



**CITY OF SOUTH PASADENA  
CULTURAL HERITAGE COMMISSION**

**AGENDA  
REGULAR MEETING  
THURSDAY, NOVEMBER 21, 2024 AT 6:30 P.M.**

**AMEDEE O. "DICK" RICHARDS JR. COUNCIL CHAMBERS  
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

*South Pasadena Cultural Heritage Commission Statement of Civility*

*As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.*

**NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY**

The South Pasadena Cultural Heritage Commission Meeting will be conducted in-person from the Amedee O. "Dick" Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/82268359053> **Meeting ID: 822 6835 9053**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link:  
<https://us02web.zoom.us/j/82268359053>

<b>CALL TO ORDER:</b>	Chair	Conrado Lopez
<b>ROLL CALL:</b>	Chair	Conrado Lopez
	Vice-Chair	Kristin Morrish
	Commissioner	William Cross
	Commissioner	Jeremy Ding
	Commissioner	Scott Severson
<b>COUNCIL LIAISON:</b>	Mayor Pro Tem	Jack Donovan

**APPROVAL OF AGENDA**

Majority vote of the Commission to proceed with Commission business.

**DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS**

Disclosure by Commissioners of site visits and ex-parte contact for items on the agenda.

**PUBLIC COMMENT GUIDELINES** (Public Comments are limited to 3 minutes)

The Cultural Heritage Commission welcomes public input. If you would like to comment on an agenda item, members of the public may participate by one of the following options:

Option 1:

Participate in-person at the Council Chambers, 1424 Mission Street, South Pasadena

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to [PlanningComments@southpasadenaca.gov](mailto:PlanningComments@southpasadenaca.gov).

Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Cultural Heritage Commission meeting.

NOTE: Pursuant to State law, the Cultural Heritage Commission may not discuss or take action on issues not on the meeting agenda, except that members of the Cultural Heritage Commission or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

**PUBLIC COMMENT**

**1. Public Comment – General (Non-Agenda Items)**

**CONSENT CALENDAR ITEM**

**PUBLIC HEARING**

- 2. 1840 Laurel Street, Project No. COA24-0012** – A request for a Certificate of Appropriateness (COA) for a 109 square-foot first-story addition (also legalizing an unpermitted bedroom on the west side of the home), a 582 square-foot second-story addition, and a 27 square-foot balcony at a single-family dwelling located at 1840 Laurel Street (APN: 5320-023-022). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

**Recommendation:**

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

**ADMINISTRATION**

- 3. Comments from City Council Liaison**
- 4. Comments from Commissioners**
- 5. Comments from Subcommittees**
- 6. Comments from Staff**

**ADJOURNMENT**

- 7. Adjourn to the Regular Cultural Heritage Commission meeting scheduled for December 19, 2024 at 6:30 PM.**

**PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS**

Cultural Heritage Commission meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/cultural-heritage-commission/cultural-heritage-commission-agendas>

**ACCOMMODATIONS**

The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

*I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.*

11/14/2024

Date

A handwritten signature in black ink, appearing to read "Robert Flores", written over a horizontal line.

Robert (Dean) Flores, Senior Planner



# Cultural Heritage Commission Agenda Report

ITEM NO. 2

**DATE:** November 21, 2024

**FROM:** Alison Becker, AICP, Acting Community Development Director  
Elizabeth Bar-EI, Interim Deputy Community Development Director

**PREPARED BY:** Robert (Dean) Flores, Senior Planner

**SUBJECT:** Project No. COA24-0012 – A request for a Certificate of Appropriateness (COA) for a 109 square-foot first-story addition (also legalizing an unpermitted bedroom on the west side of the home), a 582 square-foot second-story addition, and a 27 square-foot balcony at a single-family dwelling located at 1840 Laurel Street (APN: 5320-023-022). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

---

## RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Find the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0012 subject to the draft conditions of approval (**Attachment 1**).

## BACKGROUND

### Project Timeline

On April 22, 2024, the applicant submitted an application for a Certificate of Appropriateness for first- and second-story additions to an existing single-family residence. On October 21, 2024, the project application was deemed complete, after multiple rounds of corrections that included a redesign of the project to ensure compliance with the Certificate of Appropriateness criteria, the South Pasadena Design

Guidelines for Historic Properties, and the Secretary of Interior Standards for Rehabilitation.

## PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct a 109 square-foot first-story rear addition, a 582 square-foot second-story addition, and the construction of new 27 square-foot rear balcony at an existing single-family dwelling. The proposed project also includes the replacement of existing aluminum windows with fiberglass windows. The first story addition entails the legalization of an unpermitted bedroom on the west side of the home. The additions will allow for two (2) new bedrooms, one office, and one bathroom, for a total of four (4) bedrooms and three (3) baths for a total of 2,316 square feet in floor area. The architectural plans and proposed materials are included as **Attachment 2** and the proposed project narrative is included as **Attachment 3**.

### Site Characteristics

The subject property is a rectangular-shaped 8,875 square-foot lot located on the north side of Laurel Street between Marengo Avenue and Milan Avenue. The subject property is located in the Residential Estate zoning district, or RE Zone, and is surrounded by one- and two-story single-family residential uses. Both houses adjacent to the subject property are already two-story dwelling units. Neighborhood images are included as **Attachment 4**.

The subject site is currently developed with an existing 1,625 square-foot single-story, single-family dwelling (excluding the unpermitted addition) with an existing detached two-car garage. The subject site is included in the City's Inventory of Historic Resources, listed as part of the eligible Oneonta Park District (**5D1**). The eligible district is comprised of one-to-two-story homes predominantly of Craftsman style (but also features Colonial Revival and Spanish Revival styles) built between 1907 and 1950.

**Image 1: Street View of the Property**



The single-family residence (see **Image 1** above) was built in 1927 in the Spanish Revival style. Character-defining features include the exterior smooth stucco, arched entryway, exterior Spanish-style tiling, an arrangement of casement wood and casement and single-hung windows, chimney with a decorative chimney cap, and terracotta roof tiles.

Since being built, the property has undergone the following construction and alterations:

- In 1927, permits were issued for the construction of the home and detached garage,
- In 1946, a permit was issued for the addition of a bedroom and bathroom,
- In 1971, a permit was issued for a reroof (new tiles) of the home,
- In 1996, a permit was issued to rebuild the chimney,
- In 2015, a permit was issued for an interior remodel.

Building permit records are included as **Attachment 5**.

## **PROJECT ANALYSIS**

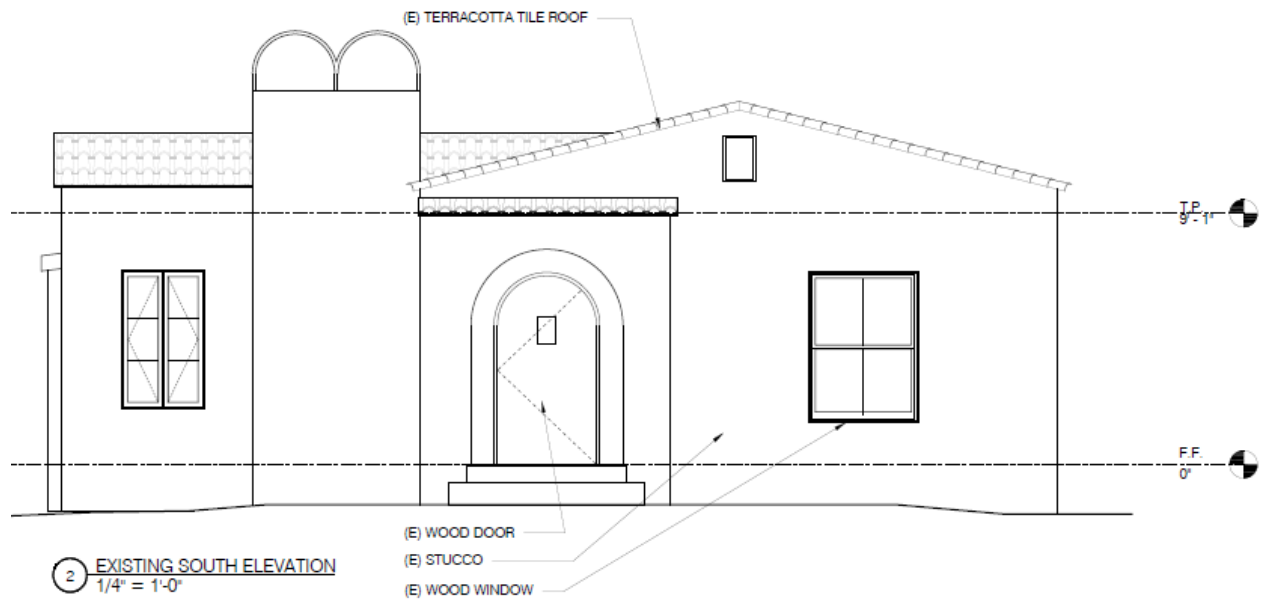
### *Certificate of Appropriateness (COA)*

The proposed project requires a Certificate of Appropriateness review and approval from the Cultural Heritage Commission as the addition is larger than 200 square feet and also features alterations to the roof, which is visible from the street. The subject property has been identified as a contributor to an eligible historic district by the City of South Pasadena. As such, an addition should be visually subordinate, or secondary, to the original structure.

As previously stated, the proposed project includes a 109 square-foot first story addition to legalize an unpermitted office/bedroom, a new 582 square-foot second story addition, and a 27 square-foot rear-facing balcony. Most of the proposed work is concentrated in the middle and rear of the existing structure and maintains a low profile that is compatible with the character of the existing one-story structure. The first story addition is located behind the front façade and is not visible from the public right-of-way. It is differentiated from the existing home due to its incorporation of a flat parapet roof rather than the existing home's gable roof.

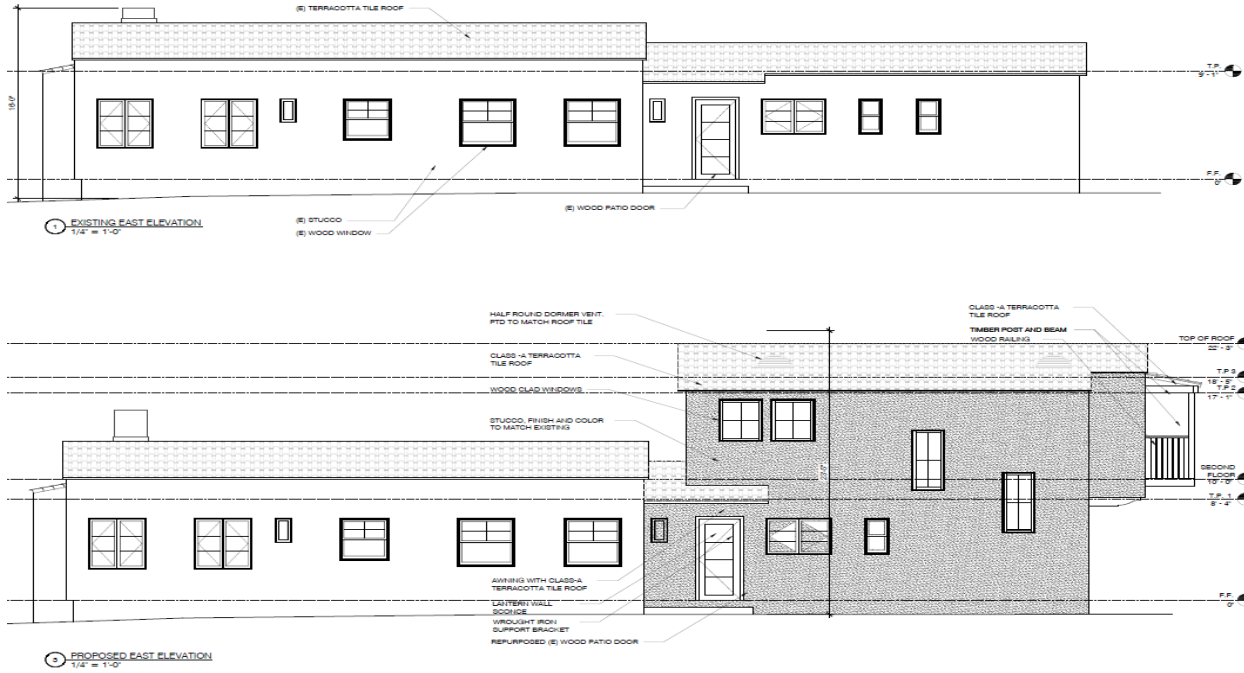
The second-story addition is located toward the rear of the home and will be subordinate to the existing home. The second story addition features articulation in the form of cantilevered walls with wood corbels on the West and North elevations, terracotta vents, and wood clad windows which will differ from the existing wood windows found throughout the existing home. While the second-story addition will feature some visibility from the street, its siting is visually subordinate, and there are no proposed changes to the existing front façade of the home itself. The existing and proposed elevations can be found on **Images 2-5**.

**Image 2: Existing and Proposed South (Front) Elevations**

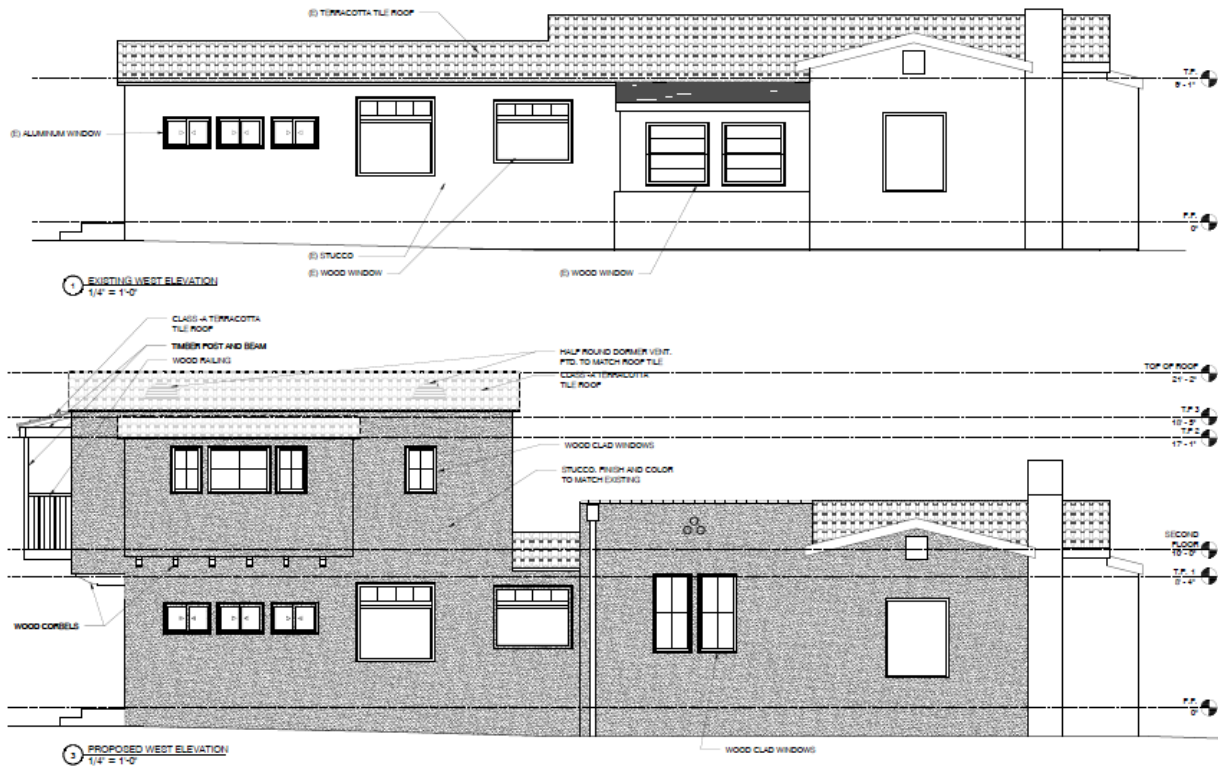




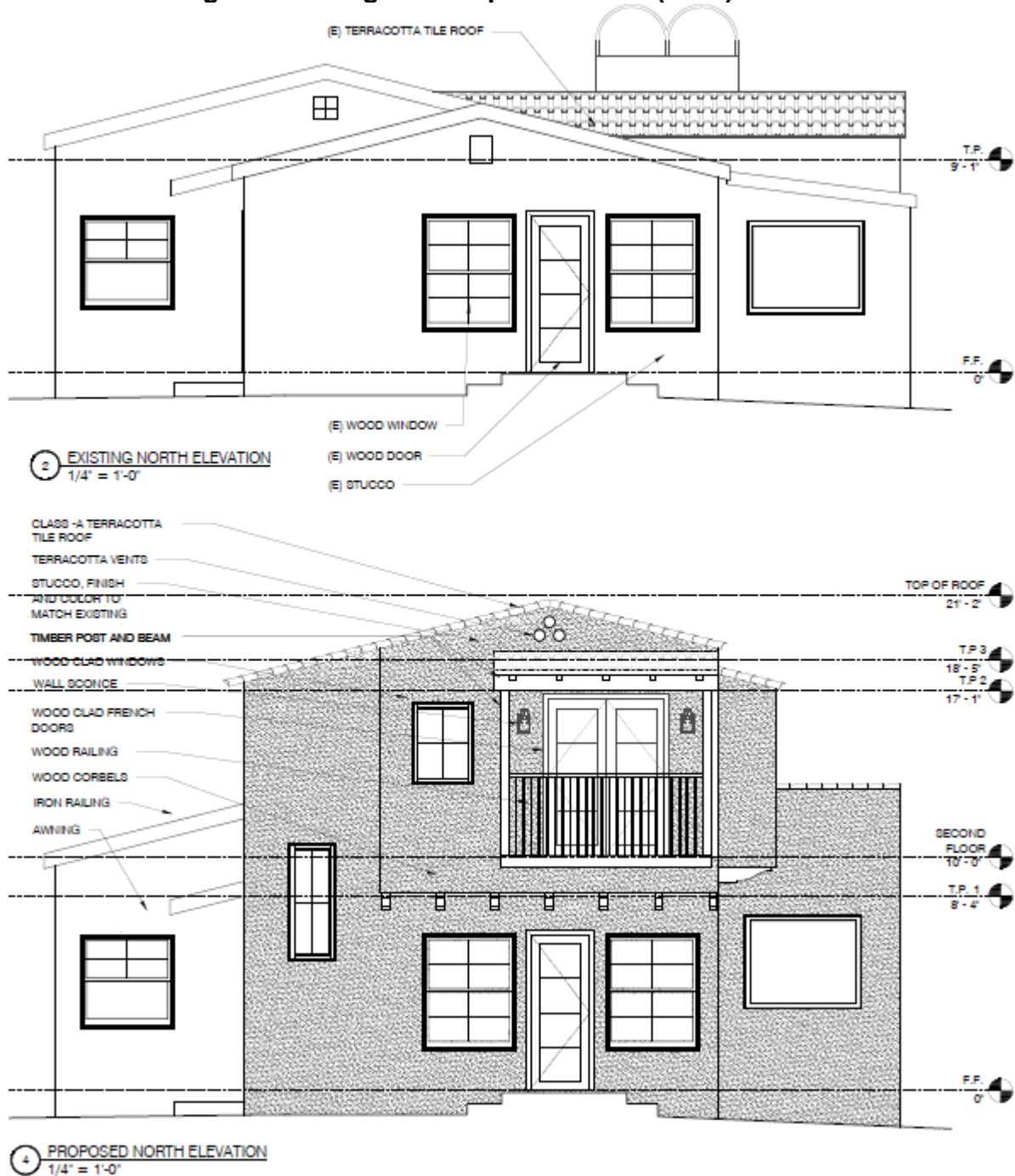
**Image 3: Existing and Proposed East (Side) Elevations**



**Image 4: Existing and Proposed West (Side) Elevations**



**Image 5: Existing and Proposed North (Rear) Elevations**



Zoning Code Compliance

The subject property is zoned Residential Estate (RE), which is intended for the development of detached single-family homes and accessory structures. The existing land use and density of the project site complies with the South Pasadena Municipal Code (SPMC) Division 36.220. The purpose of the Certificate of Appropriateness

process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s design standards and guidelines. Pursuant to Section 36.220.050 Development of Small Nonconforming Residential Parcels, the subject lot is deemed nonconforming, because it is less than 10,000 square feet. Residential Development Standards from SPMC Sections 36.220.040 and 36.220.050 were applied to the proposed project. **Table 1** below lists the project’s conformance with applicable development standards.

**Table 1: Residential Development Standards Compliance**

Standard	Requirement	Existing	Proposed
<b>Lot Coverage</b>	50% (4,437.5 SF max. allowed)	23% 2,055 SF	25.6% 2,276 SF
<b>Floor Area Ratio (FAR)</b>	35% (3,106.25 SF max. allowed)	18.5% 1,649 SF	26.1% 2,316 SF
<b>Building Height</b>	35 ft. max.	16 ft. 0 in.	23 ft. 5 in.
<b>Off-Street Parking</b>	2-Car (Covered)	2-car garage	Unchanged
<b>Front Setback</b>	15' (with porch) 20' (w/o porch)	31 ft. 0.5 in.	Unchanged
<b>Side Setback</b>	10% of lot width (5 ft. minimum)	West: 4 ft. 6 in. (Existing nonconforming) East: 9 ft. 5 in.	Unchanged
<b>Rear Setback</b>	20 ft.	82 ft. 5 in.	76 ft. 0 in.

General Plan Consistency

The General Plan (2040) land use designation for the subject site is Low-Density Neighborhood, which allows for single-family dwellings at up to 5 units per acre. The proposed project, therefore, complies with the following General Plan goals, policies, and/or actions:

*Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.*

*Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.*

The proposed project is consistent with Goal 3 and Policy 3.4 above because the proposal preserves and enhances the existing architectural style and neighborhood as a whole by ensuring that the project maintains the existing architectural style as a contributor to the eligible district. The proposed design features only elements or treatments that are consistent with the Spanish Revival style. Additionally, as shown below, the proposal maintains compliance with the City's applicable development standards and Design Guidelines. Furthermore, the second story stepback from the front elevation reduces the perception of the height of the structure from the street, thus maintaining the traditional neighborhood scale while providing floor area to meet the residents' needs.

## **FINDINGS**

### ***Required Certificate of Appropriateness (COA) Findings***

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the South Pasadena Municipal Code.

#### *Mandatory Findings*

The Cultural Heritage Commission shall make all the required findings listed below.

#### **1. The project is consistent with the goals and policies of the General Plan.**

The project is consistent with the goals and policies of the General Plan for preservation, rehabilitation, and use of historic resources in the City. The existing home, built in 1927, is listed on the City of South Pasadena's Historic Inventory List as a potential contributor to the eligible Oneonta Park District. The proposed project has been designed to retain and preserve the character-defining features of the house. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

*Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.*

*Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.*

The proposed project is consistent with Goal 3 and Policy 3.4 above because the proposal preserves and enhances the existing architectural style and neighborhood by ensuring that the project maintains the existing architectural style as a contributor to the eligible district. The proposed design features only elements or treatments that are consistent with the Spanish Revival style. Additionally, as shown below, the proposal maintains compliance with the City’s applicable development standards and Design Guidelines. Furthermore, the second story stepback from the front elevation reduces the perception of the height of the structure from the street, thus maintaining the traditional neighborhood scale while providing floor area to meet the residents’ needs.

**2. The project is consistent with the goals and policies of Article IVH – Cultural Heritage Ordinance – of Chapter 2 of the South Pasadena Municipal Code.**

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the historic home in a manner that is generally consistent with the *Secretary of Interior’s Standards* as shown in **Table 3** below.

**3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.**

The project, including the residence’s addition, is consistent with the *City of South Pasadena’s Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. “Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and scale in relation to the existing structure. Additions should have limited visibility from the street.” (p. 36)
2. “New additions should be compatible in mass and scale with the neighborhood, and should be visually subordinate to the original building.” (p. 37)
3. “Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent.” (p. 39)

4. “Façade treatments for new additions should be consistent with the existing building and its architectural style. Details and elements not found on the existing structure or inconsistent with the style should be avoided.” (p. 46)

The project is consistent with the standards in the Secretary of Interior’s Standards of Rehabilitation, as shown in **Table 3**.

**Table 3: Consistency with Secretary of Interior Standards**

Standard	Recommendation
<b>Standard 1:</b> A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	<b>Consistent.</b>
<b>Standard 2:</b> The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	<b>Consistent.</b>
<b>Standard 3:</b> Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	<b>Consistent.</b>
<b>Standard 4:</b> Changes to a property that have acquired historic significance will be retained and preserved.	<b>Consistent.</b>
<b>Standard 5:</b> Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	<b>Consistent.</b>
<b>Standard 6:</b> Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	<b>Not applicable.</b>
<b>Standard 7:</b> Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	<b>Not applicable.</b>

Standard	Recommendation
<b>Standard 8:</b> Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	<b>Not applicable.</b>
<b>Standard 9:</b> New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	<b>Consistent.</b>
<b>Standard 10:</b> New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	<b>Consistent.</b>

*Project Specific Findings for a Certificate of Appropriateness*

**Finding 2. The project is appropriate to the size, massing, and design context of the historic neighborhood;**

The project is appropriate to the size, massing and design context of the historic residence and the surrounding district, which is comprised of a mixture of one and two-story residential buildings. The first- and second-story additions are located in the middle and rear portions of the structure and the project incorporates building materials, finishes, and detailing that are compatible with the historic property. Therefore, the proposed addition would be harmonious and compatible with surrounding homes and the neighborhood.

**Finding 3. In the case of an addition or enlargement, the project provides clear distinction between the new and historic elements of the cultural resource or improvement;**

The proposed additions offer differentiation in the form of proposing articulation of portions of the second floor on either side through cantilevered walls with wood corbel supports, providing a flat roof on the single-story addition instead of the existing gable roof, and by incorporating wood clad windows instead of wood windows. Thus, the proposed addition provides clear distinction between the new and historic elements of the cultural resource.

**Finding 6. The project enhances the appearance of the [residence or building] without adversely affecting its original design, character, or heritage;**

The project will add substantial new living space while preserving the character of the eligible historic district. The proposed additions will provide additional bedrooms, bathrooms, and is designed to limit the overall scale and massing of the existing structure because the second story addition is located toward the rear of the home. As such, the proposal will not adversely affect the home's original design, character, or heritage.

## **ENVIRONMENTAL ANALYSIS**

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

## **ALTERNATIVES TO CONSIDER**

The Cultural Heritage Commission has the following options available:

1. Approve the project with the recommendation of a Chair Review for minor modifications to the proposal; or
2. Approve the project as is or with modified condition(s) added or removed and provide findings; or
3. Continue the project, providing the applicant with clear recommendations to revise the proposal; or
4. Deny the project.

## **PUBLIC NOTICING**

A Public Hearing Notice was published on November 8, 2024, in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on November 7, 2024. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

## **NEXT STEPS**

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.



