



**CITY OF SOUTH PASADENA
CULTURAL HERITAGE COMMISSION**

**AGENDA
REGULAR MEETING
THURSDAY, SEPTEMBER 19, 2024 AT 6:30 P.M.**

**AMEDEE O. "DICK" RICHARDS JR. COUNCIL CHAMBERS
1424 MISSION STREET, SOUTH PASADENA, CA 91030**

South Pasadena Cultural Heritage Commission Statement of Civility

As your appointed governing board we will treat each other, members of the public, and city employees with patience, civility and courtesy as a model of the same behavior we wish to reflect in South Pasadena for the conduct of all city business and community participation. The decisions made tonight will be for the benefit of the South Pasadena community and not for personal gain.

NOTICE ON PUBLIC PARTICIPATION & ACCESSIBILITY

The South Pasadena Cultural Heritage Commission Meeting will be conducted in-person from the Amedee O. "Dick" Richards, Jr. Council Chambers, located at 1424 Mission Street, South Pasadena, CA 91030.

The Meeting will be available:

- In Person – Council Chambers, 1424 Mission Street, South Pasadena
- Via Zoom: <https://us02web.zoom.us/j/82268359053> **Meeting ID: 822 6835 9053**

To maximize public safety while still maintaining transparency and public access, members of the public can observe the meeting via Zoom in one of the two methods below.

1. Go to the Zoom website, <https://zoom.us/join> and enter the Zoom Meeting information; or
2. Click on the following unique Zoom meeting link:
<https://us02web.zoom.us/j/82268359053>

CALL TO ORDER: Chair Conrado Lopez

ROLL CALL: Chair Conrado Lopez
 Vice-Chair Kristin Morrish
 Commissioner William Cross
 Commissioner Jeremy Ding
 Commissioner Scott Severson

COUNCIL LIAISON: Mayor Pro Tem Jack Donovan

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with Commission business.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by Commissioners of site visits and ex-parte contact for items on the agenda.

PUBLIC COMMENT GUIDELINES (Public Comments are limited to 3 minutes)

The Cultural Heritage Commission welcomes public input. If you would like to comment on an agenda item, members of the public may participate by one of the following options:

Option 1:

Participate in-person at the Council Chambers, 1424 Mission Street, South Pasadena

Option 2:

Participants will be able to “raise their hand” using the Zoom icon during the meeting, and they will have their microphone un-muted during comment portions of the agenda to speak for up to 3 minutes per item.

Option 3:

Email public comment(s) to PlanningComments@southpasadenaca.gov.

Public Comments received in writing will not be read aloud at the meeting, but will be part of the meeting record. Written public comments will be uploaded online for public viewing under Additional Documents. There is no word limit on emailed Public Comment(s). Please make sure to indicate:

- 1) Name (optional), and
- 2) Agenda item you are submitting public comment on, and
- 3) Submit by no later than 12:00 p.m., on the day of the Cultural Heritage Commission meeting.

NOTE: Pursuant to State law, the Cultural Heritage Commission may not discuss or take action on issues not on the meeting agenda, except that members of the Cultural Heritage Commission or staff may briefly respond to statements made or questions posed by persons exercising public testimony rights (Government Code Section 54954.2). Staff may be asked to follow up on such items.

PUBLIC COMMENT

1. Public Comment – General (Non-Agenda Items)

CONSENT CALENDAR ITEM

2. Minutes from the Regular Meeting of July 18, 2024

PUBLIC HEARING

- 3. 1725 Bank Street, Project No. COA24-0010** – A request for a Certificate of Appropriateness (COA) for a 620 square-foot first floor addition and a 738 square-foot second floor addition to an existing 2,430 sq. ft. two-story single-family dwelling at 1725 Bank Street (APN: 5320-005-018). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

- 4. 1831 Laurel Street, Project No. COA24-0011** – A request for a Certificate of Appropriateness (COA) for a 963-square-foot first floor addition, 753 second floor addition, construction of a new 233 square-foot front porch and 530 square-foot rear porch at a single-family dwelling located at 1831 Laurel Street (APN: 5320-022-005). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

- 5. 203 Oaklawn Avenue, Project No. MIL24-0001** – The Cultural Heritage Commission (CHC) will review and make a recommendation to the City Council for a proposed Mills Act Contract application (Project No. MIL24-0001) for a residence at 203 Oaklawn Avenue (APN: 5317-014-015). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for an exemption under the CEQA Guidelines Section 15308, Class 8 (Actions by Regulatory Agencies for Protection of the Environment).

Recommendation:

Finding the project exempt from CEQA pursuant to Section 15308. Staff and the Subcommittee of the Cultural Heritage Commission recommend that the Commission make a recommendation to the City Council to enter into a Mills Act contract for 203 Oaklawn Avenue.

- 6. 1209 Indiana Avenue, Project No. MIL24-0002** – The Cultural Heritage Commission (CHC) will review and make a recommendation to the City Council for a proposed Mills Act Contract application (Project No. MIL24-0002) for a residence at 1209 Indiana Avenue (APN: 5314-010-061) that is a Designated Historic Landmark (#60). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15308, Class 8 (Actions by Regulatory Agencies for Protection of the Environment).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15308. Staff and the Subcommittee of the Cultural Heritage Commission recommend that the Commission make a recommendation to the City Council to enter into a Mills Act contract for 1209 Indiana Avenue.

ADMINISTRATION

- 7. Comments from City Council Liaison**
- 8. Comments from Commissioners**
- 9. Comments from Subcommittees**
- 10. Comments from Staff**

ADJOURNMENT

- 11. Adjourn to the Regular Cultural Heritage Commission meeting scheduled for October 17, 2024 at 6:30 PM.**

PUBLIC ACCESS TO AGENDA DOCUMENTS AND BROADCASTING OF MEETINGS

Cultural Heritage Commission meeting agenda packets are available online at the City website: <https://www.southpasadenaca.gov/government/boards-commissions/cultural-heritage-commission/cultural-heritage-commission-agendas>

ACCOMMODATIONS



The City of South Pasadena wishes to make all of its public meetings accessible to the public. If special assistance is needed to participate in this meeting, please contact the City Clerk's Division at (626) 403-7230. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities. Notification at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting (28 CFR 35.102-35.104 ADA Title II).

I declare under penalty of perjury that I posted this notice of agenda on the bulletin board in the courtyard of City Hall at 1414 Mission Street, South Pasadena, CA 91030, and on the City's website as required by law.

Michael Donovan

9/12/2024

Date

Michael Donovan, Associate Planner



**CITY OF SOUTH PASADENA
CULTURAL HERITAGE COMMISSION**

MINUTES
THURSDAY, JULY 18, 2024, AT 6:30 P.M.

CALL TO ORDER:

The Regular Meeting of the South Pasadena Cultural Heritage Commission was called to order by Chair Lopez on Thursday, July 18, 2024, at 6:30 p.m. The meeting was conducted in person from the Council Chambers located at 1424 Mission Street, South Pasadena, California.

ROLL CALL

PRESENT

Chair	Conrado Lopez
Commissioner	William Cross
Commissioner	Jeremy Ding
Commissioner	Scott Severson

COUNCIL LIAISON

Mayor Pro Tem	Jack Donovan
---------------	--------------

ABSENT

Vice-Chair	Kristin Morrish
------------	-----------------

CITY STAFF PRESENT:

Matt Chang, Planning Manager; Dean Flores, Senior Planner; Tatianna Marin, Acting Assistant Planner; Lillian Estrada, Administrative Secretary.

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with business.

There were no changes requested and the Agenda was approved as submitted.

DISCLOSURE OF SITE VISITS AND EX-PARTE CONTACTS

Disclosure by the Commission of site visits and ex-parte contact for agenda items.

Commissioner Ding stated he drove by the sites. Chair Lopez stated he was the designer of item number 8 and would recuse himself from that item.

PUBLIC COMMENT**1. Public Comment – General (Non-Agenda Items)**

None.

CONSENT CALENDAR ITEMS**2. Minutes from the Regular Meeting of April 18, 2024****3. Minutes from the Regular Meeting of May 16, 2024**

Chair Lopez called for a motion to approve the minutes.

Commission Motion and Action:

MOVED BY CHAIR LOPEZ AND SECONDED BY COMMISSIONER DING to approve the minutes as submitted.

AYES: Lopez, Cross, Ding, Severson

NOES:

ABSENT: Morrish

ABSTAINED:

Motion Carried: 4-0

PUBLIC HEARING

- 4. 1635 Lyndon Street, Project No. 2578-COA/DRX** A request for Certificate of Appropriateness (COA) to demolish an existing single-family dwelling located at 1635 Lyndon Street (APN: 5320-003-013). In accordance with the California Environmental Quality Act (CEQA), the subject property does not qualify for consideration as a historical resource (Section 15064.5 (a) of the CEQA Guidelines). The project qualifies for a Categorical Exemption under Section 15303, Class 3 (New Construction or Conversion of Small Structures).

Recommendation

To continue this item to a future Cultural Heritage Commission meeting date to be determined.

Staff Presentation:

Planning Manager Chang stated that staff was recommending this item be continued to a future meeting date to be determined.

Public Comments:

Heath Cozens, resident at 1635 Lyndon Street, stated that he believed the house was historic and did not want it replaced with an apartment building.

Andrew Picken, resident at 1631 Lyndon Street, concurred with his neighbor that the home was historic and was needed to maintain the character of our city.

Anna Victoria Pumphrey, resident at 1636 Lyndon Street, stated that her family has lived across the street from the historical house in question and that it has character and beautiful old trees.

Sanders Stanton, resident, agreed with the others that South Pasadena was coveted because of the historic, beautiful houses, not because of apartment buildings.

Aimee Kreston, resident next to the home in question, stated that she moved to South Pasadena for its historical similarities to her home growing up in Wisconsin and she wanted it to remain that way.

Josh Albrektson, resident, stated that the house in question was not in a good shape and that the City may end up in litigation if they try to stop the project from moving forward.

Commission Motion and Action:

MOVED BY CHAIR LOPEZ AND SECONDED BY COMMISSIONER DING, to continue the project to a future Cultural Heritage Commission meeting to be determined.

AYES: Lopez, Cross, Ding, Severson

NOES:

ABSENT: Morrish

ABSTAINED:

Motion Carried: 4-0

- 5. 156 Peterson Avenue, Project No. 2568-NID/HDP/DRX** - A request for a Notice of Intent to Demolish (NID) an existing two-story single-family dwelling at 156 Peterson Avenue (APN: 5308-031-056). Projects that include the demolition of buildings that are over 45 years of age are required to be evaluated to determine if the property is eligible for historic designation. In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15061(b)(3) – Common Sense Exemption and Class 3, Section 15303 – New Construction or Conversion of Small Structures.

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15061(b)(3) and 15303. Making a determination that the structure at 156 Peterson Avenue does

not meet the national, state, or local criteria for historic designation and the proposed project may proceed through the City's development application process.

Staff Presentation:

Senior Planner Flores presented the staff report.

Questions for Staff:

None.

Applicant Presentation:

Applicant was present via Zoom but did not have a presentation.

Public Comment:

None.

Commissioner Discussion:

Chair Lopez stated he felt it was a straightforward project.

Commission Motion and Action:

MOVED BY COMMISSIONER CROSS, SECONDED BY CHAIR LOPEZ, to approve the project as submitted. Mandatory findings and project specific findings can be made.

AYES: Lopez, Cross, Ding, Severson

NOES:

ABSENT: Morrish

ABSTAINED:

Motion Carried: 4-0

6. **425 Prospect Circle, Project No. COA24-0004** – A request for a Certificate of Appropriateness (COA) for a 554 square-foot first floor addition and a 234 square-foot second story addition to an existing two-story single-family dwelling at 425 Prospect Circle (APN: 5317-034-010). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to conditions of approval.

Staff Presentation:

Acting Assistant Planner Marin presented the staff report.

Questions for Staff:

Commissioner Severson asked why the requirements were not met with the east and rear setbacks.

Assistant Planner Marin stated that they were allowed to have the east setback since it is not encroaching further into the existing non-conforming setback. She added that the rear setback is conforming.

Commissioner Ding asked why the applicant did not show differentiation in the addition and asked if staff had requested it.

Assistant Planner Marin stated that staff did request differentiation and that the applicant is available to explain why they chose a similar addition.

Applicant Presentation:

Architect Xavier Beltran explained that a previous addition in 1990 did not provide differentiation and the proposed addition today was attached to the previous addition, not to the main house. He added that they would like to change all of the stucco to a light sand finish. He stated the roofing was changed in 2020 and they would like to have a consistent roof. He added that there would be differentiation of the windows since new steel window styles are different than old.

Public Comment:

None.

Commissioner Discussion:

Commissioner Severson stated he appreciated the care put into this project.

Commissioner Cross stated that he found the proposal acceptable.

Chair Lopez said he agreed with the others. He then asked the commissioners how they felt about changing the stucco texture of house. He suggested the applicant could make subtle changes in differentiation.

Commissioner Cross said he trusted that the architect would make good decisions about the stucco.

Commissioner Severson suggested adding more differentiation other than in the mass and asked the architect for clarification on the stucco finishes of the past and the current request.

Mr. Beltran stated the original and 1990s addition had skip trowel finish and that he felt the new stucco would have more historic value than the old finish.

Chair Lopez stated he was comfortable with the light sand finish.

Commission Motion and Action:

MOVED BY CHAIR LOPEZ, SECONDED BY COMMISSIONER CROSS, to approve the project as submitted with an additional condition of approval to address the differentiation. Mandatory findings and project specific findings can be made.

AYES: Lopez, Cross, Ding, Severson

NOES:

ABSENT: Morrish

ABSTAINED:

Motion Carried: 4-0

7. **846 Garfield Avenue, Project No. COA24-0007** – A request for a Certificate of Appropriateness (COA) for a 514 square-foot single-story addition and attached 110 square-foot pergola to a single-family dwelling at 846 Garfield Avenue (APN: 5324-024-032). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to conditions of approval.

Staff Presentation:

Senior Planner Flores presented the staff report.

Questions for Staff:

Chair Lopez asked Senior Planner Flores if the volume in back was part of an addition or the original house.

Senior Planner Flores stated that according to building records there is no evidence of a prior addition to the property.

Applicant's Presentation:

Project applicant Odom Stamps introduced himself and stated that clients Matthew Brady and Nicole Ball were present and available for any questions. He added that the back appears to have had a prior addition but City records are scant and there is no documentation.

Questions for Applicant:

None.

Public Comments

None.

Commissioner Discussion

Commissioner Cross expressed support for the project.

Chair Lopez agreed with Commissioner Cross and added that he did not see a problem with the addition.

Commission Motion and Action

MOVED BY COMMISSIONER SEVERSON, SECONDED BY CHAIR LOPEZ, to approve the project as submitted. Mandatory findings and project specific findings can be made.

AYES: Lopez, Cross, Ding, Severson

NOES:

ABSENT: Morrish

ABSTAINED:

Motion Carried: 4-0

8. **1705 Fletcher Avenue, Project No. COA24-0006** – A request for a Certificate of Appropriateness (COA) for a 63 square-foot first floor addition and a 277 square-foot second story addition to the rear of an existing two-story single-family dwelling at 1705 Fletcher avenue (APN: 5320-030-023). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Recommendation:

Finding the project exempt from CEQA pursuant to Sections 15301 and 15331. Approve the Certificate of Appropriateness, subject to the conditions of approval.

Chair Lopez recused himself from this item since he was the architect of the project.

Commissioner Ding was serving as an Acting Chair.

Staff Presentation:

Acting Assistant Planner Marin presented the staff report.

Questions for Staff:

None.

Applicant Presentation:

Project architect Conrado Lopez stated his clients love their house and wanted the addition to be seamless architecturally but also have some differentiation.

Public Comment:

None.

Commission Discussion:

Commissioner Severson stated he thought it was a thoughtful addition.

Commission Motion and Action:

MOVED BY ACTING CHAIR DING, SECONDED BY COMMISSIONER CROSS, to approve the project as submitted with the mandatory findings and the project specific findings. The project would be exempt from CEQA and the project would be subject to conditions of approval.

AYES: Cross, Ding, Severson

NOES:

ABSENT: Morrish

ABSTAINED:

Motion Carried: 3-0

Chair Lopez rejoined the meeting.

ADMINISTRATION**9. Comments from City Council Liaison**

City Council Liaison Donovan reported that at the prior evening's City Council meeting, there was a full house and the main issue was raising the building height limit in the City.

10. Comments from Commissioners

None.

11. Comments from Subcommittees

None.

12. Comments from Staff

Planning Manager Chang stated that staff would continue to work with CHC Commissioners who are on subcommittees related to Mills Act applicants and a property at 1716 Wayne Avenue. He added that at last night's City Council Meeting, the City Council gave Community Development Staff the green light to initiate the Zoning Code Amendment to streamline processes and that staff will engage with the three commissions to get their feedback.

ADJOURNMENT

13. Adjourn to the regular Cultural Heritage Commission meeting scheduled for August 15, 2024, at 6:30 p.m.

There being no further matters, Chair Lopez adjourned the Cultural Heritage Commission meeting at 8:05 p.m.

APPROVED,

Conrado Lopez, Chair
Cultural Heritage Commission

Date



Cultural Heritage Commission Agenda Report

ITEM NO. 3

DATE: September 19, 2024

FROM: Angelica Frausto-Lupo, Community Development Director
Robert (Dean) Flores, Senior Planner

PREPARED BY: Tatianna Marin, Acting Assistant Planner

SUBJECT: **Project No. COA24-0010 - A request for a Certificate of Appropriateness (COA) for a 620 square-foot first floor addition and a 738 square-foot second floor addition to an existing 2,430 sq. ft. two-story single-family dwelling at 1725 Bank Street (APN: 5320-005-018). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Staff recommends that the Cultural Heritage Commission approve Project No. COA24-0010, subject to the Conditions of Approval (**Attachment 1**).

BACKGROUND

Cultural Heritage Commission Meeting on August 15, 2024

The project was presented to the Cultural Heritage Commission as a two-story addition to an existing two-story, single-family residence. A copy of the staff report is provided as **Attachment 4**. At the meeting, the Cultural Heritage Commission determined the first and second floor addition was not in compliance with the Secretary of Interior (SOI) Standards due to the following:

1. More differentiation to highlight the new addition from the original building.
2. Redesign of the front façade to maintain the historic character of the Craftsman style home. Specifically, redesign of the proposed bay window, the first-floor addition bump-out and the extended roof line below the proposed bay window.

The Cultural Heritage Commission recommended the applicant redesign the front (north) elevation of the proposed project to meet the Secretary of Interior Standards and return to the Cultural Heritage Commission. Chair Lopez made the motion to continue the project with recommendations to rework the front (north) elevation and to provide more differentiation to highlight the new addition from the original building. The motion was seconded by Commissioner Ding. Motion was approved, 4-0.

Changes to Architectural Plans: Front (North) Elevations

Taking the comments into consideration, the applicant made modifications to the architectural plans. **Figure 1** below depicts the existing residence; **Figures 2** and **3** are a comparison of the proposed project as presented at the August 15, 2024 meeting and the newly revised plans. The full set of architectural plans are included as **Attachment 2**. The proposed redesign includes maintaining the proposed extended roof line and bay window while reducing the number of windows by proposing only one window to reduce the symmetrical essence to match the existing. In addition to reduce the symmetry of the front façade alterations, the first-floor addition to the front is proposed to now have a water table with cedar lap siding. Additionally, the redesign includes providing differentiation through a custom cedar shingle spacing and custom cedar brackets.

Figure 1: Existing Front (North) Elevation



Figure 2: Proposed Front (North) Elevation – August 15, 2024 CHC Meeting



Figure 3: Proposed Front (North) Elevation – Revised



PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct a 620 square foot first floor addition and a 738 square foot second floor addition to the rear. The first-floor addition will remove the existing mudroom and bathroom to create a new hallway that leads into a new bedroom, bathroom and closet. It will also include a new covered porch to include an inground pool and an addition to the front to expand the existing living room. The second-floor addition will remove the existing rooftop balcony and create space for a new main bedroom, bathroom, hallway, laundry room and closet space. When complete, the home will total 4,255 square-feet of floor area with five bedrooms. **(Attachment 2 – Revised Project Plans)**

PROJECT ANALYSIS

General Plan Consistency

Table 1: (RS) Residential Low Density Development Standards Compliance

Standard	Requirement	Existing	Proposed
Lot Coverage	40% (5,924 SF max. allowed)	16% 2,386 SF	25.6% 3,785 SF
Floor Area Ratio (FAR)	35% (5,183 SF max. allowed)	18% 2,711 SF	28.7% 4,255 SF

Standard	Requirement	Existing	Proposed
Building Height	35 ft.	26 ft. 8 in.	Unchanged
Off-Street Parking	2-Car (Covered)	2-car garage	Remodeled to a 3-car garage.
Front Setback (South)	25 ft minimum	40 ft.	Unchanged
Side Setback (East)	10% of lot width (10 ft.)	40 ft. 9 in.	14 ft.
Side Setback (West)	10% of lot width (10 ft.)	19 ft.	Unchanged
Rear Setback (North)	25 ft minimum	63 ft. 2 in.	43 ft. 2 in.

Certificate of Appropriateness (COA)

The scope of work consists of a first floor and second floor rear addition. The proposed addition requires a Certificate of Appropriateness with review and approval from the Cultural Heritage Commission as the addition is larger than the 200 square-foot threshold for CHC review as stipulated in Section 2.65 of the SPMC. The subject property has been identified as a contributor to a historic district in the South Pasadena Inventory of Historic Resources. As such, an addition should be visually subordinate, or secondary, to the original structure.

Project Design Elements

The additions are proposed at the front and the rear of the home. The rear portion of the first and second story addition will project from the east side of the home by approximately 26 feet. At the north front elevation, there are proposed changes that will maintain the existing characteristics of the Craftsman style. Since the August 15, 2024 CHC meeting, the proposed redesign includes maintaining the proposed extended roof line and bay window while reducing the number of windows by proposing only one window to reduce the symmetrical essence to match the existing. In addition to reduce the symmetry of the front façade alterations, the first-floor addition to the front is proposed to now have a water table with cedar lap siding. Additionally, the redesign includes providing differentiation through a custom cedar shingle spacing and custom cedar brackets. The new addition will incorporate materials to match the existing style such as cedar shingle and lap siding and composition shingle roofing material. The proposed addition will mimic the existing roof style of an asymmetrical massing and low-pitched gabled roof. The proposed windows and doors schedule calls out wood material

for the new doors and windows, to be consistent with the existing window and door material and styles found in Craftsman style homes. In addition, the single-family home will remain compatible with the single-family residential tract, as the existing design style of the home will not be modified.

City of South Pasadena Design Guidelines for Historic Properties

As codified in the SPMC section 2.65, the City of South Pasadena Design Guidelines for Alteration and Additions to Historic Residences are to be assessed in the issuance of a Certificate of Appropriateness (COA). As stated on Page 9 of the Design Guidelines for historic resources, the guidelines are based on the Secretary of the Interior's Standards for Treatment of Historic Properties, which intend to foster the preservation and rehabilitation of the character defining features. The standard procedure for historic buildings is to identify, retain, and preserve the form and detailing of the architectural materials and features that are important in defining the historic character of the structure. Additions or alterations are encouraged to be compatible with these historic features. The Design Guidelines includes a section focused on Craftsman and Bungalow styles (pages 10-11). The Craftsman style architecture is unifying featured style in the neighborhood.

The materials, finishes, detailing, and size/mass of the addition, with the proposed work, are all compatible with the existing style of the home. The property will retain the original architectural style after the proposed addition.

Findings

Required Certificate of Appropriateness Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the SPMC.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The proposed project is consistent with the General Plan for preservation, rehabilitation, and use of historic resources in the City. The area where the addition is proposed is partly visible from the street with minimal impact to the existing roof form. The proposed addition has been designed to be subordinate, contemporary, and to be treated as new additions without applying new interpretations to the original design. The property will continue to be used as a single-family residence, in addition to retaining the original Craftsman style influenced design. Existing and original features are also maintained, therefore

preserving the historic character, scale, and “small-town atmosphere” as to the surrounding land uses. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

2. The project is consistent with the goals and policies of this article.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the historic home consistent in a manner that is generally consistent with the *Secretary of Interior’s Standards*.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.

The project, including the residence’s addition, is consistent with the *City of South Pasadena’s Historic Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. “Roofs are the most significant features that define the massing and proportions of historic residences in South Pasadena. Roof forms, pitch, overhangs at eaves, and roofing materials vary widely by architectural style...The original roof form should be preserved. Any replacement of deteriorated features or addition of small features should be done in the style of the original building, considering the original roof form and slopes.” (p. 26)
2. “Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and scale in relation to the existing structure.” (p. 36)
3. “New additions should be compatible in mass and scale with the neighborhood and should be visually subordinate to the original building.” (p.37)

4. "Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent." (p. 39)
5. "Window mullion widths, window trim, and surrounds should be consistent with the existing windows." (p. 42)

The proposed project is consistent with the applicable criteria identified under subsection (e)(8) of section 2.65 Certificate of *appropriateness – Alteration and demolition* of the South Pasadena Municipal Code. In addition to the standards in the Secretary of Interior’s Standards of Rehabilitation.

Consistency with Secretary of the Interior Standards	
Standard	Staff’s Recommended Consistency Determination
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships	Consistent.
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials of alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	Consistent.
Standard 4: Changes to a property that have acquired historic significance will be retained and preserved.	Consistent.
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of Craftsman style that characterize a property will be preserved.	Consistent.
Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	Not applicable.

Consistency with Secretary of the Interior Standards	
Standard	Staff's Recommended Consistency Determination
Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	Not applicable.
Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	Not applicable, no archeological resources are known to exist on the site.
Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	Consistent.
Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	Consistent.

Recommended Project Specific Findings for a Certificate of Appropriateness (2, 5, and 6)

Finding No. 2: The project is appropriate to the size, massing, and design context of the historic neighborhood;

The project is appropriate to the size massing, and design context of the historic residence and the surrounding areas as the massing and style of the home will remain the same. The building materials, finishes, and detailing are compatible to the existing historical architectural design of the subject residence. Additionally, the neighborhood is comprised of Craftsman style architecture. The proposed addition has been designed to be subordinate, contemporary, and to be treated as new additions without applying new interpretations to the original design. Therefore, the proposed addition will be harmonious and compatible with the surrounding potentially historic neighborhood.

Finding No. 5: The project adds substantial new living space (for example: a second story toward the rear of a residence) while preserving the single story [architectural style or building type] character of the streetscape;

The proposed project consists of 504 square-foot first floor addition to the rear and 116 square-foot to the front first floor for a total of 620 square feet. Additionally, there will be a 738 square-foot second story addition to the rear. The purpose of the first-floor addition is to demolish the existing mudroom and bathroom to create a new main bedroom. The second-floor addition will create space for a new main bedroom, bathroom and closet space. The proposed addition is consistent with the surrounding residential land uses, which also contain one and two-story, single-family residences and will help further enjoy the existing use of the property. The proposed addition will not modify the architectural style of the front facade, ensuring to preserve the original structure and streetscape in compliance with the design guidelines for historic properties.

Finding No. 8: The project will be compatible with the appearance of existing Improvements on the Site and the new work will be compatible with the massing, size, scale, and Character-Defining Features to protect the Historic Integrity of the property and its environment.

The proposed project consists of a first and second story addition to the rear of the property with a minor portion of the first-floor addition added to the front façade. As proposed, the addition is subordinate to the existing home. The addition will match the existing composition shingle roofing material and the existing wood shingle and lap siding material. In addition, the new first floor and second-floor addition will have new windows that will also match the existing material and style of wood windows. The project as proposed will maintain the character defining features of Craftsman style.

Environmental Analysis

This project qualifies for categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Staff Recommendation

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0010, subject to the Conditions of Approval (Attachment 1).

Alternatives to Consider

The Cultural Heritage Commission has the following options available:

1. The Cultural Heritage Commission can Approve the project as is or with modified condition(s) added or removed and provide findings; or
2. The Cultural Heritage Commission can Continue the project, providing the applicant with clear recommendations to revise the proposal; or
3. The Cultural Heritage Commission can Deny the project if it finds that the project does not meet the City's COA requirements.

Public Noticing

This item was originally noticed for the August 15, 2024 meeting on August 2, 2024 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on August 1, 2024. At the August 15, 2024, the public was made aware that the item was to be continued and thus does not require additional notification. Additionally, the public was made aware that the project is be considered a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Next Steps

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the plan check process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

Attachments

1. Conditions of Approval
2. Revised Project Plans
3. Colored Renderings
4. August 15, 2024 Staff Report

ATTACHMENT 1

Conditions of Approval

Attachment 1
CONDITIONS OF APPROVAL
Certificate of Appropriateness
Project No. COA24-0010
1725 Bank Street (APN: 5320-005-018)

DEVELOPMENT
REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. The following approval is granted as described below and as shown on the development plans submitted to the Cultural Heritage Commission on August 15, 2024:
- Certificate of Appropriateness for:
- a. For a 620 square foot first floor addition and a 738 square foot second story addition to an existing two-story, single-family dwelling at 1725 Bank Street.
- P2. This approval and all rights hereunder shall terminate within 18 months of the effective date of their approval by the Cultural Heritage Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P3. Approval by the Cultural Heritage Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any permitted or unpermitted building/structure on the property involved with the Certificate of Appropriateness.
- P4. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P5. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P6. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena

and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

P7. Any modification to the approved plans shall require review and approval of the Planning Division.

Notes on Construction Plans

The contractor shall be responsible to implement and monitor compliance with the following conditions:

- P8. The construction site and the surrounding area, including sidewalks, parkways, gutters, and streets, shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes at all times. Such excess may include but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures. Such debris shall be removed immediately from the street to prevent road hazards or public health related issues.
- P9. The hours of all construction activities shall be limited to the following: 8:00 am to 7:00 pm, Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P10. When applicable, during construction, the demolition, clearing, grading, earth moving, or excavation operations that cause excessive fugitive dust emissions shall be controlled by regular water or other dust preventive measures using the following procedures:
- a. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferable in the late morning and after work is done for the day;
 - b. All material transported on-site or off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust;
 - c. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust; and
 - d. Visible dust beyond the property line emanating from the project shall be prevented to the maximum extent feasible.
- P11. All on-site landscaping, including the front yard and parkway areas, which are damaged during construction shall be revitalized upon completion of construction, as necessary, prior to final building permits. All landscaping, including the parkway, shall be maintained in a healthy, green, pruned, growing condition.

BUILDING DIVISION:

- B1. The second sheet of building plans shall list all conditions of approval and to include a copy of the Letter of Determination from Planning. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the current building code in effect shall be submitted to Building Division for review prior permit issuance.
- B3. School Developmental Fees shall be paid to School District prior to the issuance of the building permit.
- B4. Park Impact Fee to be paid at the time of permit issuance.
- B5. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B6. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
- B7. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B8. Each sheet of the plans shall be stamped and signed by a California licensed architect or engineer per R301.1.3.2 as adopted and amended by the City, for all dwellings of wood frame construction more than one story in height or with a basement located in Seismic Design Category D0, D1, or D2 or E.
- B9. A drainage plan shall be approved prior to issuance of the building permit. The drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B10. Foundation inspection will not be made until setback of the addition has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B11. Project shall comply with the CalGreen Residential mandatory requirements.
- B12. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B13. Separate permit is required for Fire Sprinklers.

PUBLIC WORKS DEPARTMENT:

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting for the project to be redesigned/resubmitted.

- PW2. The applicant shall pay all applicable City fees including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule, which can be found on the City's website. This includes all costs incurred by the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. The applicant shall identify all on-site existing easements. Any conflict with and/or presence of existing easements must be addressed. The applicant shall provide a Title Report, with effective date within the last 60 days, to verify the presence of easements.
- PW4. The applicant shall provide accurate project and property information, including but not limited to, Assessor Parcel Number, Tract Number, Lot Number, etc.
- PW5. Bank Street shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the project approval and immediately upon completion of the project.
- PW6. The applicant shall verify whether a new separate sewer/water connection will be required or if will be connecting to existing line. The applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. A copy of the sewer inspection video must be submitted to the Public Works Department prior to the issuance of permits.
- PW7. The applicant shall contact the City of South Pasadena Water Operations Manager, Victor Magana, VMagana@SouthPasadenaCA.gov for the fire flow test. The applicant shall submit water demand calculations to the City for potable water and fire (if applicable). The calculations will be used to verify the adequacy of the existing water meter connection for the proposed structure and Fire Department approved fire sprinkler system (if applicable). The applicant shall coordinate with the Water Operations Manager the size, location and the associated fee for the installation of a new water meter connection.
- PW8. The applicant shall provide clearance letters from utility companies for any proposed relocation of utility lines that encroach on the property prior to obtaining permits for the project.
- PW9. The applicant shall show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed

and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.

- PW10. The applicant shall provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.
- PW11. The applicant shall replace all broken, damaged, or out-of-grade sidewalk and driveway approaches and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- i. The applicant shall install new 4" thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
 - ii. The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department.
- PW12. The applicant shall provide a Construction Management Plan to the Public Works Department for review and approval prior to issuance of permits. The Construction Management Plan shall include, but not be limited to, types of proposed construction activities, an on-site staging plan, haul route, construction schedule for major activities (i.e. demolition, grading, material delivery, etc.), and shall indicate a contractor parking location.
- PW13. The applicant shall include the following information on the plans:
- i. The 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
 - ii. The location, grade, and dimensions of all existing conditions and proposed improvements within the public right-of-way, including, but not limited to, curb and gutter, sidewalk, driveway, traffic striping, signage, trees, utilities, meters, pavement and other features.
 - iii. The location of all existing utilities on adjacent street(s), as well as the location and size of all existing or proposed utilities serving the property. Show all utility points of connection (POC).

- iv. Show the location and area of trench sections for any proposed sewer and water line connections within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
- v. A trench restoration detail per City standards for proposed utility connections.
- vi. All utility poles adjacent to the property and note to “PROTECT-IN-PLACE”.

PW14. The applicant shall add the following information on the plans:

- i. The applicant shall bring the existing parkway on Bank Street up to current standards per SPMC Section 31.48.
- ii. The applicant shall replace all broken, damaged, or out-of-grade curb and gutter, sidewalk and driveway approaches, and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
 - i. The applicant shall install new 4” thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
 - ii. The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Community Development Department and the actual limits of concrete removal with the Public Works Department. The applicant shall remove and replace/install new curb and gutter conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 120-3, Type A2-6 and A2-8. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the actual limits of concrete removal with the Public Works Department.
- iii. The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk’s diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree’s DBH (X3) as the minimum critical root mass.
- iv. Any construction activity that may require roadway or lane closures where two-way traffic cannot be accommodated will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all

times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and residents at least 48 hours in advance of the street closure.

- v. No overnight storage of materials or equipment within the public right-of-way shall be permitted.
- vi. Temporary bins (low boy), if used, shall be “roll off” style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
- vii. The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
- viii. The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

FIRE DEPARTMENT:

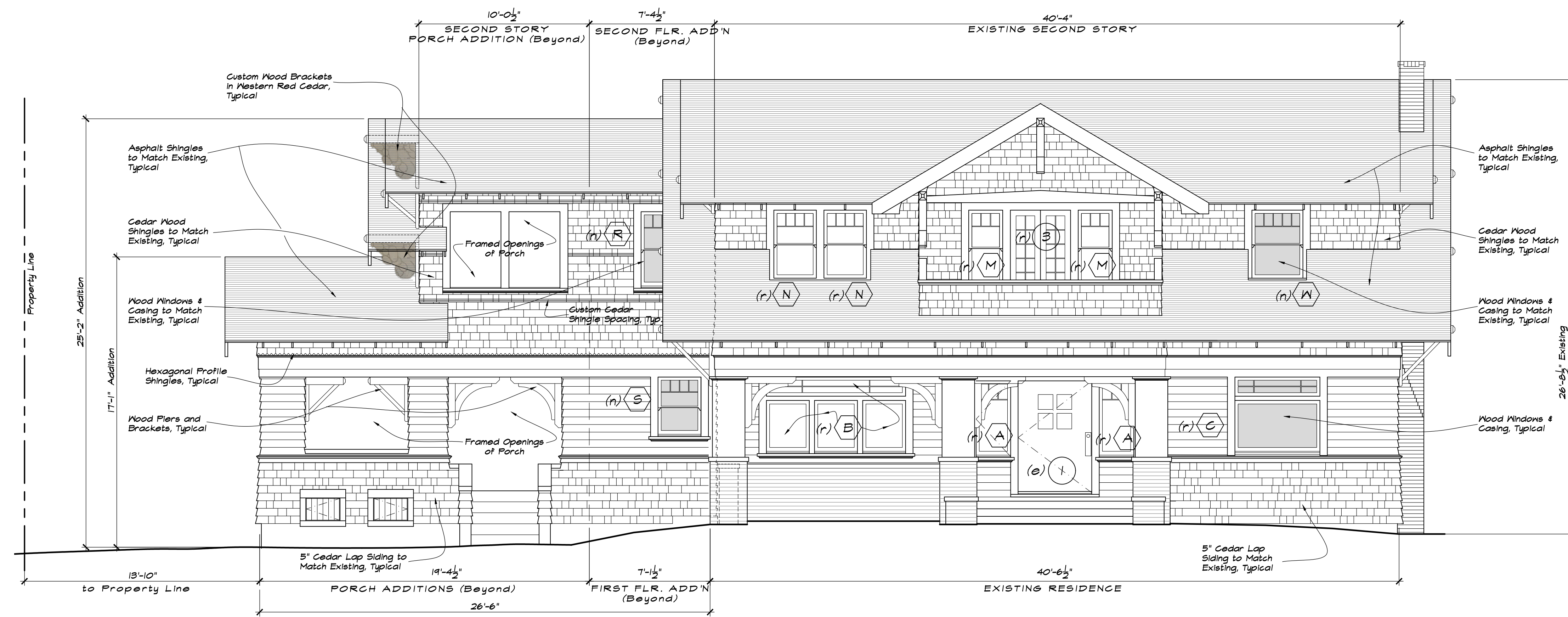
- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); 2022 California Fire Code (CFC); 2022 California Building Code; Title 19 and applicable NFPA fire standards.
- FD2. Fire Sprinklers are required per South Pasadena Municipal Code. Submit plans to the City for approval.
- FD3. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed contractor. Provide a set of drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD4. Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code.
- FD5. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.

- FD6. Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD7. Address Identification. New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Address numbers shall be maintain.
- FD8. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD9. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- 1) On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - 2) In each room used for sleeping purposes.
 - 3) In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- FD10. Interconnection. Where more than one smoke alarm is require to be install within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- FD11. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- 1) At each stairway on all floor levels where combustibles materials have accumulated.
 - 2) In every storage and construction shed.
 - 3) Where special hazards exist included but not limited to, storage and use of combustible and flammable liquids.

