AT FOOTING
N.T.S. (1)

- PLAN NOTES KEY**
- 1 NEW 1/2" DRYWALL GYPSUM WALL BOARD USE GREEN-BOARD IN BATHROOMS
 - 2 EXISTING 2X4 WOOD FRAMING TO REMAIN AS-IS, ADD BLOCKING IF NEEDED, REMOVE & REPLACE AS NEEDED
 - 3 NEW 2X4 WOOD FRAMED WALL
 - 4 ATTACHMENT HARDWARE PER CBC STANDARD DETAILS & STRUCTURAL RECOMMEND.
 - 5 NEW 2X4 WOOD FURRING ON EXISTING WOOD PARTITION WALL
 - 6 NEW BATT INSULATION
 - 7 NEW CLOSED CELL SPRAY FOAM INSULATION
 - 8 NEW FINISH FLOOR PER FINISH SCH., TYP.
 - 9 NEW PINE BASEBOARD EACH SIDE PER FINISH PER SCH., TYP.
 - 10 NEW PAINT PER FINISH SCH.
 - 11 NEW PLYWOOD SUBFLOOR PER STRUCTURAL
 - 12 WOOD FRAMING PER STRUCT. PLAN, ADD BLOCKING AS NEEDED
 - 13 NEW TILE BACKER/WATERPROOFING BEHIND CERAMIC TILE ENCLOSURE
 - 14 NEW CERAMIC WALL TILE PER INTERIOR ELEVATIONS ON SHEET A-6.1
 - 15 EXISTING CONCRETE FOUNDATION TO REMAIN AS-IS, OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - 16 EXISTING WOOD WALL FRAMING TO REMAIN AS-IS, OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - 17 EXISTING WOOD FLOOR FRAMING TO REMAIN AS-IS OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - 18 EXISTING WOOD ROOF FRAMING TO REMAIN AS-IS OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - 19 EXISTING ROOFING TO REMAIN AS-IS OR BE REMOVED AND REPLACED PER EXT. ELEV.
 - 20 EXISTING STUCCO TO REMAIN AS-IS OR BE REMOVED AND REPLACED PER EXT. ELEV.
 - 21 EXISTING GRADE OR HARDSCAPE TO REMAIN AS-IS, NOT A PART
 - 22 REMOVE & REPLACE COLLAR TIES PER STRUCTURAL REC. OR ELM. PER STRUCT. REC.
 - 23 RAFTER TAILS, EAVE, & FASCIA TO REMAIN AS-IS OR BE REPAIRED & REPLACED AS NEEDED
 - 24 SELF ADHERING BITUMINOUS WATERPROOFING / FLASHING
 - 25 WINDOW OR DOOR PER SCHEDULES ON A0.12 & A0.13
 - 26 BRICK MOULD TRIM PER WINDOW & DOOR SCHEDULES ON A0.12 & A0.13
 - 27 EXTENDED SILL TRIM OR DOOR SILL PER DOOR & WINDOW SCHEDULES ON A0.12 & A0.13
 - 28 PROPOSED NEW INTERIOR WOOD DOOR & WINDOW TRIM
 - 29 PROPOSED NEW INTERIOR WOOD BASEBOARD
 - 30 PROPOSED NEW INTERIOR WOOD TRIM OR RAILING
 - 31 METAL FLASHING (SILL PAN, DRIP FLASHING, EDGE FLASHING)
 - 32 HANDRAIL BRACKET
 - 33 VINYL OR METAL GUARDRAIL (TBD), NO SPACE MORE THAN 4" BETWEEN ALL PARTS AND DECK BELOW.
 - 34 DECK POST STANCHION SECURED TO WOOD STRUCT. BELOW OVER SA BITUMINOUS FLASHING
 - 35 COMPOSITE DECKING TILE
 - 36 ADJUSTABLE DECK TILE STANCHION/PEDESTAL BY BISON OR SIM.
 - 37 COMPOSITE CORNICE MOLDING & TRIM, PROFILE TO MATCH TUDOR REVIVAL STYLE
 - 38 METAL GUTTER
 - 39 TORCH DOWN ROOFING OVER ROOF SLOPING AT 2% SLOPE MIN.
 - 40 COMPOSITE SIDING OVER DENSGLASS UNDERLAYMENT
- # -- DETAIL TAG
A# --

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS
DATE: 5/11/24

ISSUED FOR

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OWNER:
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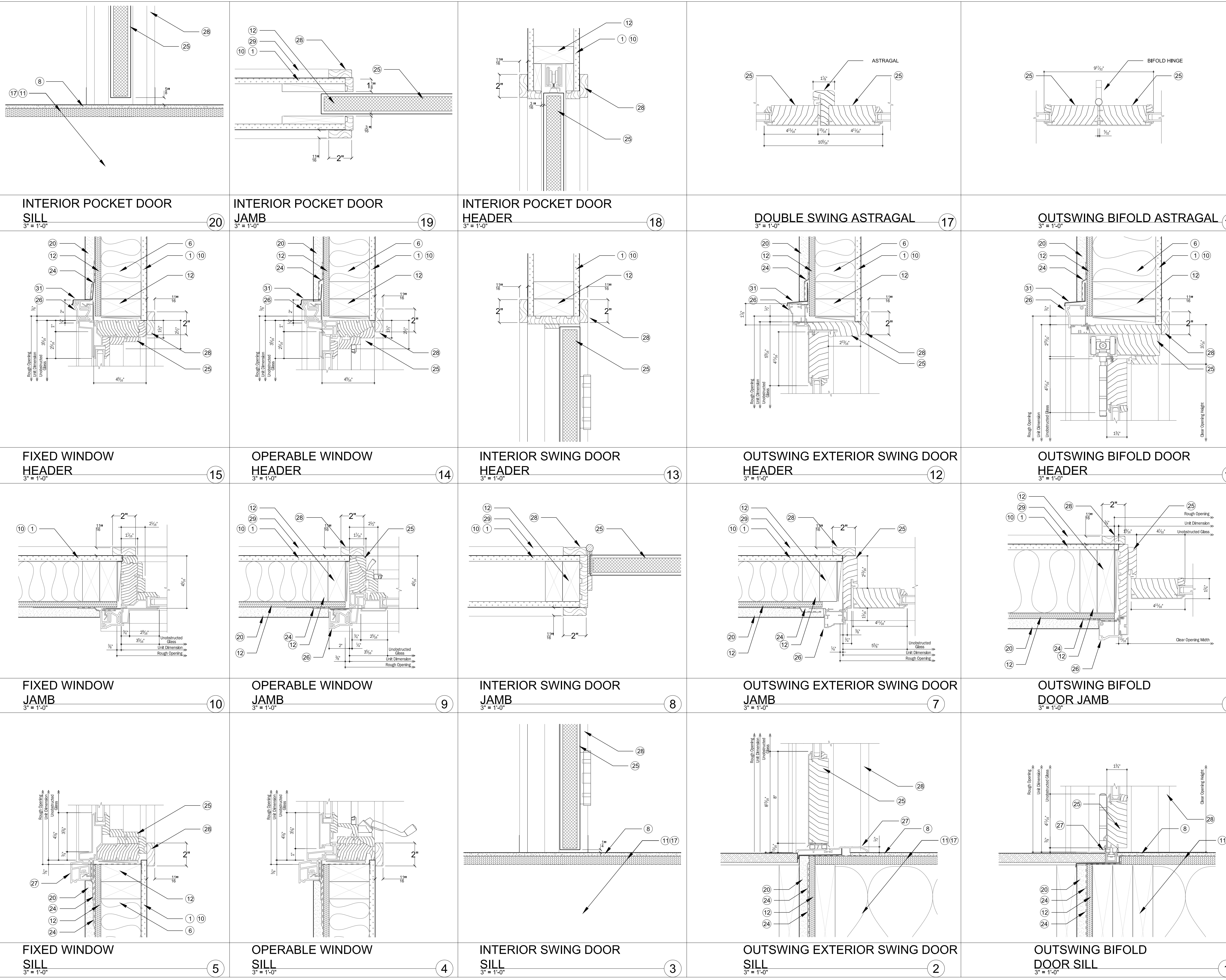
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P: 858-382-1627

Ashly Sigle

FLOOR, WALL, &
CEILING ASSEMBLIES
& DETAILS

A0.10



- PLAN NOTES KEY**
- ① NEW 1/2" DRYWALL GYPSUM WALL BOARD USE GREEN-BOARD IN BATHROOMS
 - ② EXISTING 2X4 WOOD FRAMING TO REMAIN AS-IS, ADD BLOCKING IF NEEDED
 - ③ NEW 2X4 WOOD FRAMED WALL
 - ④ ATTACHMENT HARDWARE PER CBC STANDARD DETAILS & STRUCTURAL RECOMMEND.
 - ⑤ NEW 2X4 WOOD FURRING ON EXISTING WOOD PARTITION WALL
 - ⑥ NEW BATT INSULATION
 - ⑦ NEW CLOSED CELL SPRAY FOAM INSULATION
 - ⑧ NEW FINISH FLOOR PER FINISH SCH., TYP.
 - ⑨ NEW PINE BASEBOARD EACH SIDE PER FINISH PER SCH., TYP.
 - ⑩ NEW PAINT PER FINISH SCH.
 - ⑪ NEW PLYWOOD SUBFLOOR PER STRUCTURAL
 - ⑫ WOOD FRAMING PER PLAN, ADD BLOCKING AS NEEDED
 - ⑬ NEW TILE BACKER/WATERPROOFING BEHIND CERAMIC TILE ENCLOSURE
 - ⑭ NEW CERAMIC WALL TILE PER INTERIOR ELEVATIONS ON SHEET A-6.1
 - ⑮ EXISTING CONCRETE FOUNDATION TO REMAIN AS-IS, OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - ⑯ EXISTING WOOD WALL FRAMING TO REMAIN AS-IS, OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - ⑰ EXISTING WOOD FLOOR FRAMING TO REMAIN AS-IS OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - ⑱ EXISTING WOOD ROOF FRAMING TO REMAIN AS-IS OR BE IMPROVED PER STRUCTURAL RECOMMEND.
 - ⑲ EXISTING ROOFING TO REMAIN AS-IS OR BE REMOVED AND REPLACED PER EXT. ELEV.
 - ⑳ EXISTING STUCCO TO REMAIN AS-IS OR BE REMOVED AND REPLACED PER EXT. ELEV.
 - ㉑ EXISTING GRADE OR HARDSCAPE TO REMAIN AS-IS, NOT A PART
 - ㉒ REMOVE & REPLACE COLLAR TIES PER STRUCTURAL RECOMMEND.
 - ㉓ RAFTER TAILS, EAVE, & FASCIA TO REMAIN AS-IS OR BE REPAIRED & REPLACED AS NEEDED
 - ㉔ SELF ADHERING BITUMINOUS WATERPROOFING / FLASHING
 - ㉕ WINDOW OR DOOR PER SCHEDULES ON A0.12 & A0.13
 - ㉖ BRICK MOLD TRIM PER WINDOW & DOOR SCHEDULES ON A0.12 & A0.13
 - ㉗ EXTENDED SILL TRIM OR DOOR SILL PER DOOR & WINDOW SCHEDULES ON A0.12 & A0.13
 - ㉘ PROPOSED NEW INTERIOR WOOD DOOR & WINDOW TRIM
 - ㉙ PROPOSED NEW INTERIOR WOOD BASEBOARD
 - ㉚ PROPOSED NEW INTERIOR WOOD TRIM & / OR RAILING
 - ㉛ METAL SILL PAN OR HEAD FLASHING
- AW##** - DETAIL TAG

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DATE	REMARKS
1/11/2024	CONCEPT DEVELOPMENT
5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITTAL

OWNER:
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:
APN: 5320014028
TRACT: 6403
BLOCK: NONE
LOT: 39
MAP: 70-76-5320-14

PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLYDESIGN@GMAIL.COM
P: 858-382-1627

Ashly Sigle

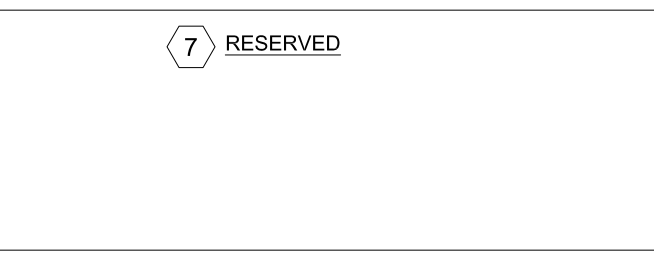
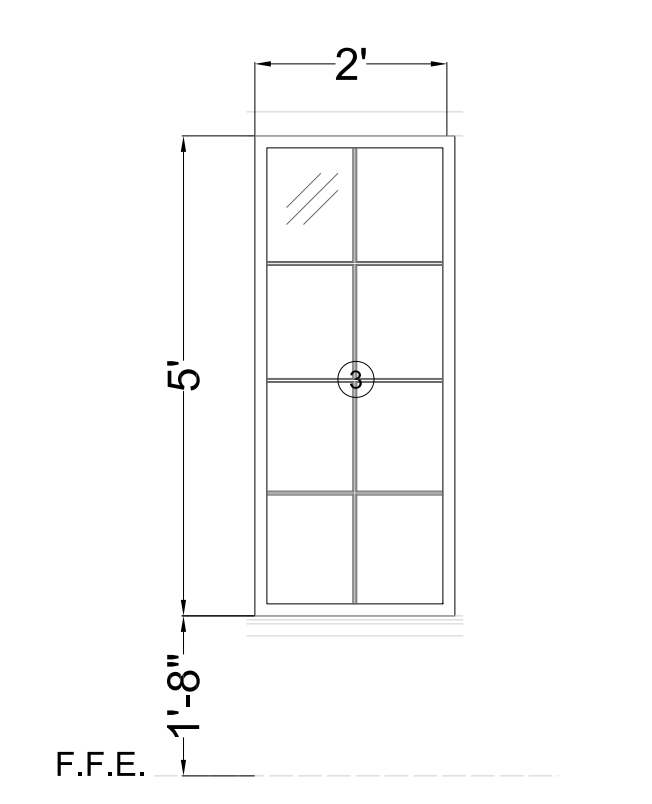
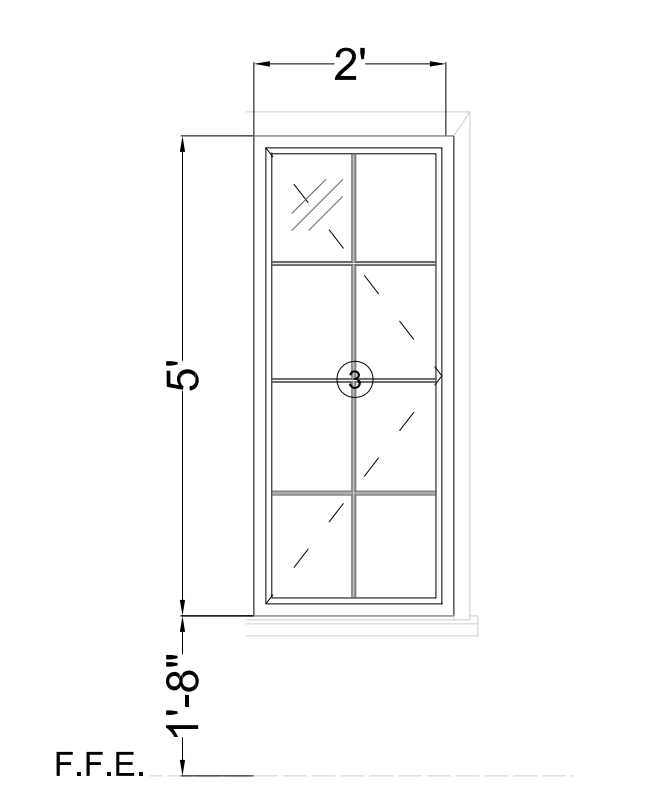
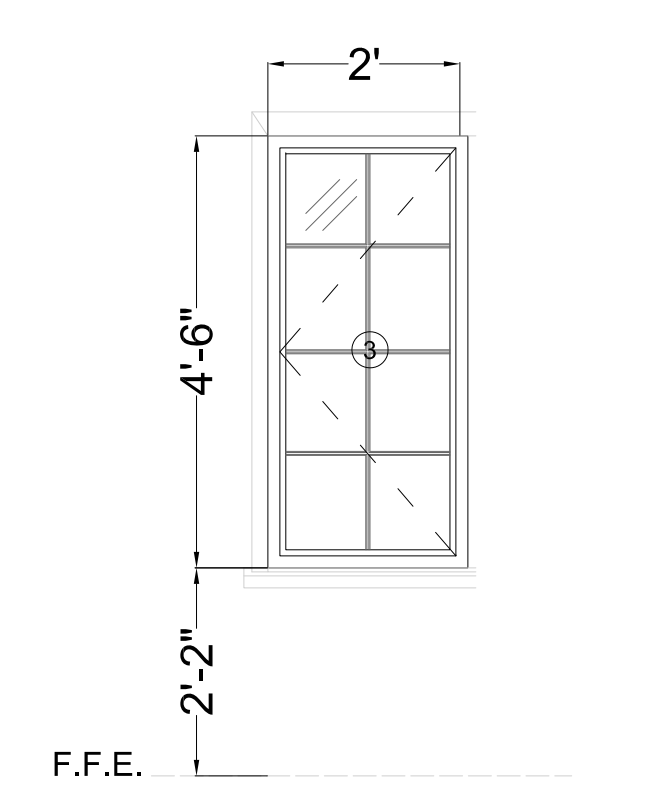
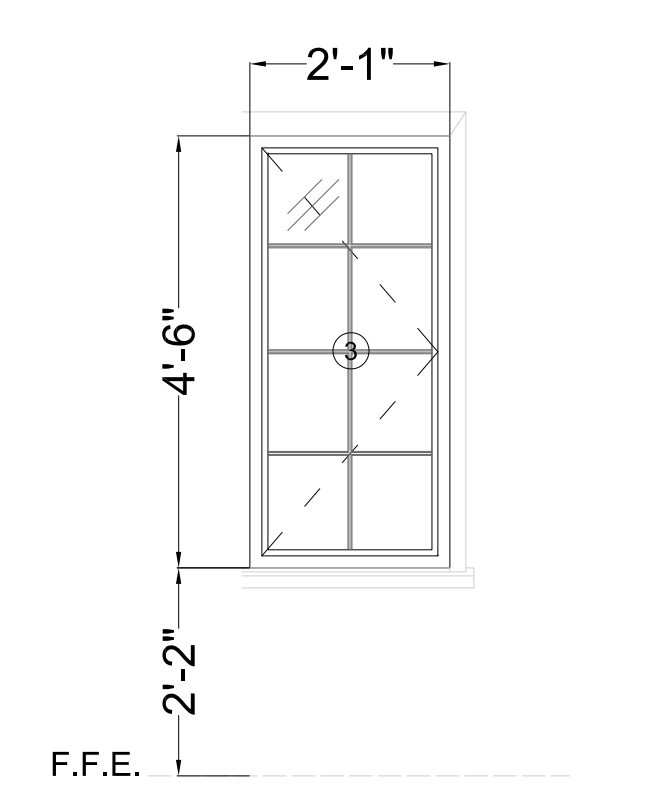
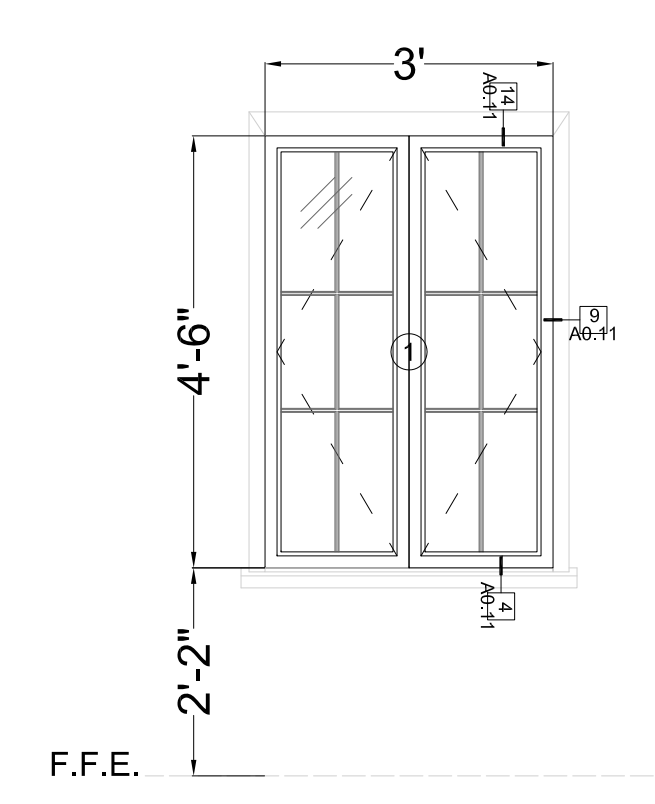
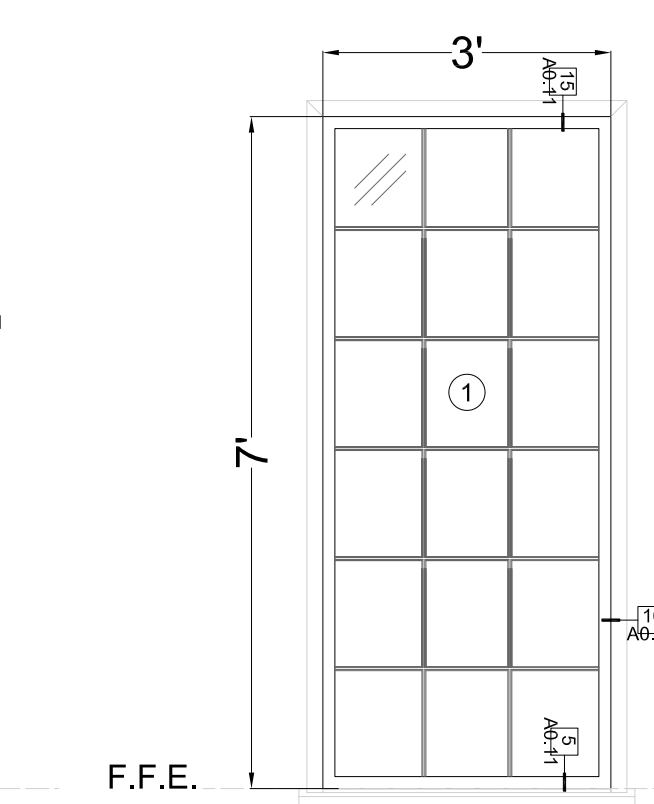
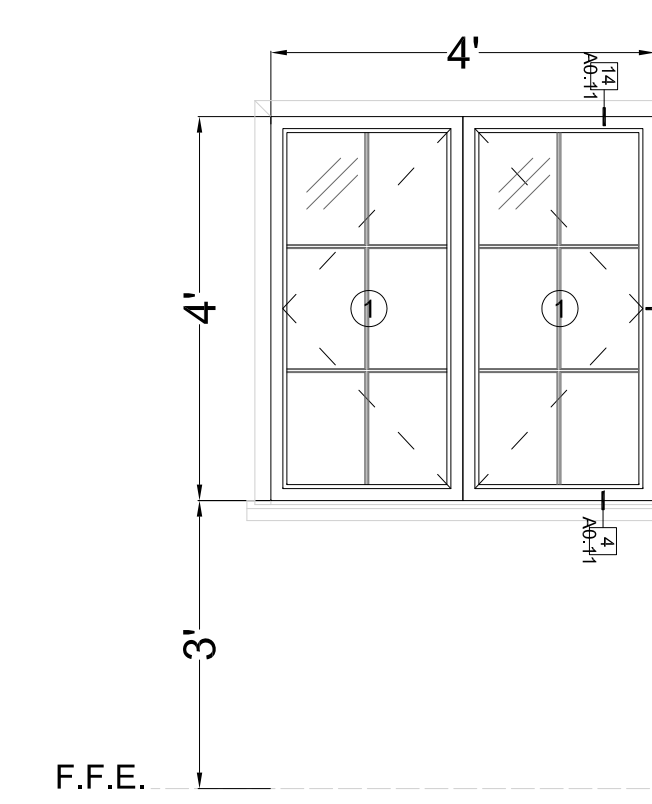
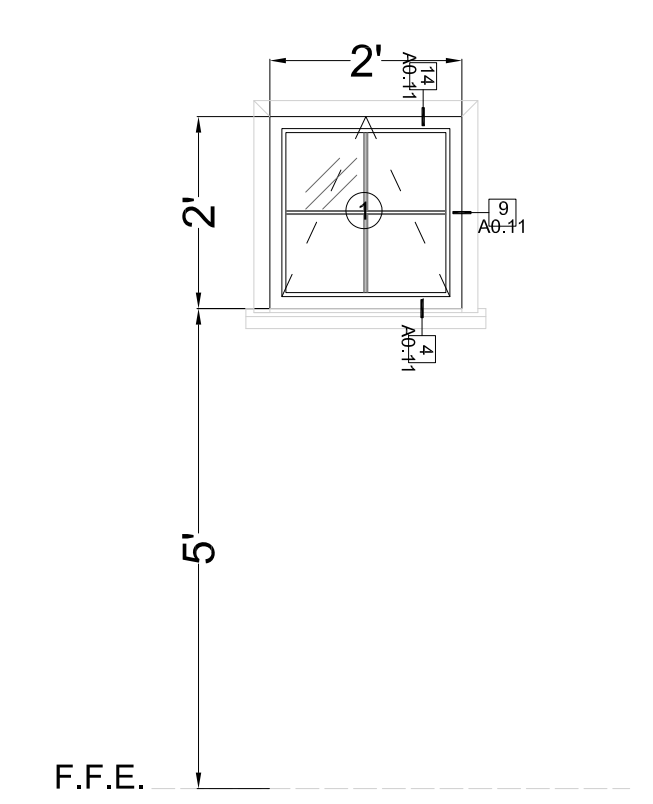
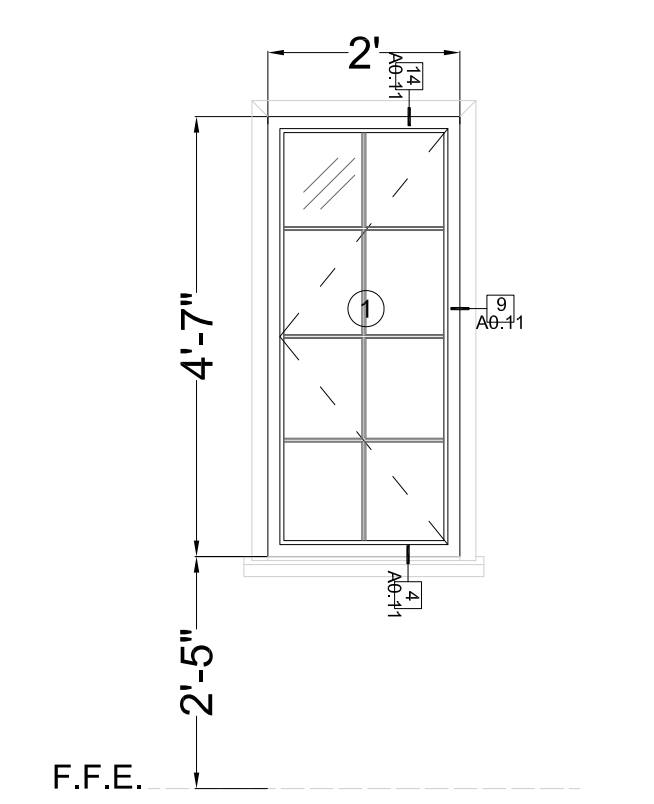
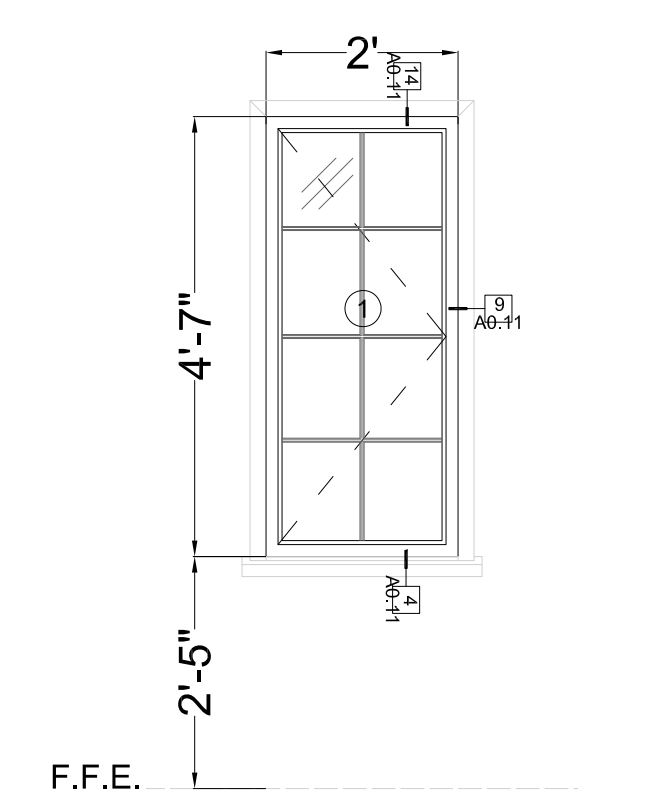
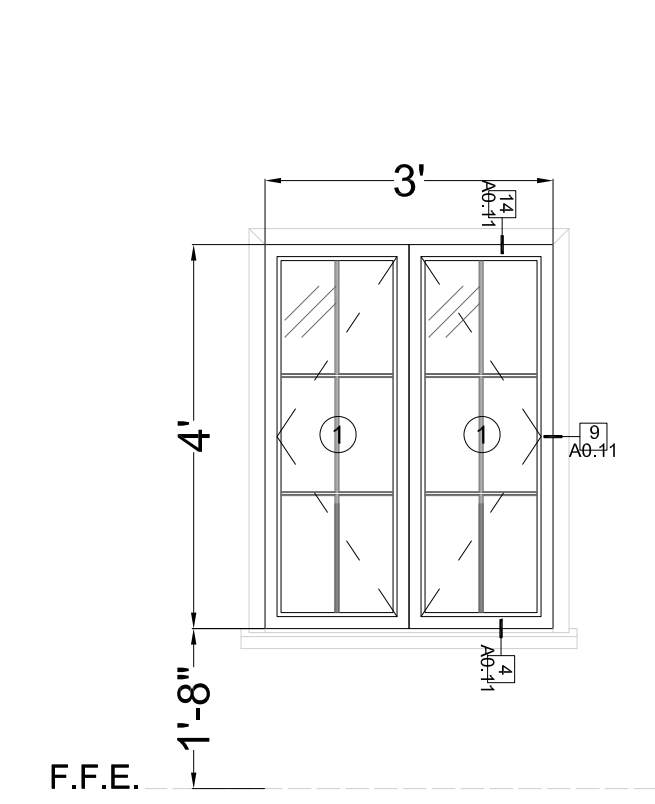
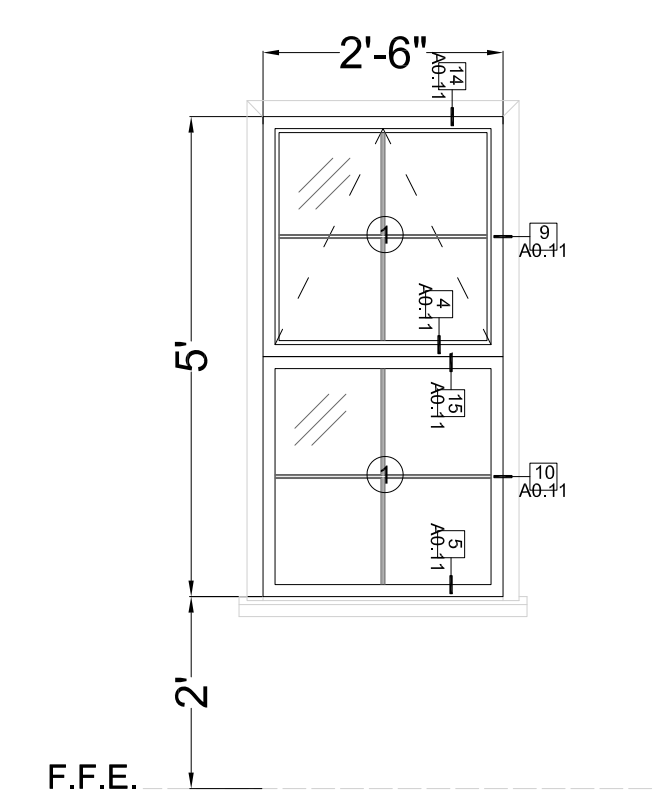
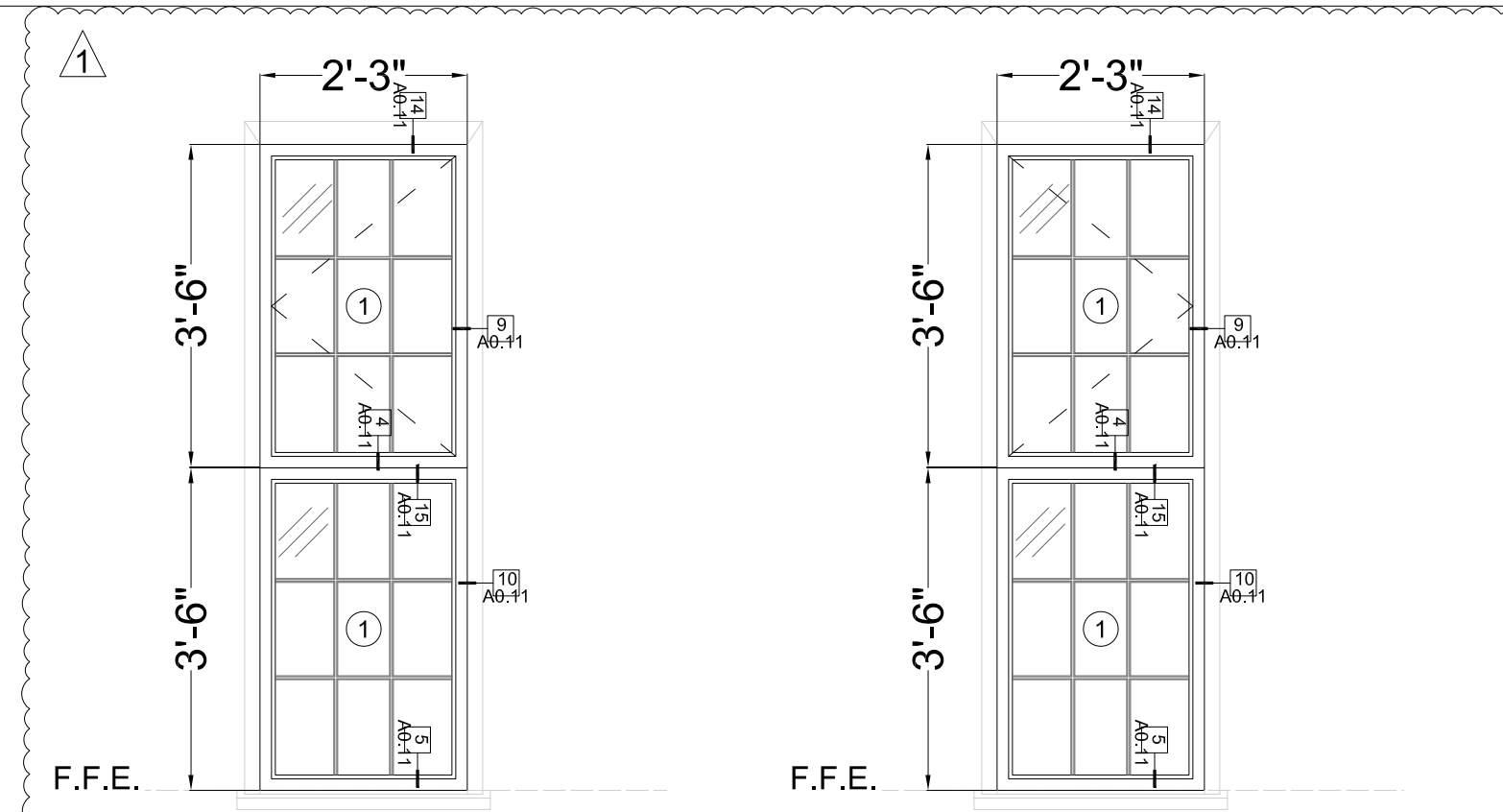
DETAILS -
DOORS & WINDOWS

A0.11

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS RESIDENCE

- PLAN NOTES KEY**
- DUAL PANE - 1/8" TEMPERED GLASS W/ DOUBLE SILVER LOW-E COATING ON #2 SURFACE / 1/2" AIR SPACER W/ ARGON / 1/8" TEMPERED GLASS
 - DOOR THRESHOLD IN COMPLIANCE W/ CBC 11B
 - EXISTING TO REMAIN AS-IS, NOT A PART, EXCEPT INTERIOR & EXTERIOR FRAME TO BE REFINISHED TO MATCH NEW PROPOSED WINDOWS.
- 1/2" = 1'-0"
 # - SEE DETAIL REFERENCE



WINDOW SCHEDULE 1
 1/2" = 1'-0"

GENERAL NOTES

TAG	TYPE	WIDTH	HEIGHT	MAKE / MODEL	MATERIAL	FINISH	HARDWARE	GRILLES	TRIM	GLAZING	NOTES/REMARKS
1	CASEMENT	2'	5'	UNKNOWN	WOOD	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL	2" BRICK MOLD W/ SILL NOSE	SINGLE PANE CLEAR	EXISTING TO REMAIN
2	PICTURE	2'	5'	UNKNOWN	WOOD	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL	2" BRICK MOLD W/ SILL NOSE	SINGLE PANE CLEAR	EXISTING TO REMAIN
3	CASEMENT	2'	5'	UNKNOWN	WOOD	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL	2" BRICK MOLD W/ SILL NOSE	SINGLE PANE CLEAR	EXISTING TO REMAIN
4	CASEMENT	2'	4'-6"	UNKNOWN	WOOD	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL	2" BRICK MOLD W/ SILL NOSE	SINGLE PANE CLEAR	EXISTING TO REMAIN
5	CASEMENT	2'-1"	4'-6"	UNKNOWN	WOOD	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL	2" BRICK MOLD W/ SILL NOSE	SINGLE PANE CLEAR	EXISTING TO REMAIN
6	FRENCH CASEMENT	3'	4'-6"	UNKNOWN	WOOD	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (2X3)	2" BRICK MOLD W/ SILL NOSE	SINGLE PANE CLEAR	REPLACE EXISTING
7	RESERVED	-	-	-	-	-	-	-	-	-	-
8	PICTURE	3'	7'	ANDERSEN / A SERIES	FIBREX COMPOSITE / MAPLE	TERRATONE / NATURAL	N/A	COLONIAL SDL 3/4" (3X6)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	REPLACE EXISTING
9	FRENCH CASEMENT	4'	4'	ANDERSEN / E SERIES	ALUM. CLAD / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (2X3)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED / FROSTED	PROPOSED NEW
10	AWNING	2'	2'	ANDERSEN / E SERIES	ALUM. CLAD / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (2X2)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	PROPOSED NEW
11	CASEMENT	2'	4'-7"	ANDERSEN / A SERIES	FIBREX COMPOSITE / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (2X4)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	PROPOSED NEW
12	CASEMENT	2'	4'-7"	ANDERSEN / A SERIES	FIBREX COMPOSITE / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (2X4)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	PROPOSED NEW
13	FRENCH CASEMENT	3'	4'	ANDERSEN / E SERIES	ALUM. CLAD / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (2X3)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	PROPOSED NEW
14	AWNING OVER PICTURE	2'-6"	5'	ANDERSEN / A SERIES	FIBREX COMPOSITE / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (2X2)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	PROPOSED NEW
15	CASEMENT OVER PICTURE	2'-3"	7'	ANDERSEN / A SERIES	FIBREX COMPOSITE / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (3X3)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	PROPOSED NEW
16	CASEMENT OVER PICTURE	2'-3"	7'	ANDERSEN / A SERIES	FIBREX COMPOSITE / MAPLE	TERRATONE / NATURAL	TRADITIONAL FOLDING/ORB	COLONIAL SDL 3/4" (3X3)	2" BRICK MOLD W/ SILL NOSE	LOW E4 DUAL PANE TEMPERED	PROPOSED NEW

SCHEDULE WINDOWS

A0.12

OWNER:
 AMANDA HAAS
 1500 SPRUCE STREET
 SOUTH PASADENA, CA 91030

LEGAL INFO:
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 TRACT: 6403
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PLANS PREPARED BY:
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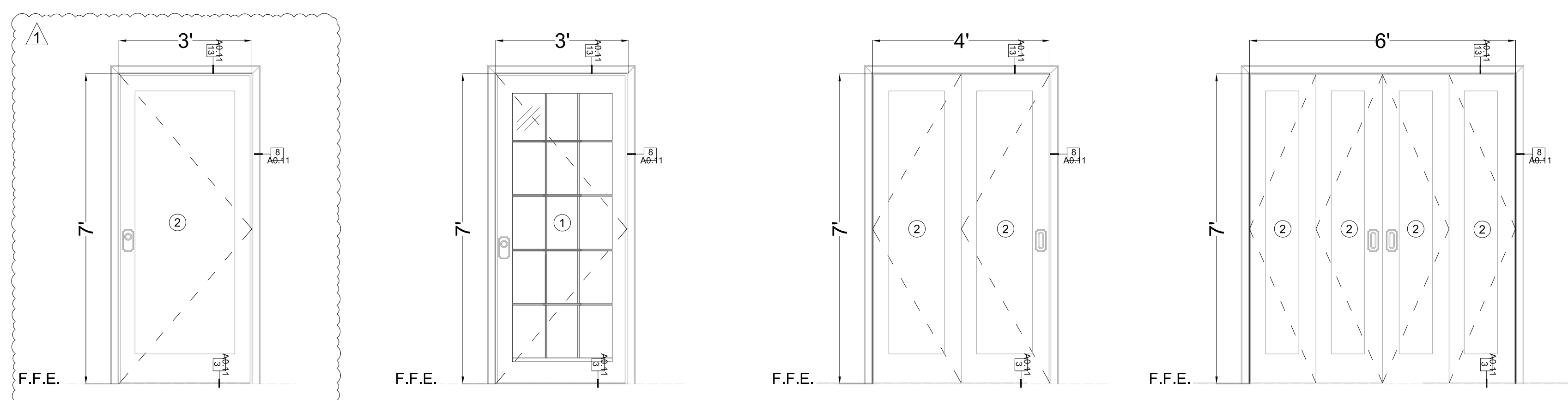
Ashly Sigle

DRAWN: AS
DATE: 5/11/24

ISSUED FOR

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5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITTAL
8/9/2024	PLANNING CORRECTIONS

- PLAN NOTES KEY**
- ① DUAL PANE - 1/8" TEMPERED GLASS W/ DOUBLE SILVER LOW-E COATING ON #2 SURFACE / 1/2" AIR SPACER W/ ARGON / 1/8" TEMPERED GLASS
 - ② 1-3/4" WHITE OAK SOLID CORE 1-PANEL DOOR SLAB
 - ③ EXISTING TO REMAIN AS-IS, NOT A PART, EXCEPT INTERIOR & EXTERIOR FRAME TO BE REFINISHED TO MATCH NEW PROPOSED WINDOWS.
- Ab-11 SEE DETAIL REFERENCE

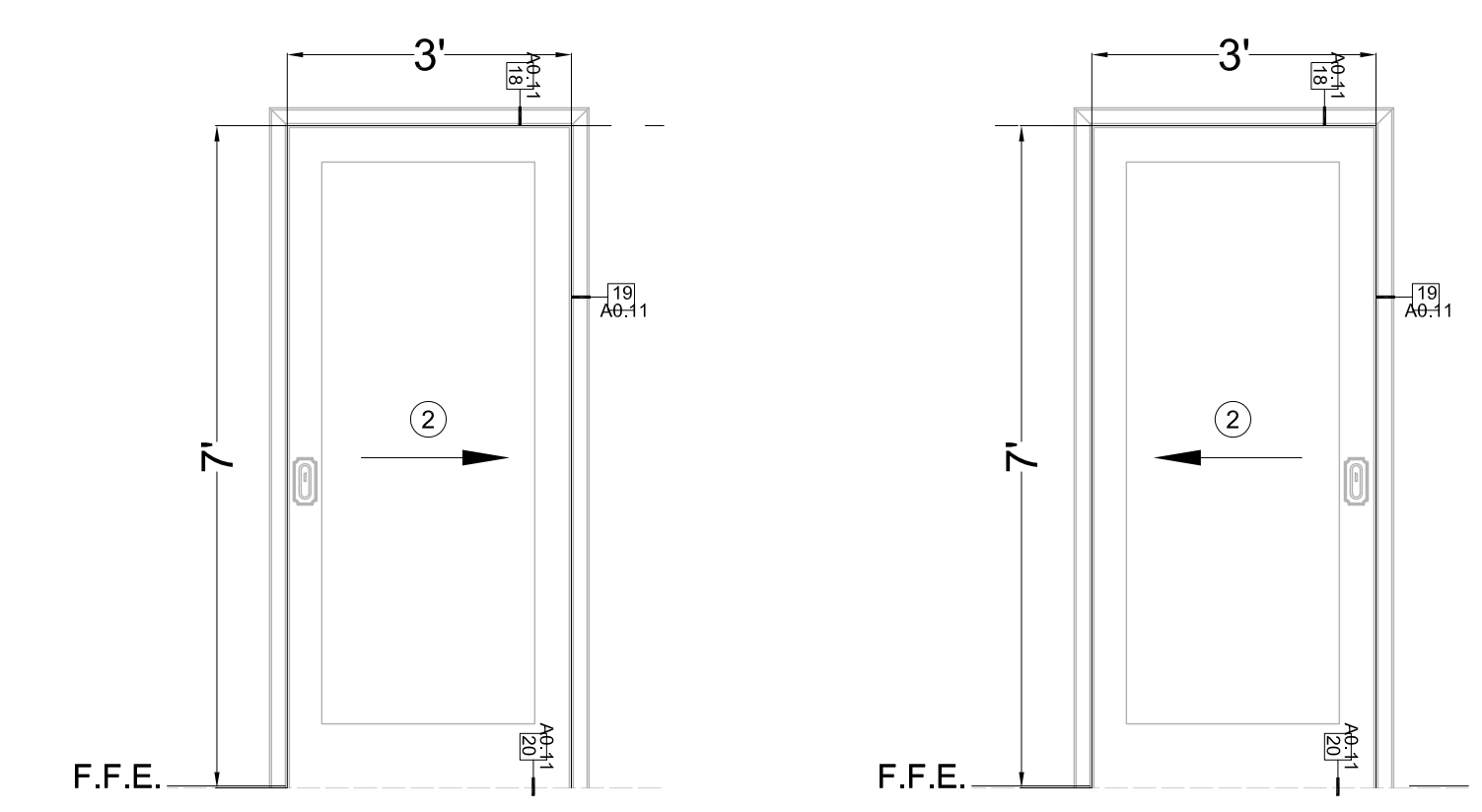


O INTERIOR SWING DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: KNOB, PRIVACY, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA

N INTERIOR SINGLE-LITE SWING DOOR (PROPOSED NEW)
MFR/SERIES: ANDERSEN-E-SERIES
MATERIAL (EXT/INT): CLAD/MAPLE
COLOR (EXT/INT): TERRATONE/TERRATONE
HARDWARE: KNOB, NATURAL BRONZE
GRILLES: COLONIAL SDL 3/4" (3X5)
TRIM: 2" BRICK MOULD
GLASS: LOW E4 DUAL PANE TEMPERED

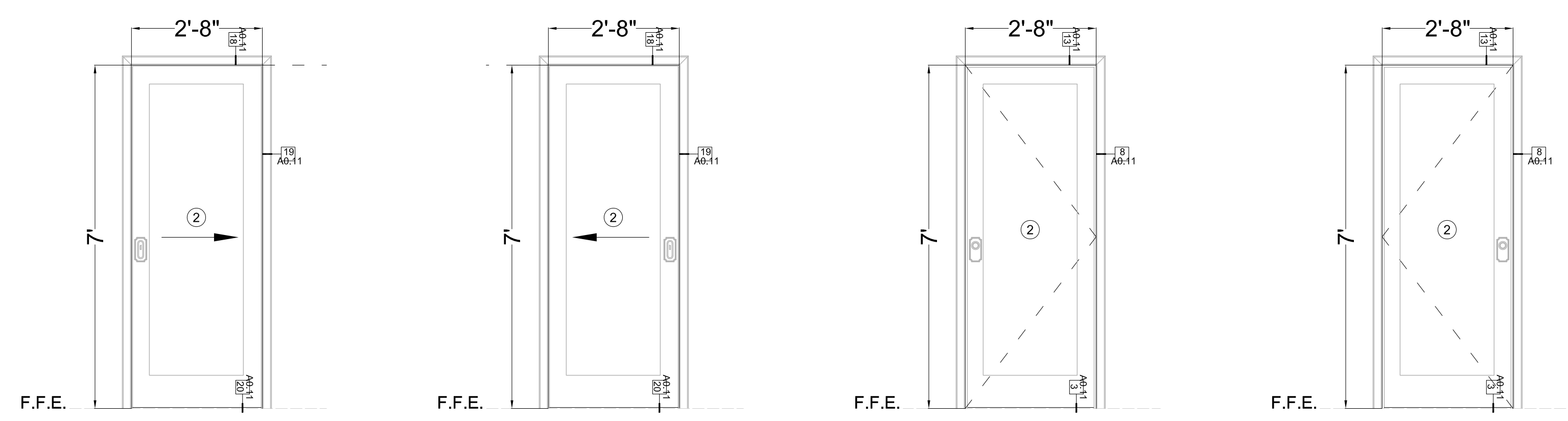
M INTERIOR BI-FOLD DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: PULL, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA

L INTERIOR BI-FOLD DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: PULL, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA



K INTERIOR POCKET DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: PULL, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA

J INTERIOR POCKET DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: PULL, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA

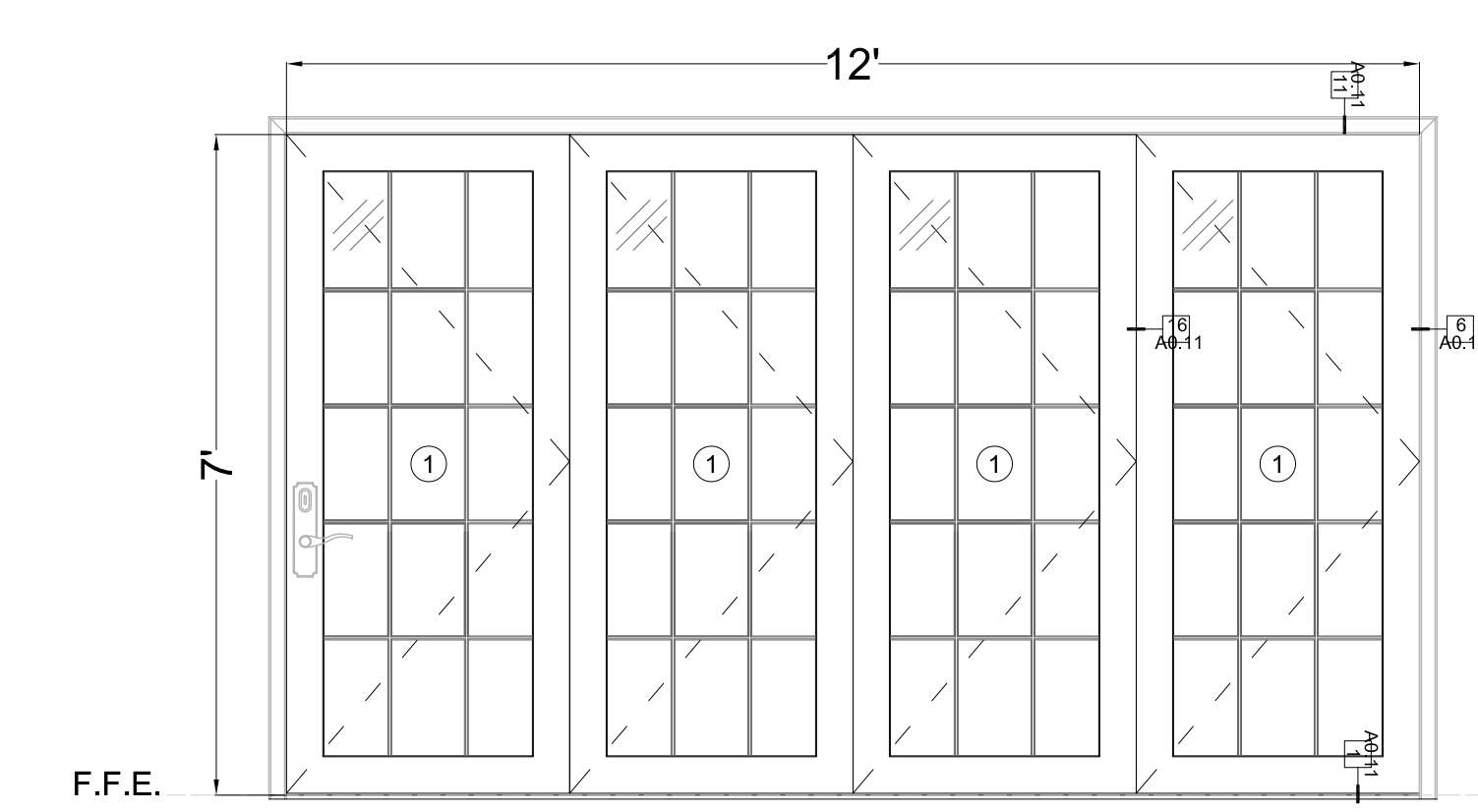


H INTERIOR POCKET DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: PULL, PRIVACY, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA

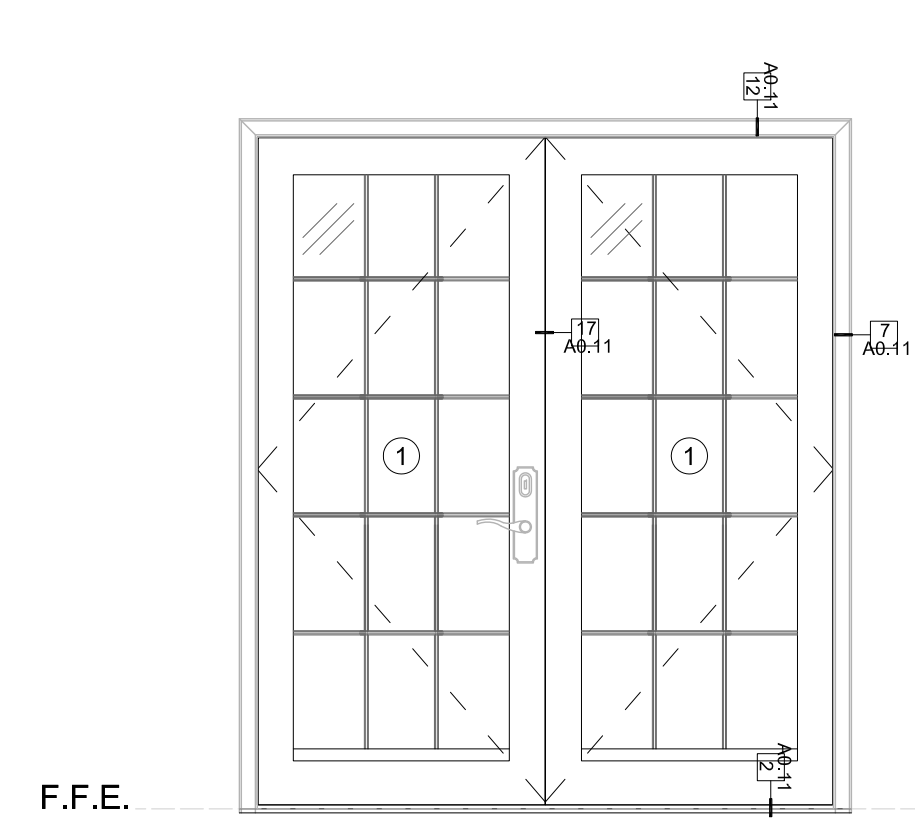
G INTERIOR POCKET DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: PULL, PRIVACY, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA

F INTERIOR SWING DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: KNOB, PRIVACY, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA

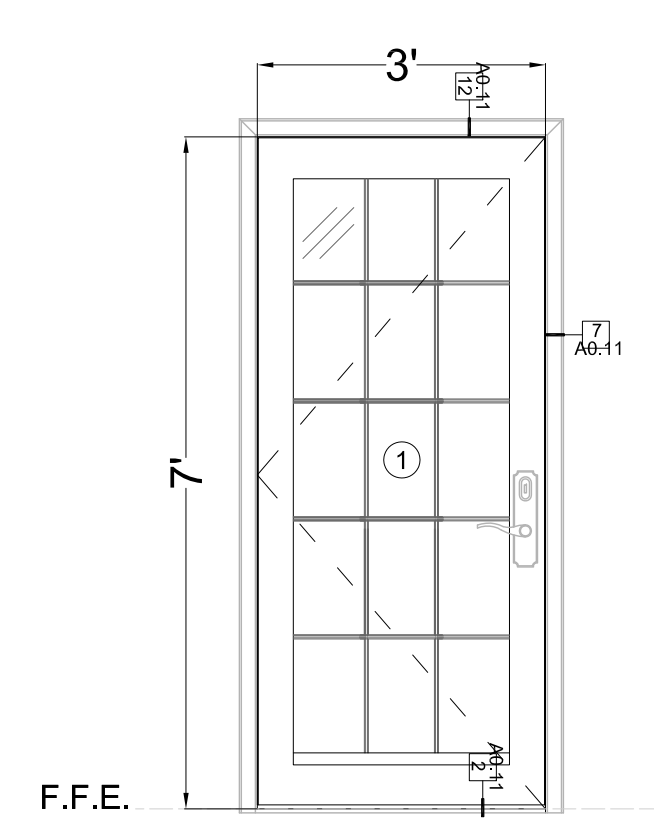
E INTERIOR SWING DOOR (PROPOSED NEW)
MFR/SERIES: URBAN DOORS/SH 13 DLX
MATERIAL (EXT/INT): WHITE OAK
COLOR (EXT/INT): NATURAL
HARDWARE: KNOB, PRIVACY, NATURAL BRONZE
GRILLES: NA
TRIM: 2" MITERED
GLASS: NA



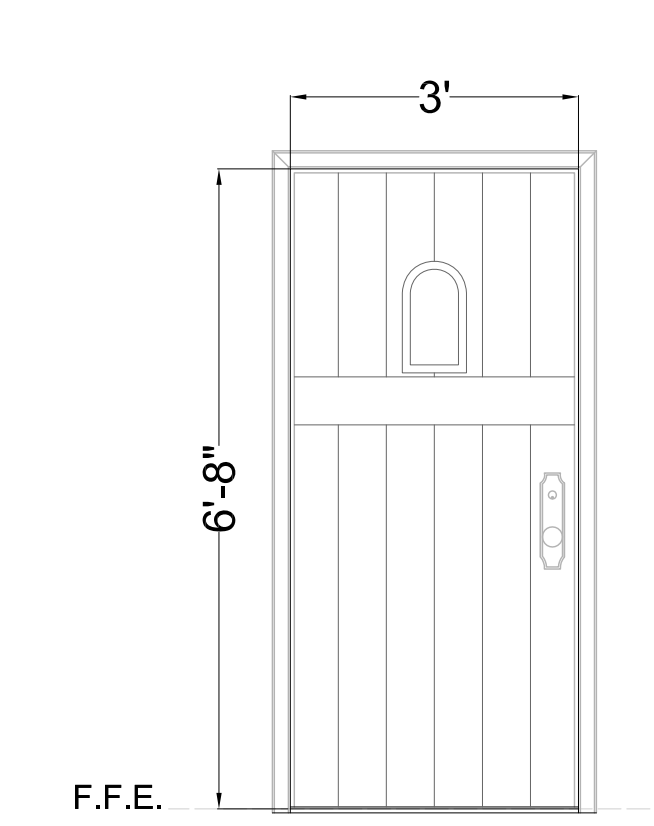
D AWNING OVER PICTURE WINDOW (PROPOSED NEW)
MFR/SERIES: ANDERSEN/AC - OUTSWING FOLDING - TRADITIONAL 4-11/16" BR
MATERIAL (EXT/INT): CLAD/MAPLE
COLOR (EXT/INT): TERRATONE/NATURAL
HARDWARE: LEVER & DEADBOLT, NATURAL BRONZE
GRILLES: COLONIAL SDL 3/4" (3X5)
TRIM: 2" BRICK MOULD
GLASS: LOW E4 DUAL PANE



C EXTERIOR DOUBLE SINGLE LITE SWING DOOR (PROPOSED NEW)
MFR/SERIES: ANDERSEN-E-SERIES
MATERIAL (EXT/INT): CLAD/MAPLE
COLOR (EXT/INT): TERRATONE/NATURAL
HARDWARE: LEVER & DEADBOLT, NATURAL BRONZE
GRILLES: COLONIAL SDL 3/4" (3X5)
TRIM: 2" BRICK MOULD
GLASS: LOW E4 DUAL PANE TEMPERED



B EXTERIOR SINGLE-LITE SWING DOOR (PROPOSED NEW)
MFR/SERIES: ANDERSEN-E-SERIES
MATERIAL (EXT/INT): CLAD/MAPLE
COLOR (EXT/INT): TERRATONE/TERRATONE
HARDWARE: LEVER & DEADBOLT, NATURAL BRONZE
GRILLES: COLONIAL SDL 3/4" (3X5)
TRIM: 2" BRICK MOULD
GLASS: LOW E4 DUAL PANE TEMPERED



A EXTERIOR SWING DOOR (EXISTING TO REMAIN)
MFR/SERIES: UNKNOWN
MATERIAL (EXT/INT): PAINTED WOOD
COLOR (EXT/INT): TBD
HARDWARE: LEVER & DEADBOLT, NATURAL BRONZE
GRILLES: NA
TRIM: 2" BRICK MOULD
GLASS: NA

DOOR SCHEDULE
1/2" = 1'-0"

GENERAL NOTES

1.

TAG	TYPE	WIDTH	HEIGHT	MAKE / MODEL	GRILLES	TRIM	GLAZING	MATERIAL	FINISH	HARDWARE	MAT'L	NOTES / REMARKS
A	EXTERIOR SWING	3'	6'-8"	UNKNOWN	NA	2" BRICK MOULD	STAINED GLASS	WOOD	PAINTED	LEVER & DEADBOLT	NATURAL BRONZE	EXISTING TO REMAIN
B	EXTERIOR SINGLE LITE SWING	3'	7'	ANDERSEN / E SERIES	COLONIAL SDL 3/4" (3X5)	2" BRICK MOULD	LOW E4 DUAL PANE TEMPERED	ALUM. CLAD / MAPLE	TERRATONE / MAPLE	LEVER & DEADBOLT	NATURAL BRONZE	PROPOSED NEW
C	EXTERIOR DOUBLE SINGLE LITE SWING	6'	7'	ANDERSEN / E SERIES	COLONIAL SDL 3/4" (3X5)	2" BRICK MOULD	LOW E4 DUAL PANE TEMPERED	ALUM. CLAD / MAPLE	TERRATONE / MAPLE	LEVER & DEADBOLT	NATURAL BRONZE	PROPOSED NEW
D	EXTERIOR OUTSWING FOLDING	12'	7'	ANDERSEN / AC OUTSWING FOLDING	COLONIAL SDL 3/4" (3X5)	2" BRICK MOULD	LOW E4 DUAL PANE TEMPERED	ALUM. CLAD / MAPLE	TERRATONE / MAPLE	LEVER & DEADBOLT	NATURAL BRONZE	PROPOSED NEW
E	INTERIOR SWING	2'-8"	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	KNOB - PRIVACY	NATURAL BRONZE	PROPOSED NEW
F	INTERIOR SWING	2'-8"	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	KNOB - PRIVACY	NATURAL BRONZE	PROPOSED NEW
G	INTERIOR POCKET	2'-8"	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	PULL - PRIVACY	NATURAL BRONZE	PROPOSED NEW
H	INTERIOR POCKET	2'-8"	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	PULL - PRIVACY	NATURAL BRONZE	PROPOSED NEW
J	INTERIOR POCKET	3'	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	PULL - PASSAGE	NATURAL BRONZE	PROPOSED NEW
K	INTERIOR POCKET	3'	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	PULL - PASSAGE	NATURAL BRONZE	PROPOSED NEW
L	INTERIOR BI-FOLD	6'	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	PULL - PASSAGE	NATURAL BRONZE	PROPOSED NEW
M	INTERIOR BI-FOLD	4'	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	PULL - PASSAGE	NATURAL BRONZE	PROPOSED NEW
N	INTERIOR SINGLE LITE SWING	3'	7'	ANDERSEN / E SERIES	COLONIAL SDL 3/4" (3X5)	2" MITERED	LOW E4 DUAL PANE TEMPERED	WHITE OAK	NATURAL	KNOB - PRIVACY	NATURAL BRONZE	PROPOSED NEW
O	INTERIOR SWING	2'-8"	7'	URBAN DOORS / SH 13 DLX	NA	2" MITERED	NA	WHITE OAK	NATURAL	KNOB - PRIVACY	NATURAL BRONZE	PROPOSED NEW

DRAWN: AS

DATE: 5/11/24

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SOUTH PASADENA, CA 91030

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606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
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P: 858-382-1627

Ashly Sigle

SCHEDULE
DOORS

A0.13

NOTES

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS

DATE: 5/11/24

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P: 858-382-1627



SCHEDULE -
FIXTURES & FINISHES

A0.14

FINISHES SCHEDULE

TAG	ITEM	LOCATION	MANUF.	MODEL	DESCRIPTION
IF-1	ENGINEERED WOOD FLOORING	THROUGHOUT	TBD	TBD	-
IF-2	TILE FLOORING	VARIOUS	TBD	TBD	-
IF-3	TILE FLOORING	VARIOUS	TBD	TBD	-
IF-4	TILE FLOORING	VARIOUS	TBD	TBD	-
IF-5	WALL TILE	VARIOUS	TBD	TBD	-
IF-6	WALL TILE	VARIOUS	TBD	TBD	-
IF-7	SOLID SURFACE COUNTERTOP	KITCHEN & LAUNDRY	TBD	TBD	-
IF-8	SOLID SURFACE COUNTERTOP	BATHROOMS	TBD	TBD	-
IF-9	PAINT - WALL	THROUGHOUT	TBD	TBD	EGGSHELL
IF-10	PAINT CEILING	THROUGHOUT	TBD	TBD	FLAT
IF-11	DRYWALL	THROUGHOUT	TBD	TBD	1/2"
IF-12	RESERVED	-	TBD	TBD	-
EF-1	ASPHALT SHINGLE ROOFING	THROUGHOUT	EXISTING / GAF	EXISTING / GRAND SEQUOIA - WEATHERED WOOD	ANY ROOFING INSTALLED NEW TO MATCH EXISTING
EF-2	20 / 30 STUCCO	THROUGHOUT	EXISTING	EXISTING	ANY STUCCO INSTALLED NEW TO MATCH EXISTING

PLUMBING FIXTURE SCHEDULE

TAG	ITEM	LOCATION	MANUF.	MODEL	DESCRIPTION
PF-1	TOILET	BATHROOMS	SAMSUNG	RF24BB660012	GPM PER CAL GREEN REQ
PF-2	WATER FILLER	KITCHEN	TBD	TBD	-
PF-3	LAVATORY	BATHROOMS	TBD	TBD	-
PF-4	LAVATORY FAUCET	KITCHEN	TBD	TBD	GPM PER CAL GREEN REQ
PF-5	KITCHEN SINK	KITCHEN	TBD	TBD	-
PF-6	KITCHEN FAUCET	KITCHEN	TBD	TBD	GPM PER CAL GREEN REQ
PF-7	LAUNDRY SINK	LAUNDRY	TBD	TBD	-
PF-8	LAUNDRY FAUCET	LAUNDRY	TBD	TBD	GPM PER CAL GREEN REQ
PF-9	SHOWER HEAD	BATHROOMS	TBD	TBD	GPM PER CAL GREEN REQ
PF-10	SHOWER VALVE	BATHROOMS	TBD	TBD	GPM PER CAL GREEN REQ
PF-11	TUB FILLER	BATHROOMS	TBD	TBD	GPM PER CAL GREEN REQ
PF-12	TUB DRAIN	BATHROOMS	TBD	TBD	-
PF-13	BATH TUB	BATHROOMS	TBD	TBD	-
PF-14	SHOWER DRAIN	BATHROOMS	TBD	TBD	-

APPLIANCES SCHEDULE

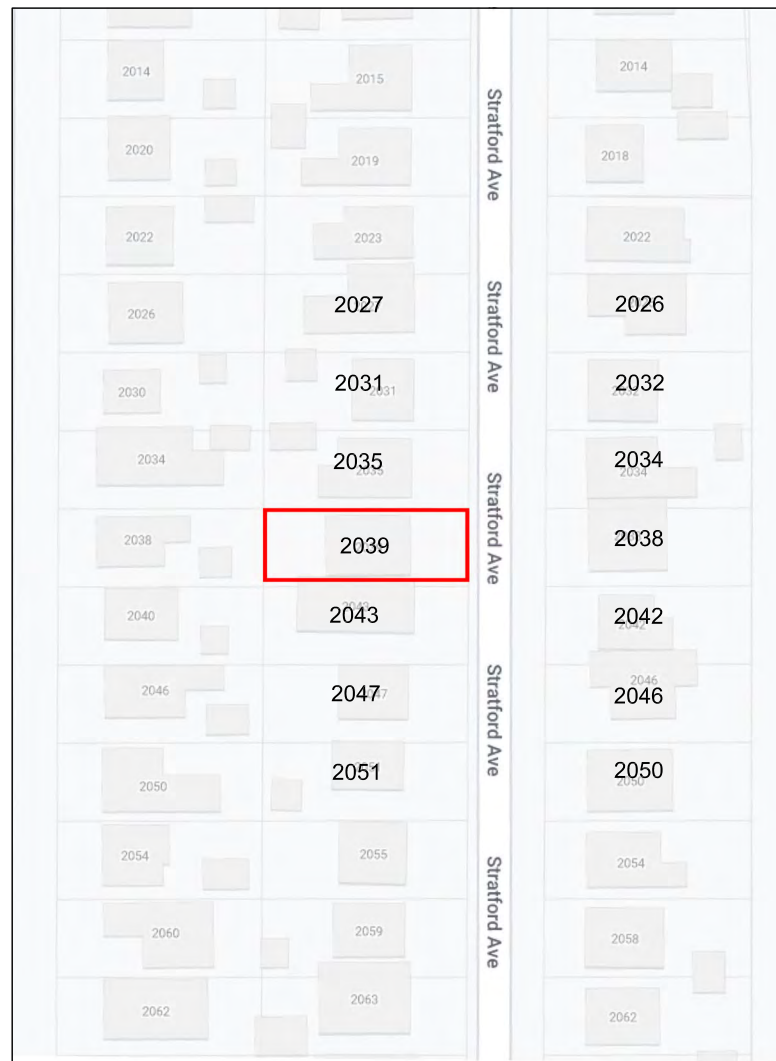
TAG	ITEM	LOCATION	MANUF.	MODEL	DESCRIPTION
AP-1	REFRIGERATOR	KITCHEN	SAMSUNG	RF24BB660012	Bespoke 3-Door French Door Refrigerator (24 cu. ft.) with Beverage Center™ in White Glass
AP-2	COOKTOP	KITCHEN	SAMSUNG	NZ36K7860US	36 in. Induction Cooktop with Stainless Steel Trim with 5 Elements and Flex Zone Element
AP-3	KITCHEN EXHAUST	KITCHEN	AKICON	AK-HOOD 36	36 IN. 3-SPEEDS 600 CFM DISHWASHER SAFE FILTERS ULTRA QUIET RANGE HOOD INSERT/BUILT-IN KITCHEN VENT HOOD WITH LIGHTS
AP-4	DOUBLE WALL OVEN	KITCHEN	LG	WCPE6427F	6.4 cu. ft. Smart Combi Wall Oven with True Convection, InstaView, Air Fry Steam Sous Vide in ProofProof Stainless Steel
AP-5	DISHWASHER	KITCHEN	SAMSUNG	DW80BB707012	Bespoke 24 in White Glass Top Control Smart Built-In Tall Tub Dishwasher with Stainless Steel Tub and AutoRelease, 42DBA
AP-6	GARBAGE DISPOSAL	KITCHEN	INSINKERATOR	PRO1100XL	Garbage Disposal Pro 1.1 Horsepower 12 Year 1100XL Food Waste Disposer 1725 Revolutions per Minute 40 Ounce 120 Volt
AP-7	CLOTHES WASHER	LAUNDRY	TBD	TBD	-
AP-8	CLOTHES DRYER	LAUNDRY	TBD	TBD	-
AP9	WATER HEATER	LAUNDRY	RHEEM	PROPH65 T2 RH375-S0	Performance Platinum 65 Gal. 10-Year Hybrid High Efficiency Smart Tank Electric Heat Pump Water Heater
AP10	BATH FAN	VARIOUS	PANASONIC	FV-0511VF1	Panasonic WhisperFit DC 110 CFM 1.2 Sone Ceiling Mounted Bath Exhaust Fan with Energy Star Rating

FIXTURE & FINISH SCHEDULES

1

GENERAL NOTES

1. FINISH MATERIALS & FIXTURES SUBJECT TO CHANGE AND PENDING AVAILABILITY AT TIME OF INSTALLATION.



VICINITY MAP/PHOTO KEY



FRONTAGE - EAST



FRONTAGE - NORTHEAST



SIDE - NORTH



SIDE - NORTH



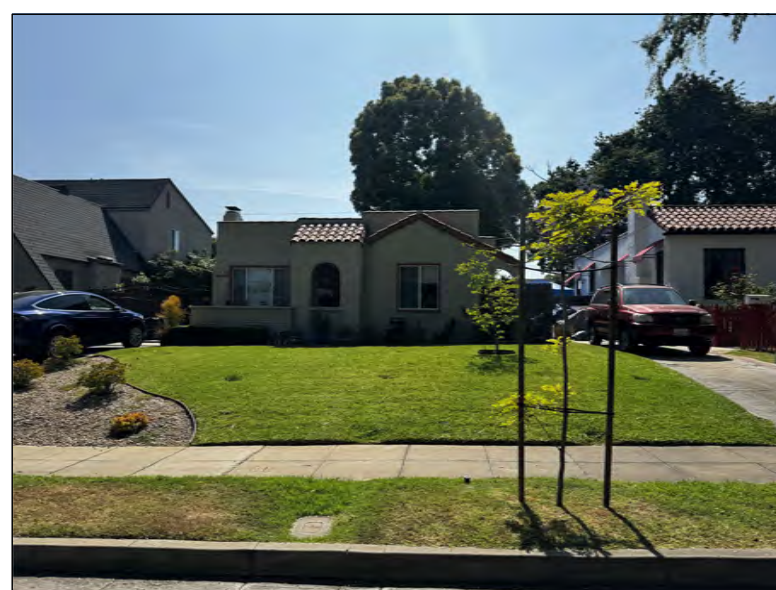
BACK - NORTHWEST



BACK - WEST



SIDE - SOUTH



2051 STRATFORD



2047 STRATFORD



2043 STRATFORD



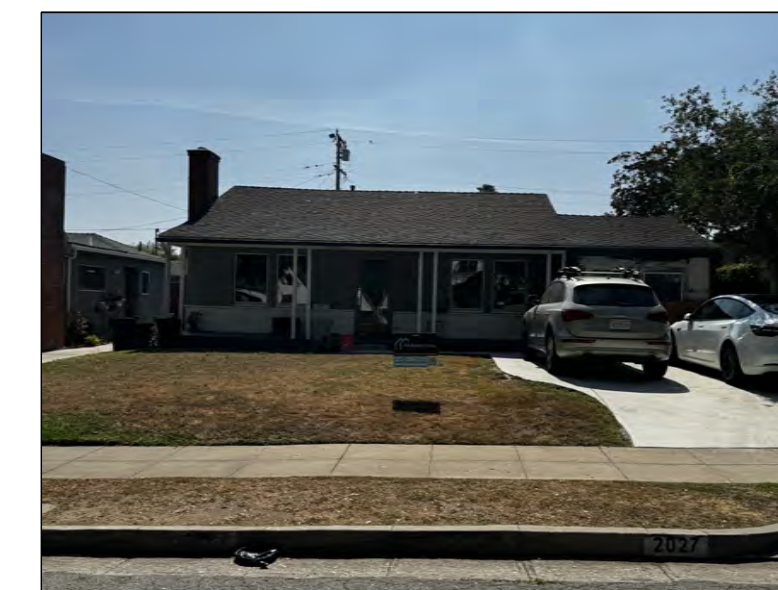
2039 STRATFORD



2035 STRATFORD



2031 STRATFORD



2027 STRATFORD



2050 STRATFORD



2046 STRATFORD



2042 STRATFORD



2038 STRATFORD



2034 STRATFORD



2032 STRATFORD



2026 STRATFORD

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS

DATE: 5/11/24

ISSUED FOR

DATE	REMARKS
1/11/2024	CONCEPT DEVELOPMENT
5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITAL

OWNER:

AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:

APN: 5320014028
TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-76 5320-14

PLANS PREPARED BY:

ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM
P: 858-382-1627

Ashly Sigle

VICINITY MAP WITH
EXISTING PHOTOS

EXISTING PHOTOS
N.T.S.

1

A0.15



RENDERING - SOUTH WEST
N.T.S.

1H



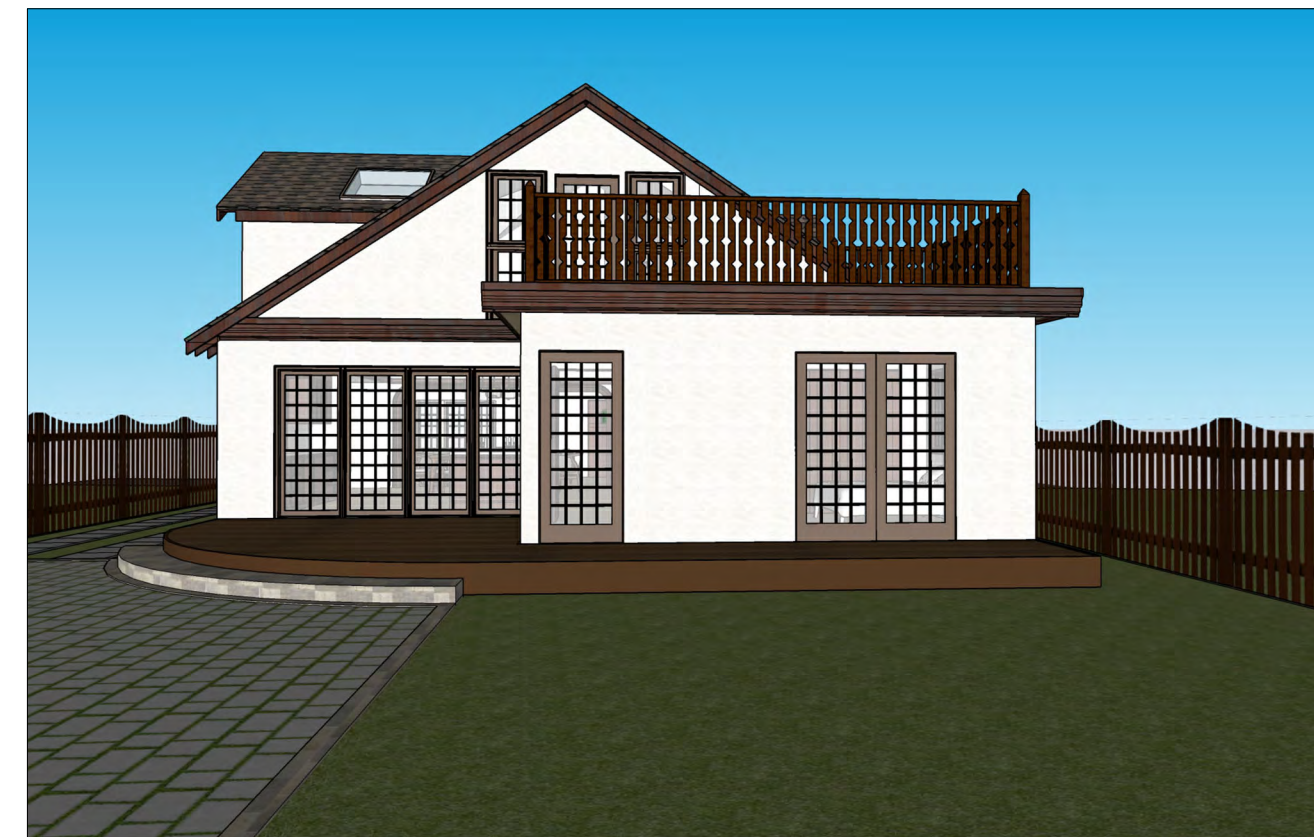
RENDERING - SOUTH
N.T.S.

1G



RENDERING - SOUTH EAST
N.T.S.

1F



RENDERING - EAST
N.T.S.

1E



RENDERING - NORTH EAST
N.T.S.

1D



RENDERING - NORTH
N.T.S.

1C



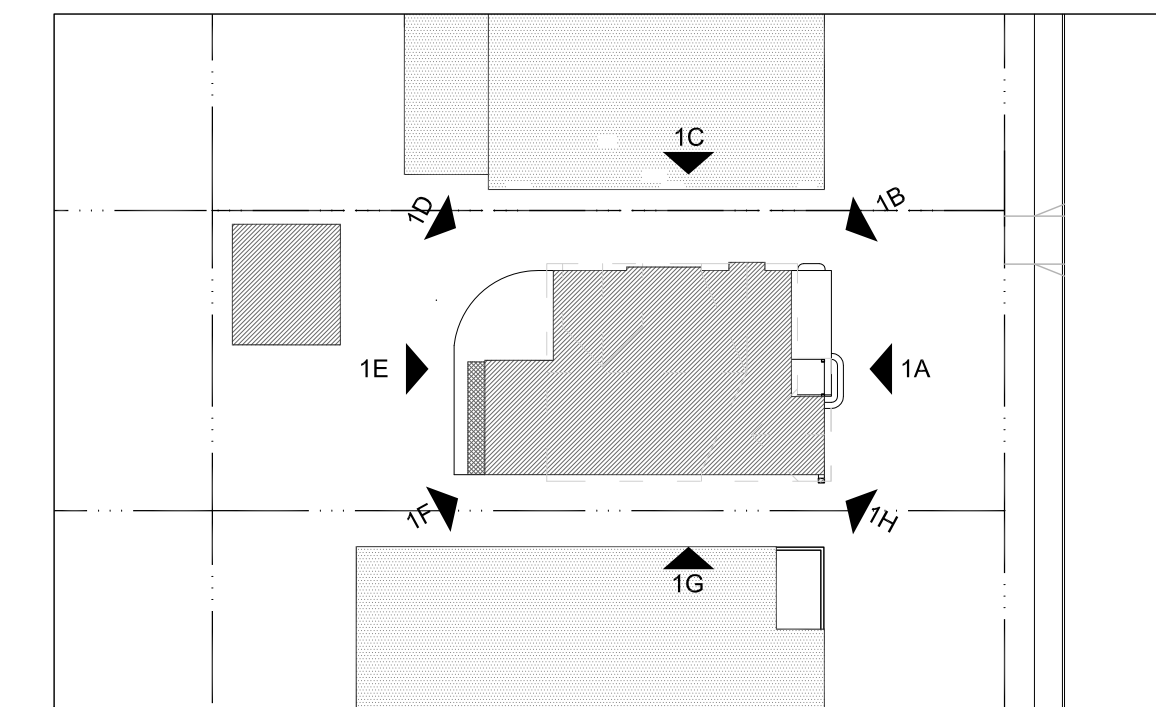
RENDERING - NORTH WEST
N.T.S.

1B



RENDERING - WEST
N.T.S.

1A



RENDERINGS - VIEWS PLAN KEY
N.T.S.

1

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

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8/9/2024	PLANNING CORRECTIONS

OWNER:
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

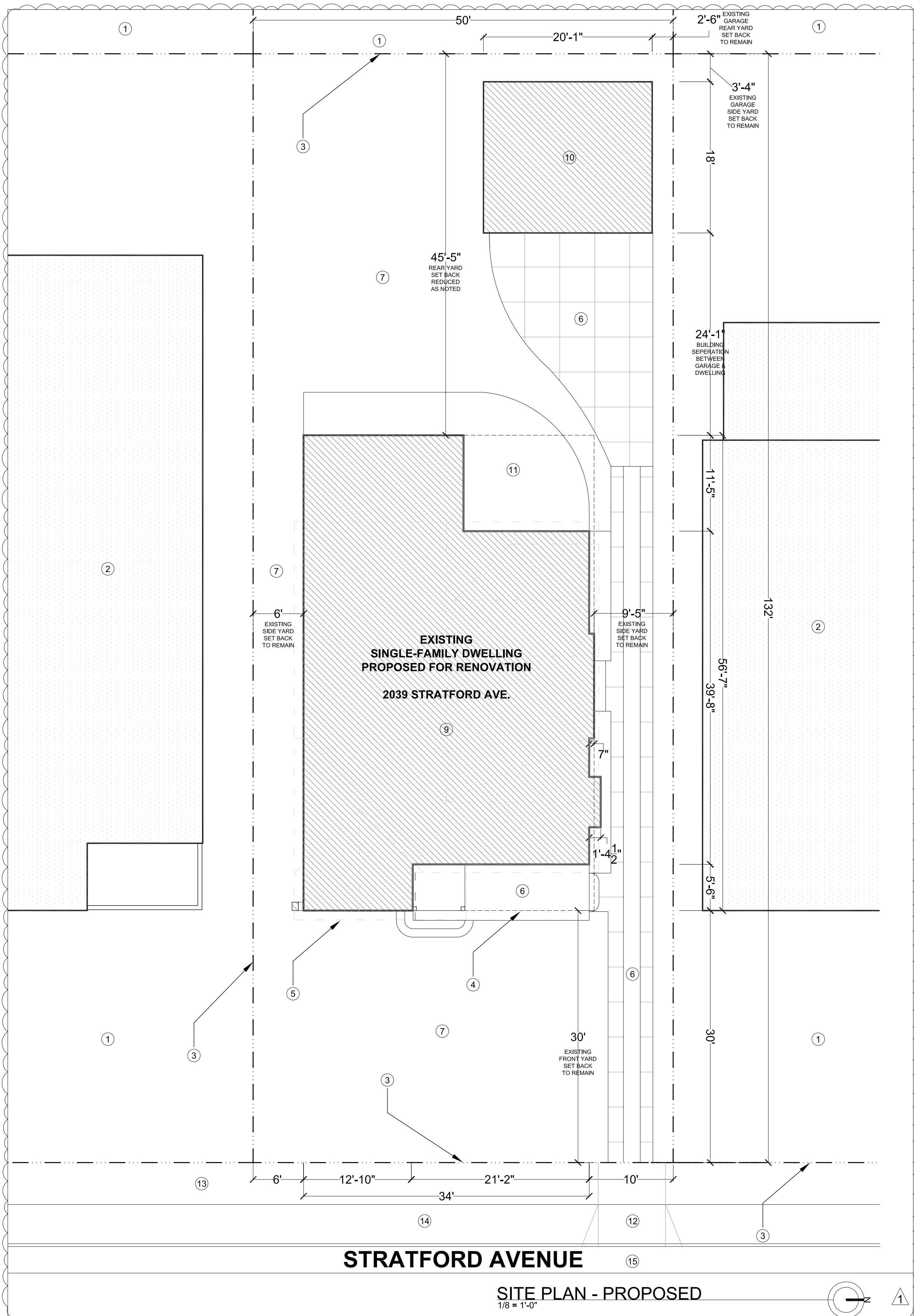
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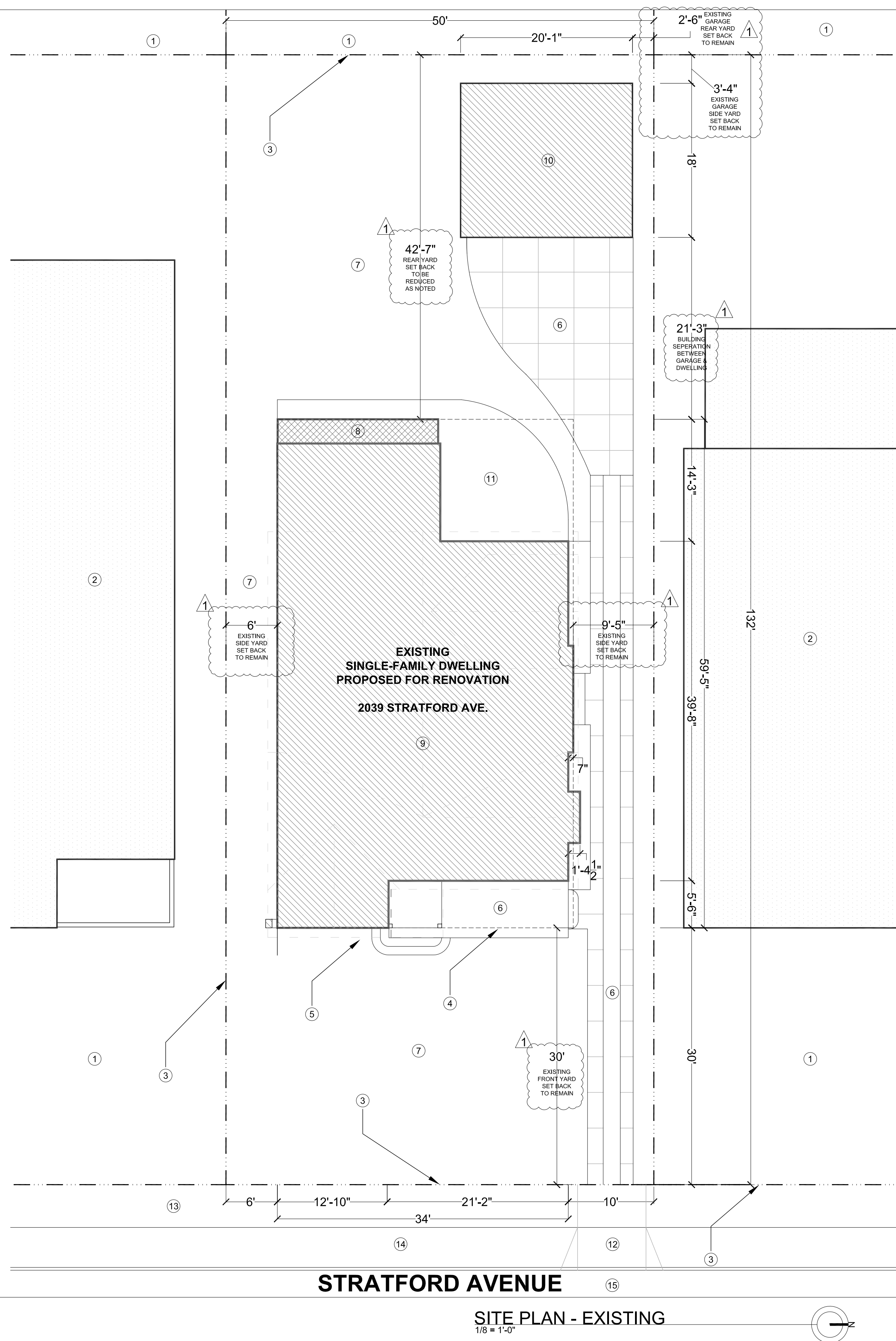
RENDERINGS -
PROPOSED

A0.16



STRATFORD AVENUE

SITE PLAN - PROPOSED
1/8" = 1'-0"



STRATFORD AVENUE

SITE PLAN - EXISTING
1/8" = 1'-0"

- PLAN NOTES KEY**
- 1 ADJACENT PROPERTY, NOT A PART
 - 2 EXISTING BUILDING ON ADJACENT PROPERTY, NOT A PART
 - 3 EXISTING PROPERTY LINE TO REMAIN AS-IS, NOT A PART
 - 4 EXISTING YARD SET BACK TO REMAIN AS-IS, NOT A PART
 - 5 ROOF LINE ABOVE BUILDING FOOT PRINT. SEE A1.3 ROOF PLAN, TO REMAIN AS-IS
 - 6 EXISTING HARDSCAPE TO REMAIN AS-IS, NOT A PART
 - 7 EXISTING GRADING TO REMAIN AS-IS, NOT A PART
 - 8 EXISTING BUILDING FOOT PRINT/SQUARE FOOTAGE TO BE ELIMINATED PER PLAN.
 - 9 EXISTING BUILDING FOOT PRINT/SQUARE FOOTAGE TO REMAIN AS-IS & RENOVATED PER PLAN.
 - 10 EXISTING GARAGE BUILDING TO REMAIN AS-IS, NOT A PART
 - 11 PROPOSED NEW FRAMED EXTERIOR DECK AT GROUND LEVEL
 - 12 EXISTING DRIVEWAY APRON TO REMAIN AS-IS, NOT A PART
 - 13 EXISTING SIDEWALK TO REMAIN AS-IS, NOT A PART
 - 14 EXISTING PARKWAY & CURB TO REMAIN AS-IS, NOT A PART
 - 15 EXISTING ROADWAY TO REMAIN AS-IS, NOT A PART

GENERAL NOTES

1. AN APPROVED SEISMIC GAS SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING (PER ORDINANCE 171,874-FOR WORK OVER \$10,000).
2. THE SITE PLAN SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER FROM ENTERING THE BUILDINGS.
3. FUTURE INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER OR SOIL BASED.

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

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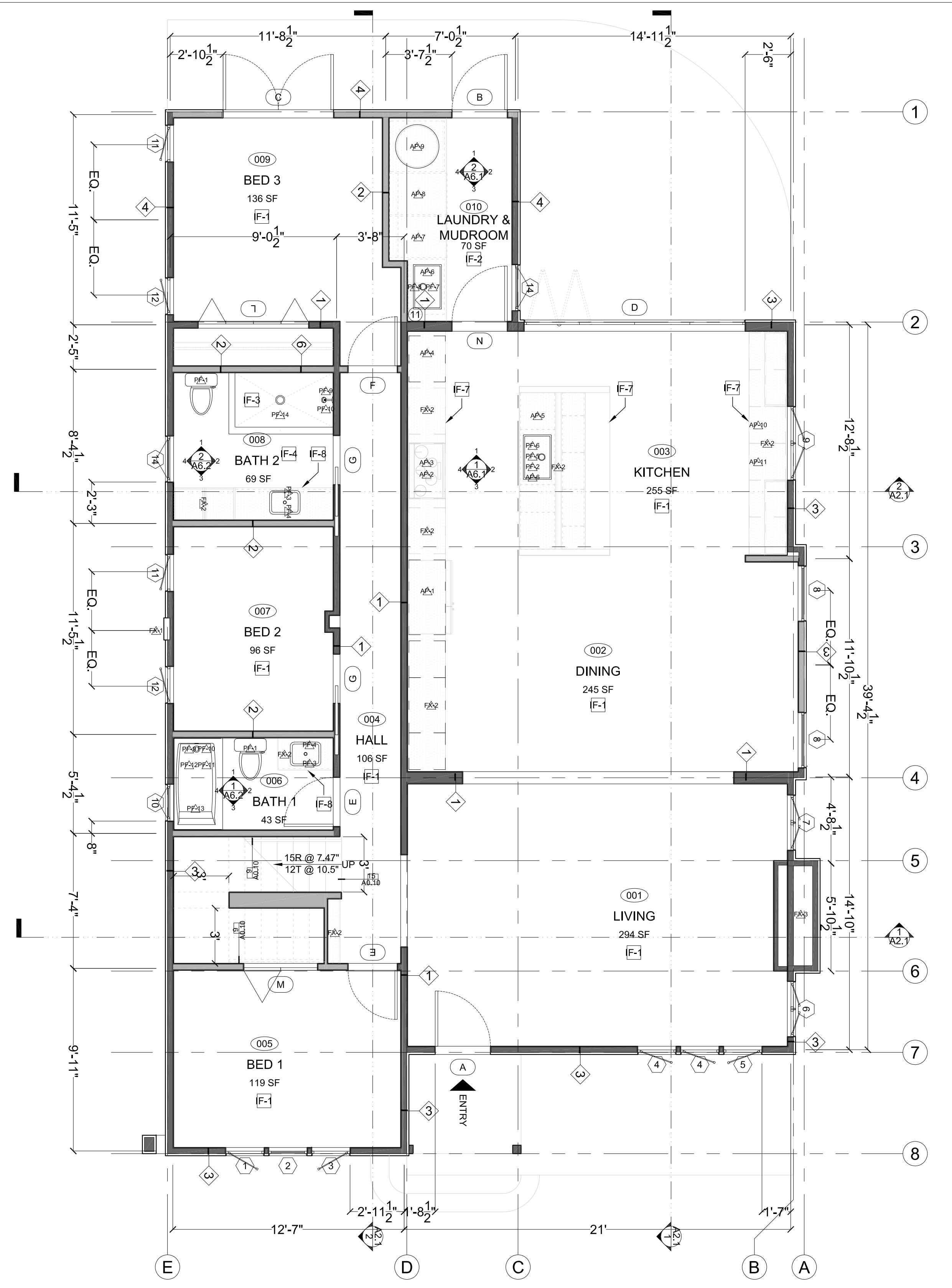
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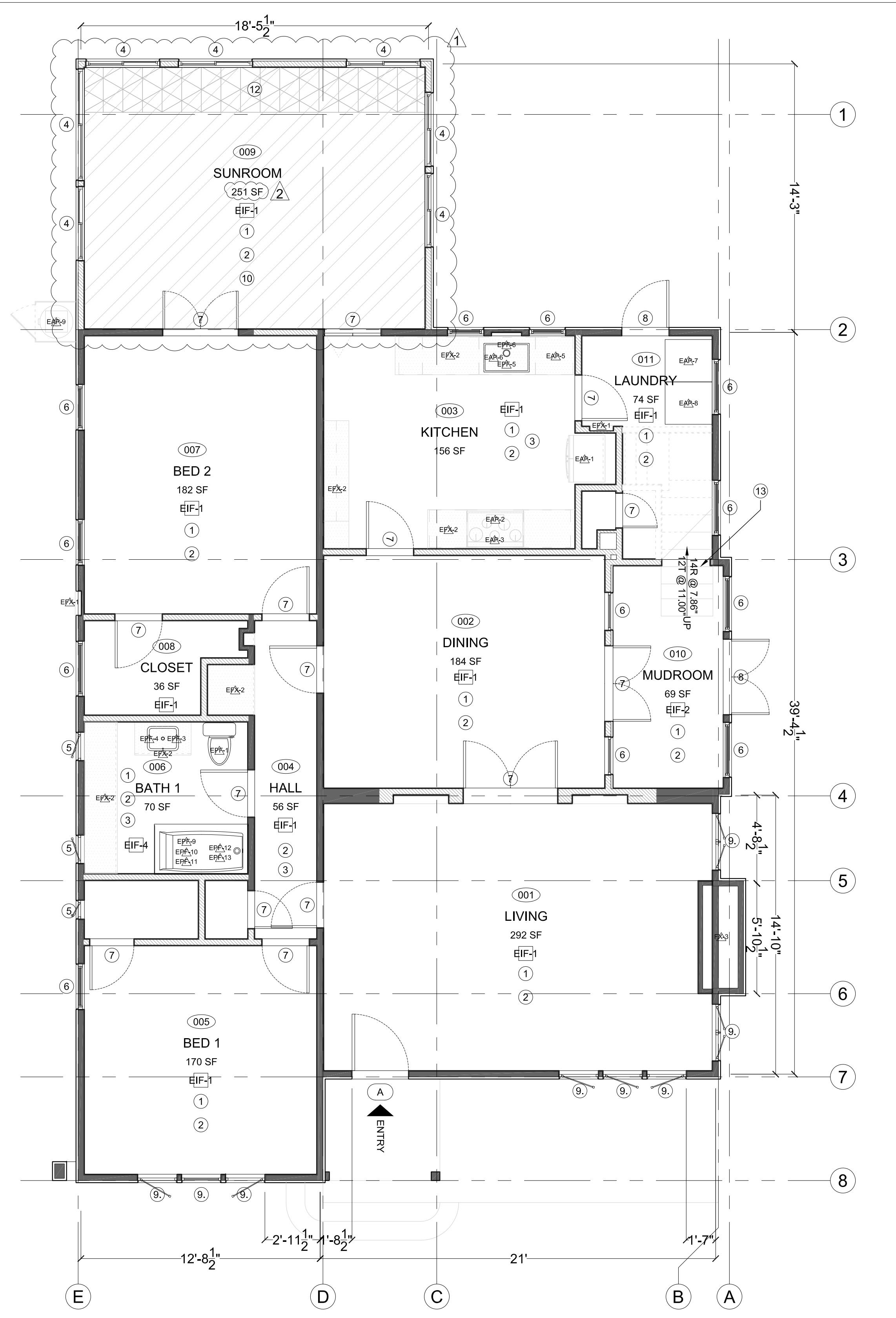
PLANS PREPARED BY:
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Ashly Sigle

SITE PLAN

A1.0



FLOOR PLAN - LEVEL 1 - PROPOSED
1/4" = 1'-0" 2



FLOOR PLAN - LEVEL 1 - EXISTING
1/4" = 1'-0" 1

GENERAL NOTES

- SEE STRUCTURAL SHEETS FOR FRAMING REQUIREMENTS RE: REVISED EXTERIOR OPENINGS AND INTERIOR WALLS.