## **ATTACHMENTS**

1. Conditions of Approval
2. Architectural Plans and Renderings
3. Project Narrative
4. Neighborhood Images
5. Building Permits
6. Material Brochures

# **ATTACHMENT 1**

Conditions of Approval

**CONDITIONS OF APPROVAL**  
**Certificate of Appropriateness**  
**Project No. COA24-0012**  
**1840 Laurel Street (APN: 5320-023-022)**

---

**DEVELOPMENT REQUIREMENTS**

*Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.*

**PLANNING DIVISION:**

- P1. This approval and all rights hereunder shall terminate within 18 months of the effective date of their approval by the Cultural Heritage Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P2. Approval by the Cultural Heritage Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission/Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

**BUILDING DIVISION**

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior permit issuance
- B3. The proposed addition shall be designed and constructed to comply with current California Residential Code with Los Angeles County Amendments. The provisions of the California Historical Building Code may be used in specific design elements for the purposes of preserving the integrity of the qualified historical buildings or properties.
- B4. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. Each sheet of the plans shall be stamped and signed by a California licensed architect or engineer per R301.1.3.2 as adopted and amended by the City, for all dwellings of wood frame construction more than one story in height or with a basement located in Seismic Design Category D0, D1, or D2 or E.
- B8. Foundation inspection will not be made until setback of the addition has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION..
- B9. Project shall comply with the CalGreen Residential mandatory requirements.
- B10. Fire-resistance rating requirements for exterior walls and Maximum area of exterior wall openings and degree of open protection based on fire separation distance of 0 to 5 feet for dwellings and accessory buildings shall comply with Table R302.1(1) or with Table R302.1(2) as applicable

**FIRE DEPARTMENT:**

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); Current California Fire Code (CFC); Current California Building Code and NFPA standards.
- FD2. Address Identification. New and existing buildings shall have *approved* address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building can not be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintain.
- FD3. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD4. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and

maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:

- a. On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
- b. In each room used for sleeping purposes.
- c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- FD5. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- FD6. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages.
- FD7. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD8. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).
- FD9. Alarm Requirements. Single and multiple station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. Carbon monoxide alarms and carbon monoxide detectors shall be installed in accordance with this code, the current edition of NFPA 720 "Standard for the Installation of Carbon Monoxide (CO) Detection and Warning Equipment" and the manufacturer's installation instructions. Other carbon monoxide alarm and detection devices are recognized in NFPA 720 are also acceptable.
- FD10. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms.
- FD11. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft<sup>2</sup> (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD12. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:

- a. At each stairway on all floor levels where combustible materials have accumulated.
- b. In every storage and construction shed.
- c. Where special hazards exist included, but not limited to, storage and use of combustible and flammable liquids.

FD13. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.

FD14. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

### **PUBLIC WORKS DEPARTMENT**

PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting for the project to be redesigned/resubmitted.

PW2. The applicant shall pay all applicable City fees including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule, which can be found on the City's website. This includes all costs incurred by the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.

PW3. Laurel Street shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the project approval and immediately upon completion of the project.

PW4. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.

PW5. The applicant shall replace all broken, damaged, or out-of-grade sidewalk and driveway approaches, and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).

- 1) The applicant shall install new 4" thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
- 2) The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department.

PW6. The applicant shall contact the City of South Pasadena Water Operations Manager, Victor Magana, [VMagana@SouthPasadenaCA.gov](mailto:VMagana@SouthPasadenaCA.gov) for the fire flow test. The applicant shall submit water demand

calculations to the City for potable water and fire (if applicable). The calculations will be used to verify the adequacy of the existing water meter connection for the proposed structure and Fire Department approved fire sprinkler system (if applicable). The applicant shall coordinate with the Water Operations Manager the size, location and the associated fee for the installation of a new water meter connection.

PW7. If trees are being removed, the applicant shall provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.

PW8. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.

PW9. The applicant shall include the following information on the plans:

- 1) Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
- 2) The location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
- 3) Show the location and area of trench sections for any proposed sewer and water line connections within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.

PW10. The applicant shall add the following notes on the plans:

- 1) The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
- 2) Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and resident at least 48 hours in advance of the street closure.
- 3) No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- 4) Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- 5) The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to:

demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.

- 6) The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.



## **ATTACHMENT 2**

Architectural Plans and Renderings

CONTACTS:	
OWNER:	MING KUO AND IRIS LEUNG 1840 LAUREL STREET SOUTH PASADENA, CA 91030 707.486.9932 mkuo3000@gmail.com
ARCHITECT:	MELISSA HON TSAI HON TSAI, INC. 1107 FAIR OAKS AVE. #137 SOUTH PASADENA, CA 91030 646.812.5512 hello@melissahon.com
STRUCTURAL ENGINEER:	
ENGINEER:	

BUILDING CODES:	
2023 LA COUNTY BUILDING CODE	
2022 CALIFORNIA BUILDING CODE	
2022 CALIFORNIA ENERGY CODE	
2022 LA GREEN BLDG STANDARDS CODE	
SOUTH PASADENA MUNICIPAL CODE	

LEGAL DESCRIPTION:	
ONEONTA PARK W 20 FT OR LOTS 3 AND 4 AND E 30 FT OF LOT 6 BLK G	

INDEX OF SHEETS:	
A 0.0	VICINITY MAP, GENERAL NOTES, INDEX OF SHEETS
A 1.0	SITE PLANS
A 1.1	FLOOR PLANS
A 1.2	ROOF PLANS
A 2.0	EXTERIOR ELEVATIONS AND SECTIONS
A 2.1	EXTERIOR ELEVATIONS AND SECTIONS
A 4.0	MATERIALS BOARD
A 5.0	PHOTOGRAPHS

PROJECT INFORMATION			
ADDRESS:	1840 LAUREL STREET, SOUTH PASADENA, CA 91030		
APN:	5320-023-022		
BUILDING TYPE:	TYPE VB (NO SPRINKLERS)		
ZONE:	RE - RESIDENTIAL ESTATE		
OCCUPANCY:	R3 - SINGLE FAMILY RESIDENTIAL		
# OF STORIES	1		
LOT SIZE:	8,875 SF (50x177.5')		
SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK:	25% OF LOT DEPTH, 25' MIN 35' MAX	31'-11"	EXISTING
SIDE SETBACK:	10% OF LOT WIDTH	4'-6" NON-CONFORMING	EXISTING
REAR SETBACK:	25'	82'-5"	76'-0"
MAXIMUM HEIGHT:		16'-0"	23'-5"
FLOOR AREA RATIO:	35% (3,106.25 SF)	1649 SF	2375 SF (26.8%)
LOT COVERAGE:	40% (3550 SF)	2055 SF	2262 SF (25.7%)
GARAGE SPACE REQUIREMENTS:	2 COVERED, 1 UNCOVERED	2 COVERED, 1 UNCOVERED	EXISTING

RESIDENTIAL FLOOR AREA		FLOOR AREA RATIO		LOT COVERAGE:	
EXISTING FIRST FLOOR	1625 SF	EXISTING FIRST FLOOR	1625 S.F.	FIRST FLOOR:	1625 S.F.
EXISTING SECOND FLOOR	0 SF	FIRST FLOOR ADD.	109 SF	FIRST FLOOR ADD.:	109 SF
EXISTING GARAGE	406 SF	PROPOSED SECOND FLOOR:	582 S.F.	GARAGE:	406 S.F.
EXISTING FRONT PORCH	0 SF	GARAGE:	406 S.F.	PROP. COVERED REAR:	76 S.F.
EXISTING SIDE PORCH	24 SF	GARAGE CREDIT:	-406 S.F.	PROP. COVERED SIDE:	36 S.F.
EXISTING BASEMENT	115 SF			EXISTING SIDE PORCH:	24 S.F.
TOTAL EXIST. LOT COVERAGE:		2055 SF	PROPOSED TOTAL:	2316 S.F.	PROPOSED TOTAL:
TOTAL EXIST. FLOOR AREA:		1649 SF	PROPOSED FLOOR AREA RATIO:	26.1%	PROPOSED LOT COVERAGE:
				25.6%	

PROJECT NARRATIVE:	
THE PROPOSAL IS TO ADD 109 SF TO THE FIRST FLOOR AND 582 SF TO THE SECOND FLOOR, AND A 27 SF BALCONY. THE SCOPE INCLUDES ADDING TWO BEDROOMS AND ONE BATHROOM TO THE HOUSE.	

#### GENERAL

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO INSTALL NEW WORK AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED TO FACILITATE COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING, REPAIR, AND RE-FINISHING NECESSARY TO RESTORE TO ITS ORIGINAL CONDITION ALL EXISTING PORTIONS OF THE BUILDING DAMAGED BY HIS WORK TO THE SATISFACTION OF THE OWNER.
- ALL DIMENSIONS ARE TO FACE OF STUDS, OR FINISH FACE OF EXISTING WALLS, UNLESS NOTED OTHERWISE.
- MATERIALS, EQUIPMENT, AND PRODUCTS OTHER THAN THOSE DESCRIBED IN THE CONTRACT DOCUMENTS MAY BE CONSIDERED FOR USE PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE ARCHITECT AND ALL APPLICABLE GOVERNING CODE AUTHORITIES.
- THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE UTILITIES (WATER, NATURAL GAS, ELECTRICITY, ETC.) TO ALL FIXTURES AND EQUIPMENT REQUIRING THEM, INCLUDING OWNER FURNISHED FIXTURES AND EQUIPMENT.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY PARTITIONS TO PREVENT THE SPREAD OF DUST, DEBRIS, AND MOISTURE TO PARTS OF THE BUILDING OUTSIDE THE SCOPE OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 24 HOURS IN ADVANCE OF ANY UTILITY OUTAGES.
- ALL DOORS AND WINDOWS SHALL BE FULLY WEATHERSTRIPPED IF THEY SEPARATE CONDITIONED AND UNCONDITIONED SPACES.
- IT IS THE CONTRACTORS FULL RESPONSIBILITY TO SHORE AND BRACE THE STRUCTURAL SYSTEM, EXCAVATIONS, ETC. DURING THE ENTIRE CONSTRUCTION PERIOD.
- ALL NEW EXTERIOR WALL WITHIN 5'-0" OF PROPERTY LINE SHALL BE 1-HOUR RATED.
- FIRE LANE ACCESS IS REQUIRED WHERE ANY PART OF THE BUILDING IS 150 FT FROM THE EDGE OF AN IMPROVED STREET OR APPROVED FIRE LANE. OBTAIN CLEARANCE FROM THE HYDRANTS AND ACCESS UNIT OF THE FIRE DEPT LAMC 57.09.03.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, WALLS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- KITCHEN SINKS, LAVATORIES, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC).
- PROVIDE (70)(72) INCH HIGH NON-ABSORBANT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- (1210.2, 2406.4, R307.2, R309.2)
- SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.
- SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT OF DWELLINGS WITH MORE THAN ONE STORY. (907.2.11.2, R213.3). THE POWER SOURCE FOR SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (907.2.11.6, R314.4)
- CARBON MONOXIDE ALARM IS REQUIRED PER (SECTION 420.6, R315).
- EVERY SPACE INTENDED FOR HUMANK OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- MEMBRANE PENETRATION SHALL COMPLY WITH SECTION R302.4.1
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE (R302.1.1)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SF. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS (R302.12)
- DAMP/PROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS ND AS REQUIRED IN SECTION R406.1.
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS SPECIFIED PER SECTION 317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP1 U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN ECTION 4 OF AWP1 U1.
- THE FLOOR RATES FOR ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH THE MAX. FLOW RATES SPECIFIED IN SECTION 4.303.1
- THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURES BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.
- THE ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE. 4.406.1
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
- ALL OPERATIONS AND MAINTENANCE MANUAL INCLUDING, AT A MIN., THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3
- New hardwood plywood, particle board, and medium density fiberboard composite wood products used in the interior or exterior of the building shall meet the formaldehyde limits listed in Table 4.504.5. (4.504.5)
- The Formaldehyde Emissions V erification Checklist, Form GRN 3, shall be completed prior to final inspection approval. The manufacturer's specifications showing formaldehyde content for all applicable wood products shall be readily available at the job site and be provided to the field inspector for verification.(4.504.5)
- Mechanically ventilated buildings within 1,000 feet of a freeway shall provide regularly occupied areas of the building with a MERV 13 filter for outside and return air. Filters shall be installed prior to occupancy and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. (4.504.6)
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed until it is inspected and found to be satisfactory by the building inspector. (4.505.3)
- The heating and air-conditioning systems shall be sized and designed using ANSI/ACCA Manual J - 2011, ANSI/ACCA 29-D-2014 or ASHRAE handbooks and have their equipment selected in accordance with ANSI/ACCA 3 Manual S-2014.(4.507.2)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- PROVIDE NONABSORBENT SURFACES UP TO AT LEAST 6" ABOVE THE SHOWER DRAINS
- PROVIDE DOWNDRAFT DAMPERS ON THE KITCHEN HOOD, DRYER VENT AND ALL EXHAUST VENT
- PROVIDE PRESSURE BALANCE AND/OR THERMOSTATIC MIXING VALVES IN THE SHOWERS
- PROVIDE INTEGRAL BACK FLOW PREVENTER DEVICES ON ALL HOSE BIBS

#### ADDITIONAL NOTES:

- Compliance information The builder shall leave in the building, copies of the completed, signed and submitted compliance documents for the building owner at occupancy. For low-rise residential buildings, such information shall, at a minimum, include copies of all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documentation submitted. [10-103(b)1]
- Operating information. The builder shall provide the building owner at occupancy, operating information for all applicable features, materials, components, and mechanical devices installed in the building. Operating information shall include instructions on how to operate the features, materials, components, and mechanical devices correctly and efficiently. The instructions shall be consistent with specifications set forth by the Executive Director. For residential buildings, such information shall be contained in a folder or manual which provides all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documents. This operating information shall be in paper or electronic format. [10-103(b)2]
- Maintenance information. The builder shall provide to the building owner at occupancy, maintenance information for all features, materials, components, and manufactured devices that require routine maintenance for efficient operation. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying, by title and/or publication number, the operation and maintenance manual for that particular model and type of feature, material, component or manufactured device. [10-103(b)3]
- Ventilation information The builder shall provide to the building owner at occupancy, a description of the quantities of outdoor air that the ventilation system(s) are designed to provide to the building's conditioned space, and instructions for proper operation and maintenance of the ventilation system. [10-103(b)4]
- All systems, equipment, appliances and building components shall comply with the applicable manufacturing, construction, and installation provisions of Sections 110.0 through 110.11 for newly constructed buildings.
- Any appliance regulated by the Appliance Efficiency Regulations, Title 20 California Code of Regulations, Section 1601 et seq., may be installed only if the appliance fully complies with Section 1608(a) of those regulations. [110.1(a)]
- Service water-heating systems shall be equipped with automatic temperature controls capable of adjustment from the lowest to the highest acceptable temperature settings for the intended use as listed in Table 3, Chapter 50 of the ASHRAE Handbook, HVAC Applications Volume. [110.3(a)1]
- On systems that have a total capacity greater than 167,000 Btu/hr, outlets that require higher than service water temperatures as listed in the ASHRAE Handbook, Applications Volume, shall have separate remote heaters, heat exchangers, or boosters to supply the outlet with the higher temperature. [110.3(c)1]
- Service hot water systems with circulating pumps or with electrical heat trace systems shall be capable of automatically turning off the system. [110.3(c)2]
- Controls for service water-heating systems shall limit the outlet temperature at public lavatories to 110°F. [110.3(c)3]
- Unfired service water-heater storage tanks and backup tanks for solar water-heating systems shall have:
  - External insulation with an installed R-value of at least R-12, or
  - Internal and external insulation with a combined R-value of at least R-16, or
  - The heat loss of the tank surface based on an 80°F
- Water-air temperature difference shall be less than 6.5 Btu/hr per square foot. [110.3 (c)4]
- Manufactured fenestration products and exterior doors shall have air infiltration rates not exceeding 0.3 cfm/ft2 of window area, 0.3 cfm/ft2 of residential door area, 0.3 cfm/ft2 of nonresidential single door area, and 1.0 cfm/ft2 of nonresidential double door area. [110.6(a)1]
- Fenestration products shall be rated in accordance with NFRC 100 for U-factor, NFRC 200 for SHGC, and VT or use the applicable default value. Fenestration products shall have a temporary label for manufactured fenestration products or a label certificate when the Component Modeling Approach is used and for site-built fenestration meeting the requirements of Section 10-111(a)1, 110.6(a)2, 110.6(a)3, 110.6(a)4, 110.6(a)5]
- Field-fabricated fenestration products and exterior doors, other than unframed glass doors and fire doors, shall be caulked between the fenestration products or exterior door and the building, and shall be weatherstripped. [110.6(b)]
- Joints, penetrations and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather stripped, or otherwise sealed to limit infiltration and exfiltration. [110.7]
- Insulation shall be certified by Department of Consumer Affairs, Bureau of Home Furnishing and Thermal Insulation that the insulation conductive thermal performance is approved pursuant to the California Code of Regulations, Title 24, Part 12, Chapter 12-13, Article 3, "Standards for Insulating Material." [110.8(a)]
- Urea formaldehyde foam insulation may only be used in exterior side walls, and requires a four-mil-thick plastic polyethylene vapor barrier between the urea formaldehyde foam insulation and the interior space in all applications. [110.8(b)]
- Insulating material shall be installed in compliance with the flame spread rating and smoke density requirements of the CBC. [110.8(c)]
- Heating or cooling systems shall be equipped with a setback thermostat that meet the requirements of Section 110.2(c). [150.0(i)]
- All pumps and pump motors installed shall be listed in the Commission's directory of certified equipment and shall comply with the Appliance Efficiency Regulations. [150.0(p)1.A]
- The minimum installed weight per square foot of any loose-fill insulation shall conform with the insulation manufacturer's labeled R-value. [150.0 (b)]
- The minimum depth of concrete-slab floor perimeter insulation shall be 16 inches or the depth of the footing of the building, whichever is less. [150.1(c)(1)(D)]
- Insulations are required for: [150.0(i)2.A]
  - All hot water pipes from the heating source to the kitchen fixtures.
  - All piping with a nominal diameter of 3/4 inch or larger.
  - The first 5 feet (1.5 meters) of hot and cold water pipes from the storage tank.
  - All piping associated with a domestic hot water recirculation system.
  - Piping from the heating source to storage tank or between tanks.

- Piping buried below grade.
- Insulation shall be provided for water heaters as follows: Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, shall be externally wrapped with insulation having an installed thermal resistance of R-12 or greater or have internal insulation of at least R-16 and a label on the exterior of the tank showing the insulation R-value. [150.0 (i)]
- Lighting [150.0(k)]
- Installed luminaires shall be classified as high-efficacy in accordance with TABLE 150.0-A.
- Exhaust fans shall be switched separately from lighting systems.
- Luminaires shall be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF.
- Lighting installed in attached and detached garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by vacancy sensors.
- Dimmers or vacancy sensors shall control all luminaires required to have light sources compliant with Reference Joint Appendix JA8.
- Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1505)
- Valley flashings shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (705A.3)
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (705A.4)
- (Roof) (Alic) (Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4-inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (706A.1, 706A.2, 706A.3, 7207.3)
- Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.5.5)
- Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3)
- Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)
- Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating-glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to ASTM E 2010, or conform to the performance requirements of SFM 12-7A-2 (708A.2.1)
- Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having stiles and rails not less than 1.38 inches thick with interior field panel thickness no less than 1 7/8 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2074. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (708A.3)
- Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non combustible or other approved materials per Sec.709A.3
- The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (707A.8)
- Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (707A.9, 7207.1)
- All utilities, pipes, furnances, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction. (7207.2)
- The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per 705A.2.
- No trellis is permitted within 10 feet of the primary structure.
- Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. 71BC 2008-023).
- Protection of wood and wood-based products from decay shall be provided in the following locations by the use of naturally durable wood or wood that is preservative-treated in accordance with AWP1 U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWP1 U1.
  - Wood joists or the bottom of a wood structural floor when closer than 18 inches (457 mm) or wood girders when closer than 12 inches (305 mm) to the exposed ground in crawl spaces or unexcavated area located within the periphery of the building foundation.
  - Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches (203 mm) from the exposed ground.
  - Sills and sleepers on a concrete or masonry slab that is in direct contact with the ground unless separated from such slab by an impervious moisture barrier.
  - The ends of wood girders entering exterior masonry or concrete walls having clearances of less than 1/2 inch (12.7 mm) on top, sides and ends.
  - Wood siding, sheathing and wall framing on the exterior of a building having a clearance of less than 6 inches (152 mm) from the ground or less than 2 inches (51 mm) measured vertically from concrete steps, porch slabs, patio slabs and similar horizontal surfaces exposed to the weather.
  - Wood structural members supporting moisture-permeable floors or roofs that are exposed to the weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier.
  - Wood furring strips or other wood framing members attached directly to the interior of exterior masonry walls or concrete walls below grade except where an approved vapor retarder is applied between the wall and the furring strips or framing members.

#### PUBLIC WORKS NOTES:

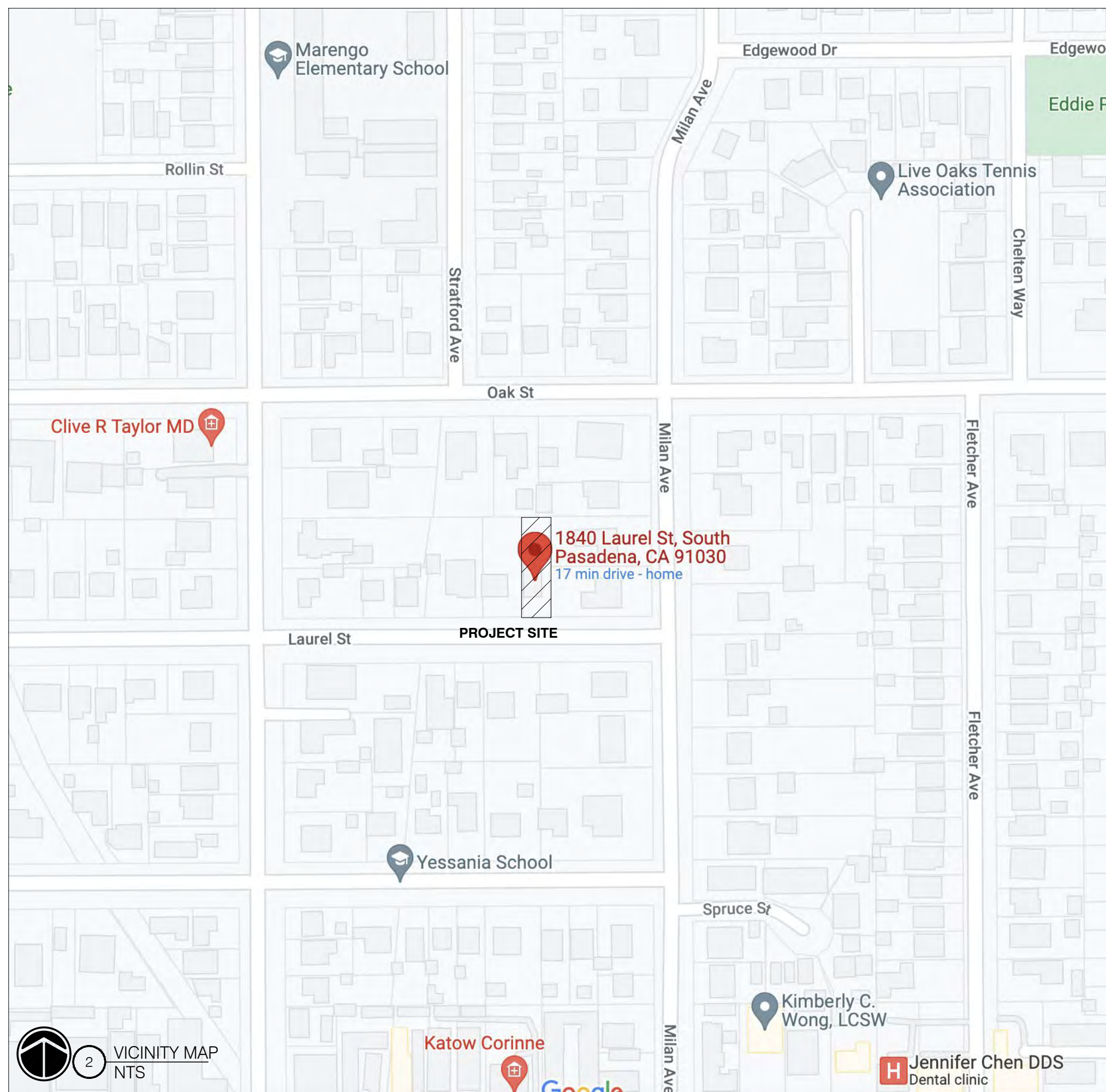
- TEMPORARY BINS (LOW BOY) WILL BE "ROLL OFF" STYLE TO BE PROVIDED BY ATHENS SERVICES. ATHENS SERVICES HAS AN EXCLUSIVE AGREEMENT WITH THE CITY FOR THE PROVISION OF TRASH REMOVAL SERVICES. ONLY ATHENS DUMPSTERS CAN BE USED. ANY DUMPSTERS PLACED ON THE ROADWAY SHALL REQUIRE A PROTECTIVE BARRIER UNDERNEATH (SUCH AS PLYWOOD) TO PROTECT THE PAVEMENT. THE APPLICANT SHALL OBTAIN A DUMPSTER PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
- THE APPLICANT SHALL BE RESPONSIBLE FOR ALL BROKEN, DAMAGED, OR OUT-OF-GRADE CURB AND GUTTER, SIDEWALK, AND DRIVEWAY FRONTING THE PROPERTY ON MERIDIAN AVE TO BE THE SATISFACTION OF THE CITY ENGINEER PER SPMC SECTION 31.54. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AND STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (SPWC).
- SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO REPLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.
- PROTECT ALL EXISTING TREES DURING CONSTRUCTION IN ACCORDANCE TO THE TREE PROTECTION PLAN BELOW. THE PROPOSED BUILDING STRUCTURE SHALL NOT BE CONSTRUCTED WITHIN CRITICAL ROOT ZONE AREA. FOR NATIVE AND PROTECTED SPECIES, USE OF THE TREE TRUNK'S DIAMETER MEASURED AT BREAST HEIGHT (DBH)(X3) AS THE MINIMUM CRITICAL ROOT MASS. FOR NON-NATIVE AND PROTECTED SPECIES, USE THE TREES DBH (X3) AS THE MINIMUM CRITICAL ROOT MASS.