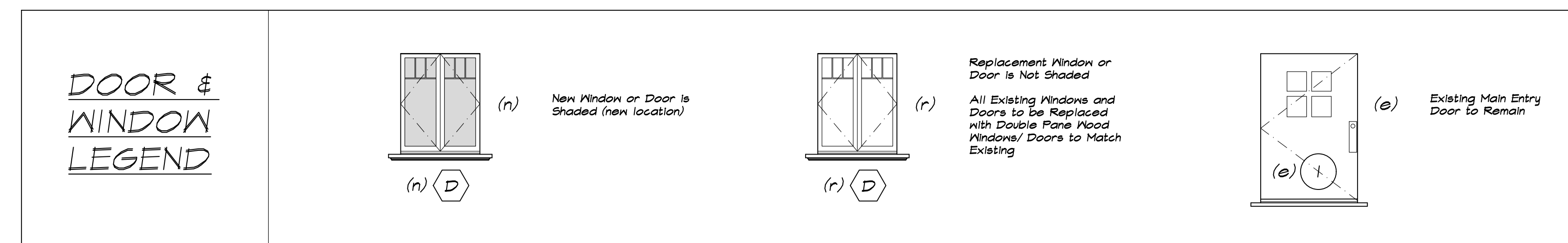
- FD12. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.
- FD13. For water meter related questions, please contact Public Works (626) 403 7240 or the Water Department at (626) 460 6393.
- FD14. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

ATTACHMENT 2

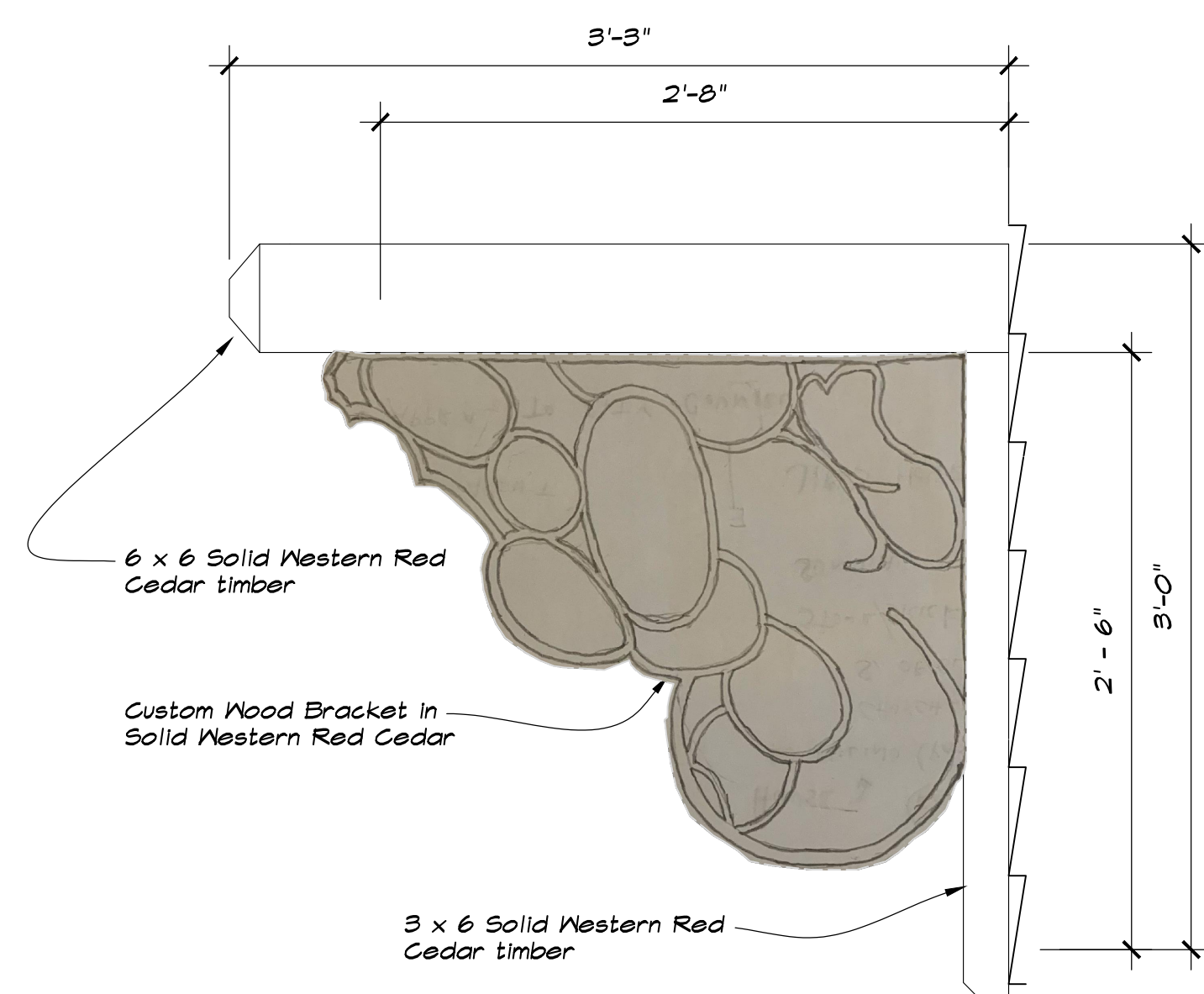
Revised Project Plans



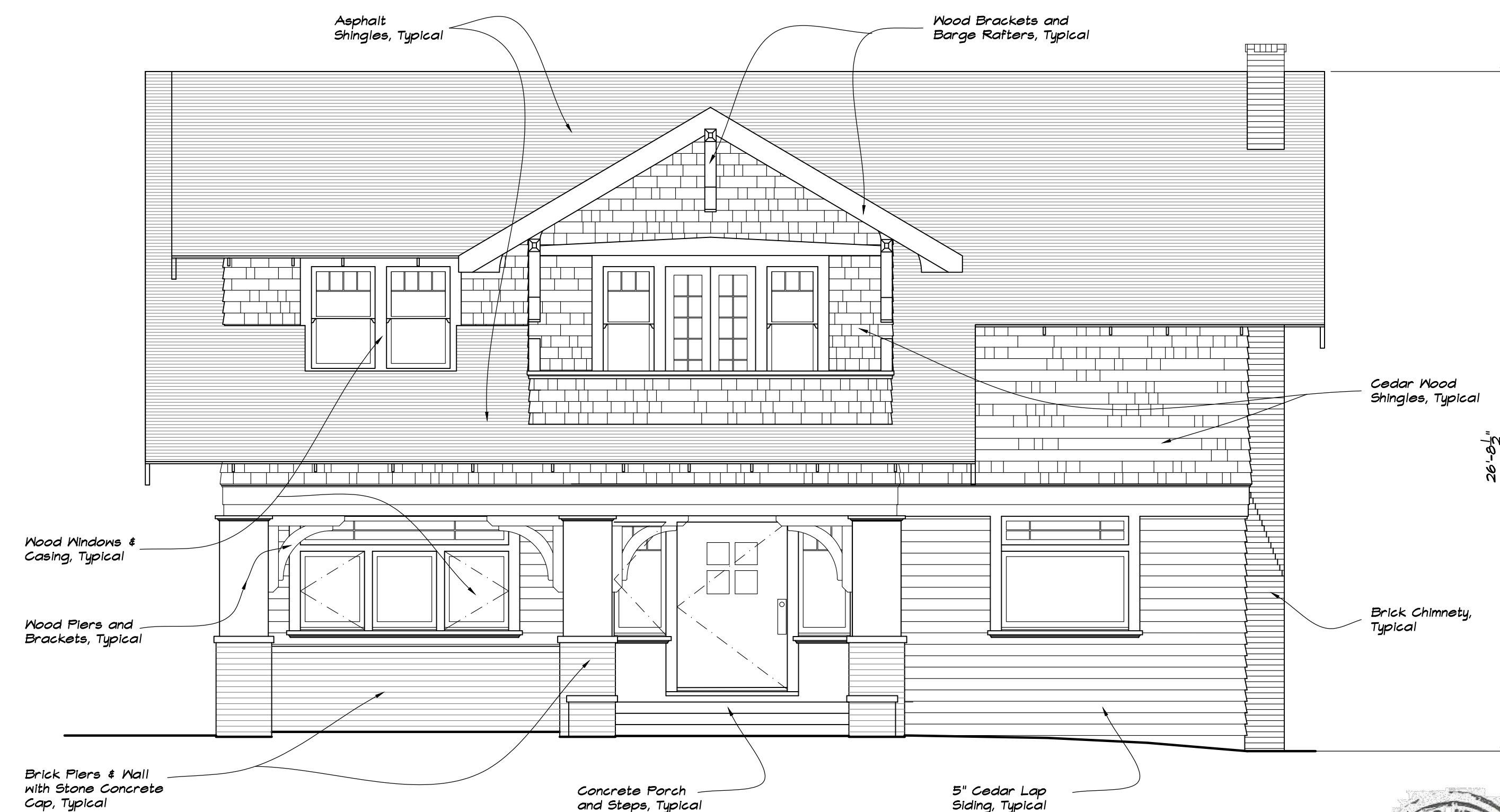
B PROPOSED FRONT ELEVATION (NORTH SIDE)
 1/4" = 1'-0"



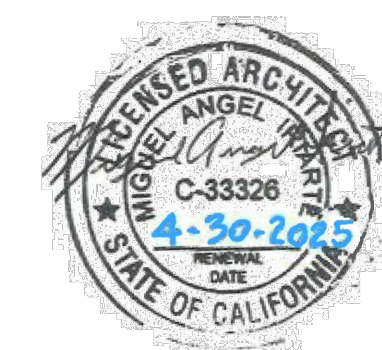
D CUSTOM SPACING OF CEDAR SHINGLES
 Image similar detailing



C CUSTOM BRACKET IN WOOD (EAST & WEST SIDES)
 1/4" = 1'-0" BASED ON THE VIOLIN & MUSICAL MOTIFS



A EXISTING FRONT ELEVATION (NORTH SIDE)
 1/4" = 1'-0"



AHJ STAMP APPROVAL

NORTH ELEVATIONS (FRONT SIDE)

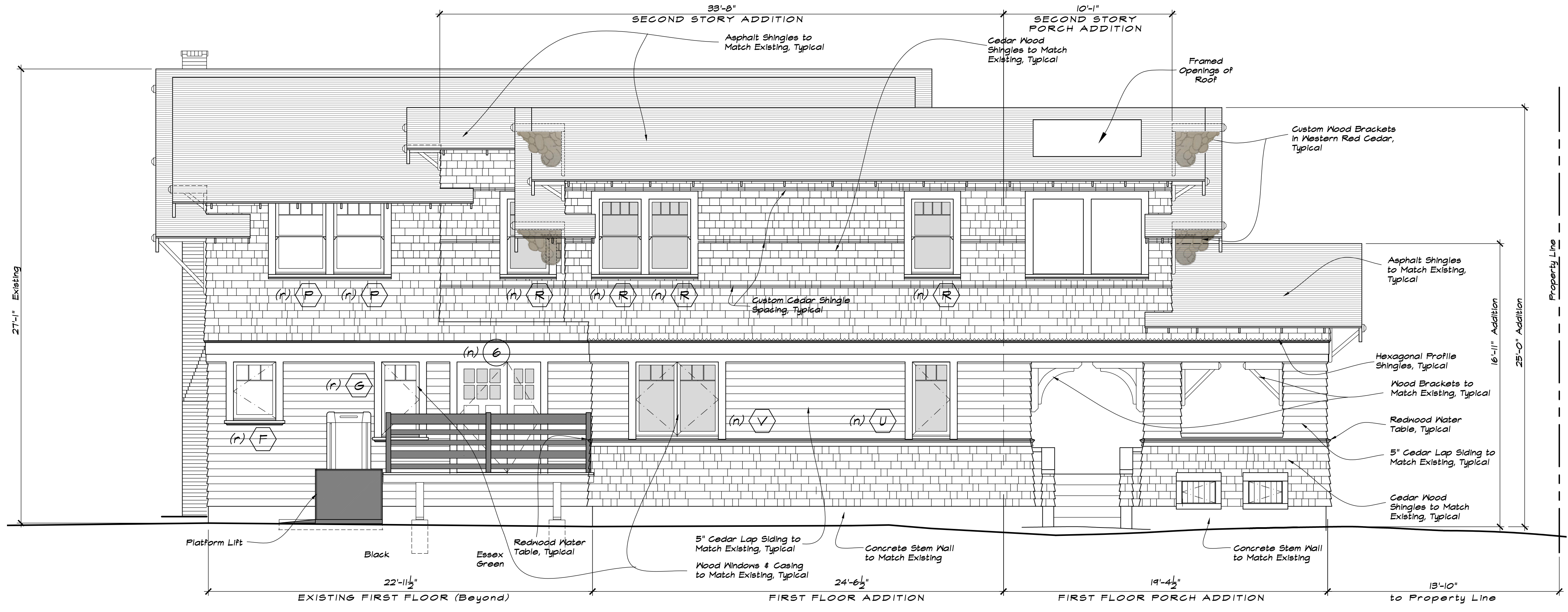
MIGUEL ANGEL IRIARTE, ARCHITECT
 P.O. Box 382, SOUTH PASADENA, CA 91031
 (626) 817-6936 (c) (202) 701-5277 (c) E-MAIL MiguelAngelIriarteArchitect@gmail.com

Remodel and Addition to Residence
 for HENRY C. WONG & ANDREA LEE WANG
 1725 Bank Street
 South Pasadena, CA 91030

SHEET NO.	7
DATE:	10.29.2023
SCALE:	
DRAWN BY:	M. A. I.
CHECKED BY:	M.A.I.
JOB NO.	

DOOR/WINDOW LEGEND

- (n) New Window or Door is Shaded (new location)
- (r) Replacement Window or Door is Not Shaded
- (e) Existing Main Entry Door to Remain



B PROPOSED REAR ELEVATION (SOUTH SIDE)
1/4" = 1'-0"



A EXISTING REAR ELEVATION (SOUTH SIDE)
1/4" = 1'-0"

AHJ STAMP APPROVAL



SOUTH ELEVATIONS (REAR)

REVISIONS	
DATE: 10.23.2023	
SCALE	
DRAWN BY: M. A. I.	
CHECKED BY: M.A.I.	
JOB NO.	

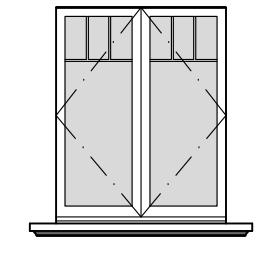
8

Remodel and Addition to Residence
for HENRY C. WONG & ANDREA LEE WANG
1725 Bank Street
South Pasadena, CA 91030

MIGUEL ANGEL IRIARTE, ARCHITECT

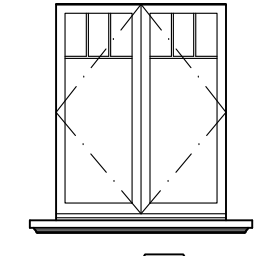
P.O. Box 382, SOUTH PASADENA, CA 91031
(626) 817-6936 (o) (202) 701-5277 (c) E-MAIL MiguelAngeliarteArchitect@gmail.com

DOOR/ WINDOW LEGEND



(n) New Window or Door is Shaded (new location)

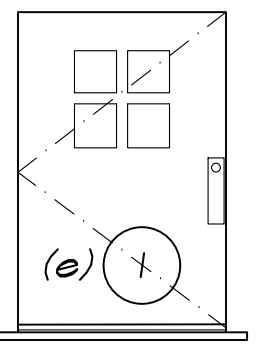
(n) D



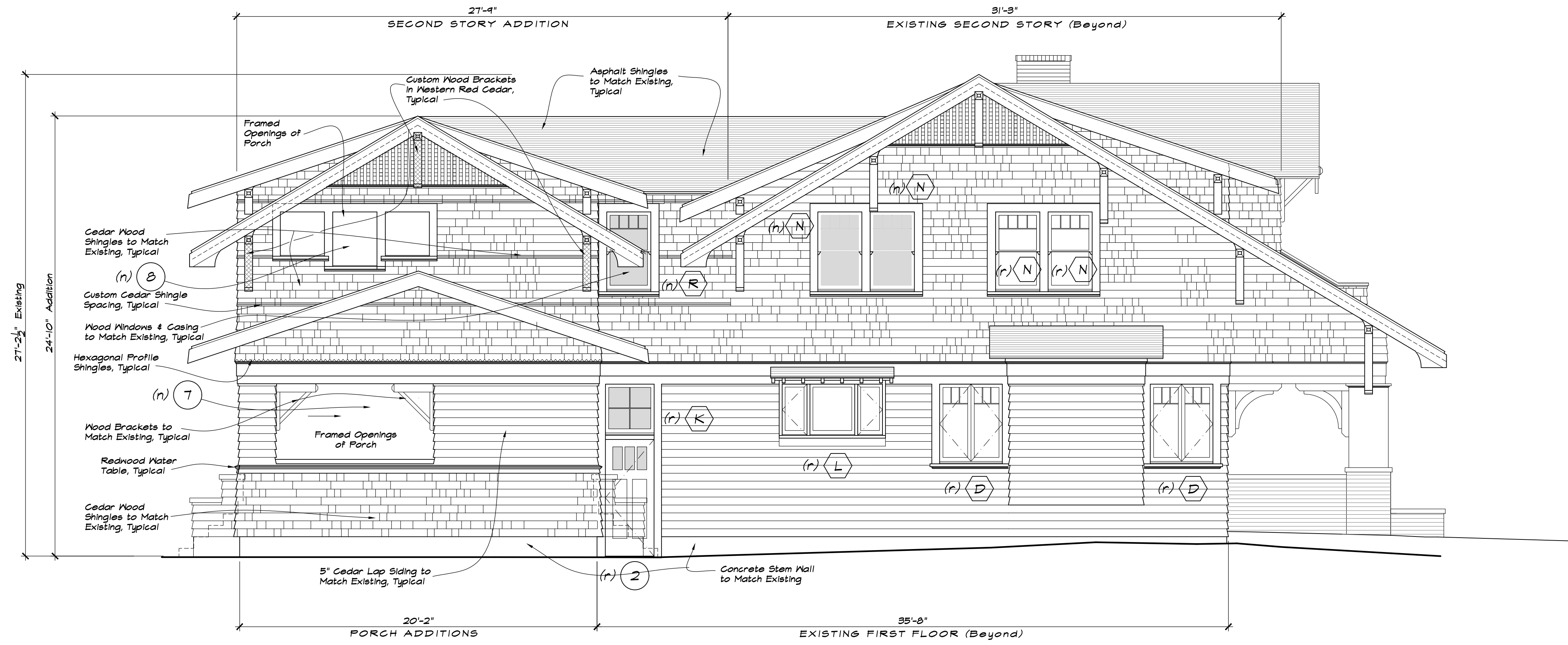
(r) Replacement Window or Door is Not Shaded

All Existing Windows and Doors to be Replaced with Double Pane Wood Windows/ Doors to Match Existing

(r) D



(e) Existing Main Entry Door to Remain



B PROPOSED SIDE ELEVATION (EAST SIDE)
1/4" = 1'-0"



A EXISTING SIDE ELEVATION (EAST SIDE)
1/4" = 1'-0"



EAST ELEVATIONS (SIDE)

REVISIONS	
DATE: 10.23.2023	
SCALE:	
DRAWN BY: M. A. I.	
CHECKED BY: M.A.I.	
JOB NO.	

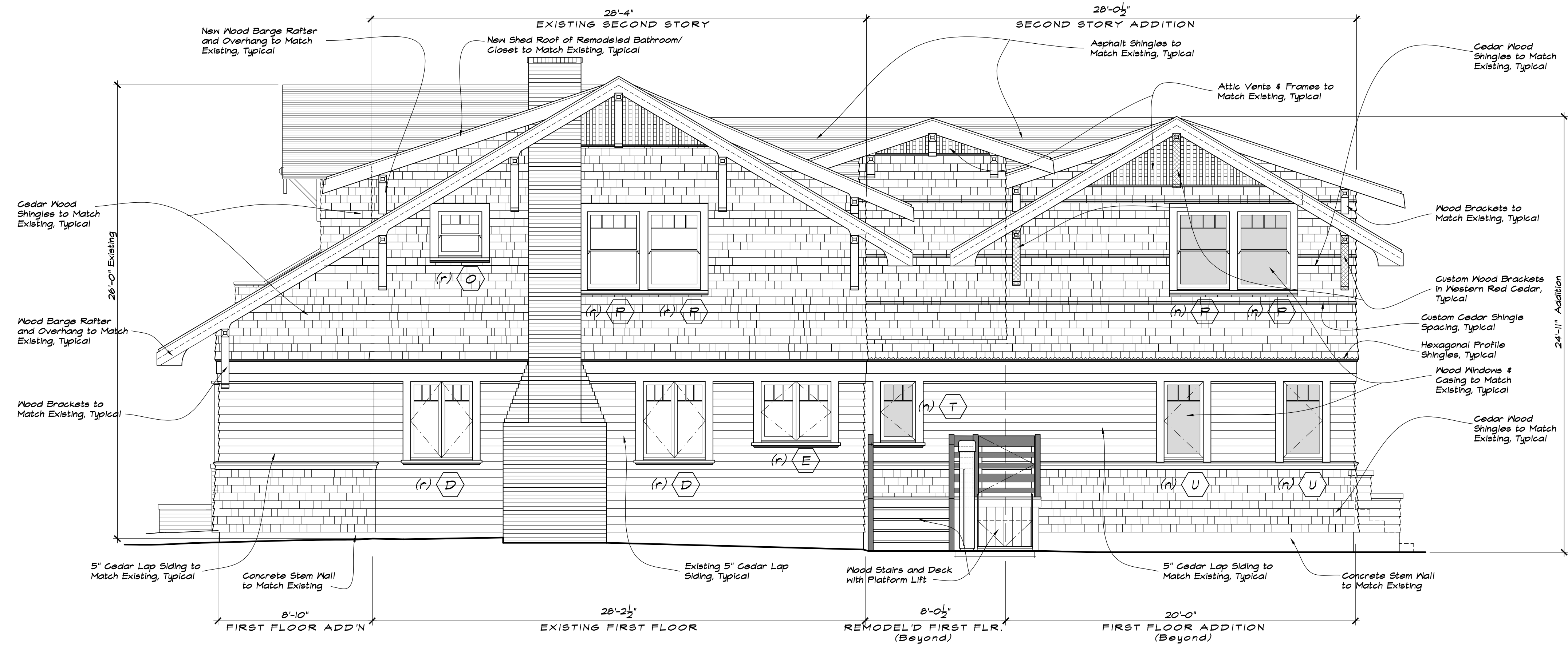
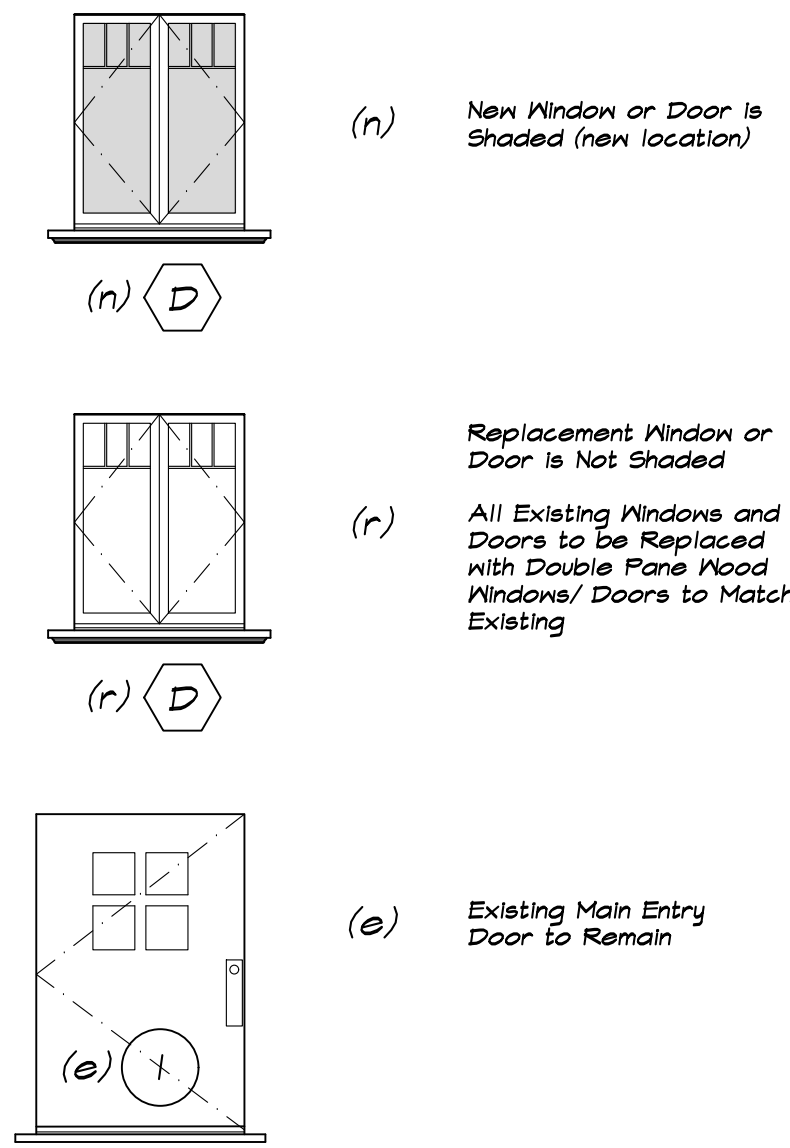
9

MIGUEL ANGEL IRIARTE, ARCHITECT

P.O. Box 382, SOUTH PASADENA, CA 91031
(626) 817-6936 (o) (202) 701-5277 (c) E-MAIL MiguelAngelIriarteArchitect@gmail.com

Remodel and Addition to Residence
for HENRY C. WONG & ANDREA LEE WANG
1725 Bank Street
South Pasadena, CA 91030

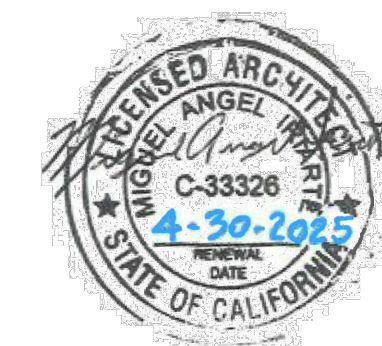
DOOR/WINDOW LEGEND



B PROPOSED SIDE ELEVATION (WEST SIDE)
1/4" = 1'-0"



A EXISTING SIDE ELEVATION (WEST SIDE)
1/4" = 1'-0"



AHJ STAMP APPROVAL

WEST ELEVATIONS

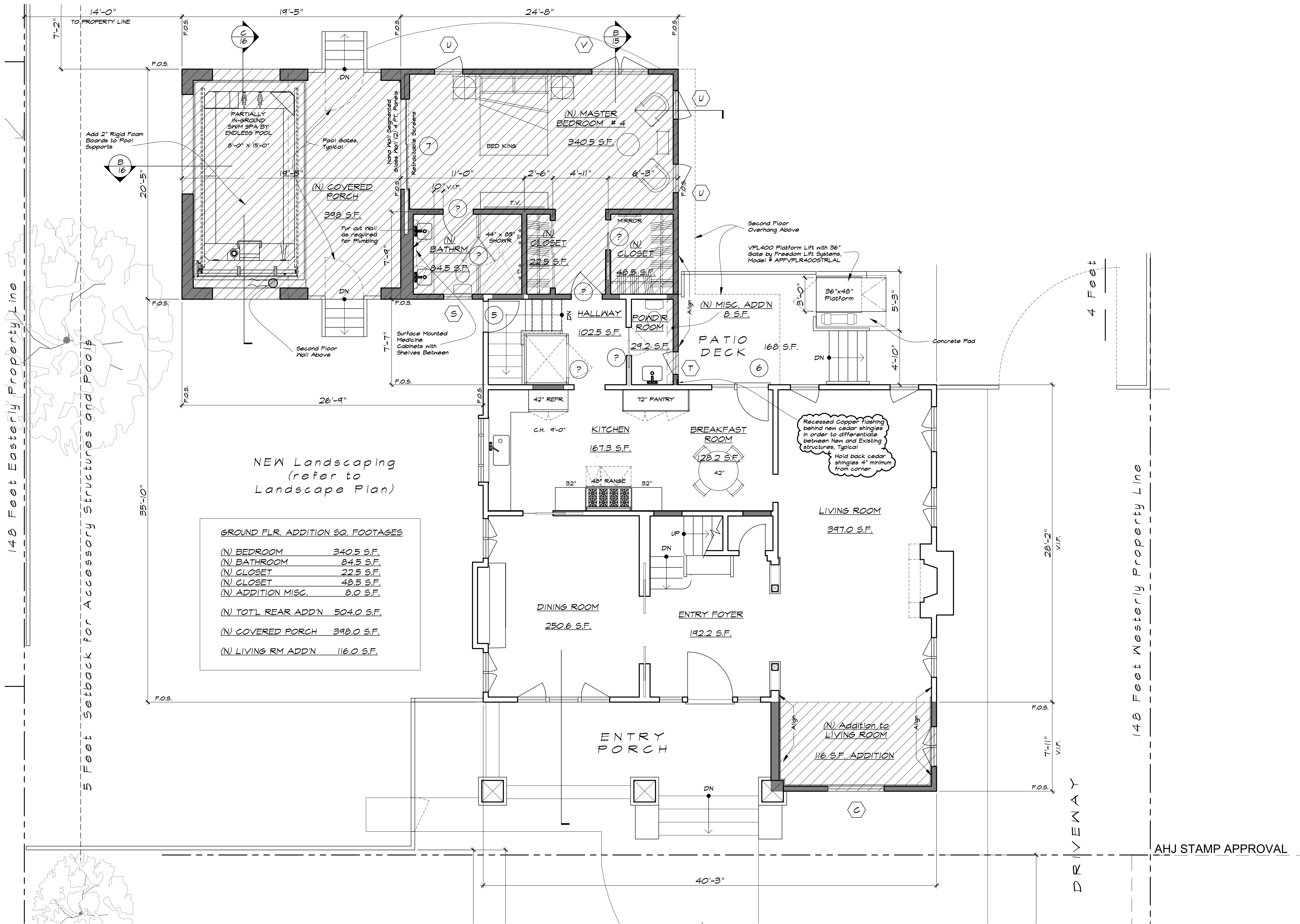
REVISIONS
DATE: 10.23.2023
SCALE: _____
DRAWN BY: M. A. I.
CHECKED BY: M.A.I.
JOB NO. _____

SHEET NO. 10

Remodel and Addition to Residence
for HENRY C. WONG & ANDREA LEE WANG
1725 Bank Street
South Pasadena, CA 91030

MIGUEL ANGEL IRIARTE, ARCHITECT

P.O. Box 382, SOUTH PASADENA, CA 91031
(626) 817-6936 (c) (202) 701-5277 (c) E-MAIL MiguelAngelIriarteArchitect@gmail.com



GROUND FLR. ADDITION SQ. FOOTAGES

(N) BEDROOM	340.5 S.F.
(N) BATHROOM	84.5 S.F.
(N) CLOSET	22.5 S.F.
(N) CLOSET	48.5 S.F.
(N) ADDITION MISC.	8.0 S.F.
(N) TOT'L REAR ADD'N	504.0 S.F.
(N) COVERED PORCH	398.0 S.F.
(N) LIVING RM ADD'N	116.0 S.F.

LEGEND

(N) NEW WALL 2 x 6 STUDS, UNLESS NOTED OTHERWISE

(E) EXISTING WALLS TO REMAIN

A GROUND FLOOR PLANS
 1/4" = 1'-0" Proposed Ground Floor = 1887.33 S.F.



PROPOSED GROUND FLOOR PLAN

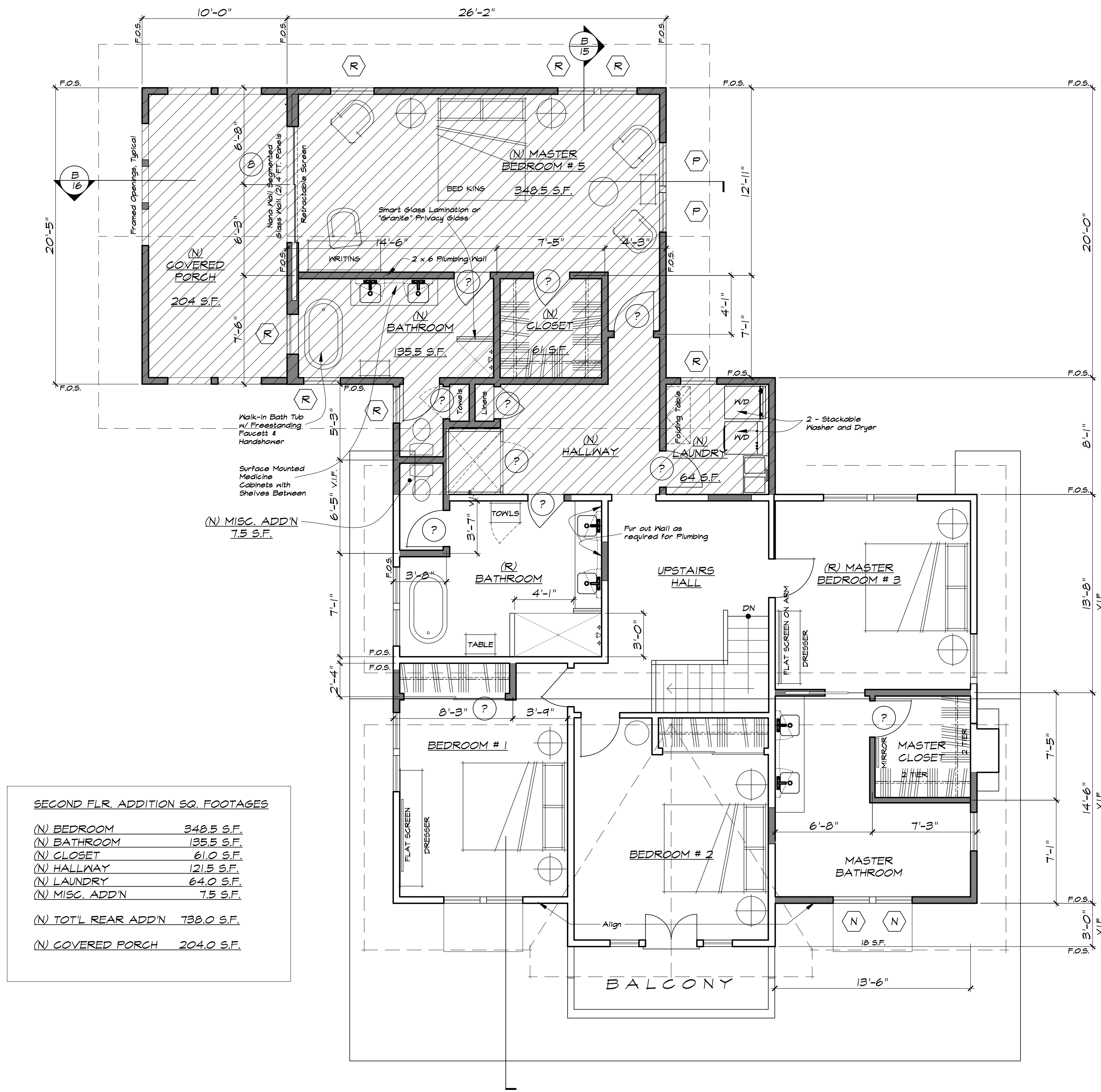
DATE:	10.23.2023
SCALE:	
DRAWN BY:	M. A. I.
CHECKED BY:	M.A.I.
JOB NO.:	

Remodel and Addition to Residence
 for HENRY C. WONG & ANDREA LEE WANG
 1725 Bank Street
 South Pasadena, CA 91030

MIGUEL ANGEL IRIARTE, ARCHITECT

P.O. Box 382, SOUTH PASADENA, CA 91031
 (626) 817-6936 (c) (202) 701-5277 (c) E-MAIL MiguelAngeliarteArchitect@gmail.com

AHJ STAMP APPROVAL



SECOND FLR. ADDITION SQ. FOOTAGES

(N) BEDROOM	348.5 S.F.
(N) BATHROOM	135.5 S.F.
(N) CLOSET	61.0 S.F.
(N) HALLWAY	12.5 S.F.
(N) LAUNDRY	64.0 S.F.
(N) MISC. ADD'N	7.5 S.F.
(N) TOT'L REAR ADD'N	738.0 S.F.
(N) COVERED PORCH	204.0 S.F.

LEGEND

— (N) NEW WALL 2 x 6 STUDS, UNLESS NOTED OTHERWISE

— (E) EXISTING WALLS TO REMAIN

B SECOND FLOOR PLAN
 1/4" = 1'-0" Proposed 2nd Floor = 1916.25 S.F.



AHJ STAMP APPROVAL

PROPOSED SECOND FLOOR PLAN

REVISIONS	

Remodel and Addition to Residence
 for HENRY C. WONG & ANDREA LEE WANG
 1725 Bank Street
 South Pasadena, CA 91030

MIGUEL ANGEL IRIARTE, ARCHITECT
 P.O. Box 382, SOUTH PASADENA, CA 91031
 (626) 817-6936 (c) (202) 701-5277 (c) E-MAIL MiguelAngelIriarteArchitect@gmail.com

Miguel Angel Iriarte, Architect
PO Box 382
South Pasadena, CA 91031
(626) 390-1822

September 3, 2024

Andrea Lee Wang & Henry C. Wong
1401 Marengo Avenue
South Pasadena, CA 91030

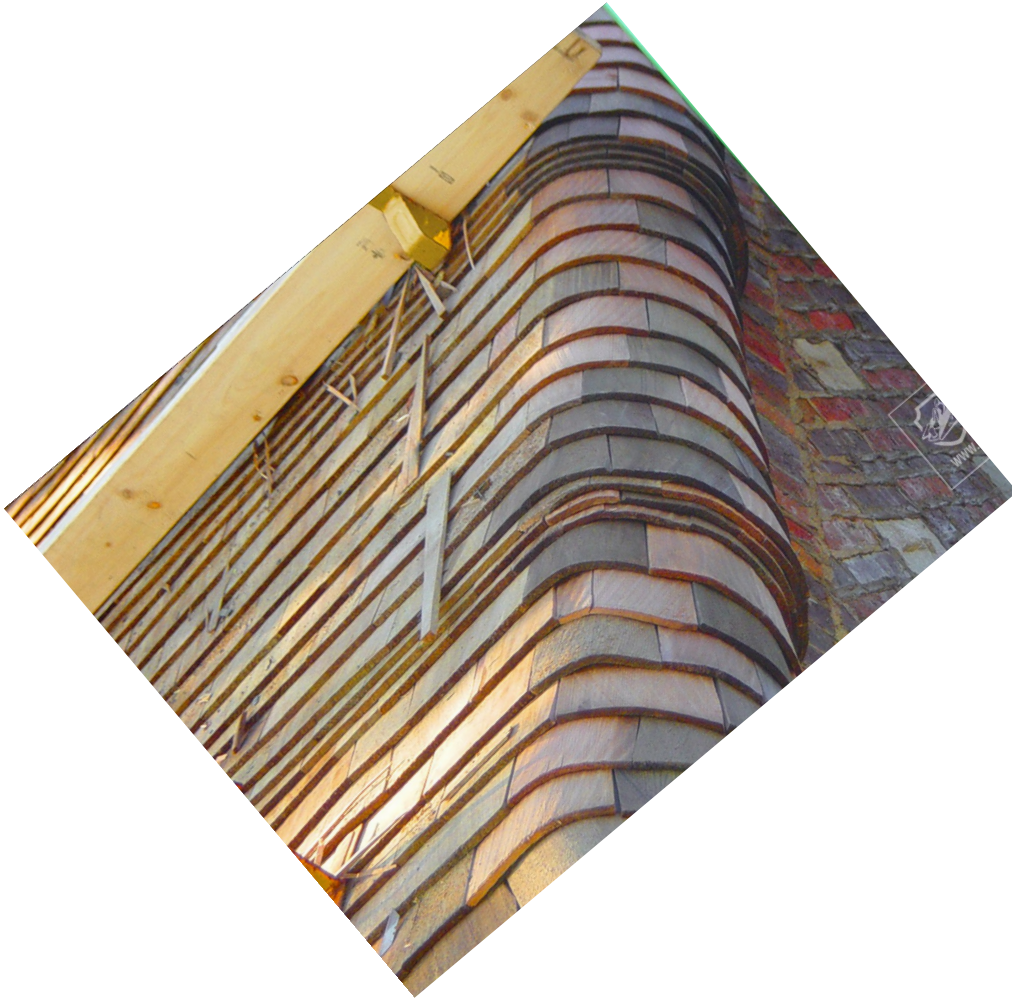
Project: *Remodel and Addition at 1725 Bank Street –
Musical Roof Brackets*



Custom Cedar Shingle Spacing and Musical Brackets



Historical precedents of Custom overlapping Cedar Shingles



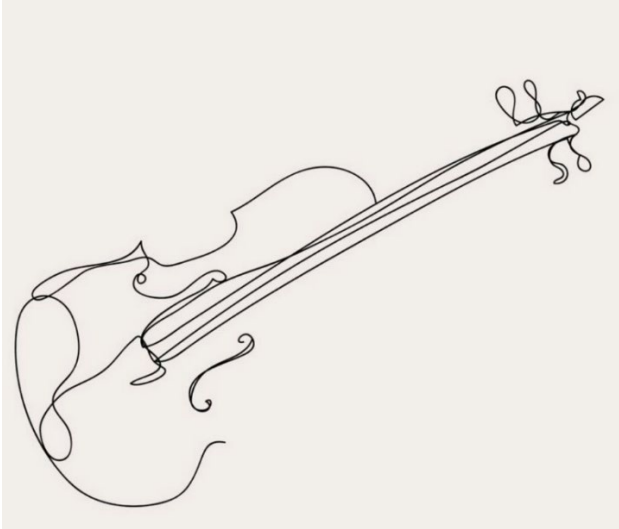
Custom overlapping Cedar Shingles (similar detailing)



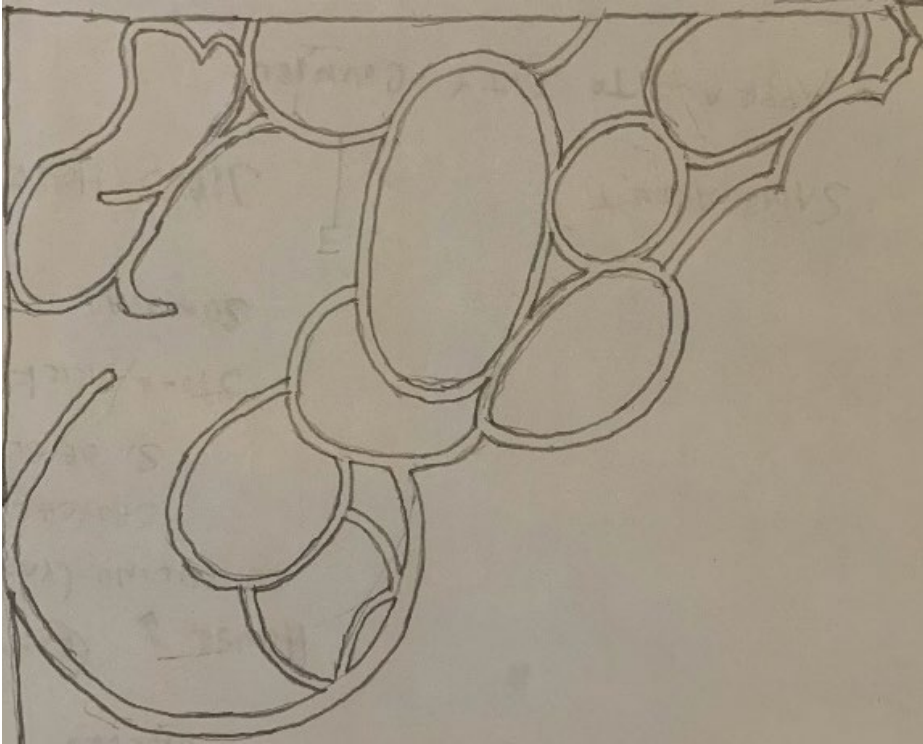
Pine Manor College (Roughwood) in Brookline, MA – Greene & Greene apprenticeship



Custom overlapping Cedar Shingles (Roughwood)



Violin / Silent Violin



Silent Violin/ Wood Bracket Design

Miguel Angel Iriarte, Architect
PO Box 382
South Pasadena, CA 91031
(626) 390-1822

September 9, 2024

Cultural Heritage Commission
South Pasadena, CA 91030

Project: *Remodel and Addition at 1725 Bank Street –
Differentiation and Compatible Materials and
Craftsmanship*



Narrative of How the Comments of the CHC were applied to the updated design of the addition at 1725 Bank Street (3 primary Changes to the design)

We have considered all of the suggestions that the Cultural Heritage Commission presented to us on August 15th at the CHC Meeting and have come up with 3 main changes to the work in order to differentiate the addition to the rear and at the front of 1725 Bank Street.

REAR ADDITION

1. New water table (like the neighboring houses by the same Builder and Architect) with cedar shingles of 5 3/8" exposure and a hardwood stool and apron.



Water Table at 1401 Marengo



Detail of Hardwood Stool and Apron



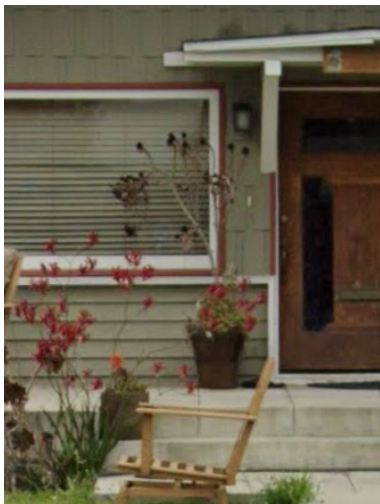
**1401 Marengo - Front Elevation
w/ Water Table**



1407 Marengo Avenue



1407 Marengo Avenue – Dtl of Water Tbl.



1409 Marengo Avenue – Water Table

2. New custom spacing of certain cedar shingles that align with the cedar shingles of the existing house. Greene and Greene (the forefathers of the Craftsman style of architecture) first were introduced to this during their apprenticeship on a residential project, Roughwood (now Pine Manor College) in Brookline, Massachusetts. It is an appropriate way to use the cedar shingles pattern to differentiate the addition from the existing house's cedar shingles.



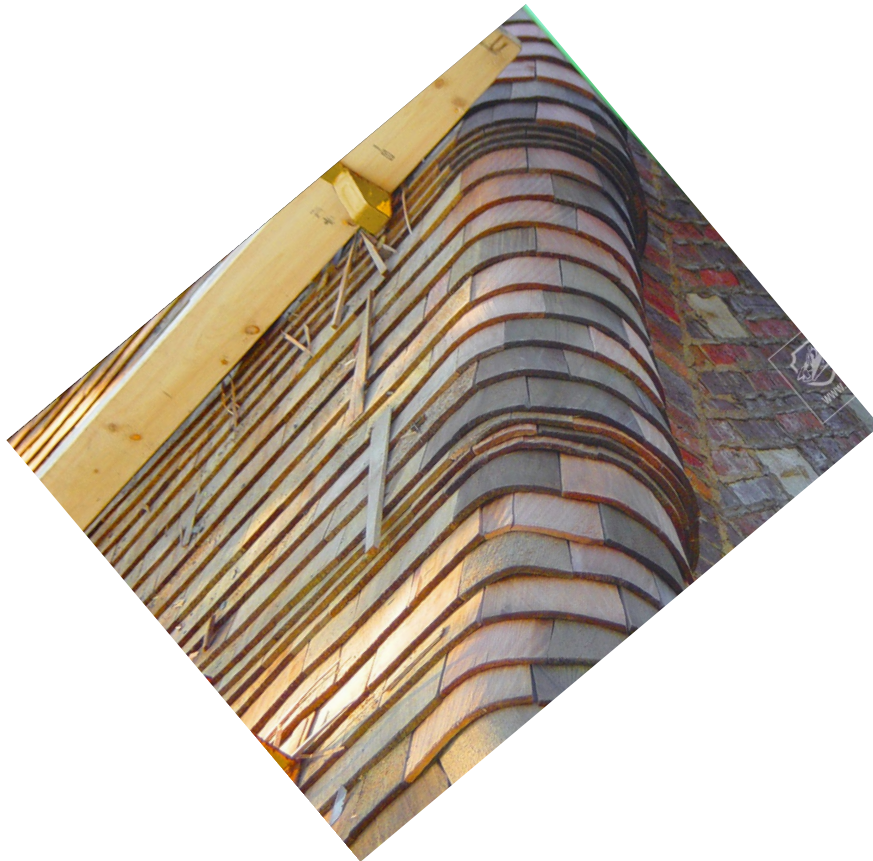
Custom overlapping Cedar Shingles (Roughwood)



Pine Manor College (Roughwood) in Brookline, MA – Greene & Greene apprenticeship



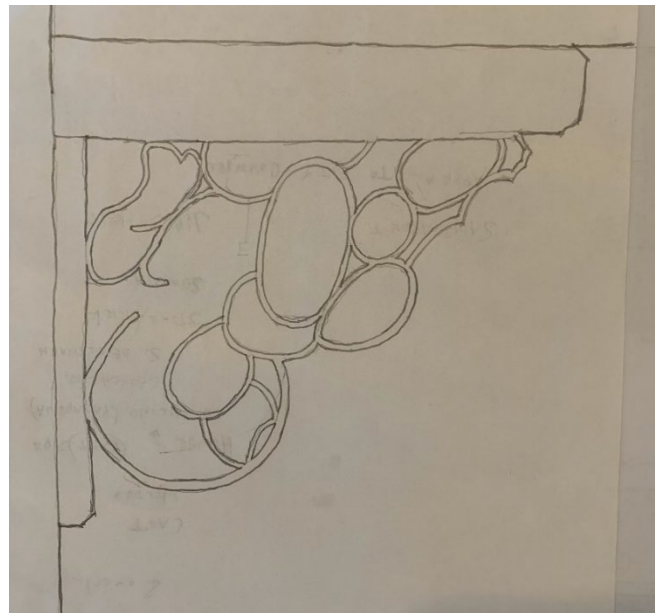
Historical precedents of Custom overlapping Cedar Shingles



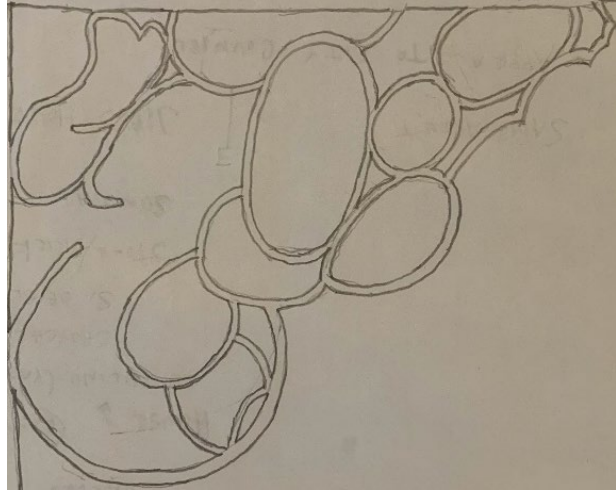
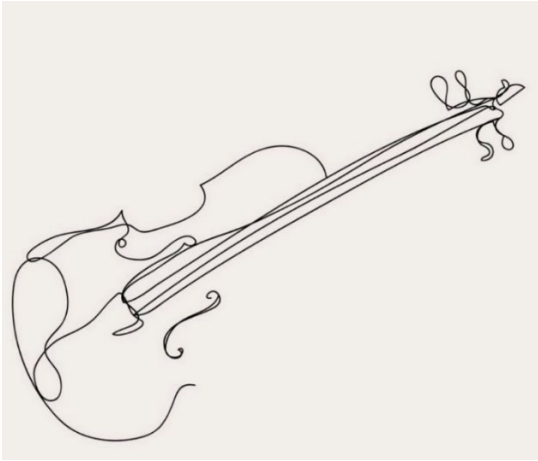
Custom overlapping Cedar Shingles (similar detailing)

3. New custom design (musical/ violin inspired) of the wood brackets to differentiate the addition from the existing house. In custom Architecture (including Craftsman style architecture) there are many types of brackets and also unique lion brackets and other brackets.