- PLAN NOTES KEY**
- IMPROVEMENTS PER PLAN - SEE LEGEND & A1.1-N RE: WALLS TO REMAIN OR TO BE REMOVED
 - EXISTING ELECTRICAL, PLUMBING, GAS & HVAC TO BE REMOVED & REPLACED PER PLANS
 - EXISTING CABINETS TO BE REMOVED & REPLACED PER PLAN
 - EXISTING ALUMINUM FRAME HORIZONTAL SLIDING WINDOW OR DOOR TO BE REMOVED
 - EXISTING CASSEMENT WINDOW TO BE REMOVED
 - EXISTING SINGLE HUNG WINDOW TO BE REMOVED.
 - EXISTING INTERIOR DOOR TO BE REMOVED
 - EXISTING EXTERIOR DOOR TO BE REMOVED
 - EXISTING CASSEMENT WINDOW TO REMAIN
 - PRESUMED UN-PERMITTED ADDITION INSTALLED BY PRIOR OWNERSHIP
 - LAUNDRY SHOOT FROM ABOVE
 - FLOOR AREA TO BE REMOVED
 - PRESUMED UN-PERMITTED WORK INSTALLED BY PRIOR OWNERSHIP TO BE REMOVED
 - RESERVED
 - RESERVED
 - DETAIL TAG

- LEGEND**
- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
 - (N) WALL PER WALL TYPE TAG
 - (E) WALL TO BE REMOVED
 - WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
 - WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET A0.12
 - DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET A0.13
 - ROOM TAG
 - FLOOR AREA TO BE ELIMINATED
 - (E) UN-PERMITTED ADDITION

- INTERIOR & EXTERIOR FINISHES**
- | | |
|--|---------------------------------------|
| IF-1 (N) Engineered Wood Flooring | IF-2 (N) Tile Flooring |
| IF-3 (N) Tile Flooring | IF-4 (N) Tile Flooring |
| IF-5 (N) Wall Tile | IF-6 (N) Wall Tile |
| IF-7 (N) Solid Surface Countertop | IF-8 (N) Solid Surface Counter Top |
| IF-9 (N) Paint - Wall | IF-10 (N) Paint - Ceiling |
| IF-11 (N) Drywall | IF-12 Reserved |
| IF-13 (EN) Roofing - Shingles | IF-14 (EN) Stucco - 20/30 |
| EIF-1 (E) Hard Wood Flooring TO BE REMOVED | EIF-2 (E) Tile Flooring TO BE REMOVED |
| EIF-3 (E) Tile Flooring TO BE REMOVED | EIF-4 (E) Wall Tile TO BE REMOVED |

- FIXTURES & APPLIANCES**
- | | |
|---------------------------|-------------------------------|
| PF-1 (N) TOILET | PF-2 (N) WATER FILLER |
| PF-3 (N) LAVATORY | PF-4 (N) LAVATORY FAUCET |
| PF-5 (N) KITCHEN SINK | PF-6 (N) KITCHEN FAUCET |
| PF-7 (N) LAUNDRY SINK | PF-8 (N) LAUNDRY FAUCET |
| PF-9 (N) SHOWER HEAD | PF-10 (N) SHOWER VALVE |
| PF-11 (N) TUB FILLER | PF-12 (N) TUB DRAIN |
| PF-13 (N) BATH TUB | PF-14 (N) SHOWER DRAIN |
| AP-1 (N) REFRIGERATOR | AP-2 (N) COOK TOP |
| AP-3 (N) RANGE EXHAUST | AP-4 (N) DOUBLE OVEN |
| AP-5 (N) DISHWASHER | AP-6 (N) GARBAGE DISPOSAL |
| AP-7 (N) CLOTHES WASHER | AP-8 (N) CLOTHES DRYER |
| AP-9 (N) WATER HEATER | AP-10 (N) BATH FAN |
| AP-11 (N) DRINK FRIDGE | AP-12 (N) ICE MAKER |
| FX-1 (N) ELECTRICAL PANEL | FX-2 (N) CABINETS (SEE ELEV.) |
| FX-3 (E) FIREPLACE | FX-4 (N) SHOWER GLASS |
- EPF, EAP, & EPX DENOTES EXISTING FIXTURES/APPLIANCES TO BE REMOVED

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

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8/8/2024	PLANNING CORRECTIONS 1
9/19/2024	PLANNING CORRECTIONS 2

OWNER:
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

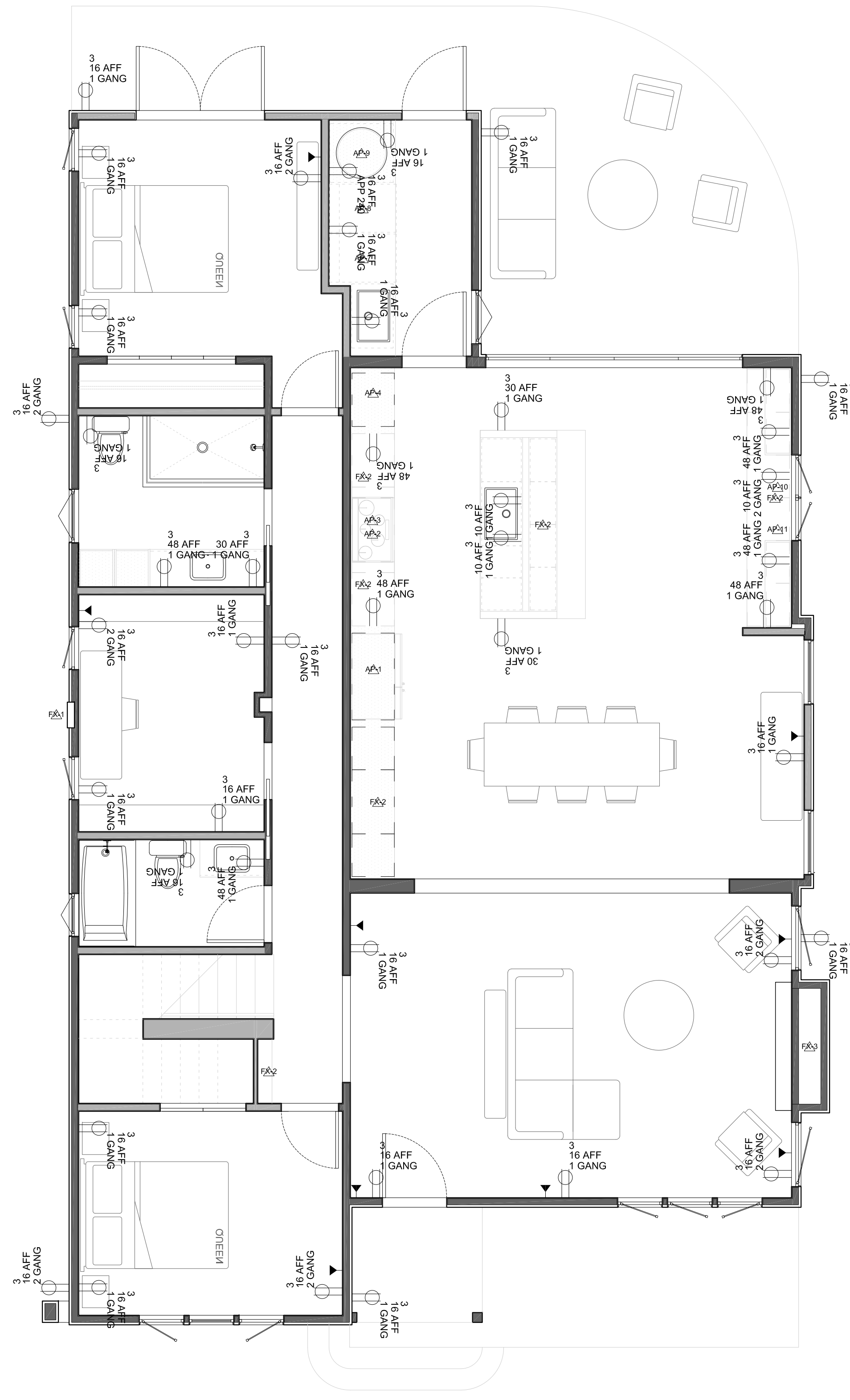
LEGAL INFO:
APN: 3320014028
TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-76-5320-14

PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLYDESIGNLABDEV.COM
P: 858-382-1627

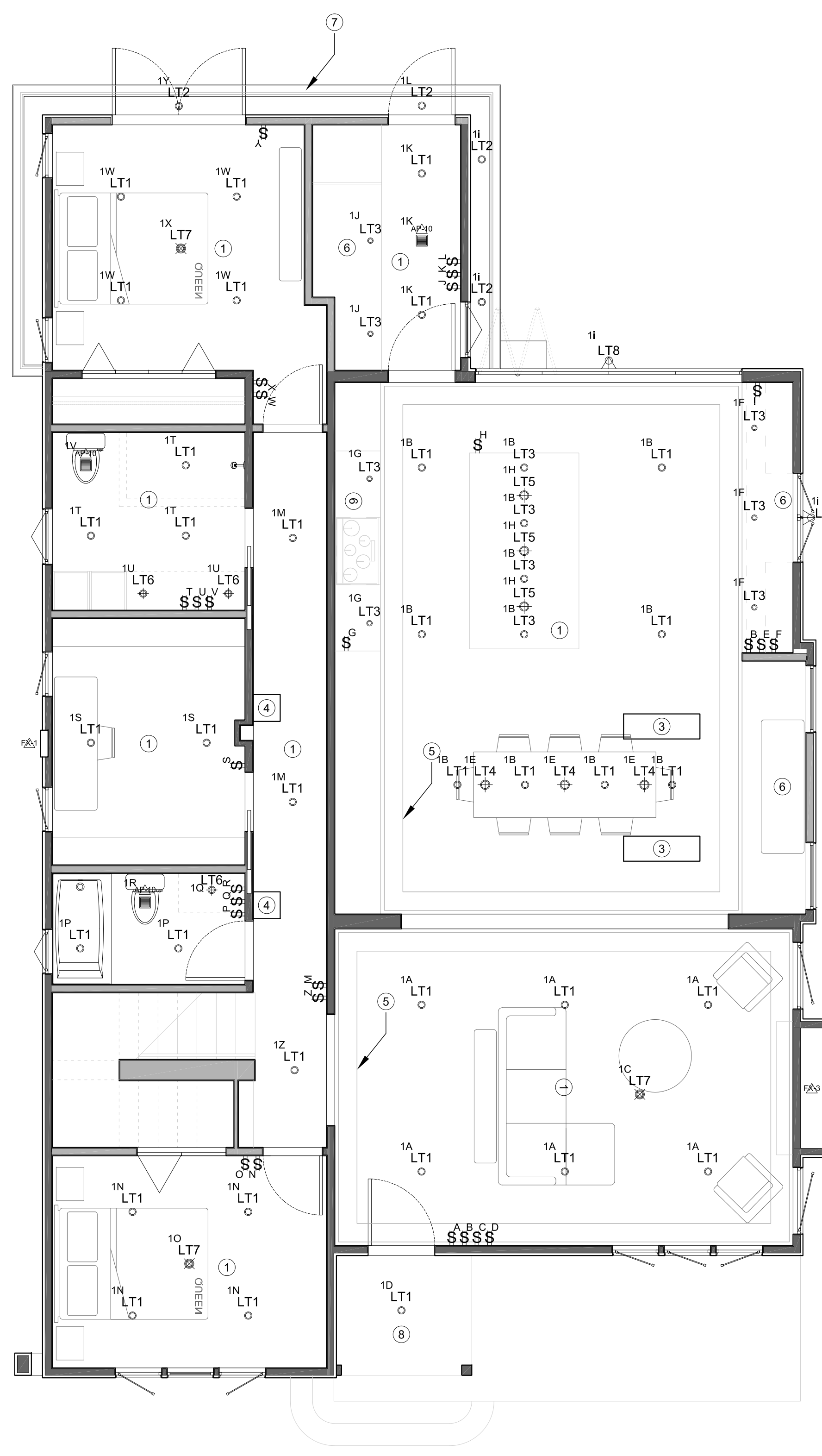
Jolly Jish

**PROPOSED & EXIST.
FLOOR PLAN
LEVEL 1**

A1.1



POWER PLAN - LEVEL 1
1/4" = 1'-0"



REFLECTED CEILING PLAN - LEVEL 1
1/4" = 1'-0"

PLAN NOTES KEY

- 1 DRYWALL CEILING- FLAT
- 2 RESERVED
- 3 SKYLIGHT PER SCHEDULE
- 4 SOLAR TUBE SKYLIGHT PER SCHEDULE
- 5 COVE CEILING
- 6 ABOVE CABINET SOFFIT
- 7 OVERHANG/CORNICE FROM DECK ABOVE
- 8 EXISTING STUCCO PORCH CEILING TO REMAIN, NOT A PART
- 9 RESERVED
- 10 RESERVED
- 11 RESERVED
- 12 RESERVED
- 13 RESERVED
- 14 RESERVED
- 15 RESERVED
- ##-## DETAIL TAG

LEGEND

- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
- (N) WALL PER WALL TYPE TAG
- WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
- WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET A0.12
- DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET A0.13
- ROOM TAG

INTERIOR & EXTERIOR FINISHES

- IF-1 (N) Engineered Wood Flooring
- IF-2 (N) Tile Flooring
- IF-3 (N) Tile Flooring
- IF-4 (N) Tile Flooring
- IF-5 (N) Wall Tile
- IF-6 (N) Wall Tile
- IF-7 (N) Solid Surface Countertop
- IF-8 (N) Solid Surface Countertop
- IF-9 (N) Paint - Wall
- IF-10 (N) Paint - Ceiling
- IF-11 (N) Drywall
- IF-12 Reserved
- EF-1 (EN) Roofing - Shingles
- EF-2 (EN) Stucco - 20/30

FIXTURES & APPLIANCES

- FF-1 (N) TOILET
- FF-2 (N) WATER FILLER
- FF-3 (N) LAVATORY
- FF-4 (N) LAVATORY FAUCET
- FF-5 (N) KITCHEN SINK
- FF-6 (N) KITCHEN FAUCET
- FF-7 (N) LAUNDRY SINK
- FF-8 (N) LAUNDRY FAUCET
- FF-9 (N) SHOWER HEAD
- FF-10 (N) SHOWER VALVE
- FF-11 (N) TUB FILLER
- FF-12 (N) TUB DRAIN
- FF-13 (N) BATHTUB
- FF-14 (N) SHOWER DRAIN
- AP-1 (N) REFRIGERATOR
- AP-2 (N) COOK TOP
- AP-3 (N) RANGE EXHAUST
- AP-4 (N) DOUBLE OVEN
- AP-5 (N) DISHWASHER
- AP-6 (N) GARBAGE DISPOSAL
- AP-7 (N) CLOTHES WASHER
- AP-8 (N) CLOTHES DRYER
- AP-9 (N) WATER HEATER
- AP-10 (N) BATH FAN
- AP-11 (N) DRINK FRIDGE
- AP-12 (N) ICE MAKER
- FX-1 (N) ELECTRICAL PANEL
- FX-2 (N) CABINETRY (SEE ELEV.)
- FX-3 (E) FIREPLACE
- FX-4 (N) SHOWER GLASS

GENERAL NOTES

- ALL EXTERIOR LIGHTING TO BE DARK SKY'S RATED AND BE EQUIPPED WITH DAYLIGHT SENSOR
- ALL BATHROOM LIGHTING TO BE SWITCHED ON OCCUPANCY SENSOR
- ALL LIGHTING TO BE ON DIMMABLE SWITCHING
- ALL BATH FANS TO BE EQUIPPED WITH HUMIDITY SENSOR

TAG	SYMBOL	DESCRIPTION	TYPE	W	V	MOUNT.	MANUF.	MODEL	NOTES
LT1	○	RECESSED DOWNLIGHT - 4"	LED	8W	120V	REC.	HALO	LT40069FS3S1EWHR	GIMBALLED
LT2	○	RECESSED DOWNLIGHT - 4"	LED	8W	120V	REC.	HALO	LT40069FS3S1EWHR	GIMBALLED, WET AREA RATED
LT3	○	RECESSED DOWNLIGHT - 2"	LED	8W	120V	REC.	HALO	TBD	GIMBALLED
LT4	⊕	SUSPENDED DECORATIVE LAMP	LED	60W	120V	SUSP.	TBD	TBD	
LT5	⊕	SUSPENDED DECORATIVE LAMP	LED	60W	120V	SUSP.	TBD	TBD	
LT6	⊕	SUSPENDED DECORATIVE LAMP	LED	60W	120V	SUSP.	TBD	TBD	
LT7	⊕	SUSPENDED FAN & LIGHT COMBO	LED	60W	120V	SUSP.	TBD	TBD	BOX TO BE FAN RATED
LT8	▽	WALL MOUNTED EXTERIOR LIGHT	LED	60W	120V	WALL	TBD	TBD	EXTERIOR RATED W/ DL SENSOR
.	○	
.	○	

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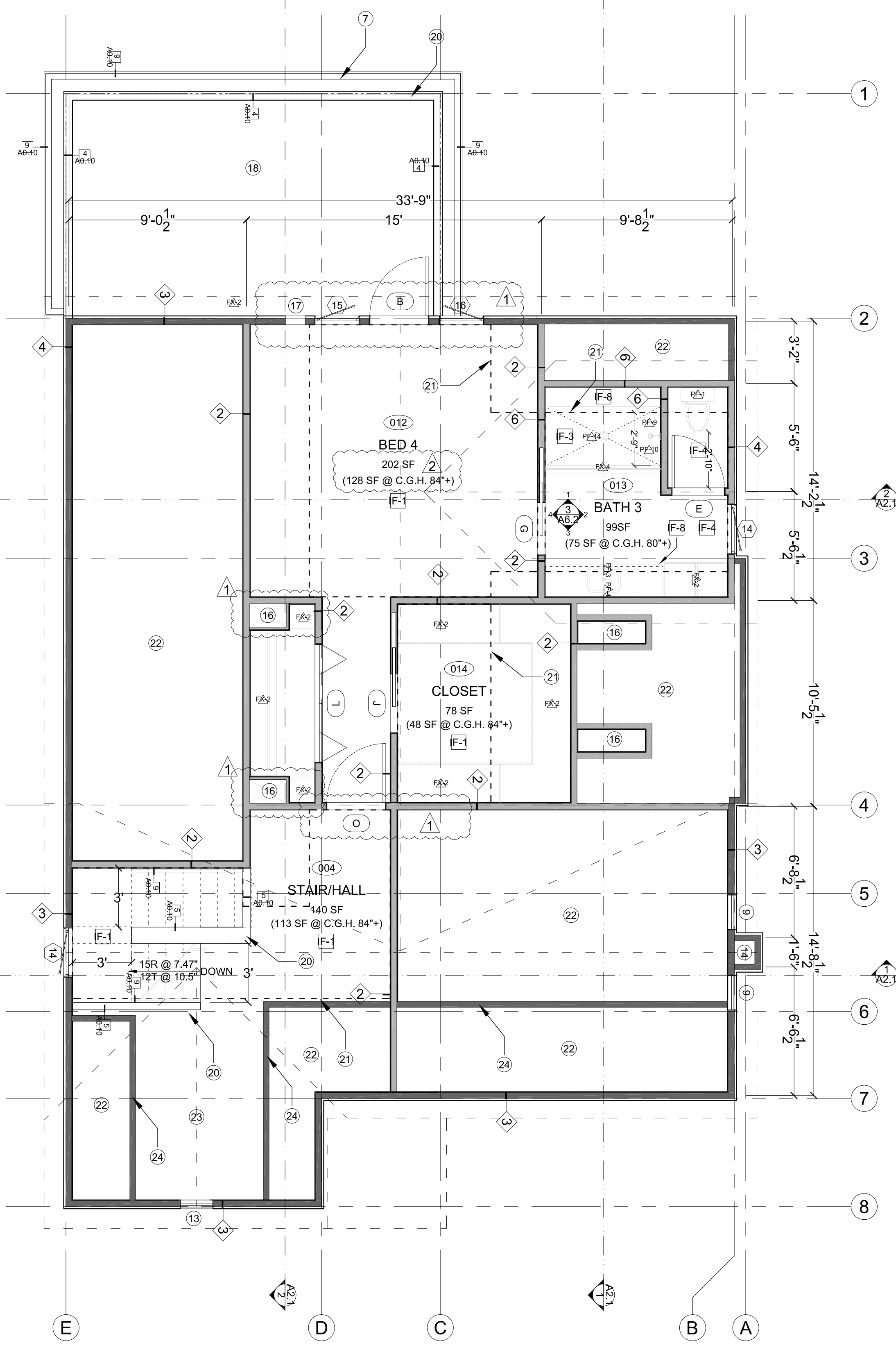
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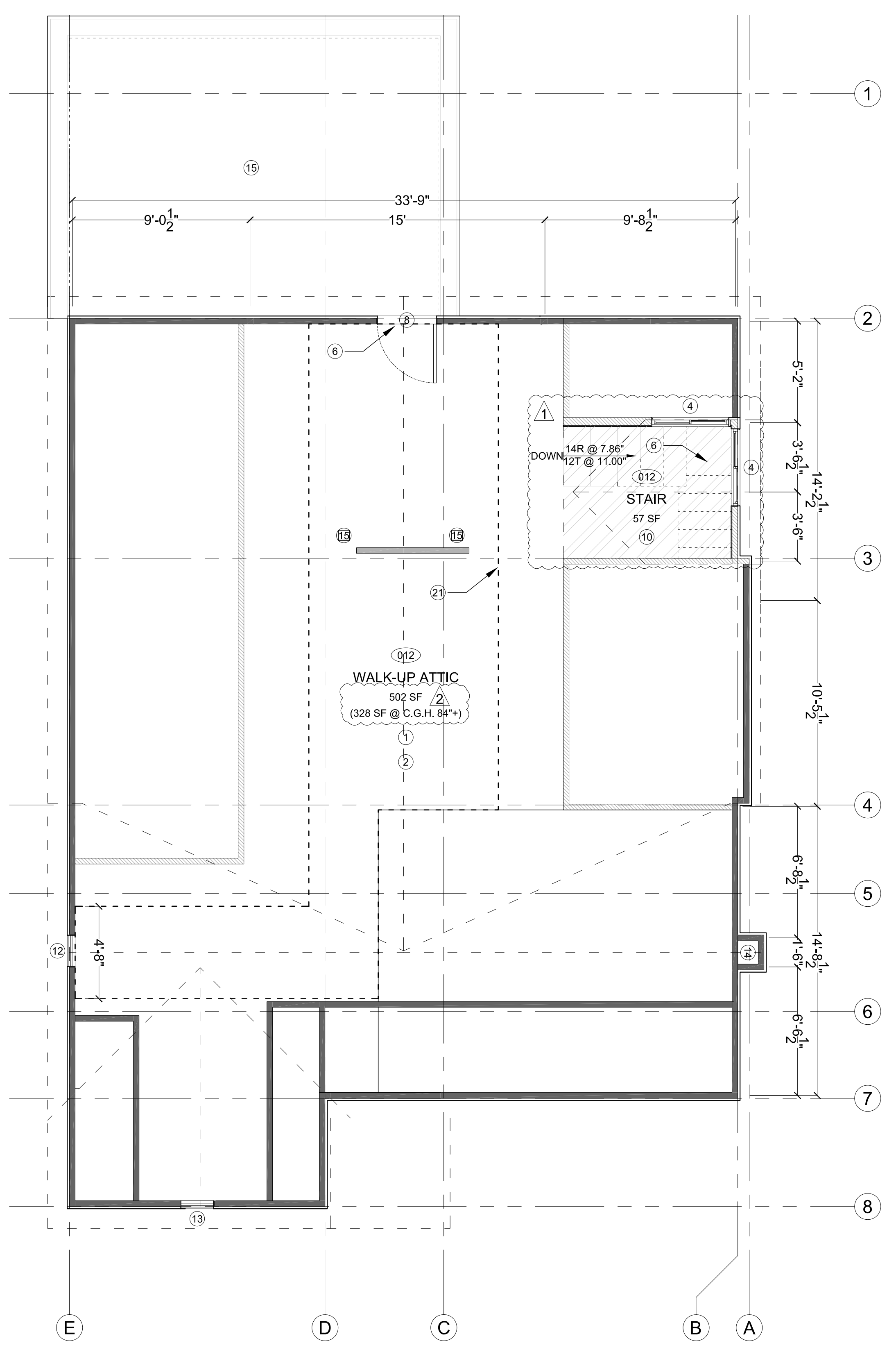
Jolly Jolly

REFL. CEILING
LIGHTING, & POWER
PLAN - LEVEL 1

A1.1E



FLOOR PLAN - LEVEL 2 - PROPOSED
1/4" = 1'-0"



FLOOR PLAN - LEVEL 2 - EXISTING
1/4" = 1'-0"

1. SEE STRUCTURAL PLANS FOR FRAMING REQUIREMENTS REGARDING NEW OPENINGS AND INTERIOR WALLS.

- PLAN NOTES KEY**
- 1 PROPOSED SKYLIGHT WELL
 - 2 LAUNDRY SHOOT TO BELOW
 - 3 ROOF DECK
 - 4 GARDEN BOX & JULIET STYLE BALCONY
 - 5 GUARDRAIL, TOP @ 42" MIN. ABOVE F.F.E.
 - 6 PRESUMED UN-PERMITTED WORK BY PRIOR OWNERSHIP TO BE REMOVED
 - 7 OVERHANG/CORNICE BELOW
 - 8 EXISTING ATTIC VENT TO REMAIN AS-IS
 - 9 NEW PROPOSED ATTIC VENT TO MATCH EXISTING
 - 10 EXISTING STAIR TO BE REMOVED
 - 11 EXISTING ROOF DECK TO BE REPAIRED & IMPROVED PER PLAN
 - 12 EXISTING ATTIC VENT TO BE REMOVED & REPLACED WITH A WINDOW
 - 13 EXISTING ATTIC VENT TO REMAIN AS-IS
 - 14 EXISTING CHIMNEY TO REMAIN AS-IS
 - 15 EXISTING VENTING FROM BELOW TO BE REMOVED & RELOCATED AS NEEDED PER PLAN
 - 16 PROPOSED SKYLIGHT WELL
 - 17 LAUNDRY SHOOT TO BELOW
 - 18 ROOF DECK TO BE RE-ROOFED WITH ASPHALT ROOFING AND COVERED WITH COMPOSITE DECK MATERIAL ON PEDESTALS
 - 19 GARDEN BOX & JULIET STYLE BALCONY
 - 20 GUARDRAIL, TOP @ 42" MIN. ABOVE F.F.E.
 - 21 LINE DELINEATING WHERE THE CEILING HEIGHT IS 84", OR 80" IN BATHROOMS
 - 22 UNFINISHED / INACCESSIBLE ATTIC SPACE
 - 23 UNINHABITABLE ARCHITECTURAL ATTIC SPACE OPEN TO STAIRWELL
 - 24 CRIPPLE WALLS
- # - DETAIL TAG

- LEGEND**
- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
 - (N) WALL PER WALL TYPE TAG
 - (E) WALL TO BE REMOVED
 - WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET AD.10
 - WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET AD.12
 - DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET AD.13
 - ROOM TAG
 - FLOOR AREA TO BE ELIMINATED
 - (E) UN-PERMITTED ADDITION

- INTERIOR & EXTERIOR FINISHES**
- (N) Engineered Wood Flooring
 - (N) Tile Flooring
 - (N) Wall Tile
 - (N) Solid Surface Countertop
 - (N) Paint - Wall
 - (N) Drywall
 - (E) Hard Wood Flooring TO BE REMOVED
 - (E) Tile Flooring TO BE REMOVED
 - (N) Tile Flooring
 - (N) Tile Flooring
 - (N) Wall Tile
 - (N) Solid Surface Countertop
 - (N) Solid Surface Countertop
 - (N) Paint - Ceiling
 - Resened
 - (E) Stucco - 20/30
 - (E) Tile Flooring TO BE REMOVED
 - (E) Wall Tile TO BE REMOVED

- FIXTURES & APPLIANCES**
- (N) TOILET
 - (N) LAVATORY
 - (N) KITCHEN SINK
 - (N) LAUNDRY SINK
 - (N) SHOWER HEAD
 - (N) TUB FILLER
 - (N) BATHTUB
 - (N) REFRIGERATOR
 - (N) RANGE EXHAUST
 - (N) DISHWASHER
 - (N) CLOTHES WASHER
 - (N) WATER HEATER
 - (N) DRINK FRIDGE
 - (N) ELECTRICAL PANEL
 - (N) FIREPLACE
 - (N) WATER FILLER
 - (N) LAVATORY FAUCET
 - (N) KITCHEN FAUCET
 - (N) LAUNDRY FAUCET
 - (N) SHOWER VALVE
 - (N) TUB DRAIN
 - (N) SHOWER DRAIN
 - (N) COOK TOP
 - (N) DOUBLE OVEN
 - (N) GARBAGE DISPOSAL
 - (N) CLOTHES DRYER
 - (N) BATH FAN
 - (N) ICE MAKER
 - (N) CABINETRY (SEE ELEV.)
 - (N) SHOWER GLASS
- EPT, EAP, & EFA DENOTES EXISTING FIXTURES/APPLIANCES TO BE REMOVED

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS
DATE: 5/11/24

ISSUED FOR

DATE	REMARKS
1/11/2024	CONCEPT DEVELOPMENT
5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITTAL
8/9/2024	PLANNING CORRECTIONS
9/19/2024	PLANNING CORRECTIONS 2

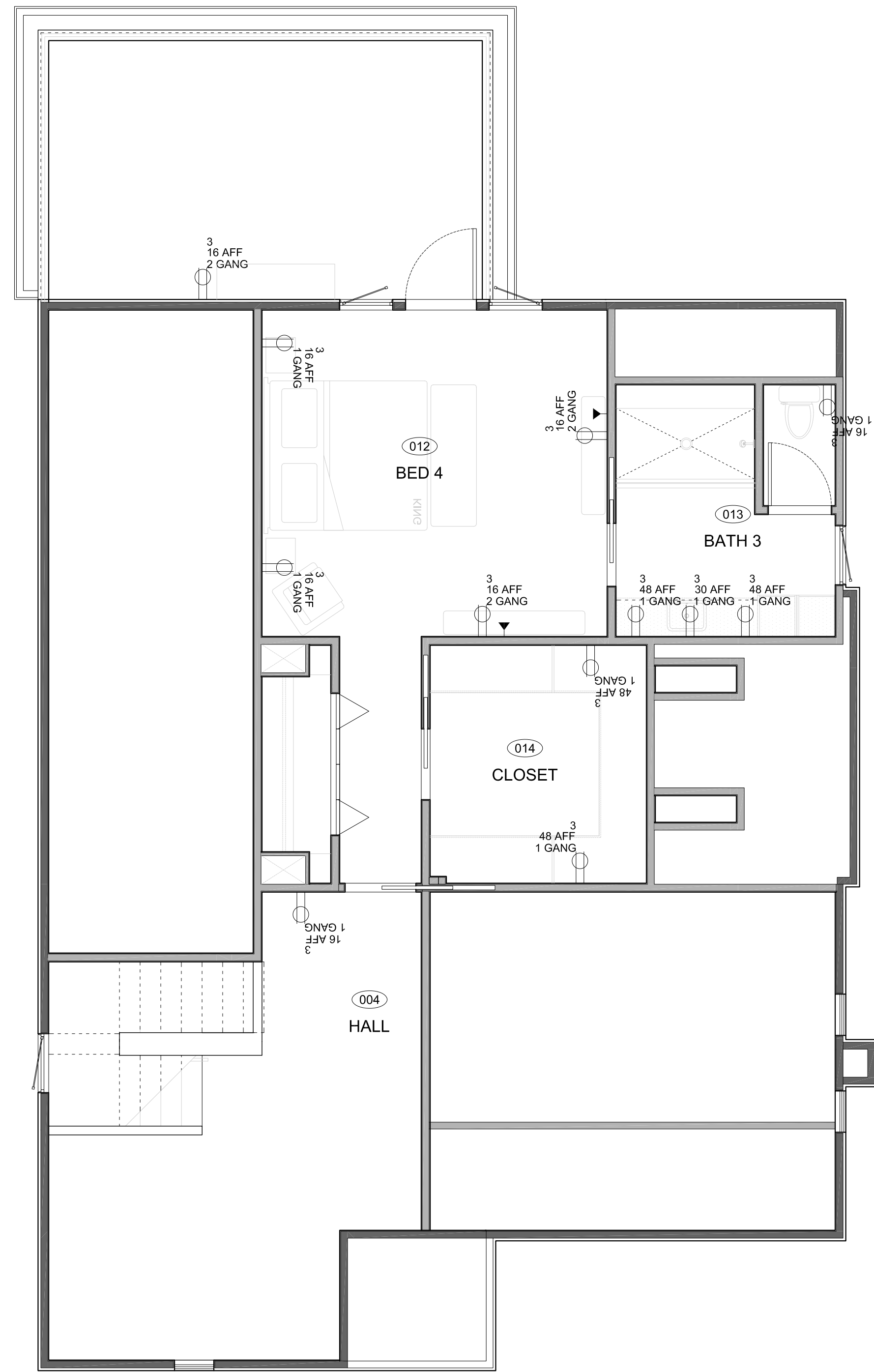
OWNER:
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:
APN: 5320014028
TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-74-5320-14

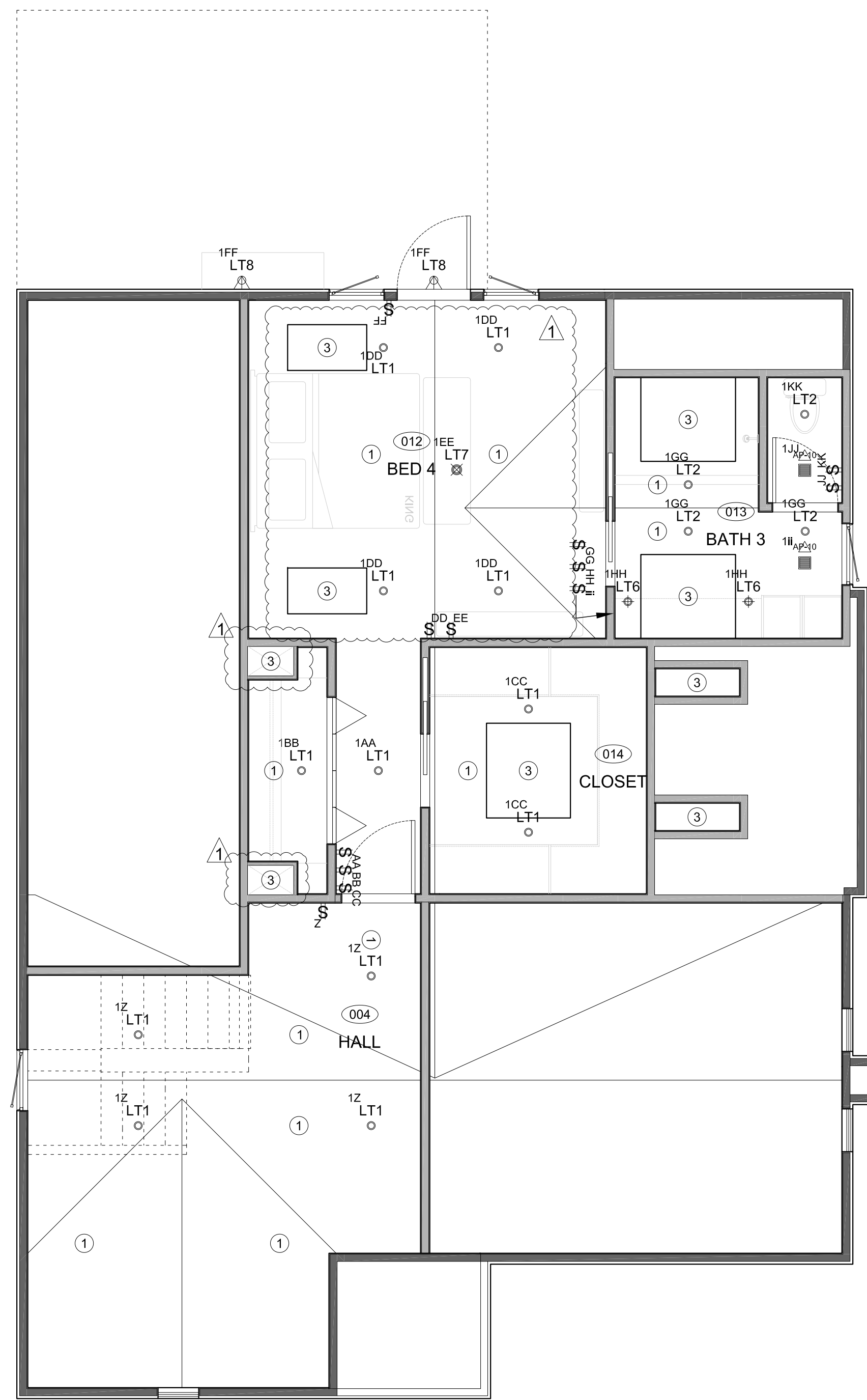
PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLYDESIGNLABDEV.COM
P: 858-382-1627

Jolly Sigle

PROPOSED & EXIST.
FLOOR PLAN
LEVEL 2
A1.2



POWER PLAN - LEVEL 2
1/4" = 1'-0"



REFLECTED CEILING PLAN - LEVEL 2
1/4" = 1'-0"

1. ALL EXTERIOR LIGHTING TO BE DARK SKYS RATED AND BE EQUIPPED WITH DAYLIGHT SENSOR
2. ALL BATHROOM LIGHTING TO BE SWITCHED ON OCCUPANCY SENSOR
3. ALL LIGHTING TO BE ON DIMMABLE SWITCHING
4. ALL BATH FANS TO BE EQUIPPED WITH HUMIDITY SENSOR

LIGHT FIXTURE SCHEDULE									
TAG	SYMBOL	DESCRIPTION	TYPE	W	V	MOUNT.	MANUF.	MODEL	NOTES
LT1	○	RECESSED DOWNLIGHT - 4"	LED	8W	120V	REC.	HALO	LT4069FS3S1EWHR	GIMBALLED
LT2	○	RECESSED DOWNLIGHT - 4"	LED	8W	120V	REC.	HALO	LT4069FS3S1EWHR	GIMBALLED, WET AREA RATED
LT3	○	RECESSED DOWNLIGHT - 2"	LED	8W	120V	REC.	HALO	TBD	GIMBALLED
LT4	⊕	SUSPENDED DECORATIVE LAMP	LED	60W	120V	SUSP.	TBD	TBD	
LT5	⊕	SUSPENDED DECORATIVE LAMP	LED	60W	120V	SUSP.	TBD	TBD	
LT6	⊕	SUSPENDED DECORATIVE LAMP	LED	60W	120V	SUSP.	TBD	TBD	
LT7	⊕	SUSPENDED FAN & LIGHT COMBO	LED	60W	120V	SUSP.	TBD	TBD	BOX TO BE FAN RATED
LT8	⊕	WALL MOUNTED EXTERIOR LIGHT	LED	60W	120V	WALL	TBD	TBD	EXTERIOR RATED W/ DL SENSOR
-	○	-	-	-	-	-	-	-	-
-	○	-	-	-	-	-	-	-	-

- PLAN NOTES KEY**
- 1 DRYWALL CEILING SLOPED @ EXISTING ROOF PITCH
 - 2 FINISH GRADE STAINED EXPOSED COLLAR TIES
 - 3 SKYLIGHT PER SCHEDULE
 - 4 SOLAR TUBE SKYLIGHT PER SCHEDULE
 - 5 RESERVED
 - 6 RESERVED
 - 7 RESERVED
 - 8 RESERVED
 - 9 RESERVED
 - 10 RESERVED
 - 11 RESERVED
 - 12 RESERVED
 - 13 RESERVED
 - 14 RESERVED
 - 15 RESERVED
- # - DETAIL TAG

- LEGEND**
- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
 - (N) WALL PER WALL TYPE TAG
 - WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
 - WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET A0.12
 - DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET A0.13
 - ROOM TAG

- INTERIOR & EXTERIOR FINISHES**
- (IF-1) (N) Engineered Wood Flooring
 - (IF-2) (N) Tile Flooring
 - (IF-3) (N) Tile Flooring
 - (IF-4) (N) Tile Flooring
 - (IF-5) (N) Wall Tile
 - (IF-6) (N) Wall Tile
 - (IF-7) (N) Solid Surface Countertop
 - (IF-8) (N) Solid Surface Countertop
 - (IF-9) (N) Paint - Wall
 - (IF-10) (N) Paint - Ceiling
 - (IF-11) (N) Drywall
 - (IF-12) Reserved
 - (EF-1) (EN) Roofing - Shingles
 - (EF-2) (EN) Stucco - 2030

- FIXTURES & APPLIANCES**
- (PF-1) (N) TOILET
 - (PF-2) (N) WATER FILLER
 - (PF-3) (N) LAVATORY
 - (PF-4) (N) LAVATORY FAUCET
 - (PF-5) (N) KITCHEN SINK
 - (PF-6) (N) KITCHEN FAUCET
 - (PF-7) (N) LAUNDRY SINK
 - (PF-8) (N) LAUNDRY FAUCET
 - (PF-9) (N) SHOWER HEAD
 - (PF-10) (N) SHOWER VALVE
 - (PF-11) (N) TUB FILLER
 - (PF-12) (N) TUB DRAIN
 - (PF-13) (N) BATHTUB
 - (PF-14) (N) SHOWER DRAIN
 - (AP-1) (N) REFRIGERATOR
 - (AP-2) (N) COOK TOP
 - (AP-3) (N) RANGE EXHAUST
 - (AP-4) (N) DOUBLE OVEN
 - (AP-5) (N) DISHWASHER
 - (AP-6) (N) GARBAGE DISPOSAL
 - (AP-7) (N) CLOTHES WASHER
 - (AP-8) (N) CLOTHES DRYER
 - (AP-9) (N) WATER HEATER
 - (AP-10) (N) BATH FAN
 - (AP-11) (N) DRINK FRIDGE
 - (AP-12) (N) ICE MAKER
 - (FX-1) (N) ELECTRICAL PANEL
 - (FX-2) (N) CABINETRY (SEE ELEV.)
 - (FX-3) (E) FIREPLACE
 - (FX-4) (N) SHOWER GLASS

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

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OWNER:
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SOUTH PASADENA, CA 91030

LEGAL INFO:
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TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-74 5320-14

PLANS PREPARED BY:
ASHLY SIGLE
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Ashly Sigle

REFL. CEILING LIGHTING, & POWER PLAN - LEVEL 2

A1.2E

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

- PLAN NOTES KEY**
- ① SHINGLE ROOFING TO REMAIN AS-IS, NOT A PART
 - ② SHINGLE ROOFING TO BE REMOVED & REPLACED TO MATCH EXISTING PER PLAN
 - ③ ROOF DECK TO BE REMOVED & REPLACED PER PLAN
 - ④ GARDEN BOX & JULIET STYLE BALCONY
 - ⑤ GUARDRAIL, TOP @ 42" MIN. ABOVE F.F.E.
 - ⑥ RESERVED
 - ⑦ OVERHANG/CORNICE BELOW
 - ⑧ NEW PROPOSED SKYLIGHT PER PLAN
 - ⑨ NEW PROPOSED SOLAR TUBE PER PLAN
 - ⑩ EXISTING CHIMNEY TO REMAIN AS-IS, NOT A PART
 - ⑪ EXTERIOR WALL FACE BELOW
 - ⑫ EDGE OF ROOF / EXISTING FASCIA TO REMAIN AS-IS, NOT A PART
 - ⑬ RESERVED
 - ⑭ RESERVED
 - ⑮ RESERVED
- # -> DETAIL TAG

- LEGEND**
- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
 - (N) WALL PER WALL TYPE TAG
 - WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
 - WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET A0.12
 - DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET A0.13
 - ### -> ROOM TAG

- INTERIOR & EXTERIOR FINISHES**
- IF-1 (N) Engineered Wood Flooring
 - IF-2 (N) Tile Flooring
 - IF-3 (N) Tile Flooring
 - IF-4 (N) Tile Flooring
 - IF-5 (N) Wall Tile
 - IF-6 (N) Wall Tile
 - IF-7 (N) Solid Surface Countertop
 - IF-8 (N) Solid Surface Countertop
 - IF-9 (N) Paint - Wall
 - IF-10 (N) Paint - Ceiling
 - IF-11 (N) Drywall
 - IF-12 Reserved
 - EF-1 (EN) Roofing - Shingles
 - EF-2 (EN) Stucco - 2030

- FIXTURES & APPLIANCES**
- PF-1 (N) TOILET
 - PF-2 (N) WATER FILLER
 - PF-3 (N) LAVATORY
 - PF-4 (N) LAVATORY FAUCET
 - PF-5 (N) KITCHEN SINK
 - PF-6 (N) KITCHEN FAUCET
 - PF-7 (N) LAUNDRY SINK
 - PF-8 (N) LAUNDRY FAUCET
 - PF-9 (N) SHOWER HEAD
 - PF-10 (N) SHOWER VALVE
 - PF-11 (N) TUB FILLER
 - PF-12 (N) TUB DRAIN
 - PF-13 (N) BATHTUB
 - PF-14 (N) SHOWER DRAIN

- AP-1 (N) REFRIGERATOR
- AP-2 (N) COOK TOP
- AP-3 (N) RANGE EXHAUST
- AP-4 (N) DOUBLE OVEN
- AP-5 (N) DISHWASHER
- AP-6 (N) GARBAGE DISPOSAL
- AP-7 (N) CLOTHES WASHER
- AP-8 (N) CLOTHES DRYER
- AP-9 (N) WATER HEATER
- AP-10 (N) BATH FAN
- AP-11 (N) DRINK FRIDGE
- AP-12 (N) ICE MAKER
- FX-1 (N) ELECTRICAL PANEL
- FX-2 (N) CABINETRY (SEE ELEV.)
- FX-3 (E) FIREPLACE
- FX-4 (N) SHOWER GLASS

DRAWN: AS
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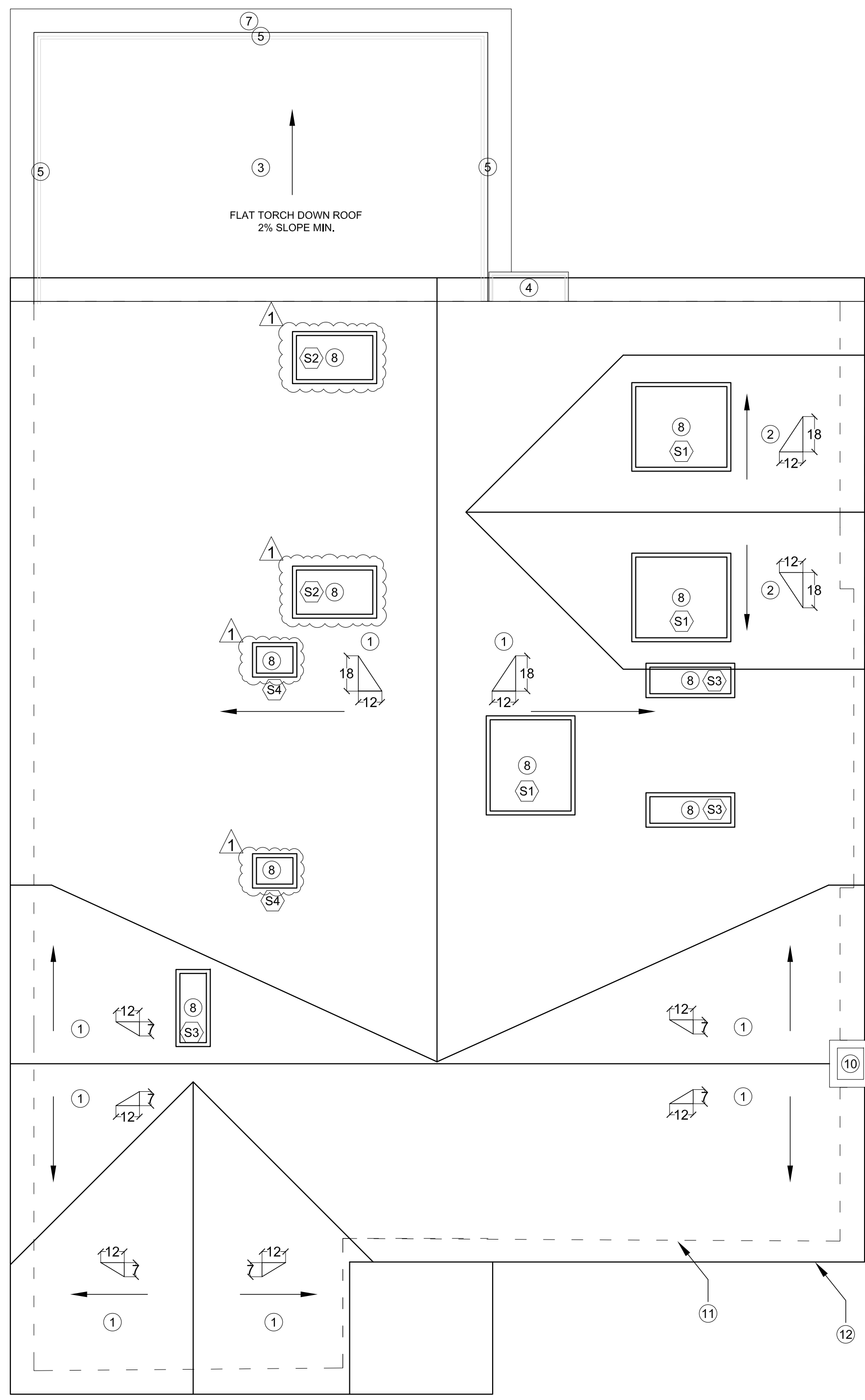
LEGAL INFO:
APN: S320014028
TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-76-5320-14

PLANS PREPARED BY:
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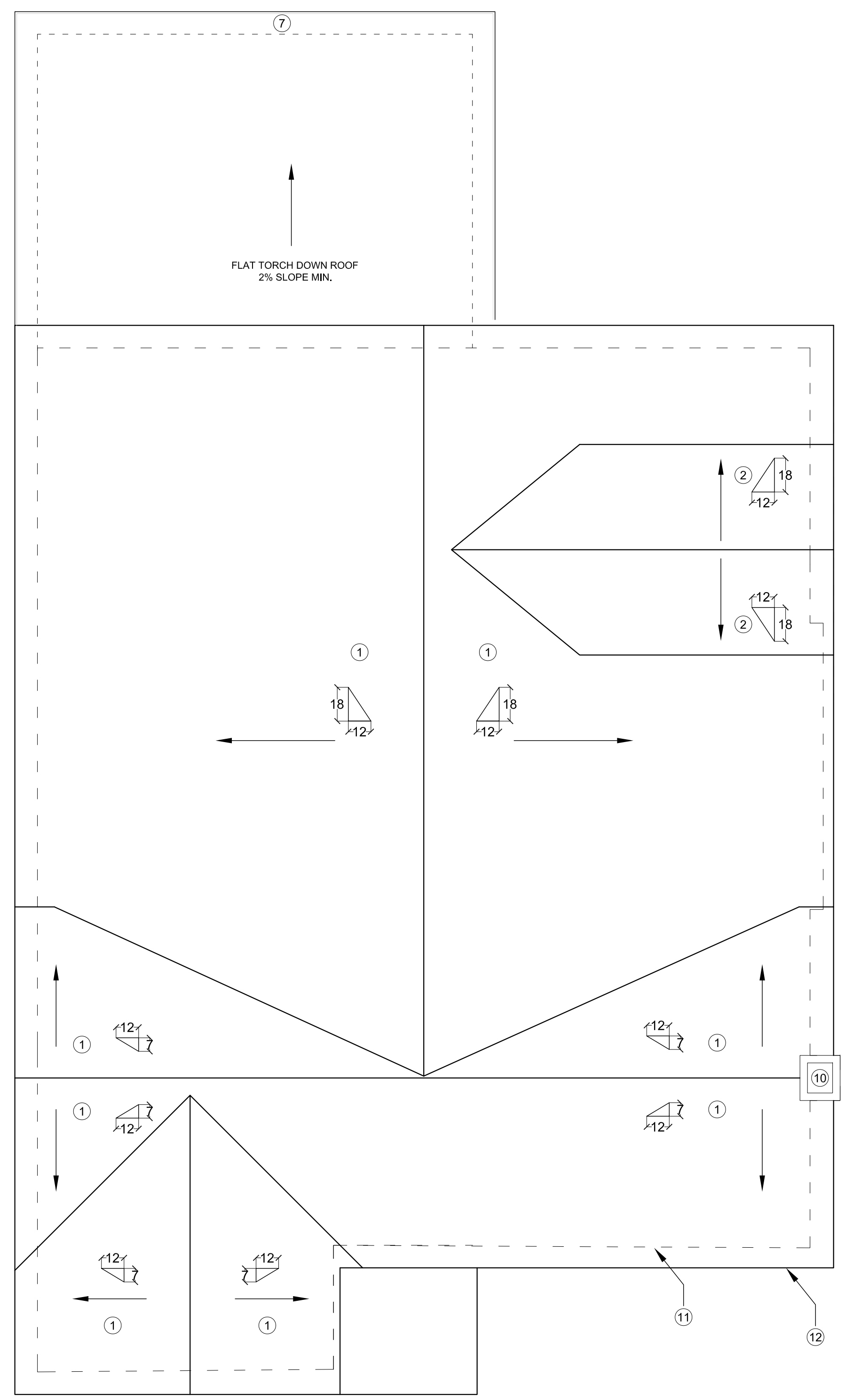
Ashly Sigle

PROPOSED & EXIST.
ROOF PLAN

A1.3



PROPOSED ROOF PLAN
1/4" = 1'-0"



EXISTING ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES

- SEE ELEVATIONS EXISTING VS. PROPOSED RE: PROPOSED CHANGES TO ROOF RE: PLAN NOTE #2.