#### STATE REQUIREMENTS NOTES:

- At time of permit issuance, contractor shall show their valid workers' compensation insurance certificate.
- All work shall conform to all requirements of State of California Title 24 regardless of the information indicated on these plans. It is the responsibility of the individual supervising the construction to ensure that the work is done in accordance with Code requirements prior to requesting inspection.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Stockpiles of earth and other construction related solid wastes must be protected from being transported from the site by the forces of wind or water.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- South Coast Air Quality Management District (SCAQMD) shall be notified in accordance with California State Law prior to start of any demolition, addition, and/or remodel work. The South Coast Air Quality Management District Office is located at 21865 Copley Drive in Diamond Bar, Phone No. (909) 396-2000. Be advised, SCAQMD may require a 10 day wait period prior to start of work.
- All noncompliant plumbing fixtures shall be replaced with water-conserving plumbing fixture prior to final inspection.
- Due to the possible presence of lead-based paint, lead-safe work practices are required for all repairs that disturb paint in pre-1979 buildings. Failure to do so could create lead hazards that violate California Health & Safety Code, Sections 17920.10 and 105256 with potential fines for violations up to \$5,000 (Section (d) amended) or imprisonment for not more than 6 months in the County jail or both.
- Separate permit shall first be obtained from the City Public Works Department prior to placement of any construction materials or equipment in the public way.
- The issuance of a permit shall not prevent the building official from requiring the correction of errors on these plans or from preventing any violation of the Codes adopted by the City, relevant laws, ordinances, rules and/or regulations.
- CALGREEN RECYCLING REQUIREMENT: TO COMPLY THIS PROJECT REQUIRES THE USE OF FRANCHISE HAULER. CALGREEN REQUIREMENT: TO RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN CODE SECTIONS 4.408.1 AND 5.408.1

THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.

SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIAL OR EQUIPMENT IN THE PUBLIC WAY.



# HON TSAI, INC.

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

#### PROJECT:

KUO AND LEUNG  
RESIDENCE

#### OWNER / CLIENT:

1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030

#### PROGRESS ISSUE:

N%	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-29-2024

#### PROFESSIONAL SEAL:

#### KEYPLAN:

#### SHEET TITLE:

SITE PLAN, VICINITY  
MAP, GENERAL NOTES,  
INDEX OF SHEETS

#### SHEET NUMBER:

A0.0

**HON TSAI, INC.**

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

PROJECT:

**KUO AND LEUNG  
RESIDENCE**

OWNER / CLIENT:

**1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030**

PROGRESS ISSUE:

Nº	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-29-2024

PROFESSIONAL SEAL:

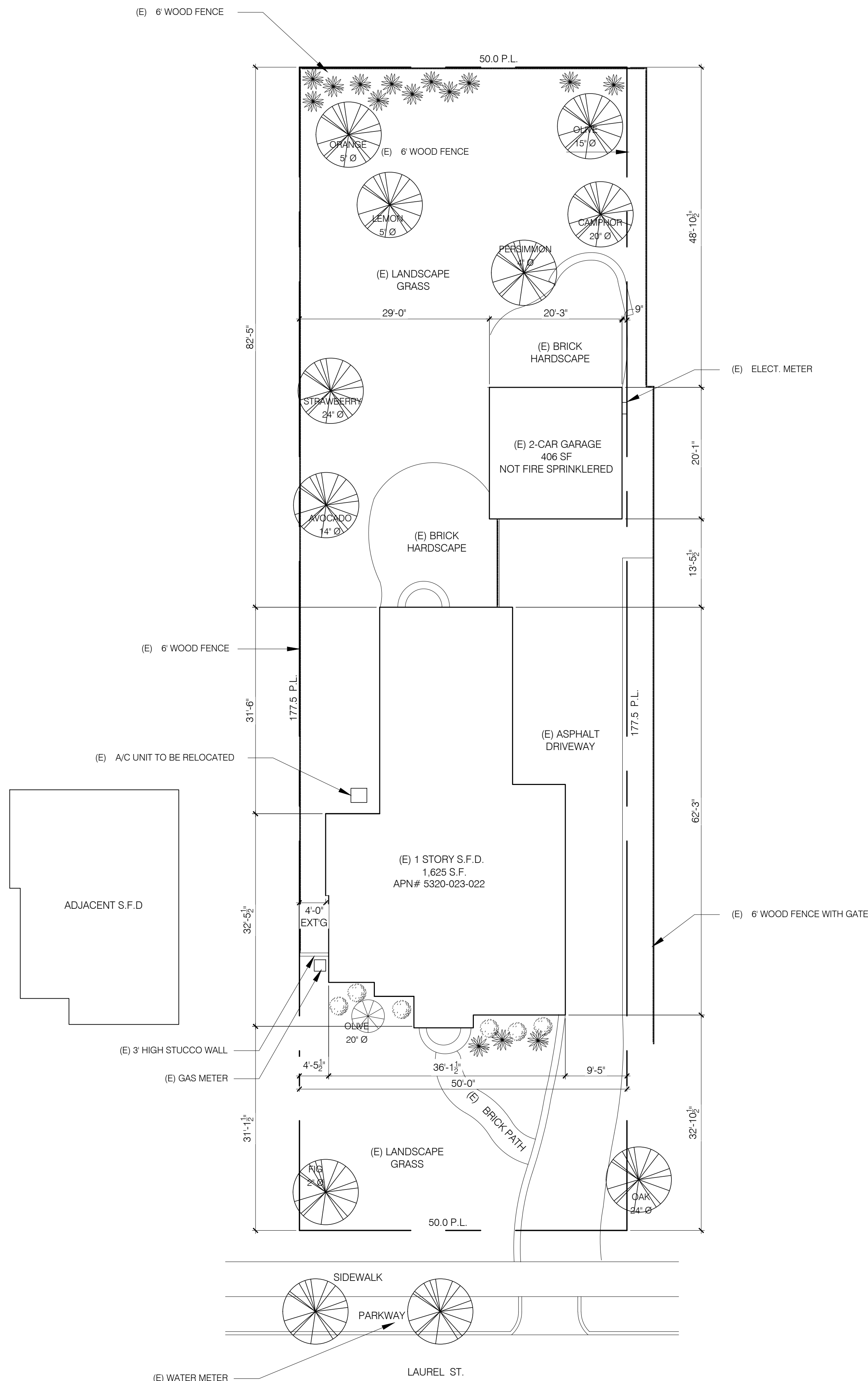
KEYPLAN:

SHEET TITLE:

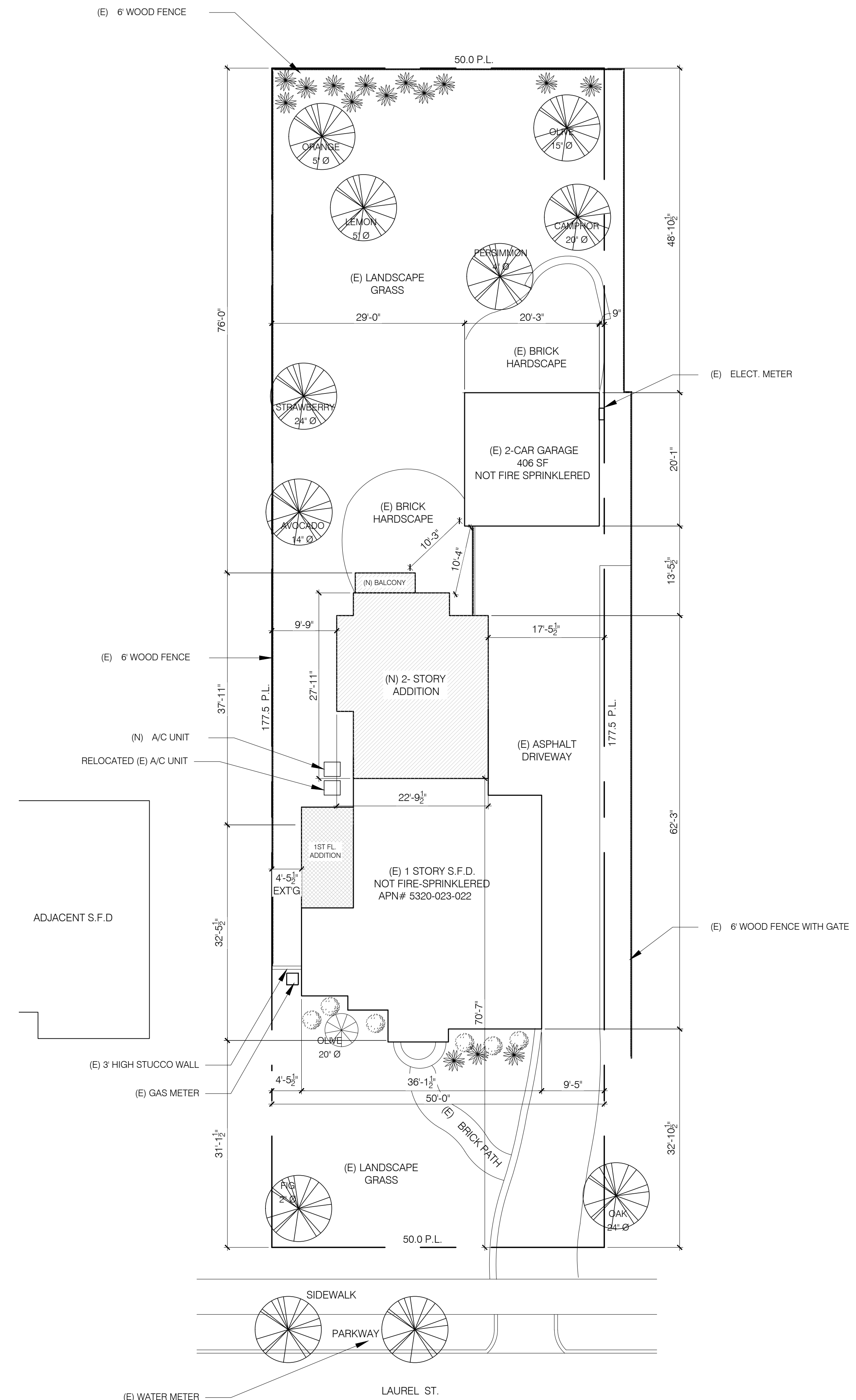
SITE PLANS

SHEET NUMBER:

**A1.0**



2 EXISTING SITE PLAN  
3/32" = 1'-0"



1 PROPOSED SITE PLAN  
3/32" = 1'-0"



WINDOW SCHEDULE							
#	QTY.	SPECIFICATION	PROPOSED MANUFACTURER	SIZE (WxH)	HEIGHT TO SILL	CLEAR OPENING	REMARKS
(W)	-	NOT USED	-	-	-	-	-
(W)	5	CASEMENT, DUAL LOW-E GLAZING, COLONIAL SIMULATED GRID	JELD-WEN SITELINE	2'-8" x 3'-6"	36"		COLOR TO BE STEELE GREY
(W)	3	CASEMENT, DUAL LOW-E GLAZING, COLONIAL SIMULATED GRID	JELD-WEN SITELINE	2'-0" x 3'-0"	42"		COLOR TO BE STEELE GREY
(W)	1	FIXED, DUAL LOW-E GLAZING, COLONIAL SIMULATED GRID	JELD-WEN SITELINE	4'-0" x 3'-0"	42"		COLOR TO BE STEELE GREY
(W)	3	FIXED, DUAL LOW-E GLAZING, COLONIAL SIMULATED GRID	JELD-WEN SITELINE	2'-0" x 5'-0"	VARIES		COLOR TO BE STEELE GREY
(W)	-	NOT USED	-	-	-	-	-
(W)	2	CASEMENT, DUAL LOW-E GLAZING, SIMULATED GRID	JELD-WEN, SITELINE	2'-6" x 5'-0"	42"		COLOR TO BE STEELE GREY, EGRESS
(1)	1	EXISTING FRENCH CASEMENT	N/A	3'-0" x 5'-0"	EXISTING		TO REMAIN
(2)	1	EXISTING PICTURE	N/A	4'-0" x 5'-0"	EXISTING		TO REMAIN
(3)	2	EXISTING SINGLE-HUNG	N/A	4'-0" x 4'-0"	EXISTING		TO BE REMOVED
(4)	2	EXISTING FIXED	N/A	5'-0" x 4'-0"	EXISTING		TO REMAIN, 1 TO BE REUSED - VIF
(5)	1	EXISTING FIXED	N/A	5'-0" x 5'-0"	EXISTING		TO REMAIN
(6)	3	EXISTING SLIDING, ALUMINUM	N/A	2'-0" x 3'-0"	EXISTING		TO REMAIN
(7)	2	EXISTING SINGLE-HUNG	N/A	4'-0" x 5'-0"	EXISTING		TO REMAIN
(8)	2	EXISTING SINGLE-HUNG	N/A	1'-6" x 3'-0"	EXISTING		TO REMAIN
(9)	2	EXISTING SINGLE-HUNG	N/A	2'-0" x 3'-0"	EXISTING		TO REMAIN
(10)	2	EXISTING FIXED	N/A	1'-0" x 2'-0"	EXISTING		TO REMAIN
(11)	2	EXISTING SINGLE-HUNG	N/A	3'-6" x 4'-0"	EXISTING		TO REMAIN
(12)	1	EXISTING SINGLE-HUNG	N/A	3'-0" x 3'-6"	EXISTING		TO REMAIN
(13)	2	EXISTING FRENCH CASEMENT	N/A	3'-6" x 4'-2"	EXISTING		TO REMAIN

DOOR SCHEDULE						
#	SPECIFICATION	MANUFACTURER	TYPE	SIZE (WxH)	THICKNESS	REMARKS
(D)	NOT USED	-	-	-	-	-
(D)	INTERIOR 1-PANEL, PRE-HUNG, SOLID CORE, PRIMED		RIGHT-HAND SWING	2'-8" x 6'-8"	1-3/4"	
(D)	INTERIOR BY-PASS, 1-PANEL, HOLLOW CORE, PRIMED		GLIDING	6'-0" x 6'-8"	1-3/4"	
(D)	INTERIOR 1-PANEL, PRE-HUNG, SOLID CORE, PRIMED		LEFT-HAND SWING	2'-8" x 6'-8"	1-3/4"	
(D)	INTERIOR BY-PASS, 1-PANEL, HOLLOW CORE, PRIMED		GLIDING	6'-0" x 6'-8"	1-3/4"	
(D)	EXTERIOR FRENCH, FULL-LITE, COLONIAL SIMULATED GRID	JELD-WEN SITELINE	FRENCH IN SWING	5'-0" x 6'-8"	1-3/4"	
(1)	EXISTING EXTERIOR, WOOD ENTRY DOOR	N/A	IN-SWINGING	3'-7" x 6'-8"		TO REMAIN
(2)	EXISTING EXTERIOR, FULL-LITE	N/A	IN-SWINGING	2'-6" x 6'-8"		TO REMAIN
(3)	EXISTING EXTERIOR, FULL-LITE	N/A	IN-SWINGING	2'-6" x 6'-8"		TO REMAIN

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING HAVING A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT FOR GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24 IN., WIDTH SHALL BE 20 IN. MIN., AND BOTTOM OF THE CLEAR OPENING SHALL BE NO GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW 4" STUD WALL @ 16" O.C. UNLESS OTHERWISE NOTED
WALL TYPE	
	2x6 WOOD STUD 16" O.C. OVER 1/2" PLYWOOD SHEATHING; EXTERIOR: 2 LAYERS OF GRADE "D" BUILDING PAPER OR 1 LAYER OF DUPONT TYVEK WRAP; 3.4 LBS SELF-FURRING METAL LATH; 1/2" MIN. THICK, THREE COAT CEMENT PLASTER - SMOOTH FINISH; INTERIOR: R-19 INSULATION; 1/2" GYP. BOARD
	2X4 WOOD STUD 16" O.C.; SOUND INSULATION; 1/2" PLYWOOD SHEATHING FINISH BOTH SIDES
VENTILATION	
NEW ATTIC SPACE: 816 SF @ 1/2" = 5.44 SF OR 783 SQ. IN. ATTIC VENTILATION SHALL NOT BE LESS THAN 0.45 SF (R806.2)	
(3) 12" x 24" HALF ROUND DORMER VENTS = 3 x 226 SQ. IN. = 678 SQ. IN.	
TERRACOTTA VENT WITH 4" INTERIOR DIA. = 12.56 SQ. IN.	
(9) VENTS = 9 x 12.56 = 113 SQ. IN.	
678 + 113 = 791 SQ. IN. > 783 REQUIRED	

# HON TSAI, INC.

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

PROJECT:

## KUO AND LEUNG RESIDENCE

OWNER / CLIENT:

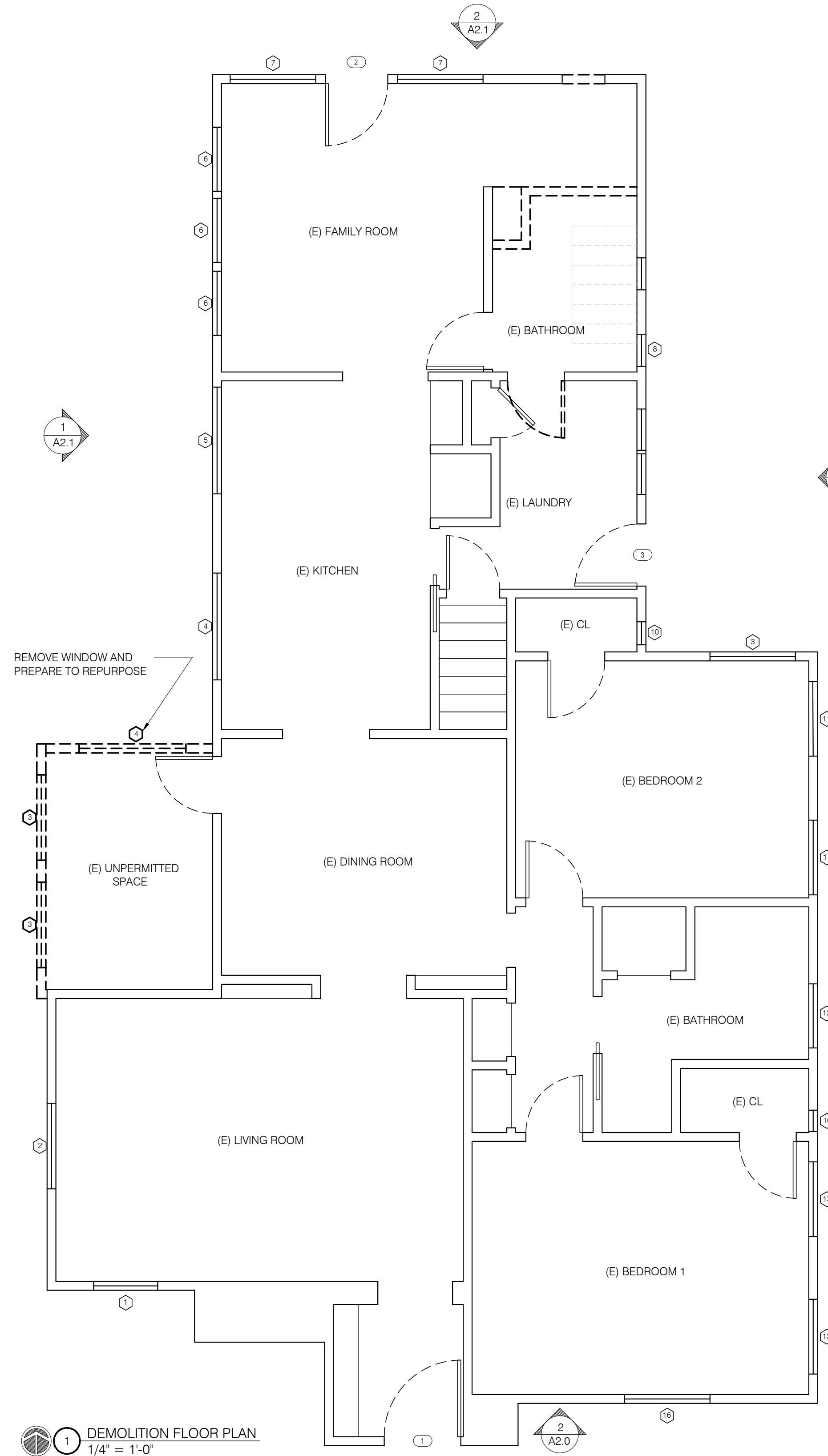
1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030

PROGRESS ISSUE:

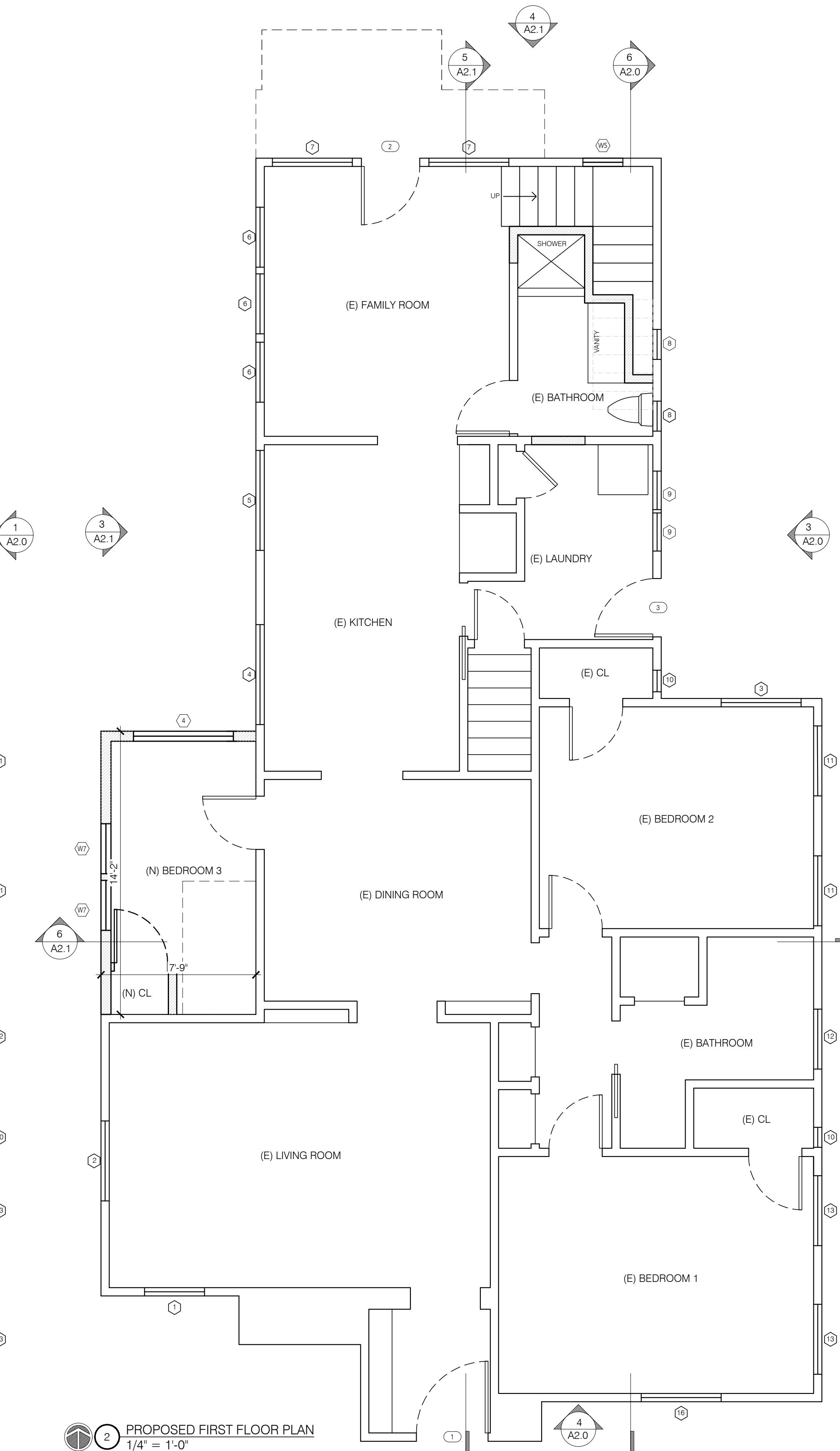
N#	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-28-2024

PROFESSIONAL SEAL:

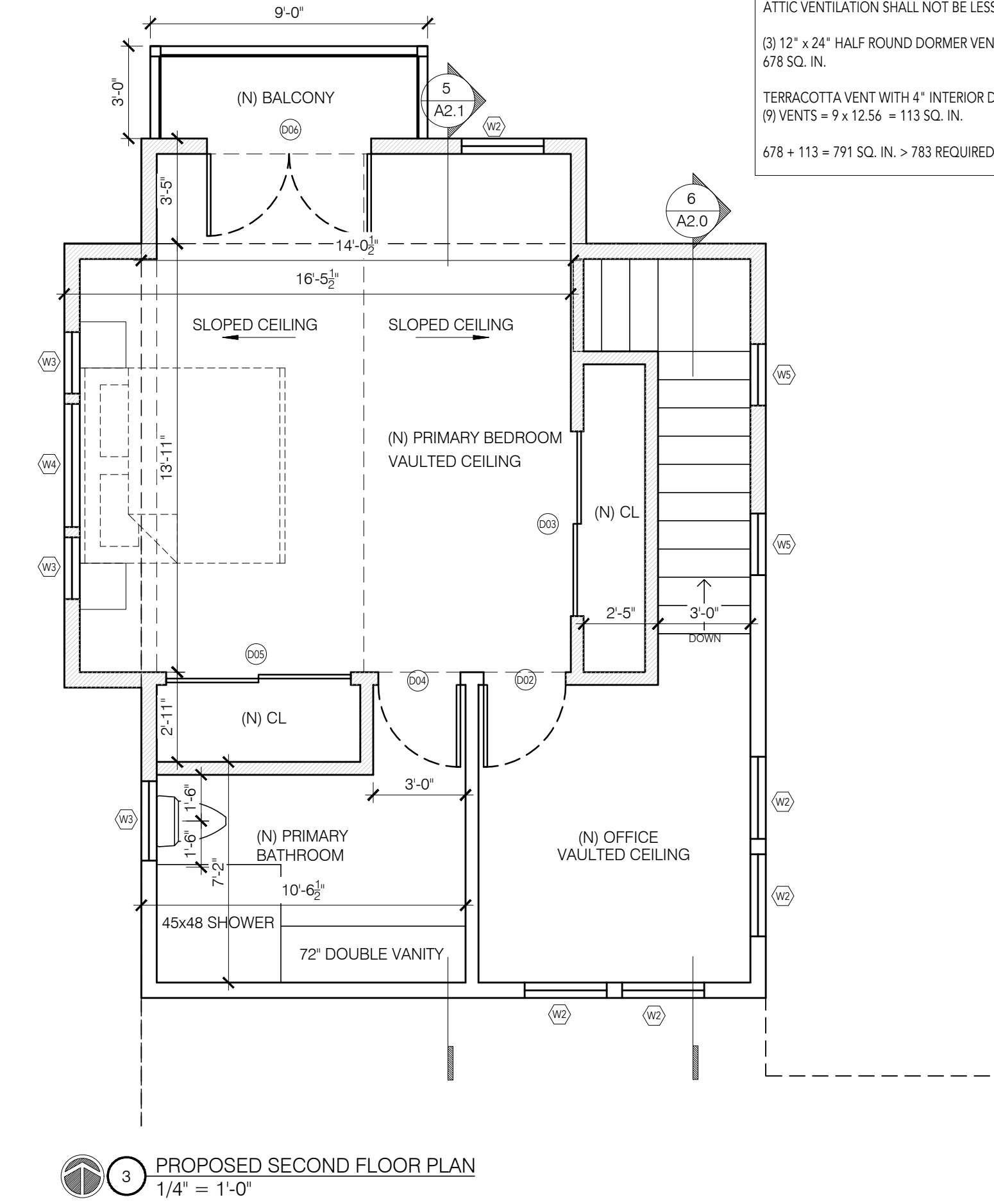
KEYPLAN:



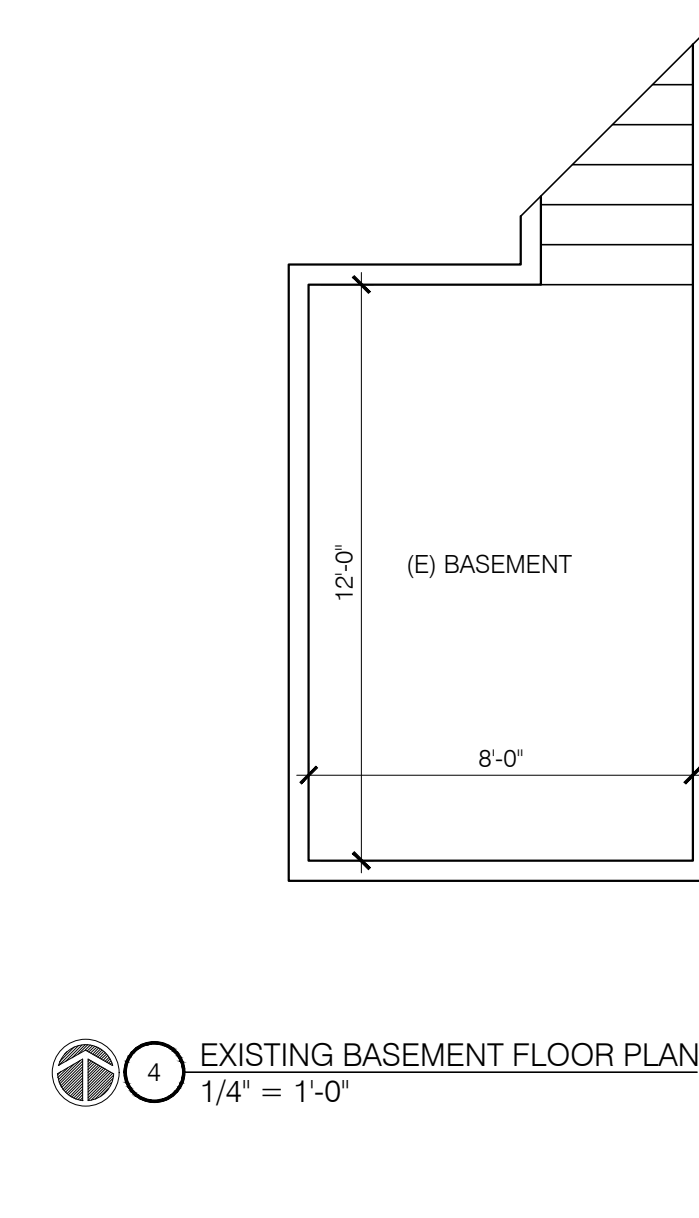
1 DEMOLITION FLOOR PLAN  
1/4" = 1'-0"



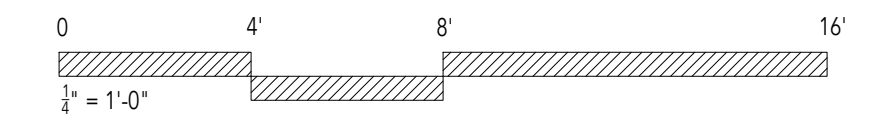
2 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



4 EXISTING BASEMENT FLOOR PLAN  
1/4" = 1'-0"



SHEET TITLE:

FLOOR PLANS

SHEET NUMBER:

# A1.1

**HON TSAI, INC.**

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

PROJECT:

**KUO AND LEUNG  
RESIDENCE**

OWNER / CLIENT:

1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030

PROGRESS ISSUE:

Nº	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-28-2024
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROFESSIONAL SEAL:

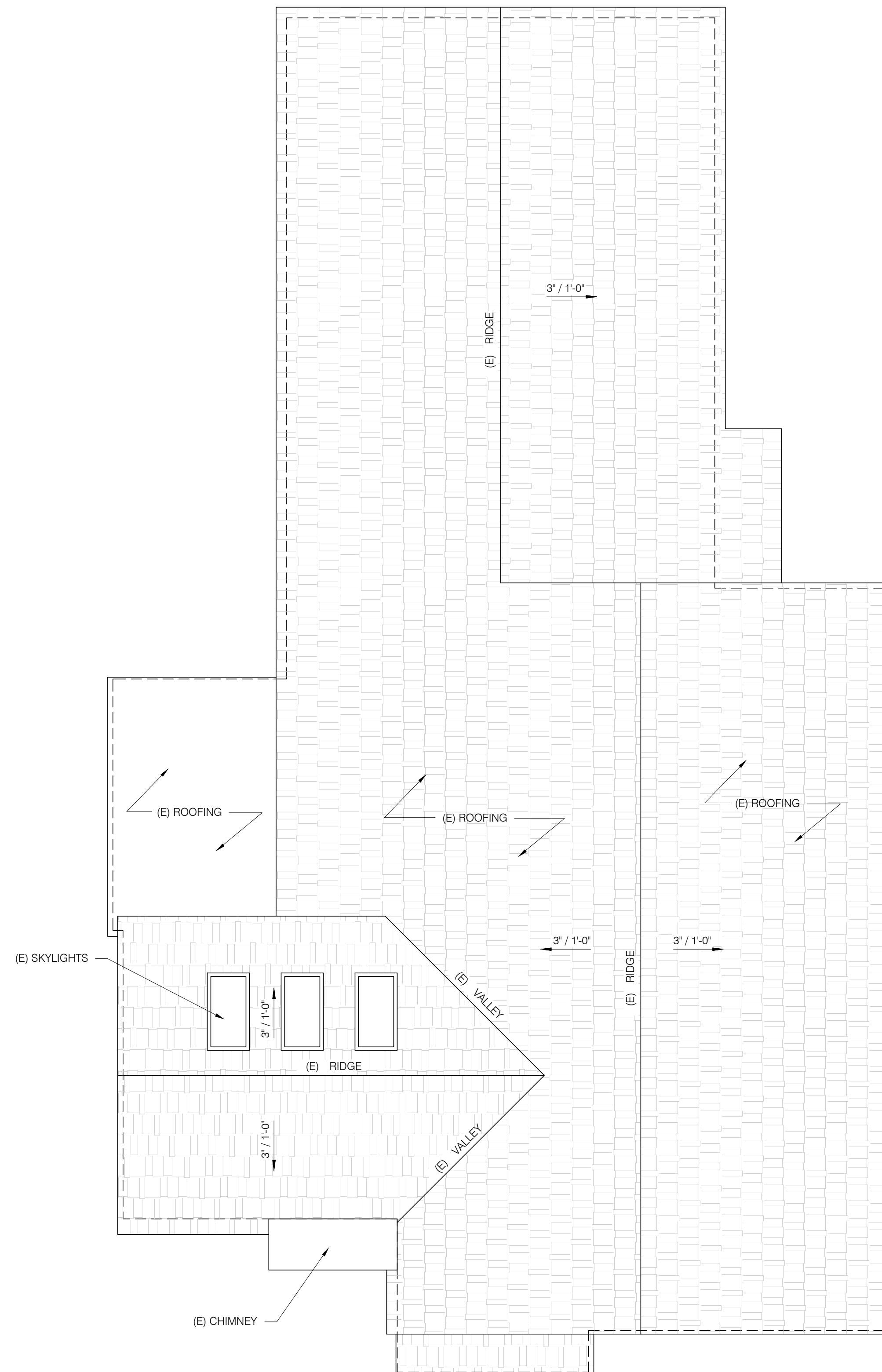
KEYPLAN:

SHEET TITLE:

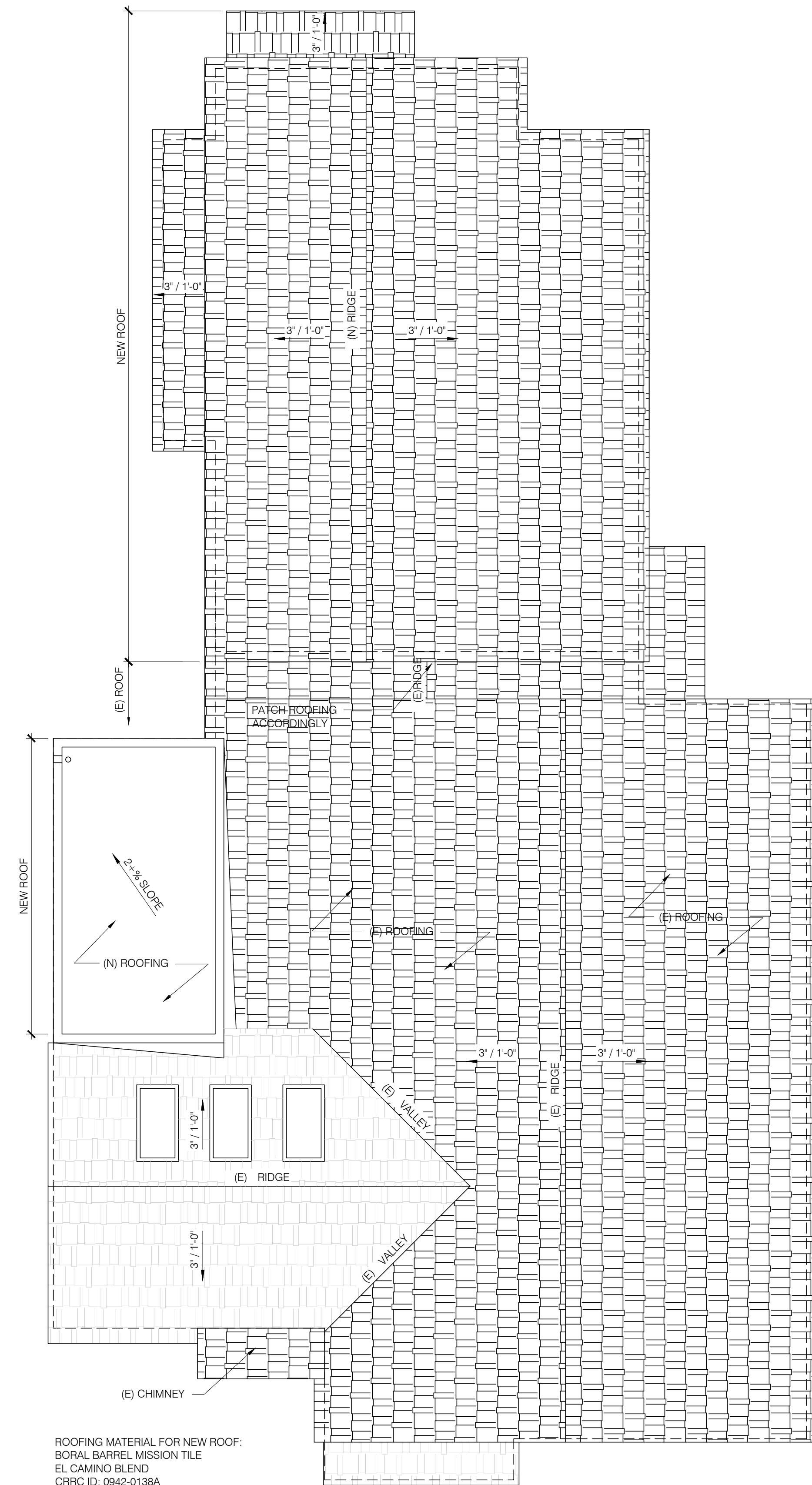
ROOF PLANS

SHEET NUMBER:

**A1.2**

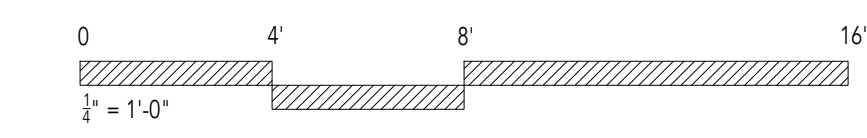


1 EXISTING ROOF PLAN  
1/4" = 1'-0"



ROOFING MATERIAL FOR NEW ROOF:  
BORAL BARREL MISSION TILE  
EL CAMINO BLEND  
CRRC ID: 0942-0138A  
ROOF REFLECTANCE: 0.28  
THERMAL EMITTANCE: 0.84

2 PROPOSED ROOF PLAN  
1/4" = 1'-0"



**HON TSAI, INC.**

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

PROJECT:

**KUO AND LEUNG  
RESIDENCE**

OWNER / CLIENT:

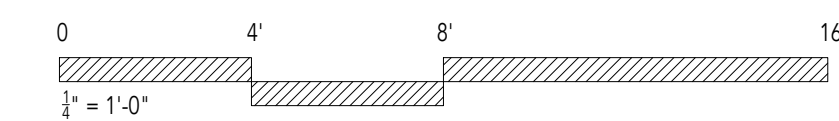
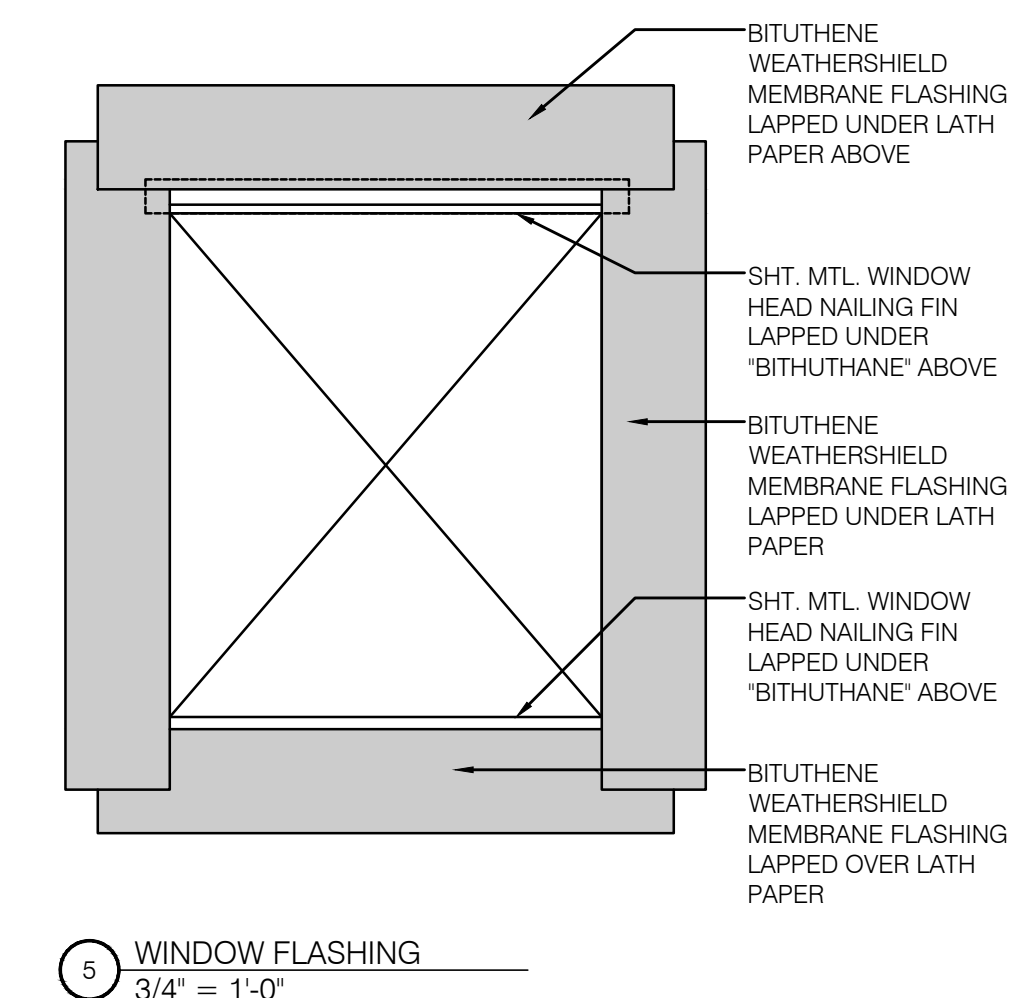
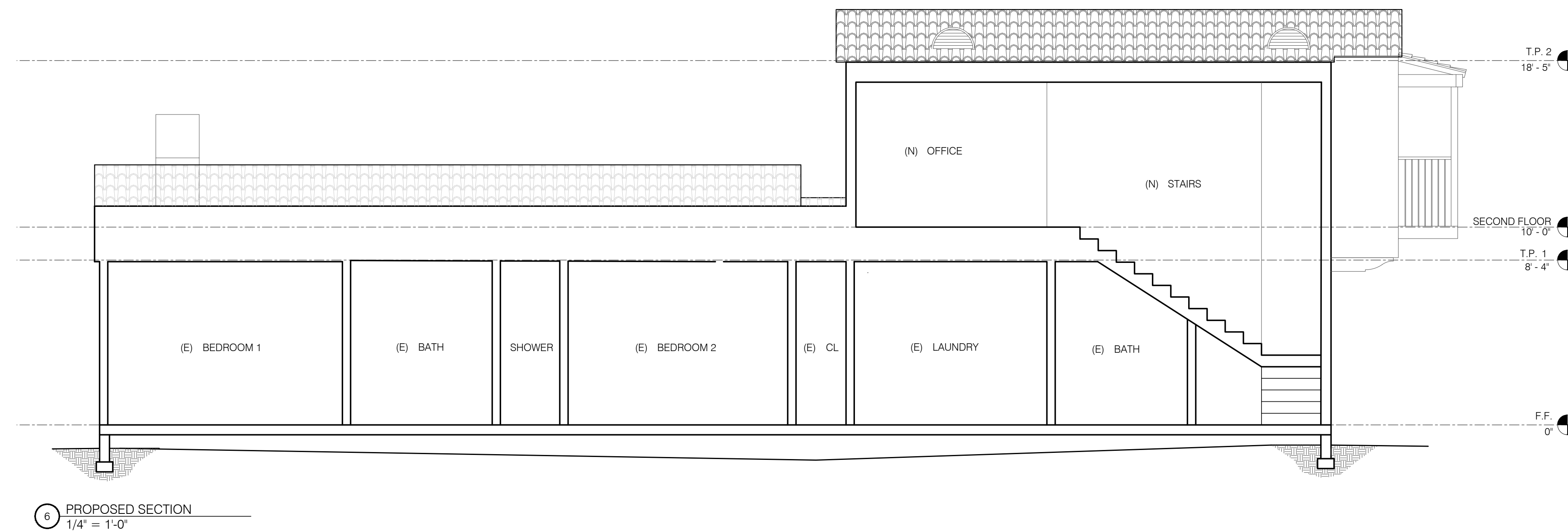
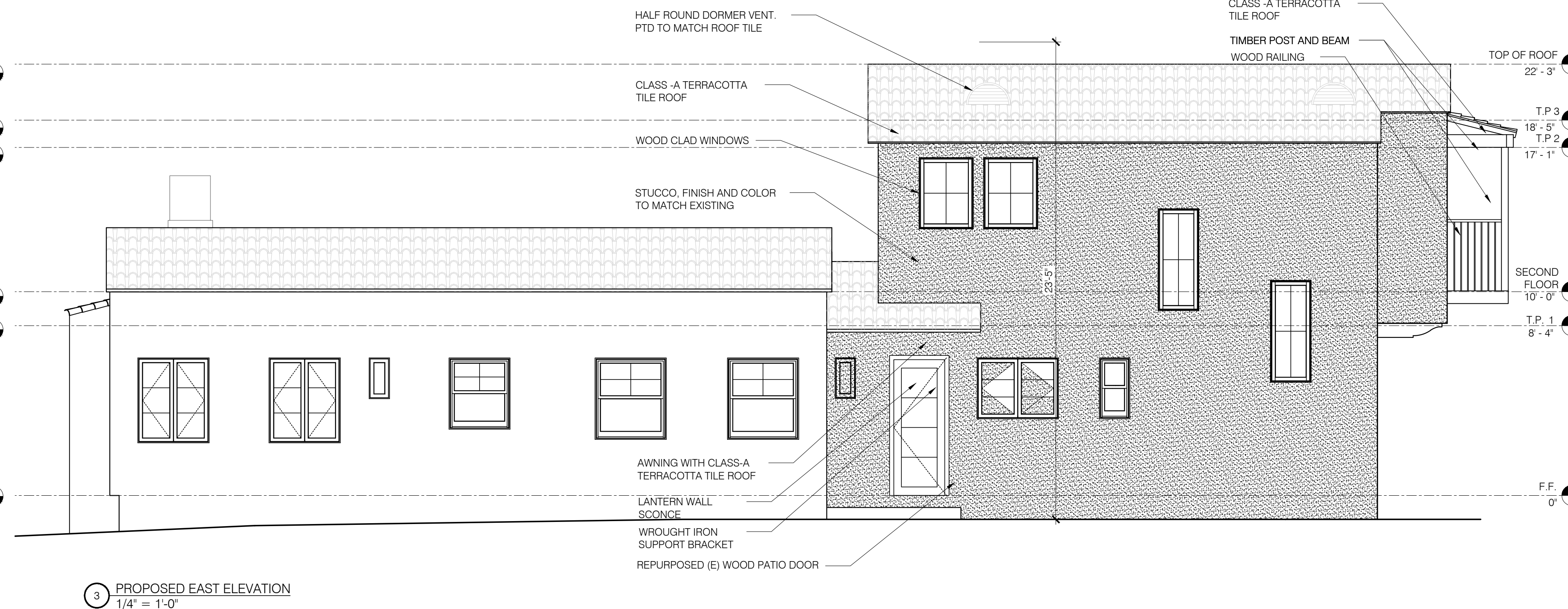
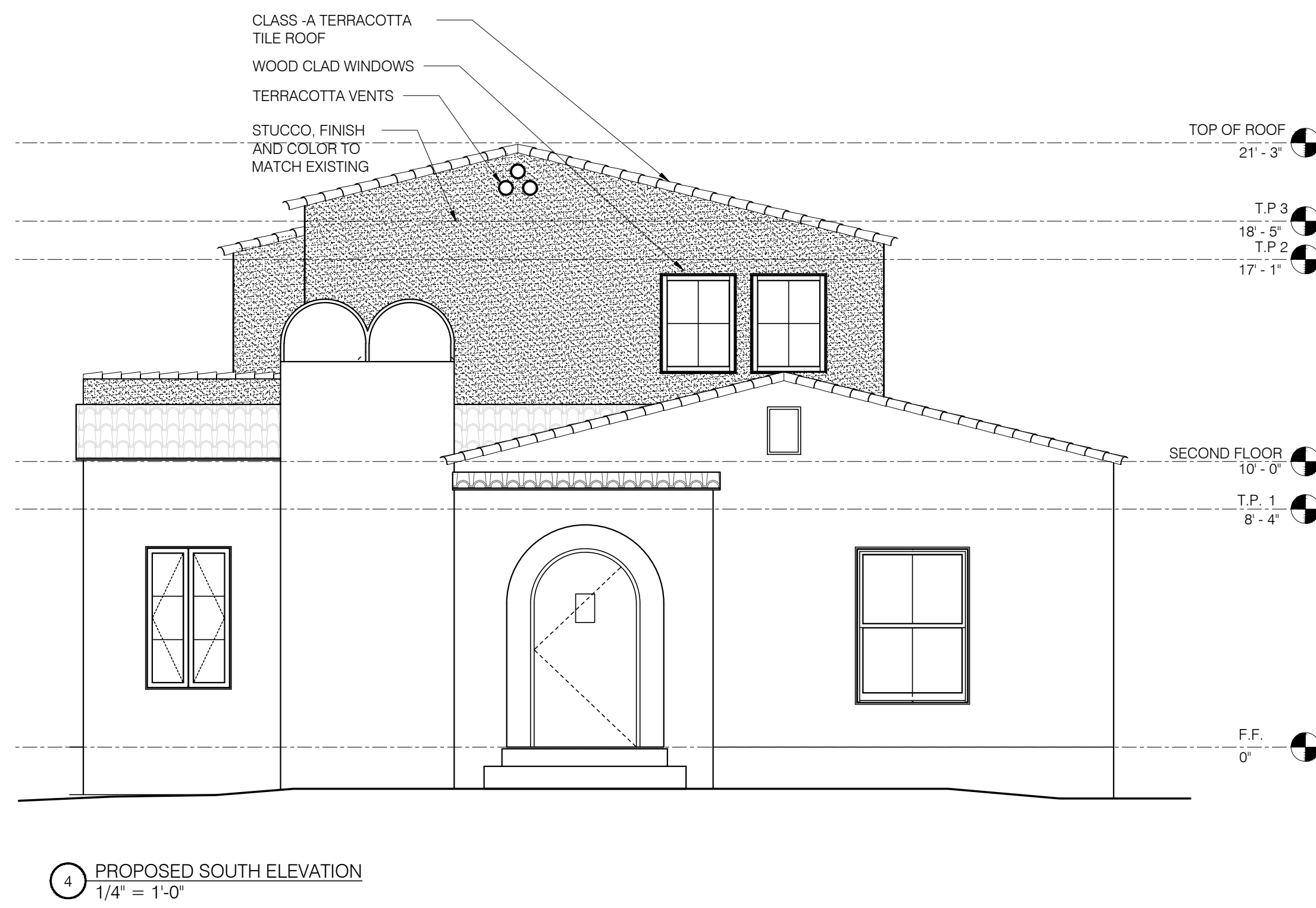
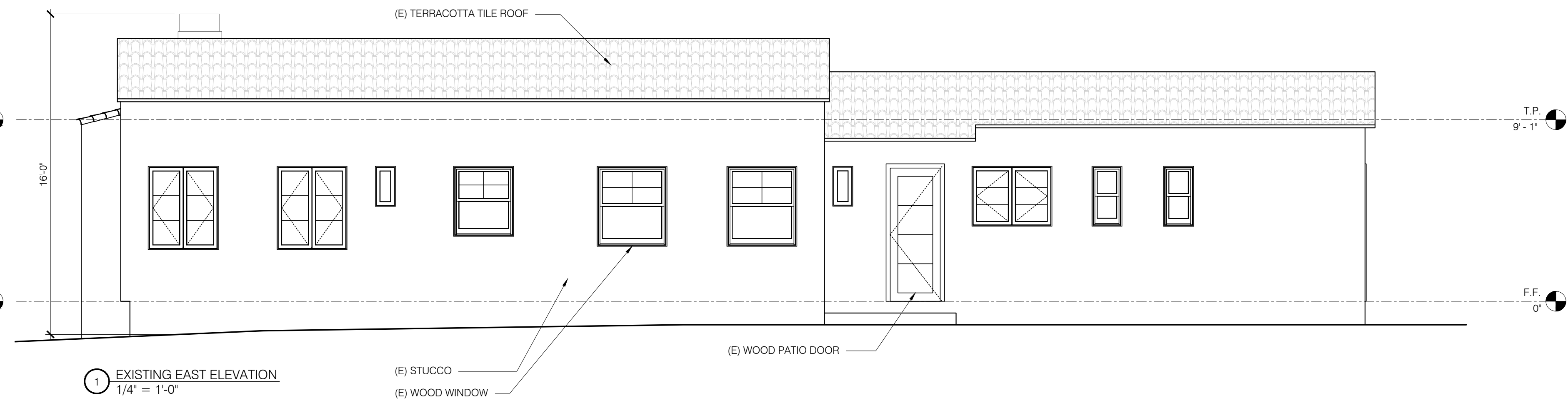
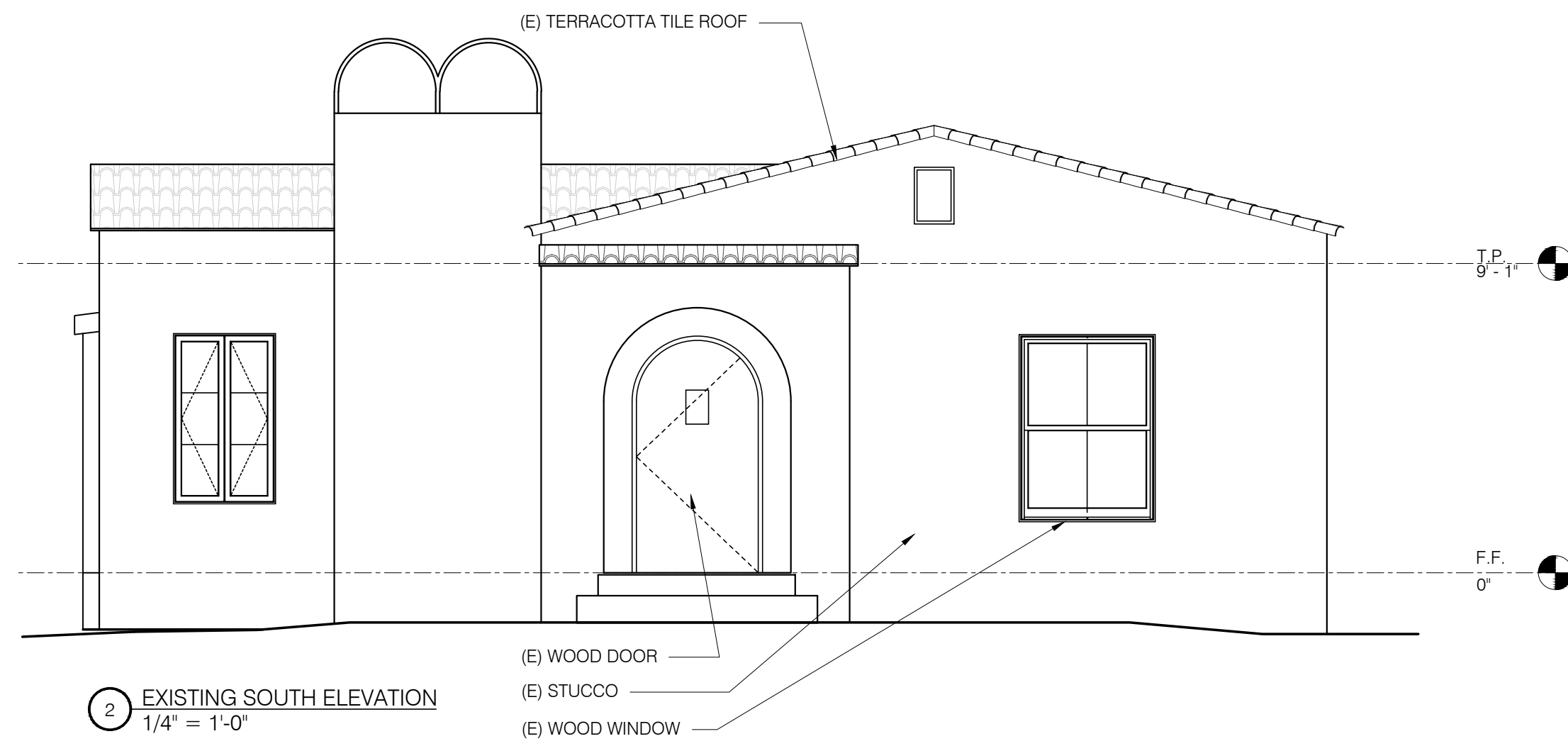
1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030