Mortise and tenon joinery in the structure - what many believe to be a characteristic of Craftsman style architecture - is really only a part of very few high end custom projects for a few clients that had the means. Similarly, custom brackets are a characteristic of very few high end custom projects for the clients that have the vision and means to construct more demanding details.



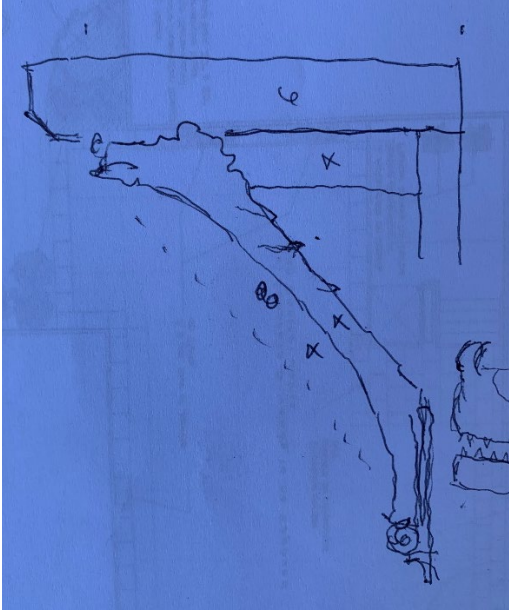
Pine Manor College (Roughwood) – Greene & Greene apprenticeship and bracket for 1725 Bank Street Addition



Design sketches/ inspiration for music inspired brackets



In music and the building arts, the artist is charged with interpreting the piece at hand and not make a copy of another artist's work. We are responsible for feeling the music and making it our own and likewise feeling the structure and architectural elements.



Previous sketches for bracket ideas

FRONT ADDITION

1. New water table (like the neighboring houses by the same Builder and Architect) with cedar shingles of 5 3/8" exposure and a hardwood stool and apron.

Will not use 2. and 3. for the Front Addition (not warranted) since it is more visible from the street.

ATTACHMENT 3

Colored Renderings





ATTACHMENT 4

August 15, 2024 Staff Report



Cultural Heritage Commission Agenda Report

ITEM NO. 3

DATE: August 15, 2024

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Tatianna Marin, Acting Assistant Planner

SUBJECT: **Project No. COA24-0010 - A request for a Certificate of Appropriateness (COA) for a 620 square-foot first floor addition and a 738 square-foot second floor addition to an existing 2,430 sq. ft. two-story single-family dwelling at 1725 Bank Street (APN: 5320-005-018). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Staff recommends that the Cultural Heritage Commission approve Project No. COA24-0010, subject to the Conditions of Approval (**Attachment 1**).

BACKGROUND

Constructed in 1910, the subject site is included in the City's Inventory of Historic Resources, listed as part of the Marengo School Craftsman District (**5B1**) as an eligible district. The residence is designed with the influence of Craftsman style. The Marengo School Craftsman District is comprised of modestly sized period revival single-family residences built between 1903 to 1951. The home in its original condition has good integrity with minimal modifications to the existing building shell. Since being built, the home had a foundation repair, fire damage repairs to the roof and partial wall areas of

the garage, as well as other minor permits that were pulled for reroofing, plumbing, and electrical permits. **(Attachment 2 - Building Permits)**

The subject site is located on the south side of Bank Street, between Fair Oaks Avenue and Marengo Avenue. The property measures a total of 14,811 square feet. The property has an approximate depth of 145 feet and an approximate width of 100 feet. The subject site is currently developed with a two-story, single-family residence and a detached two-car garage.

Image 1: Street View of the Property



As shown in **Image 1** above, the home's Craftsman style is noticeable in the structure's current condition with the use of asphalt shingle roofing on a low-pitched gabled roof, wood shingle siding, projecting one-story porch, asymmetrical massing, and casement and double hung windows.

PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct a 620 square foot first floor addition and a 738 square foot second floor addition to the

rear. The first-floor addition will remove the existing mudroom and bathroom to create a new hallway that leads into a new bedroom, bathroom and closet. It will also include a new covered porch to include an inground pool and an addition to the front to expand the existing living room. The second-floor addition will remove the existing rooftop balcony and create space for a new main bedroom, bathroom, hallway, laundry room and closet space. When complete, the home will total 4,255 square-feet of floor area with five bedrooms. **(Attachment 3 – Project Plans)**

PROJECT ANALYSIS

General Plan Consistency

Table 1: (RS) Residential Low Density Development Standards Compliance

Standard	Requirement	Existing	Proposed
Lot Coverage	40% (5,924 SF max. allowed)	16% 2,386 SF	25.6% 3,785 SF
Floor Area Ratio (FAR)	35% (5,183 SF max. allowed)	18% 2,711 SF	28.7% 4,255 SF
Building Height	35 ft.	26 ft. 8 in.	Unchanged
Off-Street Parking	2-Car (Covered)	2-car garage	Remodeled to a 3-car garage.
Front Setback (South)	25 ft minimum	40 ft.	Unchanged
Side Setback (East)	10% of lot width (10 ft.)	40 ft. 9 in.	14 ft.
Side Setback (West)	10% of lot width (10 ft.)	19 ft.	Unchanged
Rear Setback (North)	25 ft minimum	63 ft. 2 in.	43 ft. 2 in.

Certificate of Appropriateness (COA)

The scope of work consists of a first floor and second floor rear addition. The proposed addition requires a Certificate of Appropriateness with review and approval from the

Cultural Heritage Commission as the addition is larger than the 200 square-foot threshold for CHC review as stipulated in Section 2.65 of the SPMC. The subject property has been identified as a contributor to a historic district in the South Pasadena Inventory of Historic Resources. As such, an addition should be visually subordinate, or secondary, to the original structure.

Project Design Elements

The additions are proposed at the front and the rear of the home. The rear portion of the first and second story addition will project from the east side of the home by approximately 26 feet. At the north front elevation, there are proposed changes that will maintain the existing characteristics of the Craftsman style. A new dormer window will be added to the left side of the front to match the existing dormer window with wood casings. In addition, the lower roof line will extend beneath the dormer to provide symmetry to the front façade. The new addition will incorporate materials to match the existing style such as cedar shingle and lap siding and composition shingle roofing material. The proposed addition will mimic the existing roof style of an asymmetrical massing and low-pitched gabled roof. The proposed windows and doors schedule calls out wood material for the new doors and windows, to be consistent with the existing window and door material and styles found in Craftsman style homes (**Attachment 4 – Material Brochures**). As proposed, the addition does not alter the original style of the home, remove, or modify original features and spaces as illustrated in the development plans. (**Attachment 3**).

Additionally, the first and second story addition is differentiated from the existing structure in that the proposed cedar shingle siding will be recessed back by 4” from the original and divided by a copper flashing on the east and west side elevations to distinguish between the existing and the new construction. The existing and proposed elevations can be found on **Images 2-5**.

Image 2: Existing and Proposed North (Front) Elevations

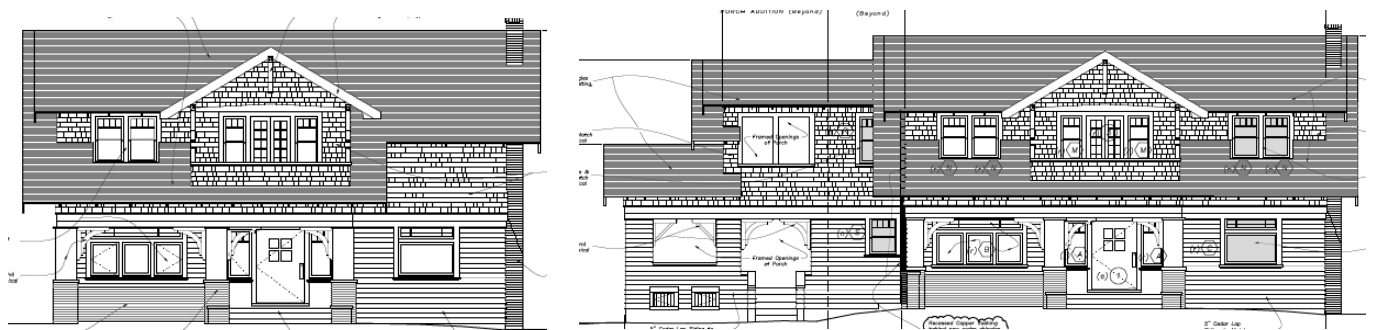


Image 3: Existing and Proposed South (Rear) Elevations

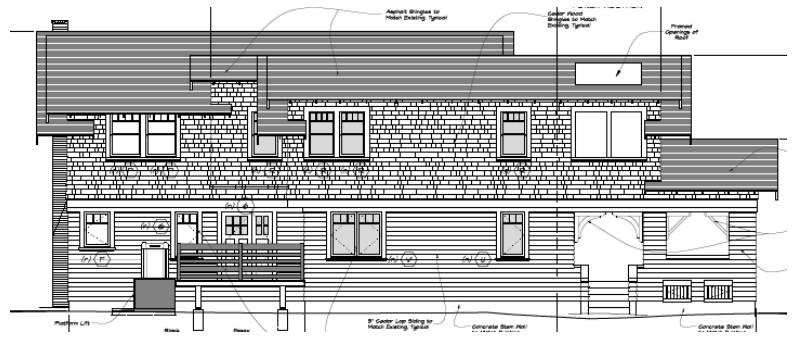
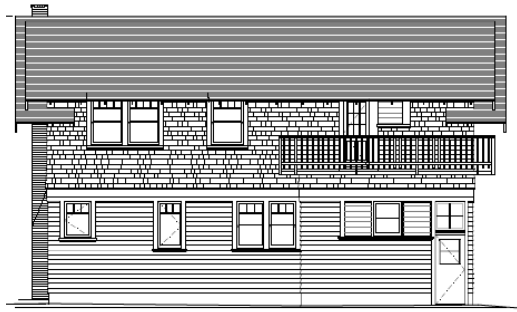


Image 4: Existing and Proposed East (Side) Elevations

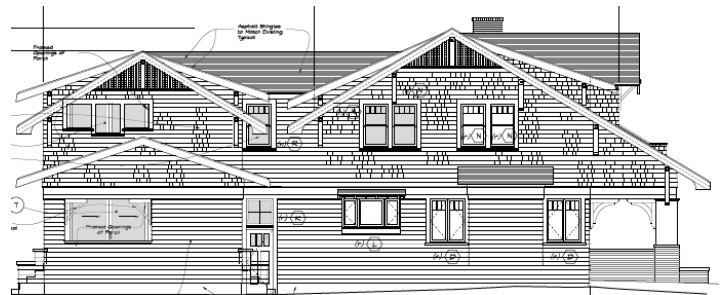


Image 5: Existing and Proposed West (Side) Elevations



In addition, the single-family home will remain compatible with the single-family residential tract, as the existing design style of the home will not be modified.

City of South Pasadena Design Guidelines for Historic Properties

As codified in the SPMC section 2.65, the City of South Pasadena Design Guidelines for Alteration and Additions to Historic Residences are to be assessed in the issuance of a Certificate of Appropriateness (COA). As stated on Page 9 of the Design Guidelines for historic resources, the guidelines are based on the Secretary of the Interior's Standards for Treatment of Historic Properties, which intend to foster the preservation and rehabilitation of the character defining features. The standard procedure for historic buildings is to identify, retain, and preserve the form and detailing of the architectural materials and features that are important in defining the historic character of the structure. Additions or alterations are encouraged to be compatible with these historic features. The Design Guidelines includes a section focused on Craftsman and Bungalow styles (pages 10-11). The Craftsman style architecture is unifying featured style in the neighborhood.

The materials, finishes, detailing, and size/mass of the addition, with the proposed work, are all compatible with the existing style of the home. The property will retain the original architectural style after the proposed addition.

Findings

Required Certificate of Appropriateness Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the SPMC.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The proposed project is consistent with the General Plan for preservation, rehabilitation, and use of historic resources in the City. The area where the addition is proposed is partly visible from the street with minimal impact to the existing roof form. The proposed addition has been designed to be subordinate, contemporary, and to be treated as new additions without applying new interpretations to the original design. The property will continue to be used as a single-family residence, in addition to retaining the original Craftsman style influenced design. Existing and original features are also maintained, therefore preserving the historic character, scale, and "small-town atmosphere" as to the

surrounding land uses. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

2. The project is consistent with the goals and policies of this article.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the historic home consistent in a manner that is generally consistent with the *Secretary of Interior's Standards*.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.

The project, including the residence's addition, is consistent with the *City of South Pasadena's Historic Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. "Roofs are the most significant features that define the massing and proportions of historic residences in South Pasadena. Roof forms, pitch, overhangs at eaves, and roofing materials vary widely by architectural style...The original roof form should be preserved. Any replacement of deteriorated features or addition of small features should be done in the style of the original building, considering the original roof form and slopes." (p. 26)
2. "Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and scale in relation to the existing structure." (p. 36)
3. "New additions should be compatible in mass and scale with the neighborhood and should be visually subordinate to the original building." (p.37)

4. "Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent." (p. 39)
5. "Window mullion widths, window trim, and surrounds should be consistent with the existing windows." (p. 42)

The proposed project is consistent with the applicable criteria identified under subsection (e)(8) of section 2.65 Certificate of *appropriateness – Alteration and demolition* of the South Pasadena Municipal Code. In addition to the standards in the Secretary of Interior’s Standards of Rehabilitation.

Consistency with Secretary of the Interior Standards	
Standard	Staff’s Recommended Consistency Determination
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships	Consistent.
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials of alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	Consistent.
Standard 4: Changes to a property that have acquired historic significance will be retained and preserved.	Consistent.
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of Craftsman style that characterize a property will be preserved.	Consistent.
Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of	Not applicable.

Consistency with Secretary of the Interior Standards	
Standard	Staff's Recommended Consistency Determination
deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	
Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	Not applicable.
Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	Not applicable, no archeological resources are known to exist on the site.
Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	Consistent.
Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	Consistent.

Recommended Project Specific Findings for a Certificate of Appropriateness (2, 5, and 6)

Finding No. 2: The project is appropriate to the size, massing, and design context of the historic neighborhood;

The project is appropriate to the size massing, and design context of the historic residence and the surrounding areas as the massing and style of the home will remain the same. The building materials, finishes, and detailing are compatible to the existing historical architectural design of the subject residence. Additionally, the neighborhood is comprised of Craftsman style architecture. The proposed addition has been designed to be subordinate, contemporary, and to be treated as new additions without applying new interpretations to the original design.

Therefore, the proposed addition will be harmonious and compatible with the surrounding potentially historic neighborhood.

Finding No. 5: The project adds substantial new living space (for example: a second story toward the rear of a residence) while preserving the single story [architectural style or building type] character of the streetscape;

The proposed project consists of 504 square-foot first floor addition to the rear and 116 square-foot to the front first floor for a total of 620 square feet. Additionally, there will be a 738 square-foot second story addition to the rear. The purpose of the first-floor addition is to demolish the existing mudroom and bathroom to create a new main bedroom. The second-floor addition will create space for a new main bedroom, bathroom and closet space. The proposed addition is consistent with the surrounding residential land uses, which also contain one and two-story, single-family residences and will help further enjoy the existing use of the property. The proposed addition will not modify the architectural style of the front facade, ensuring to preserve the original structure and streetscape in compliance with the design guidelines for historic properties.

Finding No. 8: The project will be compatible with the appearance of existing Improvements on the Site and the new work will be compatible with the massing, size, scale, and Character-Defining Features to protect the Historic Integrity of the property and its environment.

The proposed project consists of a first and second story addition to the rear of the property with a minor portion of the first-floor addition added to the front façade. As proposed, the addition is subordinate to the existing home. The addition will match the existing composition shingle roofing material and the existing wood shingle and lap siding material. In addition, the new first floor and second-floor addition will have new windows that will also match the existing material and style of wood windows (**Attachment 4-Materials Brochure**). The project as proposed will maintain the character defining features of Craftsman style.

Environmental Analysis

This project qualifies for categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

Staff Recommendation

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0010, subject to the Conditions of Approval (Attachment 1).

Alternatives to Consider

The Cultural Heritage Commission has the following options available:

1. The Cultural Heritage Commission can Approve the project as is or with modified condition(s) added or removed and provide findings; or
2. The Cultural Heritage Commission can Continue the project, providing the applicant with clear recommendations to revise the proposal; or
3. The Cultural Heritage Commission can Deny the project if it finds that the project does not meet the City's COA requirements.

Public Noticing

A Public Hearing Notice was published on August 2, 2024, in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on August 1, 2024. In addition, the public was made aware that this item was to be considered at a public hearing, by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

Next Steps

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the plan check process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

Attachments

1. Conditions of Approval
2. Building Permit History
3. Project Plans
4. Materials Brochure
5. Project Narrative
6. Neighborhood and Existing Images



Cultural Heritage Commission Agenda Report

ITEM NO. 4

DATE: September 19, 2024

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Robert (Dean) Flores, Senior Planner

SUBJECT: **Project No. COA24-0011 – A request for a Certificate of Appropriateness (COA) for a 963-square-foot single-story addition, 753 second-story addition, construction of new 153 square-foot front porch, a 530 square-foot rear porch, and a new detached 2-car garage at a single-family dwelling located at 1831 Laurel Street (APN: 5320-022-005). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

BACKGROUND

Cultural Heritage Commission Meeting on August 15, 2024

The project was presented to the Cultural Heritage Commission as a two-story addition to an existing two-story, single-family residence. A copy of the staff report is provided as **Attachment 5**. At the meeting, the Cultural Heritage Commission determined that the proposed project was not in compliance with the Secretary of Interior (SOI) Standards due to the following:

1. Changes to the front façade including the scale of the proposed front porch,
2. Location of the proposed detached garage.

The Cultural Heritage Commission recommended the applicant redesign the front (north) elevation of the proposed project to meet the Secretary of Interior Standards and return to the Cultural Heritage Commission at the next scheduled meeting.

Changes to Architectural Design

Taking the comments into consideration, the applicant made modifications to the architectural plans. **Figure 1** below depicts the existing residence; **Figures 2** and **3** are a comparison of the proposed project as presented at the August 15, 2024 meeting and the newly revised plans. As shown in the images below, and described further in the updated Project Narrative (**Attachment 3**), the front elevation features significant changes including revising the proposed front porch by reducing the size of the porch roof compared to the original proposal. Additionally, the trellis on either side of the porch has been removed as well as the planters that were originally proposed. Finally, the proposed detached two-car garage is setback ten feet from the front of the residence whereas the previous iteration showed the garage in line with the residence (see **Figure 4**).

Figure 1 – Existing North (Front Elevation)



1 EXISTING NORTH ELEVATION
A-5 1/4" = 1'-0"

Figure 2 – Proposed Front (North) Elevation – August 15, 2024 CHC Meeting

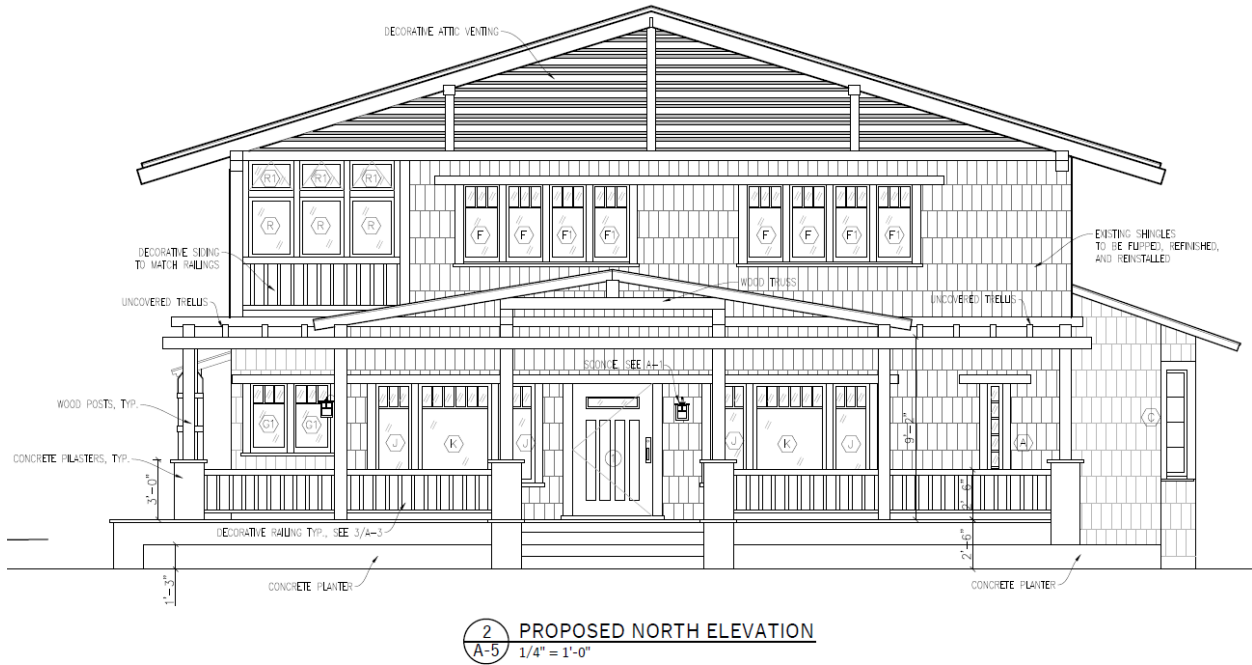


Figure 3 – Proposed Front (North) Elevation – Revised

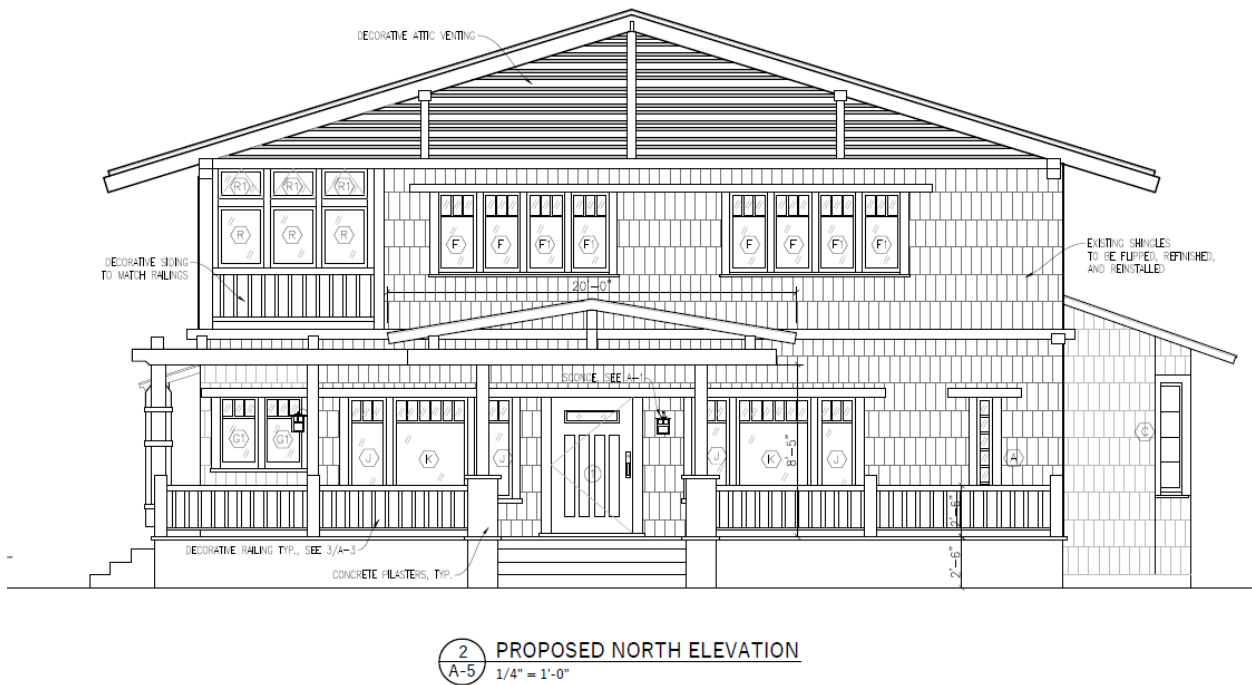
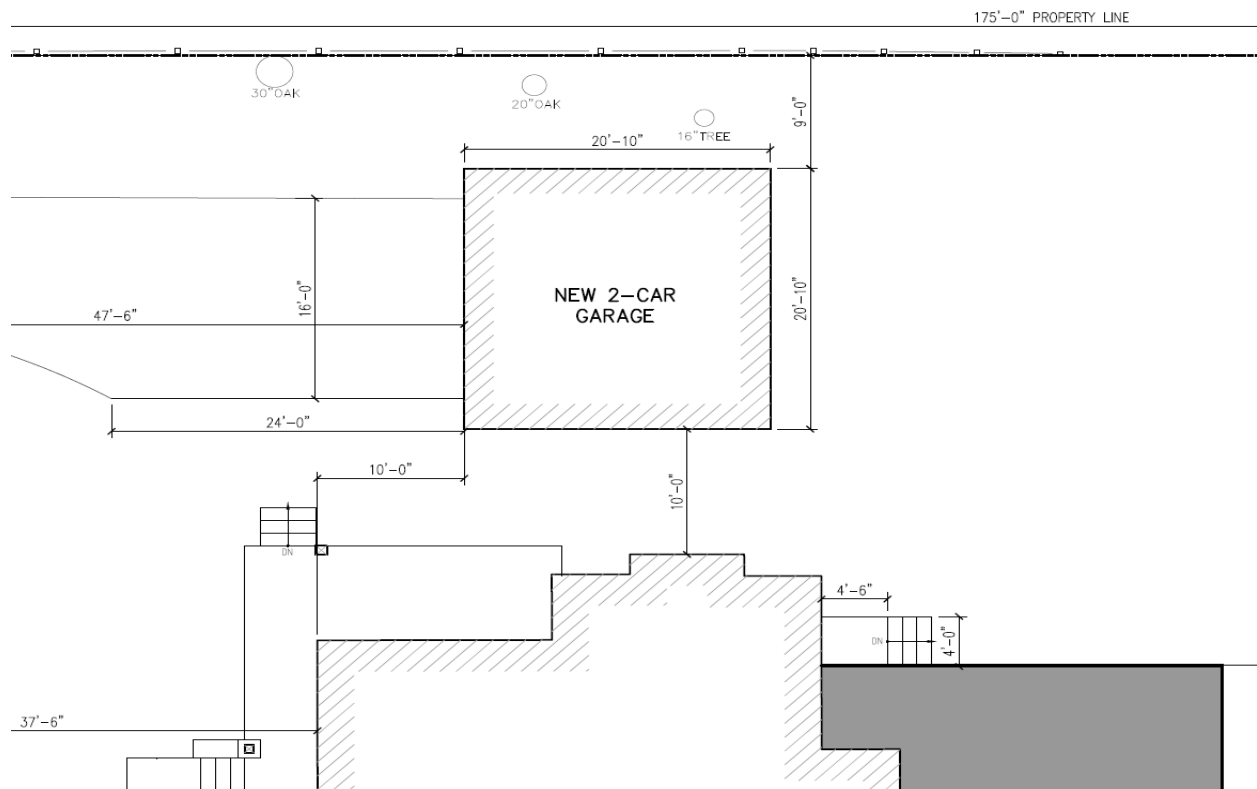


Figure 4 – Proposed Garage Location



PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct a 963-square-foot single-story addition, 753 second-story addition, construction of new 153 square-foot front porch and 530 square-foot rear porch to an existing two-story single-family dwelling. The proposed project also includes the construction of a new detached two-car garage. When complete, the property will include a total of 4,905 square feet of floor area. The additions will allow for a new office, two (2) new bedrooms, and two-and-a-half (2.5) bathrooms, for a total of six (6) bedrooms and six-and-a-half (6.5) baths. The updated architectural plans and proposed materials are included as **Attachment 2**.

PROJECT ANALYSIS

General Plan Consistency

The General Plan (2040) land use designation of the project is Very Low-Density Neighborhood, which allows for single-family dwellings at up to 3 units per acre. The proposed project, therefore, complies with the following General Plan goals, policies, and/or actions:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

Zoning Code Compliance

The subject property is zoned RE, which is intended for the development of detached single-family homes and accessory structures. The existing land use and density of the project site complies with the South Pasadena Municipal Code (SPMC) Division 36.220. The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s design standards and guidelines. Residential Development Standards from SPMC Section 36.220.040 was applied to the proposed project. **Table 1** below lists the project’s conformance with applicable development standards.

Table 1: Residential Development Standards Compliance

Standard	Requirement	Existing	Proposed
Lot Coverage	40% (7,004 SF max. allowed)	9.6% 1,681 SF	21.4% 3,761 SF
Floor Area Ratio (FAR)	35% (6,129 SF max. allowed)	18.2% 3,189 SF	28% 4,905 SF
Building Height	35 ft. max.	27 ft.	28 ft., 4 in.
Off-Street Parking	2-Car (Covered)	No garage	2-Car garage
Front Setback	25% of lot depth, 25 ft. minimum	37 ft., 6 in.	Unchanged
Side Setback	10% of lot width (10 ft. required)	West: 10 ft. East: 39 ft. 11 in.	Unchanged

Standard	Requirement	Existing	Proposed
Rear Setback	25 ft. minimum	95 ft. 2 in.	62 ft.

FINDINGS

Required Certificate of Appropriateness (COA) Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the South Pasadena Municipal Code.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The project is consistent with the goals and policies of the General Plan for preservation, rehabilitation, and use of historic resources in the City. The existing home, built in 1910, is listed on the City of South Pasadena's Historic Inventory List as a potential contributor to the eligible Oneonta Park District. The proposed project has been designed to retain and preserve the character-defining features of the house. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

2. The project is consistent with the goals and policies of Article IVH – Cultural Heritage Ordinance – of Chapter 2 of the South Pasadena Municipal Code.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the

historic home consistent in a manner that is generally consistent with the *Secretary of Interior's Standards*.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.

The project, including the residence's addition, is consistent with the *City of South Pasadena's Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. "Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and scale in relation to the existing structure. Additions should have limited visibility from the street." (p. 36)
2. "New additions should be compatible in mass and scale with the neighborhood, and should be visually subordinate to the original building." (p. 37)
3. "Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent." (p. 39)
4. "Façade treatments for new additions should be consistent with the existing building and its architectural style. Details and elements not found on the existing structure or inconsistent with the style should be avoided." (p. 46)

The project is consistent with the standards in the Secretary of Interior's Standards of Rehabilitation, as shown in **Table 3**.

Table 3: Consistency with Secretary of Interior Standards

Standard	Recommendation
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	Consistent.
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development,	Consistent.

Standard	Recommendation
such as adding conjectural features or elements from other historic properties, will not be undertaken.	
Standard 4: Changes to a property that have acquired historic significance will be retained and preserved.	Consistent.
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	Consistent.
Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.	Not applicable.
Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	Not applicable.
Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	Not applicable.
Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	Consistent.
Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	Consistent.

Project Specific Findings for a Certificate of Appropriateness

Finding 2. The project is appropriate to the size, massing, and design context of the historic neighborhood;

The project is appropriate to the size, massing and design context of the historic residence and the surrounding district, which is comprised of a mixture of one and two-story residential buildings. The first- and second-story additions are located to the middle and rear of the structure and incorporates compatible building materials, finishes, and detailing as the historic property. Therefore, the proposed addition would be harmonious and compatible with surrounding homes and the neighborhood.

Finding 3. In the case of an addition or enlargement, the project provides clear distinction between the new and historic elements of the cultural resource or improvement;

The new addition is located at the middle and rear of the home. The new addition on the first floor is setback an additional six feet on the easterly side of the home from the existing home's side yard setback. The additions to the second story are stepped back on both sides from the first floor. To provide clear distinction between the new and historic elements, the proposal utilizes a smaller-sized exterior shingle siding than the existing siding. The proposal also includes clad casement and double hung windows instead of the existing fixed wood windows.

Finding 5. The project adds substantial new living space while preserving the single story [architectural style or building type] character of the streetscape;

The project will add substantial new living space while preserving the character of the eligible historic district. The proposed additions will provide an additional bedroom, bathrooms, and an office space and is designed to limit the overall scale and massing of the existing structure. Other than the replacement of the existing front porch and other minor treatments, the overall front façade will preserve the existing character of the streetscape.

ENVIRONMENTAL ANALYSIS

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

STAFF RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.

2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

ALTERNATIVES TO CONSIDER

The Cultural Heritage Commission has the following options available;

1. The Cultural Heritage Commission can Approve the project as is or with modified condition(s) added or removed and provide findings; or
2. The Cultural Heritage Commission can Continue the project, providing the applicant with clear recommendations to revise the proposal; or
3. The Cultural Heritage Commission can Deny the project.

PUBLIC NOTICING

This item was originally noticed for the August 15, 2024 meeting on August 2, 2024 in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on August 1, 2024. At the August 15, 2024, the public was made aware that the item was to be continued and thus does not require additional notification. Additionally, the public was made aware that the project is be considered a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

NEXT STEPS

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

ATTACHMENTS

1. Conditions of Approval
2. Architectural Plans
3. Project Narrative
4. Window & Door Brochures
5. August 15, 2024 CHC Staff Report

ATTACHMENT 1

Conditions of Approval

CONDITIONS OF APPROVAL
Certificate of Appropriateness
Project No. COA24-0011
1831 Laurel Street (APN: 5320-022-005)

DEVELOPMENT REQUIREMENTS

Note: As a convenience to the applicant, the development requirements from applicable Departments/Agencies are listed herein. These requirements list what the applicant will be required to comply with in order to receive a Building Permit, a Certificate of Occupancy, or other Department-issued entitlement.

PLANNING DIVISION:

- P1. This approval and all rights hereunder shall terminate within 18 months of the effective date of their approval by the Cultural Heritage Commission unless otherwise conditioned and/or unless action is taken to secure Building Permits and maintain active Building Permits with the Building Division beginning with the submittal of the plans for Plan Check review.
- P2. Approval by the Cultural Heritage Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the South Pasadena Building Division must be obtained prior to construction, enlargement, relocation, conversion or demolition of any building or structure on any of the properties involved with the Certificate of Appropriateness.
- P3. All other requirements of any law, ordinance, or regulation of the State of California, City of South Pasadena, and any other government entity shall be complied with.
- P4. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining any occupancy inspection clearance and/or prior to obtaining any occupancy clearance.
- P5. The applicant and each successor in interest to the property which is the subject of this project approval, shall defend, indemnify and hold harmless the City of South Pasadena and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval of the City, City Council or Commission/Board concerning this approval. In the event of any claim or lawsuit, the applicant and/or successor shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.
- P6. The construction site and the surrounding area shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
- P7. The hours of construction shall be limited to the following: 8:00 am and 7:00 pm Monday through Friday, 9:00 am and 7:00 pm Saturday, and construction on Sundays limited to 10:00 am to 6:00 pm.
- P8. A construction sign with contact information for the contractor shall be posted on-site during construction.

BUILDING DIVISION

- B1. The second sheet of building plans is to list all conditions of approval and to include a copy of the Planning Decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
- B2. Plans prepared in compliance with the code in effect shall be submitted to Building Division for review prior permit issuance
- B3. The proposed addition shall be designed and constructed to comply with current California Residential Code with Los Angeles County Amendments. The provisions of the California Historical Building Code may be used in specific design elements for the purposes of preserving the integrity of the qualified historical buildings or properties.
- B4. School Developmental Fees shall be paid to the School District prior to the issuance of the building permit.
- B5. Park Impact Fee to be paid at the time of permit issuance.
- B6. Per Chapter 16A of the City of South Pasadena Municipal Code, Growth fee to be paid at the time of permit issuance.
- B7. Structural calculations prepared under the direction of an architect, civil engineer or structural engineer shall be provided.
- B8. Each sheet of the plans shall be stamped and signed by a California licensed architect or engineer per R301.1.3.2 as adopted and amended by the City, for all dwellings of wood frame construction more than one story in height or with a basement located in Seismic Design Category D0, D1, or D2 or E.
- B9. A grading and drainage plan shall be approved prior to issuance of the building permit. The grading and drainage plan shall indicate how all storm drainage including contributory drainage from adjacent lots is carried to the public way or drainage structure approved to receive storm water.
- B10. A geotechnical and soils investigation report is required, the duties of the soils engineer of record, as indicated on the first sheet of the approved plans, shall include the following:
 - a. Observation of cleared areas and benches prepared to receive fill;
 - b. Observation of the removal of all unsuitable soils and other materials;
 - c. The approval of soils to be used as fill material;
 - d. Inspection of compaction and placement of fill;
 - e. The testing of compacted fills; and
 - f. The inspection of review of drainage devices.
- B11. The owner shall retain the soils engineer preparing the Preliminary Soils and/or Geotechnical Investigation accepted by the City for observation of all grading, site preparation, and compaction testing. Observation and testing shall not be performed by other soils and/or geotechnical engineer unless the subsequent soils and/or geotechnical engineer submits and has accepted by the Building Division, a new Preliminary Soils and/or Geotechnical Investigation.
- B12. Preliminary MS4 Project Application (MS4-1 FORM) completed by Engineer of Record shall be copied on the first sheet of Building Plans and on the first sheet of Grading Plans. The form can be found at the following link

<https://www.dropbox.com/scl/fi/xliqonam5j4jro5oklnw4/MS4-Permit-LID-Determination-Form.pdf?rlkey=zr7tu632u2staheexj6vqvxxvg&dl=0>

- B13. Foundation inspection will not be made until setback of the addition has been surveyed and the setbacks determined to be in accordance with the approved plans by a land surveyor licensed by the State of California. THIS NOTE IS TO BE PLACED ON THE FOUNDATION PLAN IN A PROMINENT LOCATION.
- B14. The basement shall have an emergency escape and rescue opening with an area well per Section R310.2, R310.4, and R310.6 of the Residential Code.
- B15. The basement retaining walls at rear of the addition shall be designed to resist the soil surcharge pressure from the existing swinging pool.
- B16. Project shall comply with the CalGreen Residential mandatory requirements.
- B17. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
- B18. Separate permit is required for Fire Sprinklers.

FIRE DEPARTMENT:

- FD1. Required Code References: Current South Pasadena Municipal Code (SPMC); Current California Fire Code (CFC); Current California Building Code and NFPA standards.
- FD2. Fire Sprinklers are required. Submit plans to City for approval.
- FD3. (CFC 903.1) General. Automatic Sprinkler systems shall comply with this section.
- FD4. (CFC 903.2) Where Required. Approved automatic sprinkler systems in new buildings and structures shall be provided in the locations described in Sections 903.2.1 through 903.2.12.
- FD5. (CFC 903.2.8) Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.
- FD6. Fire sprinklers shall not be able to shut off unless the domestic line to the property is shut off. There shall be no other means to turn off water to the sprinkler system. Ensure this sprinkler system is installed by an approved C-16 licensed company. Please provide a drawing of the sprinkler system to the Fire Department prior to beginning of work.
- FD7. (CFC 903.3.5) Water Supplies. Water supplies for automatic sprinkler systems shall comply with this section and the standards referenced in Section 903.3.1. The potable water supply shall be protected against backflow in accordance with Health and Safety Code Section 13114.7.
- FD8. (CFC 507.1) Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FD9. (CFC 507.3) Fire flow. Fire flow requirements for buildings or portions of buildings and facilities shall be determined by an approved method or Appendix B.

- FD10. 507.4 Water Supply Test. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system.
- FD11. 903.2.11.9 Additions and Alterations. All existing buildings and structures, regardless of the type of construction, type of occupancy or area, shall be provided with an automatic sprinkler system conforming to Section 903.3 and this code upon the occurrence of any of the following conditions:
- a. An addition of over 750 square feet to any building or structure which creates a fire area large enough that if the existing building or structure plus proposed work were being built new today, an automatic sprinkler system would be required under this code;
 - b. Any addition to an existing building which has fire sprinklers installed;
 - c. Within any twelve (12) calendar month period of time, any alteration, including repairs, to any existing building or structure, where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such alteration, including repairs, creates or alters a fire area large enough that if the existing building or structure were being built new today, and automatic sprinkler system would be required by this code;
 - d. Within any twelve (12) calendar month period of time, combination of any addition and alteration to any existing building or structure where the valuation of the proposed work exceeds fifty percent (50%) of the valuation of the entire building or structure, as determined by the Building Official, and where such addition and alteration creates or alters a fire area large enough that if the existing building or structure were being built new today, an automatic sprinkler system would be required by this code;
 - e. An automatic sprinkler system shall be installed throughout any existing Group R Occupancy building when the floor area of the Alteration or Combination of an Addition and Alteration, within any twelve (12) calendar months, is 50% or more of area and or valuation of the existing structure and where the scope of the work exposes building framing and facilitates sprinkler installation and is such that the Fire Code Official determines that the complexity of installing a sprinkler system would be similar as in a new building.
- FD12. New and existing building shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be view from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
- FD13. Notwithstanding anything else in this code, or any other code incorporated, herein, by reference any new roof shall be of Class "A" roof material.
- FD14. Groups R-2, R-2.1, R-3, R-3.1, and R-4. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
- a. On the Ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms;
 - b. In each room used for sleeping purposes.
 - i. Exception: Single- or multiple-station smoke alarms in Group I-1 shall not be required where smoke detectors are provided in the sleeping rooms as part of an automatic smoke detection system (CFC 907.2.11.2).
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and

uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- FD15. Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-1, R-2, R-3, R-3.1, or R-4, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
- FD16. Where required for new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed; and in dwelling units that have attached garages.
- FD17. Power Supply. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection.
- FD18. Interconnection. Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit, the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit (CBC 420.4.1.2).
- FD19. Exception. Interconnection is not required in existing dwelling units or within sleeping units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.
- FD20. Carbon monoxide alarms combined with smoke alarms shall comply with Section 420.4, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms.
- FD21. (CFC 903.2.18) Group U private garages and carports accessory to Group R-3 occupancies. Carports with habitable space above and attached garages, accessory to Group R-3 occupancies, shall be protected by residential fire sprinklers in accordance with this section. Residential fire sprinklers shall be connected to, and installed in accordance with, and automatic residential fire sprinkler system that complies with Section R313 of the California Residential Code or with NFPA 13D. Fire sprinklers shall be residential sprinklers or quick-response sprinklers, designed to provide a minimum density of 0.05 /ft² (2.04 mm/min) over the area of the garage and/or carport, but not to exceed two sprinklers for hydraulic calculation purposes. Garage doors shall not be considered obstructions with respect to sprinkler placement.
- FD22. Buildings under construction shall meet the condition of "Chapter 33 Fire Safety During Construction and Demolition" of the 2022 California Fire Code. Structures under construction, alteration or demolition, shall be provided with no less than one 2A10BC fire extinguisher as follows:
- a. At each stairway on all floor levels where combustible materials have accumulated.
 - b. In every storage and construction shed.
 - c. Where special hazards exist included, but not limited to, storage and use of combustible and flammable liquids.
- FD23. A set of plans must remain on the job site at all times. Appointments for inspectors should be made at least two days in advance of required inspection by calling the Fire Department at (626) 403-7304.
- FD24. For any questions related with water meter or water flow test, please contact Public Works at (626) 403 7240.

FD25. The City of South Pasadena Fire Department reserves the right to change or otherwise modify requirements based upon receiving additional project information or other unforeseen circumstances.