SKYLIGHT SCHEDULE AND DETAILS

TAG	TYPE	WIDTH	HEIGHT	MAKE / MODEL	NOTES/REMARKS
S1	FIXED SKYLIGHT	46-1/2"	46-1/2"	VELUX FCM 4646 0004	PROPOSED NEW
S2	FIXED SKYLIGHT	22-1/2"	46-1/2"	VELUX FCM 2246 0004	PROPOSED NEW
S3	FIXED SKYLIGHT	14-1/2"	46-1/2"	VELUX FCM 1446 0004	PROPOSED NEW
S4	FIXED SKYLIGHT	22-1/2"	22-1/2"	VELUX FCM 2222 0004	PROPOSED NEW

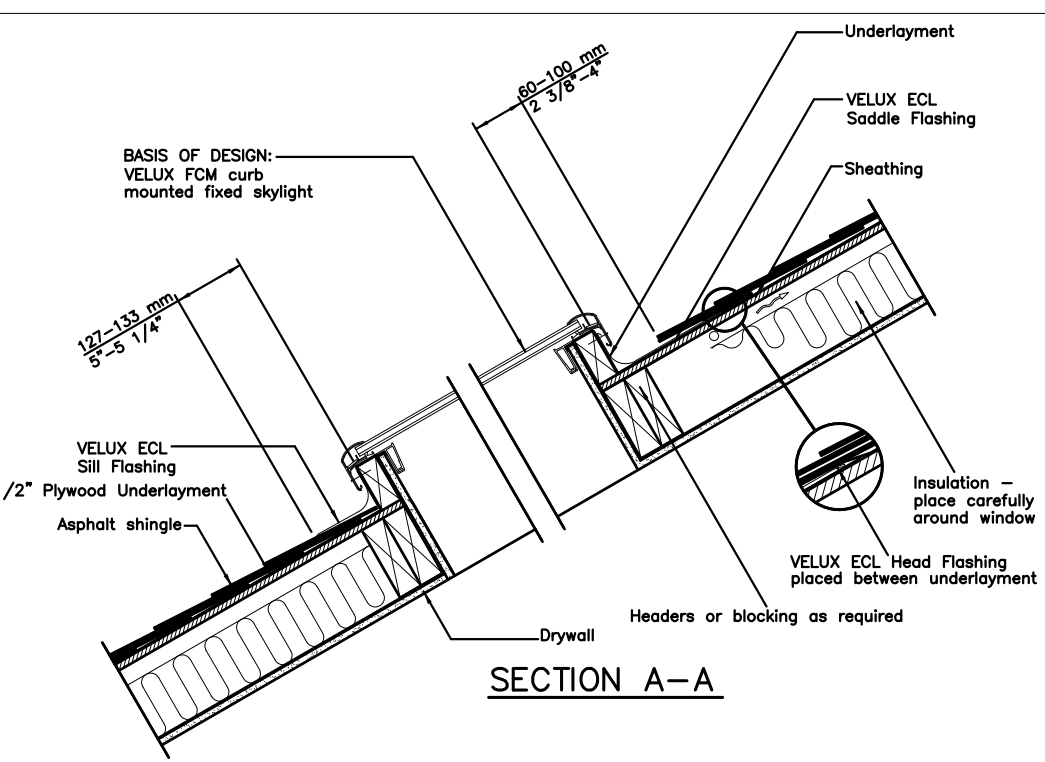
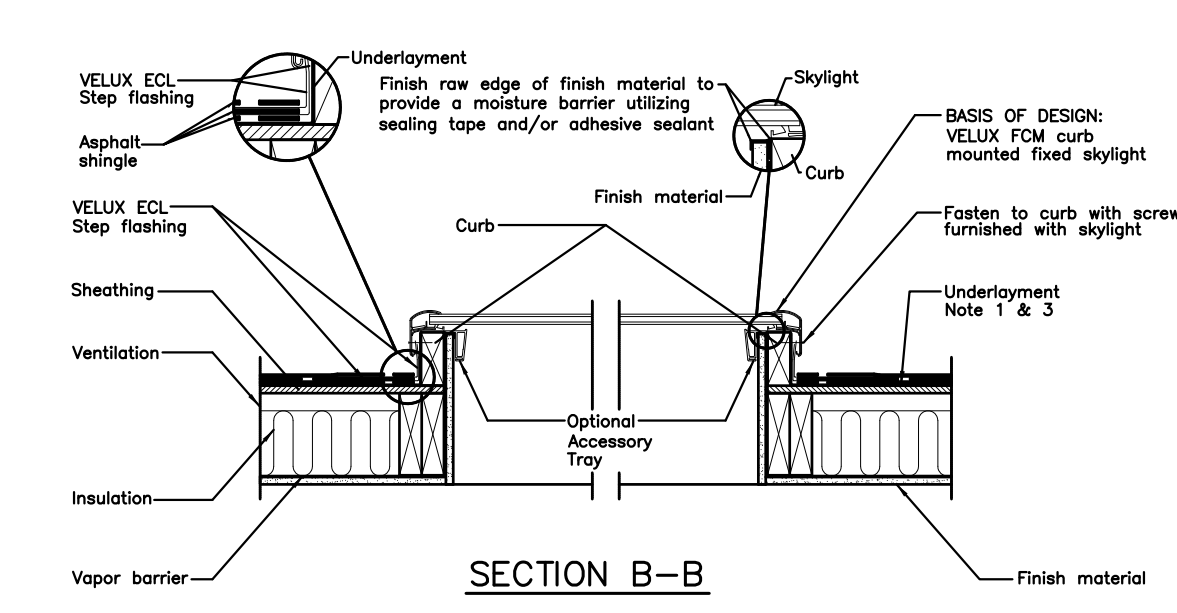
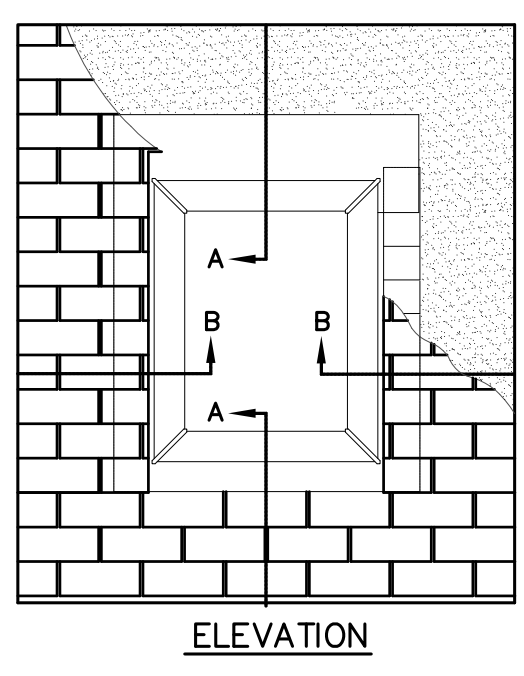
GENERAL NOTES

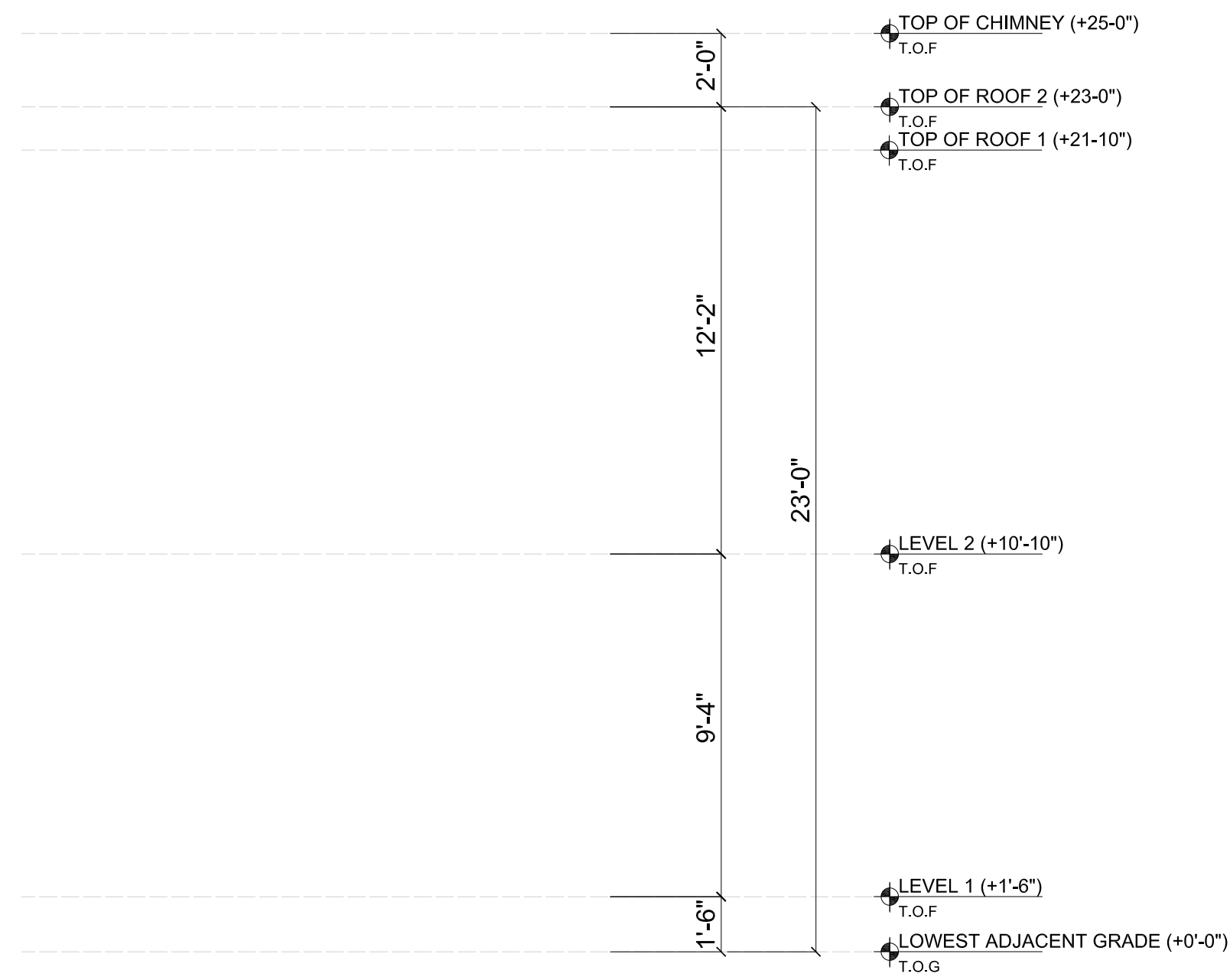
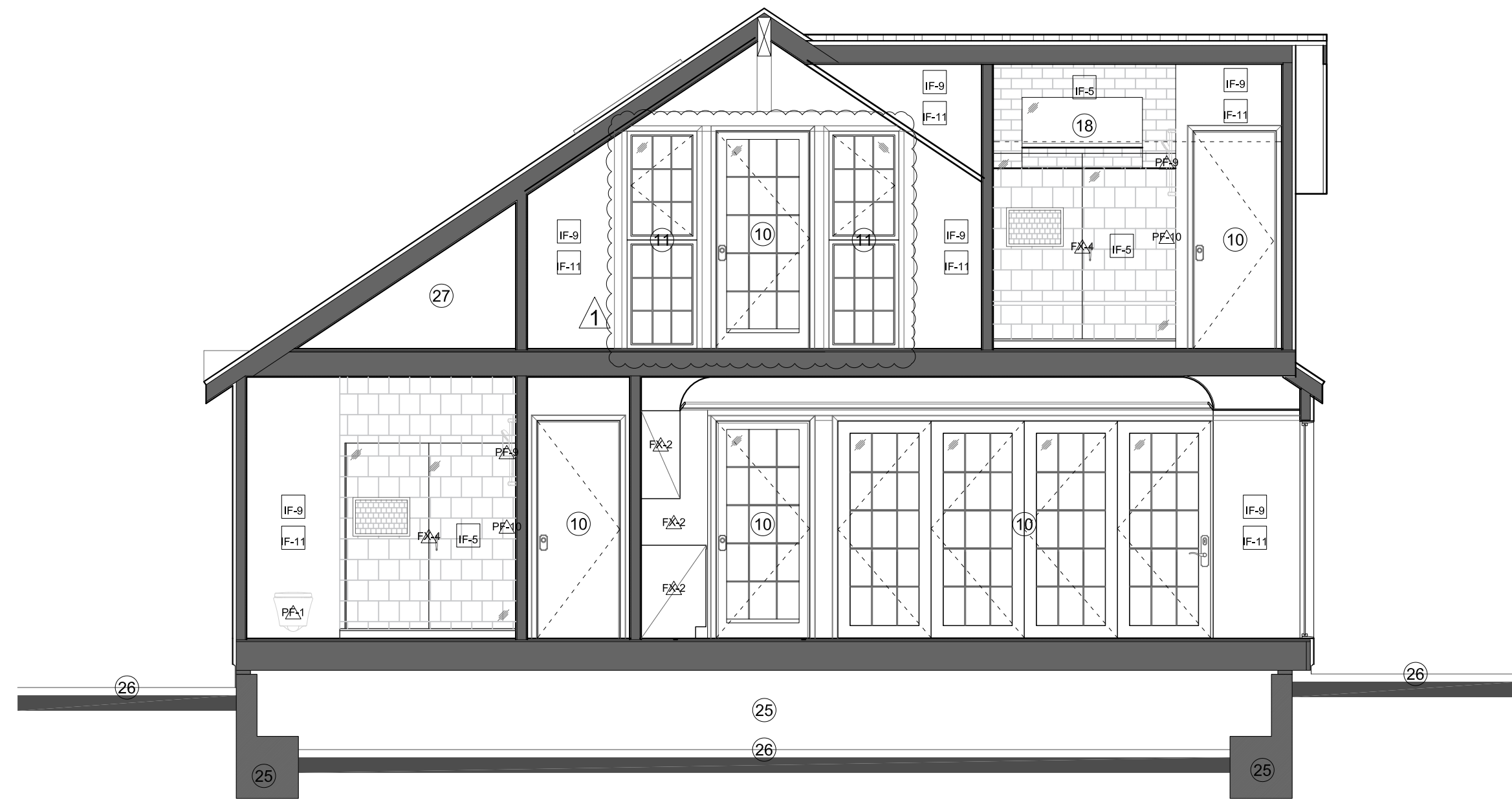
- Underlayment to be folded up against all sides of curb.
- Vapor barrier should be used to avoid moisture.
- Wrap curb in adhesive underlayment provided with VELUX flashing. VELUX recommends use of VELUX type Z02 216 adhesive underlayment to wrap curb when not using VELUX flashings.

This drawing is an instrument of service and is provided for informational use only.

FCM ECL Asphalt shingles	VELUX 1418 Evans Pond Road Greensboro, NC 27609 1-800-88-VELUX www.VELUXUSA.com FCM-Residential/Commercial Roof Section (Cathedral Ceiling with Asphalt Shingles)	Name: JQH Date: Mar 10 Drawn by: JQH Checked by: WQ/CJ Aug 22 Drawing No.: FCM-02-0310
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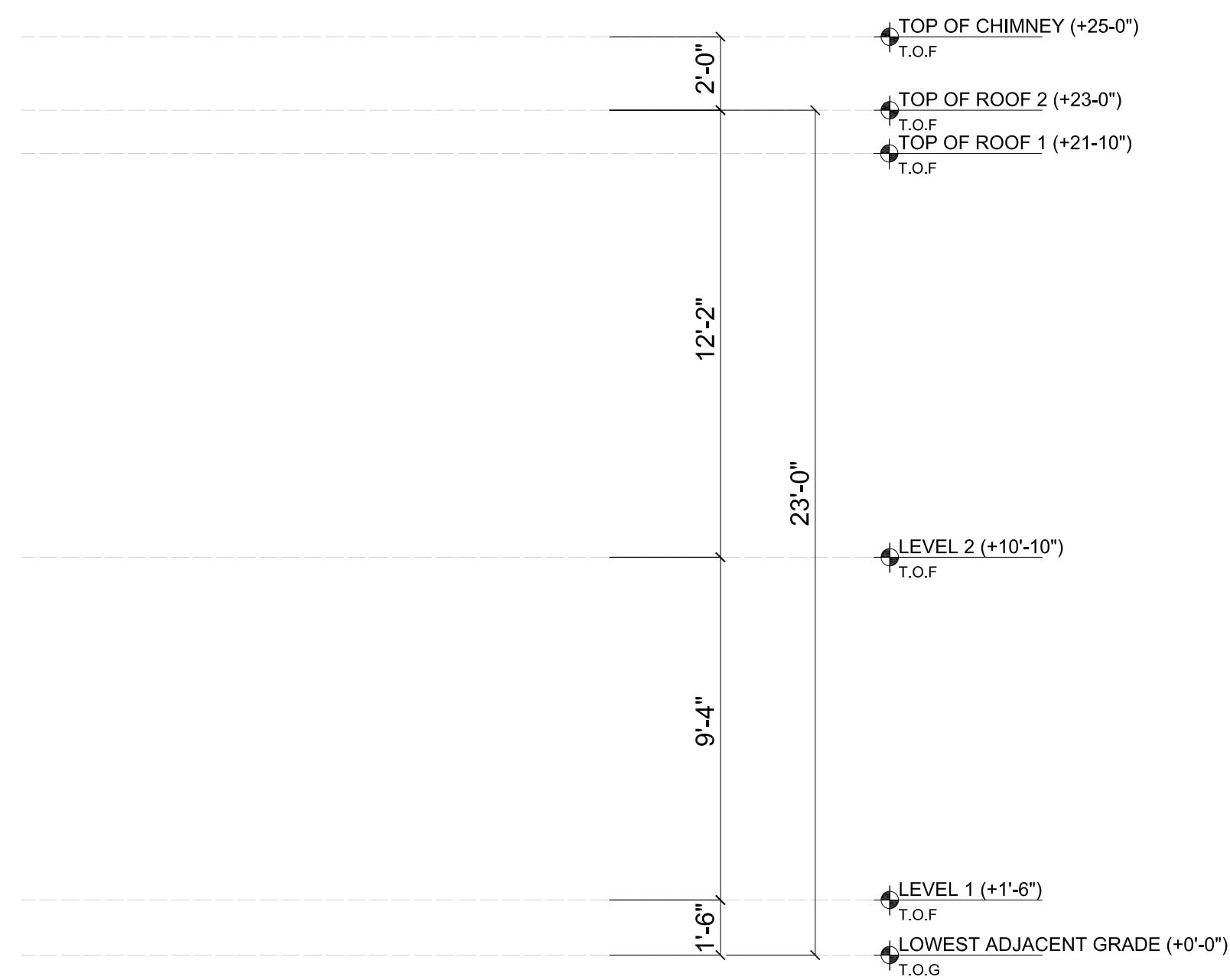
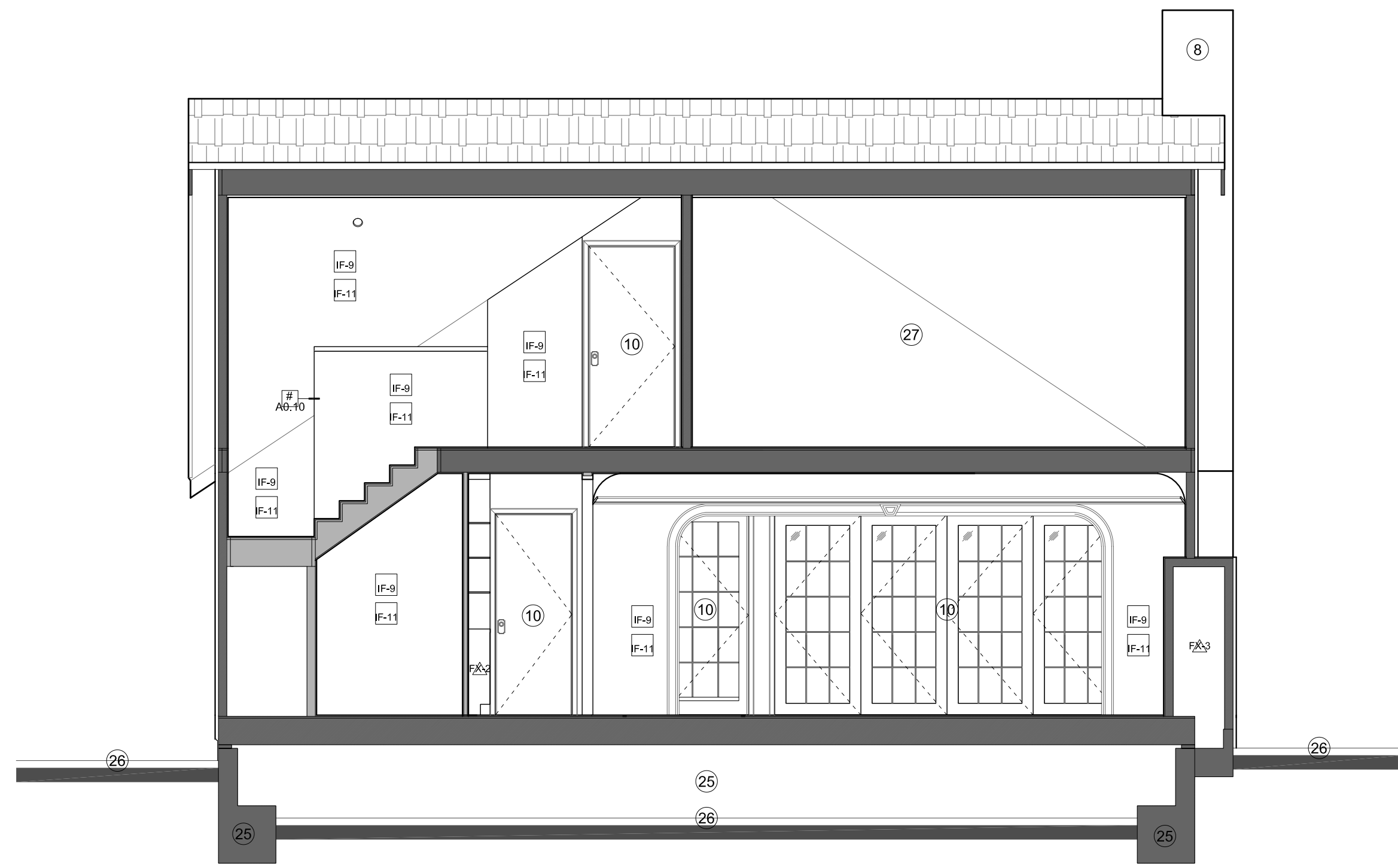
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SECTION - NORTH-SOUTH CUT
1/4" = 1'-0"

2



SECTION - NORTH-SOUTH CUT
1/4" = 1'-0"

1

GENERAL NOTES

PLAN NOTES KEY

- 1 RESERVED
- 2 RESERVED
- 3 EXISTING DOOR TO REMAIN AS-IS / NOT A PART
- 4 EXISTING WINDOW TO REMAIN AS-IS / NOT A PART
- 5 EXISTING ELECTRICAL PANEL TO BE REMOVED & REPLACED AT LOCATION ON A1.1E & A3.2
- 6 EXISTING WATER HEATER TO BE REMOVED & REPLACED AT LOCATION ON A1.1E.
- 7 EXISTING ATTIC VENT TO REMAIN AS-IS / NOT A PART
- 8 EXISTING CHIMNEY TO REMAIN AS-IS / NOT A PART
- 9 EXISTING ROOFING TO REMAIN AS-IS / NOT A PART
- 10 PROPOSED NEW WINDOW PER PLAN SHEETS & WINDOW SCHEDULE
- 11 PROPOSED NEW WINDOW PER PLAN SHEETS & WINDOW SCHEDULE
- 12 PROPOSED NEW ATTIC VENT
- 13 RESERVED
- 14 RESERVED
- 15 PROPOSED EXTERIOR WALL FINISH PER TAG & FINISH SCHEDULE TO MATCH EXISTING
- 16 PROPOSED NEW GUARDRAIL PER 2/A0.10
- 17 PROPOSED NEW CORNICE & EAVE PER 2/A0.10
- 18 PROPOSED NEW SKYLIGHT PER WINDOW SCHEDULE & A0.10
- 19 EXISTING ATTIC VENT TO BE REMOVED.
- 20 EXISTING OPENING TO REMAIN. NEW DOOR OR WINDOW TO BE INSTALLED PER PLAN
- 21 EXISTING FASCIA TO REMAIN AS-IS OR REPLACED AS NEEDED
- 22 EXISTING OPENING TO BE REMOVED. REPAIR OR REPLACEMENT TO BE COMPLETED PER PLAN
- 23 EXISTING CONCRETE PAVED DECK & STEPS TO REMAIN AS-IS / NOT A PART
- 24 PROPOSED EXTERIOR WOOD FRAMED & COMPOSITE DECK
- 25 EXISTING FOOT & CRAWLSPACE TO REMAIN AS-IS OR BE IMPROVED AS NEEDED
- 26 EXISTING GRADE TO REMAIN AS IS
- 27 ATTIC SPACE
- 28 PROPOSED NEW STAIRS

LEGEND

- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
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INTERIOR & EXTERIOR FINISHES

- (F-1) (N) Engineered Wood Flooring
- (F-2) (N) Tile Flooring
- (F-3) (N) Tile Flooring
- (F-4) (N) Tile Flooring
- (F-5) (N) Wall Tile
- (F-6) (N) Wall Tile
- (F-7) (N) Solid Surface Countertop
- (F-8) (N) Solid Surface Counter Top
- (F-9) (N) Paint - Wall
- (F-10) (N) Paint - Ceiling
- (F-11) (N) Drywall
- (F-12) Reserved
- (EF-1) (EN) Roofing - Shingles
- (EF-2) (EN) Stucco - 2030
- (EF-3) (N) Stucco - 2030 Slightly darker colour than EF-2
- (EF-4) Reserved

FIXTURES & APPLIANCES

- (PF-1) (N) TOILET
- (PF-2) (N) WATER FILLER
- (PF-3) (N) LAVATORY
- (PF-4) (N) LAVATORY FAUCET
- (PF-5) (N) KITCHEN SINK
- (PF-6) (N) KITCHEN FAUCET
- (PF-7) (N) LAUNDRY SINK
- (PF-8) (N) LAUNDRY FAUCET
- (PF-9) (N) SHOWER HEAD
- (PF-10) (N) SHOWER VALVE
- (PF-11) (N) TUB FILLER
- (PF-12) (N) TUB DRAIN
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- (AP-1) (N) REFRIDGERATOR
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- (AP-9) (N) WATER HEATER
- (AP-10) (N) BATH FAN
- (AP-11) (N) DRINK FRIDGE
- (AP-12) (N) ICE MAKER
- (FAS-1) (N) ELECTRICAL PANEL
- (FAS-2) (N) CABINERY (SEE ELEV.)
- (FAS-3) (E) FIREPLACE
- (FAS-4) (N) SHOWER GLASS

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

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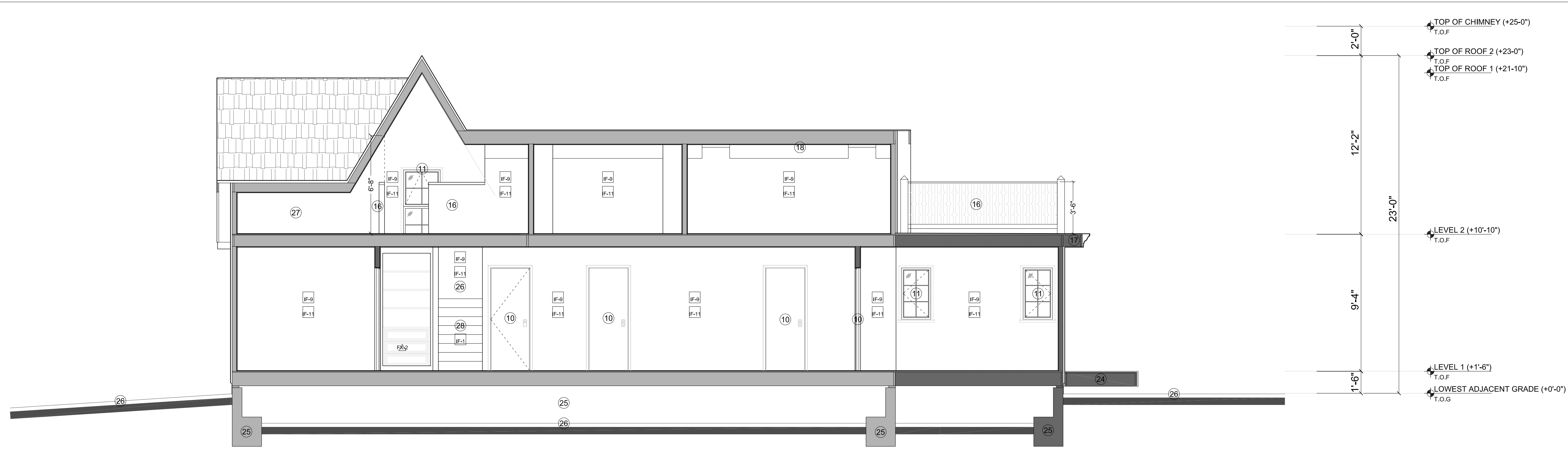
PLANS PREPARED BY:

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E: ASHLYDESIGNLABDEV.COM
P: 858-382-1627

Ashly Sigle

SECTIONS -
NORTH-SOUTH
CUTS

A2.1



SECTION - EAST-WEST CUT
1/4" = 1'-0" 2



SECTION - EAST-WEST CUT
1/4" = 1'-0" 1

GENERAL NOTES

PLAN NOTES KEY

- 1 RESERVED
- 2 RESERVED
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- 4 EXISTING WINDOW TO REMAIN AS-IS / NOT A PART
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- IF-1 (N) Engineered Wood Flooring
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- IF-4 (N) Wall Tile
- IF-5 (N) Solid Surface Countertop
- IF-6 (N) Solid Surface Counter Top
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- EF-2 (EN) Stucco - 2030
- EF-3 (N) Stucco - 2030 Slightly darker colour than EF-2
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FIXTURES & APPLIANCES

- PF-1 (N) TOILET
- PF-2 (N) WATER FILLER
- PF-3 (N) LAVATORY
- PF-4 (N) LAVATORY FAUCET
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- PF-6 (N) KITCHEN FAUCET
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- PF-8 (N) LAUNDRY FAUCET
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- PF-10 (N) SHOWER VALVE
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- PF-12 (N) TUB DRAIN
- PF-13 (N) BATHTUB
- PF-14 (N) SHOWER DRAIN
- AP-1 (N) REFRIDGERATOR
- AP-2 (N) COOK TOP
- AP-3 (N) RANGE EXHAUST
- AP-4 (N) DOUBLE OVEN
- AP-5 (N) DISHWASHER
- AP-6 (N) GARBAGE DISPOSAL
- AP-7 (N) CLOTHES WASHER
- AP-8 (N) CLOTHES DRYER
- AP-9 (N) WATER HEATER
- AP-10 (N) BATH FAN
- AP-11 (N) DRINK FRIDGE
- AP-12 (N) ICE MAKER
- FA-1 (N) ELECTRICAL PANEL
- FA-2 (N) CABINETY (SEE ELEV.)
- FA-3 (E) FIREPLACE
- FA-4 (N) SHOWER GLASS

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS
DATE: 5/11/24

ISSUED FOR	
DATE	REMARKS
1/11/2024	CONCEPT DEVELOPMENT
5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITAL
8/9/2024	PLANNING CORRECTIONS 1
9/19/2024	PLANNING CORRECTIONS 2

OWNER:
AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

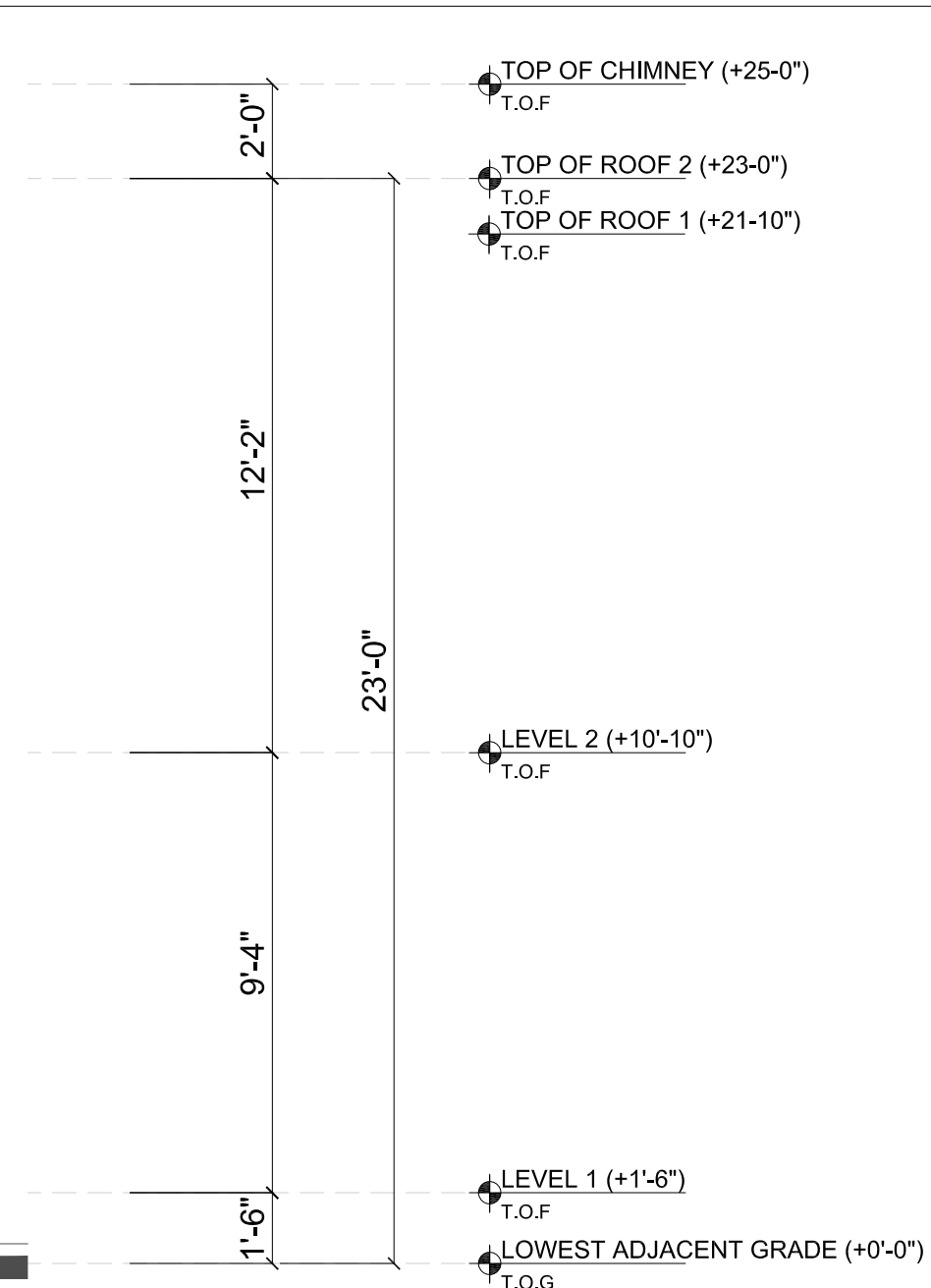
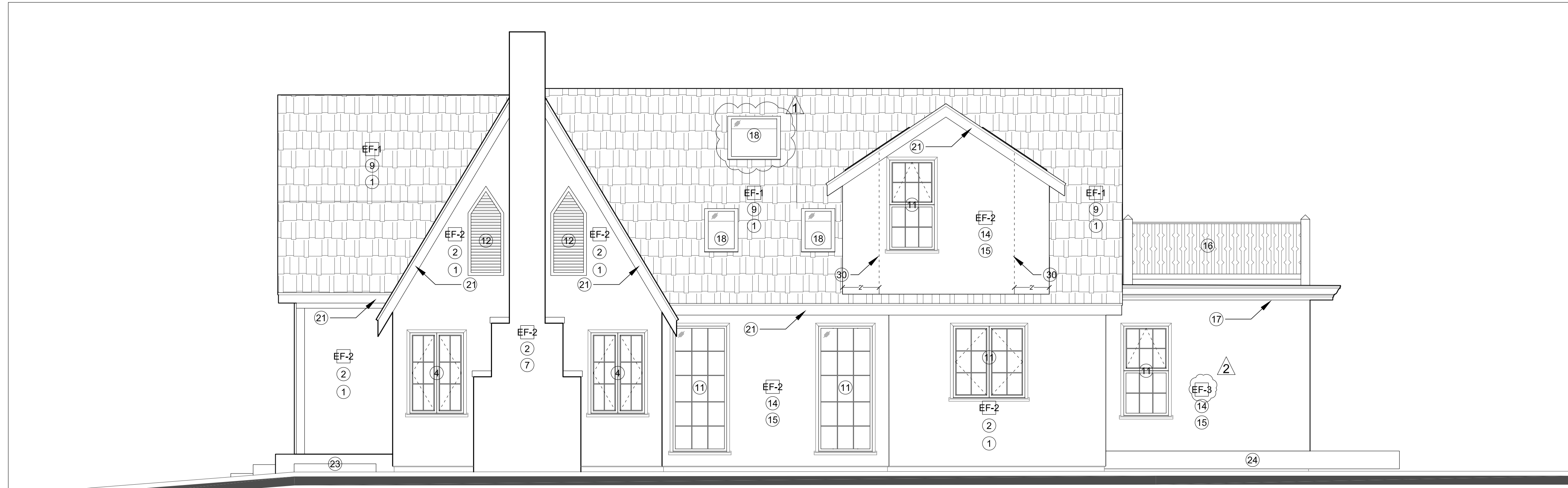
LEGAL INFO:
APN: 3320014028
TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-76-5320-14

PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM
P: 858-382-1627

Ashly Sigle

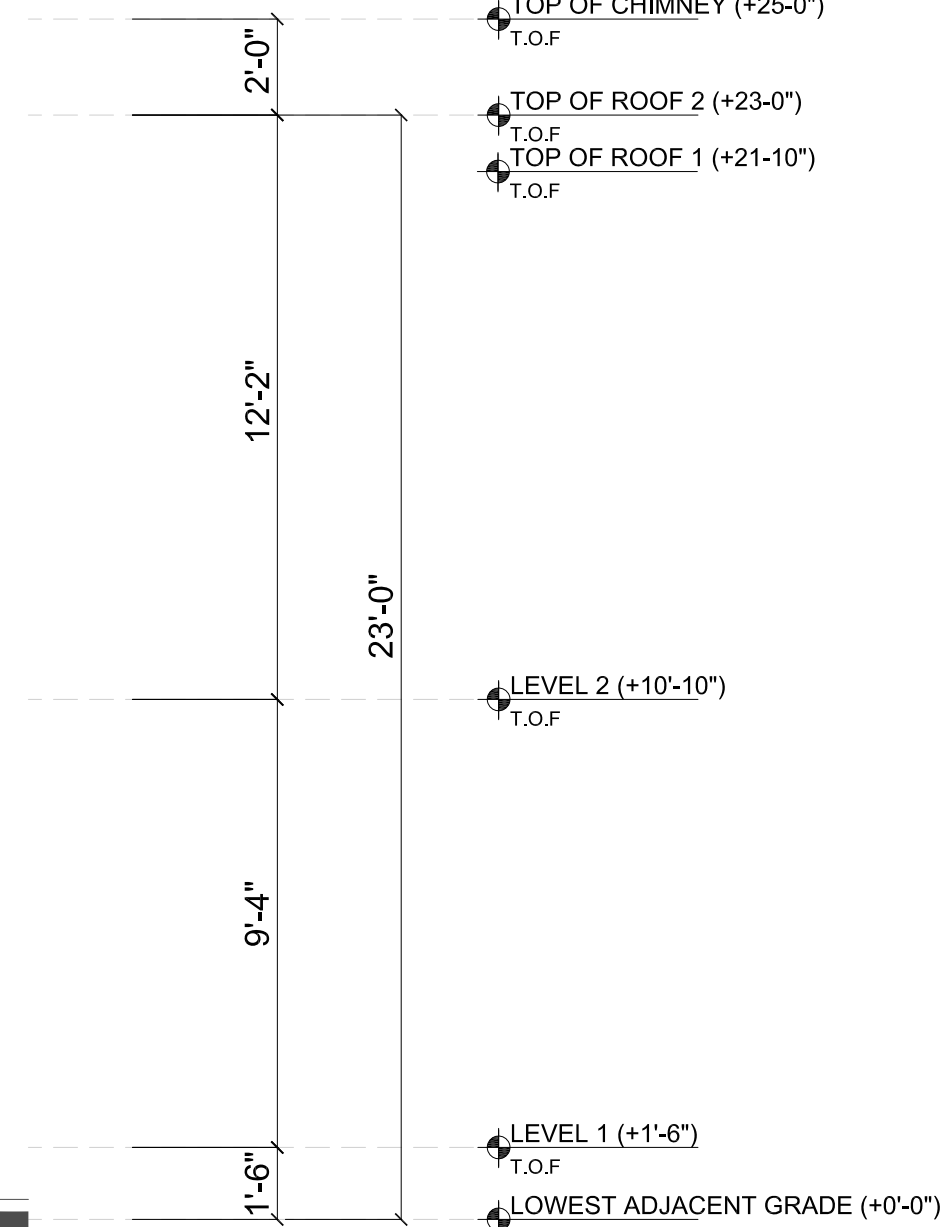
SECTIONS - EAST-WEST CUT

A2.2



EXTERIOR ELEVATION NORTH - PROPOSED
1/4" = 1'-0"

2



EXTERIOR ELEVATION NORTH - EXISTING
1/4" = 1'-0"

1

GENERAL NOTES

PLAN NOTES KEY

- 1 EXISTING STRUCTURE TO REMAIN AS-IS / NOT A PART OF PROPOSED WORK
- 2 EXISTING FINISH TO REMAIN AS-IS / NOT A PART
- 3 EXISTING DOOR TO REMAIN AS-IS / NOT A PART
- 4 EXISTING WINDOW TO REMAIN AS-IS / NOT A PART
- 5 EXISTING ELECTRICAL PANEL TO BE REMOVED & REPLACED AT LOCATION ON A1.1E & A3.2
- 6 EXISTING WATER HEATER TO BE REMOVED & REPLACED AT LOCATION ON A1.1E.
- 7 EXISTING ATTIC VENT TO REMAIN AS-IS / NOT A PART
- 8 EXISTING CHIMNEY TO REMAIN AS-IS / NOT A PART
- 9 EXISTING ROOFING TO REMAIN AS-IS / NOT A PART
- 10 PROPOSED NEW DOOR PER PLAN SHEETS & DOOR SCHEDULE
- 11 PROPOSED NEW WINDOW PER PLAN SHEETS & WINDOW SCHEDULE
- 12 PROPOSED NEW ATTIC VENT
- 13 EXISTING ROOFING TO BE REMOVED & REPLACED TO MATCH EXISTING
- 14 EXISTING WALLS & ROOF STRUCTURE TO BE REMOVED & REPLACED PER A1.2N & A1.3N
- 15 PROPOSED EXTERIOR WALL FINISH PER TAG & FINISH SCHEDULE TO MATCH EXISTING
- 16 PROPOSED NEW GUARDRAIL PER 2/A0.10
- 17 PROPOSED NEW CORNICE & EAVE PER 2/A0.10
- 18 PROPOSED NEW SKYLIGHT PER WINDOW SCHEDULE & A0.10
- 19 EXISTING ATTIC VENT TO BE REMOVED.
- 20 EXISTING OPENING TO REMAIN. NEW DOOR OR WINDOW TO BE INSTALLED PER PLAN
- 21 EXISTING FASCIA TO REMAIN AS-IS OR REPLACED AS NEEDED
- 22 EXISTING OPENING TO BE REMOVED. REPAIR OR REPLACEMENT TO BE COMPLETED PER PLAN
- 23 EXISTING CONCRETE PAVED DECK & STEPS TO REMAIN AS-IS / NOT A PART
- 24 PROPOSED EXTERIOR WOOD FRAMED & COMPOSITE DECK
- 25 EXISTING INTERIOR WALL TO REMAIN; DRYWALL & IN WALL MEP TO BE REMOVED & REPLACED PER PLAN
- 26 PROPOSED NEW INTERIOR WALL PER PLAN SHEETS
- 27 UNFINISHED ATTIC SPACE
- 28 PROPOSED NEW STAIRS
- 29 PRESUMED UN-PERMITTED WORK BY PRIOR OWNERSHIP
- 30 EXTERIOR FACE OF EXISTING WALLS

LEGEND

- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
- (E) UN-PERMITTED ADDITION
- WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
- WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET A0.12
- DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET A0.13
- ROOM TAG
- FLOOR AREA TO BE ELIMINATED

INTERIOR & EXTERIOR FINISHES

- | | |
|---|------------------------------|
| (F-1) Engineered Wood Flooring | (N) Tile Flooring |
| (F-2) Tile Flooring | (N) Tile Flooring |
| (F-3) Wall Tile | (N) Wall Tile |
| (F-4) Solid Surface Countertop | (N) Solid Surface Countertop |
| (F-5) Paint - Wall | (F-10) Paint - Ceiling |
| (F-6) Drywall | (F-12) Reserved |
| (E/N) Roofing - Shingles | (E/N) Stucco - 20/30 |
| (N) Stucco - 20/30 Slightly darker colour than EF-2 | (F-4) Reserved |

FIXTURES & APPLIANCES

- | | |
|----------------------|--------------------------|
| (F) TOILET | (N) WATER FILLER |
| (N) LAVATORY | (N) LAVATORY FAUCET |
| (N) KITCHEN SINK | (N) KITCHEN FAUCET |
| (N) LAUNDRY SINK | (N) LAUNDRY FAUCET |
| (N) SHOWER HEAD | (N) SHOWER VALVE |
| (N) TUB FILLER | (N) TUB DRAIN |
| (N) BATHTUB | (N) SHOWER DRAIN |
| (N) REFRIDGERATOR | (N) COOK TOP |
| (N) RANGE EXHAUST | (N) DOUBLE OVEN |
| (N) DISHWASHER | (N) GARBAGE DISPOSAL |
| (N) CLOTHES WASHER | (N) CLOTHES DRYER |
| (N) WATER HEATER | (N) BATH FAN |
| (N) DRINK FRIDGE | (N) ICE MAKER |
| (N) ELECTRICAL PANEL | (N) CABINERY (SEE ELEV.) |
| (E) FIREPLACE | (N) SHOWER GLASS |

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS
DATE: 5/11/24

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OWNER:

AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:

APN: 3320014028
TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-76-5320-14

PLANS PREPARED BY:

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Ashly Sigle

PROPOSED & EXIST.
EXT. ELEVATIONS
NORTH

A3.1

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS

DATE: 5/11/24

ISSUED FOR

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1/11/2024	CONCEPT DEVELOPMENT
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OWNER:

AMANDA HAAS
1500 SPRUCE STREET
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Jolly Jish

PROPOSED & EXIST.
EXT. ELEVATIONS
SOUTH

A3.2

PLAN NOTES KEY

- 1 EXISTING STRUCTURE TO REMAIN AS-IS / NOT A PART OF PROPOSED WORK
- 2 EXISTING FINISH TO REMAIN AS-IS / NOT A PART
- 3 EXISTING DOOR TO REMAIN AS-IS / NOT A PART
- 4 EXISTING WINDOW TO REMAIN AS-IS / NOT A PART
- 5 EXISTING ELECTRICAL PANEL TO BE REMOVED & REPLACED AT LOCATION ON A1.1E & A3.2
- 6 EXISTING WATER HEATER TO BE REMOVED & REPLACED AT LOCATION ON A1.1E.
- 7 EXISTING ATTIC VENT TO REMAIN AS-IS / NOT A PART
- 8 EXISTING CHIMNEY TO REMAIN AS-IS / NOT A PART
- 9 EXISTING ROOFING TO REMAIN AS-IS / NOT A PART
- 10 PROPOSED NEW DOOR PER PLAN SHEETS & DOOR SCHEDULE
- 11 PROPOSED NEW WINDOW PER PLAN SHEETS & WINDOW SCHEDULE
- 12 PROPOSED NEW ATTIC VENT
- 13 EXISTING ROOFING TO BE REMOVED & REPLACED TO MATCH EXISTING
- 14 EXISTING WALLS & ROOF STRUCTURE TO BE REMOVED & REPLACED PER A1.2N & A1.3N
- 15 PROPOSED EXTERIOR WALL FINISH PER TAG & FINISH SCHEDULE TO MATCH EXISTING
- 16 PROPOSED NEW GUARDRAIL PER 2/A0.10
- 17 PROPOSED NEW CORNICE & EAVE PER 2/A0.10
- 18 PROPOSED NEW SKYLIGHT PER WINDOW SCHEDULE & A0.10
- 19 EXISTING ATTIC VENT TO BE REMOVED.
- 20 EXISTING OPENING TO REMAIN. NEW DOOR OR WINDOW TO BE INSTALLED PER PLAN
- 21 EXISTING FASCIA TO REMAIN AS-IS OR REPLACED AS NEEDED
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- 23 EXISTING CONCRETE PAVED DECK & STEPS TO REMAIN AS-IS / NOT A PART
- 24 PROPOSED EXTERIOR WOOD FRAMED & COMPOSITE DECK
- 25 EXISTING INTERIOR WALL TO REMAIN; DRYWALL & IN WALL MEP TO BE REMOVED & REPLACED PER PLAN
- 26 PROPOSED NEW INTERIOR WALL PER PLAN SHEETS
- 27 PRESUMED UN-PERMITTED WORK BY PRIOR OWNERSHIP
- 28 1/2" STUCCO EXPANSION JOINT DELINEATING ORIGINAL AND NEW WORK PER SOI STANDARDS
- 29 1/2" STUCCO EXPANSION JOINT DELINEATING ORIGINAL AND NEW WORK PER SOI STANDARDS
- 30 RESERVED