PROGRESS ISSUE:

N#	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-28-2024

PROFESSIONAL SEAL:

KEYPLAN:



SHEET TITLE:  
**EXTERIOR ELEVATIONS  
AND SECTION**

SHEET NUMBER:

**A2.0**

**HON TSAI, INC.**

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

PROJECT:

**KUO AND LEUNG  
RESIDENCE**

OWNER / CLIENT:

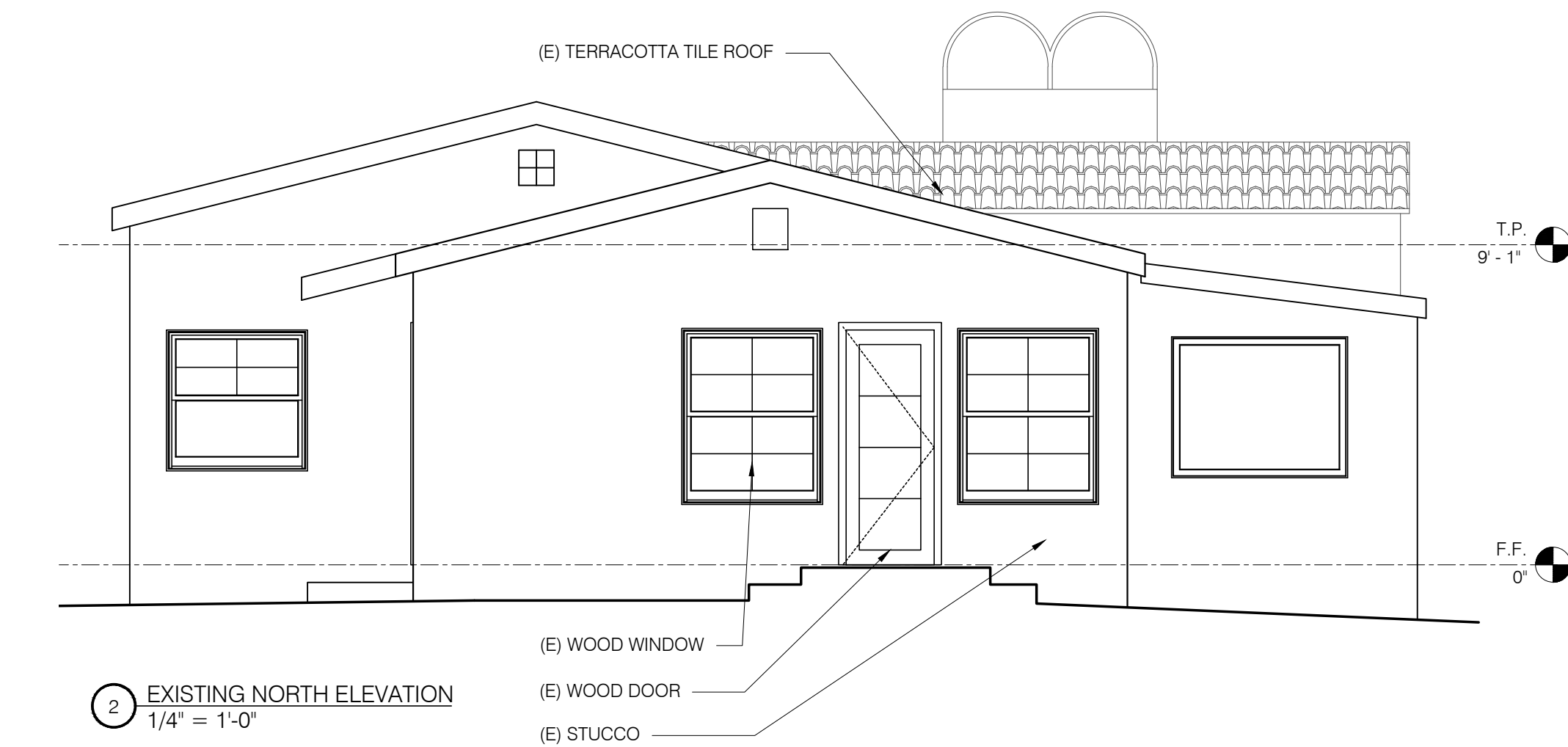
1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030

PROGRESS ISSUE:

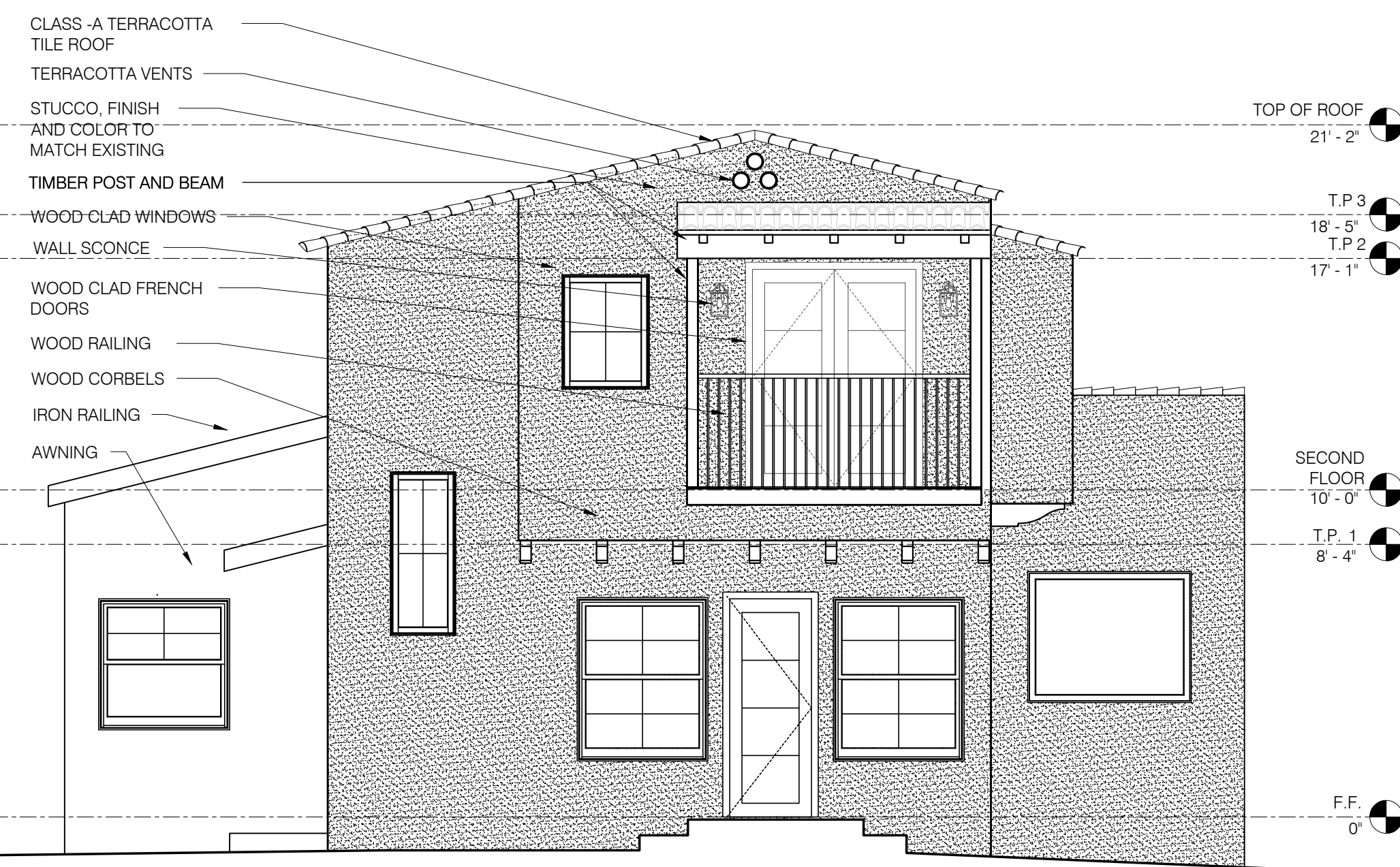
N#	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-28-2024

PROFESSIONAL SEAL:

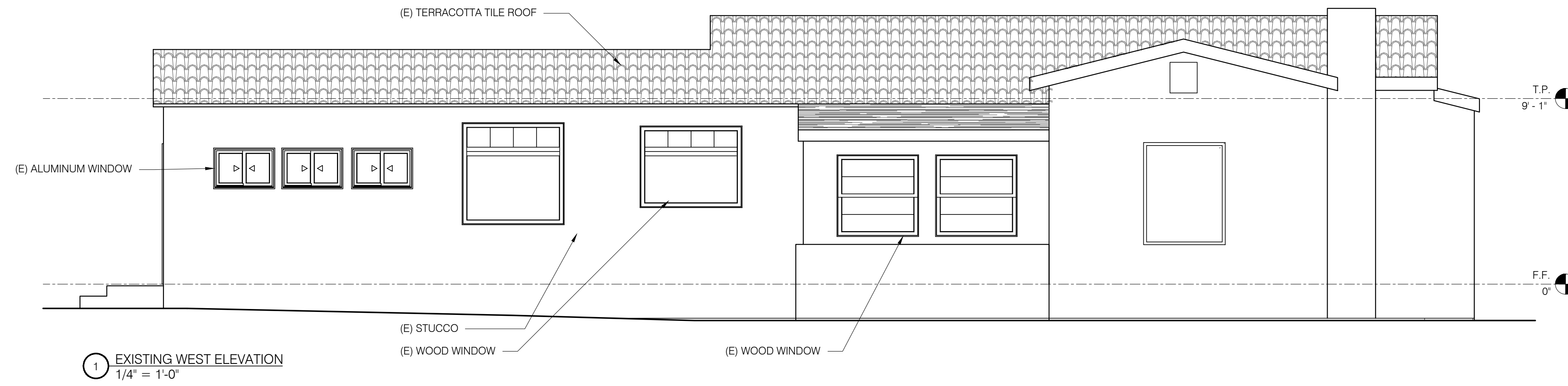
KEYPLAN:



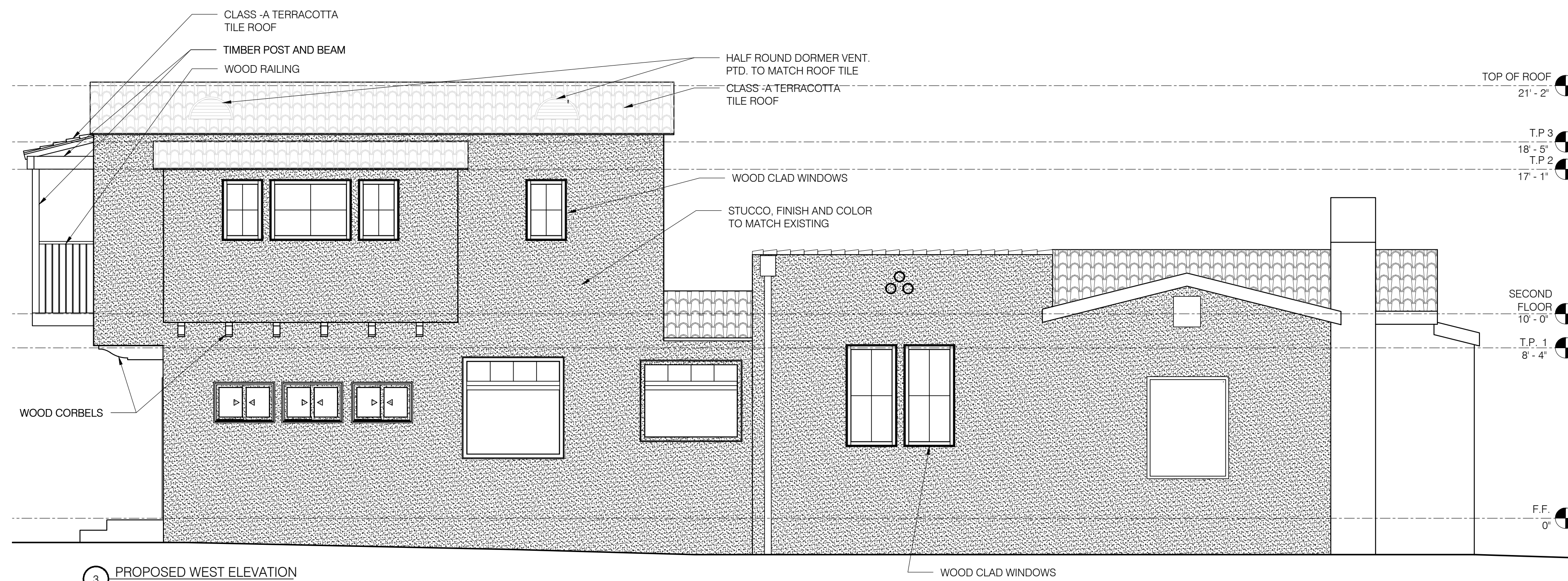
2 EXISTING NORTH ELEVATION  
1/4" = 1'-0"



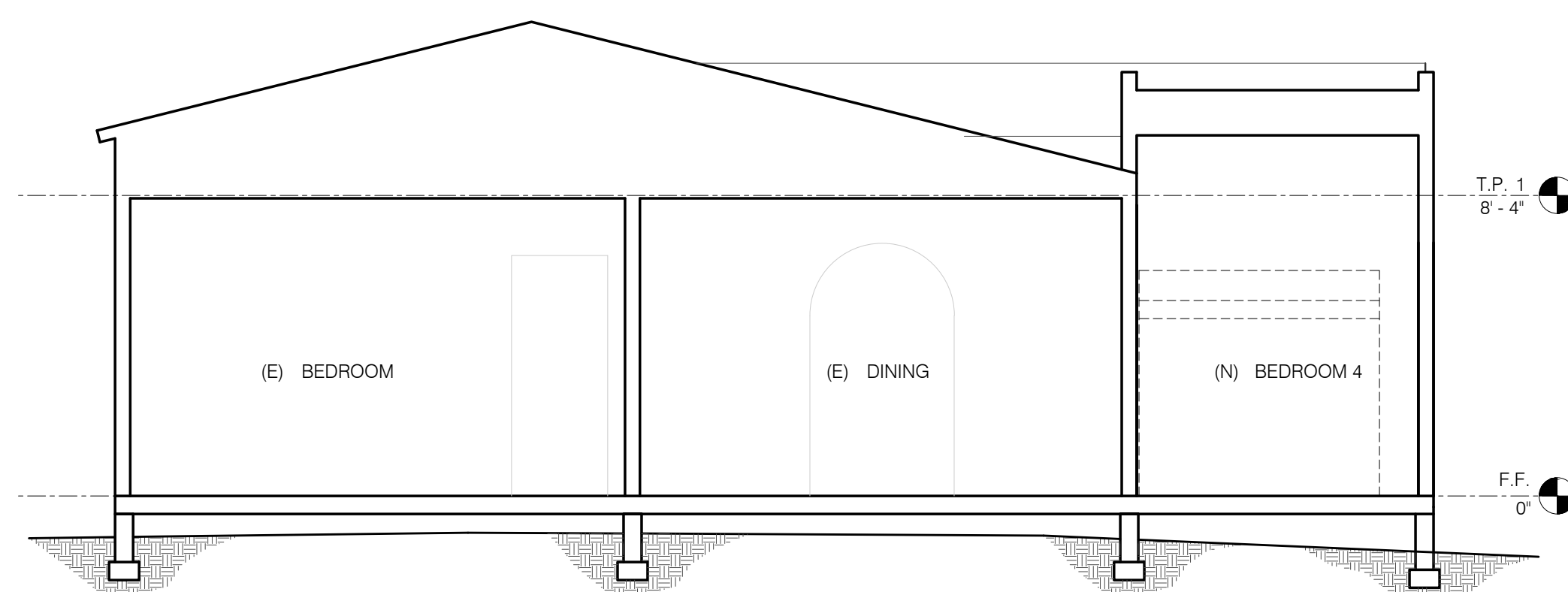
4 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"



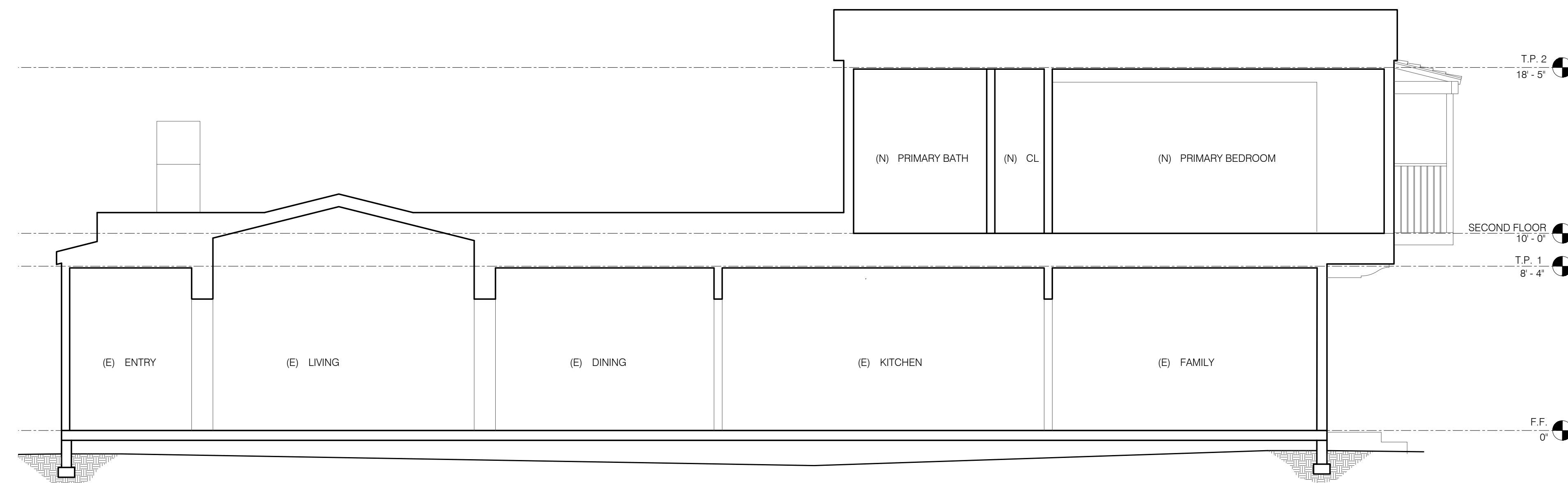
1 EXISTING WEST ELEVATION  
1/4" = 1'-0"



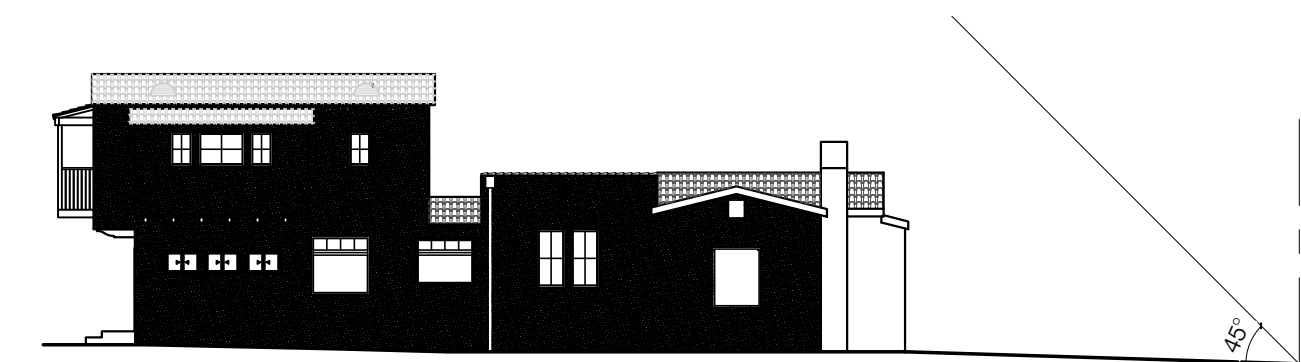
3 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



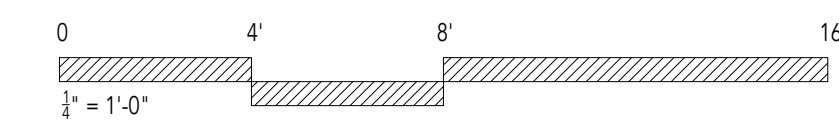
6 SECTION  
1/4" = 1'-0"



5 SECTION  
1/4" = 1'-0"



7 45 DEGREE HEIGHT LIMIT DIAGRAM  
1/16" = 1'-0"

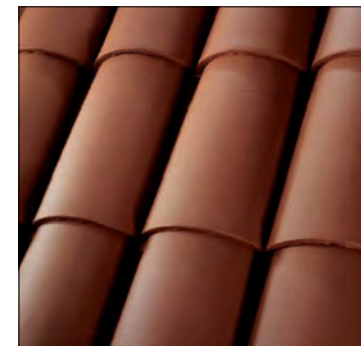


SHEET TITLE:  
EXTERIOR ELEVATIONS  
AND SECTIONS

SHEET NUMBER:

**A2.1**

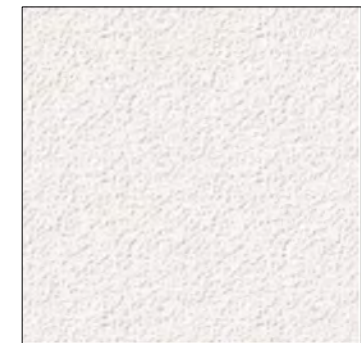
MATERIALS AND FEATURES



ROOFING: CORAL TERRACOTTA TILE, MISSION



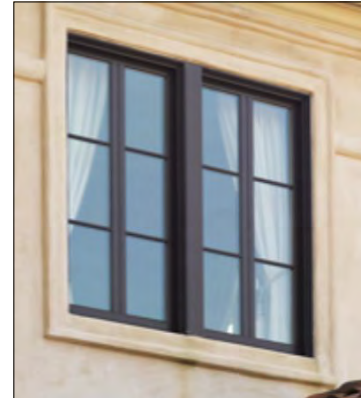
TERRACOTTA ATTIC VENT TUBES



STUCCO: OMEGA PRODUCTS INTERNATIONAL, SMOOTH STUCCO



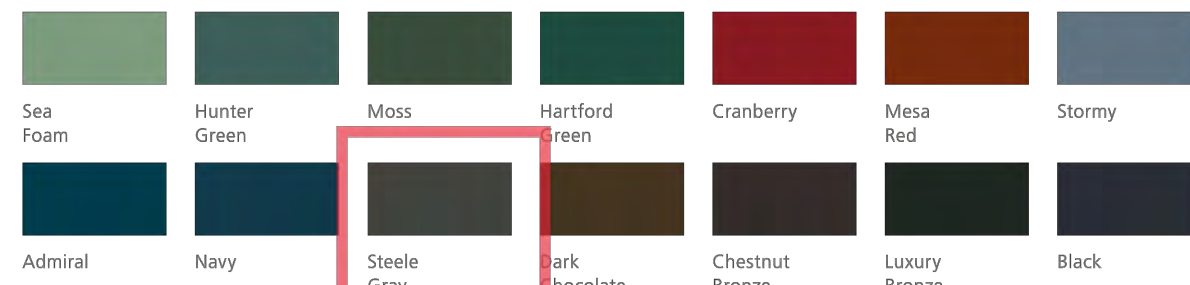
WALL SCONCE: OUTDOOR WALL LANTERN



WINDOW: JELD-WEN SITELINE, EXTERIOR FINISH: STEELE GRAY



TIMBER BALCONY



Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

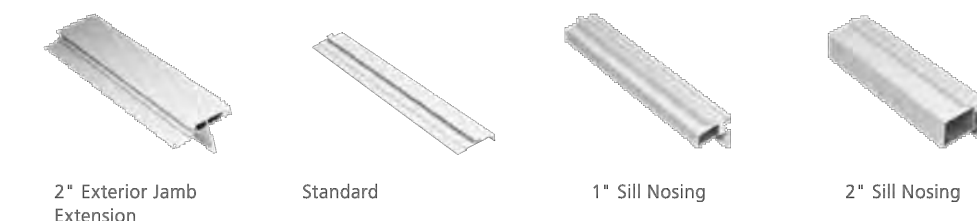
SITELINE® WINDOWS & PATIO DOORS | 39

EXTERIOR CLAD TRIM

Select one of our exterior clad trim options to create the architectural look you want for your windows: historical, transitional, or contemporary.