PUBLIC WORKS DEPARTMENT

- PW1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting for the project to be redesigned/resubmitted.
- PW2. The applicant shall pay all applicable City fees including Public Works Department plan review fee and permit fees per the current adopted Master Fee Schedule, which can be found on the City's website. This includes all costs incurred by the Public Works Department for the use of professional services or consultants in the review, investigation, and/or plan check of the public improvement plans. The applicant shall provide receipts of all applicable fees paid prior to submitting plans for review.
- PW3. Laurel Street shall be photographed and video recorded before the start of construction and after construction for assessing the damage caused to the street by construction related activity. The applicant will be responsible to restore the public right-of-way to its original condition and to the satisfaction of the City Engineer. These video recordings and photographs shall be submitted to the City before the project approval and immediately upon completion of the project.
- PW4. Prior to issuance of a permit, the applicant shall perform a video inspection of the existing sewer lateral for obstructions and remove any obstructions observed. Provide a copy of the inspection video of the cleared pipe for review.
- PW5. The applicant shall replace all broken, damaged, or out-of-grade sidewalk and driveway approaches, and repaint all curb markings along the perimeter of the property to the satisfaction of the City Engineer regardless of when or how such condition originally occurred per SPMC Section 31.54. All improvements within the public right-of-way shall conform to the current Standard Specifications for Public Works Construction (SSPWC) and Standard Plans for Public Works Construction (SPPWC).
- 1) The applicant shall install new 4" thick sidewalk with maximum cross slope of 2% conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 112-2. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC).
 - 2) The applicant shall remove and replace the existing driveway approach with/install a new driveway approach conforming to the current Standard Plans for Public Works Construction (SPPWC) Std Plan 110-2, Type B. Concrete shall be class 520-C-2500 and shall conform to the current Standard Specifications for Public Works Construction (SSPWC). The applicant shall verify the width with the Planning Department and the actual limits of concrete removal with the Public Works Department.
- PW6. The applicant shall contact the City of South Pasadena Water Operations Manager, Victor Magana, VMagana@SouthPasadenaCA.gov for the fire flow test. The applicant shall submit water demand calculations to the City for potable water and fire (if applicable). The calculations will be used to verify the adequacy of the existing water meter connection for the proposed structure and Fire Department approved fire sprinkler system (if applicable). The applicant shall coordinate with the Water Operations Manager the size, location and the associated fee for the installation of a new water meter connection.
- PW7. Provide an arborist report and clear site plan of what trees are being removed. Submit a design narrative with the arborist report explaining why certain trees are being removed and what alternative options were considered to preserve the existing trees.

- PW8. Show all existing and proposed trees, including size and species, and indicate their disposition. If any trees (12" in diameter or greater and/or native trees) are to be removed, apply for a tree removal permit with the Public Works Department per City Ordinance No. 2328 amending Section 34.10 of SPMC. See SPMC Section 34.12 for the required information and process for the trees that are proposed to be removed and/or impacted during construction. Replacement trees shall be planted per SPMC Section 34.12-5. If existing trees are to remain on site, the applicant shall note on the plans methods of protecting existing trees during construction.
- PW9. The applicant shall include the following information on the plans:
- 1) Provide a 24-hour emergency contact number for the applicant and contact information of all utility agencies involved/impacted/potentially impacted by this project on the title sheet of the plans.
 - 2) The location of all existing utilities on adjacent street(s), as well as location and size of all existing or proposed services serving the property. Show all utility points of connection (POC).
 - 3) Show the location and area of trench sections for any proposed sewer and water line connections within the public right-of-way. Provide a trench restoration detail per City standards if any new utility connections are proposed.
- PW10. The applicant shall add the following notes on the plans:
- 1) The proposed building structure shall not be constructed within critical root zone area of any trees. For native and protected species, use the tree trunk's diameter measured at breast height (DBH) (X5) as the minimum critical root mass. For non-native and protected species, use the tree's DBH (X3) as the minimum critical root mass.
 - 2) Any construction activity that may require roadway closures will require a traffic control plan prepared by a CA licensed civil or traffic engineer or a C-31 licensed contractor to be submitted for review. Safe pedestrian access, including ADA and bicycle, must be maintained at all times. All street closures will require an encroachment permit from the Public Works Department. Street closures are only allowed between 9:00 am and 3:00 pm. Whenever there will be a street closure exceeding thirty minutes in duration, the applicant shall provide written notification about the street closure to all impacted businesses and resident at least 48 hours in advance of the street closure.
 - 3) No overnight storage of materials or equipment within the public right-of-way shall be permitted.
 - 4) Temporary bins (low boy), if used, shall be "roll off" style to be provided by Athens Services. Athens Services has an exclusive agreement with the City for the provision of trash removal services: only Athens dumpsters can be used. Any dumpsters placed on the roadway shall require a protective barrier underneath (such as plywood) to protect the pavement. The applicant shall obtain dumpster permit from the Public Works Department.
 - 5) The applicant shall obtain oversize/overload permits from the Public Works Department for any oversized equipment used during the stages of construction, including, but not limited to: demolition; clearing and grubbing; grading; material disposal; drilling for piles and/or caissons; trenching for footings; excavation for retaining walls; core sampling of soils; etc.
 - 6) The applicant shall obtain an encroachment permit from the Public Works Department for any work proposed within the public right-of-way.

ATTACHMENT 2

Architectural Plans

SCOPE OF WORK

2-STORY ADDITION TO EXISTING
2-STORY HOME ADDING 1,716 SQ.
FT. AND COVERED FRONT AND
BACK PORCHES.

PROPERTY OWNERS:

MARK AND CHRISTINA GHALY
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

SURVEY:

RM LAND SURVEYING
P.O. BOX 1382
DUARTE, CA 91009
(626) 256-9047
rmlandsurvey@msn.com

SHEET INDEX:

- A-1 COVER SHEET, SHEET INDEX, STATISTICS/INFO, CALCULATIONS, VICINITY MAP
- A-1A EXISTING SITE PHOTOS
- A-1B NEIGHBORHOOD CONTEXT PHOTOS
- A-1C NEIGHBORHOOD CONTEXT PHOTOS (CONTINUED)
- A-1D PROPOSED RENDERINGS
- C-1 SURVEY
- A-2 SITE PLAN
- A-3 1ST FLOOR FLOORPLANS
- A-4 2ND FLOOR FLOORPLANS
- A-5 NORTH & SOUTH ELEVATIONS
- A-6 EAST ELEVATION
- A-7 WEST ELEVATION
- A-8 ROOFPLAN
- A-9 BASEMENT PLAN, GARAGE PLANS/ELEVATIONS, AND DEMO CALCULATION

INFORMATION:

LOT SIZE: 17,510 SQ. FT.
PARCEL #: 5320-022-005
LEGAL DESCRIPTION: ONEONTA PARK, LOT/SEC 5, BLK/DIV/TWN H
ZONE: RESIDENTIAL ESTATE - RE
YEAR CONSTRUCTED: 1910
HISTORIC DISTRICT: ONEONTA PARK (ELIGIBLE)
HISTORIC DESIGNATION: 5D1
OCCUPANCY: R3 - SINGLE FAMILY HOME
MAX HEIGHT: 28'-4"
FIRE SPRINKLERS: (E)=NONE, (N)=YES
TYPE OF CONSTRUCTION: VB
BUILDING CODE: SOUTH PASADENA MUNICIPAL CODE; 2022 CALIFORNIA
BUILDING, RESIDENTIAL, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY AND
GREEN BUILDING STANDARDS CODES W/ LACO AMENDMENTS AS APPLICABLE

SQ. FT. CALCULATIONS:

EXISTING:
LOT SIZE: 17,510
EXISTING HOME TOTAL: 3,189
1ST FLOOR: 1,681
2ND FLOOR: 1,508
CALIFORNIA BASEMENT: 115

PROPOSED:
TOTAL ADDITION AREA: 1,716
1ST FLOOR: 963
2ND FLOOR: 753
2-CAR GARAGE: 434
BASEMENT: 872
COVERED FRONT PORCH: 153
COVERED BACK PORCH: 530

FLOOR AREA RATIO (F.A.R.):

35% OF LOT AREA ALLOWED = 17,510 X 0.35 = 6,129 SQ. FT.

EXISTING: 3,189 = 18.2%
PROPOSED: 3,189 + 1,716 = 4,905 = 28%

LOT COVERAGE:

40% OF LOT AREA ALLOWED = 17,510 X 0.40 = 7,004 SQ. FT.

EXISTING = 1,681 = 9.6%
PROPOSED = 1,681 + 963 + 434 + 153 + 530 = 3,761 = 21.48%

SETBACK REQUIREMENTS:

FRONT: 32'-6" REQUIRED
37'-6" PROVIDED
(SEE AVERAGE CALCULATION, SHEET A-2)
SIDES: 10'-0" REQUIRED
10'-0" PROVIDED ON WEST,
39'-11" PROVIDED ON EAST
(10% OF LOT WIDTH)
REAR: 25'-0" REQUIRED
62'-0" PROVIDED

NOTES:

PROPOSED GARAGE IS LESS THAN 500 SQ. FT. AND IS NOT
COUNTED IN THE F.A.R. CALCULATIONS PER SPMC 36.350.170(C)(2)

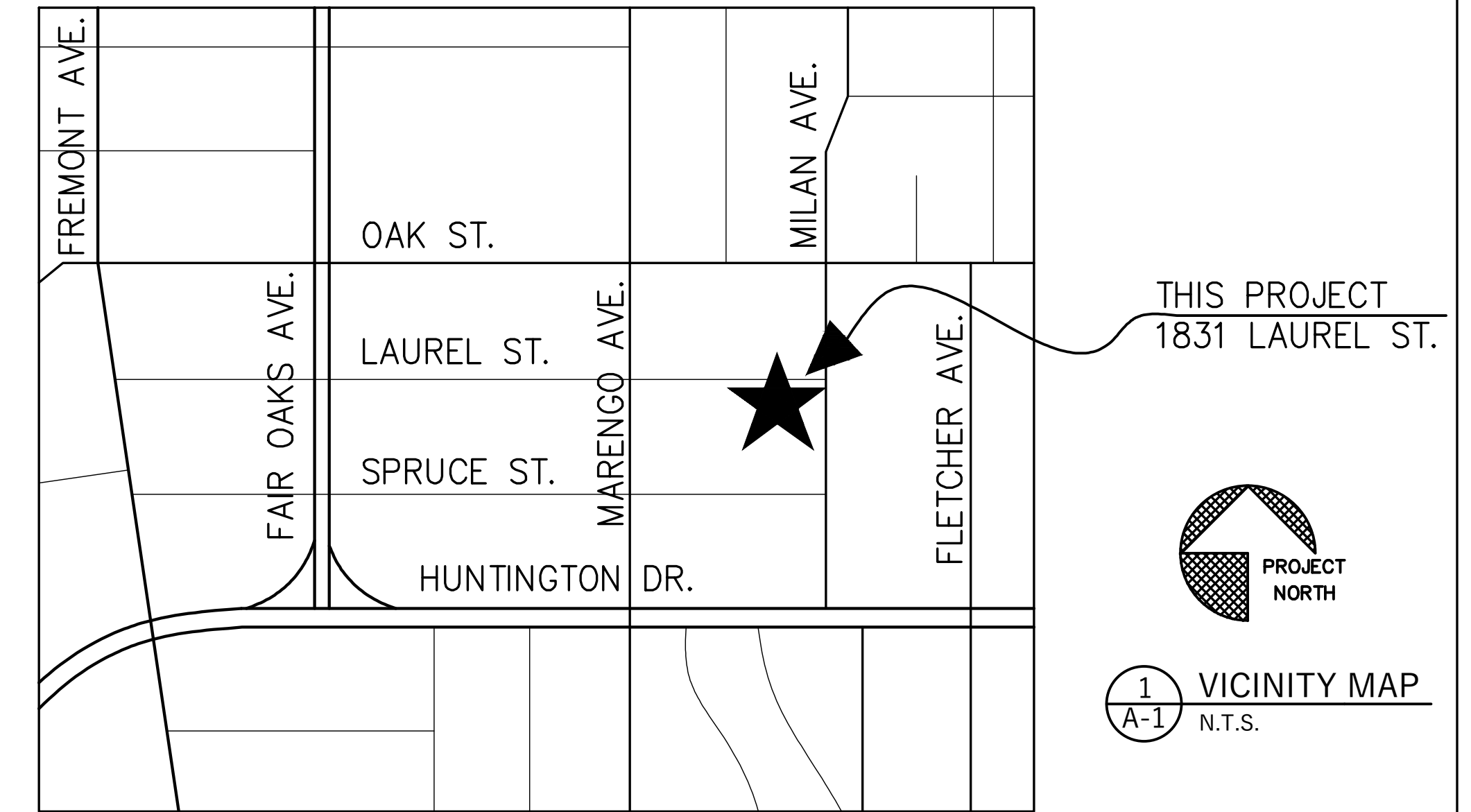


2
A-1 EXISTING STREETSCAPE
N.T.S.



3
A-1 PROPOSED STREETScape
N.T.S.

NOTE: RENDERINGS ARE FOR VISUAL REFERENCE ONLY, REFER TO PLANS FOR SPECIFIC INFORMATION INCLUDING
COLORS, MATERIALS, DIMENSIONS, LANDSCAPING, OR ANYTHING ELSE SHOWN IN THESE IMAGES.



**1831 LAUREL ST.
MATERIAL BOARD**

ROOFING



GAF "TIMBERLINE" HDZ
ASPHALT SHINGLES

EXTERIOR LIGHTING



ARROYO CRAFTSMAN "MISSION" SCONCE
WITH T-BAR OVERLAY, MEDIUM SIZE,
BRONZE FINISH, OFF-WHITE GLAZING

CASEMENT WINDOW



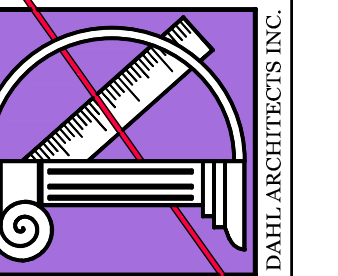
KITCHEN "TIMBER CURTAIN WALL"



ALL NEW EXTERIOR DOORS AND WINDOWS (INCLUDING
KITCHEN AREA "TIMBER CURTAIN WALL") TO BE
SIERRA PACIFIC ALUMINUM CLAD (WOOD INTERIOR).
SEE ELEVATIONS AND RENDERINGS FOR DIVIDED LITE
STYLE AND TYPE (CASEMENT, DOUBLE HUNG, ETC.)

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-9011 dahl@dahlarchitects.com

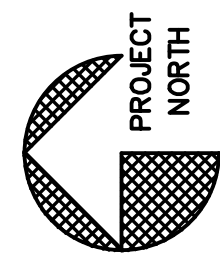


GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

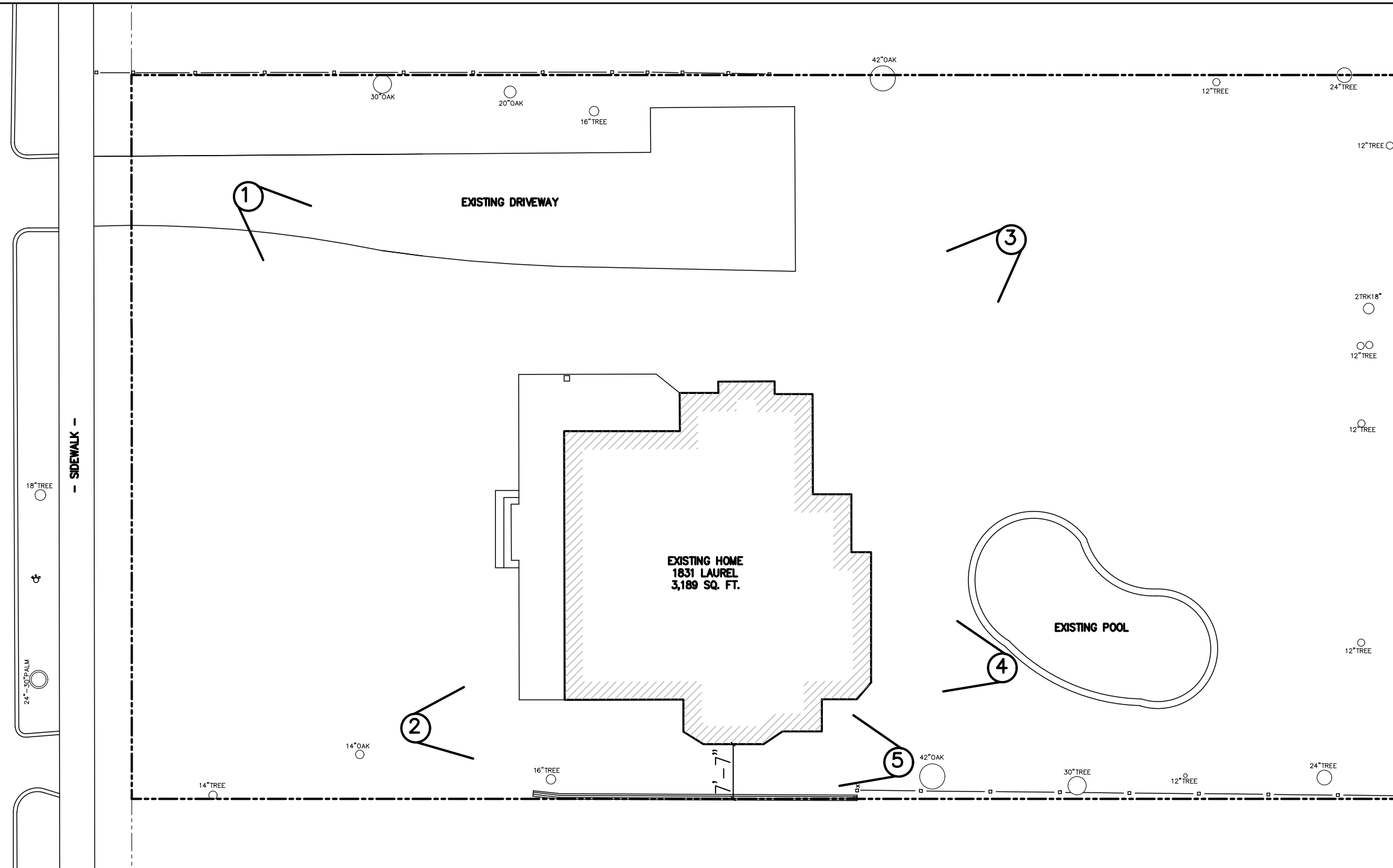
COVER SHEET, SHEET INDEX,
STATISTICS/INFO CALCULATIONS,
VICINITY MAP, SITE PLAN

Date 8/28/2024
Scale AS NOTED
Drawn APD
Job
Sheet

A-1

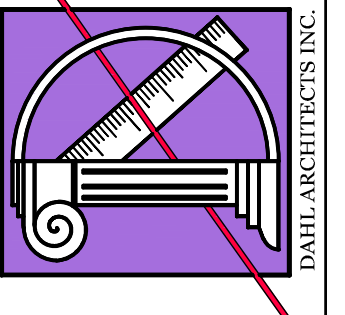


LAUREL STREET



REV.	DATE

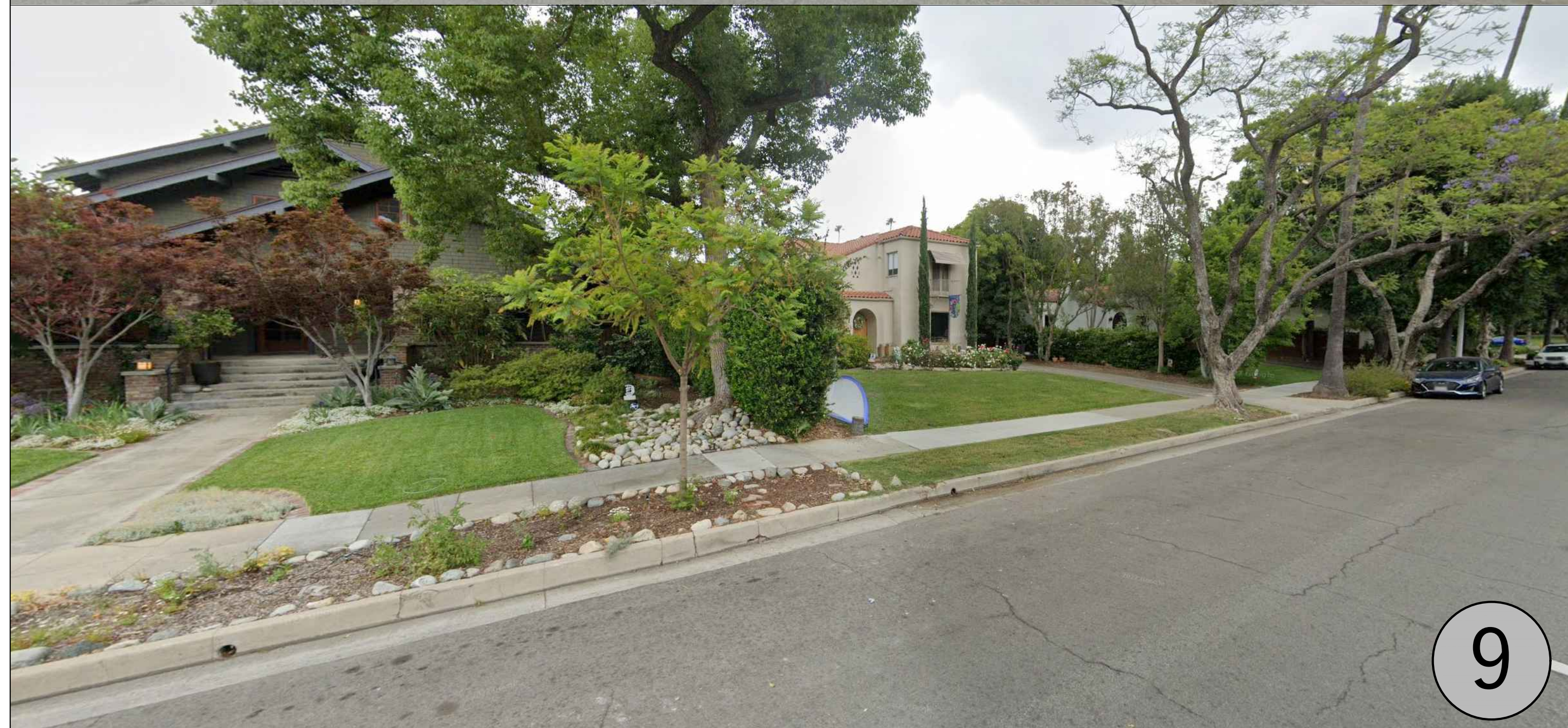
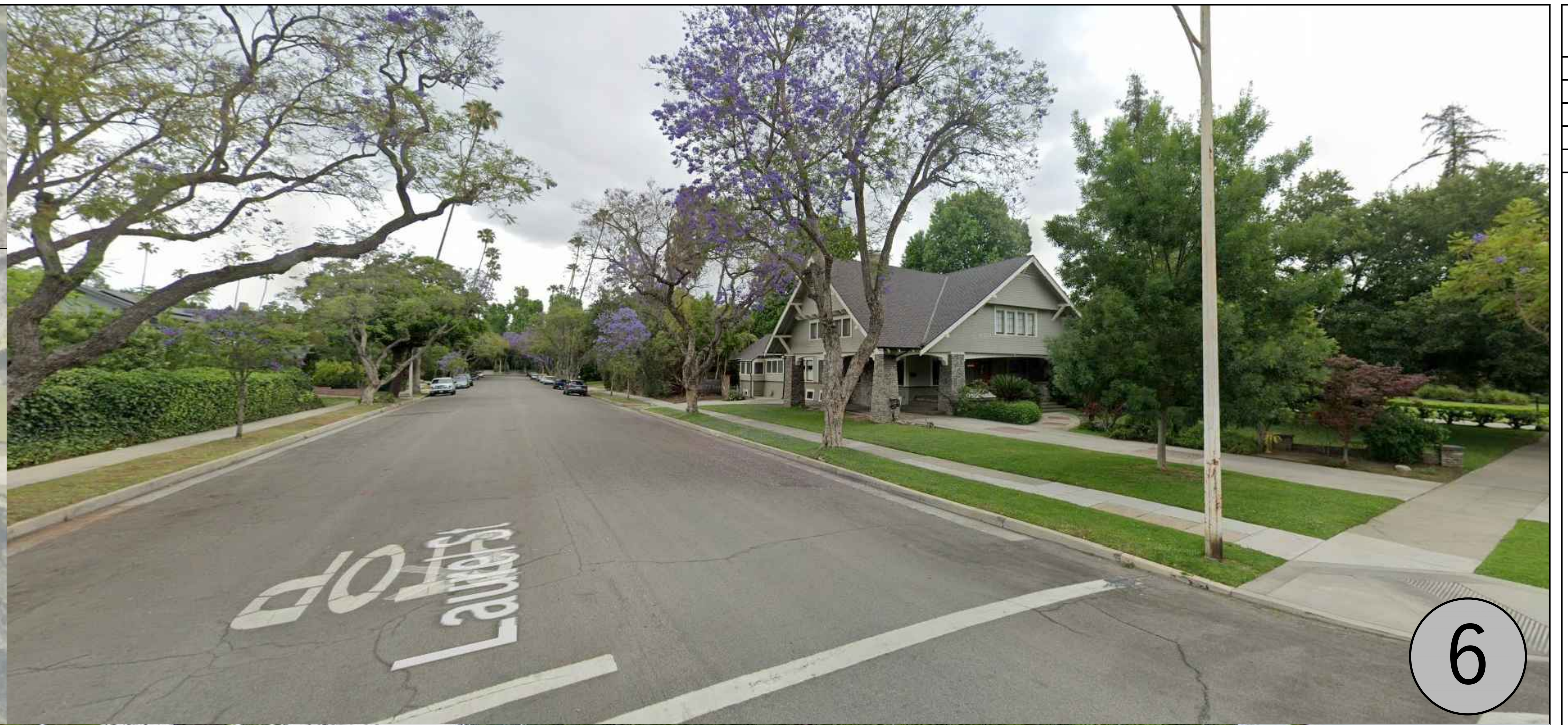
DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 admin@dahlarchitects.com



GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

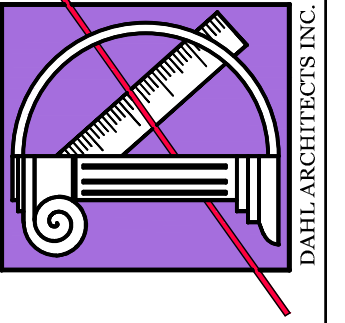
EXISTING SITE PHOTOS

Date	8/28/2024
Scale	AS NOTED
Drawn	APD
Job	
Sheet	A-1A



REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 dahl@dahllarchitects.com

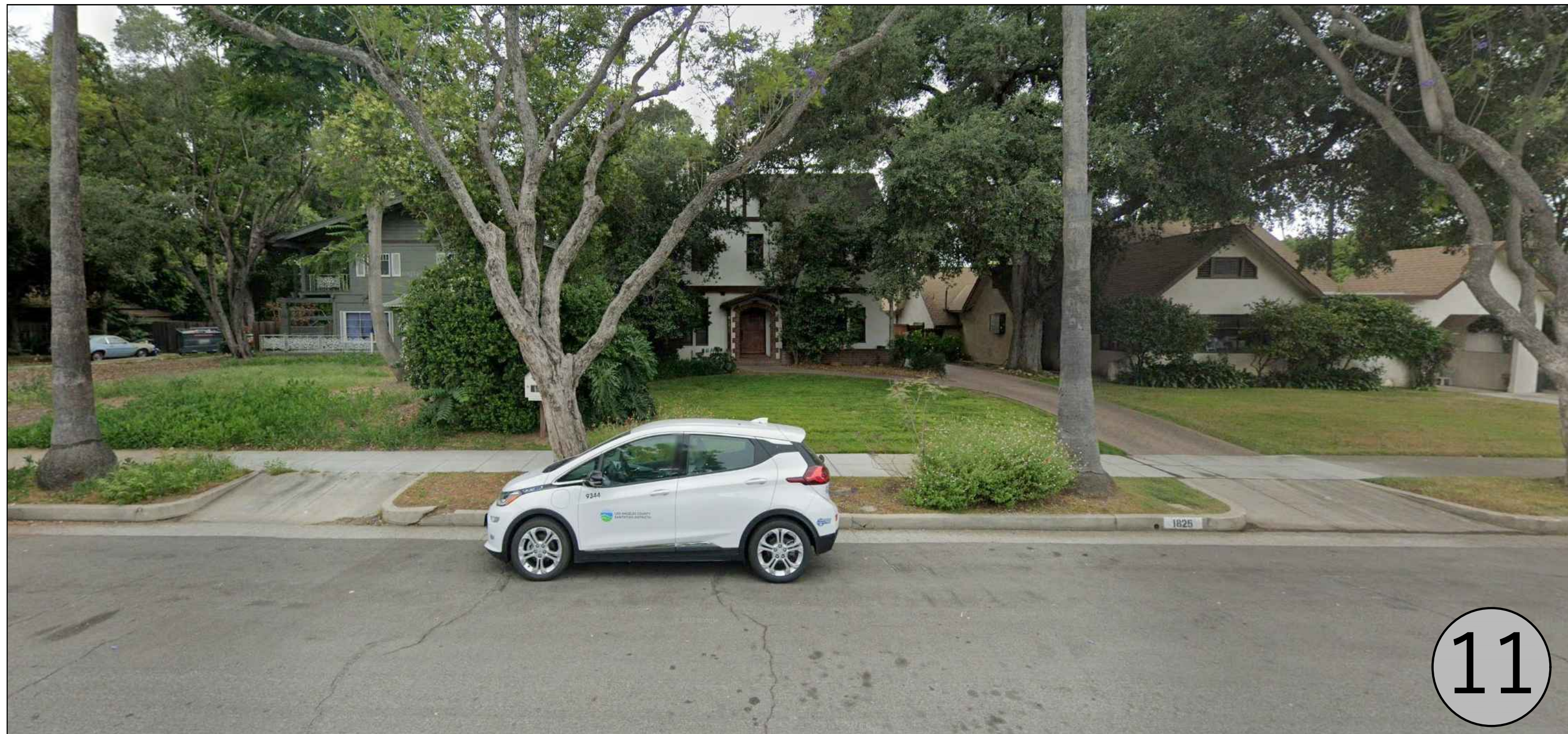


GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

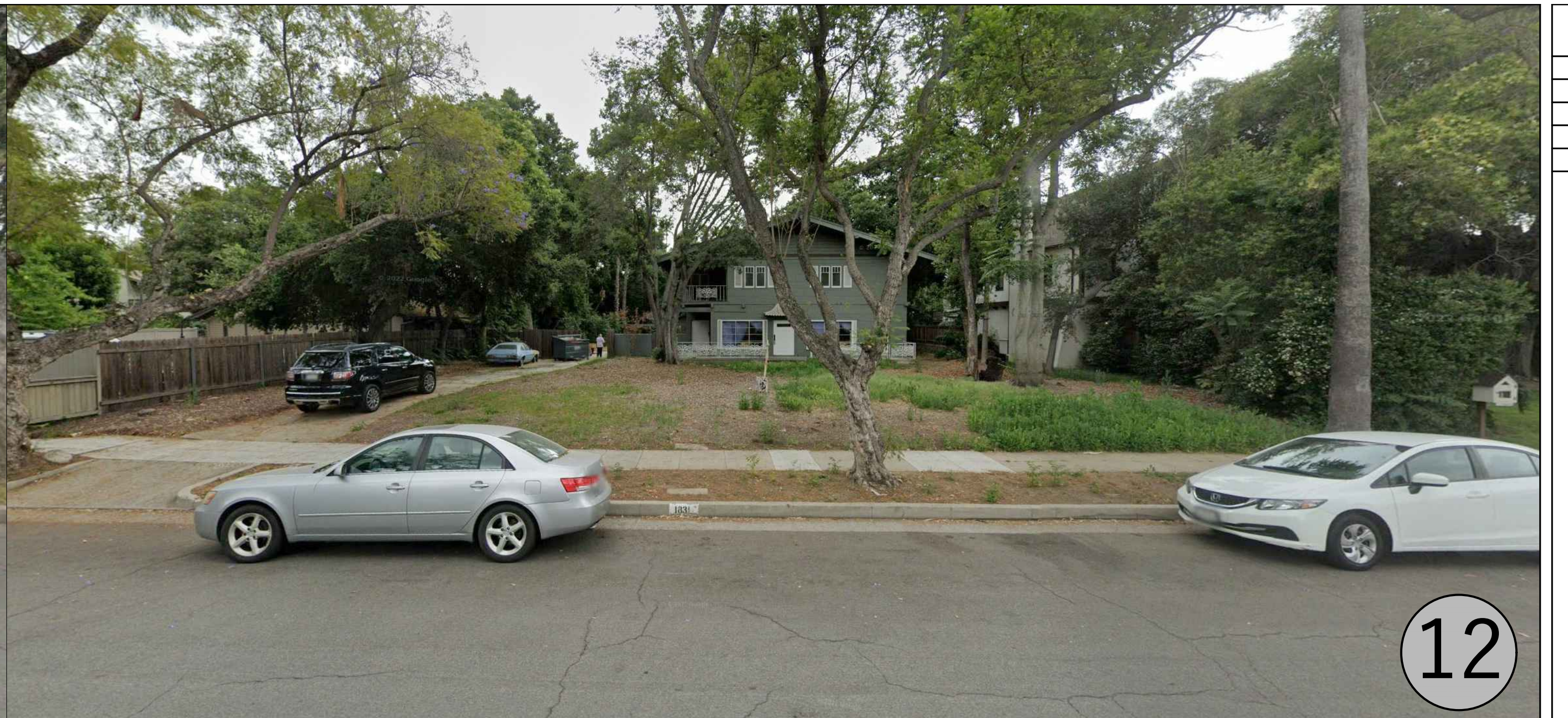
NEIGHBORHOOD CONTEXT PHOTOS

Date	8/28/2024
Scale	N.T.S.
Drawn	APD
Job	
Sheet	

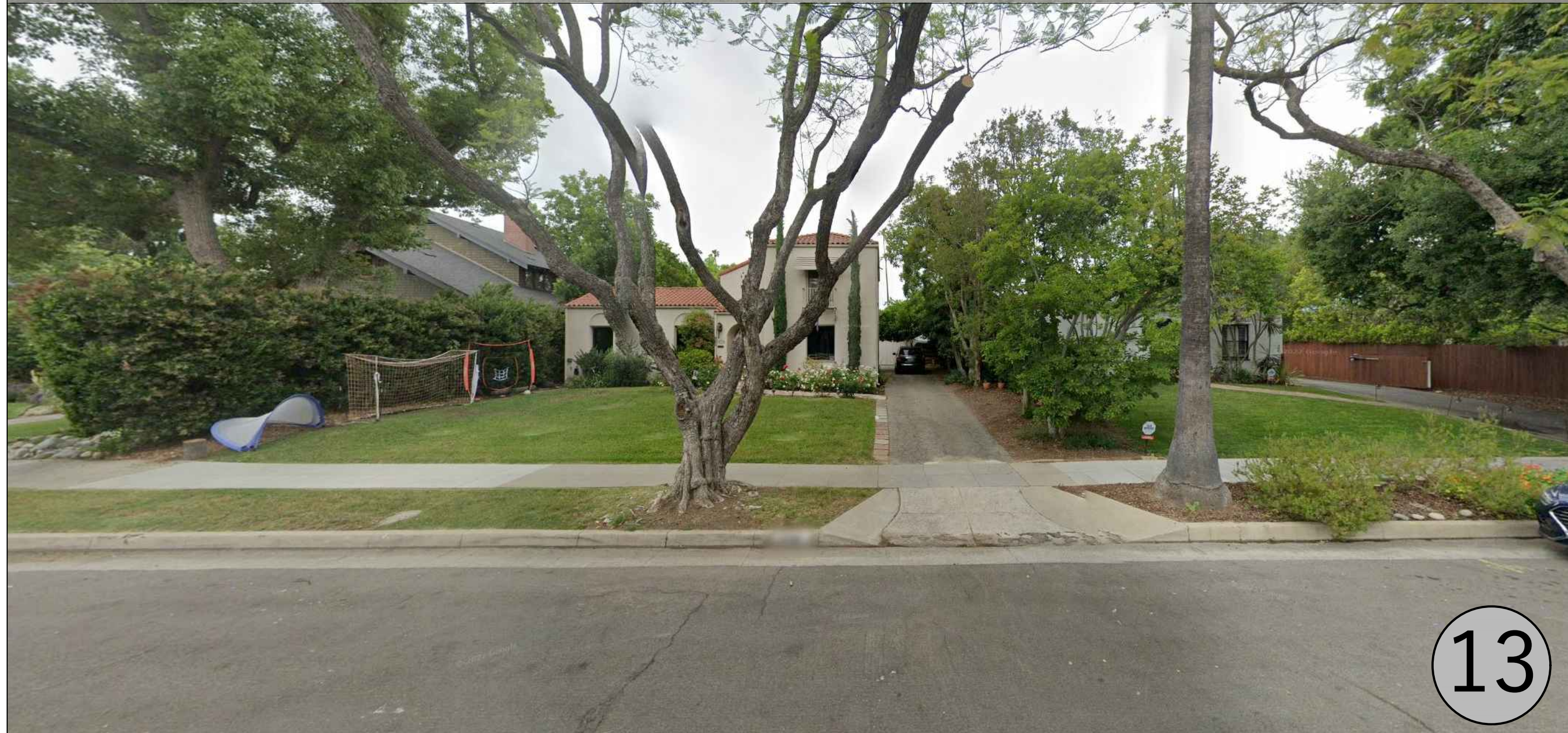
A-1B



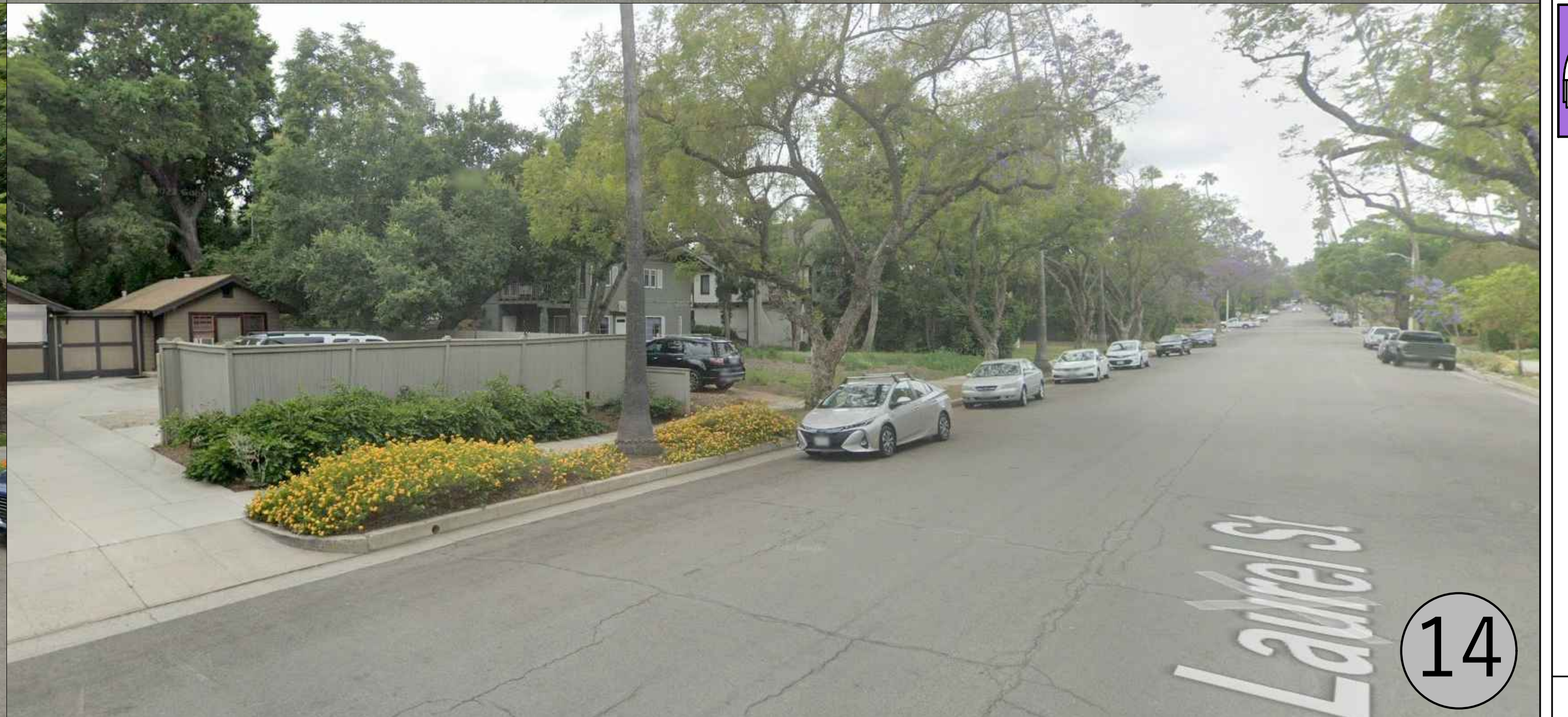
11



12



13



14



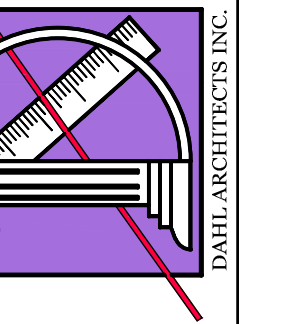
15



16

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adrian@dahlarchitects.com



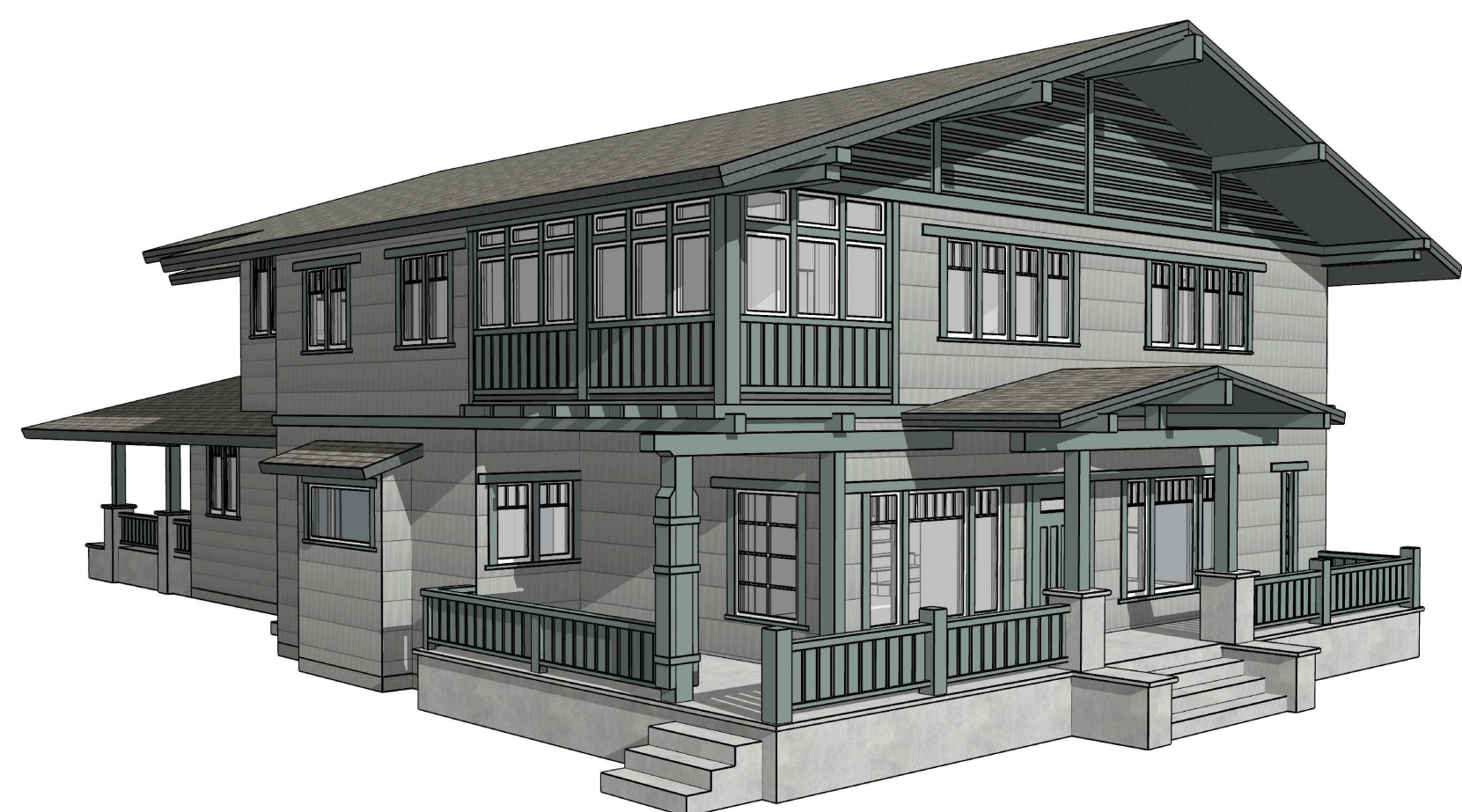
GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

NEIGHBORHOOD CONTEXT PHOTOS
(CONTINUED)