- # - DETAIL TAG

LEGEND

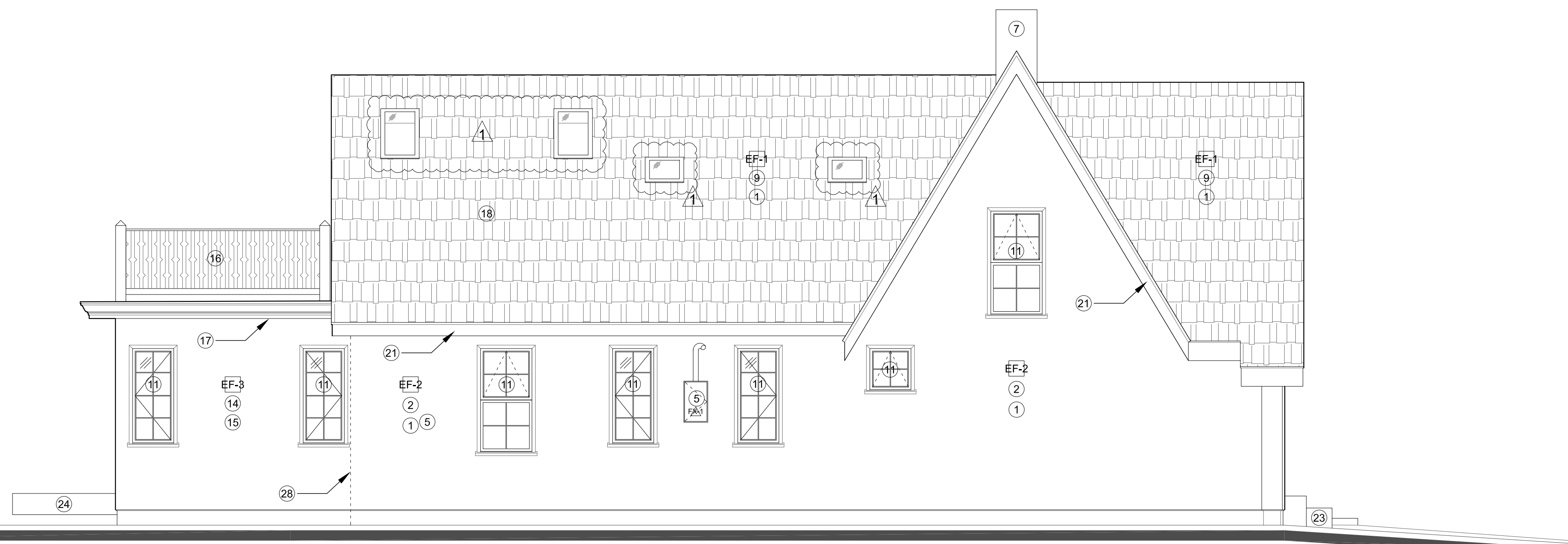
- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
- WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
- WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET A0.12
- DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET A0.13
- ROOM TAG
- FLOOR AREA TO BE ELIMINATED
- (E) UN-PERMITTED ADDITION

INTERIOR & EXTERIOR FINISHES

- (F-1) Engineered Wood Flooring
- (F-2) Tile Flooring
- (F-3) Wall Tile
- (F-4) Solid Surface Countertop
- (F-5) Paint - Wall
- (F-6) Paint - Ceiling
- (F-7) Drywall
- (F-8) Reserved
- (EF-1) (EN) Roofing - Shingles
- (EF-2) (EN) Stucco - 20/30
- (EF-3) (N) Stucco - 20/30 Slightly darker colour than EF-2
- (EF-4) Reserved

FIXTURES & APPLIANCES

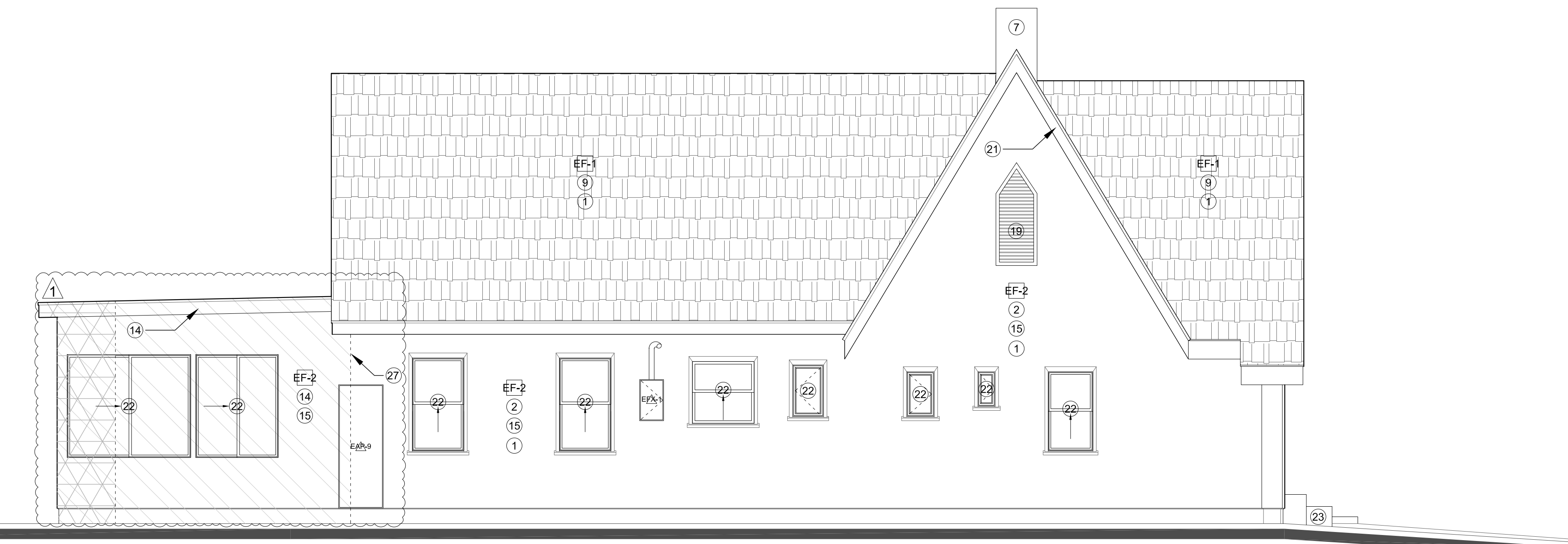
- (F1) (N) TOILET
- (F2) (N) WATER FILLER
- (F3) (N) LAVATORY
- (F4) (N) LAVATORY FAUCET
- (F5) (N) KITCHEN SINK
- (F6) (N) KITCHEN FAUCET
- (F7) (N) LAUNDRY SINK
- (F8) (N) LAUNDRY FAUCET
- (F9) (N) SHOWER HEAD
- (F10) (N) SHOWER VALVE
- (F11) (N) TUB FILLER
- (F12) (N) TUB DRAIN
- (F13) (N) BATHTUB
- (F14) (N) SHOWER DRAIN
- (A1) (N) REFRIGERATOR
- (A2) (N) COOK TOP
- (A3) (N) RANGE EXHAUST
- (A4) (N) DOUBLE OVEN
- (A5) (N) DISHWASHER
- (A6) (N) GARBAGE DISPOSAL
- (A7) (N) CLOTHES WASHER
- (A8) (N) CLOTHES DRYER
- (A9) (N) WATER HEATER
- (A10) (N) BATH FAN
- (A11) (N) DRINK FRIDGE
- (A12) (N) ICE MAKER
- (F13) (N) ELECTRICAL PANEL
- (F14) (N) CABINETS (SEE ELEV.)
- (F15) (E) FIREPLACE
- (F16) (N) SHOWER GLASS
- * EFP, EAP, & EFX DENOTES EXISTING FIXTURES/APPLIANCES TO BE REMOVED



EXTERIOR ELEVATION SOUTH - PROPOSED

1/4" = 1'-0"

2

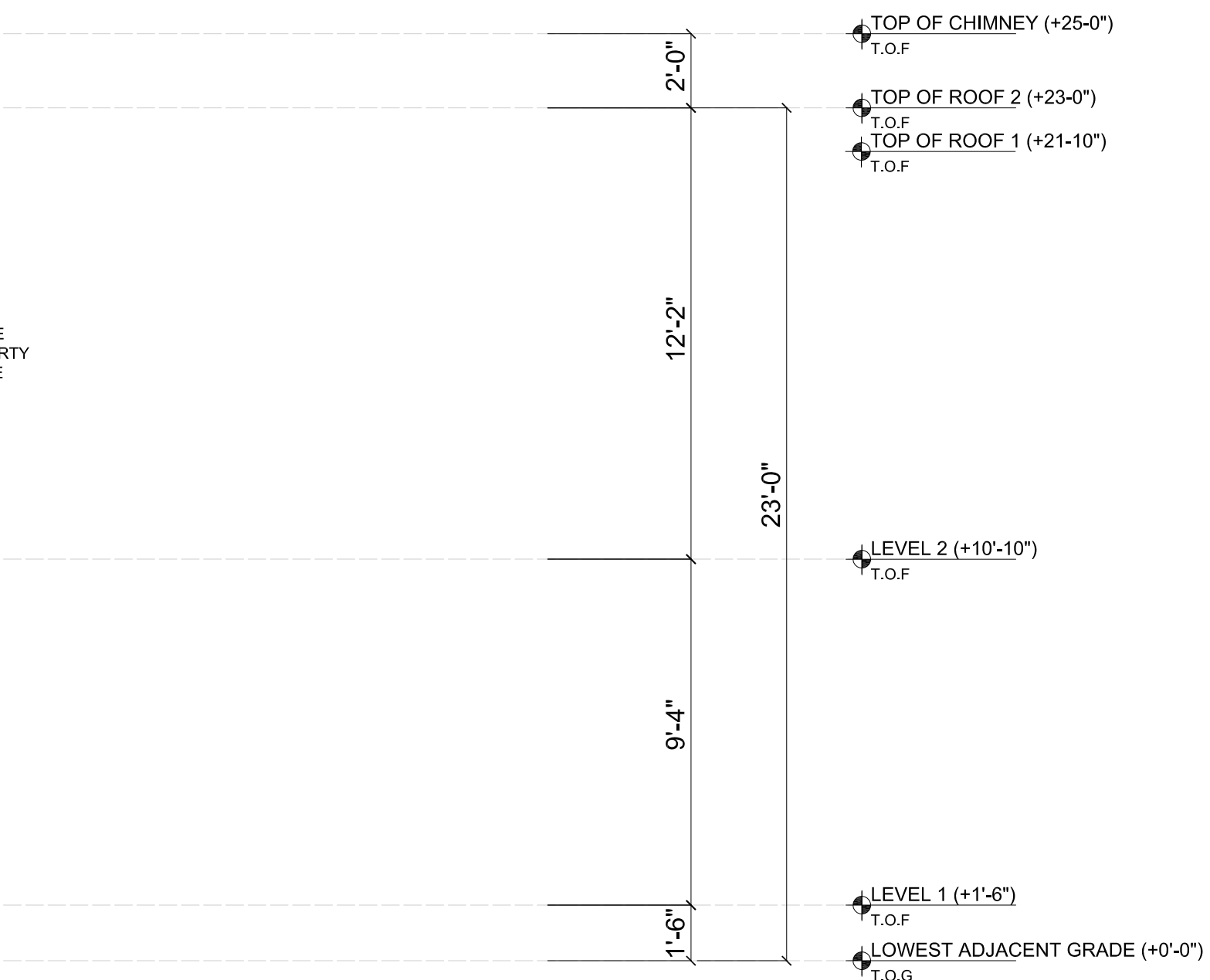
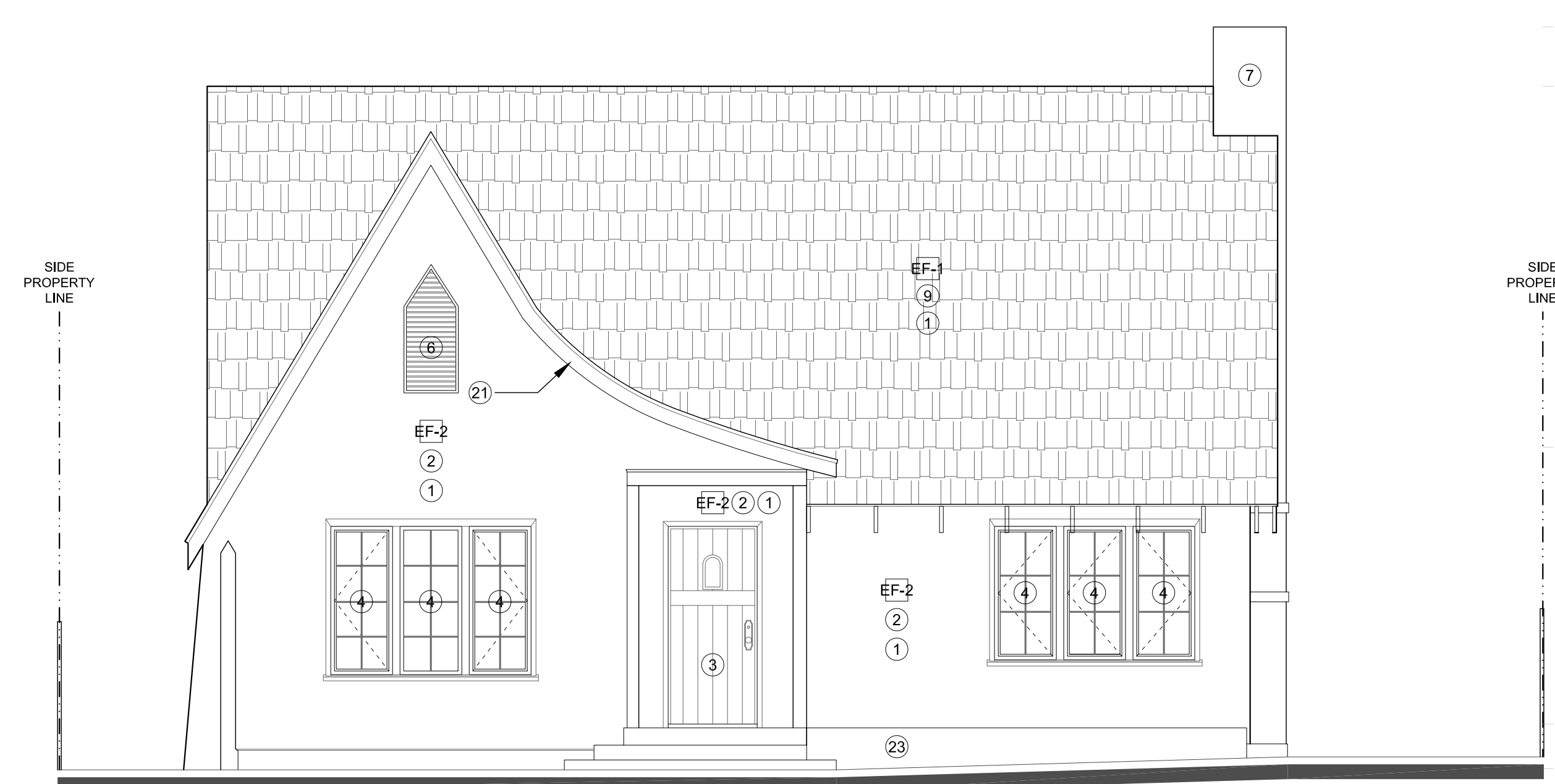


EXTERIOR ELEVATION SOUTH - EXISTING

1/4" = 1'-0"

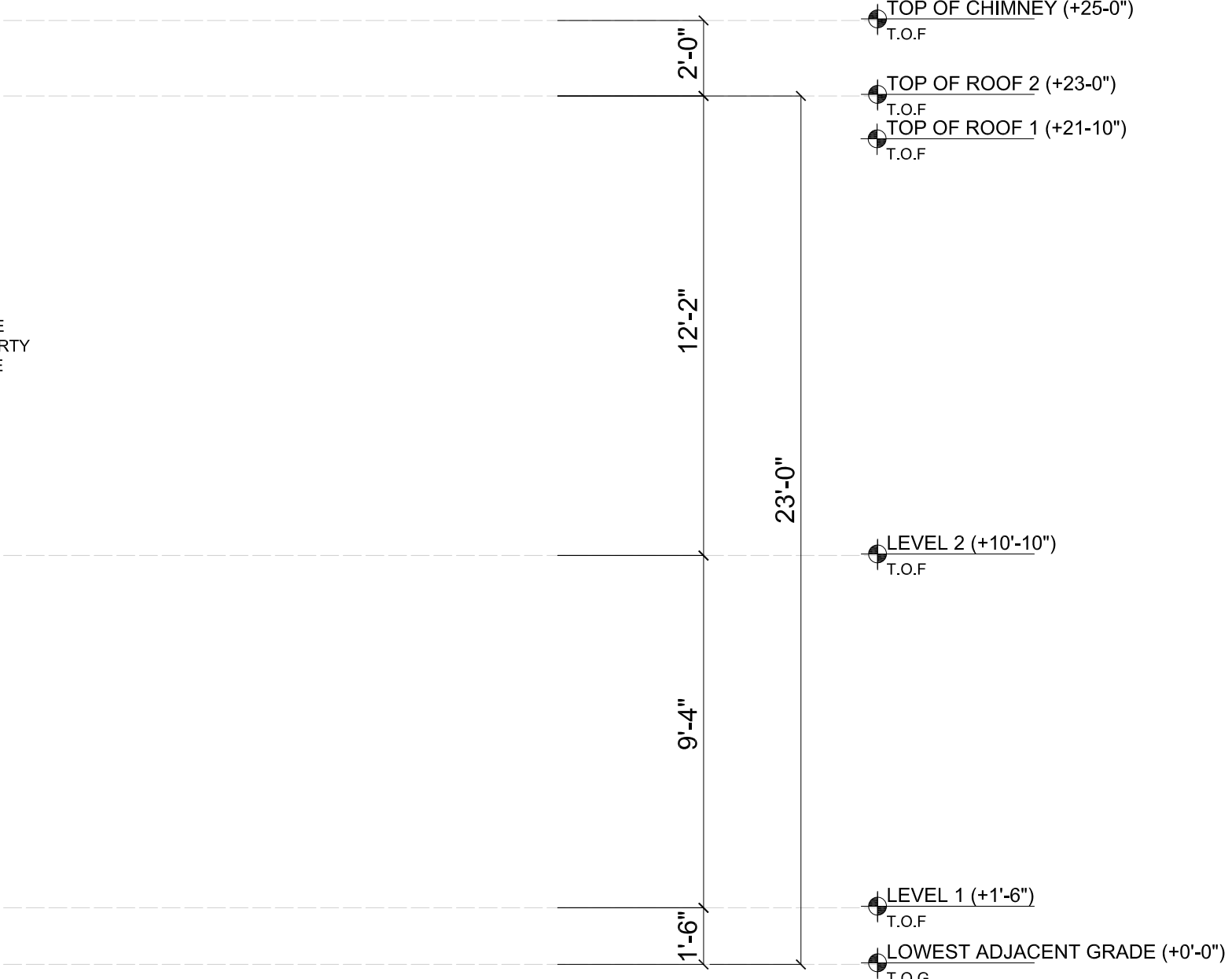
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GENERAL NOTES



EXTERIOR ELEVATION EAST - PROPOSED
1/4" = 1'-0"

2



EXTERIOR ELEVATION EAST - EXISTING
1/4" = 1'-0"

1

GENERAL NOTES

PLAN NOTES KEY

- 1 EXISTING STRUCTURE TO REMAIN AS-IS / NOT A PART OF PROPOSED WORK
- 2 EXISTING FINISH TO REMAIN AS-IS / NOT A PART
- 3 EXISTING DOOR TO REMAIN AS-IS / NOT A PART
- 4 EXISTING WINDOW TO REMAIN AS-IS / NOT A PART
- 5 EXISTING ELECTRICAL PANEL TO BE REMOVED & REPLACED AT LOCATION ON A1.1E & A3.2
- 6 EXISTING WATER HEATER TO BE REMOVED & REPLACED AT LOCATION ON A1.1E.
- 7 EXISTING ATTIC VENT TO REMAIN AS-IS / NOT A PART
- 8 EXISTING CHIMNEY TO REMAIN AS-IS / NOT A PART
- 9 EXISTING ROOFING TO REMAIN AS-IS / NOT A PART
- 10 PROPOSED NEW WINDOW PER PLAN SHEETS & WINDOW SCHEDULE
- 11 PROPOSED NEW WINDOW PER PLAN SHEETS & WINDOW SCHEDULE
- 12 PROPOSED NEW ATTIC VENT
- 13 EXISTING ROOFING TO BE REMOVED & REPLACED TO MATCH EXISTING
- 14 EXISTING WALLS & ROOF STRUCTURE TO BE REMOVED & REPLACED PER A1.2N & A1.3N
- 15 PROPOSED EXTERIOR WALL FINISH PER TAG & FINISH SCHEDULE TO MATCH EXISTING
- 16 PROPOSED NEW GUARDRAIL PER 2/A0.10
- 17 PROPOSED NEW CORNICE & EAVE PER 2/A0.10
- 18 PROPOSED NEW SKYLIGHT PER WINDOW SCHEDULE & A0.10
- 19 EXISTING ATTIC VENT TO BE REMOVED.
- 20 EXISTING OPENING TO REMAIN. NEW DOOR OR WINDOW TO BE INSTALLED PER PLAN
- 21 EXISTING FASCIA TO REMAIN AS-IS OR REPLACED AS NEEDED
- 22 EXISTING OPENING TO BE REMOVED. REPAIR OR REPLACEMENT TO BE COMPLETED PER PLAN
- 23 EXISTING CONCRETE PAVED DECK & STEPS TO REMAIN AS-IS / NOT A PART
- 24 PROPOSED EXTERIOR WOOD FRAMED & COMPOSITE DECK
- 25 EXISTING INTERIOR WALL TO REMAIN; DRYWALL & IN WALL MEP TO BE REMOVED & REPLACED PER PLAN
- 26 PROPOSED NEW INTERIOR WALL PER PLAN SHEETS
- 26 PROPOSED GARDEN BOX & JULIET STYLE GUARDRAIL

LEGEND

- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
- (E) WALL TO BE REMOVED
- WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
- WINDOW TAG - REFER TO DETAILS AND NOTES ON SHEET A0.12
- DOOR TAG - REFER TO DETAILS AND NOTES ON SHEET A0.13
- ROOM TAG

INTERIOR & EXTERIOR FINISHES

- EF-1 (N) Engineered Wood Flooring
- EF-2 (N) Tile Flooring
- EF-3 (N) Tile Flooring
- EF-4 (N) Tile Flooring
- EF-5 (N) Wall Tile
- EF-6 (N) Wall Tile
- EF-7 (N) Solid Surface Countertop
- EF-8 (N) Solid Surface Counter Top
- EF-9 (N) Paint - Wall
- EF-10 (N) Paint - Ceiling
- EF-11 (EN) Roofing - Shingles
- EF-12 (EN) Stucco - 2030

FIXTURES & APPLIANCES

- PF-1 (N) TOILET
- PF-2 (N) WATER FILLER
- PF-3 (N) LAVATORY
- PF-4 (N) LAVATORY FAUCET
- PF-5 (N) KITCHEN SINK
- PF-6 (N) KITCHEN FAUCET
- PF-7 (N) LAUNDRY SINK
- PF-8 (N) LAUNDRY FAUCET
- PF-9 (N) SHOWER HEAD
- PF-10 (N) SHOWER VALVE
- PF-11 (N) TUB FILLER
- PF-12 (N) TUB DRAIN
- PF-13 (N) BATHTUB
- PF-14 (N) SHOWER DRAIN
- AP-1 (N) REFRIDGERATOR
- AP-2 (N) COOK TOP
- AP-3 (N) RANGE EXHAUST
- AP-4 (N) DOUBLE OVEN
- AP-5 (N) DISHWASHER
- AP-6 (N) GARBAGE DISPOSAL
- AP-7 (N) CLOTHES WASHER
- AP-8 (N) CLOTHES DRYER
- AP-9 (N) WATER HEATER
- AP-10 (N) BATH FAN
- AP-11 (N) DRINK FRIDGE
- AP-12 (N) ICE MAKER
- EA-1 (N) ELECTRICAL PANEL
- EA-2 (N) CABINERY (SEE ELEV.)
- FA-3 (E) FIREPLACE
- FA-4 RESERVED

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

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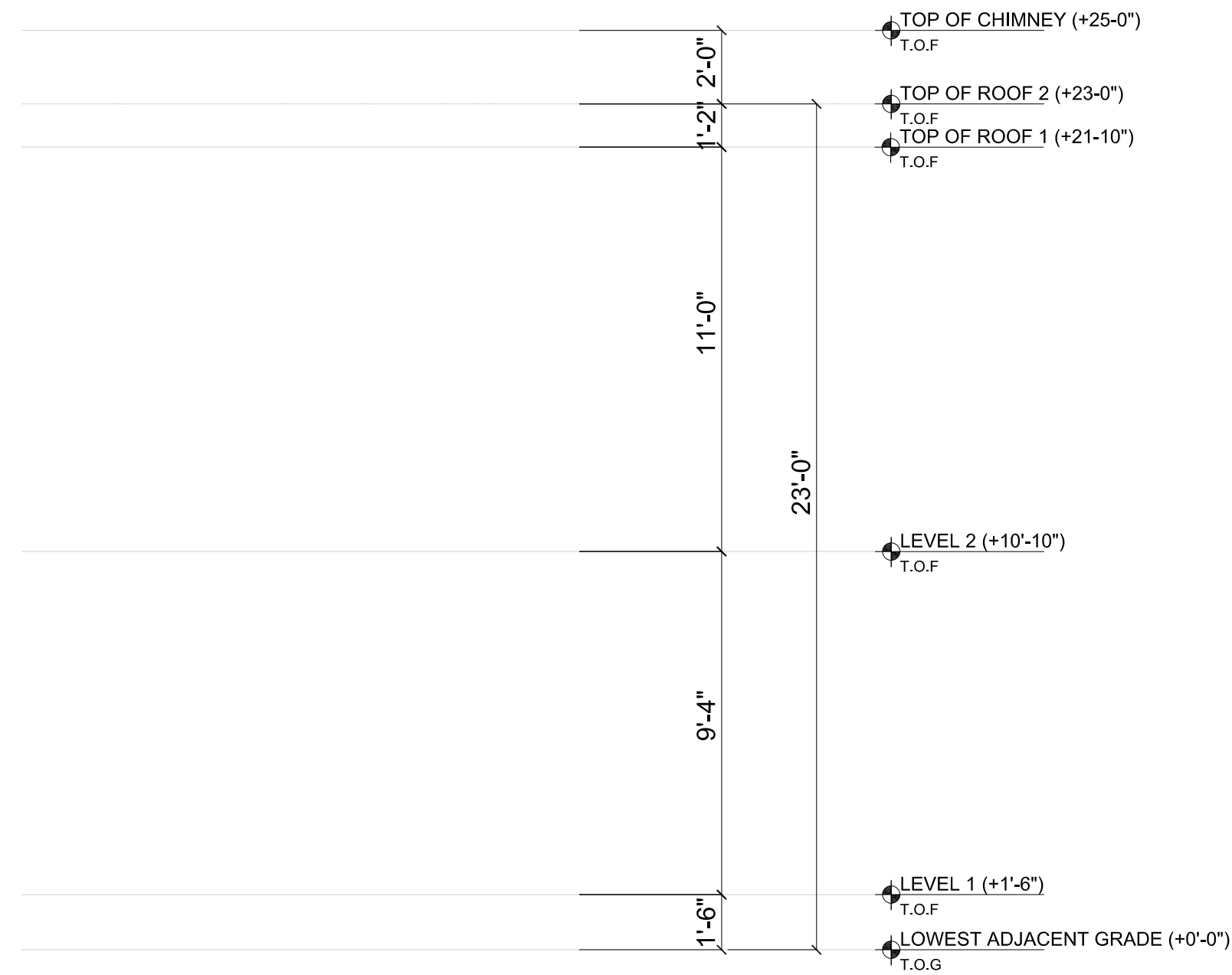
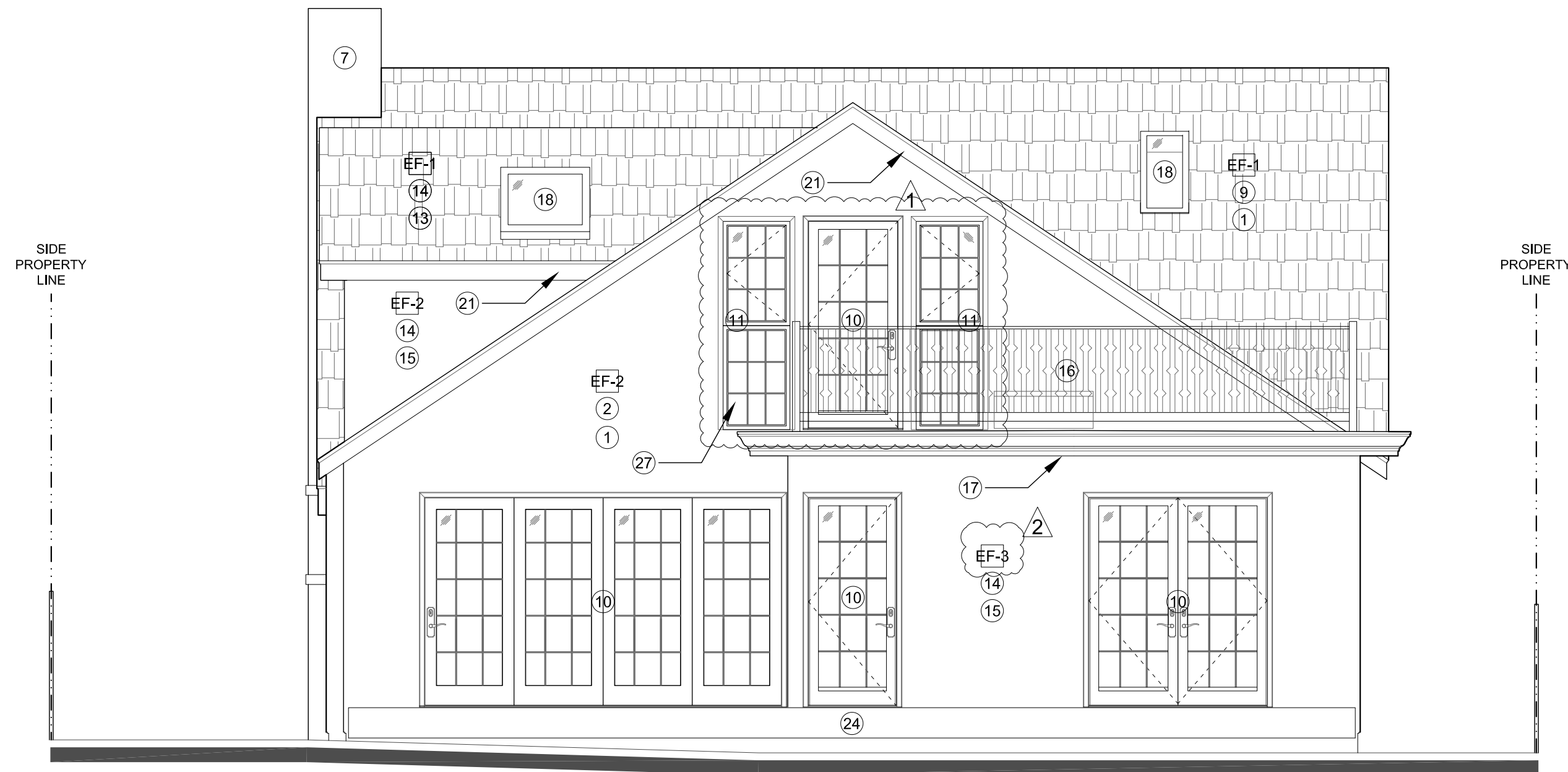
LEGAL INFO:
APN: 5320014028
TRACT: 4463
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LOT: 28
MAP: 70-74-5320-14

PLANS PREPARED BY:
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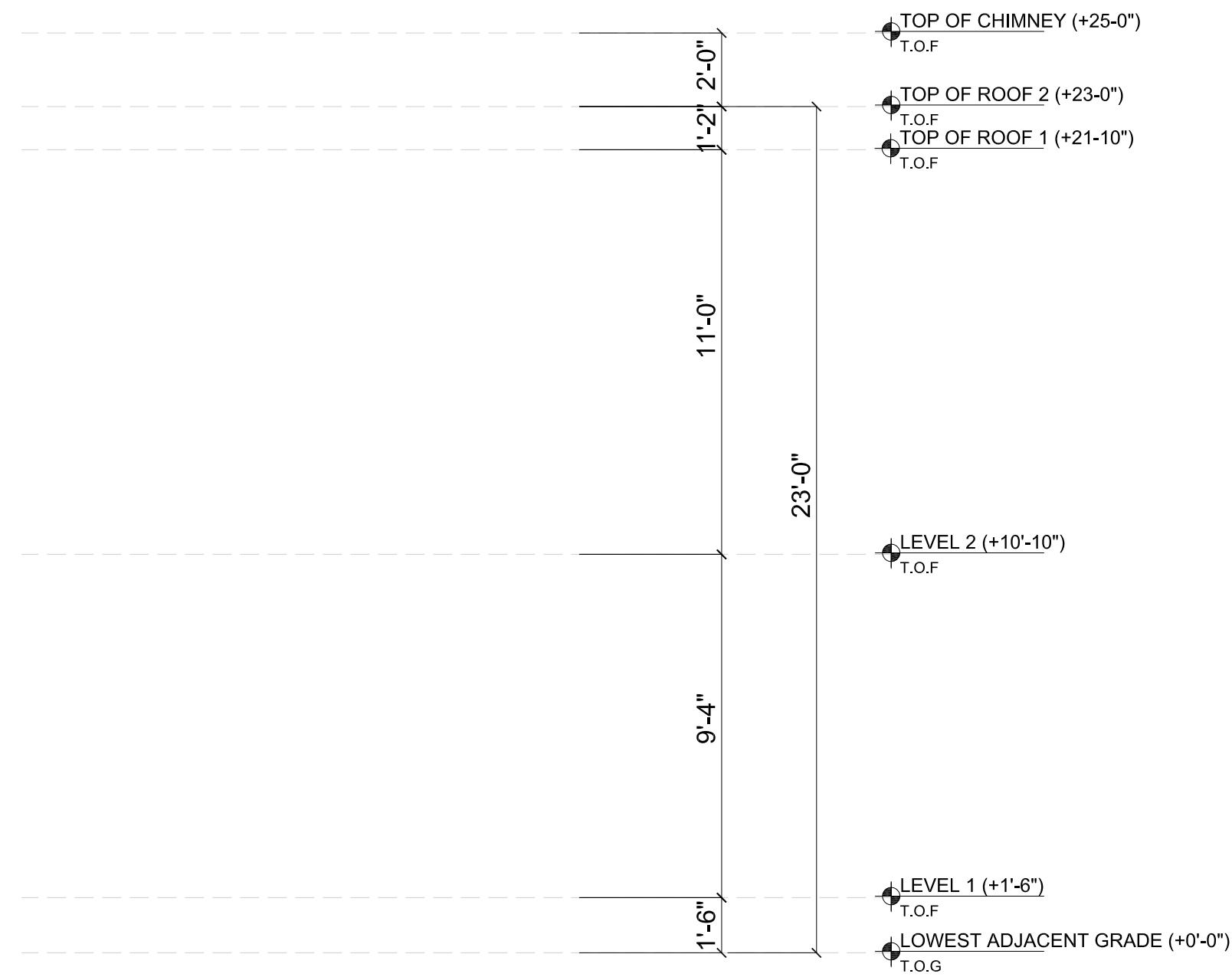
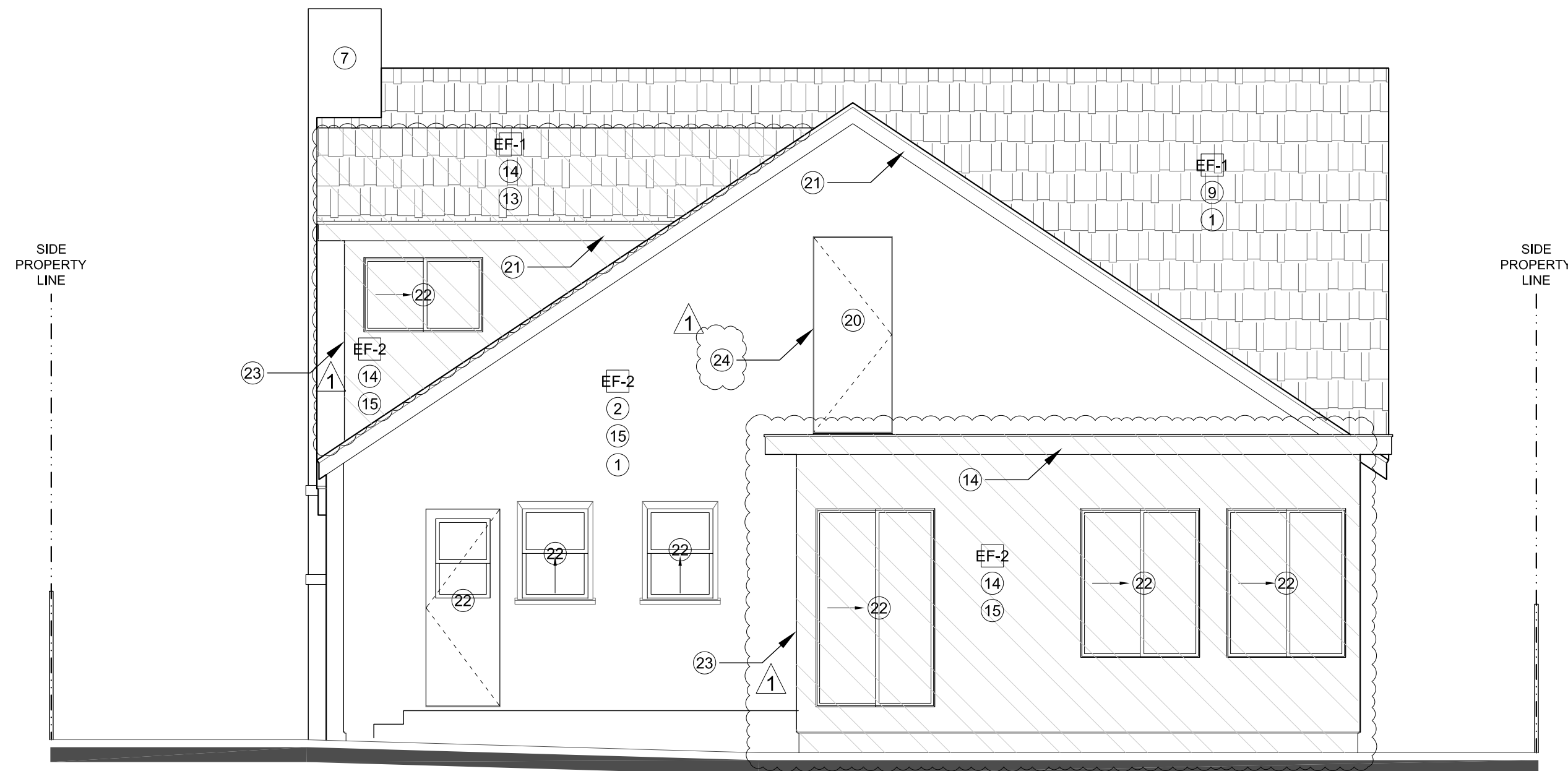
**PROPOSED & EXIST.
EXT. ELEVATIONS
EAST**

A3.3



EXTERIOR ELEVATION
WEST - PROPOSED
1/4" = 1'-0"

2



EXTERIOR ELEVATION
WEST - EXISTING
1/4" = 1'-0"

1

PLAN NOTES KEY

- 1 EXISTING STRUCTURE TO REMAIN AS-IS / NOT A PART OF PROPOSED WORK
- 2 EXISTING FINISH TO REMAIN AS-IS / NOT A PART
- 3 EXISTING DOOR TO REMAIN AS-IS / NOT A PART
- 4 EXISTING WINDOW TO REMAIN AS-IS / NOT A PART
- 5 EXISTING ELECTRICAL PANEL TO BE REMOVED & REPLACED AT LOCATION ON A1.1E & A3.2
- 6 EXISTING WATER HEATER TO BE REMOVED & REPLACED AT LOCATION ON A1.1E.
- 7 EXISTING ATTIC VENT TO REMAIN AS-IS / NOT A PART
- 8 EXISTING CHIMNEY TO REMAIN AS-IS / NOT A PART
- 9 EXISTING ROOFING TO REMAIN AS-IS / NOT A PART
- 10 NEW DOOR PER PLAN SHEETS & DOOR SCHEDULE
- 11 NEW WINDOW PER PLAN SHEETS & WINDOW SCHEDULE
- 12 NEW ATTIC VENT
- 13 EXISTING ROOFING TO BE REMOVED & REPLACED TO MATCH EXISTING
- 14 EXISTING WALLS & ROOF STRUCTURE TO BE REMOVED & REPLACED PER A1.2N & A1.3N
- 15 NEW EXTERIOR WALL FINISH PER TAG & FINISH SCHEDULE.
- 16 NEW GUARDRAIL PER 2/A0.10
- 17 NEW CORNICE & EAVE PER 2/A0.10
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- 19 EXISTING ATTIC VENT TO BE REMOVED.
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- 21 EXISTING FASCIA TO REMAIN AS-IS OR REPLACED AS NEEDED
- 22 EXISTING OPENING TO BE REMOVED, REPAIR OR REPLACEMENT TO BE COMPLETED PER PLAN
- 23 PRESUMED UN-PERMITTED ADDITION BY PRIOR OWNERSHIP
- 24 PRESUMED UN-PERMITTED WORK BY PRIOR OWNERSHIP
- 25 UNUSED

- DETAIL TAG

- ROOM TAG

LEGEND

- (E) WALL TO REMAIN OR REMOVE & REPLACE AS NEEDED PER WALL TYPE TAG
- (E) WALL TO BE REMOVED
- WALL TYPE TAG - REFER TO DETAILS 7, 8, 12, 13, 17 AND 18 ON SHEET A0.10
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- ROOM TAG
- FLOOR AREA TO BE ELIMINATED
- (E) UN-PERMITTED ADDITION

INTERIOR & EXTERIOR FINISHES

- | | |
|--|--------------------------|
| EF-1 (E) Hard Wood Flooring | EF-2 (E) Tile Flooring |
| EF-3 (E) Tile Flooring | EF-4 (E) Wall Tile |
| EF-1 (EN) Roofing - Shingles | EF-2 (EN) Stucco - 20/30 |
| EF-3 (N) Stucco - 20/30 Slightly darker colour than EF-2 | EF-4 Reserved |

FIXTURES & APPLIANCES

- | | |
|-------------------------------|----------------------------|
| EPB-1 (E) TOILET | EPB-2 UNUSED |
| EPB-3 (E) LAVATORY | EPB-4 (E) LAVATORY FAUCET |
| EPB-5 (N) KITCHEN SINK | EPB-6 (N) KITCHEN FAUCET |
| EPB-7 (N) LAUNDRY SINK | EPB-8 (N) LAUNDRY FAUCET |
| EPB-9 (N) SHOWER HEAD | EPB-10 (N) SHOWER VALVE |
| EPB-11 (N) TUB FILLER | EPB-12 (N) TUB DRAIN |
| EPB-13 (N) BATHTUB | EPB-14 (N) SHOWER DRAIN |
| EPB-1 (E) REFRIGERATOR | EPB-2 (E) RANGE |
| EPB-3 (E) RANGE EXHAUST | EPB-4 UNUSED |
| EPB-5 (E) DISHWASHER | EPB-6 (E) GARBAGE DISPOSAL |
| EPB-7 (E) CLOTHES WASHER | EPB-8 (E) CLOTHES DRYER |
| EPB-9 (E) WATER HEATER | EPB-10 UNUSED |
| EPB-1 (E) ELECTRICAL PANEL | EPB-2 (E) CABINETS |
| EPB-3 (E) FIREPLACE TO REMAIN | EPB-4 RESERVED |

2039 STRATFORD AVE, SOUTH PASADENA, CA 91030

AMANDA HAAS
RESIDENCE

DRAWN: AS

DATE: 5/11/24

ISSUED FOR

DATE	REMARKS
1/11/2024	CONCEPT DEVELOPMENT
5/11/2024	DESIGN DEVELOPMENT
6/24/2024	PLANNING SUBMITTAL
8/9/2024	PLANNING CORRECTIONS 1
9/19/2024	PLANNING CORRECTIONS 2

OWNER:

AMANDA HAAS
1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

LEGAL INFO:

APN: 5320014028
TRACT: 4403
BLOCK: NONE
LOT: 28
MAP: 70-74-5320-14

PLANS PREPARED BY:

ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLYDESIGNLABDEV.COM
P: 858-382-1627

Ashly Sigle

PROPOSED & EXIST.
EXT. ELEVATIONS
WEST

A3.4

GENERAL NOTES

DRAWN: AS
DATE: 5/11/24

ISSUED FOR	
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1500 SPRUCE STREET
SOUTH PASADENA, CA 91030

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PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLYDESIGNLABDEV.COM
P: 858-382-1627

Jolly Jigle

INTERIOR
ELEVATIONS
KITCHEN/LAUNDRY

A6.1

PLAN NOTES KEY

- 1 STONE COUNTER TOP - SPEC. TBD
- 2 VG WHITE OAK, CABINET FRONT/PANEL/FILLER, DOUBLE MICRO-SHAKER
- 3 VG WHITE OAK, CABINET FRONT/PANEL/FILLER, FLAT PANEL
- 4 RESERVED
- 5 RESERVED
- 6 RESERVED
- 7 BUILT-IN TILE & STONE SHOWER BENCH
- 8 21" DEEP CABINET
- 9 SKYLIGHT PER PLAN
- 10 TILE ALCOVE
- 11 WOOD FRAMED MIRROR
- 12 WOOD FRAMED MIRROR W/ MEDICINE CABINET
- 13 SOLID SURFACE WALL FINISH - SPEC. TBD
- 14 PAINTED DRYWALL
- 15 DRYWALL SOFFIT / COVE CEILING
- 16 PULL-OUT CLOTHES HAMPERS (TWO)
- 17 WALL ALCOVE - FINISH TBD
- 18 DOOR PER PLAN
- 19 WINDOW PER PLAN
- 20 PENDANT LIGHT FIXTURE - TBD
- 21 CABINETS PER 1-1A/A6.1
- 22 CABINETS PER 1-3A/A6.1
- 23 PULL-OUT SPICE CABINET
- 24 15" DEEP UPPER WALL CABINET
- 25 COVE CEILING AND ASSOCIATED MOLDING AND TRIM
- 26 ARCHWAY TRIM AT PASS THROUGH BETWEEN DINING & LIVING ROOMS
- 27 PULL-OUT TRASH DRAWER
- 28 CLOTHES HANGING POLE
- 29 LAUNDRY CHUTE FROM ABOVE
- 30 BROOM & WATER HEATER CLOSET

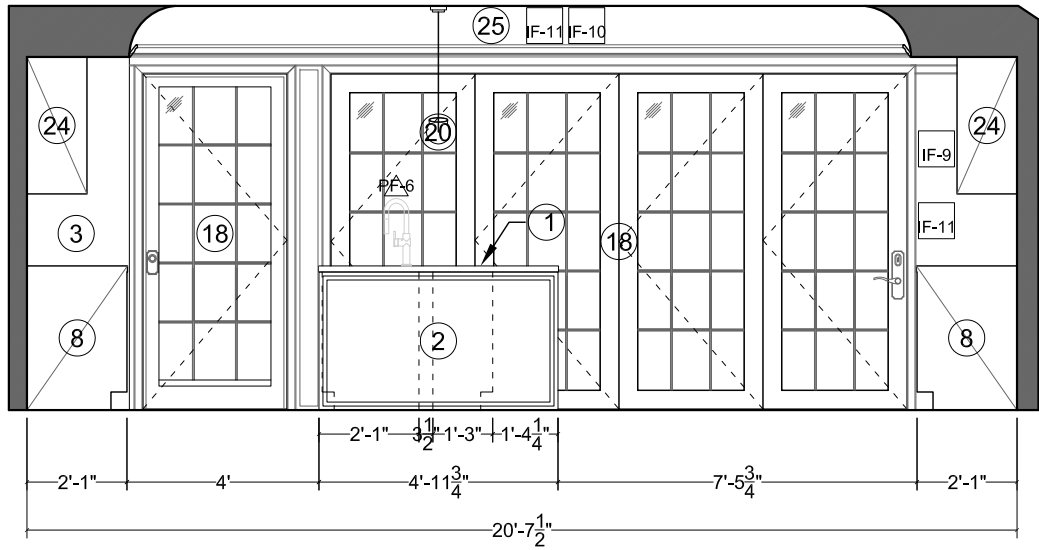
LEGEND

INTERIOR & EXTERIOR FINISHES

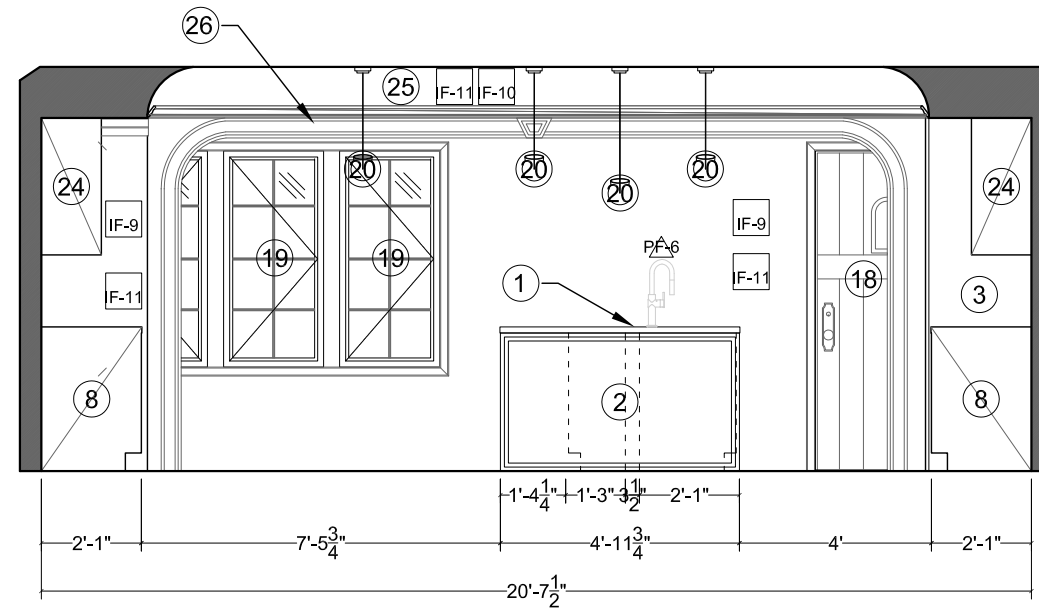
- | | |
|-----------------------------------|-----------------------------------|
| IF-1 (N) Engineered Wood Flooring | IF-2 (N) Tile Flooring |
| IF-3 (N) Tile Flooring | IF-4 (N) Tile Flooring |
| IF-5 (N) Wall Tile | IF-6 (N) Wall Tile |
| IF-7 (N) Solid Surface Countertop | IF-8 (N) Solid Surface Countertop |
| IF-9 (N) Paint - Wall | IF-10 (N) Paint - Ceiling |
| IF-11 (N) Drywall | IF-12 Reserved |
| EF-1 (EN) Roofing - Shingles | EF-2 (EN) Stucco - 2030 |