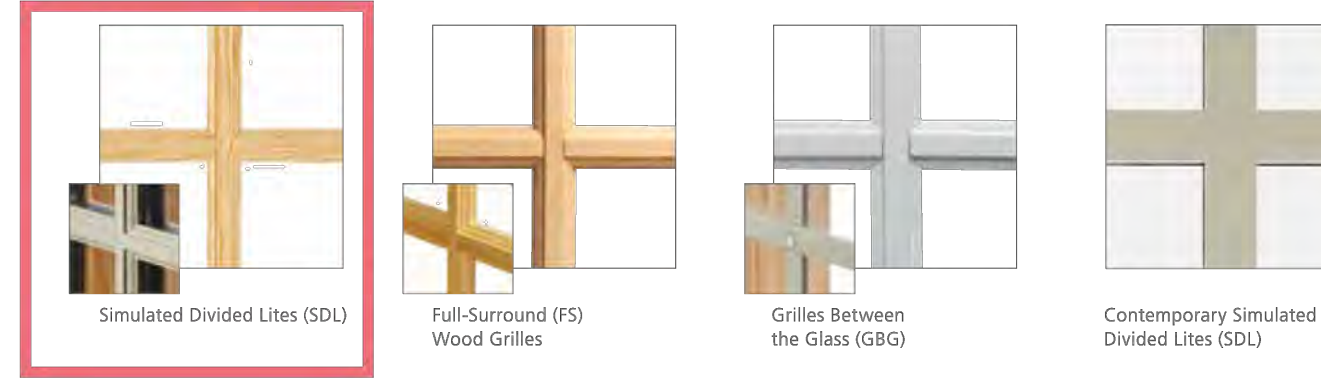


OTHER OPTIONAL TRIM

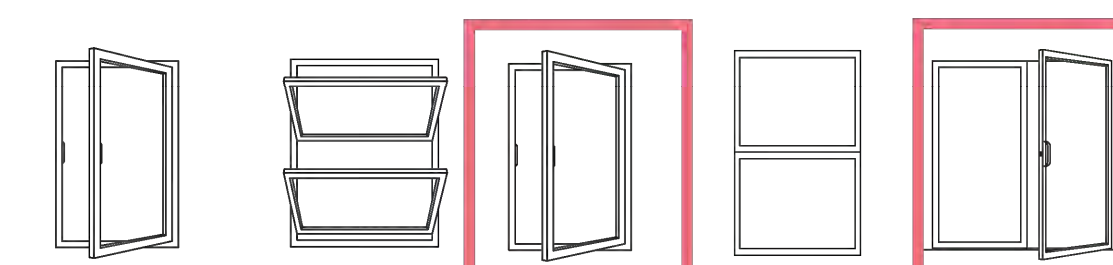


DIVIDED LITES

Add architectural interest to your JELD-WEN® Sitaline® wood and clad-wood windows with one of our decorative grille options. These options include traditional or contemporary Simulated Divided Lites (SDL) for an authentic look, Full-Surround (FS) wood grilles that can be removed for easy cleaning, and maintenance-free Grilles Between the Glass (GBG).



40 | JELD-WEN.COM



	Push-out Casement	Double-Hung Pocket	Casement Pocket	Sash Pack	Swinging Patio Doors
Hardware	Push-out handle	Sash lock with integrated tilt latches	Needing handle	Sash lock with integrated tilt latches	Halodon™, Whitey™, Belira™
Hardware Finishes	9 Finishes	9 Finishes	9 Finishes	9 Finishes	10 Finishes
Glass Options	50+ Choices	50+ Choices	50+ Choices	50+ Choices	50+ Choices
Size: Min	18" x 18"	21 1/8" x 11 7/16"	18" x 15"	20" x 10"	23 1/8" x 19 1/2"
Size: Max	36" x 72"	43 3/8" x 92"	36" x 72"	40" x 90"	41" x 38" (12" Frame/Slab)
Grilles	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Rear: 3/8", 1 1/8", 1 3/8", 2 1/16" Patio: 5/8", 7/8", 1 1/8", 1 3/8", 2 1/16"	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Rear: 3/8", 1 1/8", 1 3/8", 2 1/16" Patio: 5/8", 7/8", 1 1/8", 1 3/8", 2 1/16"	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Rear: 3/8", 1 1/8", 1 3/8", 2 1/16" Patio: 5/8", 7/8", 1 1/8", 1 3/8", 2 1/16"	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Rear: 3/8", 1 1/8", 1 3/8", 2 1/16" Patio: 5/8", 7/8", 1 1/8", 1 3/8", 2 1/16"	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Rear: 3/8", 1 1/8", 1 3/8", 2 1/16" Patio: 5/8", 7/8", 1 1/8", 1 3/8", 2 1/16"
Performance Rating	36" x 72" - IG60	43" x 92" - IG60	36" x 72" - IG60	IG6	IG6 PLUS, IG10 Limited Frame (Swinging) / IG6W12 Swinging
Configurations	Special Multi, Transoms, Rays & Bow, Multiple	N/A	N/A	N/A	X, OK, XO, OXO Sashes & Transoms available
Spacer Color	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver
Blind® Blinds	N/A	N/A	N/A	N/A	N/A

SITELINE® WINDOWS & PATIO DOORS | 43

HON TSAI, INC.

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

PROJECT:

KUO AND LEUNG RESIDENCE

OWNER / CLIENT:

1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030

PROGRESS ISSUE:

N%	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-28-2024
-		
-		
-		
-		
-		
-		
-		
-		

PROFESSIONAL SEAL:

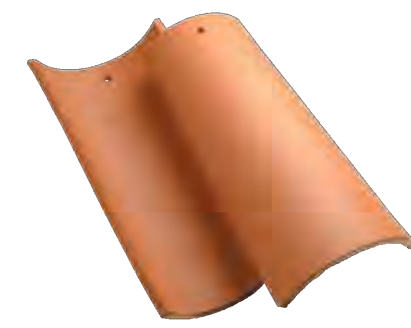
KEYPLAN:

SHEET TITLE:

MATERIALS BOARD

SHEET NUMBER:

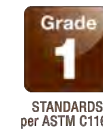
A4.0



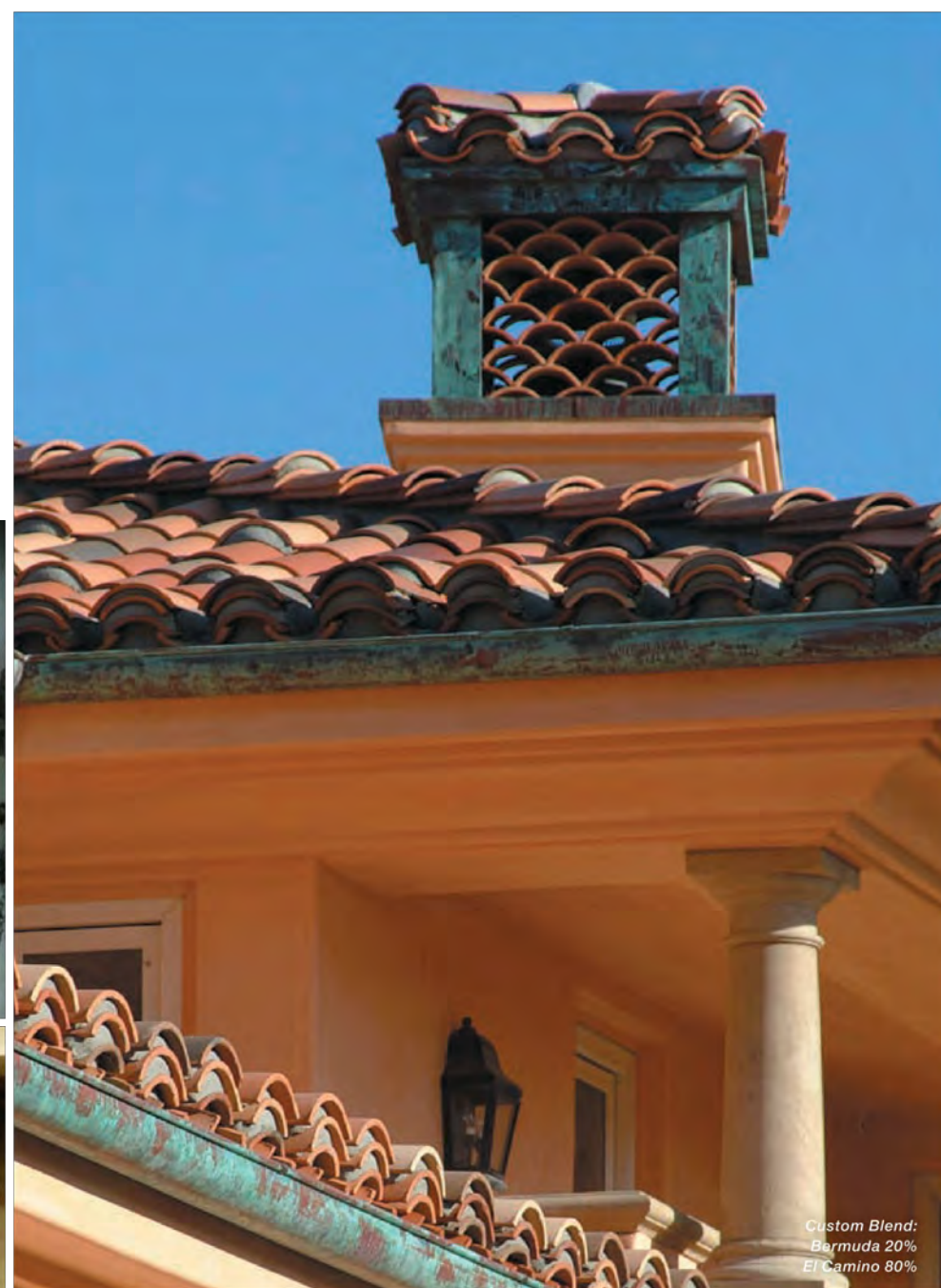
2-Piece Mission

True two-piece Mission barrel tiles speak of history, security and luxury. With a simple, practical design that dates back to the Bronze Age, mission tiles have adorned the roofs of palaces, temples and the early missions in California.

2-Piece Mission tile is a perfect execution of a timeless tradition. Durable, colorfast and manufactured with the most modern methods and the highest standards, 2-Piece Mission tiles distinguish your home with unmatched beauty and elegance. All 2-Piece Mission colors are Grade 1 tested and approved per ASTM C1167.



Enduring beauty



Custom Blend: 20% Blue, 80% Brown

Manning Outdoor Lantern Wall Sconce By Quoizel



Call Us (877) 445-4486

Manning Outdoor Lantern Wall Sconce By Quoizel

Product Options

Number of Lights: 2

Details

Finish: Western Bronze

Dimensions

2 Light Option Fixture: Width 8.25", Height 18.5", Depth 9", Weight 6.24Lbs

Lighting

2

Lamp Type	LED
Total Lumens	2200.0
# of Bulbs	2 (Not Included)
Bulb Type	9W A19 E26
Volts	120
Color Temp	2700 (Warm)
Average Lifespan (Hours)	15,000
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	Yes

Additional Details

Product URL:  
<https://www.lumens.com/manning-outdoor-lantern-wall-sconce-by-quoizel-QZL2078936.html>  
Rating: ETL Listed Wet

ITEM#: QZL2078936



Notes:

Prepared by:

Prepared for:  
Project:  
Room:  
Placement:  
Approval:







1 NORTH ELEVATION  
NTS



2 SOUTH ELEVATION  
NTS



3 EAST ELEVATION  
NTS



4 WEST ELEVATION  
NTS



5 BACKYARD  
NTS



6 SIDE AND REAR OF DETACHED GARAGE  
NTS



7 FRONT OF DETACHED GARAGE  
NTS

**HON TSAI, INC.**

1107 FAIR OAKS AVENUE #137  
SOUTH PASADENA, CA 91030  
T: 646.812.5512

www.melissahon.com

PROJECT:

KUO AND LEUNG  
RESIDENCE

OWNER / CLIENT:

1840 LAUREL STREET  
SOUTH PASADENA  
CALIFORNIA, 91030

PROGRESS ISSUE:

Nº	YOUR PROGRESS SUBMIT	DATE
1	PLANNING REVIEW	04-15-2024
2	PLANNING CORRECTIONS	05-28-2024
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

PROFESSIONAL SEAL:

KEYPLAN:

SHEET TITLE:

PHOTOGRAPHS

SHEET NUMBER:

**A5.0**















































**ATTACHMENT 3**

Project Narrative

Project No. TBD  
1840 Laurel Street  
South Pasadena, CA 91030

#### Project Narrative

The proposal is to legalize a 109 SF office space on the add the first floor and add 582 SF second-story addition to the rear of an existing single-family single-story residence located on 1840 Laurel Street, South Pasadena, California 91030. The exterior materials will be consistent with what is existing: stucco. The new additions will have a slight differentiation with new wood clad windows with simulated grids when existing ones cannot be repurposed. Although the finish will be a stucco, the texture will be smooth to create a differentiation. The roof of the 2-story addition will match the existing house: low pitched gable with a terracotta tiles. However, the first floor bedroom addition will have a flat parapet roof.

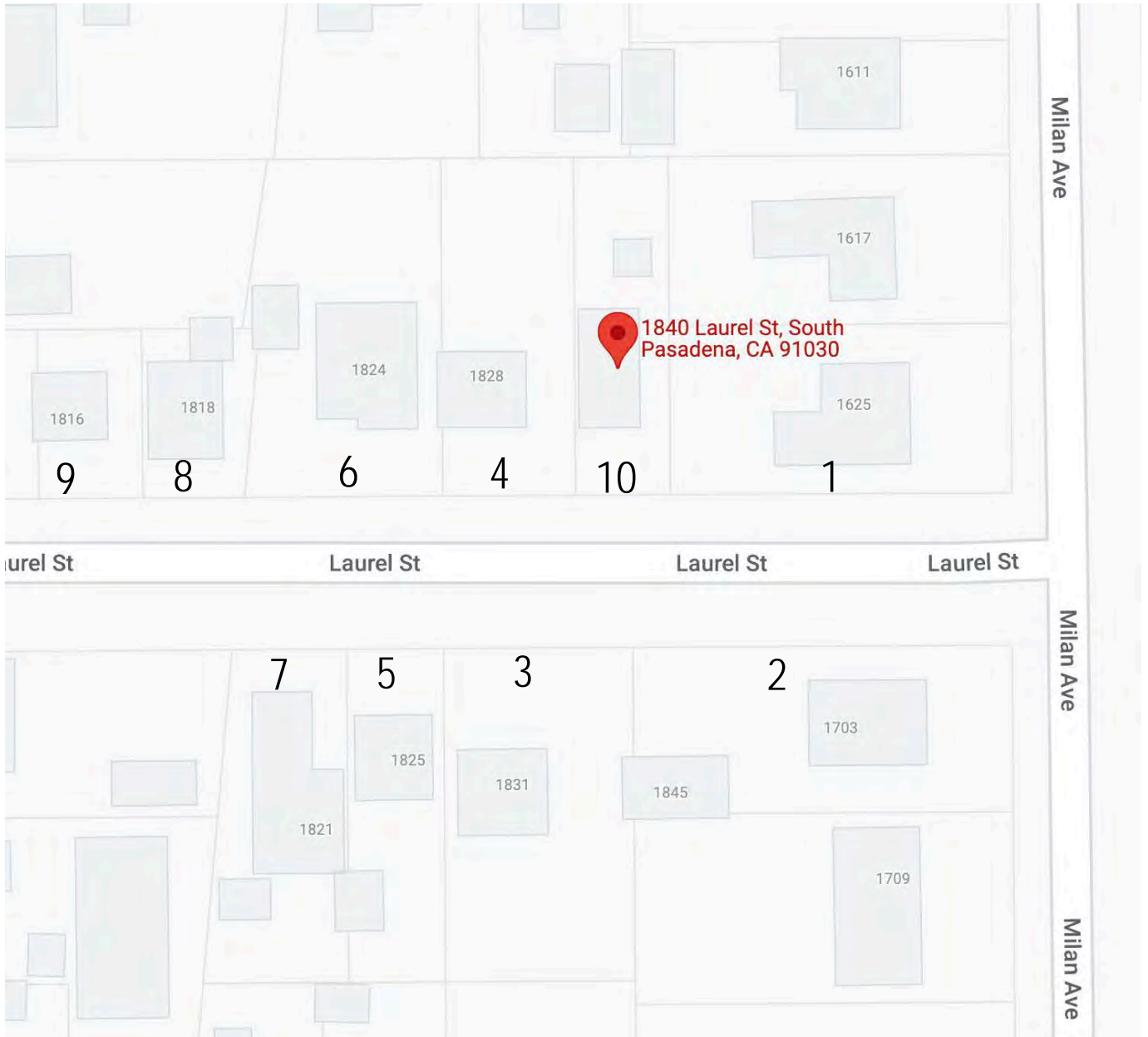
According to the Design Guidelines, additions should be integrated with the historic exterior so that the least possible loss of historic materials and character-defining features and materials occurs. The guidelines also encourage additions to be located in the rear and limited visibility from the street. The design goal is in line with the Design Guidelines to preserve the style of the existing house, while differentiating the addition. This is achieved with the transition from the front of the house to the addition with the lower roof as the connector. Since the addition is setback to the rear and over the existing footprint, there will be no proposed changes to the existing landscaping. The proposed design is consistent with the South Pasadena Design Guidelines for Alteration and Additions to Historic Residences and the Secretary of the Interior's Standards for Historic Properties.



## **ATTACHMENT 4**

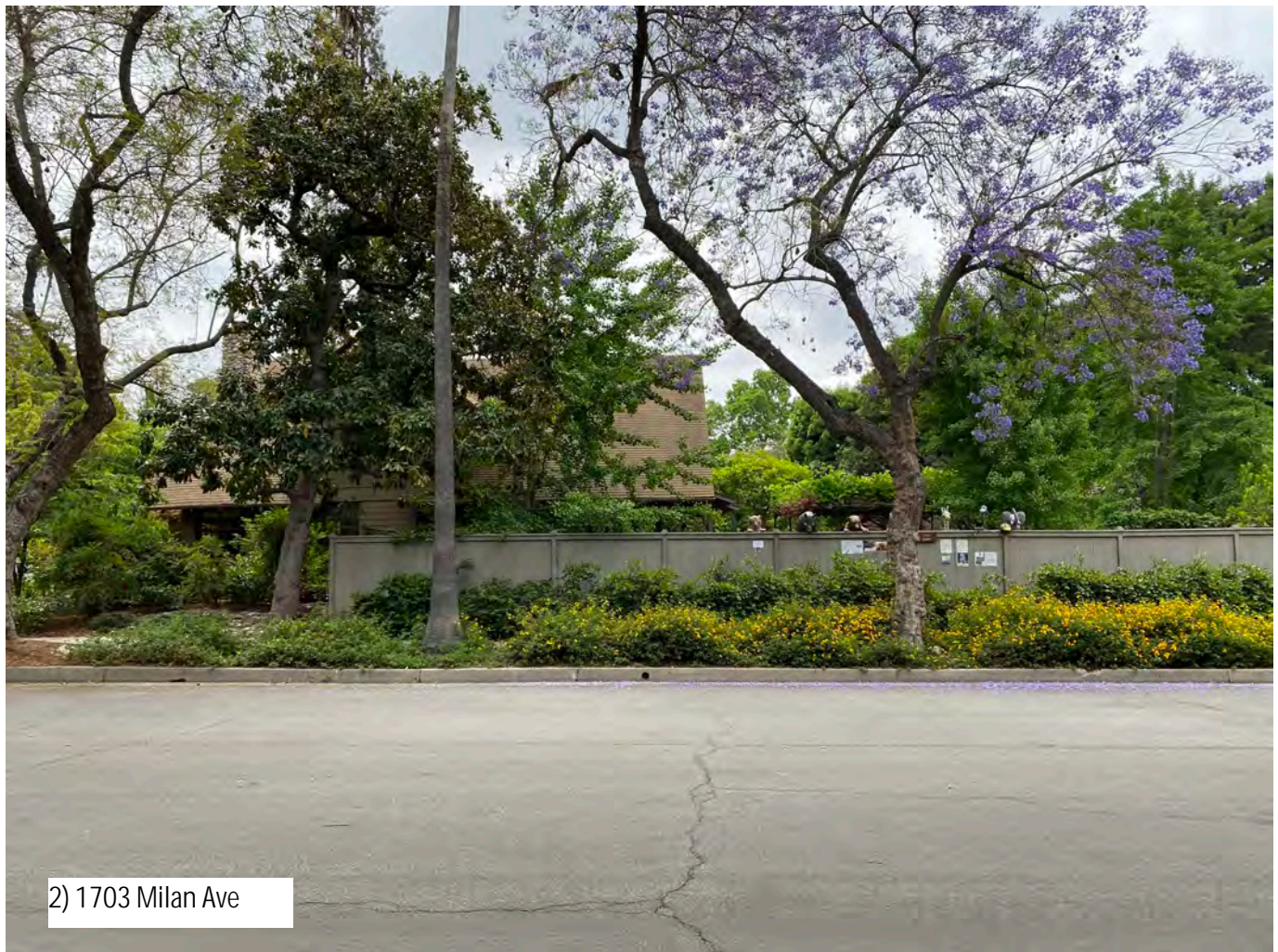
Neighborhood Images

1840 LAUREL STREET  
SOUTH PASADENA, CA 91030  
ADJACENT PROPERTIES





1) 1625 Milan Ave



2) 1703 Milan Ave



3) 1831 Laurel Street



4) 1828 Laurel Street



5) 1825 Laurel Street



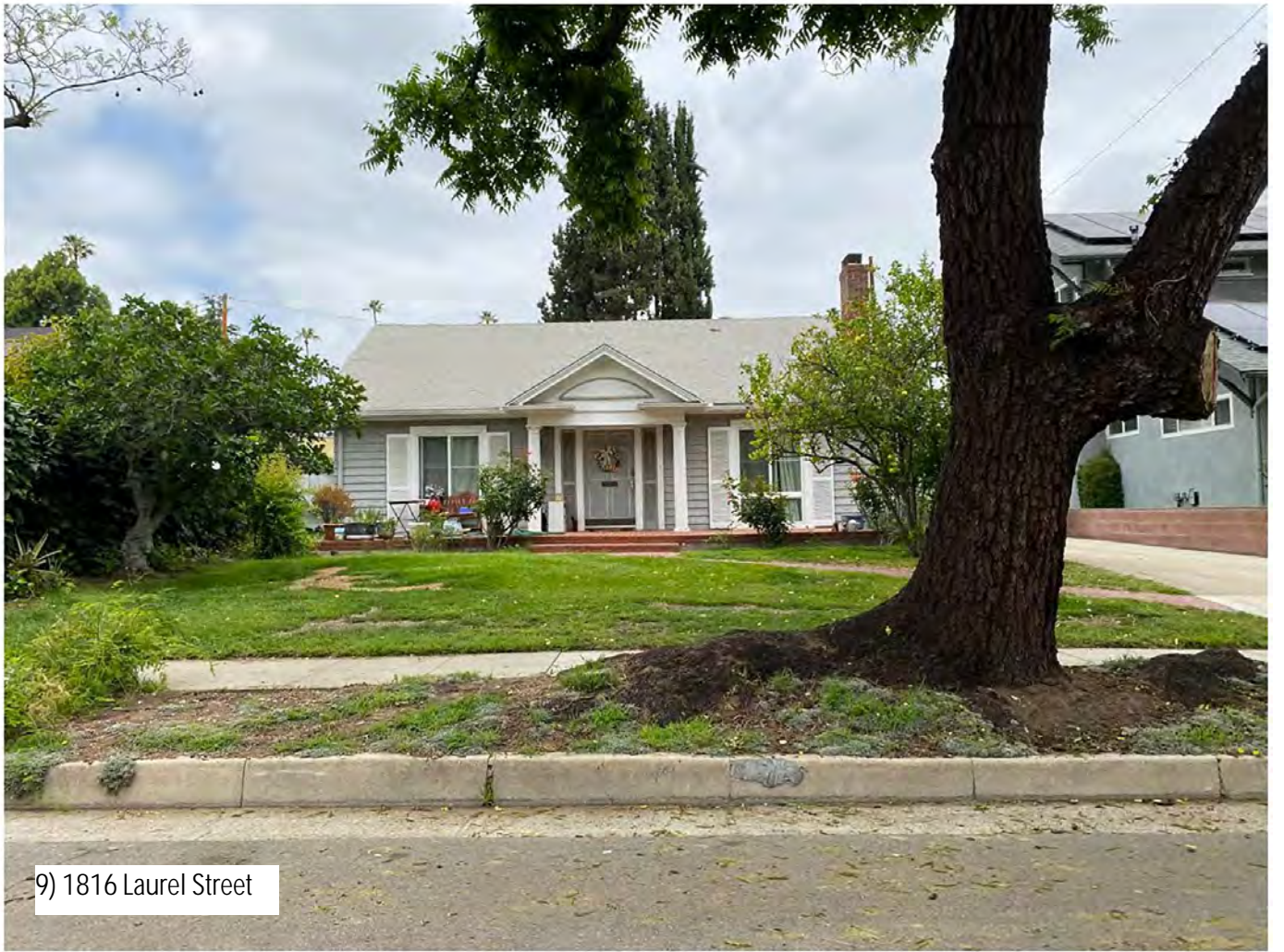
6) 1824 Laurel Street



7) 1821 Laurel Street



8) 1818 Laurel Street



9) 1816 Laurel Street



10) 1840 Laurel Street

**ATTACHMENT 5**

Building Permits



1840 LAUREL STREET

# CITY OF SOUTH PASADENA

## BUILDING AND ALLIED PERMITS

LOCATION 1840 LAUREL

LOT PAR. 4 BLOCK G TRACT ONEONTA PARK

OWNER J. W. BENSTEIN  
1828 LAUREL

TRENCH	FRAME	WIRING	RGH. PLMB.	SEWER	FIN PLMB.	FIN. BLDG.	ELEC. FIX.
--------	-------	--------	------------	-------	-----------	------------	------------

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	ESTIMATED COST
8-3-27	5814	BUILDING	M. L. BRUDIN	5300.00
8-31-27	8908	ELECT. WIRING	HUGHES ELECT.	3.43
12-8-27	8999	ELECT. FIXTURES	✓	2.26
8-23-27	7454	PLUMBING	C & W.	3.50
		SEWER		

**CITY OF SOUTH PASADENA  
BUILDING AND ALLIED PERMITS**

LOCATION 1840 LAUREL ST  
 LOT POR. 4 BLOCK G. TRACT ONEONTA PK  
 OWNER W. J. WALLACE  
 DESCRIPTION ADD BATH & BEDROOM  
 \$ 2750.-

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	PERMIT FEE
8-2-46	15019	BUILDING	KENNETH J. SCHMIDT	600
10-8-46	15294	ELEC. WIRING	MADER-MAXWELL Co	130
"	"	ELEC. FIXTURES	" "	-
9-23-46	15222	PLUMBING	ROSA BELL PLUMB. Co	150
		SEWER		
		HOUSE CONN.		
		DRIVEWAY		
		FURNACE		
FORM 802 800 6-44				

CITY OF SOUTH PASADENA

## JOB CARD

BUILDING DEPARTMENT

LOCATION

1840 LAUREL

BUILDING

ADD BATH &amp; BEDROOM

PERMIT No.