Date 8/28/2024
Scale N.T.S.
Drawn APD
Job
Sheet

A-1C

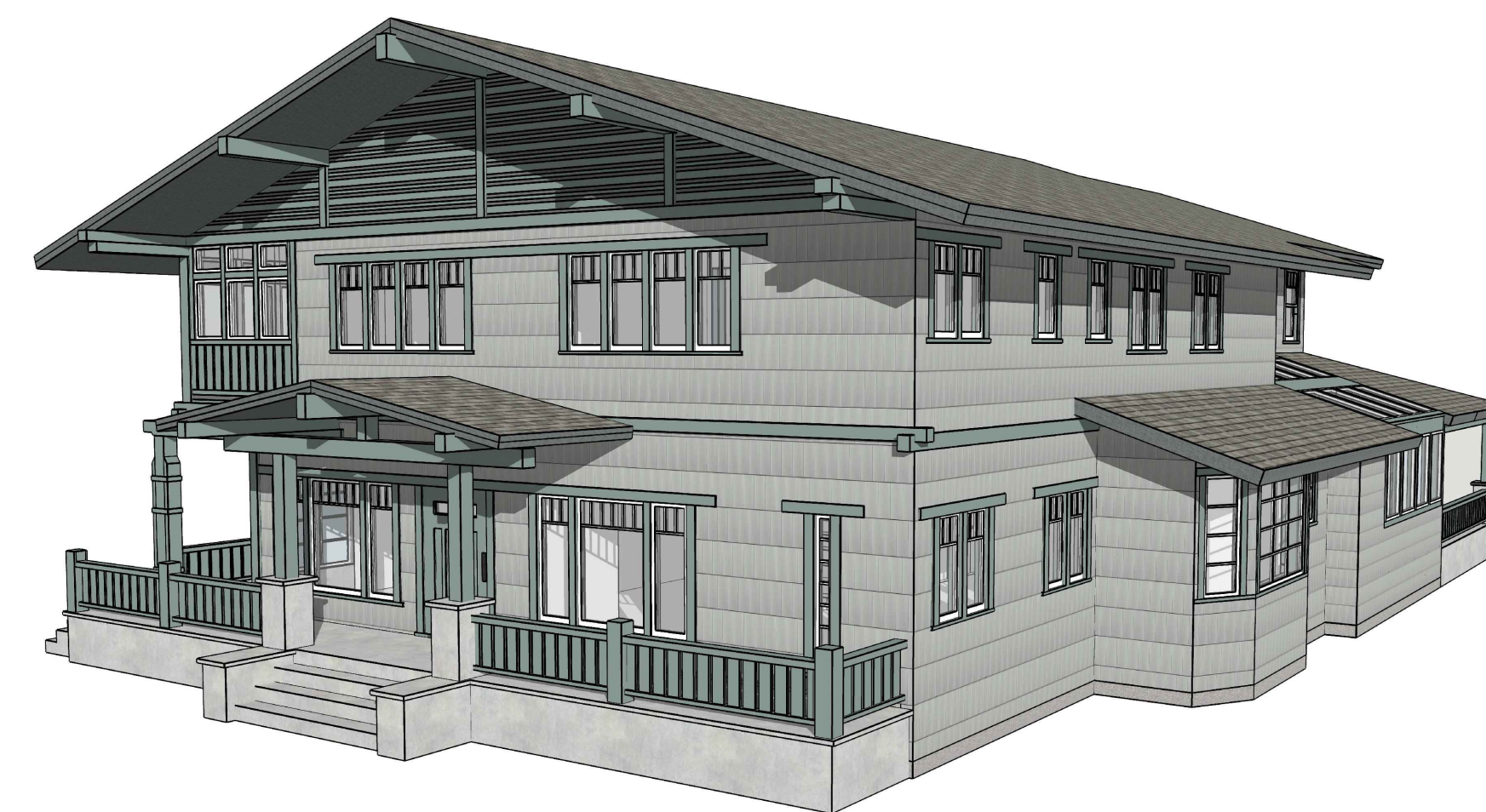
REV.	DATE



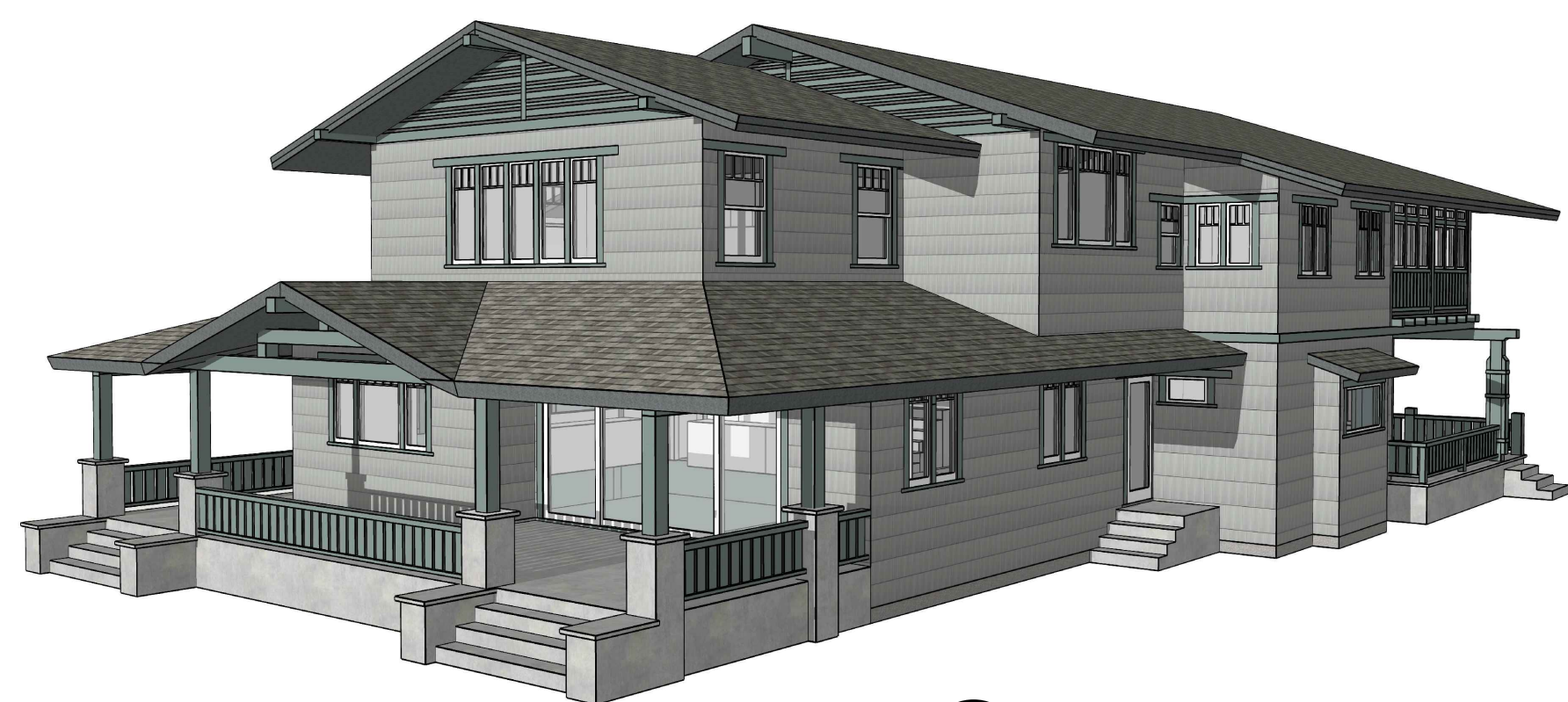
1 NORTHEAST CORNER
A-1D N.T.S.



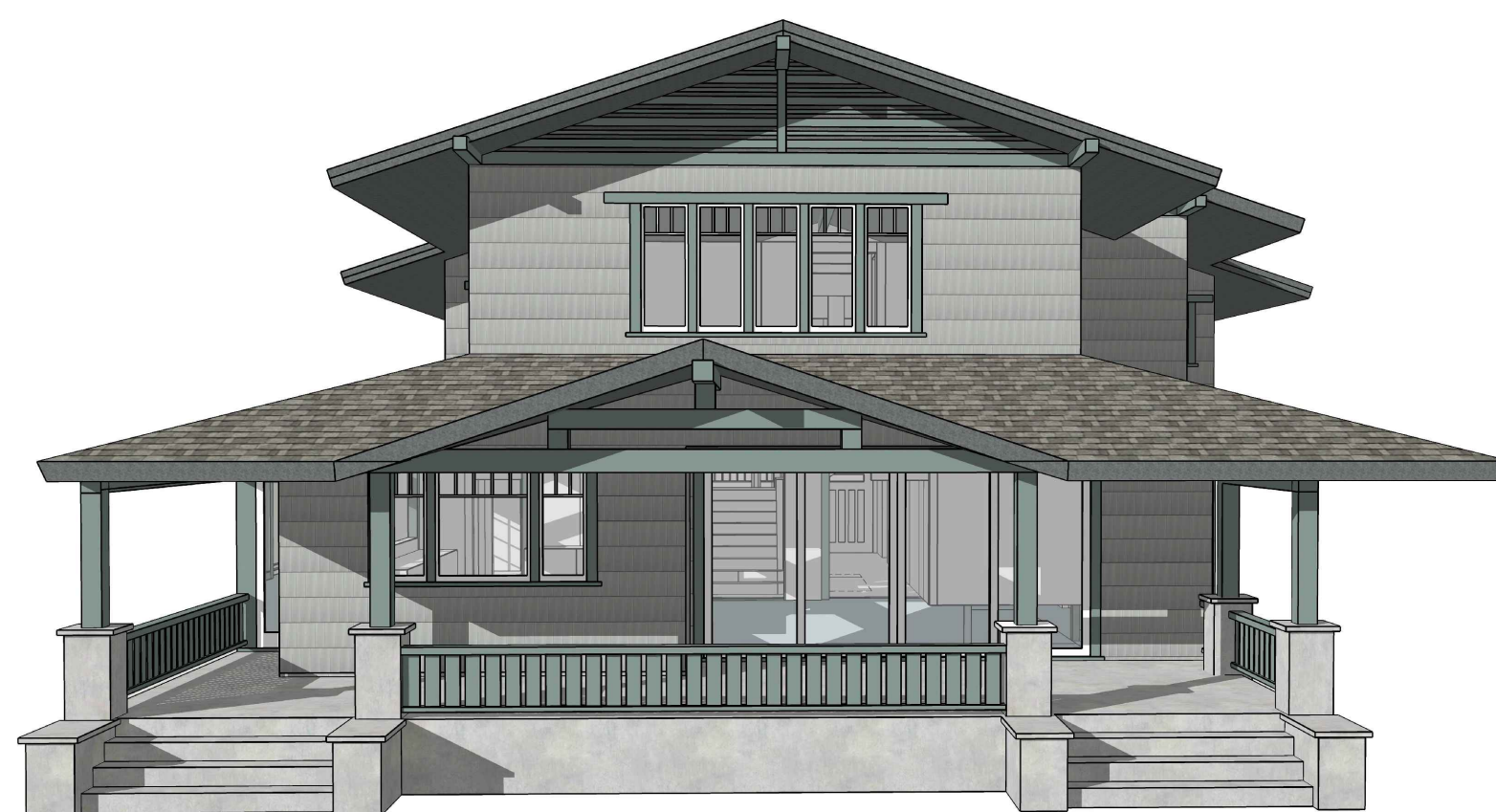
2 NORTH (FRONT)
A-1D N.T.S.



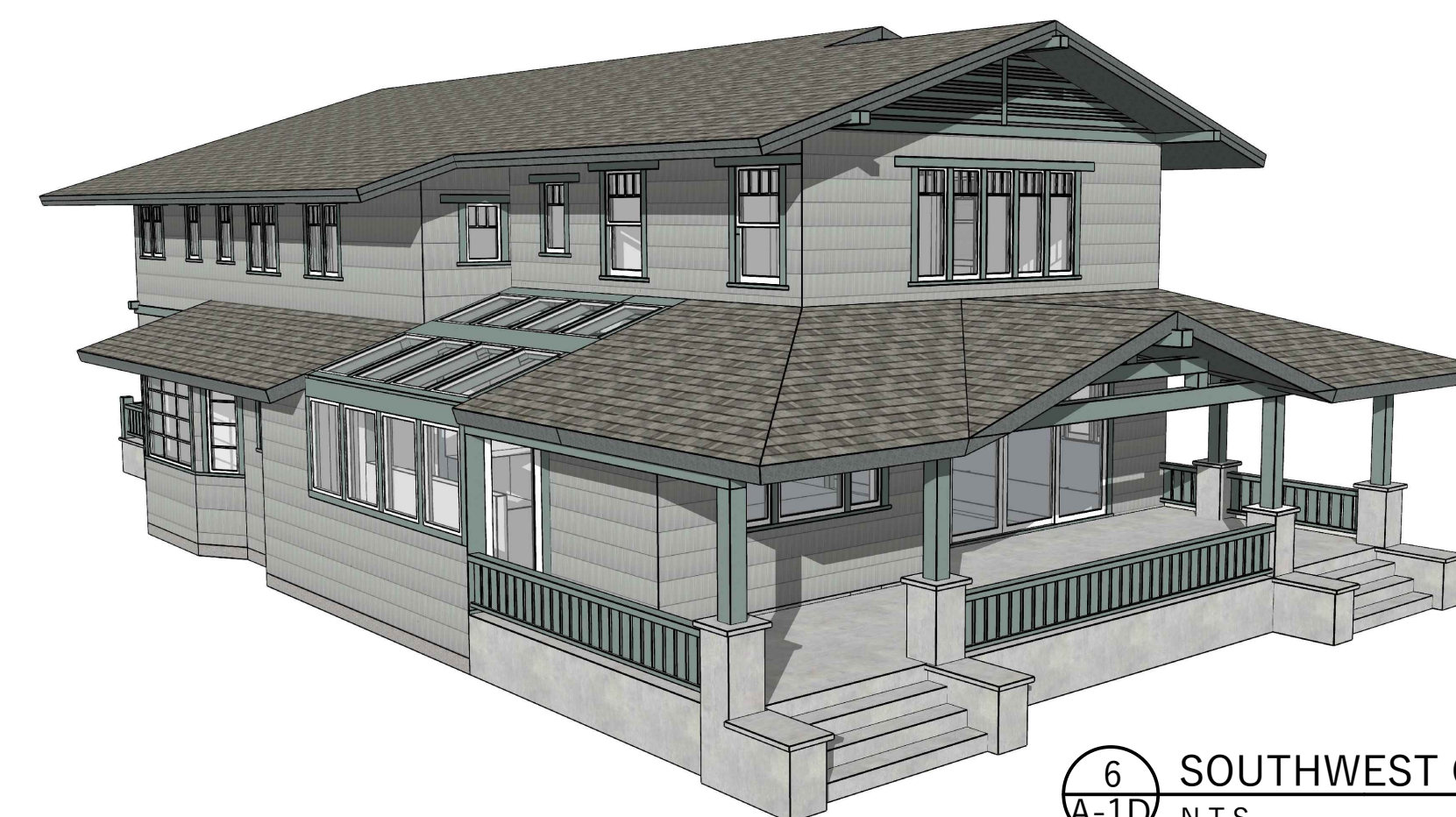
3 NORTHWEST CORNER
A-1D N.T.S.



4 SOUTHEAST CORNER
A-1D N.T.S.



5 SOUTH (REAR)
A-1D N.T.S.



6 SOUTHWEST CORNER
A-1D N.T.S.



7 EAST SIDE
A-1D N.T.S.

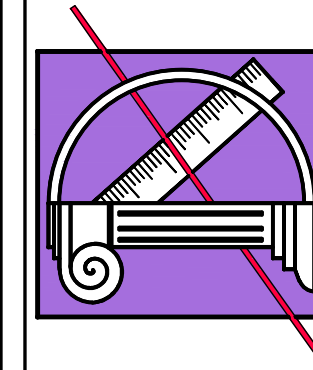


8 KITCHEN WINDOW
A-1D N.T.S.



9 WEST SIDE
A-1D N.T.S.

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 admin@dahlarchitects.com



GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

PROPOSED RENDERINGS

Date	8/28/2024
Scale	N.T.S.
Drawn	APD
Job	
Sheet	

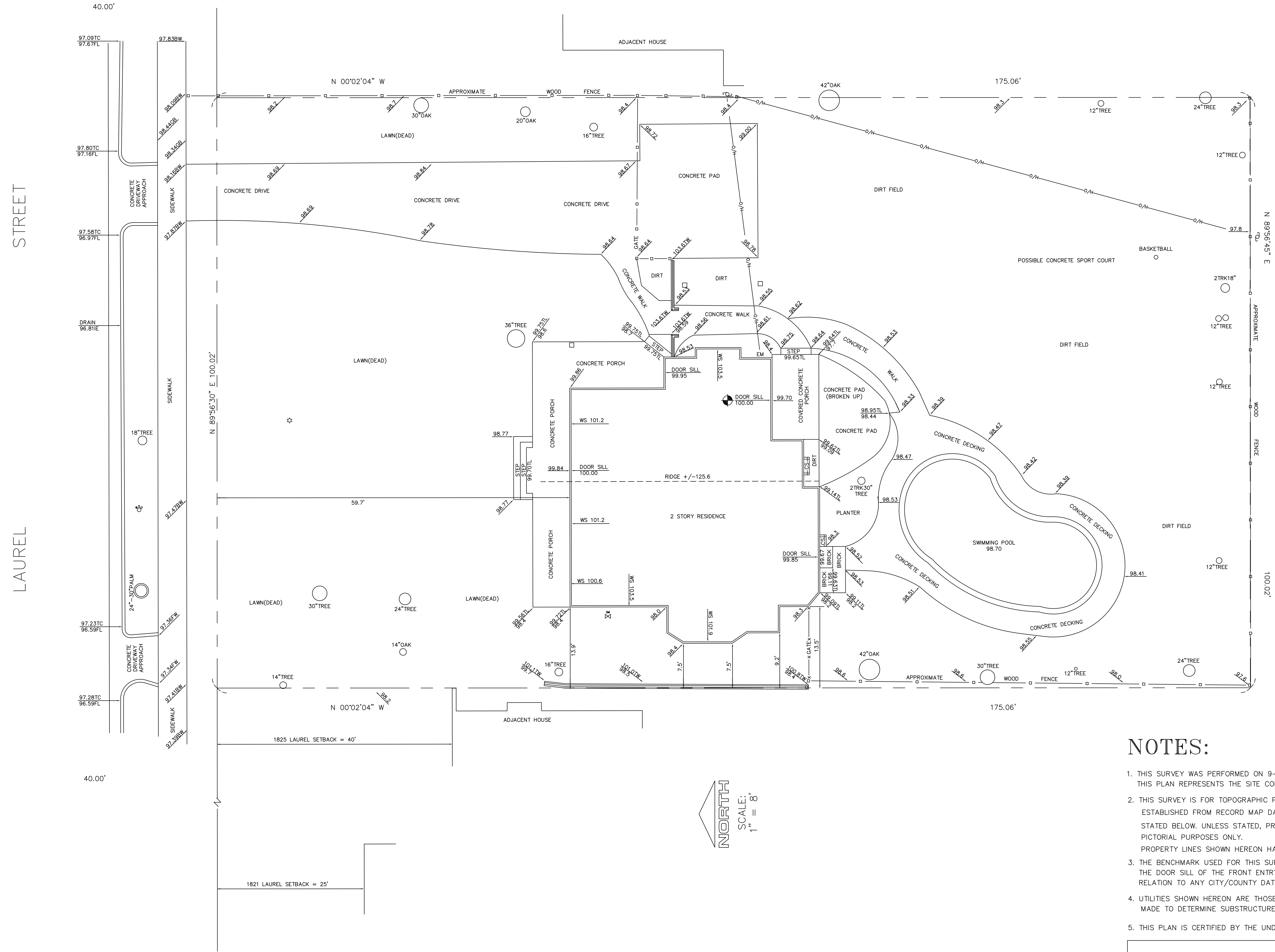
A-1D

NOTE: RENDERINGS ARE FOR VISUAL REFERENCE ONLY, REFER TO PLANS FOR SPECIFIC INFORMATION INCLUDING COLORS, MATERIALS, DIMENSIONS, LANDSCAPING, OR ANYTHING ELSE SHOWN IN THESE IMAGES.

LEGEND

AC	ASPHALT
A-C	AIR CONDITIONER
BW	BACK OF WALK
CB	CATCH BASIN
CE	CHINESE ELM
CS	CRAWL SPACE
CONC	CONCRETE
DS	DOWN SPOUT
EG	EDGE GUTTER
EM	ELECTRIC METER
EP	EDGE PAVEMENT
EUC	EUCALYPTUS
FIN FLR	FINISH FLOOR
FL	FLOW LINE
GB	GRADE BREAK
GM	GAS METER
IP	IRON PIPE
L/TG	LEAD/TAG
LA	LIQUID AMBER
MAG	MAGNOLIA
PA	PLANTER AREA
P/L	PROPERTY LINE
PP	POWER POLE
SCO	SEWER CLEAN OUT
SYC	SYCAMORE
TC	TOP OF CURB
TG	TOP OF GRATE
TL	TOP OF LANDING
TSTP	TOP OF STEP
TW	TOP OF WALL
WH	WATER HEATER
WM	WATER METER
WS	WINDOW SILL

CENTERLINE	
PROPERTY LINE	
WIRE FENCE	
WOOD FENCE	
IRON FENCE	
OVERHEAD	
FLAGSTONE	
MASONRY WALL	
STONE WALL	
GRASS LINE	
WATER VALVE	
WATER METER	
GAS METER	
FLOW PATH	
POWER POLE	
GUY WIRE	
BENCHMARK	
STORM DRAIN	
SEWER MH	
SEWER CLEAN OUT	
STREET SIGN	
AREA, STREET LIGHT	
DOWNSPOUT	



NOTES:

- THIS SURVEY WAS PERFORMED ON 9-20-2023 AT THE REQUEST OF MARK GHALY. THIS PLAN REPRESENTS THE SITE CONDITIONS OF THAT DAY.
- THIS SURVEY IS FOR TOPOGRAPHIC PURPOSES ONLY. PROPERTY LINES SHOWN HEREON WERE ESTABLISHED FROM RECORD MAP DATA UNLESS "PRECISE PROPERTY LINES ESTABLISHED" IS STATED BELOW. UNLESS STATED, PROPERTY LINES SHOWN HEREON ARE SHOWN FOR PICTORIAL PURPOSES ONLY. PROPERTY LINES SHOWN HEREON HAVE BEEN PRECISELY ESTABLISHED. NO CORNERS SET.
- THE BENCHMARK USED FOR THIS SURVEY WAS ASSUMED TO BE 100.00 AT THE DOOR SILL OF THE FRONT ENTRY DOOR AS SHOWN HEREON. IT HAS NO RELATION TO ANY CITY/COUNTY DATUM.
- UTILITIES SHOWN HEREON ARE THOSE VISIBLE ABOVE GROUND. NO ATTEMPT WAS MADE TO DETERMINE SUBSTRUCTURE UTILITY LINES.
- THIS PLAN IS CERTIFIED BY THE UNDERSIGNED ONLY IF "WET" STAMPED AND SIGNED.



Ron Martinez

LEGAL DESCRIPTION: LOT 5 BLK H ONEONTA PARK, MB 4/93-94
 APN: 5320 022 005
 LOT AREA: 17,509.6 SF

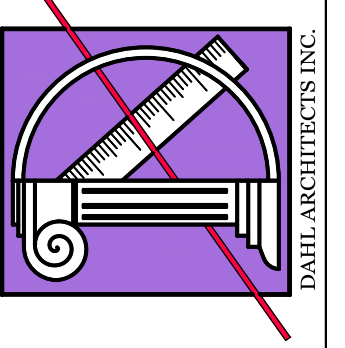
DRAWN BY ACAD	RM LAND SURVEYING LAND SURVEYING~CIVIL ENGINEERING~DEVELOPMENT/CONSTRUCTION SERVICES P.O. BOX 1382, DUARTE, CA, VOICE/FAX 626 256 9047 EMAIL: RMLANDSURVEY@MSN.COM
SURVEY DATE 9-20-2023	
PROJECT NO. GHALY	

GHALY RESIDENCE
1831 LAUREL STREET
SOUTH PASADENA, CALIFORNIA

TOPOGRAPHIC SURVEY

REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 admin@dahlarchitects.com

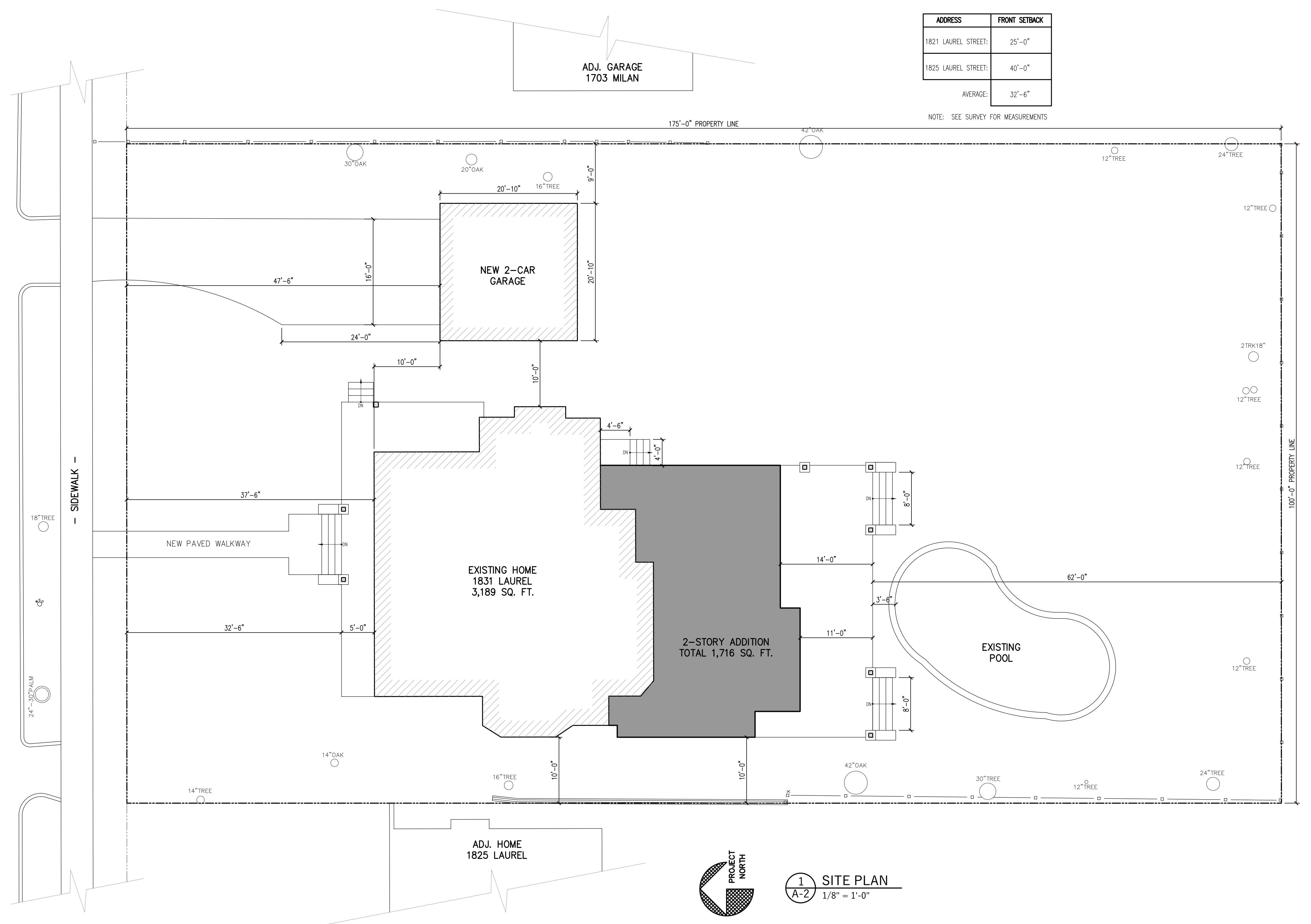


GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

SITE PLAN

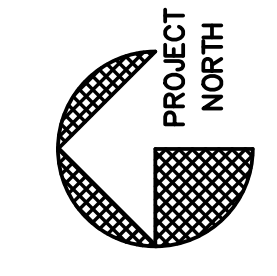
Date	8/28/2024
Scale	1/8"=1'-0"
Drawn	APD
Job	
Sheet	

A-2



ADDRESS	FRONT SETBACK
1821 LAUREL STREET:	25'-0"
1825 LAUREL STREET:	40'-0"
AVERAGE:	32'-6"

NOTE: SEE SURVEY FOR MEASUREMENTS



1 SITE PLAN
 A-2 1/8" = 1'-0"

SEE TOPOGRAPHIC SURVEY FOR EXISTING SITE INFORMATION
 (SURVEY WAS COMPLETED PRIOR TO HOME BEING MOVED 22'-3"
 NORTH AND 2'-5" EAST PER CHR24-0005 AND SP-BLD24-0191)

WINDOW SCHEDULE

	SIZE (W X H)	TYPE	FRAME	LITES	SILL HEIGHT	QUANTITY	NEW OR EXISTING	SAFETY GLAZING	NOTES
(A)	0'-9"W X 6'-0"H	FIXED	WOOD	7	0'-8"	1	EXISTING	NO	
(B)	3'-8"W X 5'-3"H	FIXED	WOOD	12	1'-5"	1	EXISTING	NO	
(C)	2'-0"W X 5'-4"H	FIXED	WOOD	4	2'-0"	2	EXISTING	NO	
(D)	7'-0"W X 5'-4"H	FIXED	WOOD	12	2'-0"	1	EXISTING	NO	
(E)	6'-10"W X 2'-8"H	FIXED	WOOD	NONE	3'-8"	1	EXISTING	NO	
(F)	1'-10"W X 4'-0"H	CASEMENT	WOOD	3 AT TOP	2'-6"	4	EXISTING	NO	
(Fi)	1'-10"W X 4'-0"H	CASEMENT	CLAD	3 AT TOP	2'-6"	16	NEW	SEE PLAN	NEW CLAD WINDOWS TO MATCH EXISTING "F"
(G)	1'-10"W X 3'-6"H	CASEMENT	WOOD	3 AT TOP	3'-0"	4	EXISTING	NO	
(Gi)	1'-10"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	5	NEW	NO	NEW WINDOWS TO MATCH ORIGINAL "G" WINDOWS
(H)	1'-6"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	2	NEW	NO	NEW WINDOWS IN EXISTING OPENINGS
(J)	1'-10"W X 5'-0"H	CASEMENT	CLAD	3 AT TOP	VARIES	17	NEW	SEE PLAN	SEE FLOORPLANS FOR VARYING SILL HEIGHTS
(K)	3'-8"W X 5'-0"H	FIXED	CLAD	3 AT TOP	VARIES	4	NEW	YES	8'-0" WIDE SET WITH "J" WINDOWS EA. SIDE
(L)	2'-0"W X 3'-0"H	CASEMENT	CLAD	3 AT TOP	3'-8"	2	NEW	NO	
(M)	2'-6"W X 1'-6"H	AWNING	CLAD	NONE	5'-6"	1	NEW	NO	GUEST BATHROOM HIGH WINDOW
(N)	2'-6"W X 3'-6"H	DOUBLE HUNG	CLAD	3 AT TOP	3'-2"	1	NEW	NO	
(O)	3'-0"W X 4'-6"H	FIXED	CLAD	NONE	3'-0"	4	NEW	YES	CONSERVATORY STYLE WINDOWS IN KITCHEN
(P)	3'-0"W X 5'-0"H	DOUBLE HUNG	CLAD	3 AT TOP	2'-0"	4	NEW	NO	PRIMARY BEDROOM WINDOWS
(Q)	2'-2"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	6	NEW	YES	FROSTED GLASS
(Qi)	2'-2"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	6	NEW	NO	ABOVE "Q" WINDOWS
(R)	2'-3½"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	3	NEW	YES	FROSTED GLASS
(Ri)	2'-3½"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	3	NEW	NO	ABOVE "R" WINDOWS

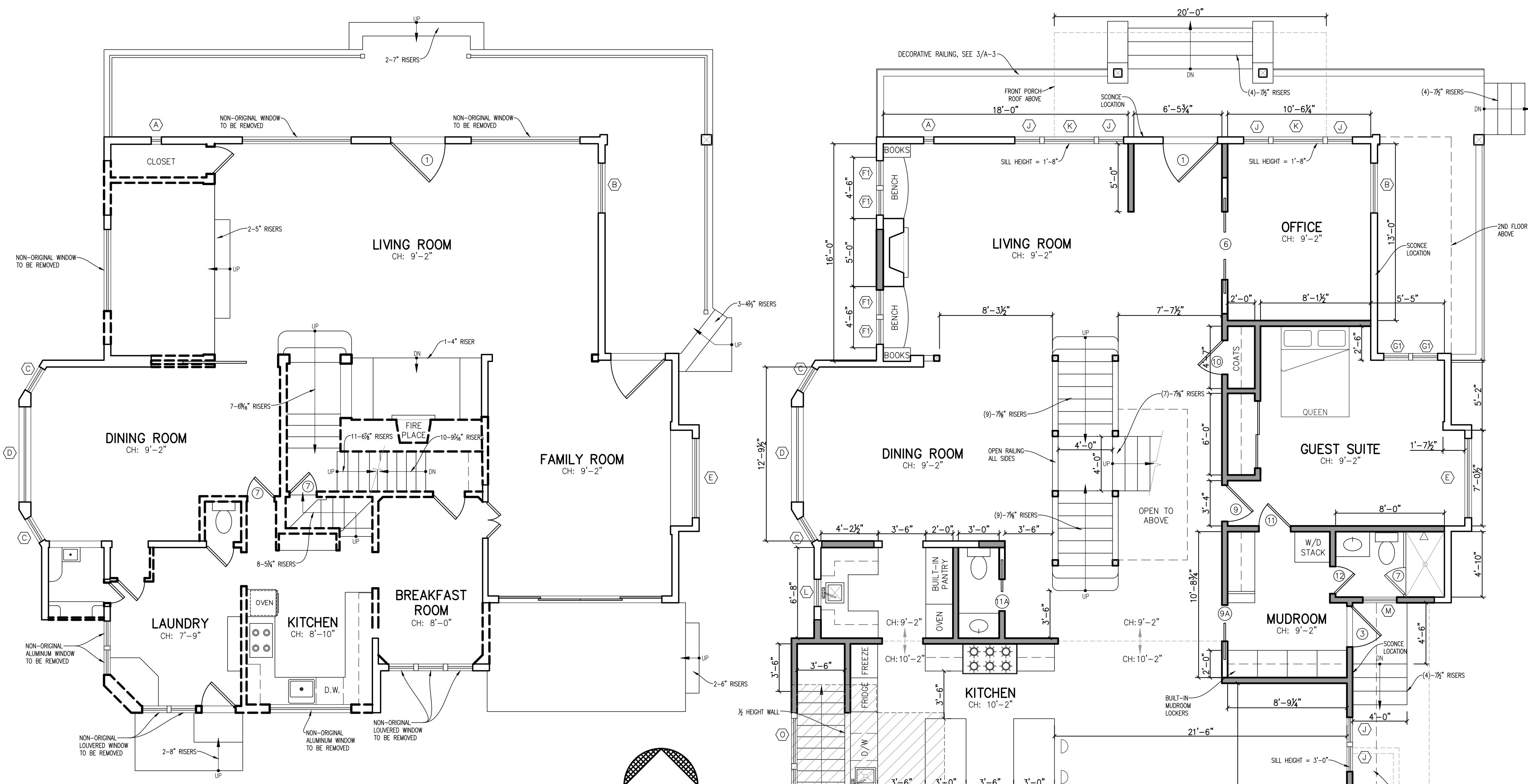
DOOR SCHEDULE

	SIZE (W X H)	DOOR FACE	MATERIAL	TYPE	LOCATION	QUANTITY	NEW OR EXISTING	NOTES
(1)	4'-0"W X 6'-8"H	PANEL	WOOD	SWING	EXTERIOR	1	EXISTING	EXISTING FRONT DOOR, SWING SIDE AND HARDWARE REVERSED
(2)	4'-0"W X 6'-6"H	FRENCH	WOOD	SWING	*INTERIOR	2 SETS	EXISTING	EXISTING SLEEPING PORCH DOORS, WILL NOW BE INTERIOR DUE TO INFILL
(3)	3'-0"W X 7'-6"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	
(4)	16'-0"W X 8'-0"H	FRENCH	CLAD	SLIDING	EXTERIOR	1 SET	NEW	OVERSIZED SLIDING DOOR WITH OPERABLE MIDDLE PORTION, FIXED ENDS
(5)	2'-8"W X 7'-0"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	PART OF CONSERVATORY STYLE KITCHEN WINDOW INSTALLATION
(6)	4'-0"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	1 SET	NEW	PAIR OF POCKET DOORS
(7)	2'-0"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	4	NEW	GLASS SHOWER DOORS
(8)	2'-6"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	1	NEW	GLASS SHOWER DOORS
(9)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	8	NEW	
(9A)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	POCKET	INTERIOR	1	NEW	
(10)	2'-6"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	3	NEW	
(10A)	2'-6"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(11)	2'-4"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	1	NEW	
(11A)	2'-4"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(12)	2'-0"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	2	NEW	

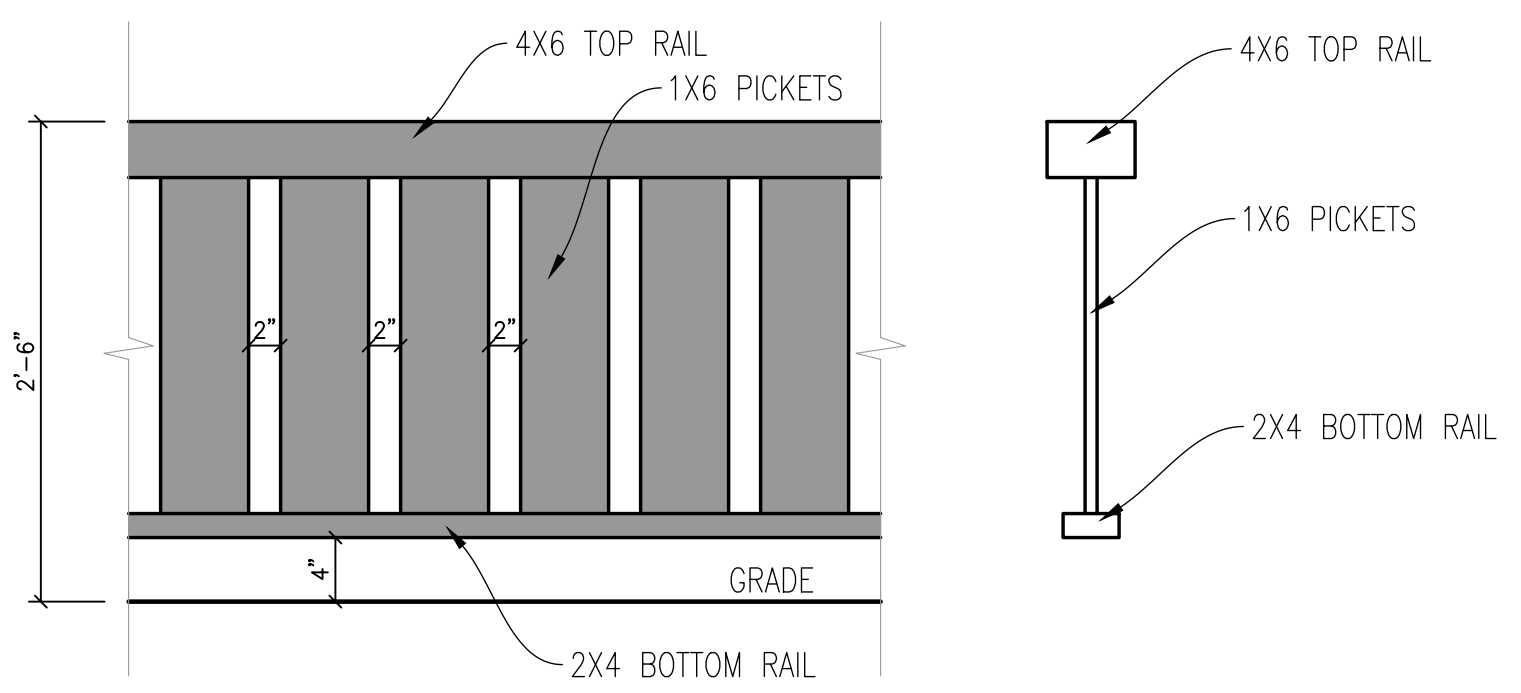
ALL NEW WINDOWS AND DOORS TO BE SIERRA PACIFIC CLAD
 PER TITLE 24 CALCULATIONS, ALL NEW WINDOWS TO HAVE MAX U-FACTOR OF 0.3 AND MAX SHGC OF 0.23

MAXIMUM FLOW RATE FOR LAVATORY FAUCETS: 1.2 GPM @ 60 PSI; MIN .8 GPM @ 20 PSI
 MAXIMUM FLOW RATE FOR KITCHEN FAUCETS: 1.8 GPM @ 60 PSI
 MAXIMUM FLOW RATE FOR SHOWERS: 1.8 GPM @ 80 PSI
 EFFECTIVE FLUSH VOLUME FOR TOILETS: 1.28 GALLONS PER FLUSH

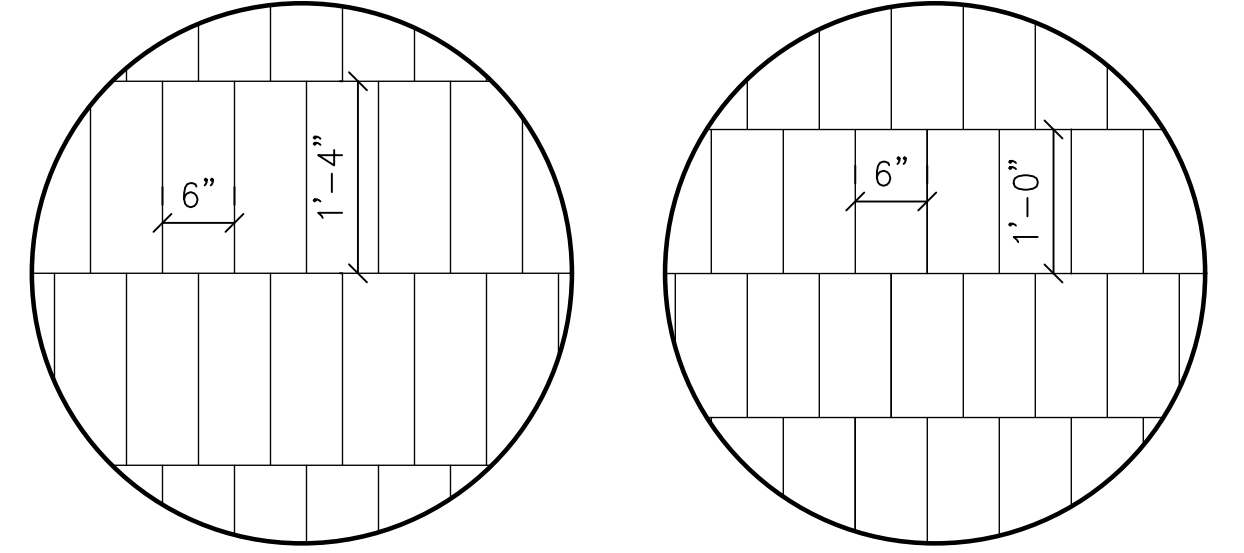
ALL NONCOMPLIANT PLUMBING FIXTURES TO SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES PRIOR TO FINAL INSPECTION



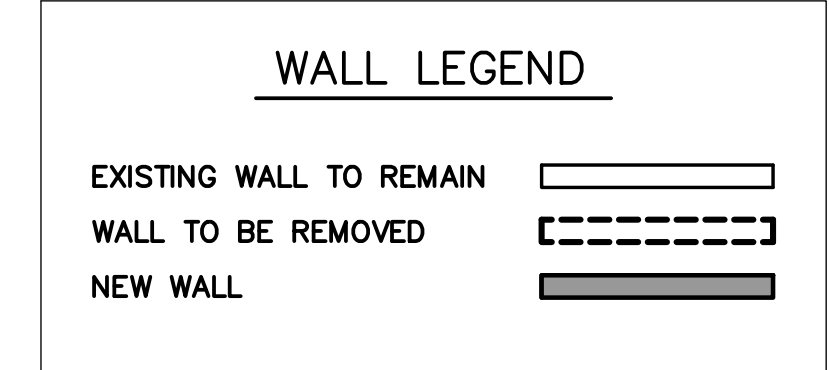
1 1ST FLOOR EXISTING/DEMO PLAN
 A-3 3/16" = 1'-0"