FIXTURES & APPLIANCES

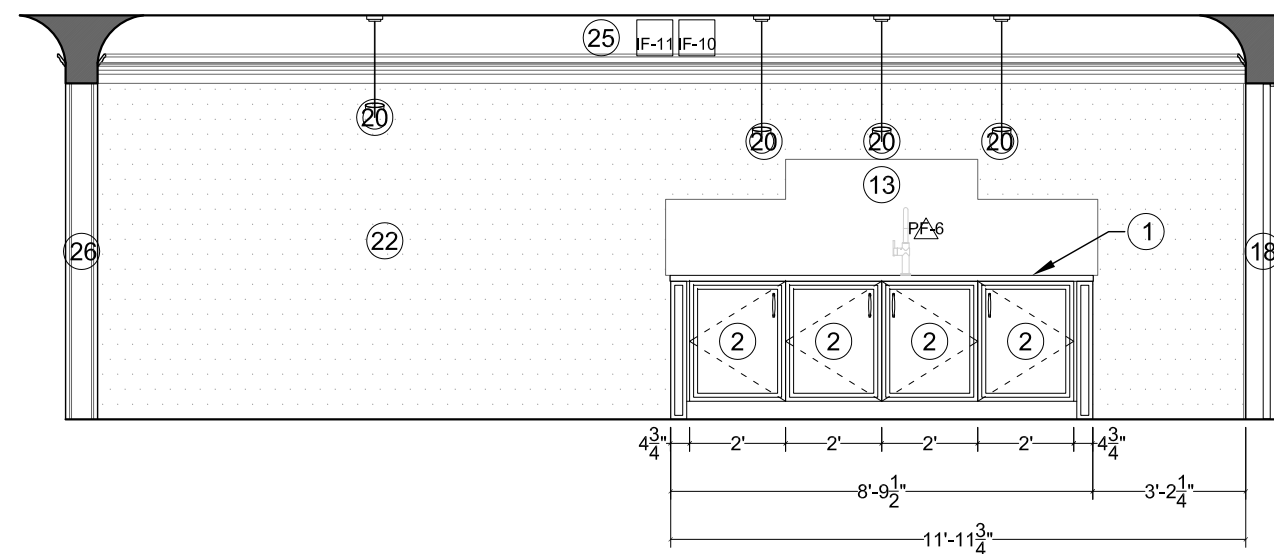
- | | |
|---------------------------|--------------------------------|
| PF-1 (N) TOILET | PF-2 (N) WATER FILLER |
| PF-3 (N) LAVATORY | PF-4 (N) LAVATORY FAUCET |
| PF-5 (N) KITCHEN SINK | PF-6 (N) KITCHEN FAUCET |
| PF-7 (N) LAUNDRY SINK | PF-8 (N) LAUNDRY FAUCET |
| PF-9 (N) SHOWER HEAD | PF-10 (N) SHOWER VALVE |
| PF-11 (N) TUB FILLER | PF-12 (N) TUB DRAIN |
| PF-13 (N) BATHTUB | PF-14 (N) SHOWER DRAIN |
| AP-1 (N) REFRIGERATOR | AP-2 (N) COOK TOP |
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| AP-11 (N) DRINK FRIDGE | AP-12 (N) ICE MAKER |
| FX-1 (N) ELECTRICAL PANEL | FX-2 (N) CABINetry (SEE ELEV.) |
| FX-3 (E) FIREPLACE | FX-4 (N) SHOWER GLASS |



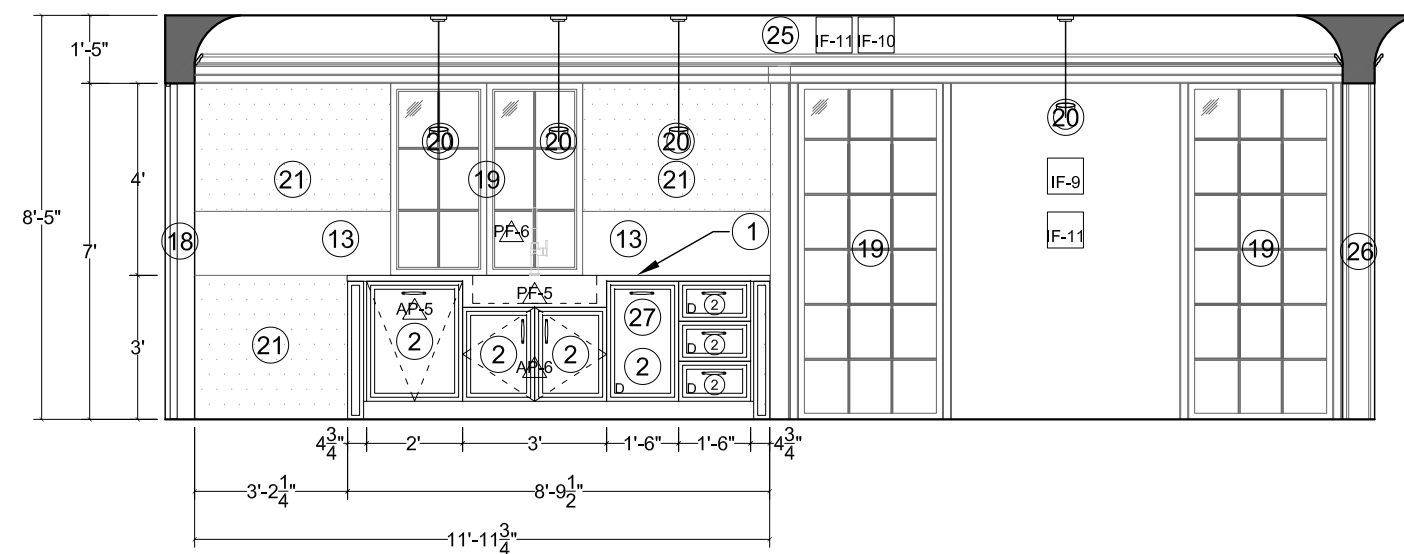
KITCHEN - ISLAND
LIVING ROOM SIDE
1/4" = 1'-0" 1-4



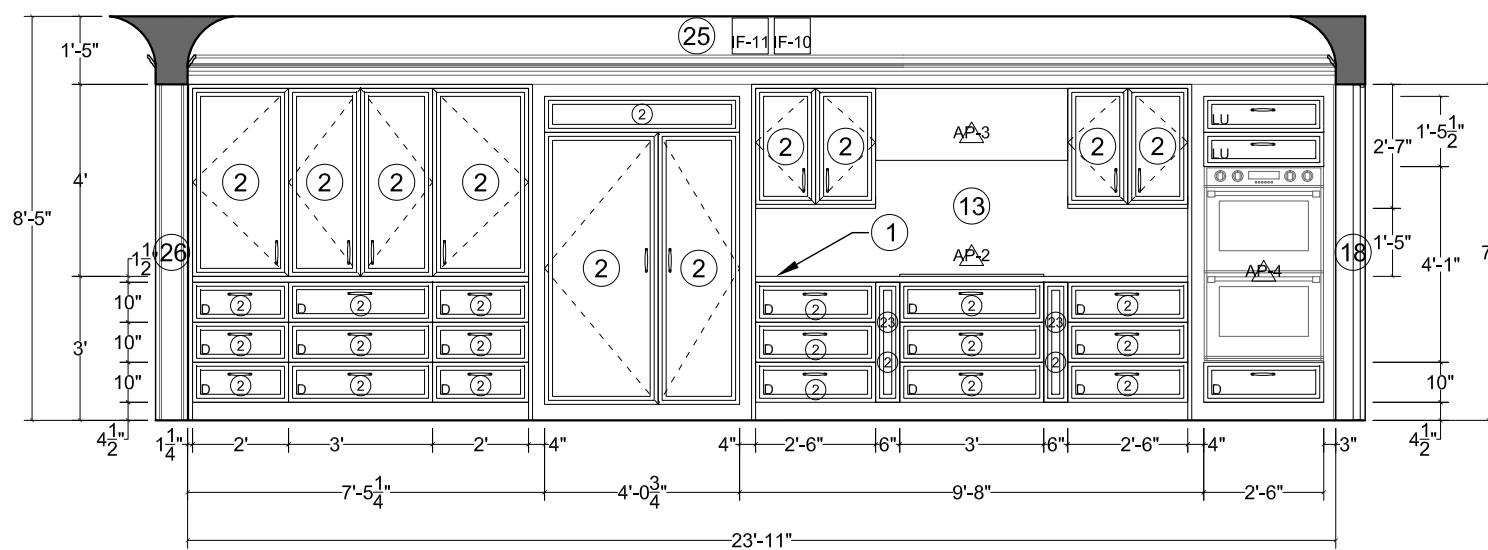
KITCHEN - ISLAND
REAR YARD SIDE
1/4" = 1'-0" 1-2



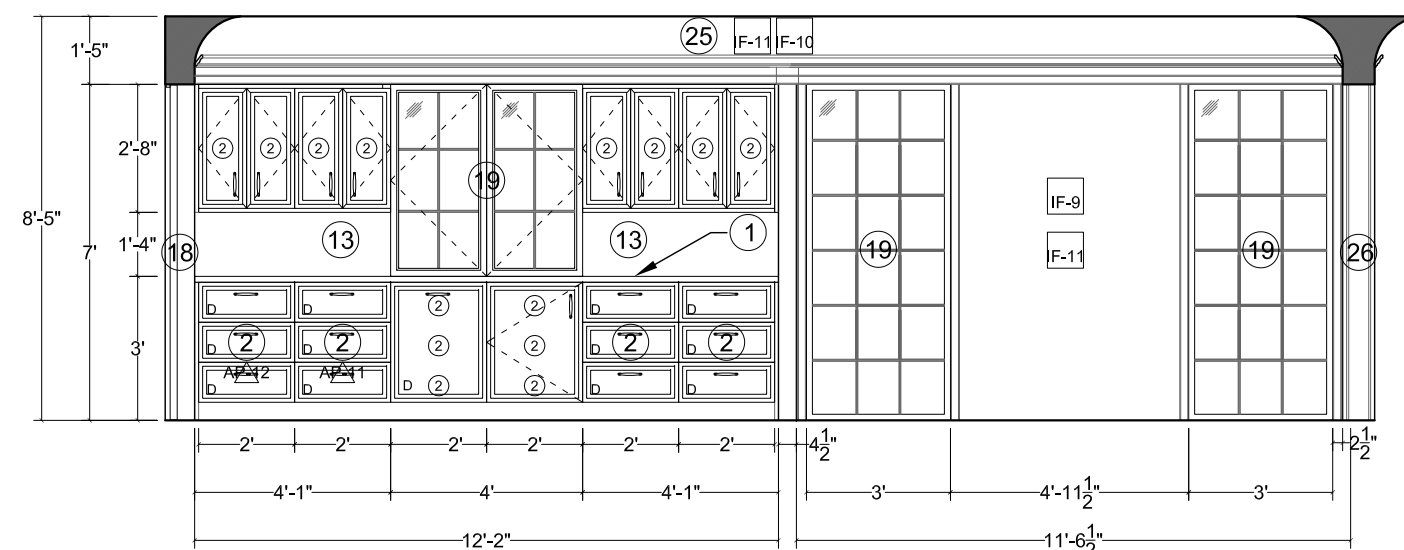
KITCHEN - ISLAND
BUFFET SIDE
1/4" = 1'-0" 1-3B



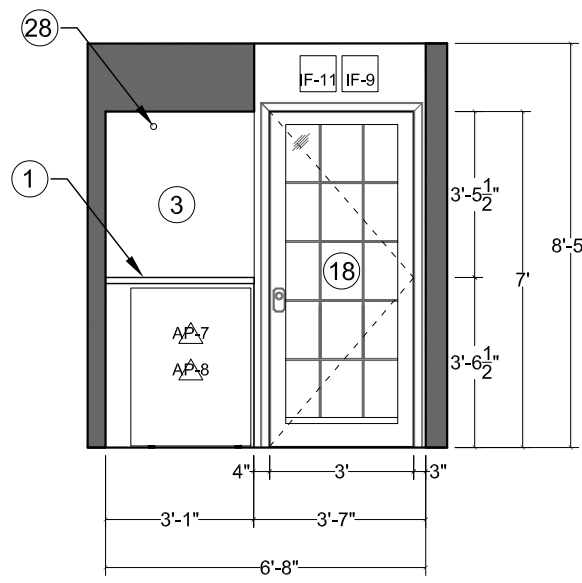
KITCHEN - ISLAND
MAIN SIDE
1/4" = 1'-0" 1-1B



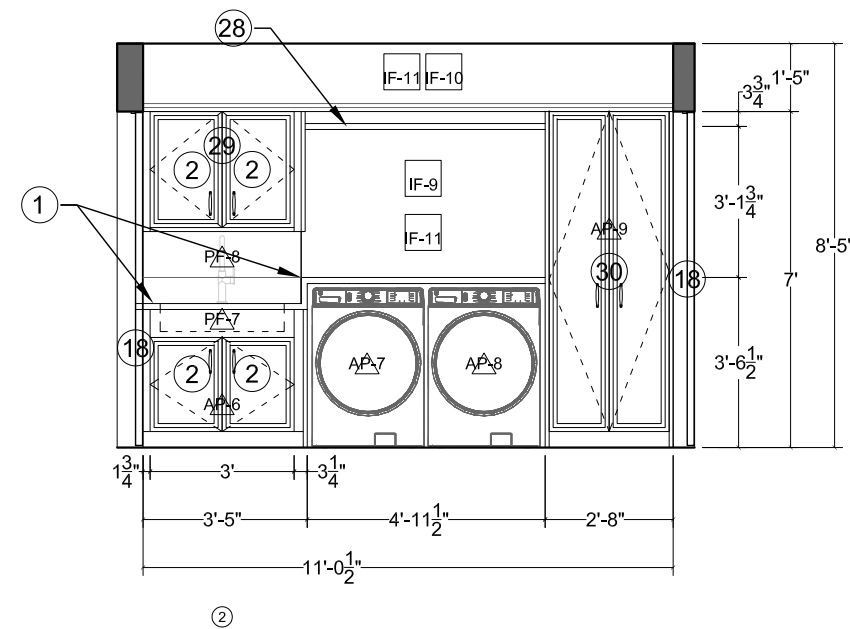
KITCHEN - MAIN WALL 1-3A
1/4" = 1'-0"



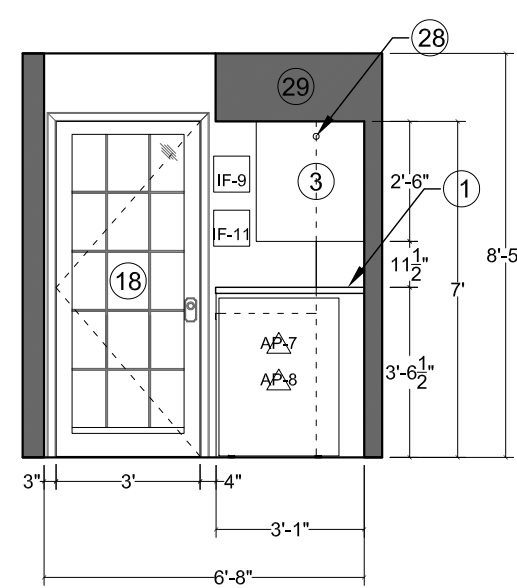
KITCHEN - BUFFET 1-1A
1/4" = 1'-0"



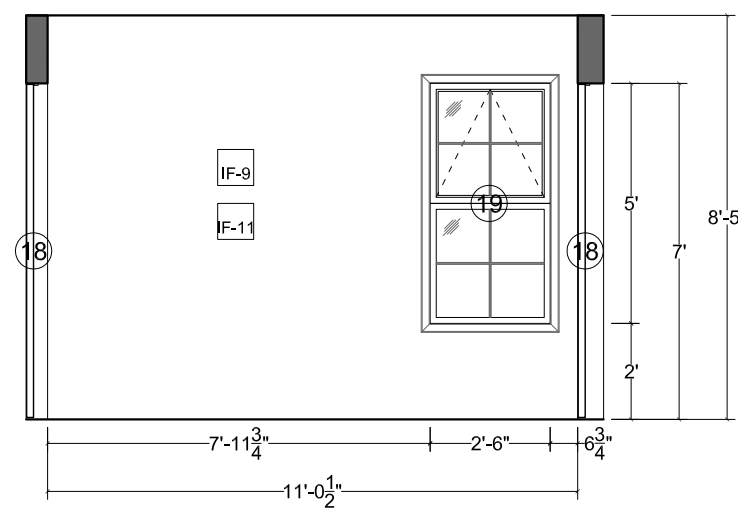
LAUNDRY
1/4" = 1'-0" 2-4



LAUNDRY
1/4" = 1'-0" 2-3



LAUNDRY
1/4" = 1'-0" 2-2



LAUNDRY
1/4" = 1'-0" 2-1

GENERAL NOTES

1. ALL DIMENSIONS ARE TO BE CONFIRMED PRIOR TO FABRICATION, AFTER ROUGH FRAMING, AFTER APPLIANCE AND PLUMBING FIXTURE ARE SPECIFICATIONS ARE FINALIZED, AND AFTER COUNTER TOP DETAILS ARE FINALIZED.
2. FINISHERS ARE SUBJECT TO CHANGE PENDING INPUT FROM CABINET FABRICATOR AND APPLIANCE DATA SHEETS RE: NECESSARY TOLERANCES.
3. ALL CABINET BOXES TO BE HARDWOOD - SPECIFICATION PENDING INPUT FROM FABRICATOR RE: MOST COST EFFECTIVE QUALITY CHOICE.
4. CABINETS TO BE EQUIPPED WITH IN-CABINET LIGHTING.
5. ALL UPPIERS AND OPEN SHELVES TO BE EQUIPPED WITH UNDER CABINET LIGHTING AND DETAILED ACCORDINGLY.
6. ALL CABINET HARDWARE IS TBD.
7. ALL CABINET DOOR AND DRAWERS TO BE EQUIPPED WITH SOFT CLOSE HARDWARE.
8. ALL CABINETS TO BE FRAMELESS & FULL OVERLAY.

DRAWN: AS
DATE: 5/11/24

ISSUED FOR

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PLANS PREPARED BY:
ASHLY SIGLE
606 MONTEREY PASS ROAD, 2ND LEVEL
MONTEREY PARK, CA 91754
E: ASHLY@DESIGNLABDEV.COM
P: 858-382-1627

Ashly Sigle

PLAN NOTES KEY

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- 21 RESERVED
- 22 RESERVED
- 23 RESERVED
- 24 RESERVED
- 25 RESERVED
- 26 RESERVED
- 27 RESERVED
- 28 RESERVED

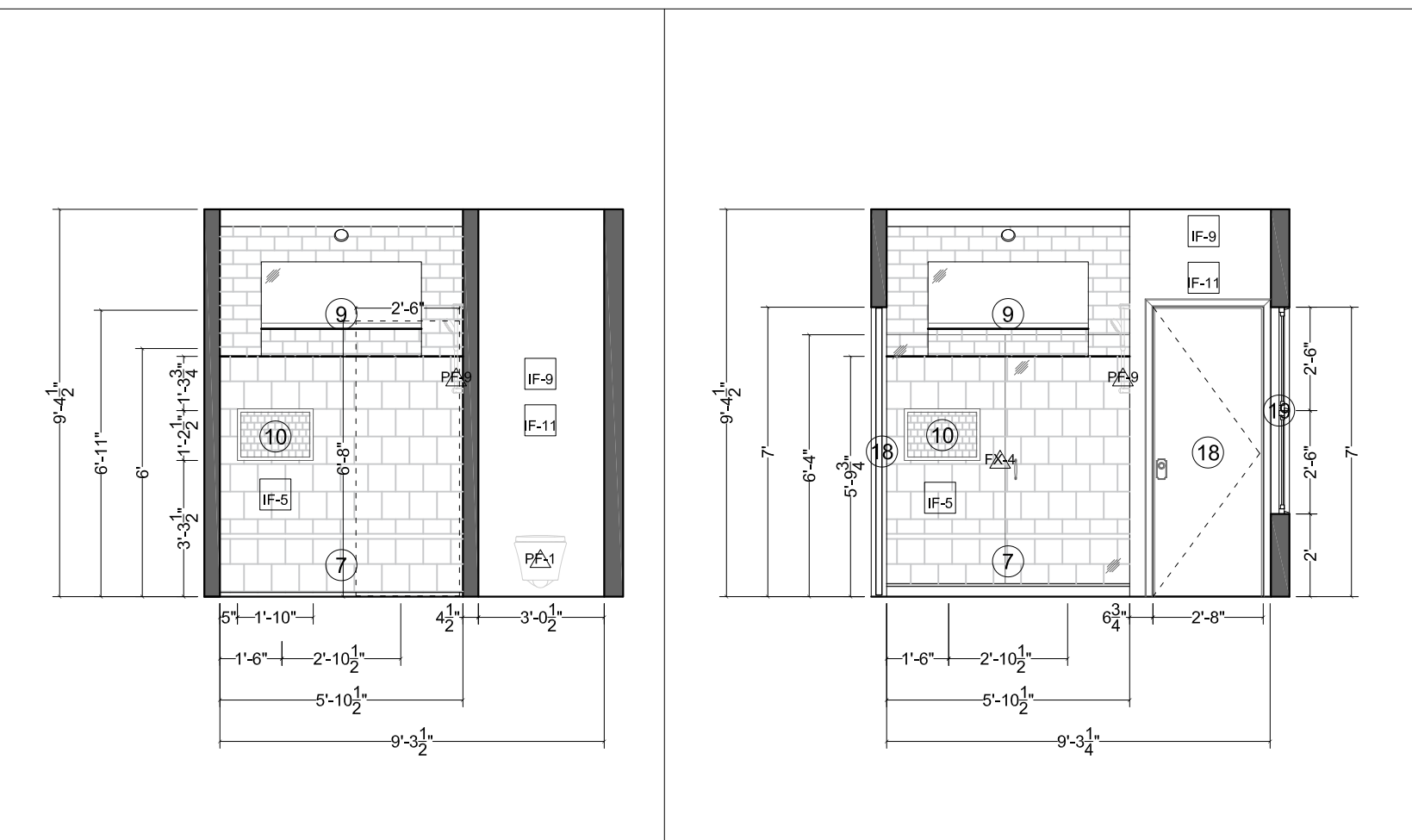
LEGEND

INTERIOR & EXTERIOR FINISHES

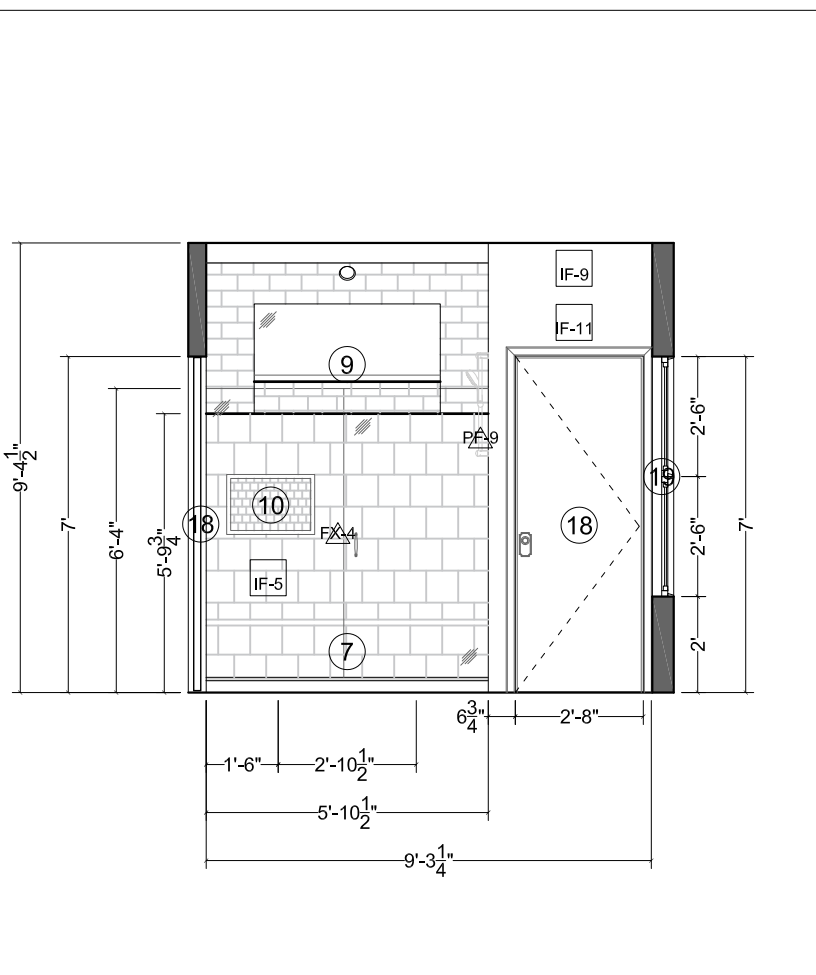
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IF-3 (N) Tile Flooring	IF-4 (N) Tile Flooring
IF-5 (N) Wall Tile	IF-6 (N) Wall Tile
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EF-1 (EN) Roofing - Shingles	EF-2 (EN) Stucco - 2030

FIXTURES & APPLIANCES

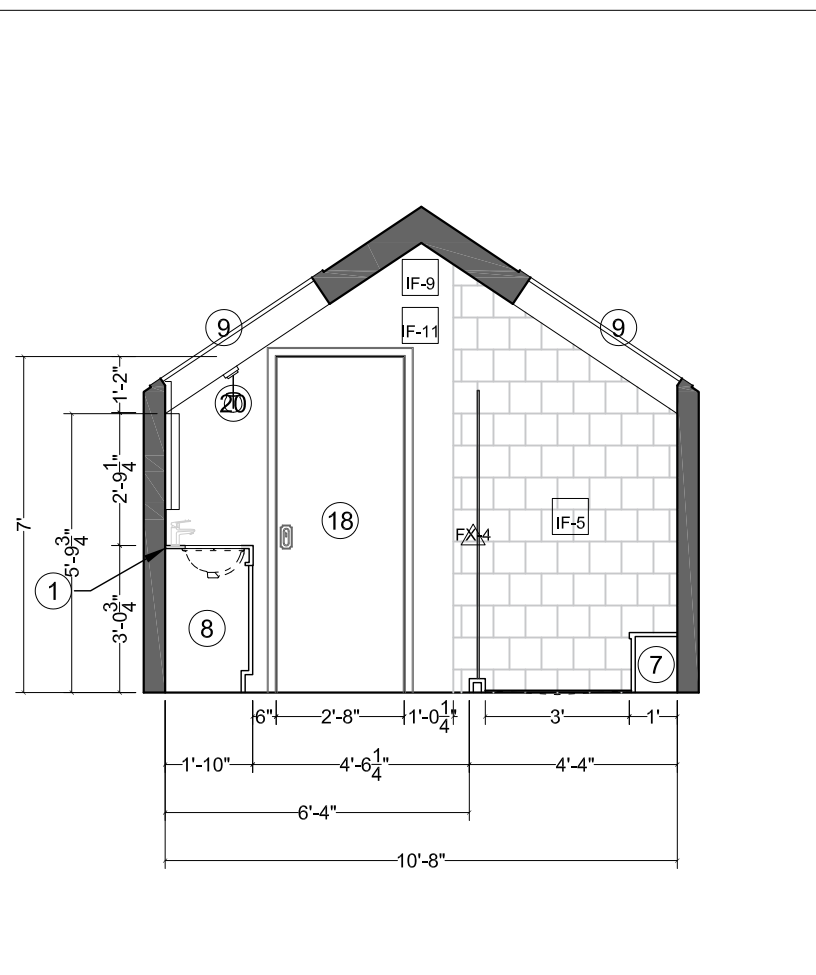
PF-1 (N) TOILET	PF-2 (N) WATER FILLER
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FX-3 (E) FIREPLACE	FX-4 (N) SHOWER GLASS



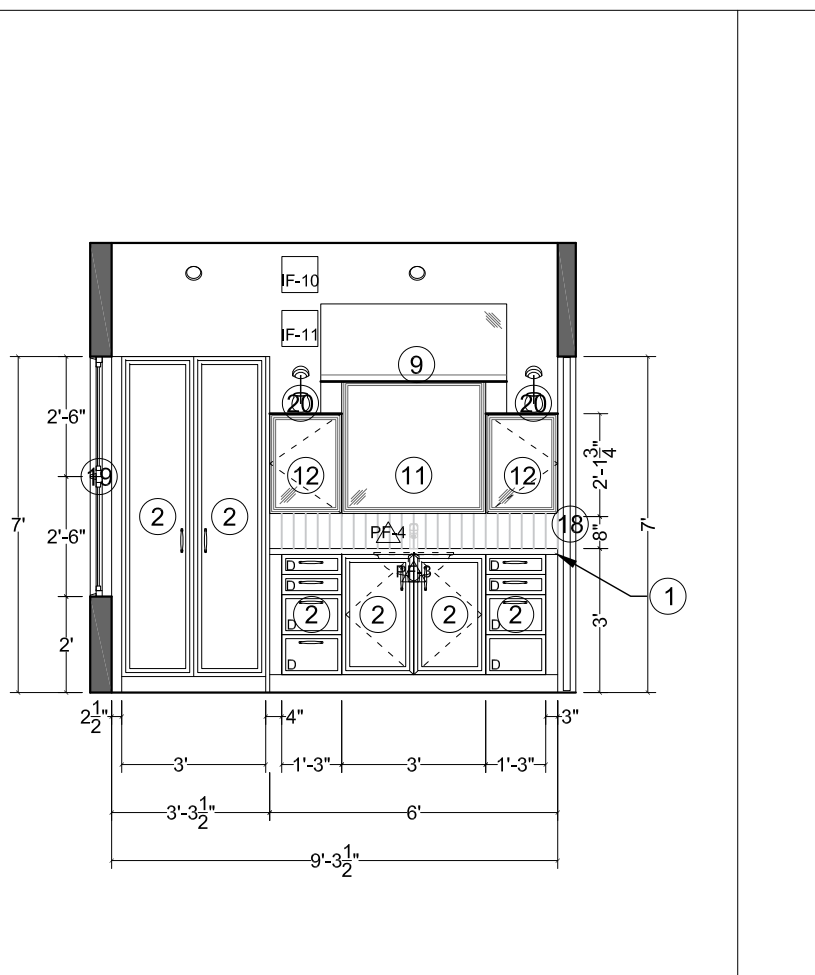
INT. ELEV. - BATH 3 3-4B
1/4" = 1'-0"



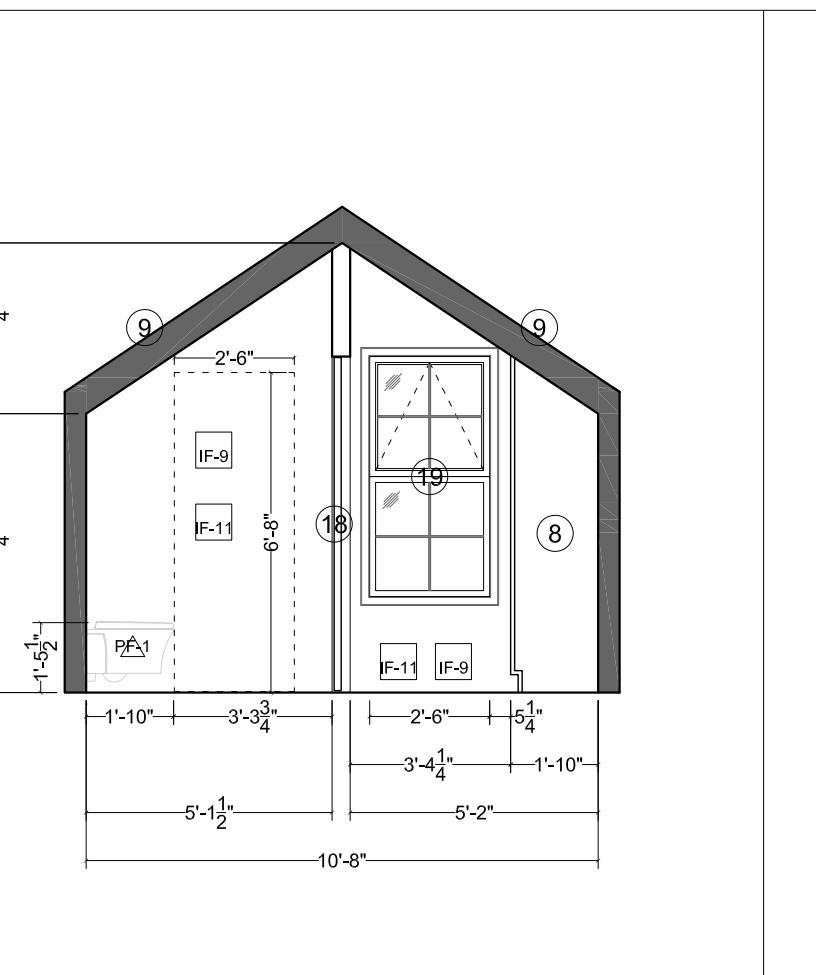
INT. ELEV. - BATH 3 3-4A
1/4" = 1'-0"



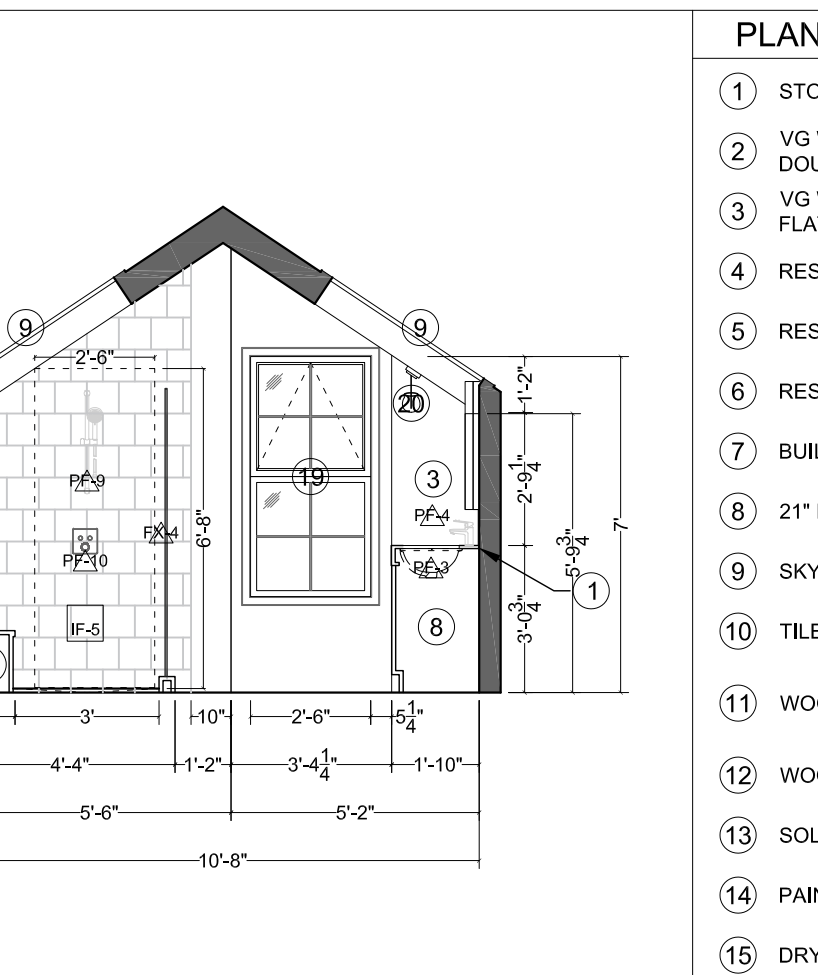
INT. ELEV. - BATH 3 3-3
1/4" = 1'-0"



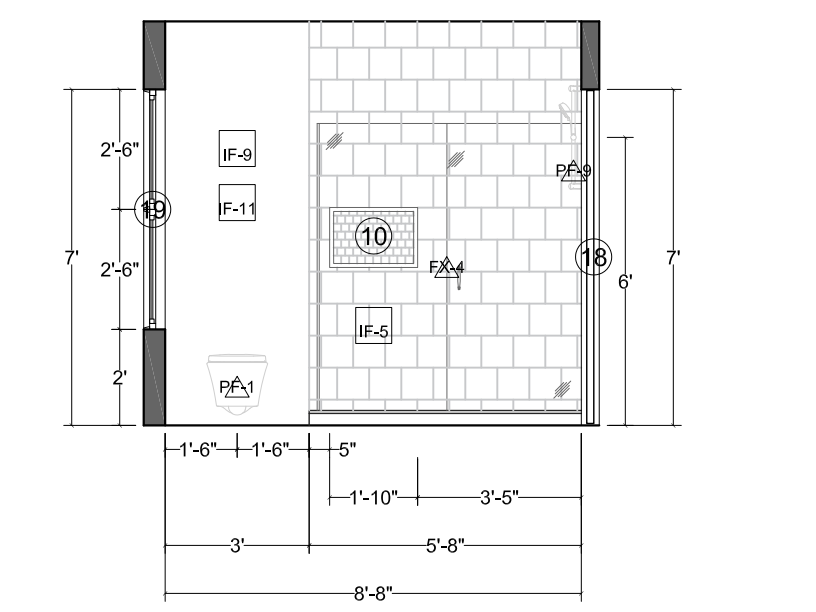
INT. ELEV. - BATH 3 3-2
1/4" = 1'-0"



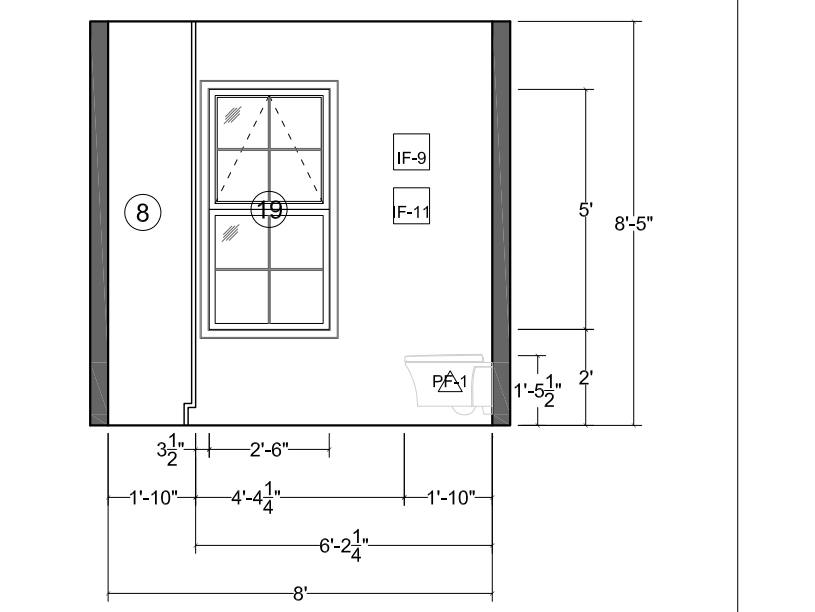
INT. ELEV. - BATH 3 3-1B
1/4" = 1'-0"



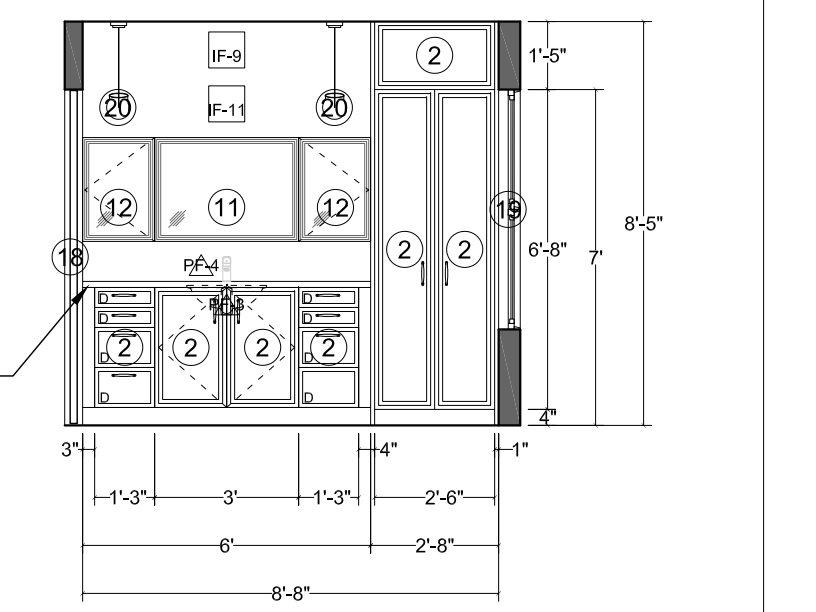
INT. ELEV. - BATH 3 3-1A
1/4" = 1'-0"



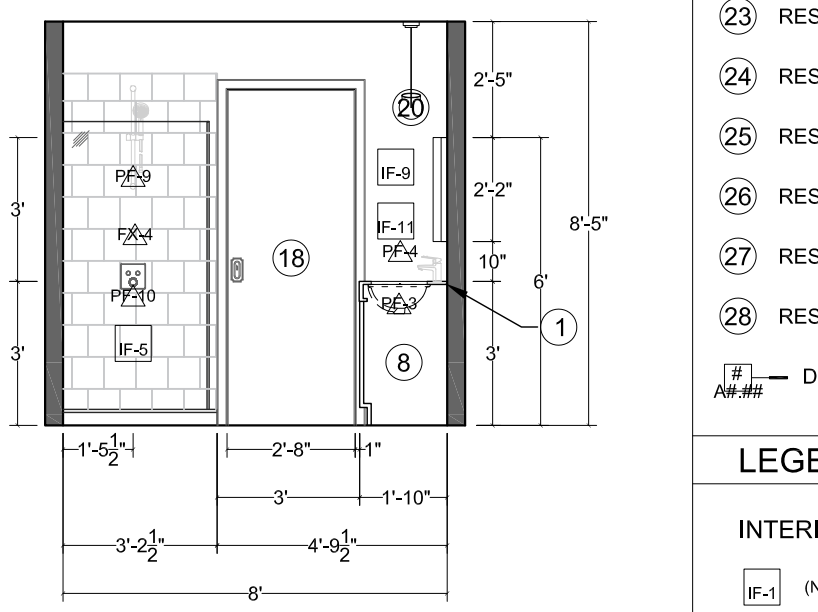
INT. ELEV. - BATH 2 2-4
1/4" = 1'-0"



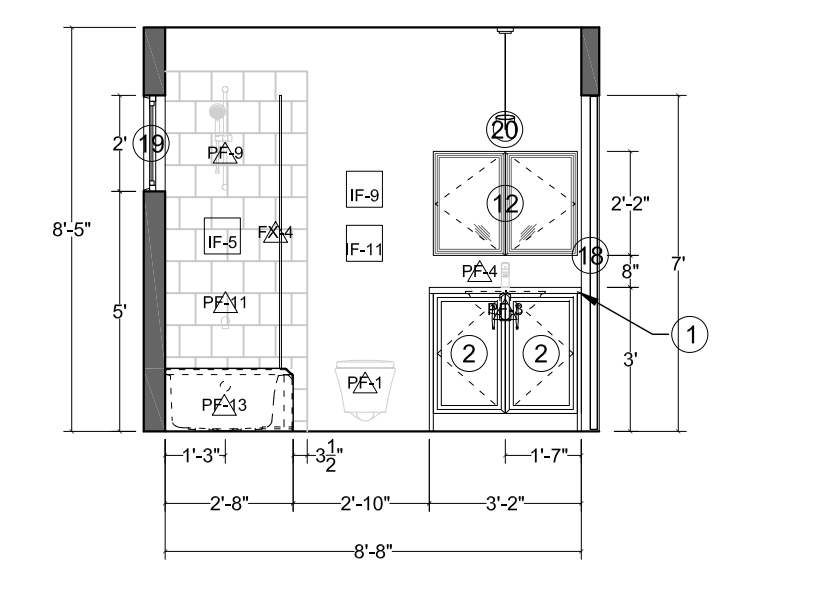
INT. ELEV. - BATH 2 2-3
1/4" = 1'-0"



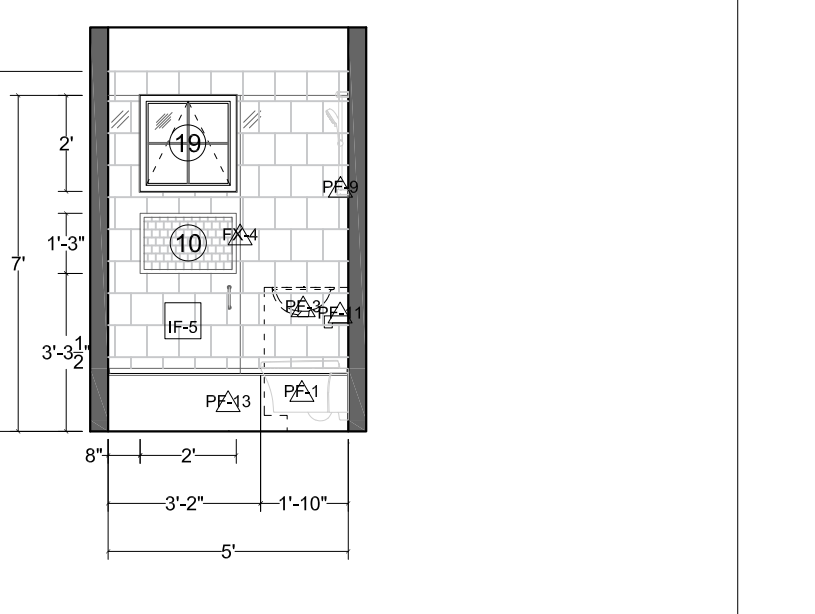
INT. ELEV. - BATH 2 2-2
1/4" = 1'-0"



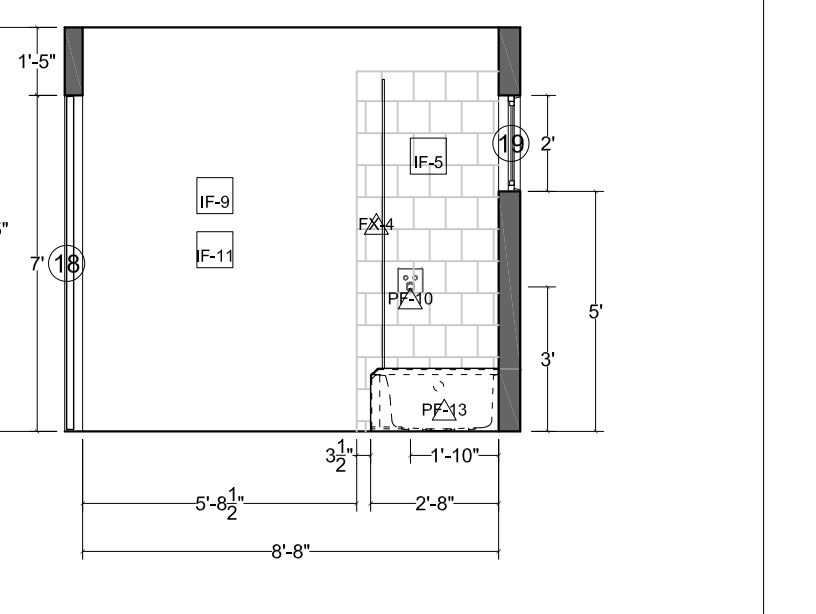
INT. ELEV. - BATH 2 2-1
1/4" = 1'-0"



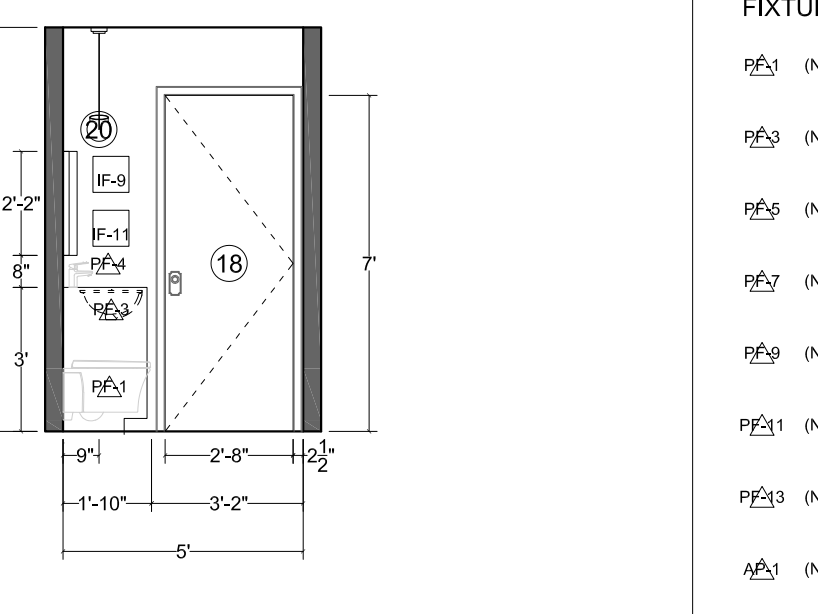
INT. ELEV. - BATH 1 1-4
1/4" = 1'-0"



INT. ELEV. - BATH 1 1-3
1/4" = 1'-0"



INT. ELEV. - BATH 1 1-2
1/4" = 1'-0"



INT. ELEV. - BATH 1 1-1
1/4" = 1'-0"

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ATTACHMENT 4








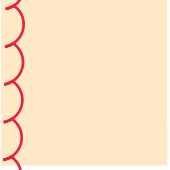








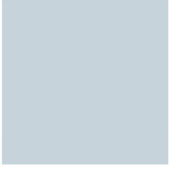

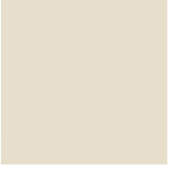
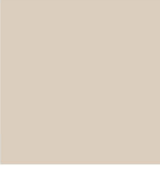
Materials Brochure

 [Distributor Locator](#)

Color Charts

- + Submittals
- + Specifications
- + Details
- + Warranty
- + Tech Support
- + Literature
- + Color Charts
- + Textures
- + **Green/LEED**

LaHabra Platinum Plus

				
Chablis 12 (74) Base 100	Misty 17 (48) Base 200	Aspen 23 (60) Base 200	Santa Fe 24 (50) Base 200	San Simeon 34 (61) Base 200
				
Dove Grey 40 (66) Base 200	Crystal White 50 (79) Base 100	Miami Peach 71 (61) Base 100	Adobe 72 (50) Base 200	Egg Shell 73 (76) Base 100
				
Oatmeal 81 (68) Base 200	Hacienda 82 (59) Base 200	Mesa Verde 215 (48) Base 200	Trabuco 278 (42) Base 200	Fallbrook 434 (42) Base 200
				
Viejo 475 (47) Base 200	Blue Grey 504 (47) Base 200	Southern Moss 696 (42) Base 200	Silverado 820 (48) Base 200	Clay 830 (40) Base 200

[Roofing Materials](#) > [Residential Roofing Materials](#) > [Shingles](#) > [Grand Sequoia®](#)

Grand Sequoia®

Artisan-crafted shapes combined with oversized tabs result in a sophisticated beauty unmatched by typical shingles.