15019

GENERAL CONTRACTOR

KENNETH J. SCHMITT

PHONE

ELECTRICAL

..

PLUMBING

..

ITEM	DATE CALLED	TIME	DATE INSPECT MADE		DATE CLEARED	INSPECTOR
			(1)	(2)		
TRENCHES	8/9/46	A.M. P.M.	8/9		8/9	M. W. C.
FRAME	10/9	A.M. P.M.	10/9		11/29	C. E. T.
VENTS & FURN.	10/9	A.M. P.M.	10/9		11/29	C. E. T.
WIRING	10/9	A.M. P.M.	10/9		11/29	C. E. T.
PLUMBING	10/2/46	A.M. P.M.	10/2		10/2	J. W. C.
LATH	11/29	A.M. P.M.	11/29		11/29	C. E. T.
FINAL PLUMB.	12/30	A.M. P.M.	1/10		1/10/47	C. E. T.
FINAL ELECT.	1/10	A.M. P.M.	3/7/47		3/7/47	C. E. T.
FINAL BUILD.	1/10	A.M. P.M.	3/7/47		3/7/47	C. E. T.

FORM NO. 894 500 8-44 REVIEW

OVER FOR REMARKS

ITEM	DATE	REMARKS
RET PROOF	10/9/10	RET PROOFING NOT IN NO SCUTTLE HOLE.
ELEC BLDG	10/1	NOT Ready,

NUMBER & STREET

1810 Laurel

APPLICATION FOR A LATHING/PLASTERING PERMIT OR ROOFING PERMIT BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA TELEPHONE 799-9101 • 682-2175

CONTRACTOR: Alhambra Roofing Co. STATE LIC. NO.: 253163. MAIL ADDRESS: 712 So. Marengo Ave. PHONE: 282-1958. OWNER: Mr. T. Trzyna. MAIL ADDRESS: 1810 Laurel. (CITY BUS. LIC.): D 04994. OWNER PHONE: 799-1335.

DESCRIPTION OF WORK

NEW BLDG., ALTER, ADD'N, REPAIR XX. PRESENT USE: Residence. PROPOSED USE: Residence.

ROOFING DETAILS

(INCLUDE WEIGHTS, NO OF LAYERS, TYPE OF SHINGLES, ETC.)

TYPE OF ROOFING, NO. OF SQUARES. DESCRIPTION: Re-roof Garage W/ 30# BS & 90# GS & Hot Asphalt.

VALUATION (INCLUDE ALL LABOR AND MATERIAL) \$165.00 FEES \$ 10.00

LATHING & PLASTERING DETAILS

YDS. EXTERIOR LATH., YDS. EXTERIOR PLASTER, YDS. INTERIOR LATH., YDS. INTERIOR PLASTER. COMBINED LATHING & PLASTERING VALUATION \$, PERMIT FEE \$, TOTAL FEE \$ 10.00

INFORMATION PROVIDED BY BUILDING DEPT. USE ZONE, FIRE ZONE, OCCUPANCY, CHECKER'S APPROVAL

WHEN PROPERLY VALIDATED, BELOW, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK DESCRIBED HEREON. : 915 2-7 010.00A

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

Frank Foull

Handwritten signature of Frank Foull

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

PERMANENT

# INSPECTION RECORD – LATHING & PLASTERING

	DATE	APPROVED
EXTERIOR LATHING		
EXTERIOR SCRATCH COAT		
EXTERIOR BROWN COAT		
EXTERIOR FINISH COAT		
INTERIOR LATHING		
INTERIOR BROWN COAT		
INTERIOR FINISH COAT		
PARTIAL OR MISC. INSPECTIONS		
FINAL		

# INSPECTION RECORD – ROOFING

	DATE	APPROVED
SHEATHING (COMMERCIAL)		
IN-PROGRESS INSPECTION		
PARTIAL OR MISC. INSPECTIONS		
FINAL	9/5/80	J

NUMBER & STREET

1840 Laurel st

APPLICATION FOR A LATHING/PLASTERING PERMIT OR ROOFING PERMIT

BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA TELEPHONE 799-9101 • 682-2175

CONTRACTOR Smith & Son STATE LIC. NO 224889
MAIL ADDRESS 1360 Virginia ave B.P. PHONE ED71524
OWNER Mrs Thaddeus S Ingerson JR. (CITY BUS. LIC.)
MAIL ADDRESS 1840 Laurel st OWNER PHONE 1

DESCRIPTION OF WORK

NEW BLDG. ALTER ADD'N REPAIR
PRESENT USE PROPOSED USE House

ROOFING DETAILS

(INCLUDE WEIGHTS, NO. OF LAYERS, TYPE OF SHINGLES, ETC.)

TYPE OF ROOFING Tile NO. OF SQUARES 19
DESCRIPTION Take up tile Lay new Sub roof Relay tile
VALUATION (INCLUDE ALL LABOR AND MATERIAL) \$ 1850.00 FEES \$ 19.00

LATHING & PLASTERING DETAILS

YDS. EXTERIOR LATH.
YDS. EXTERIOR PLASTER
YDS. INTERIOR LATH.
YDS. INTERIOR PLASTER
COMBINED LATHING & PLASTERING VALUATION \$
PERMIT FEE \$
TOTAL FEE \$

INFORMATION PROVIDED BY BUILDING DEPT.
USE FIRE OCCUPANCY CHECKER'S APPROVAL
ZONE ZONE

WHEN PROPERLY VALIDATED, BELOW, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK DESCRIBED HEREON.

012-28 N 19.00 RD

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the laws and Ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final inspection has been received.

Ed H. Smith
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT
PERMANENT



# INSPECTION RECORD – LATHING & PLASTERING

	DATE	APPROVED
EXTERIOR LATHING		
EXTERIOR SCRATCH COAT		
EXTERIOR BROWN COAT		
EXTERIOR FINISH COAT		
INTERIOR LATHING		
INTERIOR BROWN COAT		
INTERIOR FINISH COAT		
PARTIAL OR MISC. INSPECTIONS		
FINAL		

# INSPECTION RECORD – ROOFING

	DATE	APPROVED
<i>NO</i> SHEATHING (COMMERCIAL)		
IN-PROGRESS INSPECTION		
PARTIAL OR MISC. INSPECTIONS		
FINAL	6-10-71	<i>John</i>



**CITY OF SOUTH PASADENA**

1414 Mission Street

Inspection Request (626) 403-7226

Office Phone: (626) 403-7220

Fax: (626) 403-7221

**CORRECTION NOTICE**

1840 Lovel st 8/1/05.  
ADDRESS DATE

10:20AM McJm Page 1 of 1  
TIME INSPECTOR'S NAME

① For Rough Electrical  
Inspection; on New  
200 Amp Service &  
Sub panel @ House  
ok; ~~Grounded~~ properly  
Grounded

**BUILDING AND SAFETY**

② OK to Release  
power from  
Edwin



# City of South Pasadena

1414 Mission Street  
 South Pasadena, CA 91030  
 Office Hrs: 7:30 am to 5:00 pm, M-Th  
 7:30 am to 4:00 Friday  
 Phone Number (626) 403-7220  
 Insp. Request (626) 403-7226

## ELECTRICAL PERMIT APPLICATION

### OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section \_\_\_\_\_, Business and Professions Code for the following reason: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: Wayne Stromsoe Date: 7-29-05

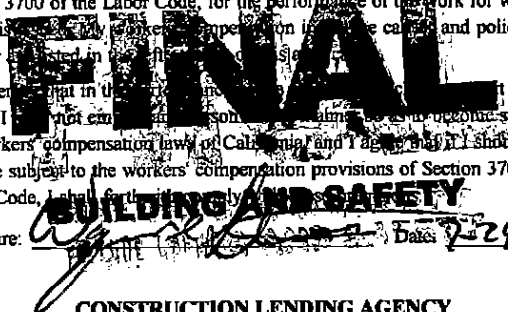
### WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. I am not exempt from the provisions of the workers' compensation law of California and I agree that I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, which shall apply to me and my employees.

Signature: Wayne Stromsoe Date: 7-29-05



### CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

### AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: Wayne Stromsoe

Signature: Wayne Stromsoe Date: 7-29-05

QTY.	ITEM	FEE
New residential construction		
Less than 3 units:	_____ sq. ft. ....	\$ _____
3 or more units:	_____ sq. ft. ....	\$ _____
Outlet Boxes(s) for receptacles, switches, lights & similar		
	First 20 .....	\$ _____
	21 or more .....	\$ _____
Lighting Fixture(s)		
	First 20 .....	\$ _____
	21 or more .....	\$ _____
Branch circuit(s) (in lieu of Outlet Box fees above)		
	First 10 branch circuits .....	\$ _____
	11 to 40 branch circuits .....	\$ _____
	Residential appliances .....	\$ _____
	Nonresidential appliances .....	\$ _____
Power apparatus (size in HP, KW, or kVA)		
	Over 1 but not over 10 .....	\$ _____
	Over 10 but not over 50 .....	\$ _____
	Over 50 but not over 100 .....	\$ _____
Signs, outline lighting, and marquees		
	Supplied from one branch circuit .....	\$ _____
	Additional circuits within the same sign .....	\$ _____
1	Service New Change Size: <u>200A</u> .....	\$ <u>27.50</u>
1	Switchboards, subpanels, motor control centers 0 to 399A <u>180 AMP</u> .....	\$ <u>27.50</u>
	400A to 1,000A .....	\$ _____
	Over 1,000A .....	\$ _____
	Misc. apparatus, conduit, and conductors .....	\$ _____
	Temporary power pole(s) .....	\$ _____
	Temporary distribution system .....	\$ _____
	Subtotal .....	\$ <u>55.00</u>
	Plan Checking Fee .....	\$ _____
	Additional Plan Checking Fee .....	\$ _____
	Plan Maintenance Fee .....	\$ _____
	Permit Issuance Fee .....	\$ <u>27.75</u>
	Total Permit Fee .....	\$ <u>82.75</u>

SITE ADDRESS <u>1840 Laurel ST</u>		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME <u>Stephen McDonald</u>		
STREET ADDRESS <u>1840 Laurel ST</u>		
CITY <u>S. Pasadena</u>	STATE <u>CA.</u>	ZIP CODE <u>91030</u>
PHONE NUMBER		
PRINCIPAL DESIGNER'S NAME		LICENSE NO.
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
CONTACT PERSON <u>Wayne Stromsoe</u>		
PHONE NUMBER <u>626-664-5223</u>		
CONTRACTOR'S NAME <u>STROMSOE Electric</u>		
STREET ADDRESS <u>928 N. Blendora</u>		
CITY <u>Covina</u>	STATE <u>CA.</u>	ZIP CODE <u>91724</u>
LICENSE CLASS <u>C-10</u>	LICENSE NUMBER <u>583936</u>	EXPIRATION DATE <u>12-05</u>
PHONE NUMBER <u>626-664-5223</u>		
WORKER'S COMPENSATION INSURANCE COMPANY NAME <u>EXEMPT</u>		
WORKER'S COMP. INSURANCE POLICY NUMBER		EXPIRATION DATE

PLAN CHECK NUMBER	INITIALS	DATE
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
<u>RE4 76775</u>		
PERMIT NUMBER	INITIALS	DATE
<u>013772</u>	<u>MR</u>	<u>7/29/05</u>
DATE OF FINAL	INITIALS	
<u>8/1/05</u>	<u>Mick M</u>	



# CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101

PLANNING & BUILDING DIVISION

# MECHANICAL PERMIT

Building Address **1840 Laurel Street**

Lot No. \_\_\_\_\_ Tract \_\_\_\_\_

Owner **Irene Trzyna**

Mailing Address **1840 Laurel Street**

City **So. Pasadena** Zip **91030** Tel. **818 799-1335**

Contractor **Rand Aire Corporation**

Address **13918 Saticoy Street**

City **Van Nuys** Zip **91402** Tel. **818 781-9780**

State Lic. No. **635096** City **L.A.**

& Classif. **C-20** Lic. No. **848576-35**

### WORKER'S COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab.C.).

Policy No. **NWC-336496-00** Company **Golden Eagle**

### CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.

Date 10-16-96 Applicant [Signature]  
 NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

### CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)

Lender's Name \_\_\_\_\_  
 Lender's Address \_\_\_\_\_

### LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Exp. Date 1-31-98 Signature of Contractor [Signature]

### OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reasons: (Sec. 7031.5, Business and Professions Codes)

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business & Professions Codes).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044 Business and Professions Code.)
- I am exempt under Sec. \_\_\_\_\_, B.&P.C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant [Signature] Date 10/15/96  
 Mailing Address 13918 Saticoy St  
 City, State, Zip Van Nuys Ca 91402

PERMIT NO.: **18811** WORKERS COMP. EXP. 11-1-96 PROCESSED BY: [Signature]  
 Date: 10-16-96

APPLICATION FOR A HEATING, VENTILATING, AIR-CONDITIONING OR REFRIGERATION PERMIT  
 BUILDING DEPARTMENT • CITY OF SOUTH PASADENA, CALIFORNIA  
 PERMITTEE TO COMPLETE:

### DESCRIPTION OF WORK

HEATING  AIR CONDITIONING  POOL  
 REFRIGERATION  VENTILATION  SPA

DESCRIBE WORK TO BE DONE

**CHANGE OUT EXISTING GRAVITY FURNACE TO NEW FAU**

NO. OF HEATING APPLIANCES (INCL. VENTS) INSTALLED, ALTERED, REPLACED, REPAIRED OR RELOCATED

TYPE	B. T. U.
UPFLOW FURNACE	88,000

GAS LINE: 1-8 OUTLETS AT 5.00 EACH

NO. OF REFRIGERANT COMPRESSORS INSTALLED OR REPLACED			
QUANTITY	OVER	INCL.	ACTUAL H. P.
	0	20	
	20	50	
	50	UP	

VALUATION: \$ <u>3900</u>			
F	PERMIT FEE	101-5700-004	114 25
E	INVESTIGATION FEE		
E	PLAN CHECKING FEE		
E	ENERGY COMPL. FEE		
S	ISSUANCE FEE		15
TOTAL			129 25

CASHIER USE

INSPECTOR COPY CONST. HRS. 8 AM-7 PM ONLY  
 ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.

# CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101  
 PLANNING & BUILDING

# BUILDING PERMIT

Building Address <b>1840 Laurel Av</b>			U.B.C. Edition <b>94</b>	Type Const. <b>VN</b>	Occ. Load	Occ. Group <b>R3</b>						
Lot No.	Tract	Tract	USE ZONE	Variance Required	Appr.							
Owner <b>Irene Trzina</b>			Lot Size									
Mailing Address <b>1840 Laurel Av</b>			VALUATION: \$ <b>42000.00</b>									
City <b>S Pas</b>	Zip	Tel.	F E E S	BUILDING FEE <b>101-5200-004</b>	<b>99.75</b>							
Contractor <b>Ray Quann</b>				S.M.I. FEE	<b>.50</b>							
Address <b>4381 Scandia Way</b>				PLAN CHECKING FEE								
City <b>LA</b>	Zip <b>90065</b>	Tel. <b>213-257-3235</b>		Energy Compl. Fee								
State Lic. & Classif. <b>707552</b>	City Lic. No.			Penalty								
Arch., Engr., Designer			SPECIAL INSP.									
Address			<table border="1"> <tr> <td>PERMIT NO. <b>018319</b></td> <td>WORKERS COMP. EXP. <b>EXEMPT</b></td> <td>PROCESSED BY: <b>MR</b></td> </tr> <tr> <td colspan="2"></td> <td>Date: <b>5-21-96</b></td> </tr> </table>				PERMIT NO. <b>018319</b>	WORKERS COMP. EXP. <b>EXEMPT</b>	PROCESSED BY: <b>MR</b>			Date: <b>5-21-96</b>
PERMIT NO. <b>018319</b>	WORKERS COMP. EXP. <b>EXEMPT</b>	PROCESSED BY: <b>MR</b>										
		Date: <b>5-21-96</b>										
City	State Lic. No.											
Proposed Construction <b>Rebuild Chimney Standard Plan</b>			LICENSED CONTRACTOR'S DECLARATION									
Sq. Ft. Size	No. Stories	No. Units	I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.									
New <input type="checkbox"/> Add. <input type="checkbox"/> Alter. <input type="checkbox"/> Repairs <input checked="" type="checkbox"/> Demolition <input type="checkbox"/>			Exp. Date <b>6/30/97</b> Signature of Contractor <b>[Signature]</b>									
<p><b>WORKER'S COMPENSATION DECLARATION</b></p> <p>I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab.C.).</p> <p>Policy No. _____ Company _____</p>			<p><b>OWNER-BUILDER DECLARATION</b></p> <p>I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Codes Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).</p> <p><input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)</p> <p><input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)</p> <p><input type="checkbox"/> I am exempt under Sec. _____, B.&amp;P.C. for this reason _____</p>									
<p><b>CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE</b></p> <p>I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.</p> <p>Date: <b>21 May 96</b> Applicant: <b>[Signature]</b></p> <p><b>NOTICE TO APPLICANT:</b> If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.</p>			<p><b>CONSTRUCTION LENDING AGENCY</b></p> <p>I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)</p> <p>Lender's Name _____</p> <p>Lender's Address _____</p>									
<p>I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.</p> <p>Signature of Applicant: <b>[Signature]</b> Date: <b>21 May 96</b></p> <p>Mailing Address: <b>4381 Scandia Way</b></p> <p>City, State, Zip: <b>LA CA 90065</b></p>			<p>Date _____ Owner _____</p>									

CONST. HRS. 8 AM-7 PM ONLY  
 ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.

INSPECTOR COPY

# INSPECTION RECORD

			INSPECTION NOTES
FOUNDATION: (Gr. Certif. Comp. Tests, Setbacks, Forms, Reinf. Steel, Excavation.			Steel for Bond Beam 522-822
FLOOR SLAB/JSTS., GIRDERS: Mesh, Vap. Barrier, Blkg., Spans, Access, Vents, Tr. Lmbr.			
MASONRY: Reinf., Mortar Jts., Grout Lifts, Clean-Outs, Bolts.			
ROOF SHTG: Nailing, Diaph. Blocking, Material Grade and Thickness, Roof Drains.			
FRAMING: Walls, Raft., Jts., Blocking, Bracing, Nailing, Backing, Diaphr. Draft Stops.	5-29-94	JS	
INSULATION: Thickness, R-Values, Piping, Sound Caulking.			
FIREWALLS: Material, Thickness, Dampers, Doors, Closers, Fusible Links.			
INTERIOR: LATH/DRY WALL: Nailing, Supports, Laps, Joint Reinf.			
EXTERIOR LATH/SIDING: Mesh, Fasteners, Laps, Paper, Thickness, Backing.	5-30-96	JS	
FINAL INSPECTION: Finish Grading Certif., Slope Plant., Energy Compl. Card Posted, Pkg. Access, Fire Doors, Exits, Locking Devices, Landings, House Numbers, Weather Stripping, Pl./Engr. Clear.	6-6-96	JS	

### SWIMMING POOL/SPA

EXCAV. REINF. SETBACKS: Radius Stl., Bonding, Exp. Soil, Ramp Loc., Surcharge.		
FENCE/GATES: Height, Closers, Accessibility, Latches, Stability.		
FINAL INSPECTION		

SETBACKS:

FRONT

SIDE

SIDE

FRONT

### PLOT PLAN

### MISCELLANEOUS

SPRAY PAINT BOOTH:		
RETAINING WALL:		
DUST COLLECTION SYSTEM:		
VENEER:		
RE-ROOF:		
SIGN(S):		
INSPECTION	DATE	INSP. SIGN.

STREET

PLEASE PLAN A 1" SQ. SCALE



**City of South Pasadena**  
 1414 Mission Street  
 South Pasadena, CA 91030  
 Office Hrs: 7:30 am to 5:00 pm, M-Th  
 7:30 am to 4:00 Friday  
 Phone Number (626) 403-7220  
 Insp. Request (626) 403-7226

**BUILDING PERMIT APPLICATION** 1840 LAUREL ST.

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section \_\_\_\_\_, Business and Professions Code for the following reason: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect:

Signature: Joe E. Grueter Date: 12/27/12

**WORKERS' COMPENSATION DECLARATION**

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code for the work for which this permit is issued. My insurance carrier and policy number are listed in \_\_\_\_\_ application.