3 RAILING DETAILS
 A-3 1" = 1'-0"



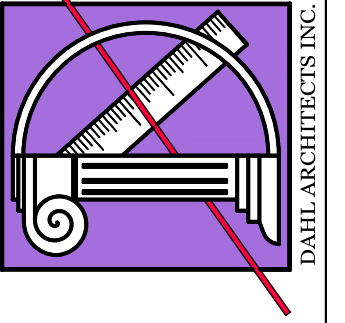
4 SHINGLE DETAILS
 A-3 3/4" = 1'-0"



2 1ST FLOOR PROPOSED FLOORPLAN
 A-3 3/16" = 1'-0"

REV.	DATE
------	------

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 info@dahlarchitects.com



GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

1ST FLOOR FLOORPLANS
 EXISTING AND PROPOSED

Date	8/28/2024
Scale	AS NOTED
Drawn	APD
Job	
Sheet	

A-3

WINDOW SCHEDULE

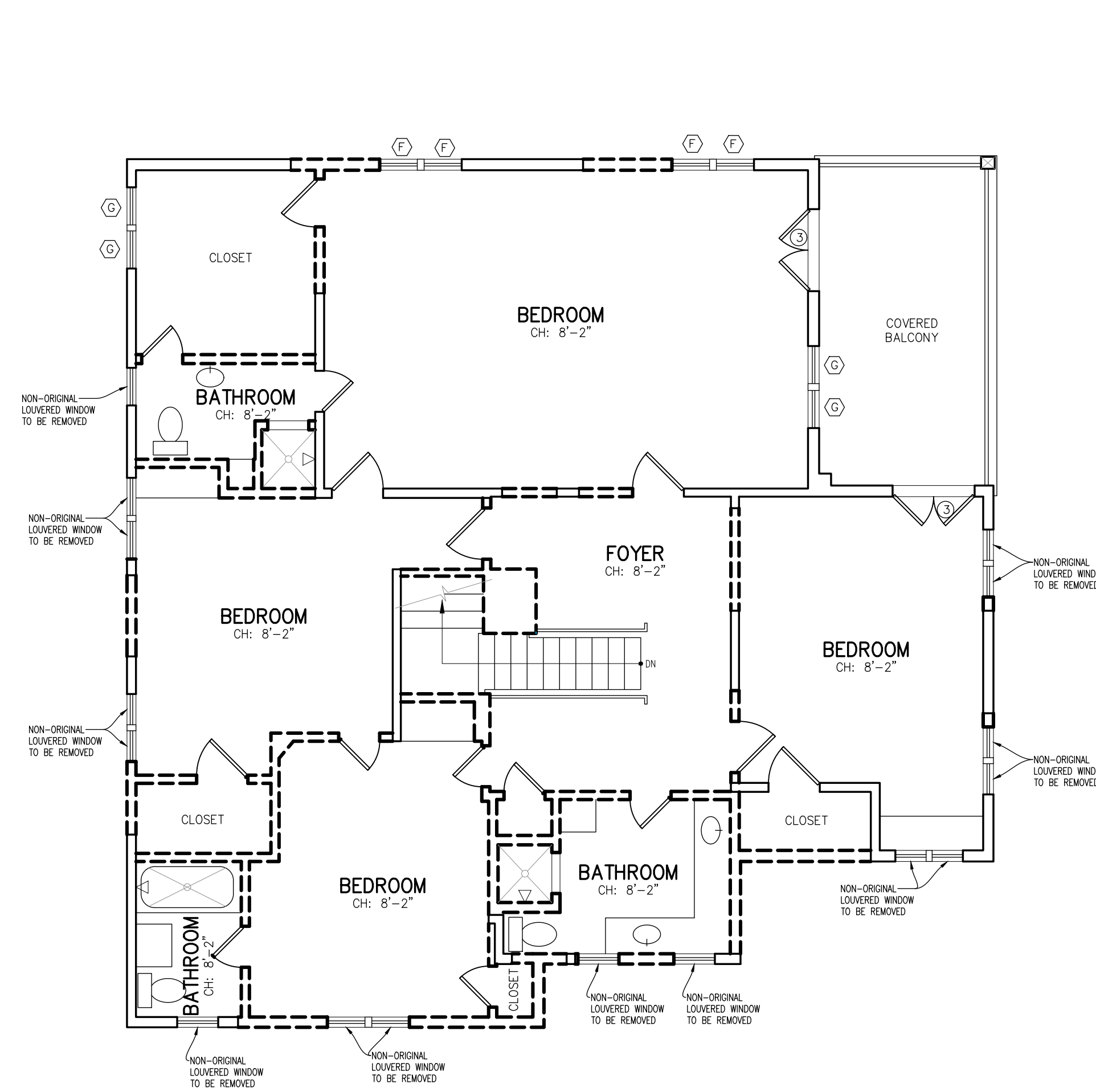
	SIZE (W X H)	TYPE	FRAME	LITES	SILL HEIGHT	QUANTITY	NEW OR EXISTING	SAFETY GLAZING	NOTES
(A)	0'-9"W X 6'-0"H	FIXED	WOOD	7	0'-8"	1	EXISTING	NO	
(B)	3'-8"W X 5'-3"H	FIXED	WOOD	12	1'-5"	1	EXISTING	NO	
(C)	2'-0"W X 5'-4"H	FIXED	WOOD	4	2'-0"	2	EXISTING	NO	
(D)	7'-0"W X 5'-4"H	FIXED	WOOD	12	2'-0"	1	EXISTING	NO	
(E)	6'-10"W X 2'-8"H	FIXED	WOOD	NONE	3'-8"	1	EXISTING	NO	
(F)	1'-10"W X 4'-0"H	CASEMENT	WOOD	3 AT TOP	2'-6"	4	EXISTING	NO	
(F1)	1'-10"W X 4'-0"H	CASEMENT	CLAD	3 AT TOP	2'-6"	16	NEW	SEE PLAN	NEW CLAD WINDOWS TO MATCH EXISTING "F"
(G)	1'-10"W X 3'-6"H	CASEMENT	WOOD	3 AT TOP	3'-0"	4	EXISTING	NO	
(G1)	1'-10"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	5	NEW	NO	NEW WINDOWS TO MATCH ORIGINAL "G" WINDOWS
(H)	1'-6"W X 3'-6"H	CASEMENT	CLAD	3 AT TOP	3'-0"	2	NEW	NO	NEW WINDOWS IN EXISTING OPENINGS
(J)	1'-10"W X 5'-0"H	CASEMENT	CLAD	3 AT TOP	VARIES	17	NEW	SEE PLAN	SEE FLOORPLANS FOR VARYING SILL HEIGHTS
(K)	3'-8"W X 5'-0"H	FIXED	CLAD	3 AT TOP	VARIES	4	NEW	YES	8'-0" WIDE SET WITH "J" WINDOWS EA. SIDE
(L)	2'-0"W X 3'-0"H	CASEMENT	CLAD	3 AT TOP	3'-8"	2	NEW	NO	
(M)	2'-6"W X 1'-6"H	AWNING	CLAD	NONE	5'-6"	1	NEW	NO	GUEST BATHROOM HIGH WINDOW
(N)	2'-6"W X 3'-6"H	DOUBLE HUNG	CLAD	3 AT TOP	3'-2"	1	NEW	NO	
(O)	3'-0"W X 4'-6"H	FIXED	CLAD	NONE	3'-0"	4	NEW	YES	CONSERVATORY STYLE WINDOWS IN KITCHEN
(P)	3'-0"W X 5'-0"H	DOUBLE HUNG	CLAD	3 AT TOP	2'-0"	4	NEW	NO	PRIMARY BEDROOM WINDOWS
(Q)	2'-2"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	6	NEW	YES	FROSTED GLASS
(Q1)	2'-2"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	6	NEW	NO	ABOVE "Q" WINDOWS
(R)	2'-3½"W X 3'-0"H	FIXED	CLAD	NONE	2'-10"	3	NEW	YES	FROSTED GLASS
(R1)	2'-3½"W X 1'-6"H	AWNING	CLAD	NONE	6'-2"	3	NEW	NO	ABOVE "R" WINDOWS

DOOR SCHEDULE

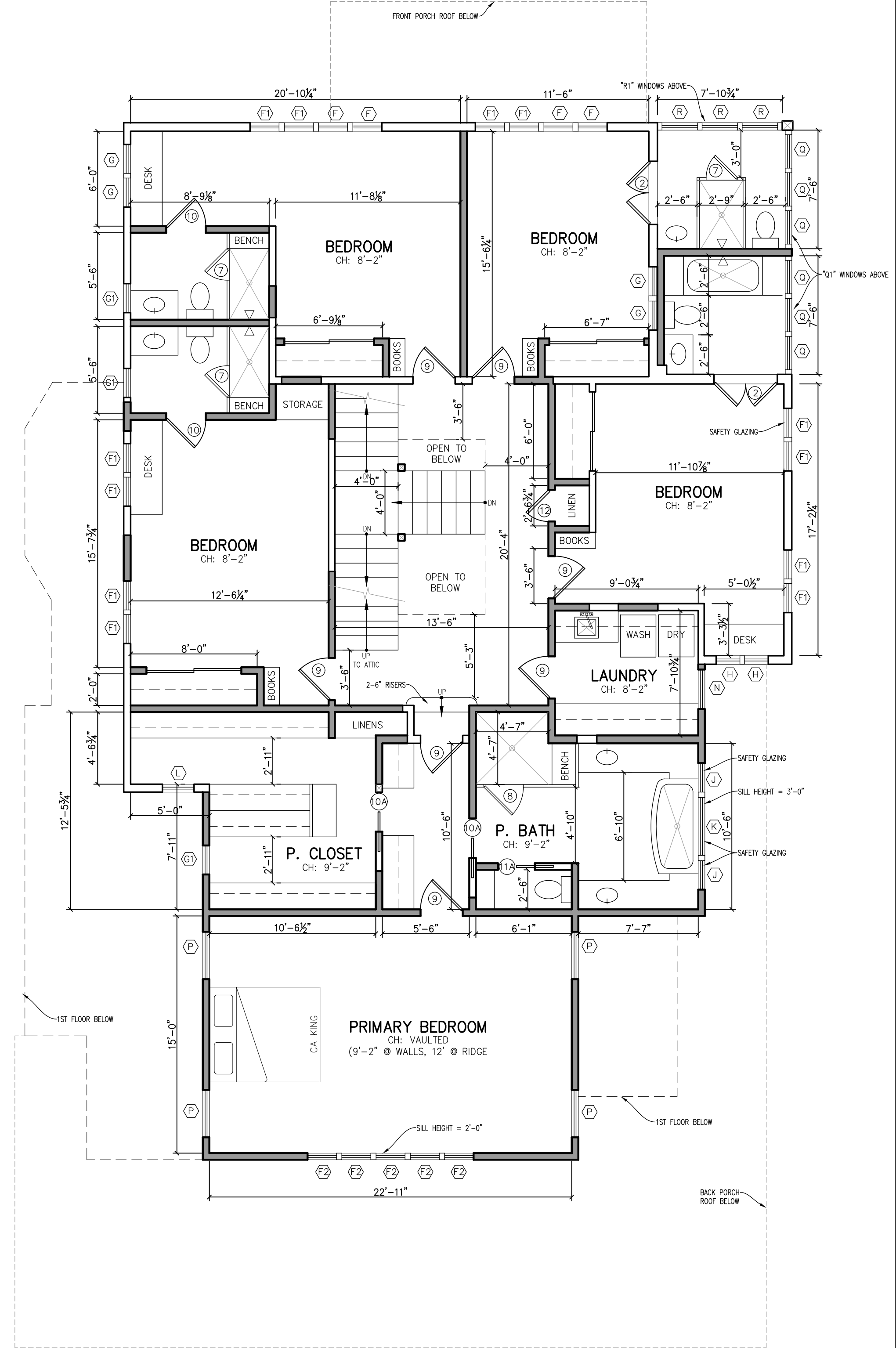
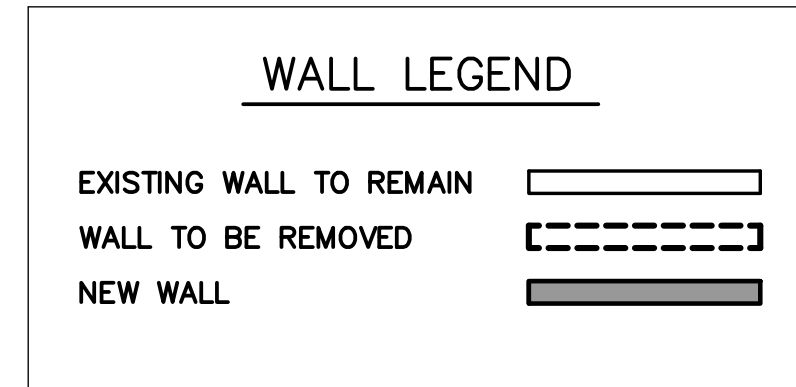
	SIZE (W X H)	DOOR FACE	MATERIAL	TYPE	LOCATION	QUANTITY	NEW OR EXISTING	NOTES
(1)	4'-0"W X 6'-8"H	PANEL	WOOD	SWING	EXTERIOR	1	EXISTING	EXISTING FRONT DOOR, SWING SIDE AND HARDWARE REVERSED
(2)	4'-0"W X 6'-6"H	FRENCH	WOOD	SWING	*INTERIOR	2 SETS	EXISTING	EXISTING SLEEPING PORCH DOORS, WILL NOW BE INTERIOR DUE TO INFILL
(3)	3'-0"W X 7'-6"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	
(4)	16'-0"W X 8'-0"H	FRENCH	CLAD	SLIDING	EXTERIOR	1 SET	NEW	OVERSIZED SLIDING DOOR WITH OPERABLE MIDDLE PORTION, FIXED ENDS
(5)	2'-8"W X 7'-0"H	FRENCH	CLAD	SWING	EXTERIOR	1	NEW	PART OF CONSERVATORY STYLE KITCHEN WINDOW INSTALLATION
(6)	4'-0"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	1 SET	NEW	PAIR OF POCKET DOORS
(7)	2'-0"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	4	NEW	GLASS SHOWER DOORS
(8)	2'-6"W X 6'-0"H	GLASS	GLASS	SWING	INTERIOR	1	NEW	GLASS SHOWER DOORS
(9)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	8	NEW	
(9A)	2'-8"W X 6'-8"H	PANEL	WOOD/CORE	POCKET	INTERIOR	1	NEW	
(10)	2'-6"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	3	NEW	
(10A)	2'-6"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(11)	2'-4"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	1	NEW	
(11A)	2'-4"W X 6'-8"H	FLUSH	WOOD/CORE	POCKET	INTERIOR	2	NEW	
(12)	2'-0"W X 6'-8"H	PANEL	WOOD/CORE	SWING	INTERIOR	2	NEW	

ALL NEW WINDOWS AND DOORS TO BE SIERRA PACIFIC CLAD

PER TITLE 24 CALCULATIONS, ALL NEW WINDOWS TO HAVE MAX U-FACTOR OF 0.3 AND MAX SHGC OF 0.23



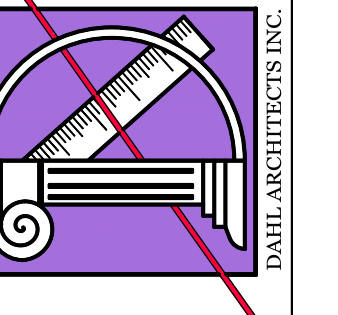
1 2ND FLOOR EXISTING/DEMO PLAN
3/16" = 1'-0"



2 2ND FLOOR PROPOSED FLOORPLAN
3/16" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(656) 564-0011 adham@dahlarchitects.com



GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

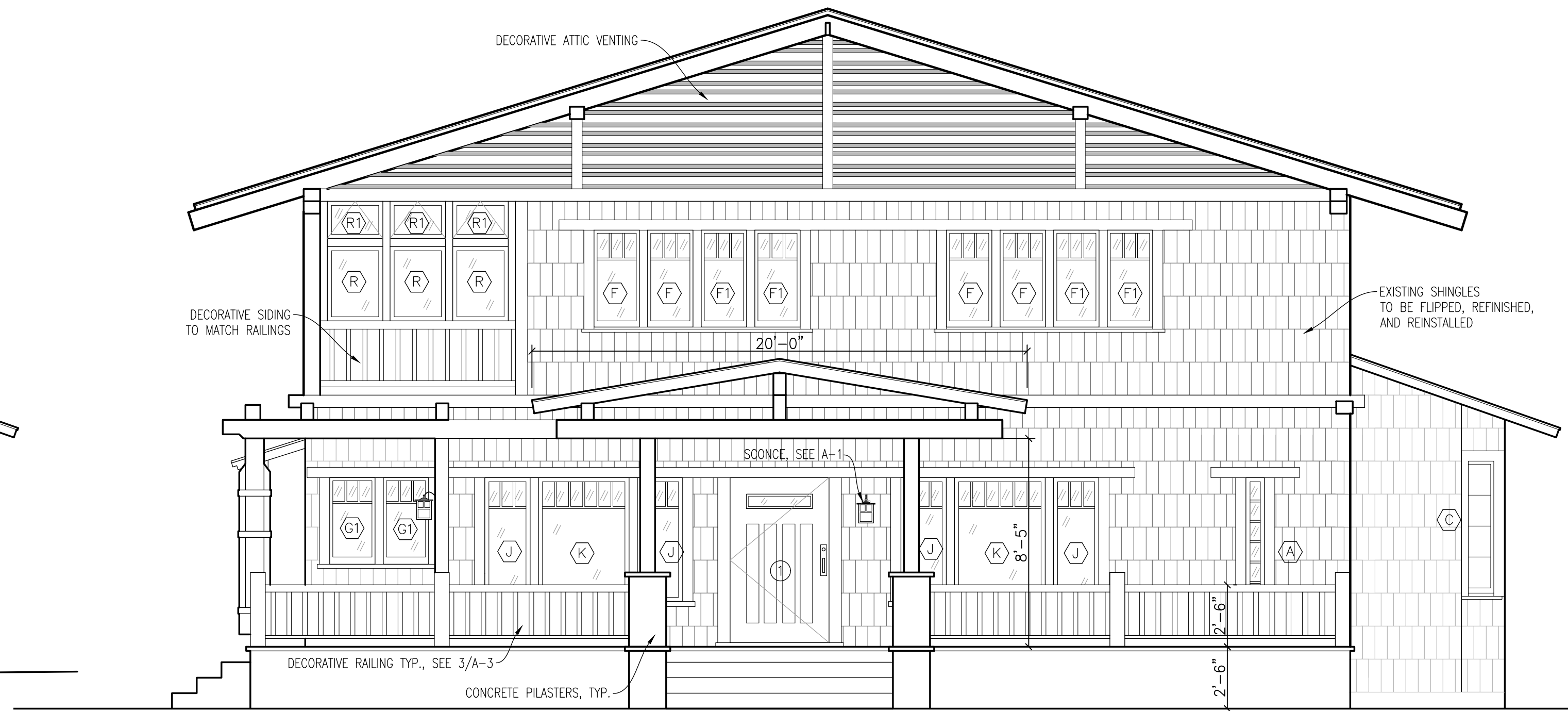
2ND FLOOR FLOORPLANS
EXISTING AND PROPOSED

Date 8/28/2024
Scale 3/16"=1'-0"
Drawn APD
Job
Sheet

A-4



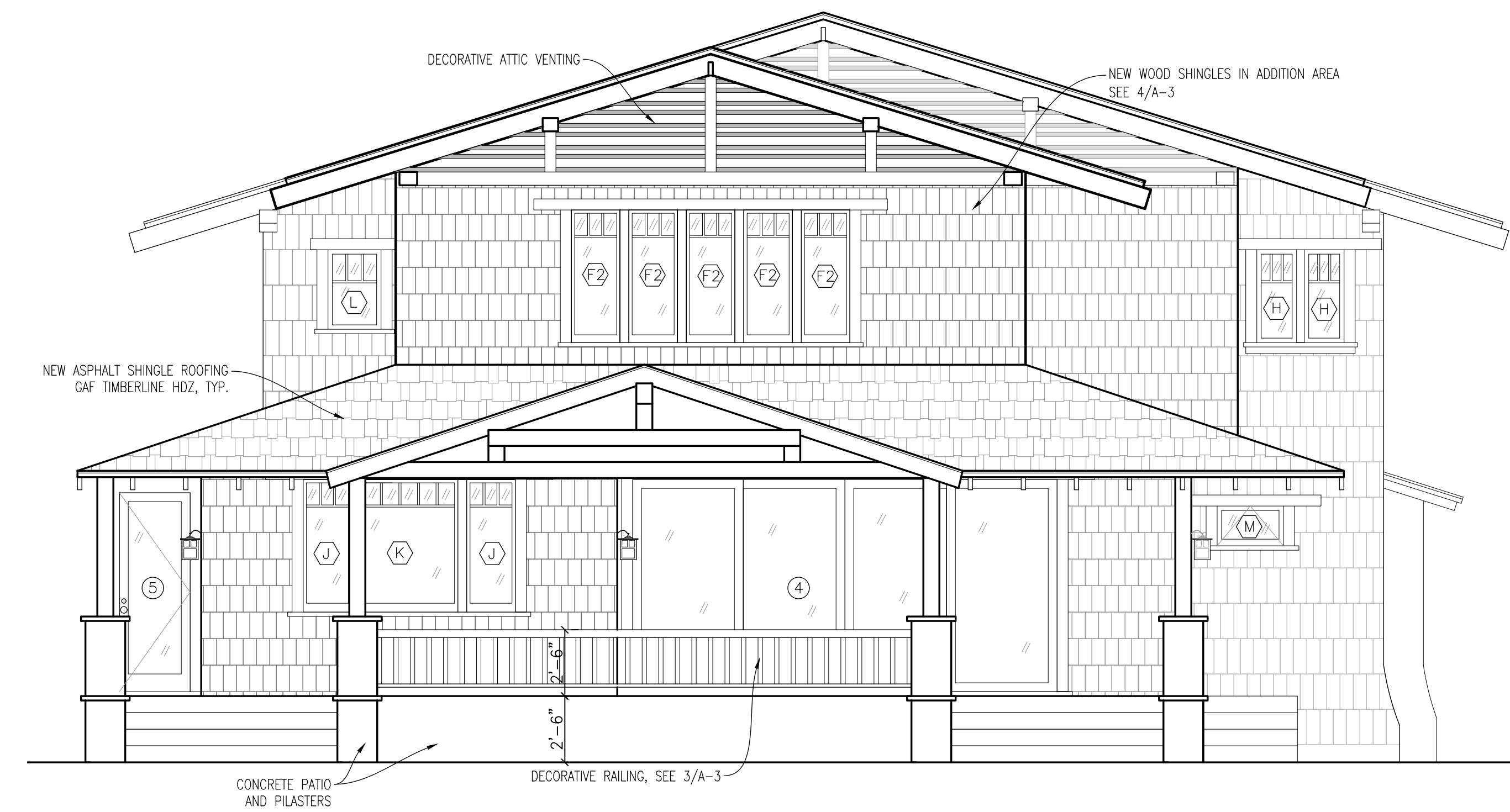
1 EXISTING NORTH ELEVATION
A-5 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
A-5 1/4" = 1'-0"



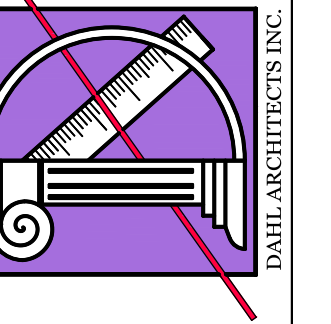
3 EXISTING SOUTH ELEVATION
A-5 1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION
A-5 1/4" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adrian@dahlarchitects.com



GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

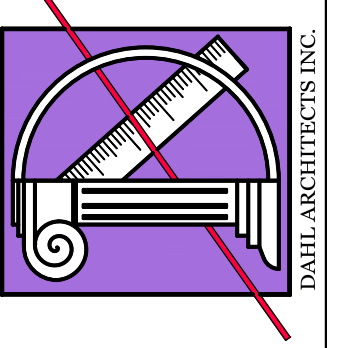
NORTH AND SOUTH ELEVATIONS

Date 8/28/2024
Scale 1/4"=1'-0"
Drawn APD
Job
Sheet

A-5

REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 adahl@dahlahitects.com



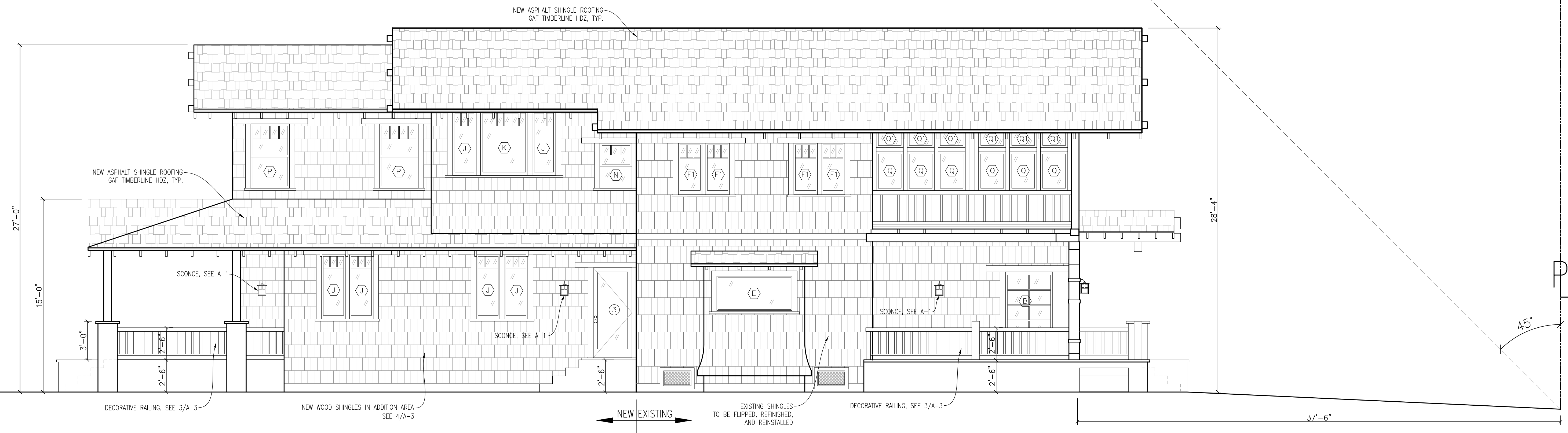
GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

EAST ELEVATION

Date	8/28/2024
Scale	1/4"=1'-0"
Drawn	APD
Job	
Sheet	A-6



1 EXISTING EAST ELEVATION
 A-6 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
 A-6 1/4" = 1'-0"



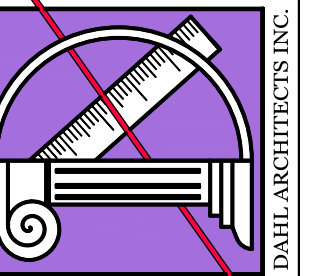
1 EXISTING WEST ELEVATION
A-7 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
A-7 1/4" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adahl@dahlahitects.com

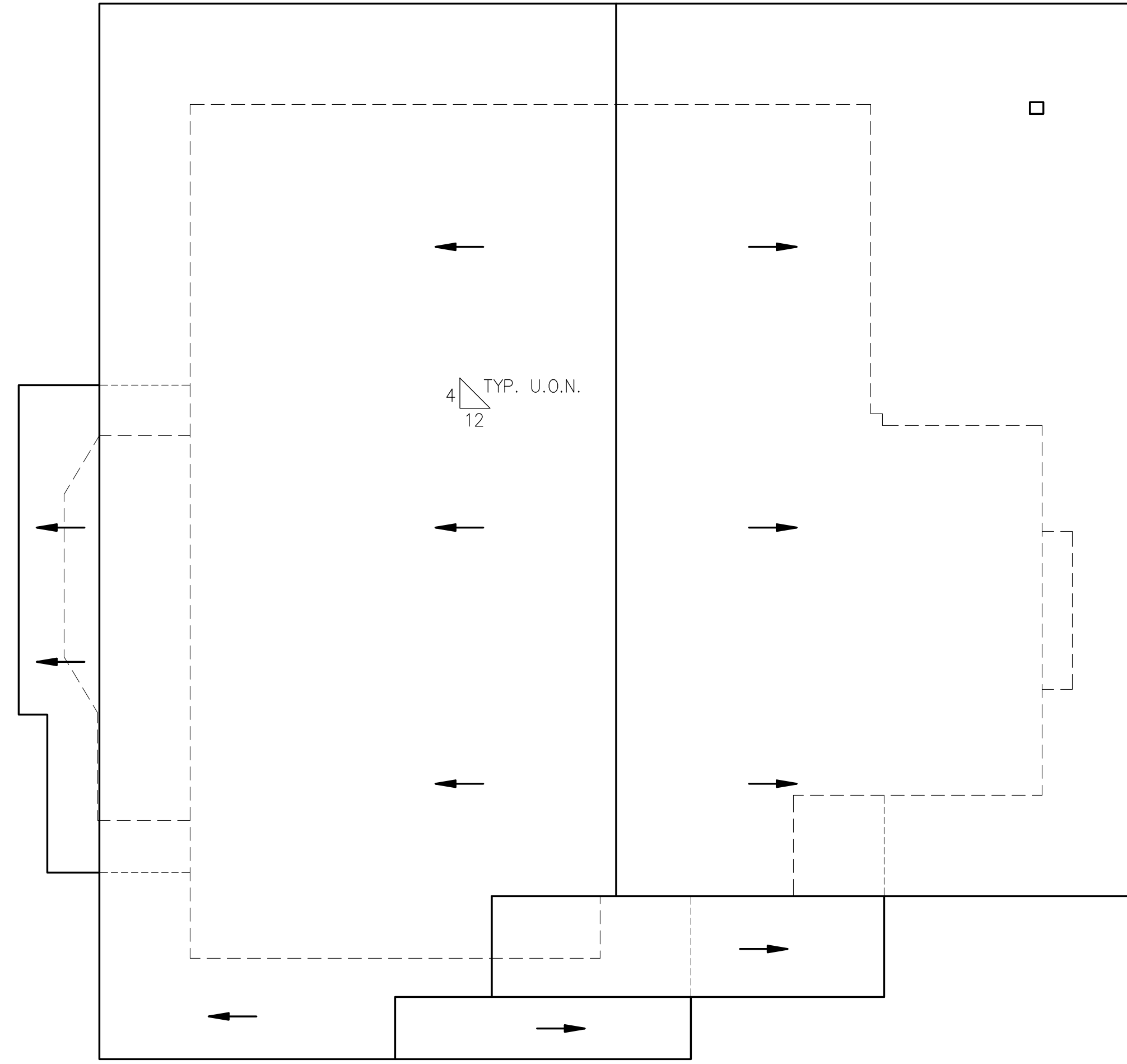


GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

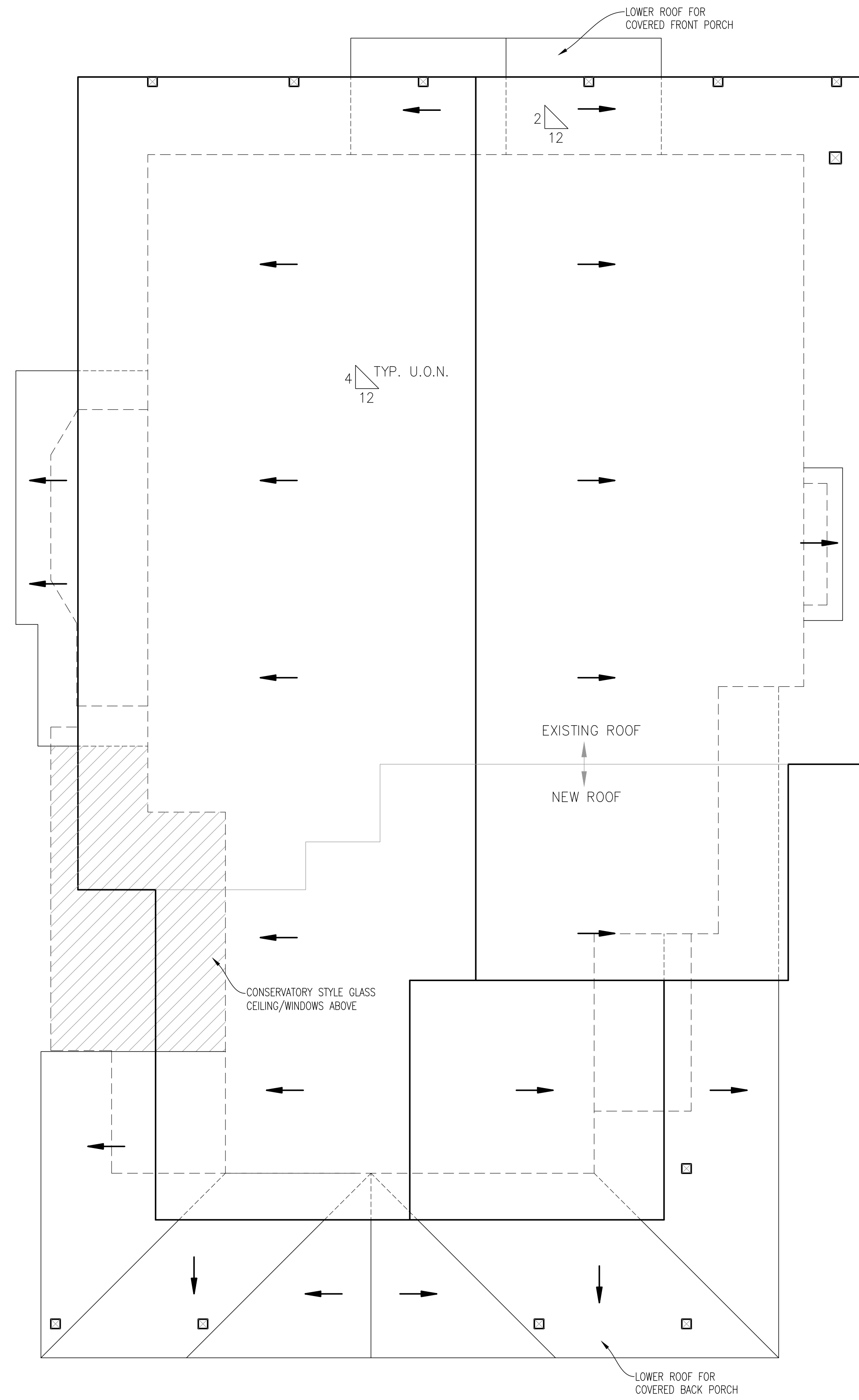
WEST ELEVATION

Date 8/28/2024
Scale 1/4" = 1'-0"
Drawn APD
Job
Sheet

A-7



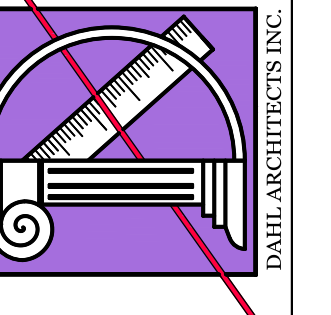
1 EXISTING ROOFPLAN
A-8 3/16" = 1'-0"



2 PROPOSED ROOFPLAN
A-8 3/16" = 1'-0"

REV. DATE

DAHL ARCHITECTS INC.
1134 EL CENTRO STREET
SOUTH PASADENA CA 91030
(626) 564-0011 adrian@dahlarchitects.com

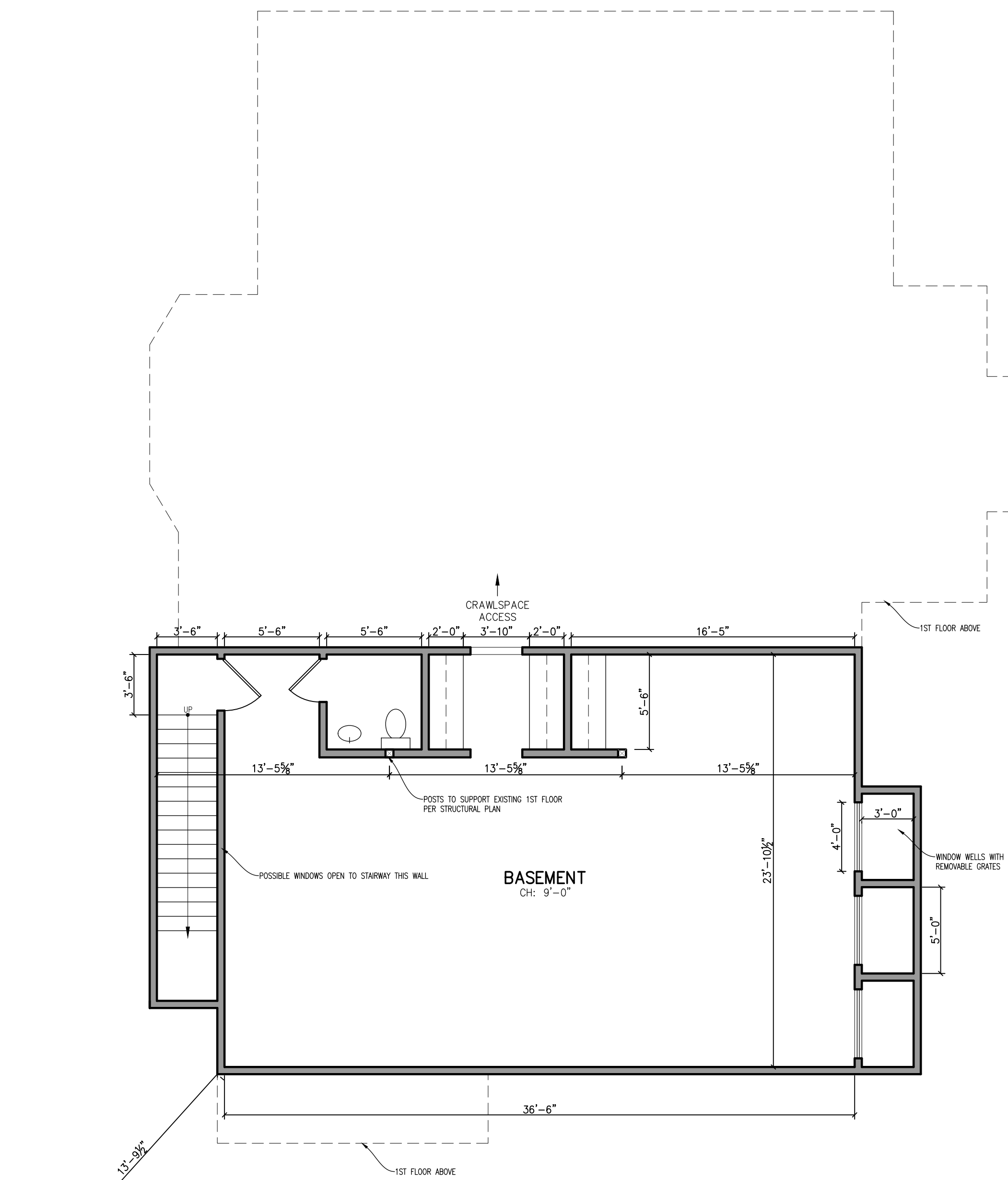


GHALY HOME
1831 LAUREL STREET
SOUTH PASADENA, CA 91030

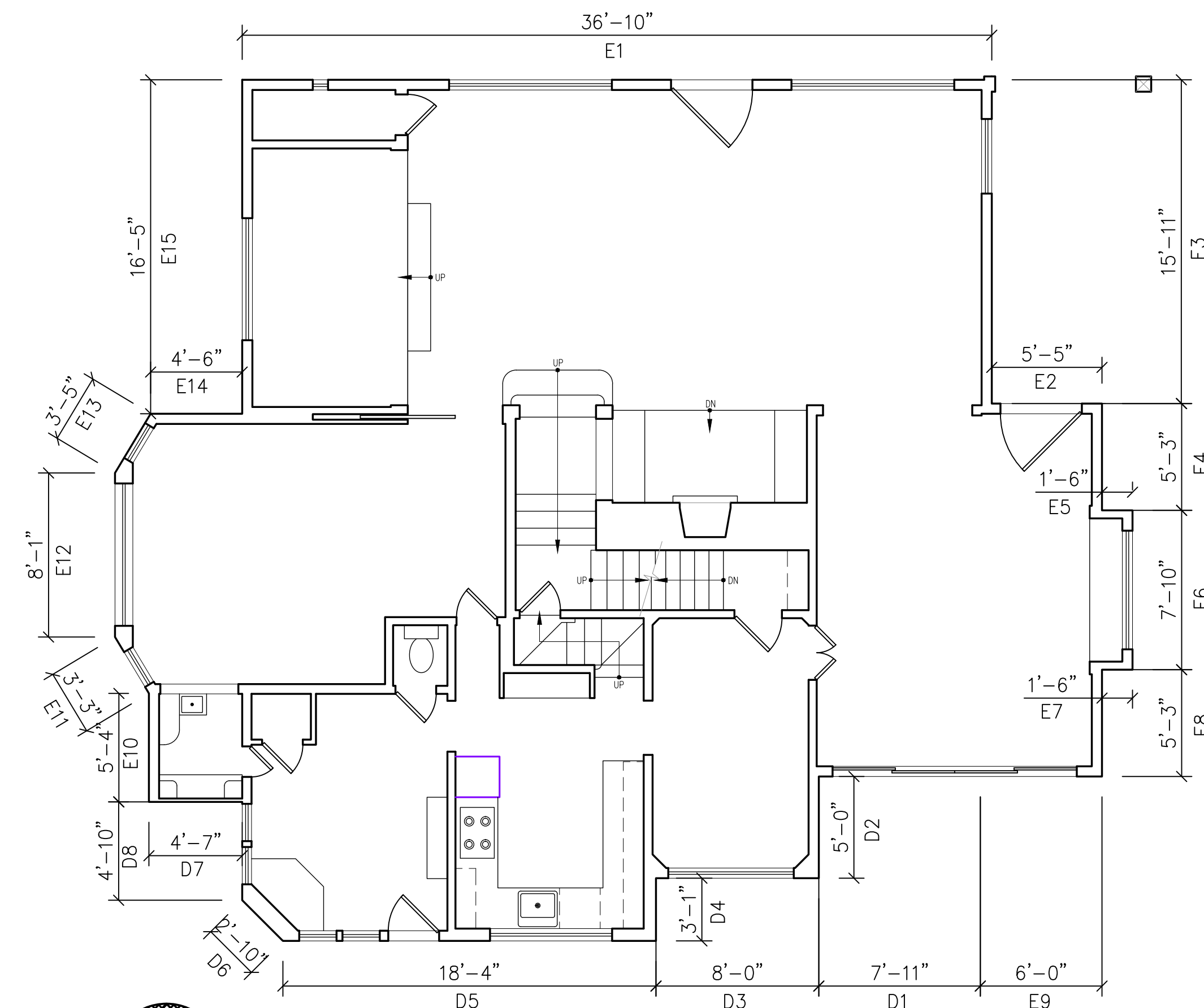
ROOFPLAN

Date 8/28/2024
Scale 3/16" = 1'-0"
Drawn APD
Job
Sheet

A-8



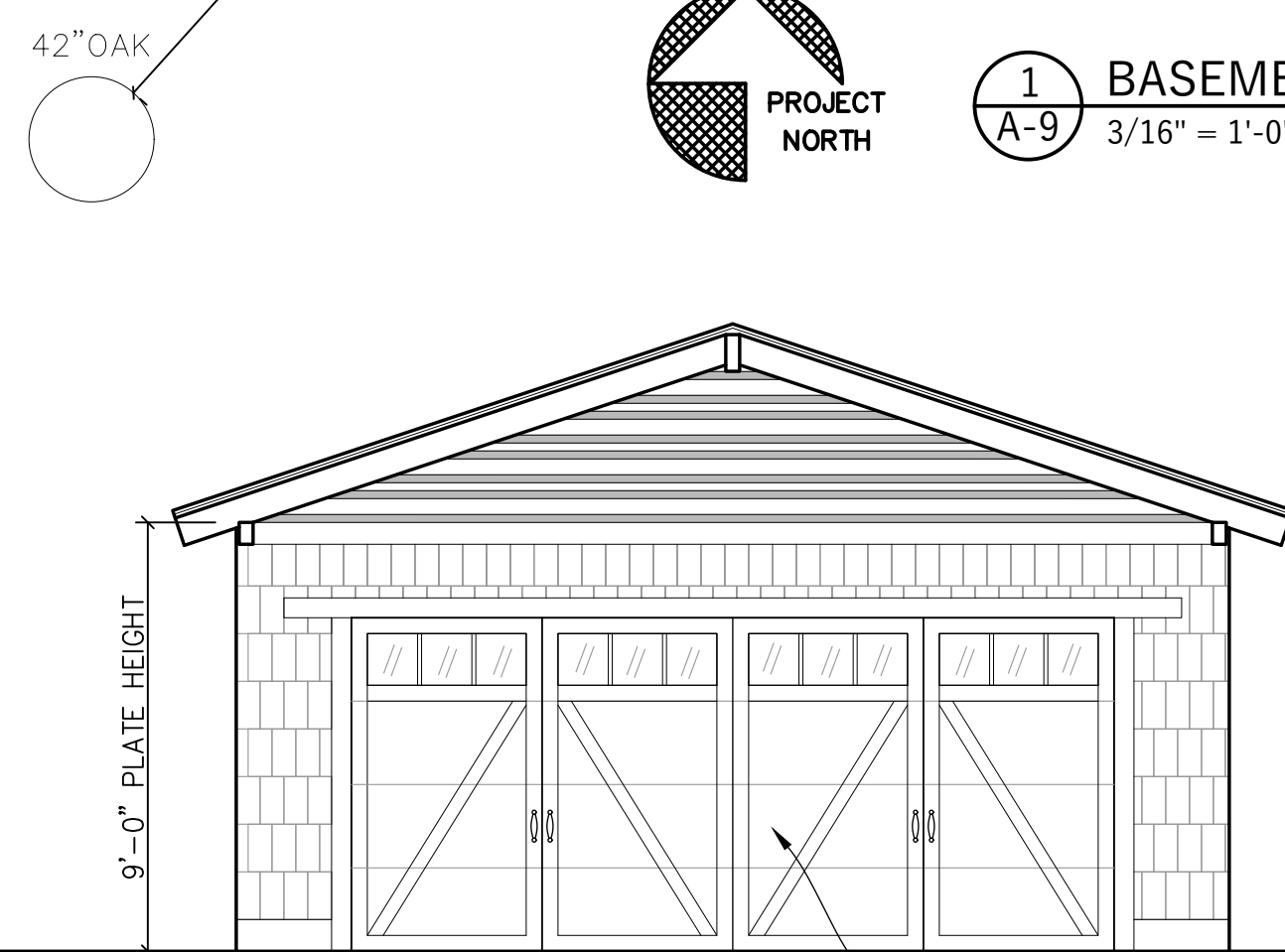
1 BASEMENT FLOORPLAN
 PROJECT NORTH
 A-9 3/16" = 1'-0"