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Weathered Wood



Autumn Brown



Cedar



Charcoal



Mesa Brown

FOLDING OUTSWING DOORS

- 24 Features & Options
- 26 Exterior & Interior Options
- 27 Design Criteria
- 27 Styles & Sizing
- 28 Configurations
- 29 Door Details
- 33 Performance





STATELY
Walls of Light

FOLDING OUTSWING DOORS

FEATURES

When closed, these folding outswing doors create a stately wall of light. When open, they transform a room into a gateway to the world outside. With standard or custom panel designs, they fit openings between 3' 3" (991) to 48' (14630) wide and between 3' 5 3/8" (1051) to 10' (3048) in height. Doors can be built to open from the left, right or center and can be used as pass-through windows for outdoor entertaining areas.

Frame

- A** Heavy-duty extruded aluminum cladding protects the exterior from the elements. Both frame and panels are available with wood exteriors as a special product request.
- B** The engineered wood frame members are treated with a water-repellent wood preservative for long-lasting* protection and performance.

Sill

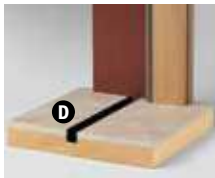
Three sill options are available:

- C** The on-floor drainage sill offers a PG 40 rating for sizes up to 24' (7315) wide and 8' (2438) and PG 30 rating for sizes up to 24' (7315) wide and 10' (3048) tall, and is available in painted gray or dark bronze.
- D** The flush sill option places the track even with the finished floor.
- E** The on-floor low-threshold sill option provides easy accessibility. Available in painted gray or dark bronze.

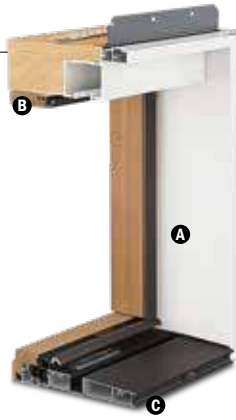
On-Floor Drainage Sill



Flush Sill



On-Floor Low-Threshold Sill



High-Profile Sill Stop

For better security against water infiltration an optional 2 7/8" high-profile sill stop is available (water penetration resistance test pressure 7.5 psf). See page 27 for detail.

Panel

The aluminum-clad panel has a dual weatherstrip design at the bottom and along the panel edges, providing a weathertight seal. Available in a contemporary style with 3 11/16" (94) equal stiles and rails. A traditional style with 4 11/16" (119) stiles and top rail with three bottom rail heights of 4 11/16" (119), 8" (203) and 12" (305).

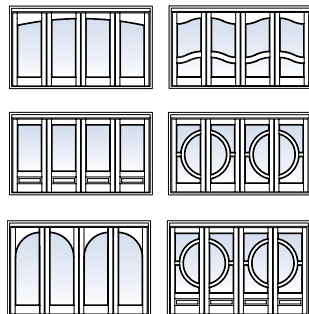
Contemporary Panel
3 11/16" rails and stiles



Traditional Panel
8" bottom rail shown, 4 11/16" and 12" bottom rail also available

Custom Panel Examples

Rectangular panels are available with virtually any design.** See your Andersen supplier for details.



Exterior Finish

The aluminum exterior frame and clad panels feature a durable, low-maintenance AAMA 2605 finish.

Glass

Panels are silicone bed glazed and finished with an interior stop. Ovolo (colonial) or contemporary glass stops are available on clad wood panels.

Glass spacer bars are available in stainless steel or optional black.

High-Performance glass options include:

Dual-pane:

- Low-E4® tempered glass
- Low-E4 HeatLock® tempered glass
- Low-E4 Sun tempered glass
- Low-E4 SmartSun™ tempered glass
- Low-E4 SmartSun HeatLock tempered glass
- Low-E4 PassiveSun® tempered glass

Triple-pane for greater energy performance:

- Low-E4 tempered glass
- Low-E4 Enhanced tempered glass
- Low-E4 SmartSun tempered glass
- Low-E4 SmartSun Enhanced tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and also simplifies finishing at the jobsite.

Hardware

Multi-Point Locking System



The folding outswing door has a multi-point locking system with a hook bolt above and below the center deadbolt along with flush bolts on the panels that lock into the head and sill. This system provides a weathertight seal and enhanced security. The flush bolts and pull handles are available in a matte black or satin stainless steel finish.

Concealed Shoot Bolt



Concealed shoot bolt hardware is standard on doors with contemporary panels. Available in brushed stainless steel or bronzed stainless steel finishes.

Flush Shoot Bolt



Flush shoot bolt hardware is standard on doors with traditional panels. Available in matte black or satin stainless steel finishes.

Pull Handle



A pull handle is available on doors with both contemporary and traditional style panels. Available in matte black or satin stainless steel finishes.

* Visit andersenwindows.com/warranty for details.

** Custom panels utilize a different product design that includes the use of a proud glazing bead. Dimensions in parentheses are in millimeters.

HARDWARE *Sold separately.*



YUMA®
Distressed Bronze
Distressed Nickel



ENCINO®
Distressed Bronze
Distressed Nickel



ANVERS®
Bright Brass
Oil Rubbed Bronze
Satin Nickel



NEWBURY®
Antique Brass
Bright Brass
Brushed Chrome
Oil Rubbed Bronze
Polished Chrome
Satin Nickel



COVINGTON™
Antique Brass
Bright Brass
Oil Rubbed Bronze



WHITMORE®
Antique Brass
Bright Brass
Oil Rubbed Bronze
Satin Nickel



ALBANY™
Black
Gold Dust
Stone
White



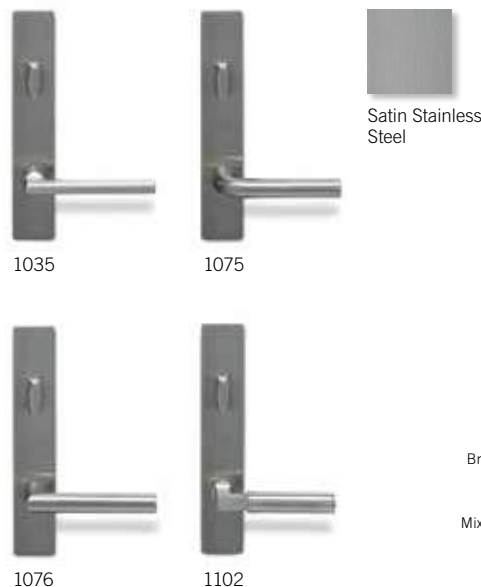
TRIBECA®
Stone
White

Bold name denotes finish shown.

HARDWARE FINISHES



FSB® HARDWARE OPTIONS



ACCESSORIES *Sold separately.*

Frame

Extension Jamb

Base jamb depth is 6 9/16" (167). Interior extension jamb are available in 1/16" (1.5) increments between 5 1/16" (129) and 12" (305).

Exterior Trim

Aluminum Brick Mould

Aluminum brick mould is optional for clad doors. See page 27 for details.

Aluminum Frame Extender

An optional aluminum frame extender to assist with retro-fitting new door units into existing openings. See page 27 for details.

Insect Screens

Retractable insect screens are available. Contact your Andersen supplier for details.

Grilles

Full Divided Light and Simulated Divided Light styles in 7/8" (22), 1 1/8" (29) and 1 1/2" (38) widths. Removable wood grilles and Finelight™ grilles-between-the-glass are also available.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

Bright brass and satin nickel finishes feature a 10-year limited warranty.

Tribeca and Albany hardware are zinc diecast with powder-coated durable finish. Other hardware is solid forged brass.

Mix and match interior and exterior style and finish options are available, excludes FSB hardware.

Printing limitations prevent exact replication of finishes. See your Andersen supplier for actual finish samples.

Dimensions in parentheses are in millimeters.

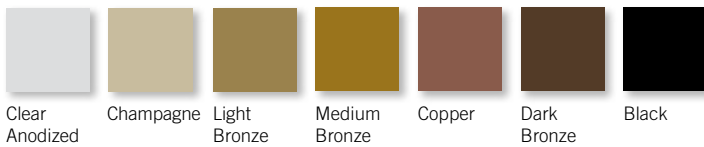
"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

FOLDING OUTSWING DOORS

ALUMINUM-CLAD WOOD DOOR EXTERIOR Custom colors available.

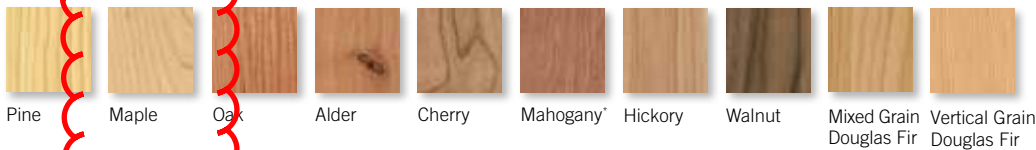


ANODIZED FINISH OPTIONS



INTERIOR

WOOD SPECIES



Naturally occurring variations in grain, color and texture of wood make each door one of a kind. All wood interiors are unfinished unless a painted option is specified.

PAINTED OPTIONS Available on pine.



* Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

** Dark bronze and black also available on maple.

† Anodized silver available on maple only.

Printing limitations prevent exact duplication of finishes. See your Andersen supplier for actual finish samples.

Design Criteria

To allow for proper performance and operation, verify the structural integrity of the header such that the maximum deflection with live and dead loads is limited to the lesser of L/750 of the span and 1/4" (6). The maximum weight per panel with Low-E4, SmartSun™ or Sun glass is 250 pounds or 113 kg. Weights using alternate glazings will need to be provided by Andersen.

For important installation information, see page 37.

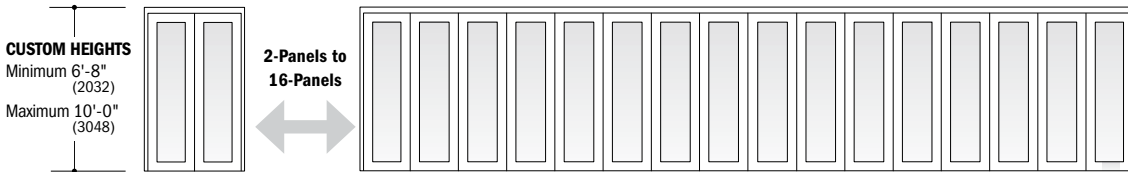
Construction

Standard construction of the folding outswing door is an aluminum clad exterior with a rich wood interior. Clad folding door details are shown, wood exterior doors are also available. For more information, visit andersenwindows.com/foldingdoors.

Styles and Sizes

Scale 1/8" (3) = 1'-0" (305) – 1:96

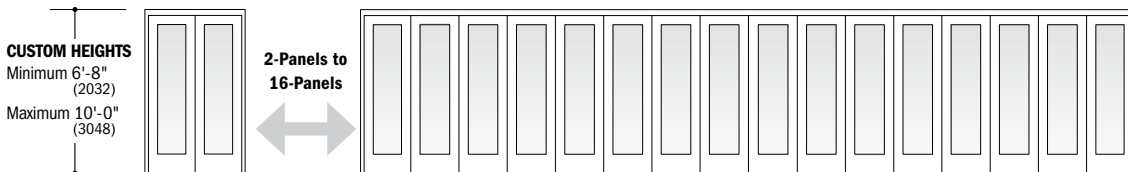
Contemporary Panel Sizes



CUSTOM WIDTHS

Number of Panels	Minimum to Maximum	Number of Panels	Minimum to Maximum	Number of Panels	Minimum to Maximum
2-Panel	3'-2 1/4" (972) to 8'-2 1/4" (2496)	7-Panel	10'-9 1/4" (3283) to 28'-2 7/8" (8607)	12-Panel	18'-5 1/8" (5617) to 48'-0" (14630)
3-Panel	4'-8 5/8" (1438) to 12'-2 1/4" (3715)	8-Panel	12'-4 1/2" (3772) to 32'-3 1/4" (9836)	13-Panel	19'-10 1/4" (6052) to 48'-0" (14630)
4-Panel	6'-3 7/8" (1927) to 16'-2 5/8" (4943)	9-Panel	13'-9 5/8" (4207) to 36'-3 1/2" (11062)	14-Panel	21'-5 3/8" (6537) to 48'-0" (14630)
5-Panel	7'-9" (2362) to 20'-2 5/8" (6163)	10-Panel	15'-4 3/4" (4693) to 40'-3 7/8" (12290)	15-Panel	22'-10 1/2" (6972) to 48'-0" (14630)
6-Panel	9'-4 1/8" (2848) to 24'-2 7/8" (7388)	11-Panel	16'-9 7/8" (5128) to 44'-3 3/4" (13506)	16-Panel	24'-4 7/8" (7439) to 48'-0" (14630)

Traditional Panel Sizes

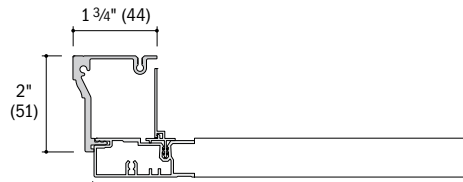


CUSTOM WIDTHS

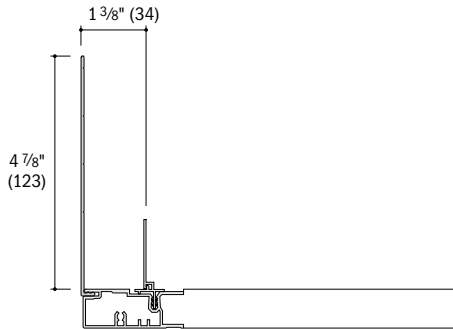
Number of Panels	Minimum to Maximum	Number of Panels	Minimum to Maximum	Number of Panels	Minimum to Maximum
2-Panel	3'-2 1/4" (972) to 6'-8 1/8" (2035)	7-Panel	10'-9 1/4" (3283) to 22'-11 7/8" (7007)	12-Panel	18'-5 1/8" (5617) to 39'-4 1/8" (11992)
3-Panel	4'-8 5/8" (1438) to 9'-11 1/4" (3029)	8-Panel	12'-4 1/2" (3772) to 26'-3 1/8" (8004)	13-Panel	19'-10 1/4" (6052) to 42'-7 1/8" (12983)
4-Panel	6'-3 7/8" (1927) to 13'-2 1/4" (4020)	9-Panel	13'-9 5/8" (4207) to 29'-6 1/2" (9004)	14-Panel	21'-5 3/8" (6537) to 45'-10 1/2" (13983)
5-Panel	7'-9" (2362) to 16'-5 5/8" (5020)	10-Panel	15'-4 3/4" (4693) to 32'-9 7/8" (10004)	15-Panel	22'-10 1/4" (6966) to 48'-0" (14630)
6-Panel	9'-9 1/8" (2975) to 19'-8 3/4" (6013)	11-Panel	16'-9 7/8" (5128) to 36'-0 3/4" (10992)	16-Panel	24'-4 7/8" (7439) to 48'-0" (14630)

• "Minimum to Maximum" door width dimensions refers to frame-to-frame dimension.
• Dimensions in parentheses are in millimeters.

Installation Accessory Details

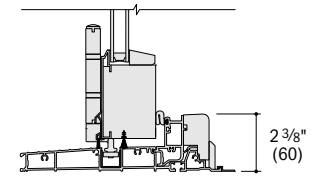


Head Jamb with Optional Brick Mould



Head Jamb with Optional Frame Expander

High-Profile Sill Stop Detail



On-Floor Drainage Sill with Optional High-Profile Sill Stop

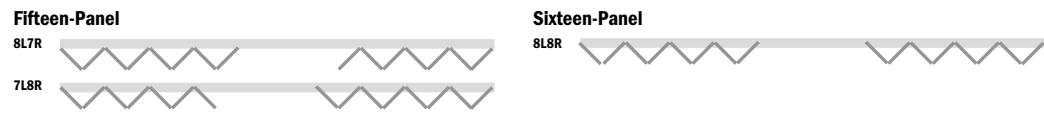
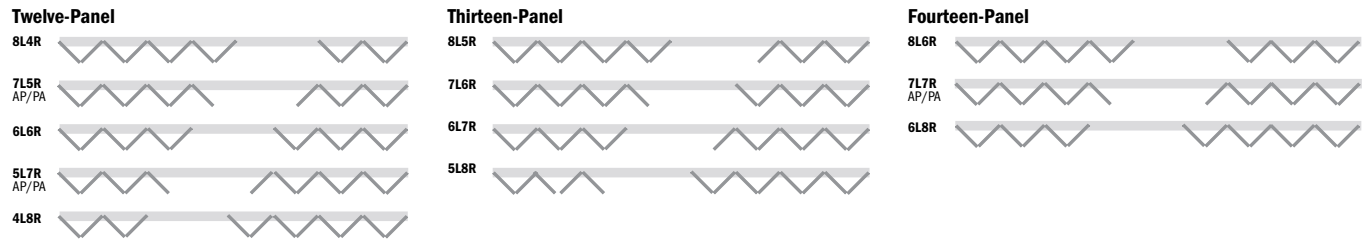
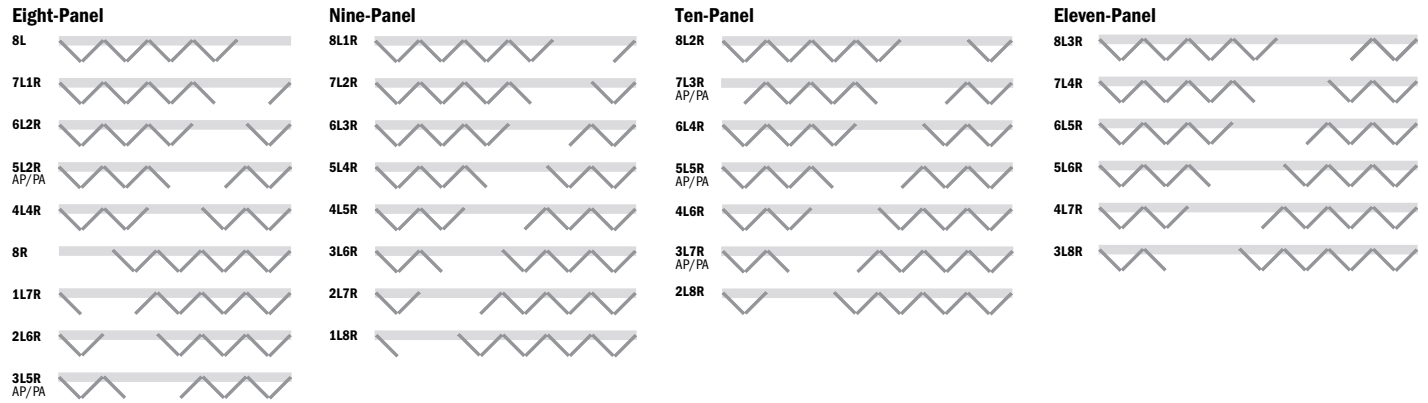
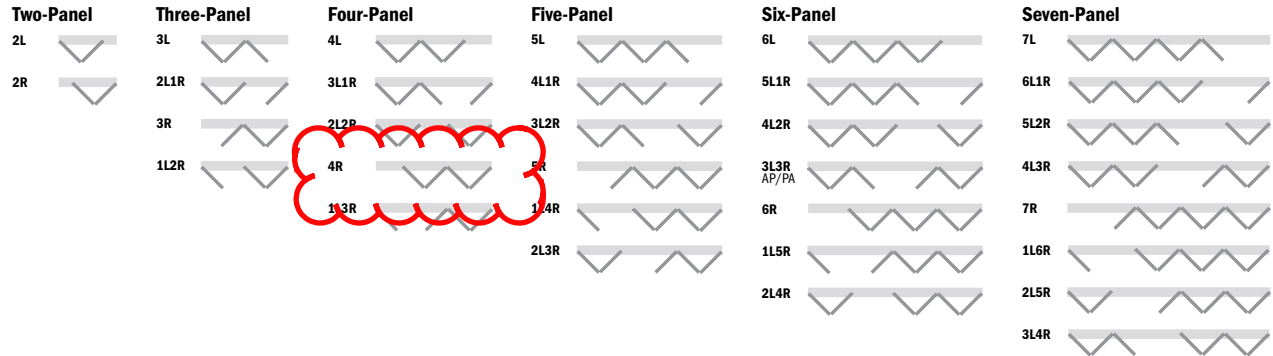


Custom sized in 1/8" (3) increments. Contact your Andersen supplier for additional dimensions and specifications.

FOLDING OUTSWING DOORS

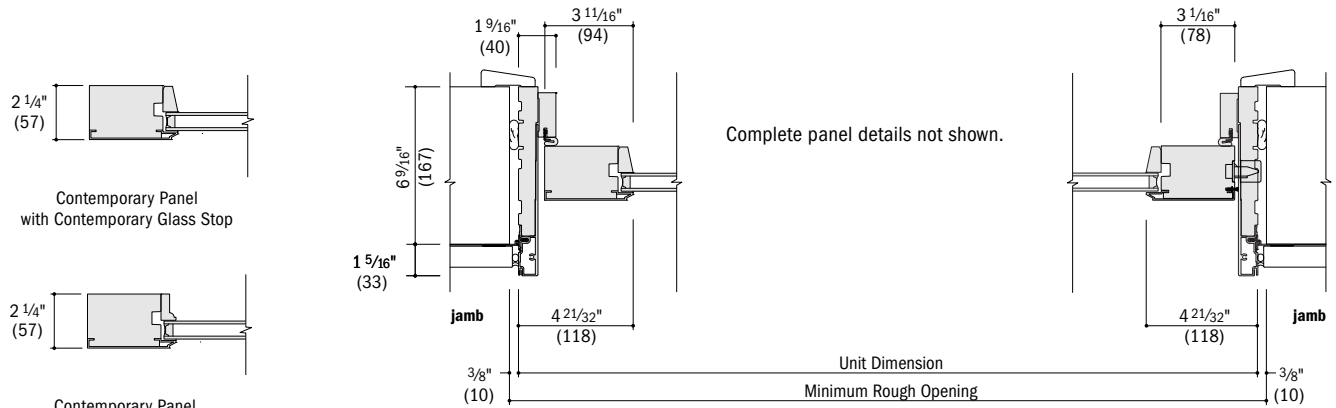
Panel Configurations

Configurations are designated from left to right as viewed from the exterior.



Folding Doors – Contemporary Panel Details

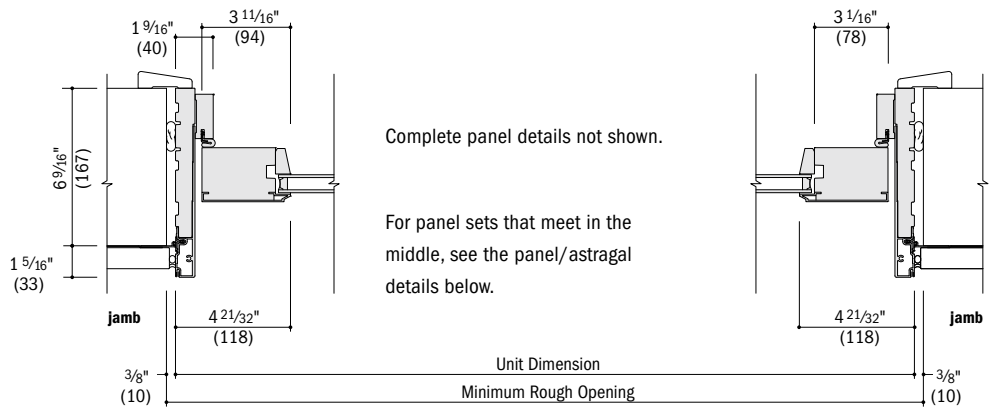
Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Complete panel details not shown.

Horizontal Section
Hinge Jamb, Lock Jamb

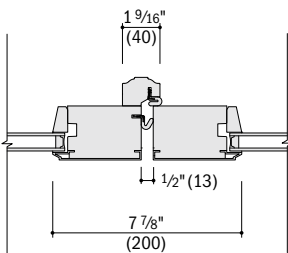
- 6 9/16" (167) jamb depth measurement is from back side of installation flange to inside edge of door frame.
- Light-colored areas are included with the door unit. Dark-colored areas are additional Andersen® parts required to complete door assembly as shown and must be specified.
- **Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on page 37.**
- Details are for illustration only and are not intended to represent complete or appropriate product installation methods or materials for application. Refer to product installation guide.
- Dimensions in parentheses are in millimeters.
- Clad folding door details are shown. Wood exterior folding doors are also available.



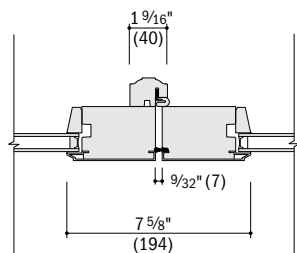
Complete panel details not shown.

For panel sets that meet in the middle, see the panel/astragal details below.

Horizontal Section
Hinge Jamb, Hinge Jamb



Horizontal Section
Astragal, Lead Panel-Lead Panel

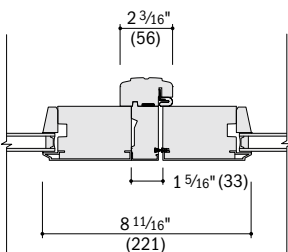


Horizontal Section
Astragal, Lead Panel-Active Panel

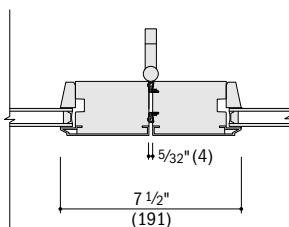
Lead Panel-Lead Panel astragals are used for doors with two-direction panel operation and an even-even number of panels. Example: **4L4R**



Lead Panel-Active Panel astragals are used for doors with two-direction panel operation and an even-odd number of panels. Example: **4L3R**



Horizontal Section
Astragal, Passive Panel-Active Panel



Horizontal Section
Hinge Panels

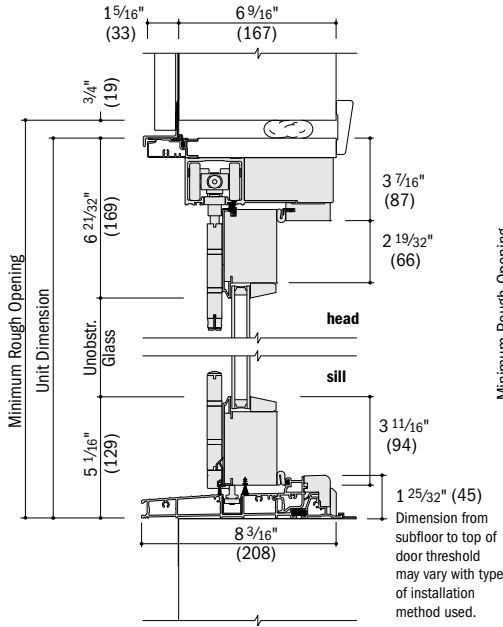
Passive Panel-Active Panel or Active Panel-Passive Panel astragals are used for doors with two-direction panel operation and an odd-odd number of panels. Example: **5L3R**



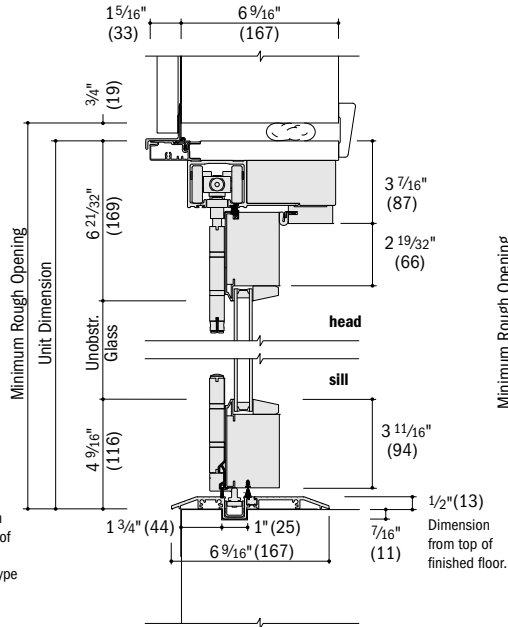
FOLDING OUTSWING DOORS

Folding Doors - Contemporary Panel Details

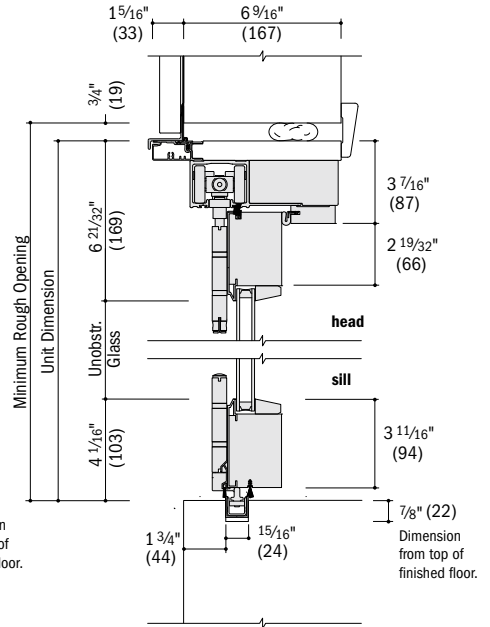
Scale 1 1/2" (38) = 1'-0" (305) - 1:8



Vertical Section
Contemporary Panel, On-Floor Drainage Sill



Vertical Section
Contemporary Panel, On-Floor Low-Threshold Sill

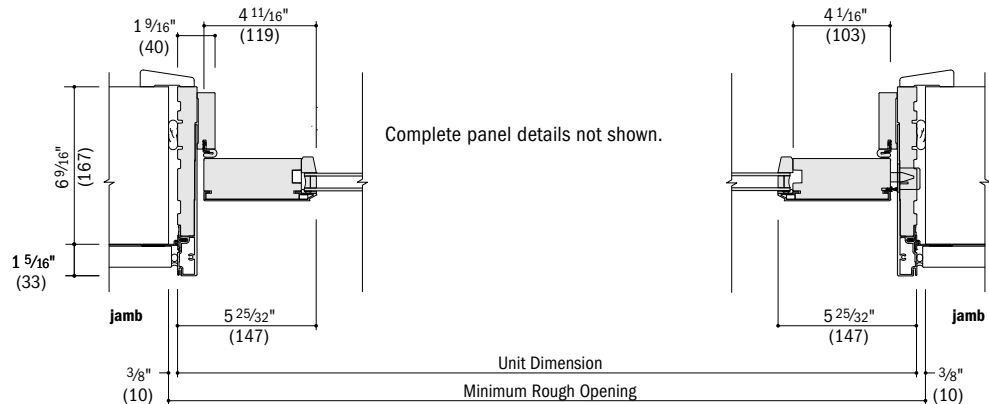
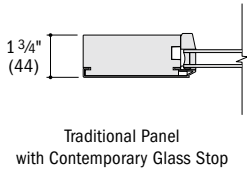


Vertical Section
Contemporary Panel, Flush Sill (track-in-floor)

- 6 9/16" (167) jamb depth measurement is from back side of installation flange to inside edge of door frame.
- Light-colored areas are included with the door unit. Dark-colored areas are additional Andersen® parts required to complete door assembly as shown and must be specified.
- **Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on page 37.**
- Details are for illustration only and are not intended to represent complete or appropriate product installation methods or materials for application. Refer to product installation guide.
- Dimensions in parentheses are in millimeters.
- Clad folding door details are shown. Wood exterior folding doors are also available.

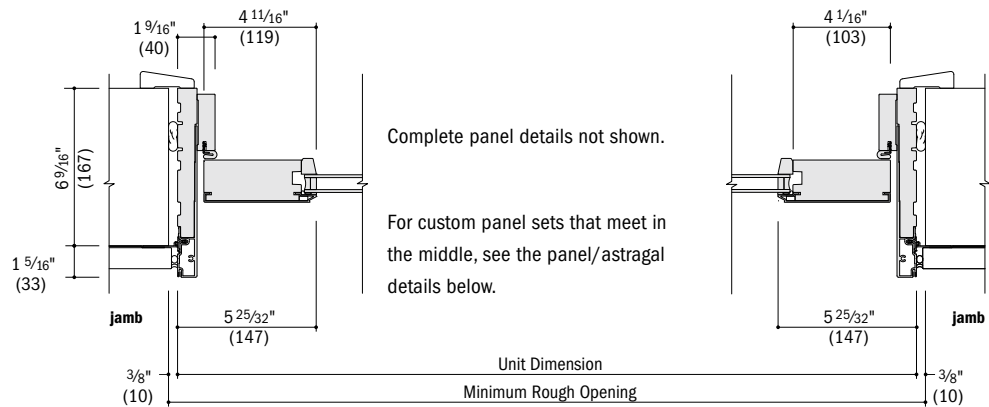
Folding Doors – Traditional Panel Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

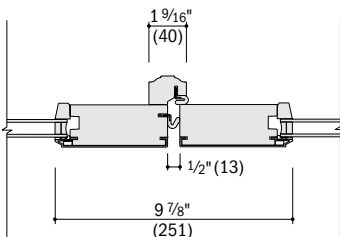


Horizontal Section
Hinge Jamb, Lock Jamb

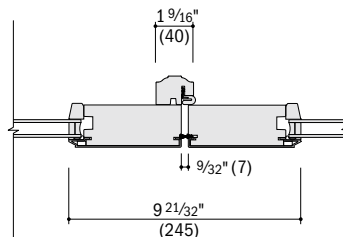
- 6 9/16" (167) jamb depth measurement is from back side of installation flange to inside edge of door frame.
- Light-colored areas are included with the door unit. Dark-colored areas are additional Andersen® parts required to complete door assembly as shown and must be specified.
- **Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on page 37.**
- Details are for illustration only and are not intended to represent complete or appropriate product installation methods or materials for application. Refer to product installation guide.
- Dimensions in parentheses are in millimeters.
- Clad folding door details are shown. Wood exterior folding doors are also available.



Horizontal Section
Hinge Jamb, Hinge Jamb

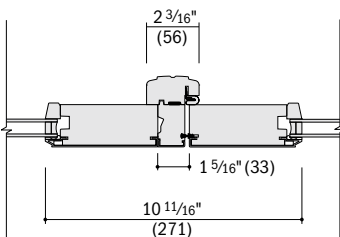


Horizontal Section
Astragal, Lead Panel-Lead Panel

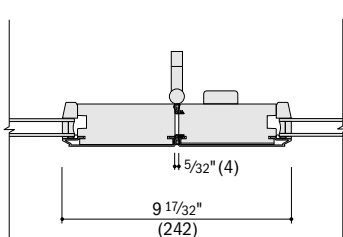


Horizontal Section
Astragal, Lead Panel-Active Panel

Lead Panel-Lead Panel astragals are used for doors with two-direction panel operation and an even-even number of panels. Example: **4L4R**



Horizontal Section
Astragal, Passive Panel-Active Panel



Horizontal Section
Hinge Panels

Lead Panel-Active Panel astragals are used for doors with two-direction panel operation and an even-odd number of panels. Example: **4L3R**



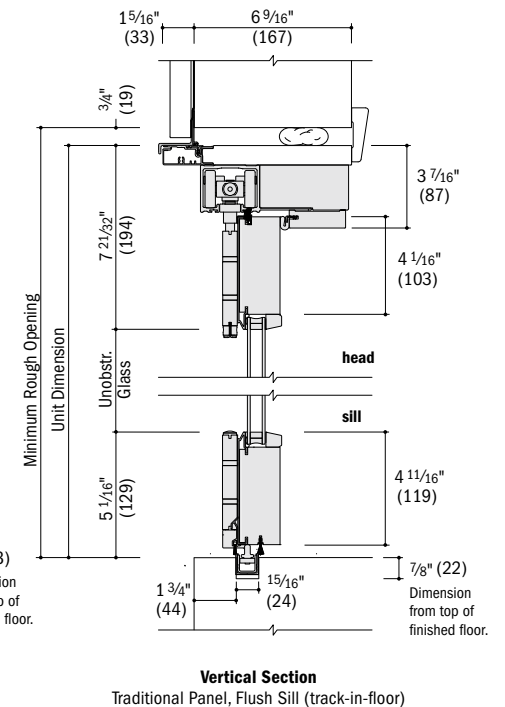
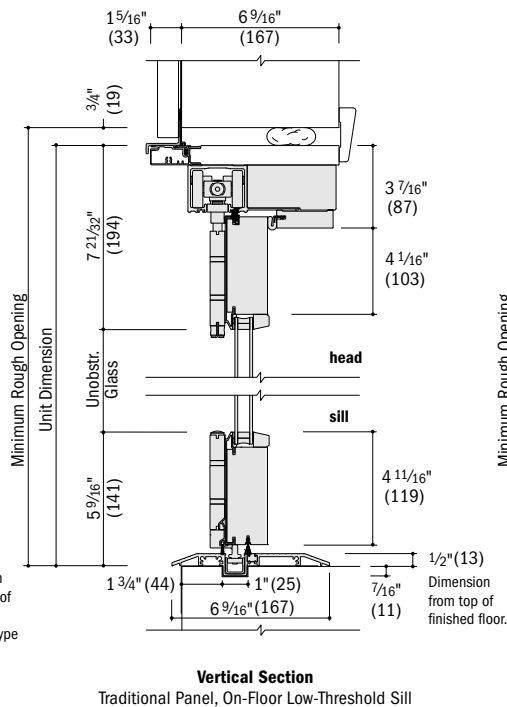
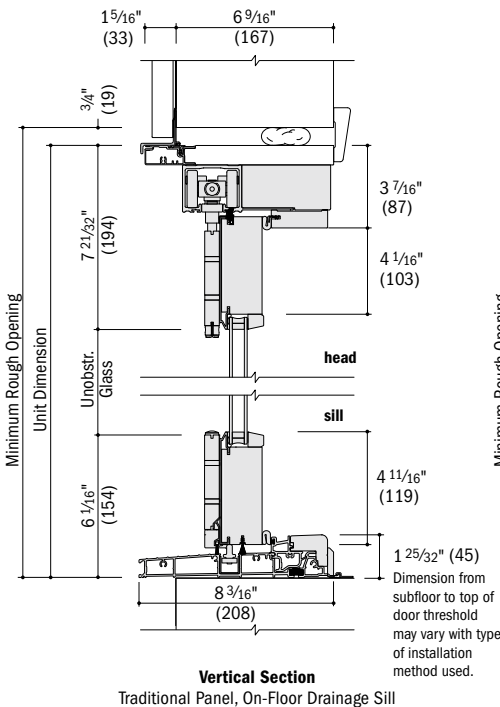
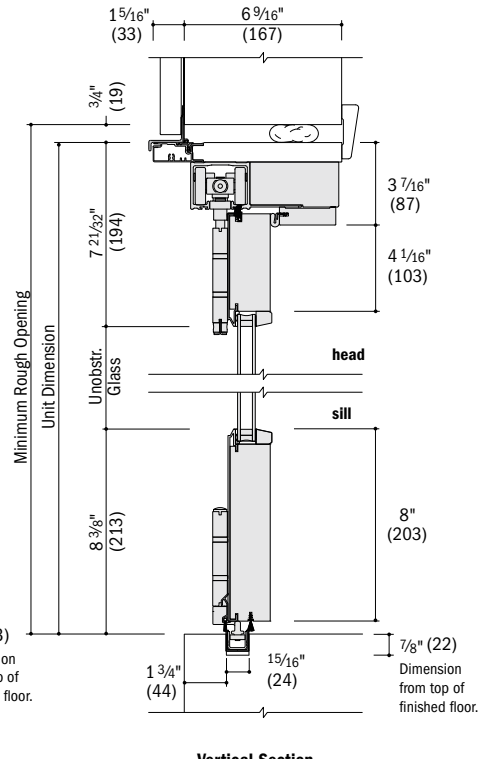
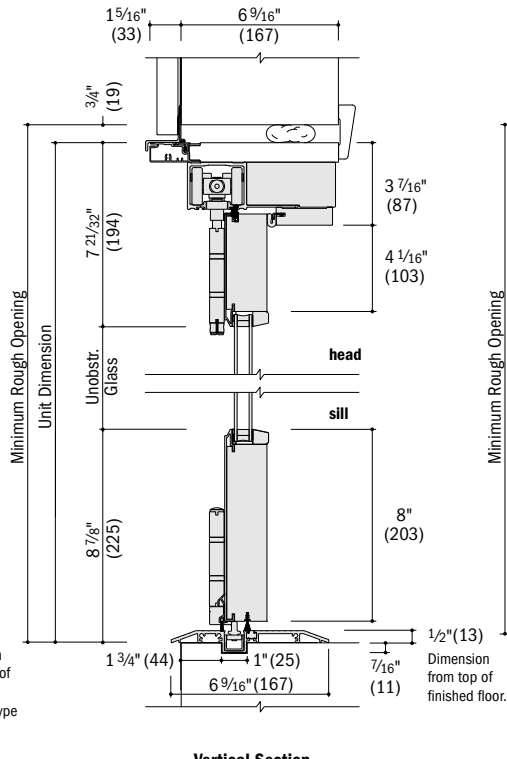
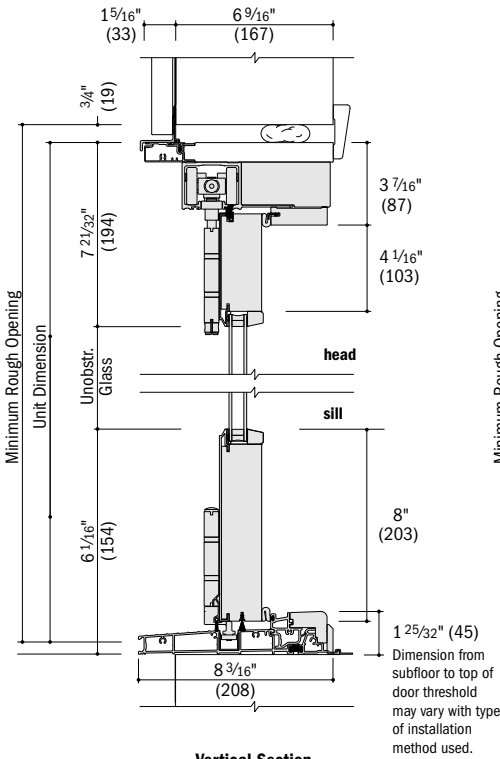
Passive Panel-Active Panel or **Active Panel-Passive Panel** astragals are used for doors with two-direction panel operation and an odd-odd number of panels. Example: **5L3R**



FOLDING OUTSWING DOORS

Folding Doors - Traditional Panel Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



• 6 9/16" (167) jamb depth measurement is from back side of installation flange to inside edge of door frame.

• Light-colored areas are included with the door unit. Dark-colored areas are additional Andersen® parts required to complete door assembly as shown and must be specified.

• **Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on page 37.**

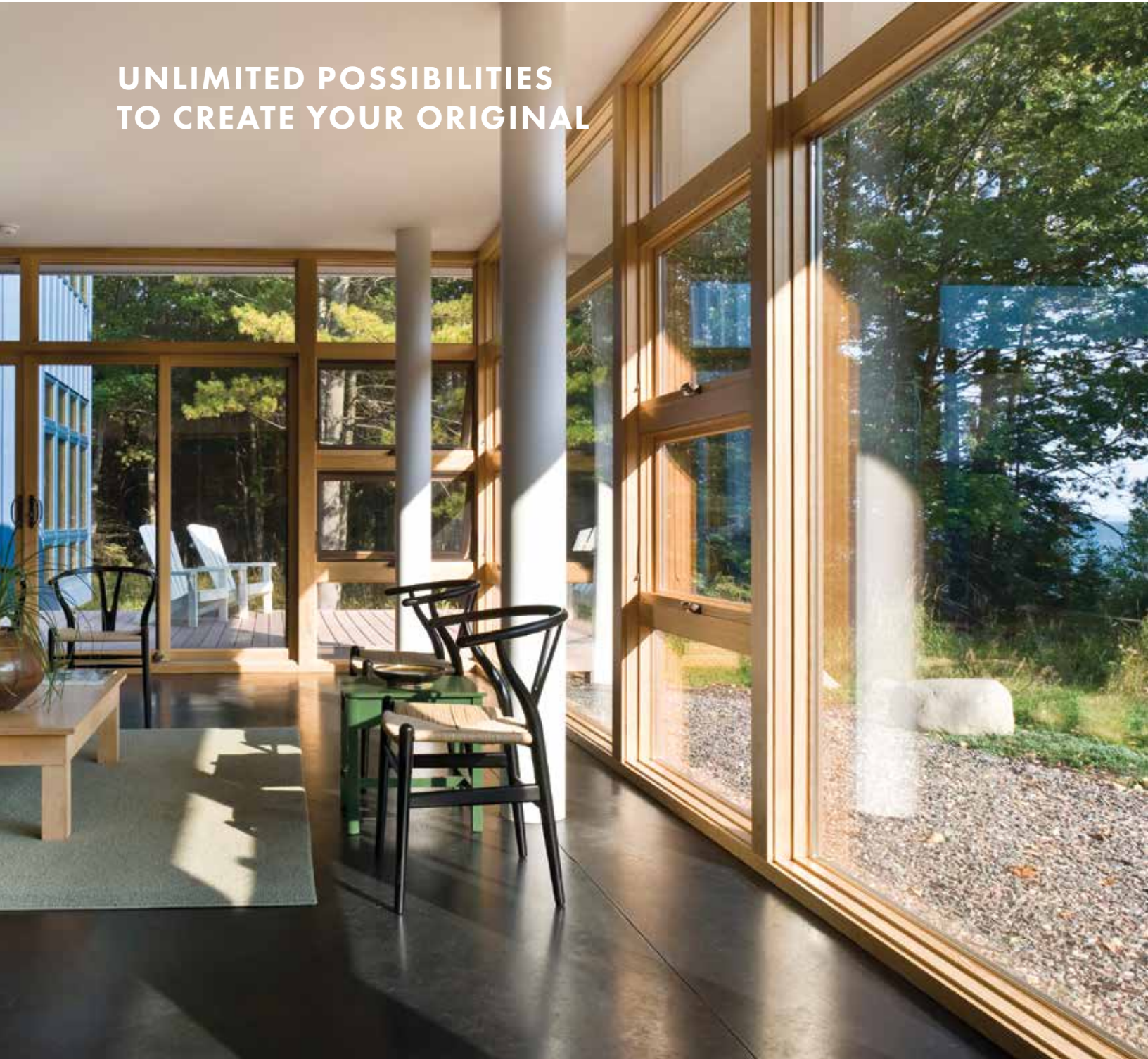
• Details are for illustration only and are not intended to represent complete or appropriate product installation methods or materials for application. Refer to product installation guide.

• Dimensions in parentheses are in millimeters.

• Clad folding door details are shown. Wood exterior folding doors are also available.

• Traditional panel with 12" (305) bottom rail, not shown, are also available.

UNLIMITED POSSIBILITIES
TO CREATE YOUR ORIGINAL





E-SERIES WINDOWS & PATIO DOORS

The inspiration for your home can come from anywhere and with E-Series windows and patio doors from Andersen, you'll find custom colors, unlimited design options and dynamic sizes and shapes to create the home you've always imagined.

Whether you're looking to make a design statement or to simply recreate a classic, E-Series products give you more freedom to use your imagination and create your personal vision of home. And like all Andersen products, they are supported by over 115 years of commitment to quality and service that can only come from one of the most trusted names in the industry. For more information, please visit andersenwindows.com/e-series.





FSB® hardware features clean lines in a satin finish for a thoroughly modern look.



Dark colors and narrow profile options on windows, patio doors and grille options offer a truly contemporary style.

MODERN STYLE MADE EASY

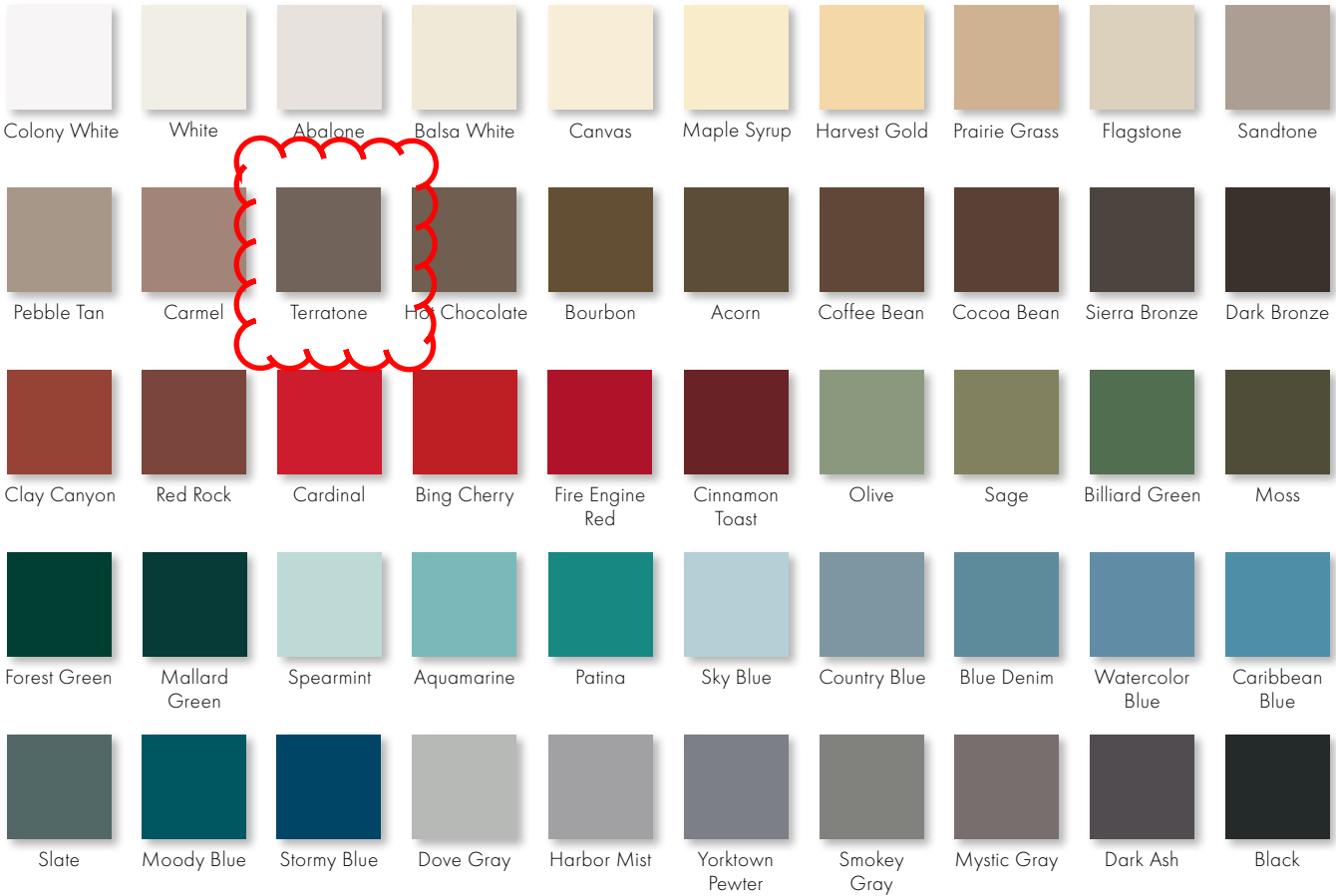
Modern home styles incorporate clean lines, simple forms and open floor plans. They often feature floor-to-ceiling windows or glass doors with narrow profiles to maximize light and bring the outdoors in. Explore our Home Style library to see how E-Series products can help you achieve a modern home style. Visit andersenwindows.com/stylelibrary to learn more.