I certify that \_\_\_\_\_ of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: Joe E. Grueter Date: 12/27/12

**CONSTRUCTION LENDING AGENCY**

See the back of this form for required statement

**AUTHORIZATION OF ENTRY**

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: Joe E. Grueter

Signature: Joe E. Grueter Date: 12/27/12

SITE ADDRESS <u>1840 LAUREL ST</u>		
ASSESSOR PARCEL NUMBER		
BOOK <u>S320</u>	PAGE <u>023</u>	PARCEL <u>022</u>
ADDITIONAL INFORMATION / LEGAL DESCRIPTION <u>ONEONTA PARK W 20FT OF LOTS 3 &amp; 4</u>		
OWNER'S NAME <u>MASANORE HASE &amp; CHEKAKO MORE</u>		
STREET ADDRESS <u>1840 LAUREL ST</u>		
CITY <u>SOUTH PASADENA</u>	STATE <u>CA</u>	ZIP CODE <u>91030</u>
PHONE NUMBER <u>323.219.5018</u>		
PRINCIPAL DESIGNER'S NAME <u>LISA HENDERSON</u>		LICENSE NO. <u>C28481</u>
STREET ADDRESS <u>2038 FRUE ST</u>		
CITY <u>SO. PAS</u>	STATE <u>CA</u>	ZIP CODE <u>91030</u>
PHONE NUMBER <u>626.799.1078</u>		
CONTACT PERSON <u>LISA HENDERSON</u>		
PHONE NUMBER <u>626.799.1078</u>		
CONTRACTOR'S NAME <b>BUILDING AND SAFETY</b> <u>Grueter Construction</u>		
STREET ADDRESS <u>2672 Fair Oaks Ave</u>		
CITY <u>Attadena</u>	STATE <u>CA</u>	ZIP CODE <u>91001</u>
LICENSE CLASS <u>B</u>	LICENSE NUMBER <u>416414</u>	EXPIRATION DATE <u>6-30-2014</u>
PHONE NUMBER <u>626-798-9525</u>		
WORKER'S COMPENSATION INSURANCE COMPANY NAME <u>State Fund</u>		
WORKER'S COMP INSURANCE POLICY NUMBER <u>1951849</u>		EXPIRATION DATE <u>1/1/14</u>

DESCRIPTION OF WORK <u>INT. REMODEL OF (E) KITCHEN &amp; LAUNDRY ROOM (W) BACK PORCH OVERHANG (3 doors and 2 windows) change out</u>		
OCCUPANCY GROUP <u>R-3</u>	TYPE OF CONSTRUCTION <u>V-B</u>	AREA <u>180</u>
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
NUMBER OF STORIES	FIRE SPRINKLERS <input type="checkbox"/> YES <input type="checkbox"/> NO	CODE IN EFFECT
STATISTICAL CLASSIFICATION NO. UNITS:		PLANNING FILE NO.
\$ <u>18,000</u> INITIAL VALUATION		\$ _____ REVISED VALUATION
PLAN CHECK FEE		\$ <u>331.83</u>
ADDITIONAL PLAN CHECK FEE		\$ _____
FIRE DEPT. PLAN CHECK FEE <u># 349378</u>		\$ _____
PLAN CHECK NUMBER <u>30436</u>	INITIALS <u>RD</u>	DATE <u>11/19/12</u>
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
<input type="checkbox"/> SCHOOL FEES PAID	<input type="checkbox"/> SCAQMD	
<input type="checkbox"/> SANITATION DIST. PAID	<input type="checkbox"/> INDUSTRIAL WASTE APPROVAL	
<input type="checkbox"/> HEALTH DEPT. APPROVAL	<input type="checkbox"/> OSHA PERMIT OBTAINED	
<input type="checkbox"/> FIRE DEPT. APPROVAL	<input type="checkbox"/> PUBLIC WORKS FEES PAID	
BUILDING PERMIT FEE	\$ <u>401.29</u>	
ISSUANCE FEE	\$ <u>27.90</u>	
SMIP FEE	\$ <u>(1.80)</u>	
GENERAL PLAN FEE	\$ <u>(40.13)</u>	
PIF (PARK IMPACT FEE)	\$ _____	
GROWTH FEE	\$ _____	
# <u>352666</u> TOTAL		\$ <u>429.19</u>
PERMIT NUMBER <u>30623</u>	INITIALS <u>SD</u>	DATE <u>12/27/12</u>
DATE OF FINAL <u>7/23/15</u>	FINAL BY <u>MM</u>	



NO.	INSPECTION	DATE	INSPECTOR
<b>REQUIRED BUILDING INSPECTIONS AND APPROVALS</b>			
B1	Soils Engineer's Approval		
B2	Location and Setbacks		
B3	Foundation/Trench Forms		
B4	Structural Concrete Slab on Grade		
B5	Raised Floor Framing		
B6	Underfloor Insulation		
B7	First Level Floor Diaphragm		
B8	Second Level Floor Diaphragm		
B9	Third Level Floor Diaphragm		
B10	Roof Diaphragm		
B11	Concrete Deck		
B12	Steel Framing		
B13	Fire Dept. Frame Inspection		
B14	Bldg. Dept. Frame Inspection	11/28/13	MM/M
B15	Fire Sprinkler Hangers		
B16	Insulation/Weather Stripping		
B17	Interior Lath and/or Drywall	1/28/13	MM/M
B18	Exterior Lath		
B19	Rated Horizontal Assemblies		
B20	Rated Wall Assemblies		
B21	Rated Opening Protection		
B22	Rated Shaft Construction		
B23	T-Bar Ceilings		
B24	Lot Drainage		
B25	Planning Dept. Approval		
B26	Fire Dept. Approval		
B27	Public Works Dept. Approval		

DESCRIBE COMPLETELY THE INTENDED USE OF ALL SPACE APPLICABLE TO THIS BUILDING PERMIT

**THE FOLLOWING STATEMENT MUST BE SIGNED BY THE BUILDING OWNER.** WHEN APPROVED BY THE BUILDING OFFICIAL, THE OWNER'S AGENT MAY SIGN FOR PERMITS OTHER THAN THE INITIAL OR SHELL BUILDING PERMIT.

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amounts specified on the hazardous materials information guide?  YES  NO

I have read the hazardous material information guide and the SCAQMD permitting checklist. I understand my requirements under the State of California Health and Safety Code Section 25505, 25533, and 25634 concerning hazardous materials reporting.

If the answer to the question above was yes, will the proposed building or modified facility be within 1000 feet of the outer boundary of a school.  YES  NO

OWNER  AGENT

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines.  YES  NO

NAME: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

PEDESTRIAN PROTECTION:

DATE APPROVED: \_\_\_\_\_

DATE PERMITTED TO BE REMOVED: \_\_\_\_\_

**INSPECTION NOTES**

**CONSTRUCTION LENDING AGENCY**

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).

Lender's Name: \_\_\_\_\_

Lender's Address: \_\_\_\_\_



NO.	INSPECTION	DATE	INSPECTOR
-----	------------	------	-----------

**REQUIRED MECHANICAL INSPECTIONS AND APPROVALS**

M1	FAU/Wall Furnace		
M2	Combustion Air Openings		
M3	Duct Work	1/23/13	M/M
M4	A/C Compressor		
M5	Thermostat		
M6	Fire Dampers		
M7	Smoke Detection Devices		
M8	Manufactured Fireplace		
M9	Commercial Hood		

**INSPECTION NOTES**

---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---



---

**CONSTRUCTION LENDING AGENCY**

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 of the Civil Code).

Lender's Name: \_\_\_\_\_

Lender's Address: \_\_\_\_\_



# City of South Pasadena

1414 Mission Street  
 South Pasadena, CA 91030  
 Office Hrs: 7:30 am to 5:00 pm, M-Th  
 7:30 am to 4:00 Friday  
 Phone Number (626) 403-7220  
 Insp. Request (626) 403-7226

SITE ADDRESS 1840 Laurel St		
ASSESSOR PARCEL NUMBER		
BOOK 5320	PAGE 023	PARCEL 023
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME Masamoni Naze		
STREET ADDRESS 1840 Laurel St		
CITY S. Pas.	STATE CA	ZIP CODE 91030
PHONE NUMBER 323-219-5018		
PRINCIPAL DESIGNER'S NAME		LICENSE NO.
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
CONTACT PERSON <b>BUILDING AND SAFETY</b>		
PHONE NUMBER		
CONTRACTOR'S NAME Joe Grueter Construction		
STREET ADDRESS 2672 Fair Oaks Ave		
CITY Altadena	STATE CA	ZIP CODE 91001
LICENSE CLASS B+CG	LICENSE NUMBER 416414	EXPIRATION DATE 6-30-2014
PHONE NUMBER 626-798-9525		
WORKER'S COMPENSATION INSURANCE COMPANY NAME Stater Fund		
WORKER'S COMP. INSURANCE POLICY NUMBER		EXPIRATION DATE

## PLUMBING PERMIT APPLICATION

### OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section \_\_\_\_\_, Business and Professions Code for the following reason: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: [Signature] Date: 12/27/12

### WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance policy number are listed in the \_\_\_\_\_ of this application.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: [Signature] Date: 12/27/12

### CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

### AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: Joe E. Grueter

Signature: [Signature] Date: 12/27/12

QTY.	ITEM	FEE
3	Plumbing fixtures: _____ water closets _____ tubs _____ lavatories <input checked="" type="checkbox"/> sinks _____ floor drains _____ floor sinks _____ showers _____ trap primers <input checked="" type="checkbox"/> clothes washers <input checked="" type="checkbox"/> dishwashers	\$ 48.90
1	Repair or alteration of drainage and/or vent piping per fixture	\$ 16.30
	Interceptor(s), clarifier(s) and grease trap(s)	\$
	Water pressure regulator(s)	\$
	Water heater(s) including vent	\$
1	Water treatment equipment	\$
	Gas piping system(s) with 5 or less outlets	\$ 16.30
	Additional gas outlet(s) per system	\$
	Drains in a rain water system	\$
	Lawn sprinkler system(s)	\$
	Hose bibs (first 5)	\$
	Backflow / sewer backwater valve(s)	\$
	Water service: _____ 1 1/2 inch and smaller _____ 2 inch to 3 inch _____ Over 3 inches	\$
	Repair or alteration of water piping per fixture, or per water-using or water-dispensing device	\$
	Solar water heating system	\$
	Connection of new sewer to existing sewer	\$
	Disconnection, abandonment or repair of sewer	\$
	Installation of grey water system	\$
	Public or private spa	\$
	Public or private swimming pool	\$
	Subtotal	\$ 81.50
	Plan Checking Fee	\$
	Additional Plan Checking Fee	\$
	Plan Maintenance Fee	\$
	Permit Issuance Fee	\$ 27.90
	Total Permit Fee	\$ 109.40

PLAN CHECK NUMBER	INITIALS	DATE
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
# 352666		
PERMIT NUMBER	INITIALS	DATE
30626	SD	12/27/12
DATE OF FINAL	FINAL BY	
2/23/13	[Signature]	





# City of South Pasadena

1414 Mission Street  
 South Pasadena, CA 91030  
 Office Hrs: 7:30 am to 5:00 pm, M-Th  
 7:30 am to 4:00 Friday  
 Phone Number (626) 403-7220  
 Insp. Request (626) 403-7226

SITE ADDRESS 1840 Laurel St.		
ASSESSOR PARCEL NUMBER		
BOOK 5320	PAGE 023	PARCEL 022
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME Masanori Hase		
STREET ADDRESS 1840 Laurel St.		
CITY S. Pas	STATE CA	ZIP CODE 91030
PHONE NUMBER 323-219-5018		
PRINCIPAL DESIGNER'S NAME		LICENSE NO.
STREET ADDRESS		
CITY	STATE	ZIP CODE
PHONE NUMBER		
CONTACT PERSON		
PHONE NUMBER		
CONTRACTOR'S NAME Green BUILDING AND SAFETY Construction (Inc)		
STREET ADDRESS 2672 Fair Oaks Ave.		
CITY Altadena	STATE CA	ZIP CODE 91001
LICENSE CLASS B	LICENSE NUMBER 416414	EXPIRATION DATE 6-30-2014
PHONE NUMBER 626-798-9525		
WORKER'S COMPENSATION INSURANCE COMPANY NAME State Fund		
WORKER'S COMP. INSURANCE POLICY NUMBER		EXPIRATION DATE

**FINAL**

## ELECTRICAL PERMIT APPLICATION

### OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section \_\_\_\_\_ Business and Professions Code for the following reason: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: Joe F. Gwetter Date: 12/27/12

### WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are listed in the left column of the \_\_\_\_\_

I certify that in \_\_\_\_\_ this permit is issued, I shall not employ \_\_\_\_\_ in any manner, so as to become subject to the workers' compensation laws of California, and I agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: Joe F. Gwetter Date: 12/27/12

### CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

### AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: Joe F. Gwetter

Signature: Joe F. Gwetter Date: 12/27/12

QTY.	ITEM	FEE
	New residential construction	
Less than 3 units: _____ sq. ft.		\$ _____
3 or more units: _____ sq. ft.		\$ _____
	Outlet Boxes(s) for receptacles, switches, lights & similar	
	First 20 _____	\$ _____
	21 or more _____	\$ _____
	Lighting Fixture(s)	
	First 20 _____	\$ _____
	21 or more _____	\$ _____
2	Branch circuit(s) (in lieu of Outlet Box fees above)	
	First 10 branch circuits _____	\$ 35.00
	11 to 40 branch circuits _____	\$ _____
2	Residential appliances _____	\$ 21.60
	Nonresidential appliances _____	\$ _____
	Power apparatus (size in HP, KW, or kVA)	
	Over 1 but not over 10 _____	\$ _____
	Over 10 but not over 50 _____	\$ _____
	Over 50 but not over 100 _____	\$ _____
	Signs, outline lighting, and marquees	
	Supplied from one branch circuit _____	\$ _____
	Additional circuits within the same sign _____	\$ _____
	Service New _____ Change _____ Size: _____	\$ _____
	Switchboards, subpanels, motor control centers	
	0 to 399A _____	\$ _____
	400A to 1,000A _____	\$ _____
	Over 1,000A _____	\$ _____
	Misc. apparatus, conduit, and conductors _____	\$ _____
	Temporary power pole(s) _____	\$ _____
	Temporary distribution system _____	\$ _____
	Subtotal _____	\$ 56.60
	Plan Checking Fee _____	\$ _____
	Additional Plan Checking Fee _____	\$ _____
	Plan Maintenance Fee _____	\$ _____
	Permit Issuance Fee _____	\$ 27.90
	Total Permit Fee _____	\$ 84.50

PLAN CHECK NUMBER	INITIALS	DATE
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
# 352666		
PERMIT NUMBER	INITIALS	DATE
30625	SD	12/27/12
DATE OF FINAL	FINAL BY	
2/23/15	[Signature]	





**CITY OF SOUTH PASADENA**

PLANNING AND BUILDING DEPARTMENT  
1414 MISSION STREET, SOUTH PASADENA, CA 91030  
TEL: 626.403.7220 • FAX: 626.403.7221  
WWW.CI.SOUTH-PASADENA.CA.US

November 13, 2013

Masanori Hase  
1840 Laurel Street,  
South Pasadena, CA 91030

Subject: Notice for permit expiration #30623

Dear Owner(s):

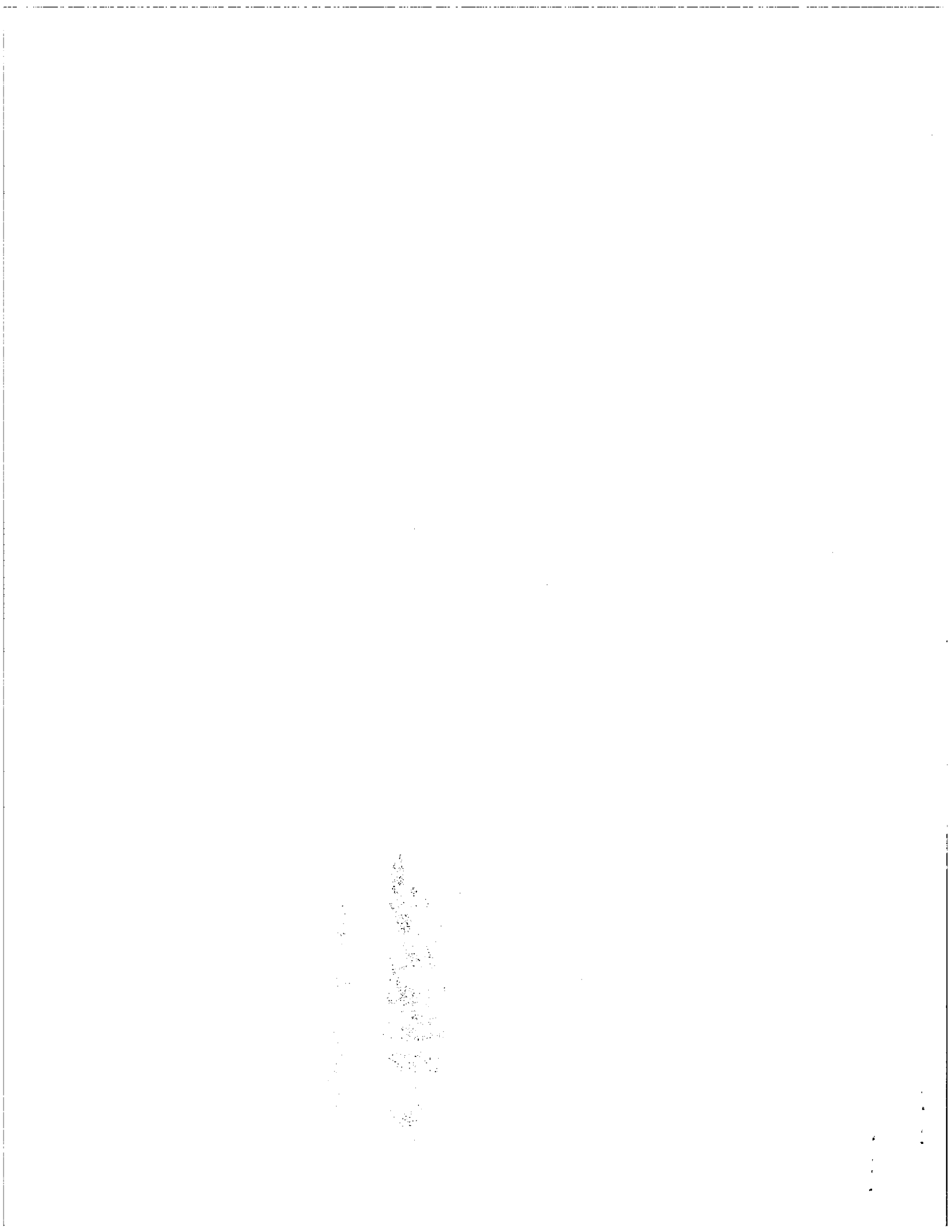
This letter is to inform you that building permit(s) obtained for the project at **1840 Laurel Street** will expire on **January 31, 2014** as per City of South Pasadena Municipal Code, Chapter 9, section 9.1, subsection 107.6 "Permits shall expire automatically by limitation and become null and void one year after the date of the last required building inspection approval or if work authorized by such permit is not commenced within one year from the issuance date of such permit."

After the expiration date, in order to resume your construction you need to obtain new permits. Should you have any questions, you may reach me at 626-403-7224.

Sincerely,

Secil Duman  
Permit Technician





**ATTACHMENT 6**

Material Brochures

# JELD-WEN®

SITELINE®  
WOOD AND CLAD-WOOD  
WINDOWS AND PATIO DOORS





## CASEMENT AND AWNING WINDOWS

Maximize ventilation and add a clean, modern accent to any room in the house.

### AESTHETIC APPEAL

Both styles feature recessed sash for architectural interest and energy efficiency, plus a choice of traditional or contemporary glazing profiles.

### PERFORMANCE

Siteline's design includes heavier hardware and greater thermal performance to help you achieve better efficiency.

### PUSH-OUT OPTIONS

We also offer push-out styles that feature swinging screens and stylishly simple push-out handles.



## SWINGING PATIO DOORS

Create an impressive, sophisticated entrance with swinging patio doors available in a variety of configurations, including French doors.

### CHOICE

Available with one to four panels that swing out or in on side hinges.

### PERFORMANCE

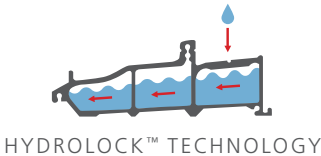
The energy-efficient fiberglass sill allows water to drain away while preventing high winds and rain from coming in.

### ACCESS

Inswing and outswing patio doors are available with an optional ADA-compliant sill for wheelchair accessibility.

# IN SWING PATIO DOOR WITH HYDROLOCK™ TECHNOLOGY

Featuring a redesigned sill with Hydrolock™ technology, these doors deliver robust water management that matches or surpasses industry-leading performance ratings.



### INNOVATION

Patent-pending fiberglass sill and corner key design continually moves water away from the home.

### RATINGS

PG45 rating on 1- and 2-panel systems up to 36" panel width; PG35 rating on 1- and 2-panel systems greater than 36" panel width and 3- and 4-panel systems.





BELMAR™ TRANSITIONAL



HARLESTON™ TRADITIONAL



Finishes will perform at or above PVD-tested finishes.

\*Plated finish

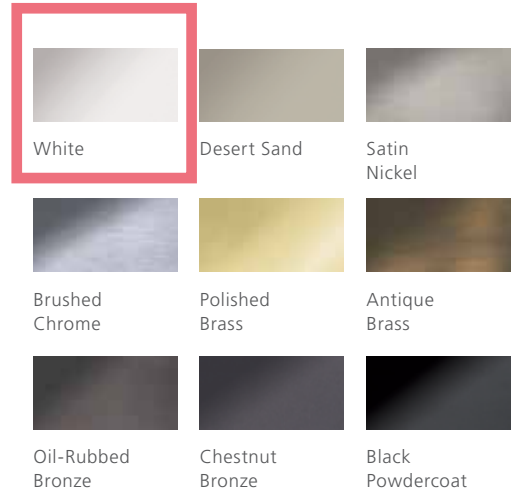
\*\*Finish will not change over time

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

# WINDOW HARDWARE

## WINDOW HARDWARE OPTIONS

CASEMENT AND AWNING	DOUBLE-HUNG AND HORIZONTAL SLIDING
<p>STANDARD FOLDED NESTING HANDLE</p> 	<p>CONCEALED SASH LOCK</p> 
<p>PUSH-OUT HANDLE</p> 	



Actual colors may vary from samples shown to due printing process and/or differing monitor calibrations.

# WINDOW OPENING CONTROL DEVICES (WOCD)

## AVAILABLE ON DOUBLE-HUNG AND CASEMENT WINDOWS

Because windows can be necessary for emergency escape and rescue, building codes in your area may require certain windows to open fully. Factory-installed window opening control devices are designed to meet the current ASTM F2090 standard intended to help prevent accidental falls from windows by children five years of age and younger. A WOCD automatically limits the sash opening to less than four inches, unless it is deliberately disengaged, allowing the sash to open fully.

















Window Open

Window Closed





						
Sea Foam	Hunter Green	Moss	Hartford Green	Cranberry	Mesa Red	Stormy
						
Admiral	Navy	Steele Gray	Dark Chocolate	Chestnut Bronze	Luxury Bronze	Black

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

# EXTERIOR CLAD TRIM

Select one of our exterior clad trim options to create the architectural look you want for your windows: historical, transitional, or contemporary.



Adams



3 1/2" Flat



Brickmould

## OTHER OPTIONAL TRIM



2" Exterior Jamb Extension



Standard



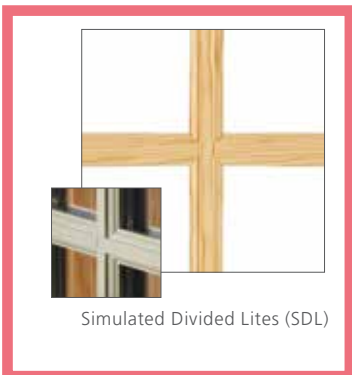
1" Sill Nosing



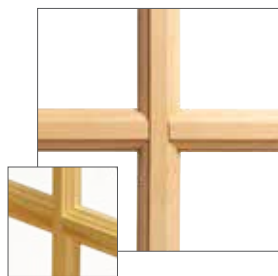
2" Sill Nosing

# DIVIDED LITES

Add architectural interest to your JELD-WEN® Sitrine® wood and clad-wood windows with one of our decorative grille options. These options include traditional or contemporary Simulated Divided Lites (SDL) for an authentic look, Full-Surround (FS) wood grilles that can be removed for easy cleaning, and maintenance-free Grilles Between the Glass (GBG).



Simulated Divided Lites (SDL)



Full-Surround (FS) Wood Grilles



Grilles Between the Glass (GBG)



Contemporary Simulated Divided Lites (SDL)

# GLASS

## LOW-E INSULATING GLASS

Our standard high-performance Low-E insulating glass enhances energy conservation by helping homes stay cooler in the summer and warmer in the winter. Low-E glass provides greater protection against solar heat gain, reduces condensation, and helps limit fading of interior furnishings. Additional Low-E glass options are available for improved thermal performance

## DIRT-RESISTANT GLASS

Standard for all Sitaline® products, this innovative product harnesses the sun's UV rays to loosen dirt from the glass, so that rainwater can easily rinse away any grime. No manual activation is required.

## PROTECTIVE FILM

Standard for all Sitaline® products, this film is factory-applied to both sides of the glass. It protects against debris and scratches during shipping and handling or at a construction site. Easy to remove, it saves clean-up time after installation.

## TEMPERED GLASS

Treated with heat in order to withstand greater force or pressure on its surface, tempered glass will not break into sharp pieces. It is used most frequently on patio doors or windows installed near floor level.

## ENERGY STAR® OPTIONS

Many JELD-WEN® windows and doors are ENERGY STAR certified, which means they exceed the minimum energy efficiency criteria for the climate region in which you live. JELD-WEN has been a proud ENERGY STAR partner since 1998. Please see your local dealer for options in your area.

# SPACERS

## STANDARD

For even more versatility, spacer bar color options enhance the appearance of your windows.



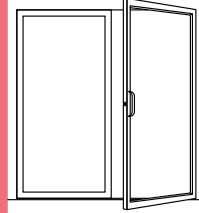
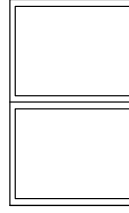
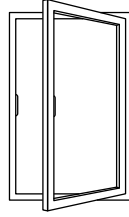
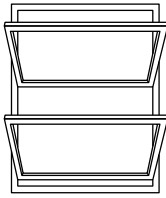
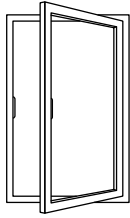
## THERMOPLASTIC

Our insulating glass may now be ordered with a state of the art black thermoplastic spacer that “disappears” into the window while providing the best thermal performance and the lowest seal failure rates of any spacer on the market.

# BLINDS BETWEEN GLASS

Select Sitaline® windows and patio doors are available with Blink® Blinds + Glass. This exceptional blinds-between-the-glass offering delivers a clean, modern design with a choice of six colors, plus performance glass options. Blink blinds never need dusting, and there are no exposed cords.





	Push-out Casement	Double-Hung Pocket	Casement Pocket	Sash Pack	Swinging Patio Doors
<b>Hardware</b>	Push-out handle	Sash lock with integrated tilt latches	Nesting handle	Sash lock with integrated tilt latches	Harleston™, Whitby™, Belmar™
<b>Hardware Finishes</b>	9 Finishes	9 Finishes	9 Finishes	9 Finishes	10 Finishes
<b>Glass Options</b>	50+ Choices	50+ Choices	50+ Choices	50+ Choices	50+ Choices
<b>Sizes: Min</b>	18" x 18"	21 3/8" x 31 7/32"	18" x 18"	20" x 30"	23 5/8" x 79 1/2"
<b>Max</b>	36" x 72"	45 3/8" x 92"	36" x 72"	40" x 90"	43" x 98 1/2" (Panel Size)
<b>Grilles</b>	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs	GBG: 5/8" Flat, 23/32" Contoured, 1" Contoured Bead: 7/8", 1 1/8", 1 3/8", 2 5/16" Putty: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Contemporary: 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" Combination SDL available: mix and match designs
<b>Performance Rating</b>	36" x 72" - PG50	45" x 78" - PG50	36" x 72" - PG35	N/A	Inswing: PG35, PG50 Limited Water Outswing: PG50 WZ3 available
<b>Configurations</b>	Special Mulls, Transoms, Bays & Bows, Multiples	N/A	N/A	N/A	X, OX, XO, OXXO Sidelites & Transoms available
<b>Spacer Color</b>	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver
<b>Blink® Blinds</b>	N/A	N/A	N/A	N/A	N/A

# Manning Outdoor Lantern Wall Sconce

By Quoizel



Call Us (877) 445-4486

Manning Outdoor Lantern Wall Sconce  
By Quoizel

## Product Options

Number of Lights: 2

## Details

Finish: Western Bronze

## Dimensions

2 Light Option Fixture: Width 8.25", Height 18.5",  
Depth 9", Weight 6.24Lbs

## Lighting

2

Lamp Type	LED
Total Lumens	2200.0
# of Bulbs	2 (Not Included)
Bulb Type	9W A19 E26
Volts	120
Color Temp	2700 (Warm)
Average Lifespan (Hours)	15,000
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	Yes



Notes:

Prepared  
by:

Prepared for:  
Project:  
Room:  
Placement:  
Approval:

## Additional Details

Product URL:

<https://www.lumens.com/manning-outdoor-lantern-wall-sconce-by-quoizel-QZL2078936.html>

Rating: ETL Listed Wet

ITEM#: QZL2078936