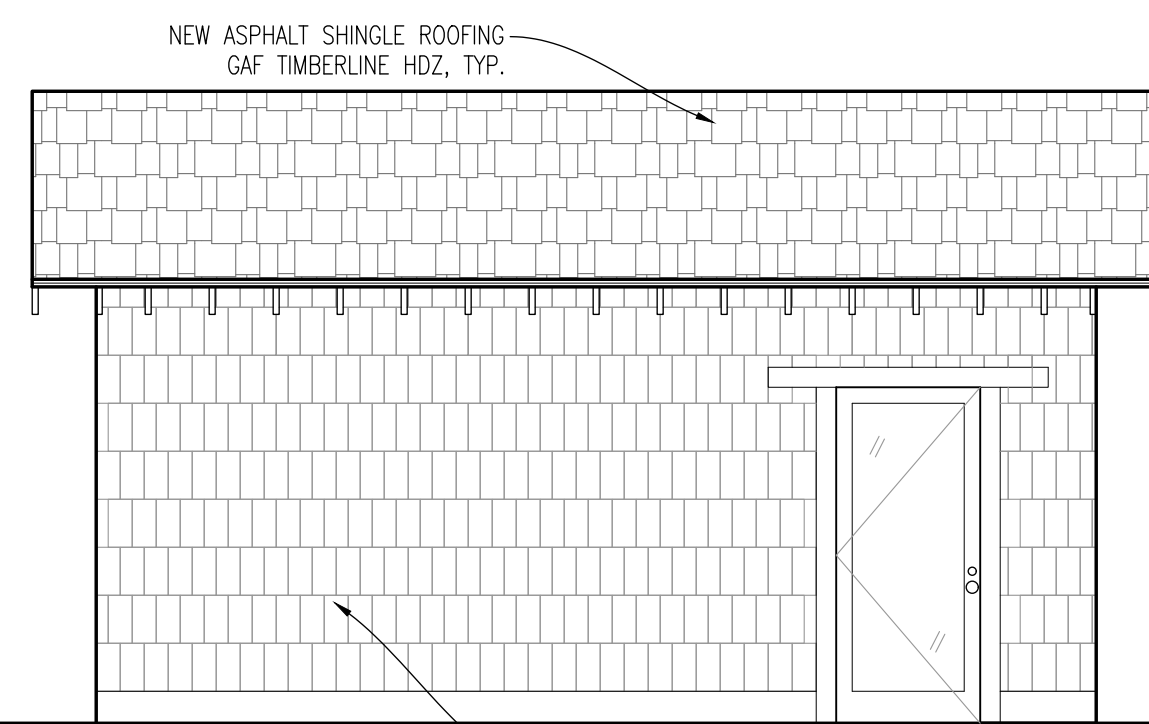
2 EXISTING/DEMO PLAN
 PROJECT NORTH
 A-9 3/16" = 1'-0"

DEMO CALCULATION (PERIMETER WALLS)			
EXISTING TO REMAIN	LENGTH	DEMO	LENGTH
E1	36'-10"	D1	7'-11"
E2	5'-5"	D2	5'-0"
E3	15'-11"	D3	8'-0"
E4	5'-3"	D4	3'-1"
E5	1'-6"	D5	18'-4"
E6	7'-10"	D6	2'-10"
E7	1'-6"	D7	4'-7"
E8	5'-3"	D8	4'-10"
E9	6'-0"	-	-
E10	5'-4"	-	-
E11	3'-3"	-	-
E12	8'-1"	-	-
E13	3'-5"	-	-
E14	4'-6"	-	-
E15	16'-5"	-	-
TOTAL:	126'-6"	TOTAL:	54'-7"

TOTAL LENGTH OF EXISTING PERIMETER WALLS = 181'-1"
 EXISTING WALLS TO BE REMOVED: 54.583/181.083 = 30.14%

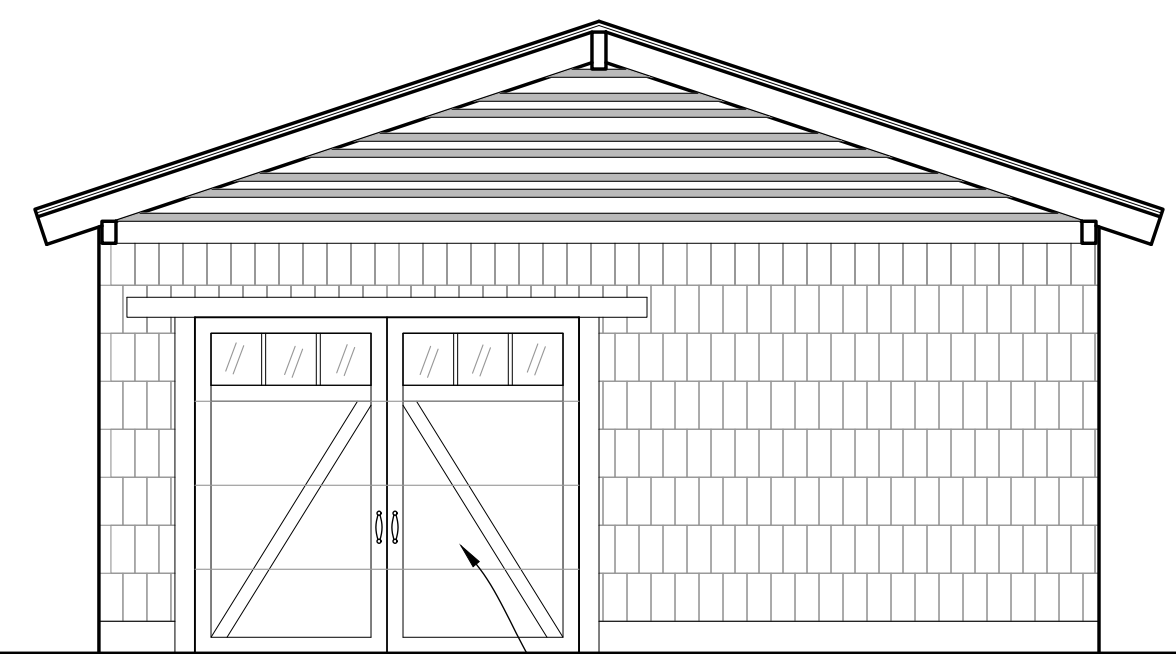


4 GARAGE NORTH ELEVATION
 A-9 1/4" = 1'-0"

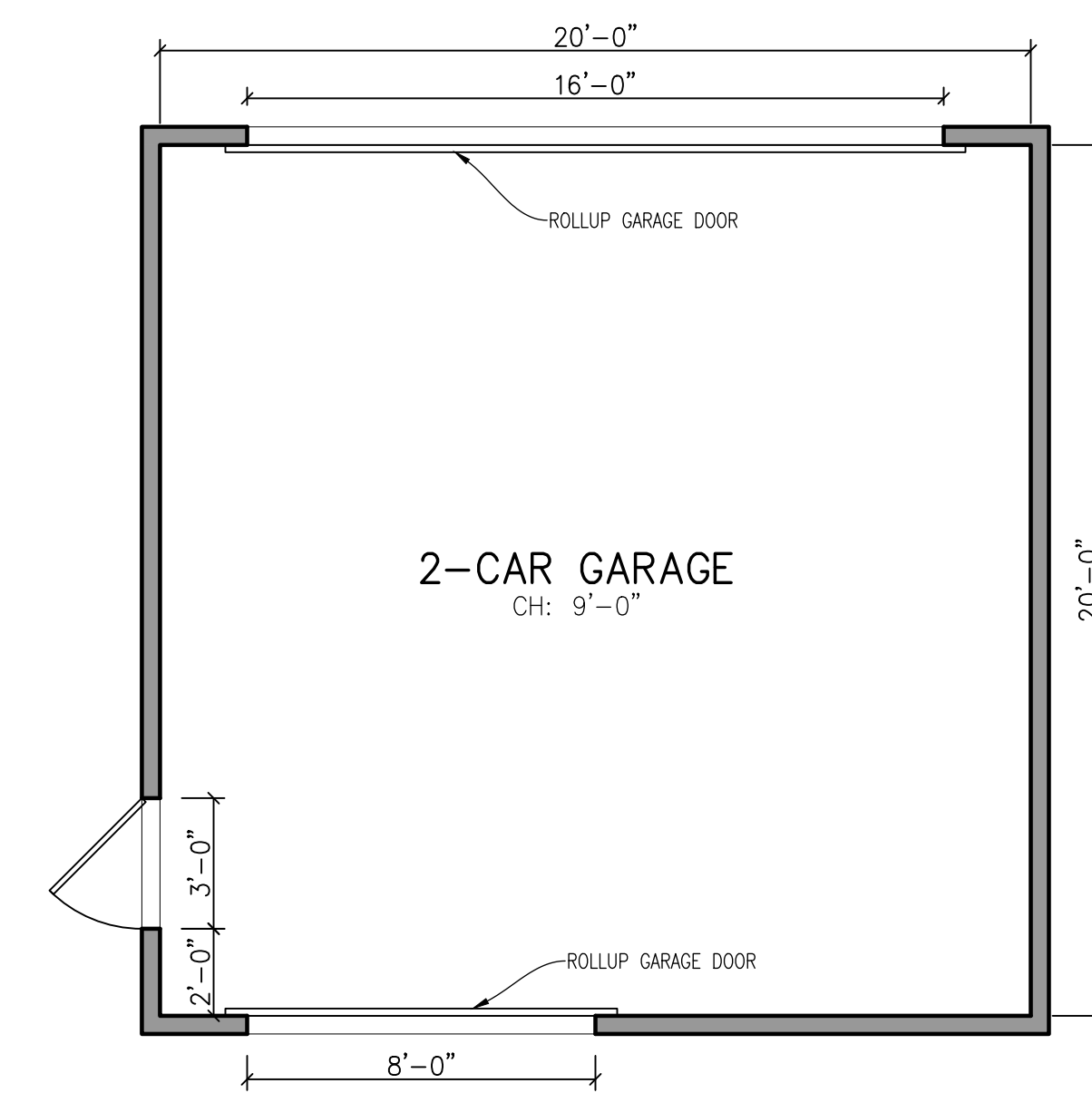


5 GARAGE WEST ELEVATION
 A-9 1/4" = 1'-0"

*EAST ELEVATION IS THE SAME AS WEST EXCEPT WITHOUT DOOR



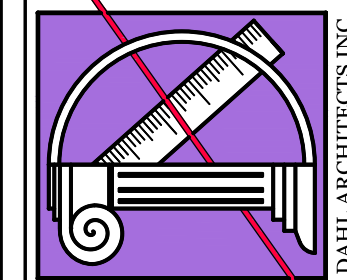
6 GARAGE SOUTH ELEVATION
 A-9 1/4" = 1'-0"



3 GARAGE FLOORPLAN
 PROJECT NORTH
 A-9 1/4" = 1'-0"

REV.	DATE

DAHL ARCHITECTS INC.
 1134 EL CENTRO STREET
 SOUTH PASADENA CA 91030
 (626) 564-0011 dahl@dahlarchitects.com



GHALY HOME
 1831 LAUREL STREET
 SOUTH PASADENA, CA 91030

**BASEMENT PLAN
 AND DEMO CALCULATION**

Date	8/28/2024
Scale	3/16" = 1'-0"
Drawn	APD
Job	
Sheet	

A-9

ATTACHMENT 3

Project Narrative



Dahl Architects, Inc

1134 El Centro Street
South Pasadena, CA 91030
(626) 564-0011, (626) 564-1591 fax

1831 Laurel CHC Resubmittal August 28, 2024 – Narrative of Changes

Since our previous meeting with the Cultural Heritage Commission on August 15th, we have considered the feedback we received from the Commissioners and modified the proposed project to be consistent with the Standards and Guidelines that dictated the discussion. These two changes to the proposed project are a reimagining of the front façade to reduce the scale of the proposed covered porch and moving the position of the garage to reestablish its historic relationship with the main home.

The Secretary of the Interior Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings (SOI Standards) provides instruction for replacing missing features such as porches:

“If adequate documentary and physical evidence exists, the feature may be accurately reproduced. A second option in a rehabilitation treatment for replacing a missing feature, particularly when the available information about the feature is inadequate to permit an accurate reconstruction, is to design a new feature that is compatible with the overall historic character of the building.” (SOI Standards, Page 78).

By using the documentary evidence of the Sanborn Fire Insurance Maps from 1910 and 1930, we have determined that there was a large covered porch on the original home that was replaced at some point by the small metal canopy that is inappropriate for the home’s Craftsman style. Beyond the size and location of the porch, we don’t know exactly how it looked or any of its detailing. Instead of accurately reproducing this feature, we are proposing to create a new design that is compatible with the historic character of the home. Compared to the previously proposed porch, we have reduced the width of the porch roof to be consistent with the roof shown on the Sanborn Maps – 20’ instead of the previous 30’. The reduced width also reduces the height of the roof and which allows it to avoid crowding the 2nd floor windows above. We have also removed the trellis portion that was proposed on the east and west sides of the porch roof, removed four of the six wood posts, removed the two concrete pilasters at each corner, removed the low planter in front and around the porch, and simplified the truss design under the porch roof gable. These changes reduce the scale of the proposed porch which allows the remaining original features of the home to be more visible (such as the braced wood column on the northeast corner) and for the overall change to the front façade to be minimized. The new porch will also be differentiated from the original home by using nominally-sized factory-cut lumber for the wood posts instead of the actual-size and rough-hewn lumber of the original posts (for example the new 8x8 posts will actually be 7-1/4”x7-1/4” instead of 8”x8”). Similar to the proposed differentiation in the addition by changing the shingle exposure, this differentiation won’t be immediately obvious but will be visible upon closer inspection.

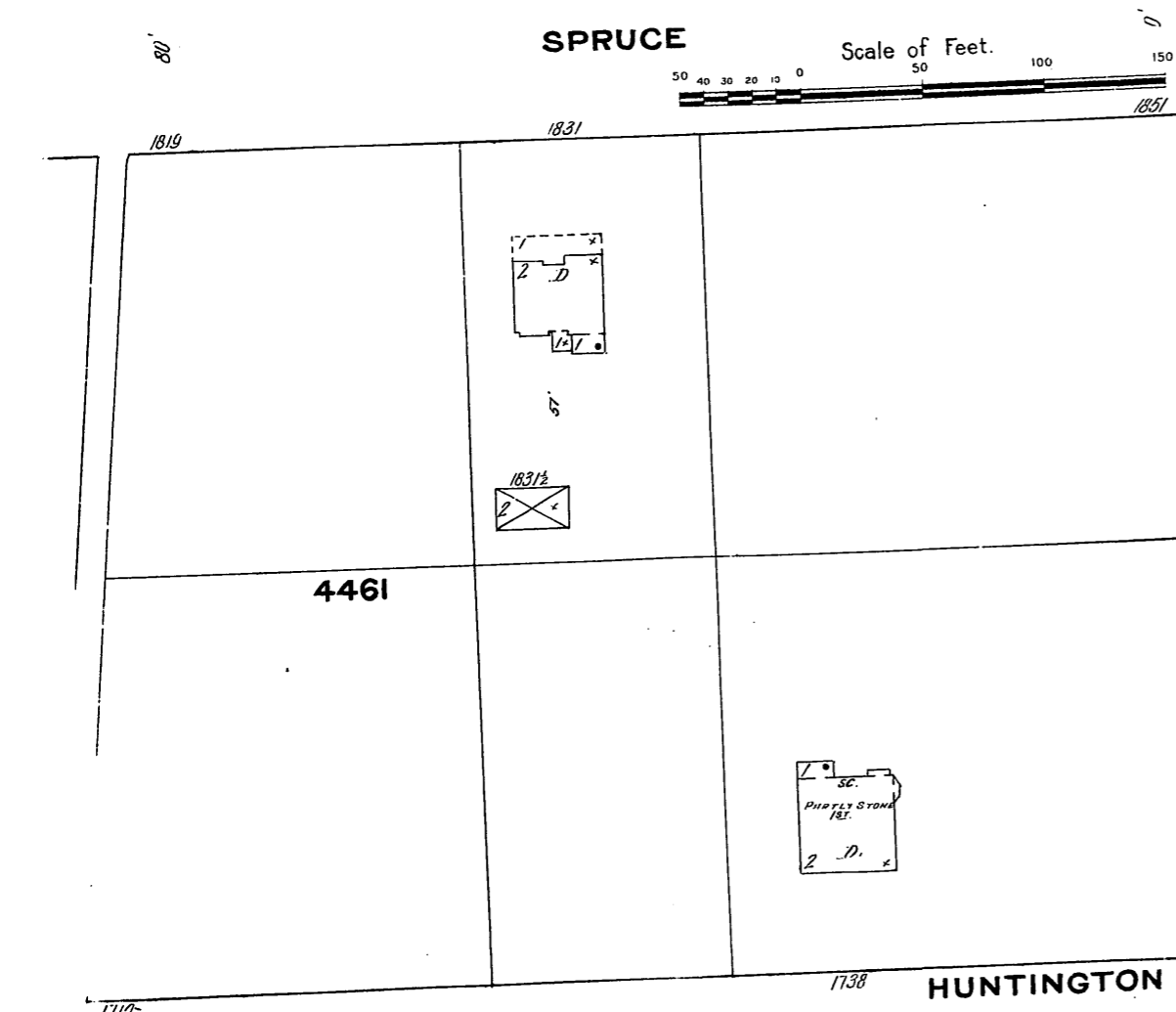
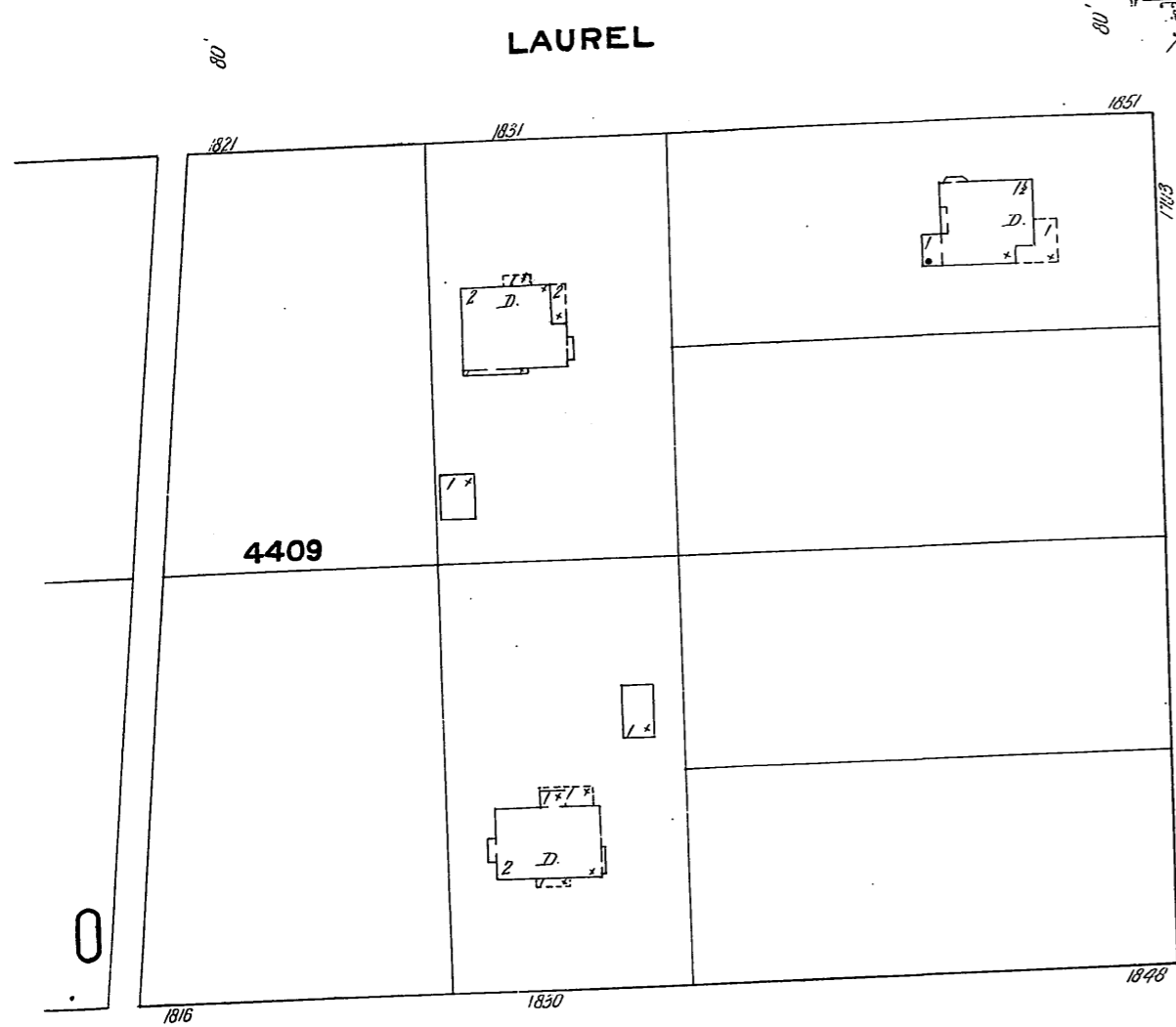
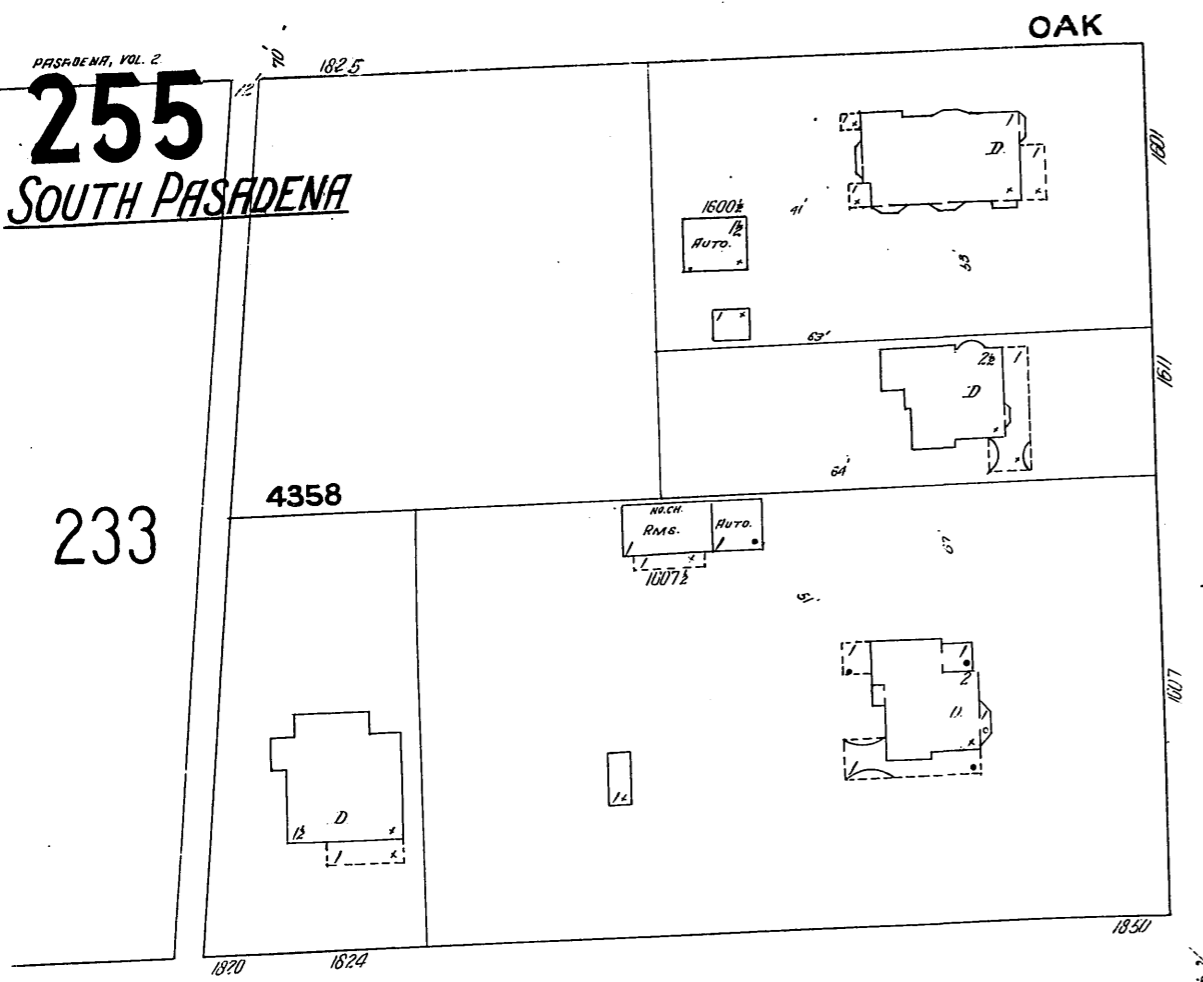
The Sanborn Maps also provide documentary evidence for the location of the missing garage. Based on the 1910 map, the original home did have a 1-car garage in the southwest corner of the property along with a driveway on the west side of the home. By 1930, the map showed a 2-car garage on the east side of the home, about 10' back from the front of the home. During the 20 year period between maps, there was also a side addition on the west of the home which made the driveway on that side and the rear 1-car garage unusable. From 1930 until the demolition of the 2-car garage due to damage from a falling tree in 2008, the location next to the home acquired significance due to its visibility from the street and its relationship to the main home – the public would not have known there was another garage in the back and it is unclear when that garage was removed (but likely at the same time that the current swimming pool was added). We are proposing to build a new 2-car garage on the east side of the home that also has a 10' setback behind the front of the home to reestablish the historic relationship between garage and home. Similar to the porch, we don't know what the missing garage looked like beyond its general location and size. Following the SOI Standards, the new garage will be compatible with the design of the home and differentiated from original features. The proposed garage is a simplified form of the home with a basic gabled roof and shingles – however the shingles will have a shorter exposure (12" instead of 16") in the same way that the addition to the home is differentiated from the existing.

We hope that the City Staff and Commissioners agree that these changes to the previously submitted design bring the project into compliance with the Secretary of the Interior Standards for Rehabilitation and South Pasadena's Design Guidelines for Alterations & Additions to Historic Residences. We are looking forward to explaining these changes in more detail and discussing the project with you again during the next CHC Hearing.

Attachments:

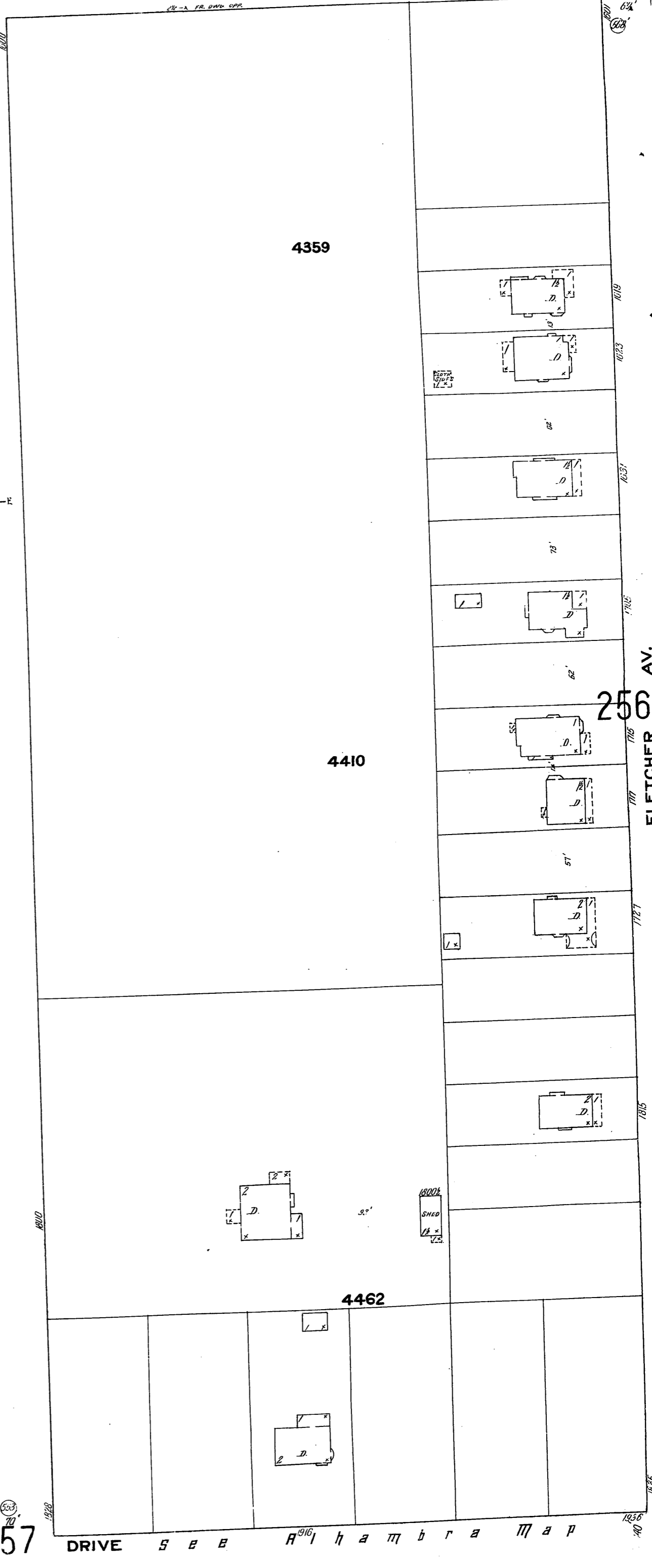
- 1910 Sanborn Fire Insurance Map
- 1930 Sanborn Fire Insurance Map

PASADENA, VOL. 2
255
SOUTH PASADENA



MILAN AV.

257



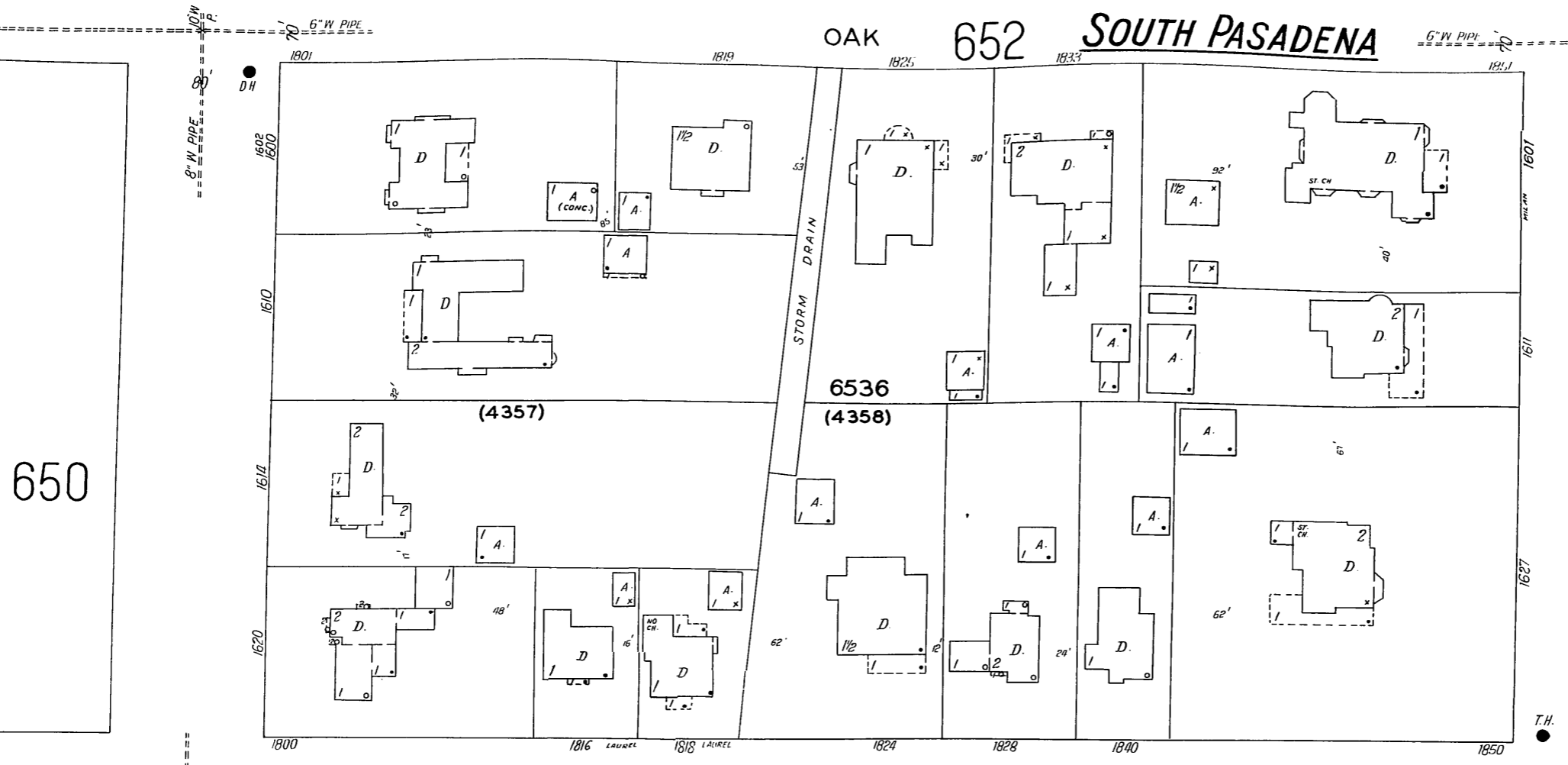
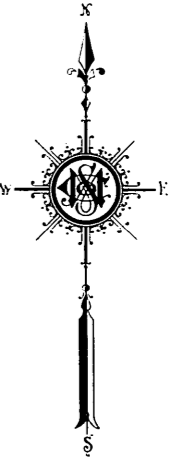
FLETCHER AV.

256

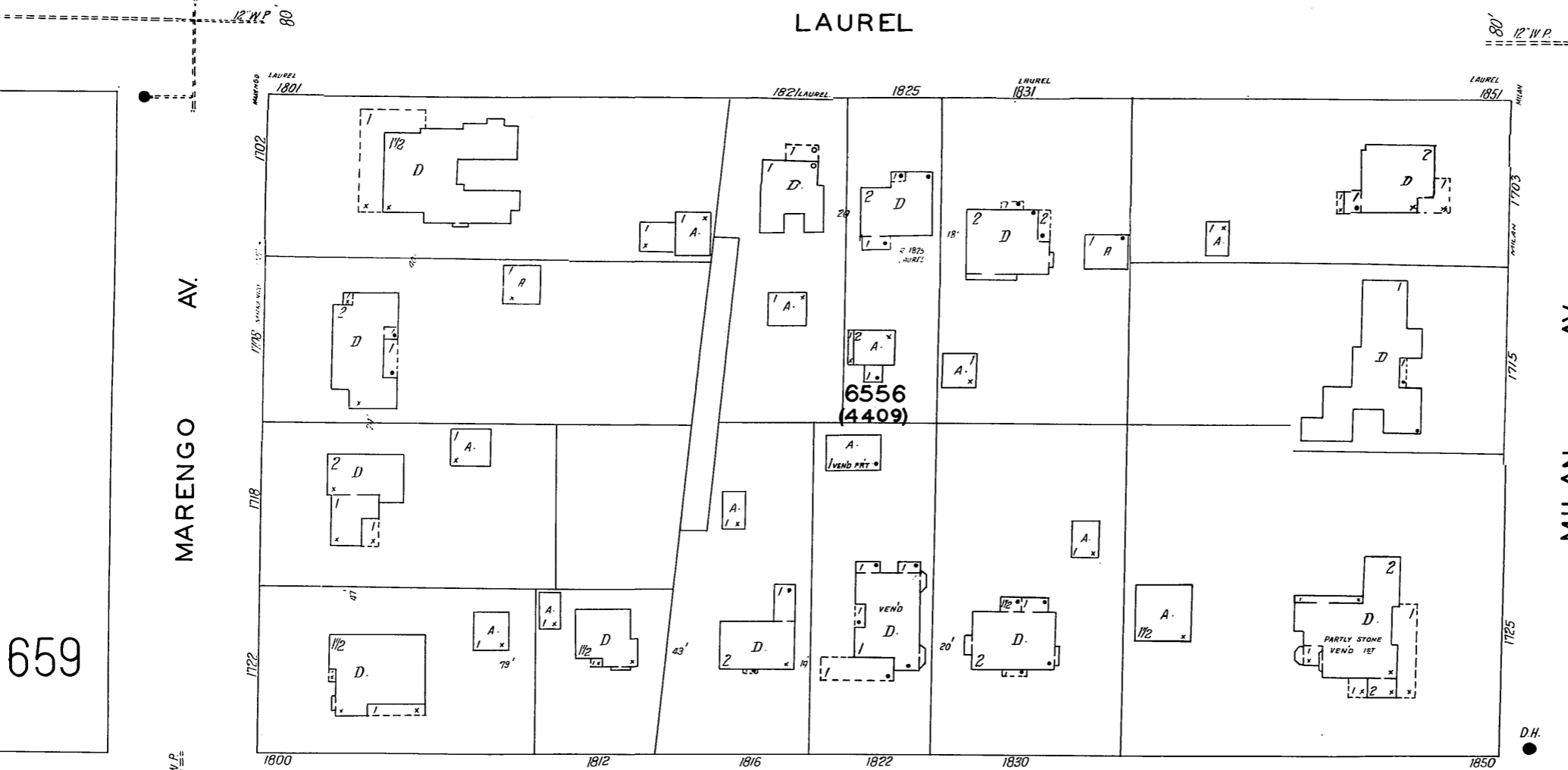
OAK 652 SOUTH PASADENA

660
CAL...078
(233-255 VOL.2)

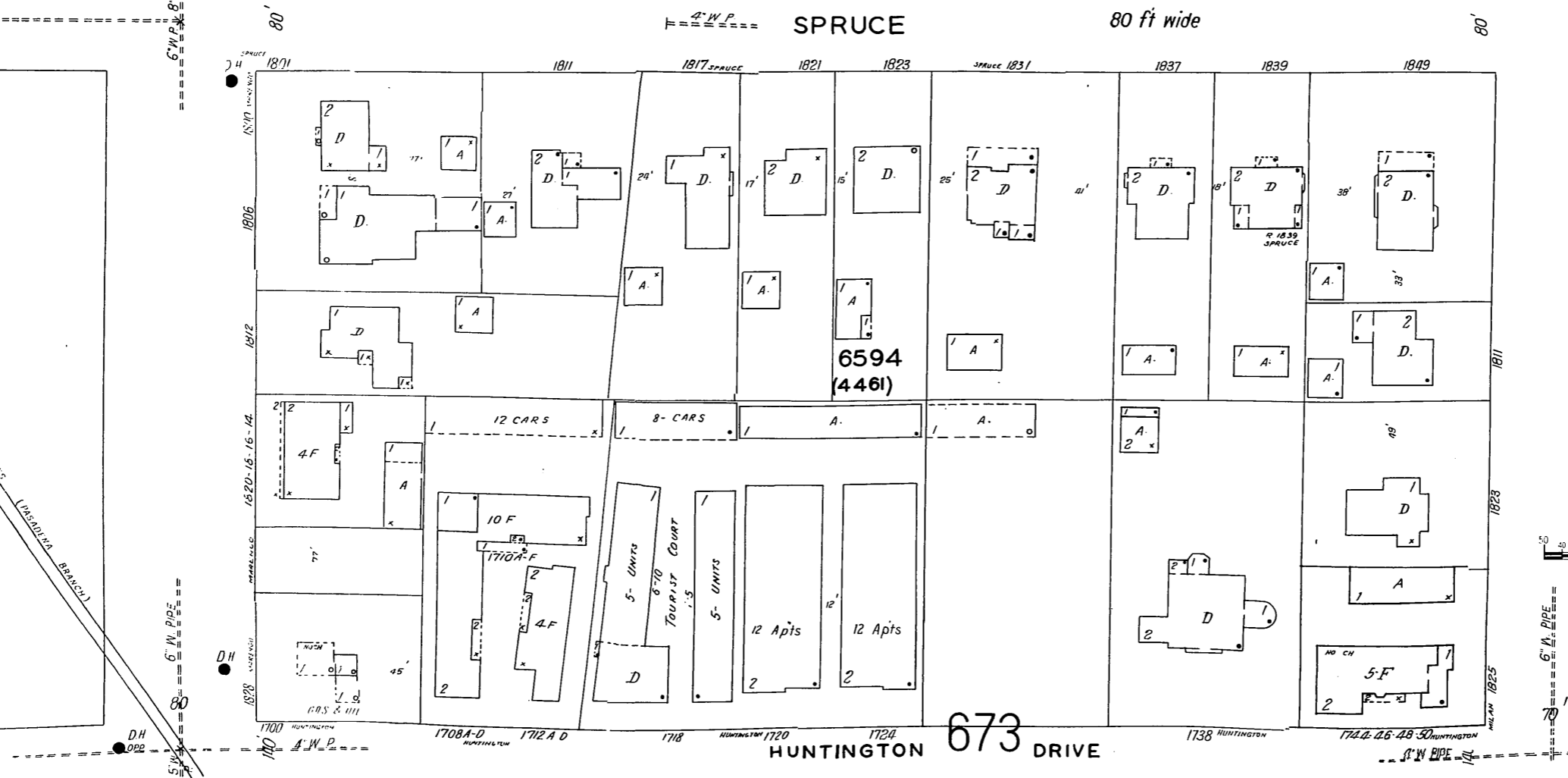
661



LAUREL



SPRUCE 80 ft wide



SCALE 50 FT TO ONE INCH
Copyright 1930 by the Sanborn Map Co.

ATTACHMENT 4

Window & Door Brochures

Clad Sedona Pushout Casement

WINDOWS F1,
G1, H, J, L,



Add a luxurious accent with our push-out casement window built with Old-World craftsmanship featuring interior wooden screens and dark bronze hardware made from sand-cast bronze. Available as single, French or radius top configurations to compliment any design.

Standard Construction:

- 0.062" thick extruded aluminum exterior.
- Clad frame is extruded with integral nail fin and corners are sealed with silicone, corner pads and mechanically fastened.
- 5-11/16" overall frame depth with standard 4-9/16" jamb depth.
- 1-3/4" sash thickness.
- Seamless, compression-style frame weatherstrip, leaf sash weatherstrip.
- Single handle lock system up to 42" tall. Multipoint with two locks if taller than 42". Standard SST friction hinge allows for 90-degree sash opening.
- French Casements have interior face-mounted flush bolts on the inactive sash.
- Standard pull-open wood screen with optional Genius roll-up screen. Standard mesh is charcoal fiberglass. Optional BetterVue and Ultra Vue mesh.