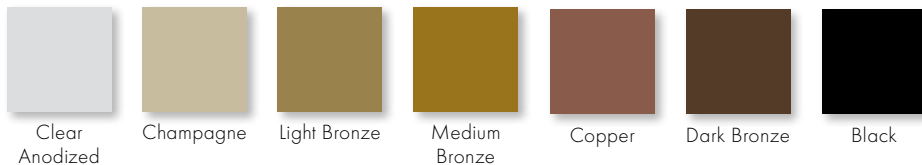
DO YOU DREAM IN COLOR?

While our large selection of 50 exterior colors covers a lot of ground, inspiration comes in infinite hues. Let us match a paint chip, a photograph or a favorite work of art to bring your dream color into the light of day. Or, choose from a selection of anodized finishes for a rich, lustrous metallic appearance that cannot peel or flake and is not affected by sunlight.*

EXTERIOR COLORS



7 ANODIZED FINISHES



Design your window at
andersenwindows.com/design-tool

CUSTOM EXTERIORS OR 2-, 3- AND 4-TONE EXTERIORS

Choose a custom exterior color to get just the right color for your design. And, with our 2-, 3- and 4-tone color combinations, the sky's the limit. Mix and match up to four of our 50 exterior colors for a combination look that's all your own.



Colony white and black

EXTERIOR TRIM

Choose exterior trim in either a flat casing, brick mould or sill nosing profile to add curb appeal to your home.



2" brick mould and 1 1/2" sill nosing, shown on a casement window

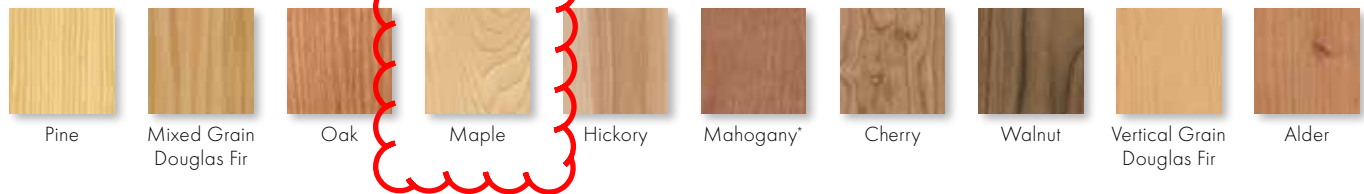
*Visit andersenwindows.com/warranty for details. Printing limitations prevent exact color duplication. Please see your Andersen supplier for actual color samples.



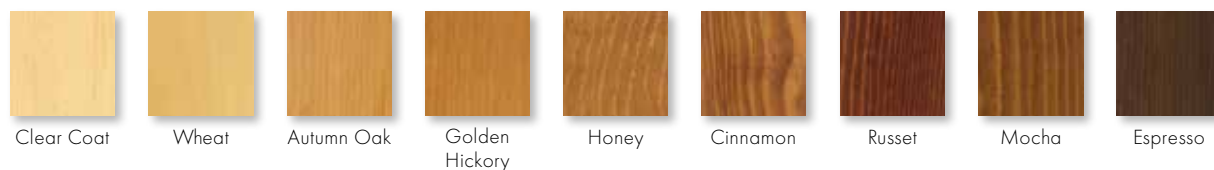
A RANGE OF INTERIORS — INCLUDING YOURS

Our distinctive woods add uncommon flair to any room. Each wood species has its own character, grain and staining capabilities so you can select one that makes your windows stand out or one that matches with your interior décor. Our high-quality, factory-applied stains offer you convenience along with beauty. Choose from a variety of wood finishes or select one of our painted options. Or for a natural look, select our clear coat option.

INTERIOR WOOD SPECIES



FACTORY-FINISHED INTERIORS



All interior finish options are shown on pine. Naturally occurring variations in grain, color and texture of wood make each window one of a kind.

INTERIOR PAINTED OPTIONS



Available on pine.

CUSTOM INTERIORS

Need an exotic wood species to complete your home or a special finish for just the right look or to match existing woodwork? We offer custom wood species and custom stain, paint or color matching for just the right finish to your design.

*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.

**Dark bronze and black also available on maple.

†Anodized silver is available on maple only.

Printing limitations prevent exact replication of colors and finishes. Please see your Andersen supplier for actual color and finish samples.



DESIGN VERSATILITY

Extruded aluminum's strength and versatility allow us to offer beautiful made-to-order design solutions for practically any combination of shapes and styles you can imagine. And because our exterior frame, sash and trim components utilize extruded aluminum, our products feature clean, architecturally accurate lines and details to complement your home's style.

ENERGY-SAVING GLASS

We have the glass you need to get the performance you want, including a variety of Low-E4® glass options to help control heating and cooling costs in any climate.

LOW-MAINTENANCE EXTERIORS

Baked-on silicone polyester enamel exteriors offer virtually maintenance-free performance and durability. They're warranted for 10 years against chalking and color change and for 20 years against cracking, checking, peeling, flaking, blistering and loss of adhesion.*

BUILT STRONG

E-Series windows and patio doors are made with heavy-gauge, extruded aluminum-clad wood sash and frames. Our thick cladding offers greater structural capabilities than thinner, roll-form aluminum, while providing a superior exterior finish that resists the elements of inclement weather, abrasion and impact.

BUILT FOR YEARS TO COME*

Most other window and patio door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each owner to the next. And because it is not prorated, the coverage offers full benefits, year after year, owner after owner.* So it adds real value when you decide to sell your home.

OWNER2OWNER®
LIMITED WARRANTY

*Visit andersenwindows.com/warranty for details.

BEST-IN-CLASS GLASS

Glass can affect energy efficiency more than any other part of a window or patio door — and not all glass performs the same. Some types of glass do a better job at insulating your home. Others provide greater clarity. You can even choose glass to filter out specific kinds of light. Andersen offers one of the industry’s widest arrays of glass options, enabling you to find the right choice for your climate and your home. Choose from these High-Performance glass options.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™ Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factors values.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E4® Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
PassiveSun® Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
Triple-Pane with Low-E coatings on two surfaces Three panes of glass combine with either argon gas blend air or Low-E coatings to provide enhanced energy performance.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ●
Clear Dual-Pane High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of May 2021. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

HEATLOCK® TECHNOLOGY

Our HeatLock coating can increase the energy efficiency of any E-Series window or patio door with Low-E4 or SmartSun glass. Applied to the room-side glass surface, it reflects heat back into the home for improved performance.

SPECIALTY GLASS

Select from our decorative glass collections or combine beveled, frosted, grooved, colored or textured glass with three coming options to create your own design. Specialty glass includes tinted glass, spandrel glass and Mapes panels as well as rain, reeded, satin etch and obscure glass options.

GLASS SPACER OPTIONS

Choose from stainless steel, black or white glass spacers to create a customized look. Add full divided light grilles and the grille spacer bar between the glass will match the selected glass spacer color.



STORMWATCH® PATIO DOORS

Andersen® E-Series patio doors are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. Visit andersenwindows.com/coastal for more information and see your local building code official for specific requirements in your area.



For more details on glass options, visit andersenwindows.com/glass.



DESIGNS TO MATCH ANY STYLE

E-Series patio door hardware* is available in a variety of different designs to match virtually any style. Additional hardware options such as exterior keyed locks, matching hinge finishes and more are also available.



Bold name denotes finish shown.

HARDWARE FINISHES



*Hardware sold separately.

Tribeca and Albany hardware are zinc die cast with powder-coated durable finish. Other hardware is solid forged brass. Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use. Bright brass and satin nickel finishes on patio door hardware feature a 10-year limited warranty. Matching hinges available in most finishes for inswing patio doors. Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

DETAILS THAT MAKE AN IMPACT

E-Series window hardware* offers you the styles and finishes to enhance or complement any home's décor and style.

Casement & Awning



Operator Handle & Cover

Antique Brass | Black | Bright Chrome
Bronze | Gold | Oil Rubbed Bronze | Pewter
Polished Brass | Satin Chrome | White

French Casement



Operator Handle & Cover



Sash Lock

Antique Brass | **Black**
Bright Chrome | Bronze
Polished Brass
Satin Chrome | White

Double-Hung



Sash Lift



Lock

Antique Brass | Black | Bright Chrome | Bronze | Gold
Oil Rubbed Bronze | **Pewter** | Polished Brass | Satin Chrome | White

Gliding Windows

Antique Brass
Black | Bright Chrome
Bronze | Gold
Oil Rubbed Bronze
Pewter | Polished Brass
Satin Chrome | White



Lock

Black
Bronze
White



Slim Line Sash Pull

Bold name denotes finish shown.

HARDWARE FINISHES



Antique
Brass



Black



Bright
Chrome



Bronze



Gold



Oil Rubbed
Bronze



Pewter



Polished
Brass



Satin
Chrome



White

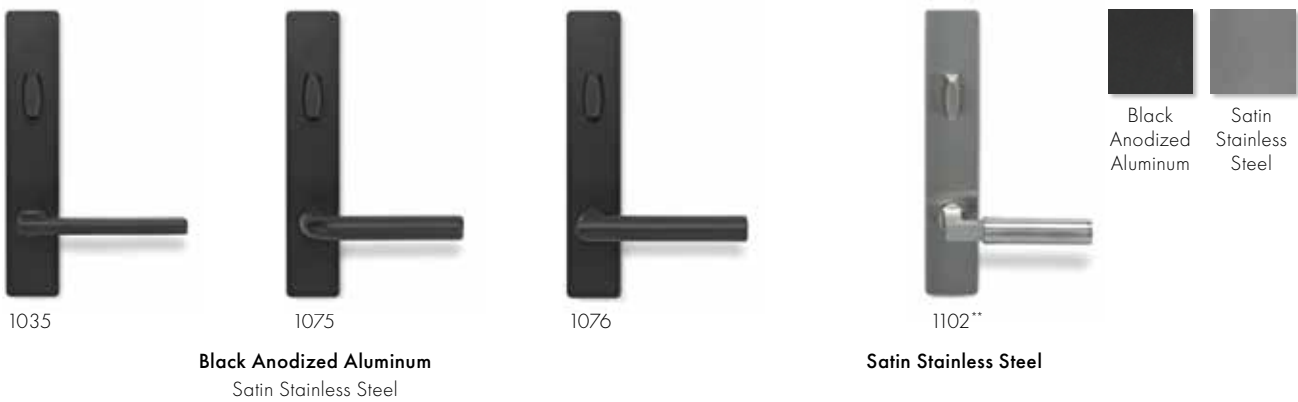
*Hardware sold separately.

Oil rubbed bronze is a "living" finishes that will change with time and use. Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.



FSB® HINGED PATIO DOOR HARDWARE

Durable FSB hinged door hardware† features clean lines and a sleek finish for a thoroughly modern look.



YALE® ASSURE LOCK®

Monitor, lock and unlock from anywhere with the Yale Assure Lock.† This slim, sleek keyless lock is designed exclusively for Andersen® hinged patio doors† and integrates with a wide range of smart home platforms.



*Hardware sold separately.

**FSB style 1102 is not available in black anodized aluminum.

†Available on select hinged doors, see your Andersen supplier for details.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

All marks where denoted are trademarks of their respective owners. Yale manufactures and supports the limited warranty for Yale Assure Lock for Andersen patio doors.

BETWEEN-THE-GLASS BLINDS & SHADES

Privacy options you simply have to see. E-Series blinds or shades between the glass provide the ultimate in practicality for your home. Our systems not only protect the blinds or shades, they also greatly reduce your cleaning time. Which means with Andersen, you have both privacy and convenience at your fingertips.



System 3 Shades

System 3 Blinds

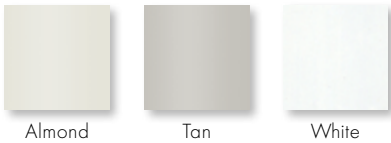
BLINDS-BETWEEN-THE-GLASS

Blinds-between-the-glass can be added to many of our patio doors and rectangular picture windows. The blinds are placed between two panes of glass, available in three popular colors and can tilt, raise or lower* conveniently with a single control cord.



Control Cord

Blinds



Almond

Tan

White

Blinds

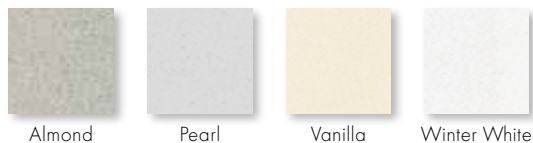


Almond

Tan

White

Shades



Almond

Pearl

Vanilla

Winter White

Control Knobs



Bronze

White

Black

Gold

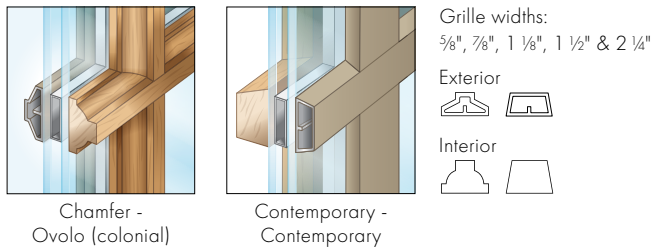
*Not all sizes of blinds-between-the-glass are retractable. Printing limitations prevent exact color duplication. Please see your Andersen supplier for actual color samples.

ARCHITECTURALLY AUTHENTIC GRILLES

We offer a variety of grille styles and patterns to choose from, or design your own with varying lines, curves and shapes.

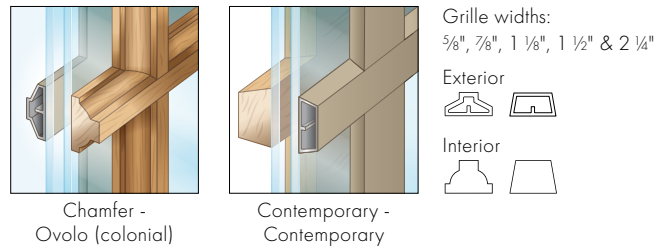
FULL DIVIDED LIGHT

Features permanent interior and exterior grilles with grille spacer bars between two panes of insulating glass. A traditional divided light look with modern energy efficiency.



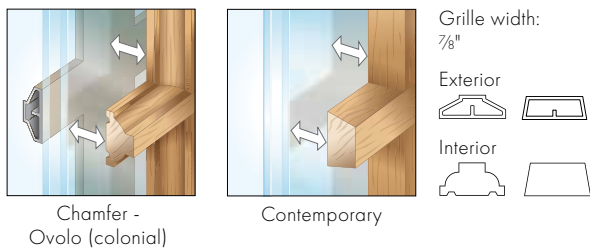
SIMULATED DIVIDED LIGHT

An economical solution featuring permanent interior and exterior grilles without grille spacer bars.



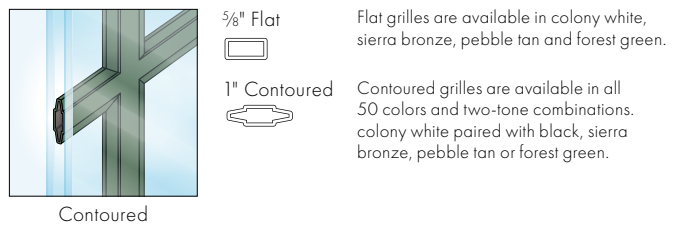
REMOVABLE INTERIOR WOOD GRILLES

Removable interior wood grilles. Available with optional surround and an optional permanent exterior grille, shown to left below.



FINELIGHT™ GRILLES-BETWEEN-THE-GLASS

Aluminum grilles conveniently placed between two panes of glass for easy cleaning inside and out.



SCREEN OUT THE INSECTS, NOT THE VIEW

E-Series insect screens let the beauty of the outdoors in, while keeping even small insects out. Choose from a wide selection of insect screen styles, including options that blend seamlessly with your window.

TRUSCENE® INSECT SCREENS*

TruScene insect screens for windows are made with a micro-fine stainless steel mesh that offers 50% more clarity than our conventional aluminum mesh insect screens. TruScene insect screens let in 25% more fresh air;† all while keeping out unwanted small insects.

WOOD VENEER INSECT SCREENS

For a clean appearance, E-Series interior window insect screens can feature a wood veneer to blend into your window.

RETRACTABLE INSECT SCREENS FOR WINDOWS AND PATIO DOORS

Retractable insect screens for casement and awning windows offer a sleek addition to any home. In place, the insect screen keeps insects out. When retracted, it provides a beautiful clear view.

For patio doors‡, retractable insect screens are built with an innovative color-matched housing that hides the insect screen when not in use. It's there when you need it and gone when you don't.



Retractable insect screen for casement and awning windows.

*TruScene wood-veneered insect screens utilize a different frame profile than other E-Series wood-veneered insect screens.

**TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

‡Retractable insect screens are available on hinged inswing, hinged outswing and gliding patio doors. See your Andersen supplier for details.

ARCHITECTURAL AUTHENTICITY,
UNPARALLELED PERFORMANCE





A-SERIES WINDOWS & PATIO DOORS

Designed in conjunction with leading architects to provide authentic architectural style, A-Series windows and patio doors offer all of the options you need to easily create the look you've been dreaming of. Beyond delivering the style you want, A-Series products are the best performing, most energy-efficient windows and patio doors Andersen offers for true peace of mind.

It has never been so easy to dream, easy to understand your options and easy to select the products that fit not just your home, but also your vision. And like all Andersen products, they are supported by over 115 years of commitment to quality and service that can only come from one of the most trusted names in the industry. For more information, visit andersenwindows.com/a-series.





- Flat casing with cornice head, color: White
- Frame exterior color: Black
- Sash exterior color: Black

ARCHITECTURAL STYLE MADE EASY

The Andersen Home Style Library is an industry-leading, innovative approach based on the style of home you want to create rather than a type of window or door. The result is a series of windows and doors carefully designed with authentic architectural style in mind. Visit andersenwindows.com/stylelibrary to learn more.



BUILT FOR YEARS TO COME*

A-Series windows and doors are built strong to last long.* We use the right materials in the right places, including solid wood, fiberglass and our own Fibrex® composite material. These give A-Series products superior strength, stability and long-term beauty.

NEVER NEEDS PAINTING

Exteriors won't flake, rot, blister, peel, pit or corrode,* so they're virtually maintenance free. Plus, they hold their original vibrant colors.*

RIGOROUSLY TESTED

A-Series products have been exposed to extremes, going from temperatures duplicating the cold of Alaska winters to the heat of Death Valley summers, three times a day, day after day. They came through it all beautifully.

KEEPS THE WEATHER OUT

With their weather-resistant seals, A-Series windows and doors can stand up to eight inches of rain per hour and hurricane-force winds.** Double-hung windows feature a dual-bulb seal, and casement windows use "refrigerator" style gaskets to help keep air and water out.

QUALITY SO SOLID, THE WARRANTY IS TRANSFERABLE*

Most other window and door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each owner to the next. And because it is not prorated, the coverage offers full benefits, year after year, owner after owner.* So it adds real value when you decide to sell your home.

**OWNER2OWNER®
LIMITED WARRANTY**

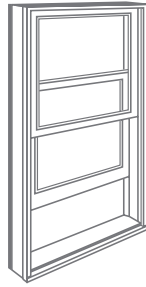
*Visit andersenwindows.com/warranty for details.

**Andersen® A-Series double-hung window tested to AAMA/WDMA/CSA 101/I.S.2 A440-08 & -11 PG50.

A-SERIES WINDOWS

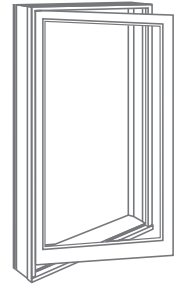
DOUBLE-HUNG WINDOWS

Double-hung windows have two operating sash (glass panels) that move up and down allowing for ventilation on the top, bottom or both. With a tilt-in feature for easy cleaning, these windows are ideal around patios, decks and walkways.



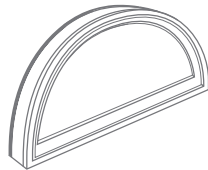
CASEMENT & AWNING WINDOWS

Casement windows are hinged on the side and crank open outward to the left or right allowing for full top to bottom ventilation. Awning windows are hinged on the top and open outward from the bottom, allowing for ventilation and protection from the rain. Both styles can be grouped in stunning combinations for a better view.



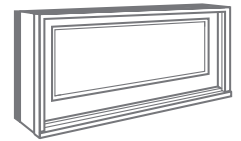
SPECIALTY WINDOWS

Specialty windows are stationary (non-opening) windows characterized by their special shapes, including curves and dramatic angles. They can make a signature statement in your home or provide a delicate lighting accent.



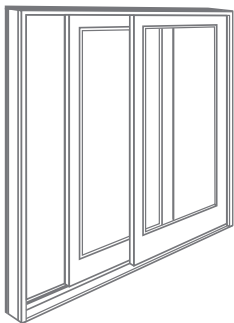
VENTING & STATIONARY TRANSOM WINDOWS

Transom windows can be used in window combinations or placed above doors to let in light and fresh air while adding style and curb appeal. Available as a venting window that is hinged at the top and opens outward or as a stationary (non-operating) window.



A-SERIES PATIO DOORS

Choose either a contemporary or traditional panel design on all A-Series gliding and hinged patio doors and sidelights. Contemporary panels feature a narrow bottom profile to let in more light while traditional panels feature a wider bottom profile for a traditional French look.



GLIDING PATIO DOORS*

Gliding patio doors have at least one door panel that glides horizontally past another door panel. They fit into tighter spaces than hinged doors because their panels don't interfere with your room or patio.



HINGED PATIO DOORS*

Inswing patio doors open into the interior of your home, saving room for smaller exterior areas such as balconies or patios. Outswing patio doors open outward, giving you more space inside your home. Both doors feature traditional French styling that goes well with any home style.



SIDELIGHTS* & TRANSOMS

Transoms go above a door while sidelights flank one or both sides of the door. Alone or combined, they can turn your doorway into a focal point while letting more natural light into your home's entryway.

*Available in contemporary or traditional panels.

All windows and patio doors are available in custom sizes.





OPTIONS TO FIT ANY HOME

A-Series windows and doors provide you with a wide palette of exterior colors, wood species and interior finishes to help you bring your personality and taste to your home.

EXTERIOR COLORS



Select any combination of colors, shown here, for your exterior frame, sash and jamb.

INTERIOR WOOD SPECIES



Design your window at
andersenwindows.com/design-tool

FACTORY-FINISHED INTERIORS



For windows, clear coat is available on all wood species; all other factory finishes are available on pine, maple and oak. For doors, factory finishes are available on pine, maple and oak.

INTERIOR PAINTED OPTIONS



For windows, painted interiors are available on pine and maple. For doors, painted interiors are available on pine. Mix and match up to four interior wood species, stains and/or colors for your window's frame, sash, grilles and extension jambs.

EXTERIOR TRIM

Exterior trim adds a finishing touch to your windows and is often essential in achieving authentic architectural style. To see more trim options and to design your window, visit andersenwindows.com/design-tool.



2" brick mould, shown in canvas

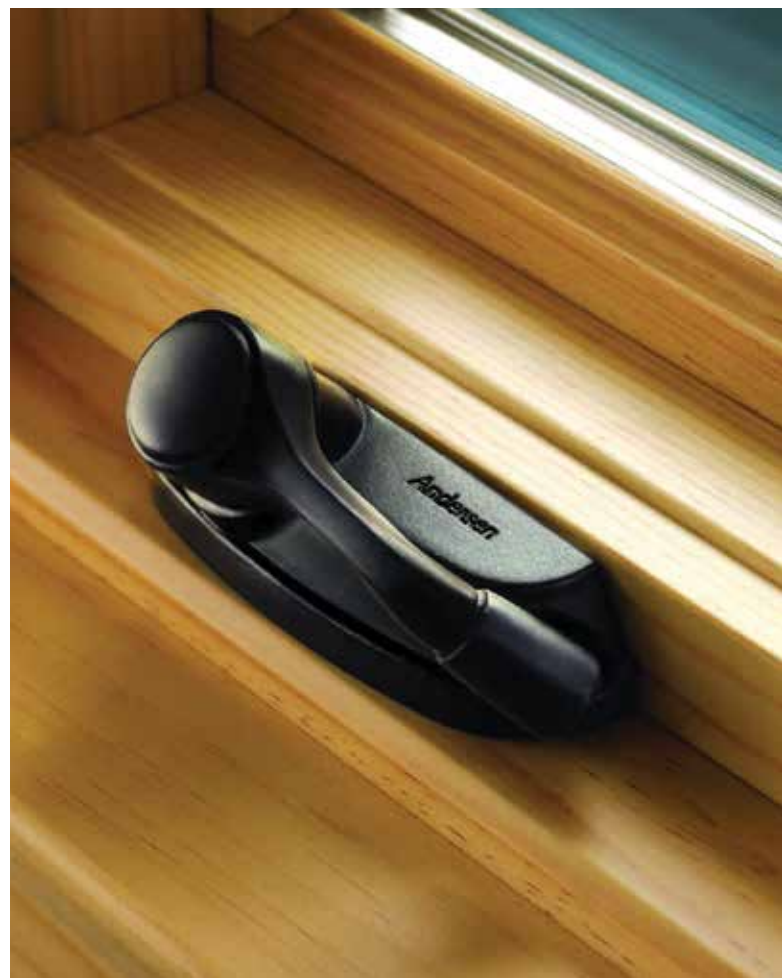


3 1/2" or 4 1/2" flat casing, shown in Sandtone



3 1/2" or 4 1/2" flat casing with extended sill nose, shown in prairie grass

*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies. Interiors are unfinished unless a stain or paint option is specified. Naturally occurring variations in grain, color and texture of wood make each window one of a kind. Printing limitations prevent exact replication of colors and finishes. Please see your Andersen supplier for actual color and finish samples.



DETAILS THAT MAKE AN IMPACT

A-Series hardware* options make sure you have the style needed to enhance or complement the overall design of your home.

Double-Hung

STANDARD



Lock & Keeper



Hand Lift

TRADITIONAL



Bar Lift



Finger Lift

Antique Brass | Black | Bright Brass | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze | **Satin Nickel** | Stone | White

Casement & Awning

TRADITIONAL FOLDING



Antique Brass | Black | Bright Brass | **Distressed Bronze**
Distressed Nickel | Oil Rubbed Bronze | Satin Nickel | Stone | White

CONTEMPORARY FOLDING



Black | Bright Brass | Oil Rubbed Bronze
Satin Nickel | Stone | White

Bold name denotes finish shown.

HARDWARE FINISHES



Antique Brass | Black | Bright Brass | Distressed Bronze | Distressed Nickel | Oil Rubbed Bronze | Satin Nickel | Stone | White

*Hardware sold separately, except double-hung lock and keeper.
Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.
Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

DESIGNER HARDWARE* FOR HINGED DOORS **NEW!**

Our designer hardware collections are carefully curated from today's leading hardware brands. They have a luxurious look and substantial feel that can match perfectly with other hardware and accessories throughout the home. Available on Andersen® hinged, entry, and folding doors.



2 plate styles
10 finish options
7 handle designs



Urban Plate

ALESSA

Dark Bronze**
Dark Oil Rubbed**
Flat Black
Matte Black
Natural Bronze**
Polished Chrome
Polished Nickel**
Satin Nickel
White Bronze**
White Medium**



Urban Plate

ALEXIS

Dark Bronze**
Dark Oil Rubbed**
Flat Black
Matte Black
Natural Bronze**
Polished Chrome
Polished Nickel**
Satin Nickel
White Bronze**
White Medium**



Urban Plate

APOLLO

Dark Bronze**
Dark Oil Rubbed**
Flat Black
Matte Black
Natural Bronze**
Polished Chrome
Polished Nickel**
Satin Nickel
White Bronze**
White Medium**



Urban Plate

ATLAS

Dark Bronze**
Dark Oil Rubbed**
Flat Black
Matte Black
Natural Bronze**
Polished Chrome
Polished Nickel**
Satin Nickel
White Bronze**
White Medium**



Traditional Plate

CHURCHILL

Dark Bronze**
Dark Oil Rubbed**
Flat Black
Matte Black
Natural Bronze**
Polished Chrome
Polished Nickel**
Satin Nickel
White Bronze**
White Medium**



Traditional Plate

EMPIRE

Dark Bronze**
Dark Oil Rubbed**
Flat Black
Matte Black
Natural Bronze**
Polished Chrome
Polished Nickel**
Satin Nickel
White Bronze**
White Medium**



Traditional Plate

MERIDIAN

Dark Bronze**
Dark Oil Rubbed**
Flat Black
Matte Black
Natural Bronze**
Polished Chrome
Polished Nickel**
Satin Nickel
White Bronze**
White Medium**

BALDWIN

1 plate style
5 finish options
6 handle designs



5162

Non-Lacquered Brass**
Oil Rubbed Bronze**
Satin Black
Satin Brass
Satin Nickel



L021

Non-Lacquered Brass**
Oil Rubbed Bronze**
Satin Black
Satin Brass
Satin Nickel



L023

Non-Lacquered Brass**
Oil Rubbed Bronze**
Satin Black
Satin Brass
Satin Nickel



5173

Non-Lacquered Brass**
Oil Rubbed Bronze**
Satin Black
Satin Brass
Satin Nickel



5455V

Non-Lacquered Brass**
Oil Rubbed Bronze**
Satin Black
Satin Brass
Satin Nickel



5485V

Non-Lacquered Brass**
Oil Rubbed Bronze**
Satin Black
Satin Brass
Satin Nickel

Bold name denotes finish shown.

*Hardware is sold separately and options vary by product.
**Some finishes are "living finishes" that will change with time and use, see limited warranty for details.
Printing limitations prevent exact replication of finishes. See your Andersen supplier for actual finish samples.
Ashley Norton Inc. manufactures and supports the limited warranty for Ashley Norton hardware.
Baldwin Hardware manufactures and supports the limited warranty for Baldwin Estate hardware.

FSB®

1 plate style
2 finish options
4 handle designs



1035
Satin Stainless Steel
Black Anodized Aluminum



1075
Satin Stainless Steel
Black Anodized Aluminum



1076
Satin Stainless Steel
Black Anodized Aluminum



1102
Satin Stainless Steel
(only available in Stainless Steel)



1 plate style
3 finish options
1 handle design



Black
Satin Nickel
White

Exterior handle shown

ANDERSEN HARDWARE* FOR DOORS

Andersen hardware options Yuma®, Encino®, Newbury®, and Anvers® each feature solid drop-forged brass for added strength, while Albany and Tribeca® hardware options are made of zinc die-cast with durable powder-coated finishes.



YUMA®
Distressed Bronze**
Distressed Nickel



ENCINO®
Distressed Bronze**
Distressed Nickel



NEWBURY®
Antique Brass
Bright Brass
Oil Rubbed Bronze**
Satin Nickel



ANVERS®
Bright Brass
Oil Rubbed Bronze**
Satin Nickel



ALBANY
Black
Stone
White



TRIBECA®
Black
Stone
White



FLUSH
Black
Oil Rubbed Bronze**
Satin Nickel
White

EXPLORE ALL STYLES
andersenwindows.com/doorhardware

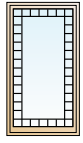


*Hardware is sold separately and options vary by product.
**Some finishes are "living finishes" that will change with time and use, see limited warranty for details.
Printing limitations prevent exact replication of finishes. See your Andersen supplier for actual finish samples.
Yale manufactures and supports the limited warranty for Yale Assure Lock for Andersen patio doors.
All trademarks where denoted are marks of their respective owners.

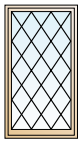
Bold name denotes finish shown.

ARCHITECTURALLY AUTHENTIC GRILLES

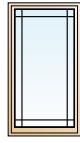
Andersen® A-Series windows and patio doors offer a variety of grille types and grille patterns, making it easy to fit both your style and your home's. For a signature look, we'll also work with you to create custom grille designs.



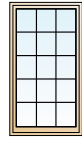
Queen Anne



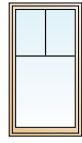
Diamond



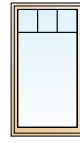
Prairie A



Colonial



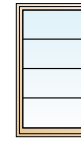
Tall Fractional



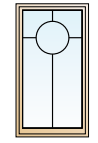
Short Fractional



Simulated Meeting Rail*

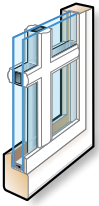


1x4 Specified Equal Light**



Custom

FULL DIVIDED LIGHT



Permanent exterior and permanent interior with spacer



Permanent exterior and permanent interior with energy-saving spacer

Grille Bar Widths



3/4"



7/8"



1 1/8"



2 1/4"

Contemporary Grilles for Patio Doors



5/8"



3/4"



2 1/4"



3 1/2"

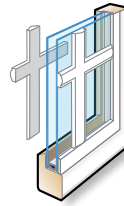
Cross-sections of grilles showing standard widths and profiles.

*7/8", 1 1/8" and 2 1/4" not available in Finelight grilles-between-the-glass.

SIMULATED DIVIDED LIGHT

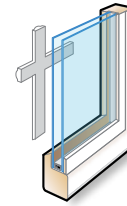


Permanent exterior and permanent interior



Permanent exterior and removable interior

CONVENIENT CLEANING



Removable interior



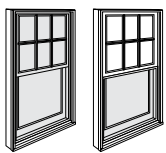
Finelight® grilles-between-the-glass*

Create the look of a double-hung window with 2 1/4" wide grille across the center of a casement window.

INSECT SCREENS

TruScene® and conventional insect screens are available for tilt-wash double-hung and gliding windows. For patio doors, conventional insect screens are available in the configurations shown below. TruScene screens provide 50% greater clarity than conventional Andersen insect screens.

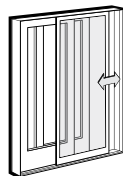
Windows



Full insect screens for venting windows. Half insect screen option for the lower sash of double-hung windows.

12

Gliding Patio Doors

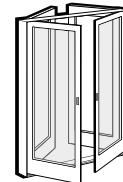


Premium top-hung or conventional gliding insect screen for two- and four-panel gliding doors.

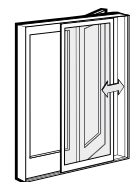


New Andersen exclusive retractable screen for two-, three-, and four-panel gliding doors has a premium, integrated design and offers fresh air and clear views.

Hinged Patio Doors



Single- or double-hinged insect screen for inswing single- and two-panel doors.



Premium top-hung or conventional gliding insect screen for two- and three-panel inswing doors.



BEST-IN-CLASS GLASS

Andersen offers one of the industry’s widest array of glass options, so you’re sure to find the right choice for your climate and your home. Choose from these High-Performance glass options.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™ Thermal control similar to tinted glass, with visible light transmittance similar to Low-E glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ●	● ● ● ○	● ● ● ●
Low-E Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
PassiveSun® Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ○	● ○ ○ ○	● ● ● ●	● ● ○ ○
PassiveSun with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ○ ○ ○	● ● ● ●	● ● ○ ○
Triple-Pane with Low-E coatings on two surfaces Three panes of glass combine with either argon gas blend or Low-E coatings to provide enhanced energy performance.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ●
Clear Dual-Pane High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of January 2024. Visit andersenwindows.com/energystar for ENERGY STAR® map and ENERGY STAR Most Efficient information. See your Andersen supplier for unit NFRC performance data.

HEATLOCK® TECHNOLOGY

Our HeatLock coating can increase the energy efficiency of any A-Series window or patio door with Low-E4 or SmartSun glass. Applied to the room-side glass surface, it reflects heat back into the home for improved performance.

TRIPLE-PANE GLASS

A-Series products are offered with Triple-Pane glass, our most energy efficient glass to help keep more heat in and cold air out, meaning inside temperature is less affected by temperatures outdoors.

For more details on glass options, visit andersenwindows.com/glass.

ADDITIONAL GLASS OPTIONS

Tempered safety glass, standard on patio doors and required by code for larger window sizes.*

Laminated glass for added strength, enhanced security and sound control.

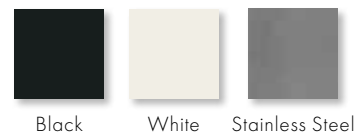
Patterned glass lets in light while obscuring vision and adds a unique, decorative touch.



Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.

GLASS SPACER OPTIONS

Choose from stainless steel, black or white glass spacers to create a customized look. Add full divided light grilles and the grille spacer bar between the glass will match the selected glass spacer color.



STORMWATCH® PROTECTION

Most Andersen A-Series windows are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. See your local code official for specific requirements.



*See your local code official for code requirements in your area.





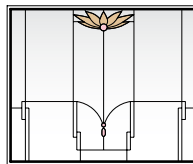
BLINDS-BETWEEN-THE-GLASS

Blinds-between-the-glass offer privacy and convenience and are available on select A-Series gliding and hinged patio doors.

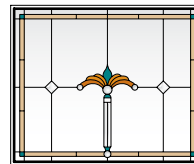


BETWEEN-THE-GLASS ART GLASS

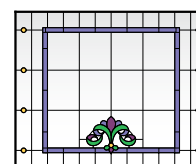
Available on most A-Series products, these finely crafted inserts are between the glass, which places the decorative panel between the glass panes, providing superior protection for the art glass and making it easy to keep clean. Available in our Historic and Classic series to complement any home's architecture. Visit andersenwindows.com/artglass to see all available patterns and contact your Andersen supplier for availability.



Lotus



Regency



Victoria



THE ENVIRONMENT HAS A BUSINESS PARTNER

Respect for the environment is nothing new at Andersen. For more than a century, it's been part of who we are. Our commitment to recycle and reclaim materials began simply because it was good business. Now it's part of our broader commitment to sustainability and responsible stewardship of all our resources. Andersen is committed to providing you with long-lasting, energy-efficient windows and doors. Visit andersenwindows.com/sustainability for more information.



Andersen makes windows and doors with options that make them ENERGY STAR® certified throughout the U.S.



Andersen is a charter member of the **U.S. Green Building Council** and a strong supporter of its LEED® (Leadership in Energy and Environmental Design) National Green Building Standard rating system.



*Visit andersenwindows.com/warranty for details.
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A-SERIES CASEMENT WINDOW

LEARN

DESIGN IT

TECH SPECS



INTERIOR **EXTERIOR**

♥ Add To My Favorites

Excellent choice

We like your style

[Clear My Choices](#) ✕

Sizing Interior Hardware Grilles Exterior Trim Glass Summary



▸ All of your window details

[← Share My Design](#) [Print](#)

Product ID#	ACW3044
Unit Width	35 1/4"
Unit Height	51 1/4"
Interior Color	Maple
Interior Stain	Clear Coat
Glass	Low-E4® Glass
Hardware	Traditional Folding, Antique Brass
Grille Pattern	Colonial
Grille Width	3/4"
Exterior Color	Terratone
Exterior Trim Profile	2" Brick Mould w/ Sill Nose
Exterior Trim Color	Terratone

50 Exterior Colors

Our exclusive line of exterior colors offers a broad spectrum of quality, baked-on, silicone polyester enamel exteriors that meet the AAMA 2605 specification. Our **limited warranty** covers exteriors for 10 years against chalking and color change and 20 years against cracking, checking, peeling, flaking, blistering and loss of adhesion. Custom Exterior colors are also available.

Colony White	White	Balsa White	Abalone	Canvas	Maple Syrup	Harvest Gold	Prairie Grass
Flagstone	Carmel	Sandtone	Pebble Tan	Terratone	Hot Chocolate	Bourbon	Acorn
Coffee Bean	Cocoa Bean	Sierra Bronze	Dark Bronze	Clay Canyon	Red Rock	Bing Cherry	Cardinal
Fire Engine Red	Cinnamon Toast	Olive	Sage	Billiard Green	Moss	Forest Green	Mallard Green
Spearmint	Aquamarine	Patina	Country Blue	Blue Denim	Watercolor Blue	Caribbean Blue	Slate
Moody Blue	Stormy Blue	Dove Gray	Harbor Mist	Yorktown Pewter	Smokey Gray	Mystic Gray	Dark Ash

Panel styles

Colors

Hardware

Glass

Screens

Grilles



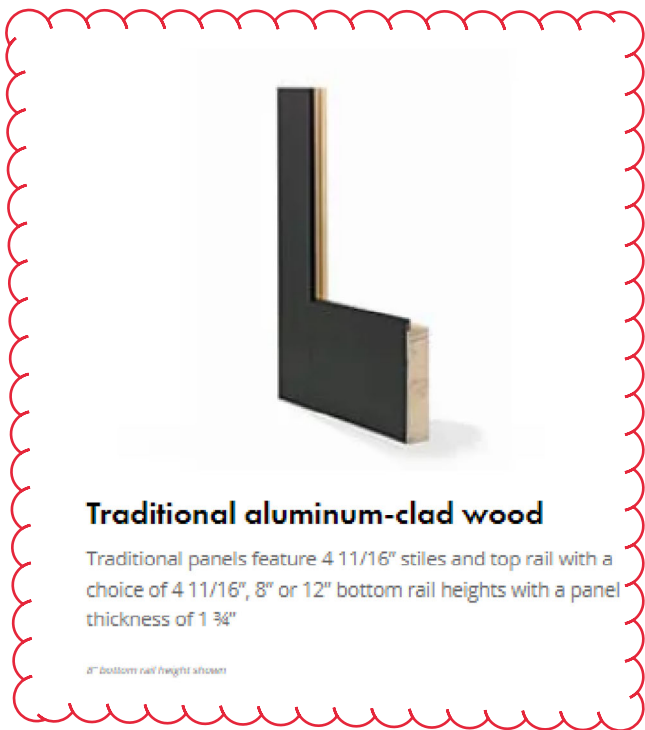
Panel styles

Panels are available in contemporary (48" max width) or traditional (39" max width) styles.



Contemporary

Contemporary style with equal stiles and rails.

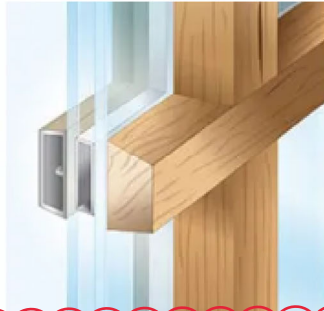


Traditional aluminum-clad wood

Traditional panels feature 4 11/16" stiles and top rail with a choice of 4 11/16", 8" or 12" bottom rail heights with a panel thickness of 1 3/4"

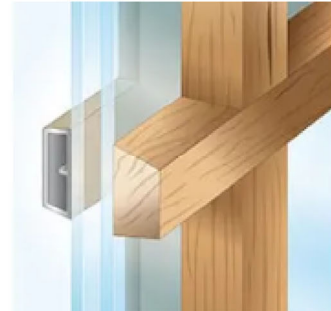
8" bottom rail height shown

Grille types



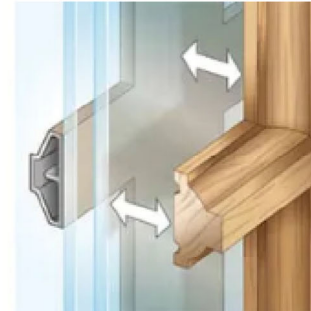
Full divided light

Give any window an authentic look with full divided light grilles that are permanently applied to the interior and exterior of your window with a spacer between the glass.



Simulated divided light

An economical solution with traditional beauty, our Simulated Divided Light features fixed exterior and interior grilles without an internal spacer.



Removable interior wood grilles

Our removable wood grilles are installed on the interior surface. They are available with an optional surround and an optional permanently applied exterior grille.



Finelight™ grilles-between-the-glass

Aluminum grilles conveniently placed between two panes of glass make the glass easy to clean inside and out.

Grille profiles



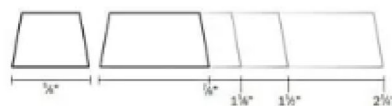
Interior Wood: Ovolo (Colonial)

Widths:

- 5/8"
- 7/8"
- 1 1/8"
- 1 1/2"
- 2 1/4"

Available with:

- Full Divided Light
- Simulated Divided Light



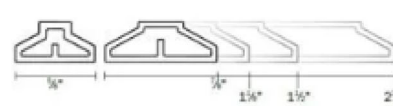
Exterior aluminum: contemporary

Widths:

- 5/8"
- 7/8"
- 1 1/8"
- 1 1/2"
- 2 1/4"

Available with:

- Full Divided Light
- Simulated Divided Light



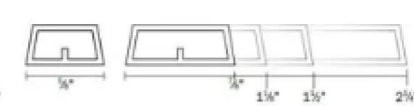
Exterior aluminum: chamfer

Widths:

- 5/8"
- 7/8"
- 1 1/8"
- 1 1/2"
- 2 1/4"

Available with:

- Full Divided Light
- Simulated Divided Light
- Removable Interior Wood with



Exterior aluminum: contemporary

Widths:

- 5/8"
- 7/8"
- 1 1/8"
- 1 1/2"
- 2 1/4"

Available with:

- Full Divided Light
- Simulated Divided Light



Glass

Screens

Grilles

Coastal

Smart home

Resources

Energy performance details

	U-factor How well a product prevents heat from escaping.	Solar heat gain coefficient How well a product blocks heat caused by sunlight.	Visible light transmittance How much visible light comes through a product.	UV protection How well a product blocks ultraviolet rays.
SmartSun™	★★★★☆	★★★★★	★★★★☆	★★★★★
SmartSun with HeatLock™ Coating	★★★★★	★★★★★	★★★★☆	★★★★★
Low-E4®/Low-E	★★★★☆	★★★★☆	★★★★☆	★★★★☆
Low-E4 with HeatLock™ Coating	★★★★★	★★★★☆	★★★★☆	★★★★☆
Sun	★★★★☆	★★★★★	★☆☆☆☆	★★★★☆
PassiveSun®	★★★★☆	★☆☆☆☆	★★★★★	★★★★☆
PassiveSun with Heatlock® Coating	★★★★★	★☆☆☆☆	★★★★★	★★★★☆
Triple-Pane (with Low-E coatings on two surfaces)	★★★★★	★★★★☆	★★★★☆	★★★★★
Clear Dual-Pane	★☆☆☆☆	☆☆☆☆☆	★★★★★	☆☆☆☆☆

Existing Windows to be Removed/Replaced











ATTACHMENT 5

Project Narrative

2039 Stratford Avenue

Proposed Renovation - Project Narrative

June 24, 2024

The residence at 2039 Stratford Avenue was built in 1924 by an unknown architect. It is a two-story home constructed in the English Revival style.

The property at 2039 Stratford Avenue is a contributor to the eligible Lower Stratford Grouping. The contributors to this district are modestly sized, one and two story residences, set on rectangular lots with a common setback. The prevailing styles in the Lower Stratford Grouping are Spanish Colonial Revival, English Revival, Colonial Revival, and Tudor Revival, with the majority of the homes categorized as Spanish Colonial Revival. Garages are primarily detached and located at the rear of each parcel, accessed via driveways along the sides of each parcel. Paved paths (usually concrete, sometimes brick) lead from the sidewalk to the primary facades.

This two-story home is distinguished by its asymmetrical facade and irregular massing, which are typical aspects of the English Revival style. The home features a steeply pitched, multi-gabled roof with a prominent front-facing gable. The exterior is clad in plaster with a prominent chimney on the north elevation that is consistent with English Revival architecture. There is a detached garage at the rear of the property, which also features a steeply pitched roof and three double-hung wood windows in the north, west, and south elevations.

The proposed renovation project at 2039 Stratford Ave aims to update the interior of the home while preserving its historical character. The project was carefully designed to complement the English Revival style, without any changes being made on the street-facing façade, ensuring that the home remains a valuable and cohesive part of the neighborhood.

The height, roof line, front façade and massing of the home will remain the same. The renovation will include converting 514.94 sf of attic into habitable space; legalize 217.42 unpermitted sf on the first floor and 67.32 unpermitted sf on the second floor and an addition of 36.9 sf on the second level; the total additional square footage to be added and/or converted to habitable or legalized is 836.58 sf. The existing walk-up attic will be renovated into a master bedroom, bathroom, closet suite. The existing north-facing second-floor dormer will be expanded by two feet on either side for an additional total of four feet of width to accommodate an upstairs bathroom. The sunroom at the rear of the home will be decreased by approximately three feet in depth, reducing the total lot coverage by approximately fifty square feet. The proposed square footage for the renovation will be less than the

current existing square footage of the home and will remain within the designated Floor Area Ratio (FAR) requirements. Seismic upgrades will be implemented to improve the structural integrity of the home and fire sprinklers will be installed. The existing stucco will be matched to maintain the integrity of the façade around the replaced windows. The proposed legalization of the addition will have a different stucco color with a junction line to further differentiate between the original building and the addition per the Secretary of Interior Standard of differentiation.

The front of the house (east elevation) features an arched solid-wood entry door which has a small inset stained-glass window that is visible from the street. This elevation also features six divided-light casement windows in sets of three. These windows are constructed of wood and their original leaded glass. The south elevation of the home features five original wood-framed double hung windows and two aluminum framed horizontal glider windows. The west elevation features two smaller wood-framed double hung windows, a back door with an inset aluminum operable window and three aluminum framed horizontal glider windows. The north elevation features a combination of wood framed casement, picture and double hung windows and french doors as well as aluminum framed horizontal gliding windows and sliding glass doors.

All windows, doors and architectural features on the east/street facing elevation are to remain as-is and in their original state. Additionally, the two windows on the north elevation closest to the street and next to the chimney on the first level are proposed to remain as-is.

The windows and doors on the south, north and west elevations of the house will be relocated and or/replaced to align with the updated interior layout, improve energy efficiency, replace windows damaged beyond repair by sun exposure and lack of maintenance, and replace windows that are also ahistorical to the architectural style of the home.

These changes will improve the functionality and cohesion of the living spaces, ensuring that the interior design complements the exterior architecture. Windows proposed for removal and replacement are significantly damaged from sun exposure and lack of maintenance by the prior owner. The new double-pane windows will provide substantial improvements in thermal performance. This is particularly advantageous for the south side of the house, which receives the most direct sunlight, which is evident based on the current condition of the windows on that façade.

The existing sunroom at the rear of the house features aluminum-framed horizontal slider windows and aluminum-framed sliding glass doors that are not original to the period in which the home was built. These ahistorical windows and doors will be replaced with double-pane divided-light casement windows and divided-light swing doors that better match the windows at the front of the home.

The second floor features a north-facing dormer with two ahistorical aluminum-frame horizontal glider windows, which will be removed and replaced with a single divided light casement window. A divided-light glass swing door will be installed in an existing doorway on the second floor flanked by divided-light casement windows on either side. A style appropriate railing and walkable roofing material will be added to enclose the existing deck and bring it up to code.

Lastly, skylights will be installed on the roof to introduce more natural light into the second-story space. The skylights are strategically placed to ensure that they remain out of public right-of-way view, thus preserving the home's exterior appearance from the street.

The owners of the property are a young couple currently residing in South Pasadena in a family home located on Spruce Street. They are looking to raise their future family at the 2039 Stratford residence. The goal of this project is to enhance the living space of the existing structure of the home while making minimal alterations to the north, south, and west elevations to match the proposed interior renovations and provide needed repairs to the property that has been significantly impacted by long deferred maintenance.