MINIMUM / MAXIMUM FRAME SIZES			
Additional sizes may be available upon approval.			
PUSHOUT CASEMENT		FRENCH PUSHOUT CASEMENT *	
Minimum Frame Width	15"	Minimum Frame Width	36"
Minimum Frame Height	18"	Minimum Frame Height	36"
Maximum Frame Width	36"	Maximum Frame Width	72"
Maximum Frame Height	84"	Maximum Frame Height	60"

*Not Rated

Performance Data:



Operating Casement: 36" x 72"

AIR INFILTRATION0.01/0.01/A3
WATER..... NO LEAKAGE @ 6.00 PSF
STRUCTURAL.....LC-PG35 (+35/-35)



Operating Casement: 36" x 84"

AIR INFILTRATION.....0.01/0.19/A4
WATERNO LEAKAGE @ 6.89 PSF
STRUCTURALCW-PG45 (+45/-45)*

*w/Multipoint hardware



Casement Picture: 78" x 75"

AIR INFILTRATION...0.01/0.01/FIXED
WATER..... NO LEAKAGE @ 7.52PSF
STRUCTURAL..... CW-PG50 (+50/-50)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Sedona Casement Product Performance Guide (Structural) located in the Technical Resources Library on our website.

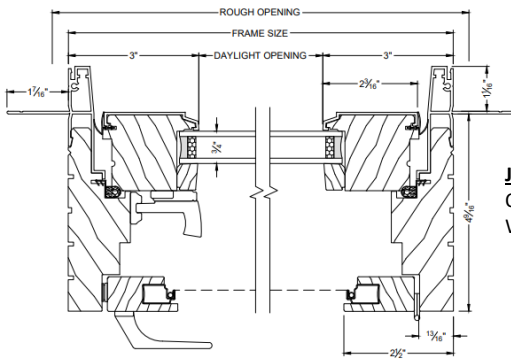
Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Low-E 366/i89	Low-E 272 Clear	Low-E 366	Low-E 366/i89
U-FACTOR..... 0.33	U-FACTOR.....0.32	U-FACTOR.....0.28	U-FACTOR.....0.30	U-FACTOR.....0.29	U-FACTOR.....0.26
SHGC..... 0.29	SHGC..... 0.19	SHGC.....0.19	SHGC.....0.28	SHGC.....0.19	SHGC.....0.19
VT 0.48	VT..... 0.43	VT.....0.42	VT0.48	VT 0.43	VT.....0.42
CR 56	CR..... 57	CR.....44	CR 59	CR..... 60	CR.....48

All values represent insulated glass units using standard black warm edge spacer. Additional glazing options available.

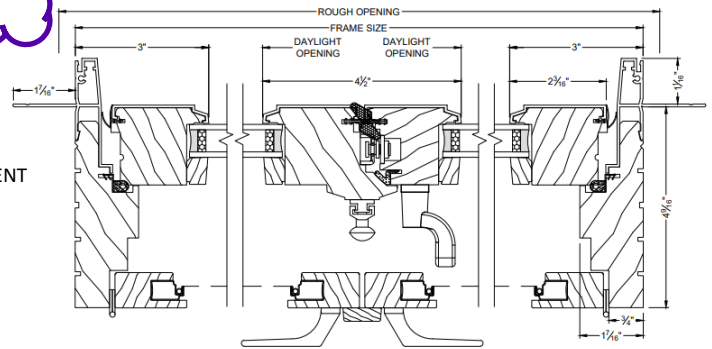
For a comprehensive list of glazing configurations, please refer to the Clad Sedona Pushout Casement Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

Clad Sedona Pushout Casement Operating

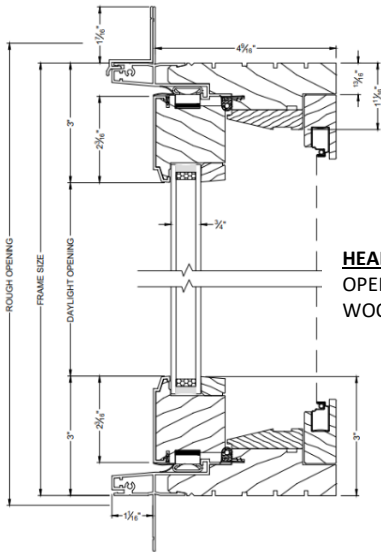


JAMB DETAIL
OPERATING PUSHOUT CASEMENT
WOOD SWING SCREEN

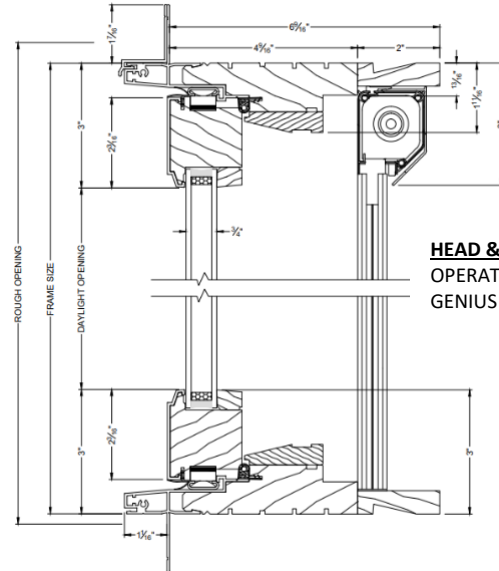
Clad Sedona French Pushout Casement Operating



HEAD & SILL DETAIL
OPERATING PUSHOUT CASEMENT
GENIUS ROLL DOWN SCREEN

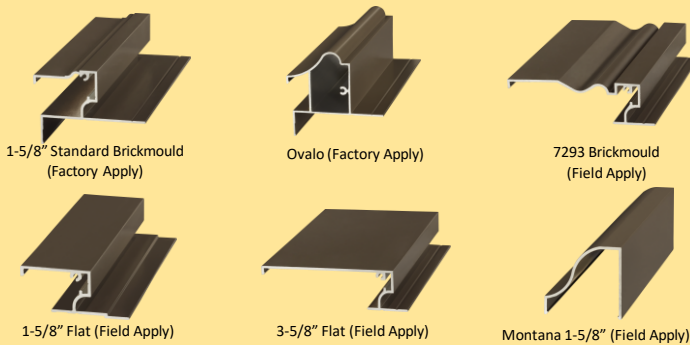


HEAD & SILL DETAIL
OPERATING PUSHOUT CASEMENT
WOOD SWING SCREEN



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

EXTERIOR TRIM OPTIONS



OPERATING HANDLE AND SCREEN PULL

Available in: Dark Bronze and Satin Nickel finishes



Clad Sedona Pushout Casement Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available in black warm edge or Cardinal spacer for optimum efficiency.
- Grille options include Simulated Divided Lite and Grilles-Between-Glass.
- Wood swing screen or optional Genius retractable screens.
- 10 factory finished Ultra Coat Paint or Primed interior.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.

Place Business Card or
Company Information Here

3/15/2024

Clad Direct Glaze

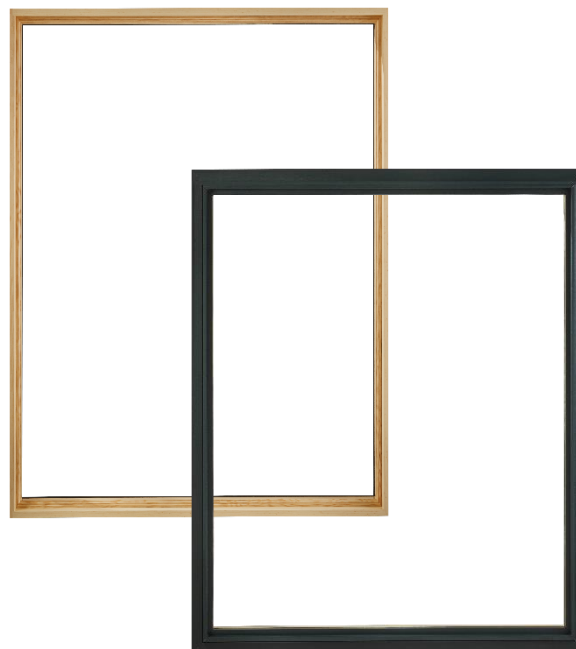
WINDOWS K, Q, R



Known for their straight lines, narrow profiles, and large sizes, Sierra Pacific's Direct Glaze windows in geometric or radius shapes will accentuate and amplify your design. And feel free to be creative with your design as we'll work with you to create your own custom shapes.

Standard Construction:

- 0.062" extruded aluminum cladding.
- Clad frame is extruded with integral nail fin and corners are sealed with silicone and foam pads and mechanically fastened.
- Standard 4-9/16" jamb depth. Minimum jamb depth of 3-1/2".
- Standard 3/4" overall glass thickness, glazed from the interior and secured with a removable glazing bead in a traditional and contemporary profile.
- Geometric and radius shapes.



MINIMUM / MAXIMUM FRAME SIZES	
Additional sizes may be available upon request and approval. Min/Max sizes listed Do Not apply to radius units. Please contact SPW for details.	
DIRECT GLAZE	
Minimum Frame Width	10"
Minimum Frame Height	10"
Maximum Frame Width	144"
Maximum Frame Height	144"
Max. Frame Sq. Ft.	60 Sq. Ft.

Performance Data:



Direct Glaze: 96" x 75" (Single Unit Only)

AIR INFILTRATION.....0.01/0.01/Fixed
 WATER.....NO LEAKAGE @ 6.06 PSF
 STRUCTURAL.....CW-PG40 (+40/-40)



Direct Glaze: 60" x 120" (Single Unit Only)

AIR INFILTRATION.....0.01/0.01/Fixed
 WATER.....NO LEAKAGE @ 6.06 PSF
 STRUCTURAL.....CW-PG40 (+40/-40)



Direct Glaze: 72" x 60" (Single Unit Only)

AIR INFILTRATION.....0.01/0.01/Fixed
 WATER.....NO LEAKAGE @ 8.35 PSF
 STRUCTURAL.....CW-PG55 (+55/-55)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Direct Glaze Product Performance Guide (Structural) located in the Technical Resources Library on our website.

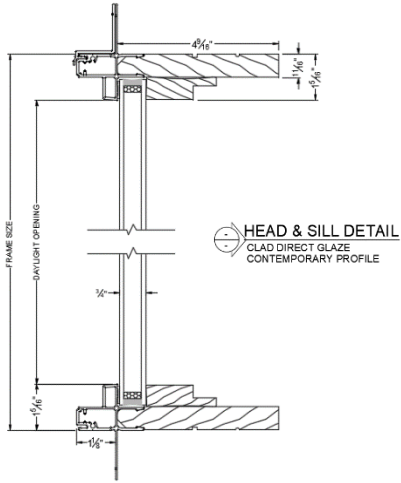
Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E Clear	Low-E 366	Triple IG LE/CL/CL	Low-E Clear	Low-E 366	Triple IG LE/CL/CL
U-FACTOR.....0.32	U-FACTOR.....0.31	U-FACTOR.....0.24	U-FACTOR.....0.28	U-FACTOR.....0.27	U-FACTOR.....0.21
SHGC.....0.38	SHGC.....0.25	SHGC.....0.35	SHGC.....0.37	SHGC.....0.25	SHGC.....0.35
VT.....0.65	VT.....0.59	VT.....0.59	VT.....0.65	VT.....0.59	VT.....0.59
CR.....52	CR.....52	CR.....62	CR.....55	CR.....55	CR.....64

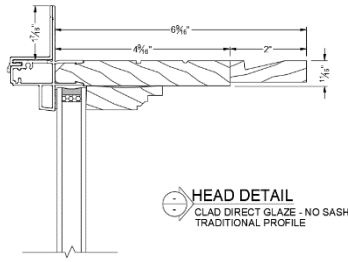
Values represent Direct Glaze units with insulated glass using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Direct Glaze Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

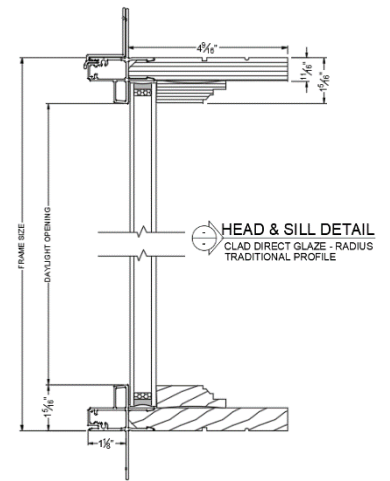
Direct Glaze - Contemporary
4-9/16" Jamb



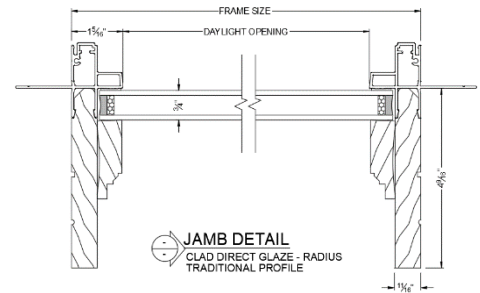
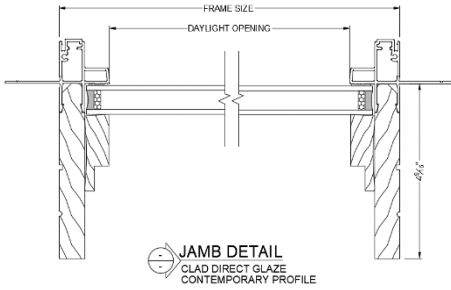
Direct Glaze - Traditional
6-9/16" Jamb



Direct Glaze - Radius Traditional
4-9/16" Jamb



WINDOWS K, Q, R



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Common Direct Glaze shapes. Contact us for virtually limitless available options.

EXTERIOR TRIM OPTIONS

1-5/8" Standard Brickmould (Factory Apply)	Ovalo (Factory Apply)	7293 Brickmould (Field Apply)
1-5/8" Flat (Field Apply)	3-5/8" Flat (Field Apply)	Montana 1-5/8" (Field Apply)

Clad Direct Glaze Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-Glass available in 5/8" and 1" flat.
- Factory side-by-side, stacking and pocket mulls. Structural support options available.
- 10 factory finished Ultra Coat Paint or Primed interior.

Place Business Card or Company Information Here

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.

Clad Standard Awning

WINDOWS M,
Q1, R1



Like all our products, Sierra Pacific awning windows are custom made, by hand, to your exact specifications. The Clad Standard Awning is commonly used alone or in combination with the Clad Standard Casement creating identical sightlines and symmetrical balance.

Standard Construction:

- 0.050" thick extruded aluminum exterior frame with mitered and sealed injected corners.
- 5-11/16" overall frame depth with standard 4-9/16" jamb depth.
- Full 1-3/4" sash thickness with 2-3/8" stiles and rails.
- Seamless, compression-style frame weatherstrip. PVC bulb sash weatherstrip.
- Truth Encore guide bar operator and standard folding handle/cover.
- Two flush handle sash locks on every unit.



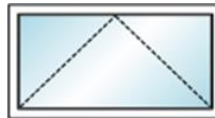
MINIMUM / MAXIMUM FRAME SIZES			
Additional sizes may be available upon approval.			
STANDARD AWNING – OPERATING		STANDARD AWNING – PICTURE/FIXED	
Minimum Frame Width	15.6875"	Minimum Frame Width	12"
Minimum Frame Height	16.1875"	Minimum Frame Height	12"
Maximum Frame Width	60.1875"	Maximum Frame Width	120"
Maximum Frame Height	64.1875"	Maximum Frame Height	120"
		Maximum Square Feet	55

Performance Data:



Operating Awning: 48.1875" x 48.1875"

AIR INFILTRATION.....0.01/0.01/A3
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....CW-PG50 (+50/-50)



Operating Awning: 60.1875" x 32.1875"

AIR INFILTRATION.....0.01/0.02/A3
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....CW-PG50 (+50/-50)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Standard Awning Product Performance Guide (Structural) located in the Technical Resources Library on our website.

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)	Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)
U-FACTOR.....0.33	U-FACTOR.....0.32	U-FACTOR.....0.25	U-FACTOR.....0.30	U-FACTOR.....0.29	U-FACTOR.....0.23
SHGC.....0.28	SHGC.....0.19	SHGC.....0.24	SHGC.....0.28	SHGC.....0.19	SHGC.....0.24
VT.....0.47	VT.....0.42	VT.....0.40	VT.....0.47	VT.....0.42	VT.....0.40
CR.....54	CR.....54	CR.....51	CR.....58	CR.....58	CR.....56

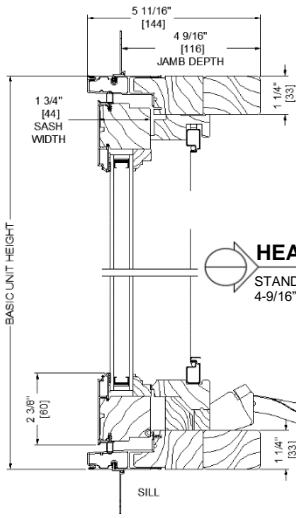
Values represent insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Standard Awning Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

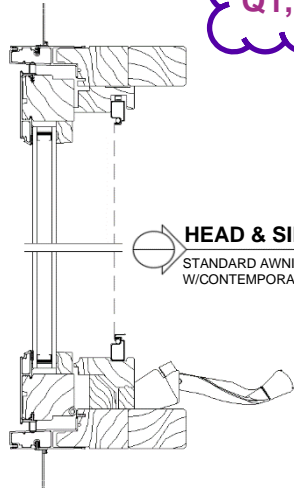
Operating Awning



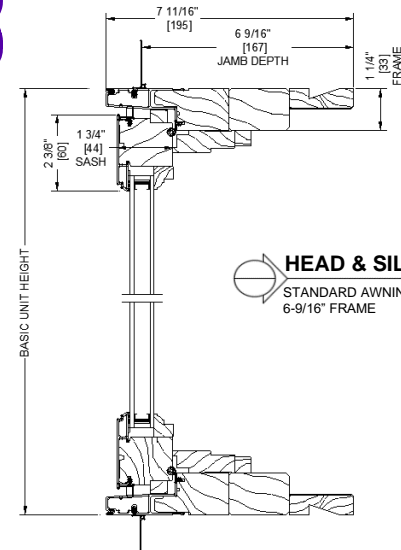
Picture/Fixed Awning



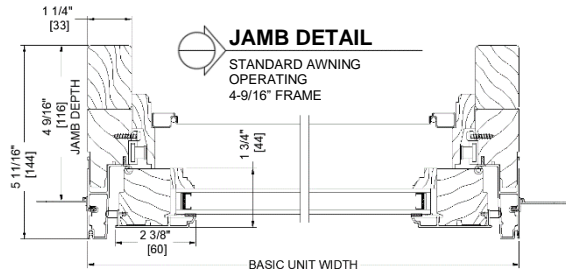
HEAD & SILL DETAIL
STANDARD AWNING OPERATING
4-9/16" FRAME



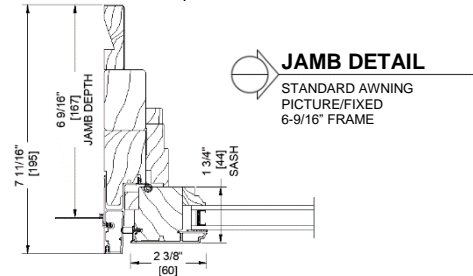
HEAD & SILL DETAIL
STANDARD AWNING OPERATING
W/CONTEMPORARY GLAZING BEAD



HEAD & SILL DETAIL
STANDARD AWNING PICTURE/FIXED
6-9/16" FRAME



JAMB DETAIL
STANDARD AWNING
OPERATING
4-9/16" FRAME



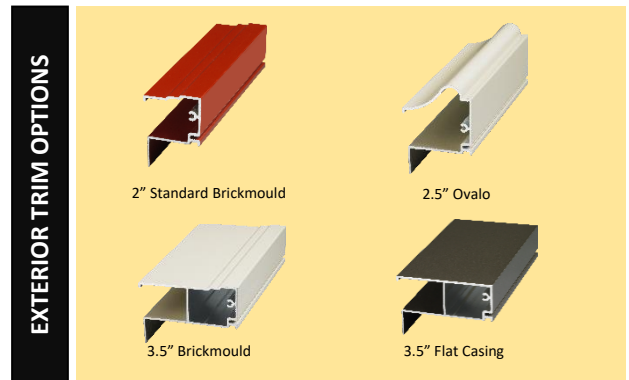
JAMB DETAIL
STANDARD AWNING
PICTURE/FIXED
6-9/16" FRAME

Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Clad Standard Casement Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2604 specifications. Optional AAMA 2605 available.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-Glass available in 5/8" and 1" flat.
- Optional veneer wrapped lift rail screen.
- 10 Factory finished Ultra Coat Paint, 3 Ultra Stain or Primed interior options.



Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



Westchester Double Hung



Old world design meets modern day performance. The design of the Westchester Double Hung is historically driven with it's narrow checkrail, stiles, and wide bottom rail, while maintaining the modern conveniences of hidden tilt latches, effortless operation, and superior performance in low maintenance finishes. With a complete product offering including operating double and single hung, picture, and transom configurations, the Westchester Double Hung is sure to fill any niche.

Standard Construction:

- Frame with 0.063" thick exterior cladding with integral nail fin, mitered corners that are mechanically fastened and 5/8" thick wood interior.
- Sloped sill fabricated with 0.078" thick extruded vinyl with aluminum clad exterior and wood interior. PVC endcap water management system with integral angled installation leg.
- Full 1-3/4" thick sash with stiles and rails slot and tenon joined; Checkrail joined using dovetail and thermally broken with fiberglass interlock. Narrow 2" stiles and upper sash top rail, 1-1/2" checkrail, and 3-3/8" bottom sash rail. Stiles run through the bottom and top rails. 3/4" and 1" glass thickness.
- Removable tilt in sash operated with concealed constant force balances and hidden tilt latches in the sash stiles.
- Lock and latches operated with single combination lock and tilt mechanism.
- Standard, innovative, narrow profile, removable Flexscreen.



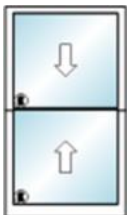
Pictured: Westchester Double Hung, (Right) Ultra coat black interior

MINIMUM / MAXIMUM FRAME SIZES

Additional sizes may be available upon request and approval.

WESTCHESTER DOUBLE/SINGLE HUNG		WESTCHESTER PICTURE		WESTCHESTER TRANSOM	
Minimum Frame Width	17-1/2"	Minimum Frame Width	17-1/2"	Minimum Frame Width	17-1/2"
Minimum Frame Height	35-1/2"	Minimum Frame Height	35-1/2"	Minimum Frame Height	15-1/2"
Maximum Frame Width	59-1/2"	Maximum Frame Width	83-1/2"	Maximum Frame Width	95-1/2"
Maximum Frame Height	107-1/2"	Maximum Frame Height	107-1/2"	Maximum Frame Height	35-1/2"
		Maximum Sq/Ft	56	Maximum Sq/Ft	24

Performance Data:



Operating Double Hung: 47.5" x 83.5" Frame Size

AIR INFILTRATION.....0.13/0.11
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....LC-PG50 (+50/-55)

Operating Double Hung: 59.5" x 107.5" Frame Size

AIR INFILTRATION.....0.13/0.13
 WATER.....NO LEAKAGE @ 4.50 PSF
 STRUCTURAL.....LC-PG30 (+30/-30)



Picture Unit: 71.5" x 107.5" Frame Size

AIR INFILTRATION.....0.01/0.02
 WATER.....NO LEAKAGE @ 7.52 PSF
 STRUCTURAL.....LC-PG50 (+50/-50)

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)	Low-E 272 Clear	Low-E 366	Triple IG (LE272/LE180/LEi89)
U-FACTOR.....0.32	U-FACTOR.....0.31	U-FACTOR.....0.24	U-FACTOR.....0.29	U-FACTOR.....0.28	U-FACTOR.....0.21
SHGC.....0.28	SHGC.....0.20	SHGC.....0.26	SHGC.....0.30	SHGC.....0.20	SHGC.....0.26
VT.....0.49	VT.....0.46	VT.....0.44	VT.....0.51	VT.....0.46	VT.....0.44
CR.....53	CR.....54	CR.....51	CR.....56	CR.....57	CR.....55

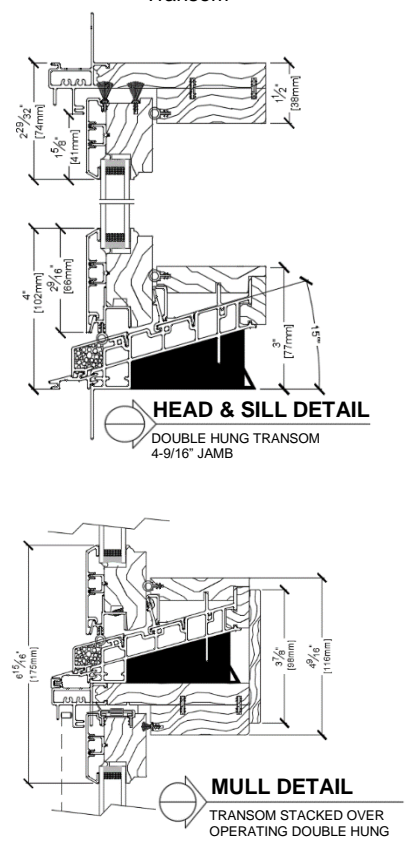
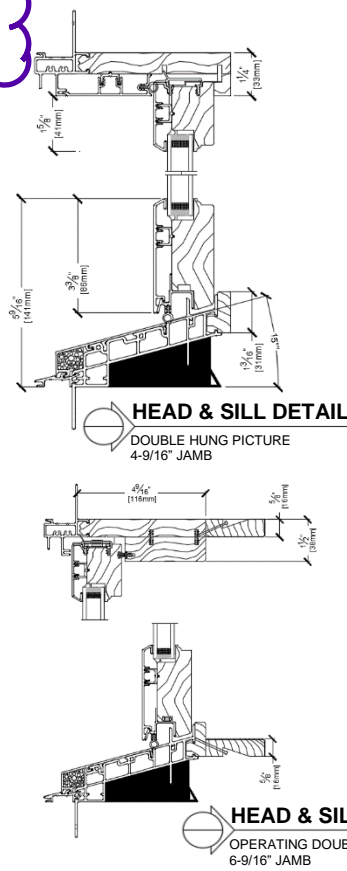
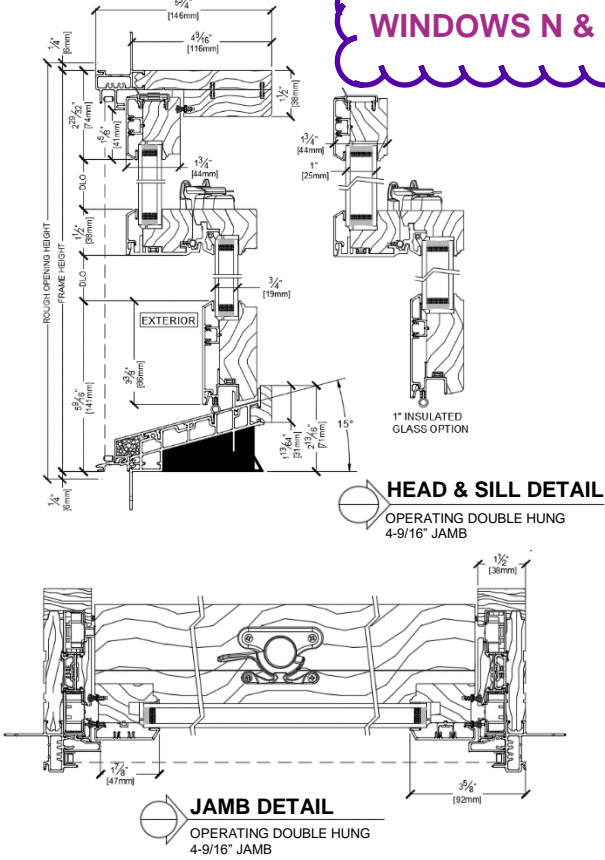
Values represent insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Westchester Double/Single Hung Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

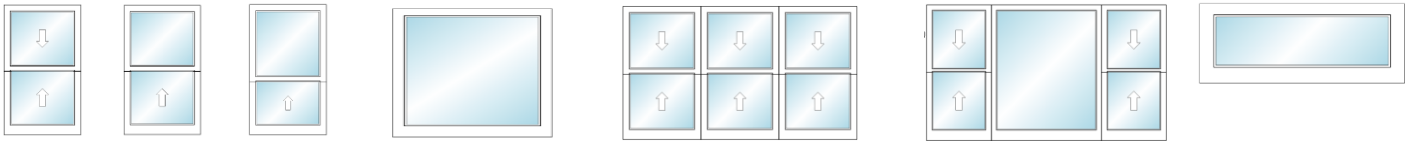
Clad Westchester Double Hung
Operating

Clad Westchester Double Hung
Picture

Clad Westchester Double Hung
Transom



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Typical configurations shown. Contact us for additional options.

LOCKING/OPERATING HARDWARE **OPTIONAL LIFT HANDLES**



Bright Brass



Matte Black



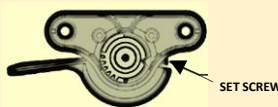
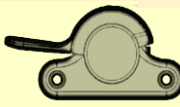
Finger Lift

Cabinet Handle

Twelve Available Finishes:

White, Champagne, Bronze, Bright Brass, Brushed Chrome, Polished Chrome, Antique Brass, Oil Rubbed Forever Bronze, Chestnut Bronze, Matte Black, Satin Nickel, Satin Brass

OPTIONAL CUSTODIAL LOCK FEATURE



**Westchester Double Hung / Single Hung
Additional Features**

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available using black warm edge or Cardinal XL Edge spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-Glass available in 5/8" flat and 11/16" contour.
- 60/40, 40/60 or custom venting splits.
- Optional roll formed full or half framed screens.
- Optional non-tilt adapter hardware.
- 10 factory finished Ultra Coat Paint colors or 3 Ultra Stain interior options.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



Timber Curtain Wall



Make a dramatic statement to a home or commercial building using our custom-designed Architectural Wall System with all-wood interiors and structural integrity. These advanced systems feature laminated wood beams that can be designed into your residential or commercial projects. Our wood curtain wall can be constructed with insulated glass for maximum unobstructed views or compliment your wall design with our operable doors and windows for optional ventilation and functionality.

Standard Construction:

- Vertical and structural corner wall systems available.
- Each wall system is expertly designed to meet your project’s structural load and performance requirements.
- Beam depths will vary based on structural load and overall size of curtain wall.
- Standard 3 inch or 5 inch thick Douglas fir glue-laminated beams.
- 6063 T5 grade exterior aluminum, powder coated in AAMA 2605 or AAMA 2604 textured finish.
- Pressure equalized, exterior glazed system with 1 inch or 1-1/4 inch overall insulated glass thickness with box spacer.
- Concealed fasteners, anchors, and connection devices for a clean, finished look.



Pictured: Timber Curtain Wall System with Outswing Door.

Performance Data:



Tested Wall Configuration: 126" x 102"*

AIR INFILTRATION.....0.03 @ 6.24 PSF
 WATER.....NO LEAKAGE @ 10.5 PSF
 STRUCTURAL.....+70/-70 (DP70)
 LATERAL DISPLACEMENT.....NO DAMAGE WHEN DISPLACED 1.25"***
 SEISMIC MOVEMENT.....WITHSTAND UP TO 1.87" MOVEMENT**



**The above stated values for air, water, structural windload, lateral displacement and seismic testing are a base representation of a test specimen measuring 126 INCHES (3200mm) wide by 102 INCHES (2590mm) high. Configurations and sizes will vary per project therefore engineering must be consulted to determine the performance values for each project’s application.*

***Lateral displacement and seismic movement tested to AAMA 501.4 standard.*

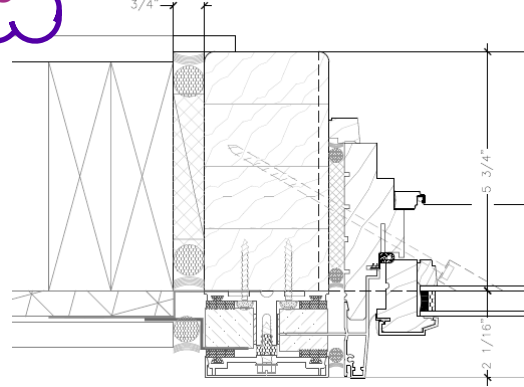
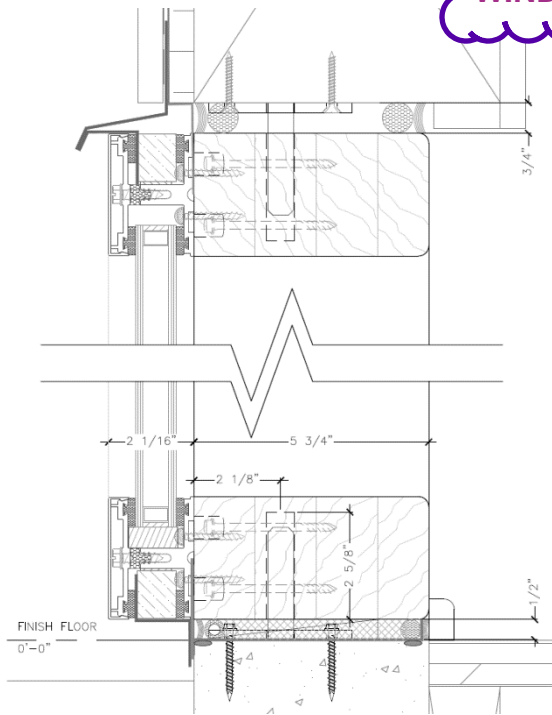
Thermal Performance (NFRC):

The Timber Curtain Wall System is constructed using insulated glass units or select SPW operating units. Therefore, the thermal performance for the wall system will be dependent on the type of glass used or the performance of the SPW unit type being used. Please refer to the website, www.sierrapacificwindows.com/TechnicalDocuments, for various glass make-ups simulated for NFRC numbers.

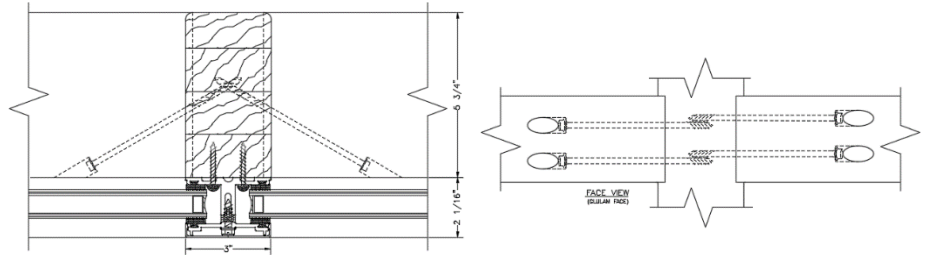
Typical Head and Sill Pin Anchor
3" x 5 3/4" Glulam
Vertical Section

WINDOW SYSTEM O

Typical End Post w/Clad Urban Awning
3" x 5 3/4" Glulam
Horizontal Section



Intermediate Post @ Mullion
3" x 5 3/4" Glulam
Horizontal Section w/Face View



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary



Every Timber Curtain Wall System is custom designed, meeting the project's performance requirements and unique design. Contact your SPW Architectural Consultant to discuss the limitless design potential this wall system can provide.

Architectural Wall System Additional Features

- Color Palette of 70 powder coated colors in six design collections in AAMA 2605 or AAMA 2604 finish.
- Optional architectural grade Alaskan yellow cedar beams ideal for high moisture applications.
- Sierra Pacific windows and doors may be incorporated in to the wall system.
- Vertical and Structural Corner construction available.
- Options for custom exterior aluminum caps or wood exterior caps may be incorporated.

Place Business Card or
Company Information Here

Please visit our website for additional details or to contact your nearest Sierra Pacific Architectural Consultant.

Clad Swing Patio Door (CA)



Available as an inswing or outswing operation, single, double, or triple, with or without sidelites, Sierra Pacific's California based swinging doors are the most eloquent answer to opening your world to the outdoors. Personalize your design with a graceful radius top, lockrail, or panel insert. Beyond their beauty, you'll quickly see our doors are built to the highest quality of standards.

Standard Construction:

- 1-3/4" thick panel is constructed with 0.075" thick extruded aluminum. Available with 3-3/8" or 4-5/8" stiles and with 4-5/8", 6-13/16", or 10" bottom rail.
- Standard 4-9/16" jamb depth frame constructed with 0.062" thick extruded aluminum and integral nailing flange.
- Multi-point locking mechanism with solid forged brass handles
- 3, 4, or 5 hinges depending on door height. Standard adjustable hinges and optional ball bearing hinges on inswing and outswing operating doors.



MINIMUM / MAXIMUM FRAME SIZES - OPERATING			
Additional sizes may be available upon approval.			
	1-WIDE	2-WIDE	3-WIDE
INSWING DOOR			
Minimum Frame Width*	19-11/16"	38-9/16"	59-1/16"
Maximum Frame Width*	43-11/16"	86-9/16"	113-1/16"
OUTSWING DOOR			
Minimum Frame Width*	19-13/16"	39-1/4"	59-7/16"
Maximum Frame Width*	43-13/16"	87-1/4"	113-7/16"
Minimum Frame Height	61-3/4" (Inswing)	61-3/16" (Outswing)	
Maximum Frame Height	121-3/4" (Inswing)	121-3/16" (Outswing)	

*Actual minimum and maximum width limitations will vary depending on height selected.

Performance Data:



Inswing French: 74.5625" x 98"

AIR INFILTRATION.....0.06/0.06/A3
 WATER.....NO LEAKAGE @ 3.76 PSF
 STRUCTURAL.....LC-PG25 (+25/-25)



Inswing w/Mulled Sidelite: 87.25" x 98"

AIR INFILTRATION.....0.04/0.07/A3
 WATER.....NO LEAKAGE @ 4.59 PSF
 STRUCTURAL.....LC-PG30 (+30/-30)

Outswing French: 75.125" x 97.25"

AIR INFILTRATION.....0.03/0.03/A3
 WATER.....NO LEAKAGE @ 2.92 PSF
 STRUCTURAL.....LC-PG25 (+25/-25)

Outswing w/Mulled Sidelite: 88" x 97"

AIR INFILTRATION.....0.02/0.06/A3
 WATER.....NO LEAKAGE @ 2.93 PSF
 STRUCTURAL.....LC-PG40 (+40/-40)

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Swing Door Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Low-E 272/180/i89	Low-E 272 Clear	Low-E 366	Low-E 272/180/i89
U-FACTOR.....0.31	U-FACTOR.....0.31	U-FACTOR.....0.24	U-FACTOR.....0.29	U-FACTOR.....0.28	U-FACTOR.....0.22
SHGC.....0.25	SHGC.....0.17	SHGC.....0.22	SHGC.....0.25	SHGC.....0.17	SHGC.....0.22
VT.....0.43	VT.....0.38	VT.....0.37	VT.....0.43	VT.....0.38	VT.....0.37
CR.....59	CR.....59	CR.....53	CR.....62	CR.....63	CR.....59

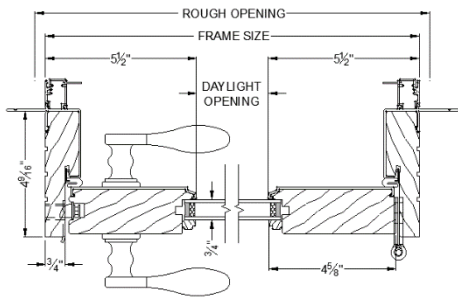
Values represent the California based Clad Inswing Doors. Insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Swing Door Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

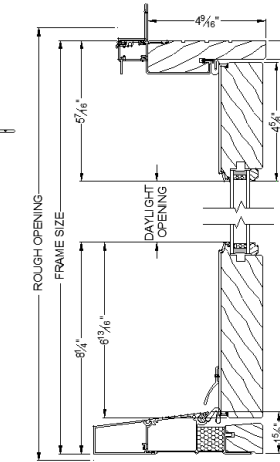
Clad Inswing Door
4-9/16" JAMB

DOORS 3 & 5

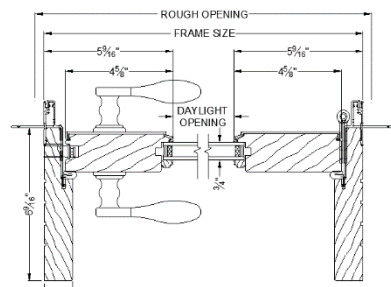
Clad Outswing Door
6-9/16" JAMB



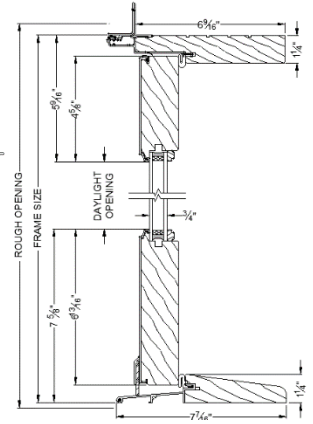
JAMB DETAIL
1-PANEL OPERATING INSWING
4-9/16" JAMB



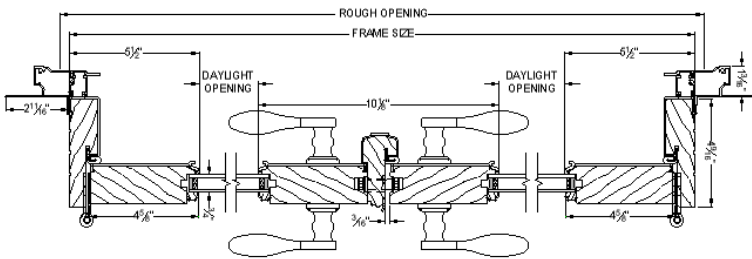
HEAD & SILL DETAIL
1-PANEL OPERATING INSWING
4-9/16" JAMB



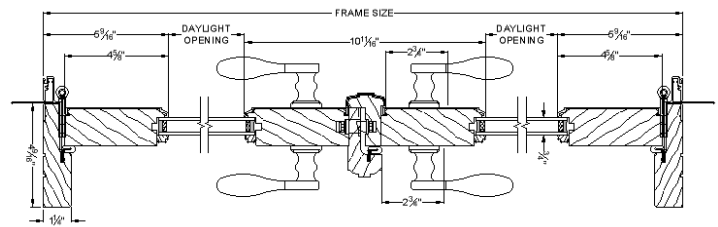
JAMB DETAIL
1-PANEL OPERATING OUTSWING
6-9/16" JAMB



HEAD & SILL DETAIL
1-PANEL OPERATING OUTSWING
6-9/16" JAMB



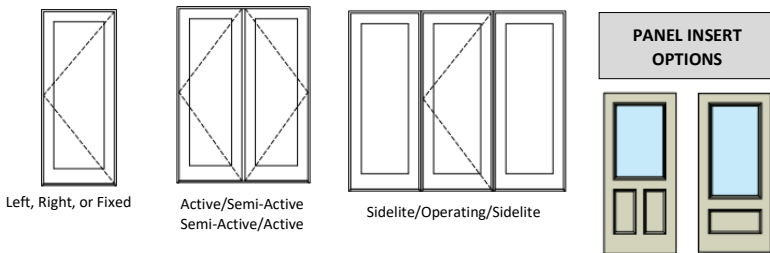
JAMB DETAIL
2-PANEL OPERATING INSWING
WITH BRICKMOULD
4-9/16" JAMB



JAMB DETAIL
2-PANEL OPERATING OUTSWING
4-9/16" JAMB

Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

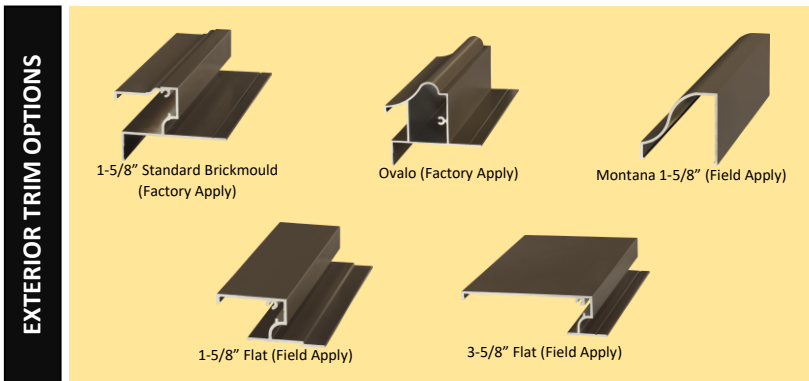
Typical configurations shown. Matching transoms available. Contact us for additional options. Handing as viewed from the exterior.



Clad Swing Door Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Grille options include Simulated Divided Lite and Grilles-Between-Glass.
- Available as Outswing or Inswing.
- ADA (Low Profile) sill.
- 10 factory finished Ultra Coat Paint or Primed interior.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



Place Business Card or Company Information Here

Clad Sliding Patio Door (CA)



Sierra Pacific Sliding Patio Doors create a graceful transition from your indoor to outdoor living areas. These doors are as secure and durable as they are beautiful, and feature a multi-point locking system, passing the most stringent forced entry requirements.

Standard Construction:

- Frames covered with 0.062" thick extruded aluminum exterior.
- 1-3/4" panels covered with 0.075" thick extruded aluminum exterior.
- Panels have wide 4-5/8" wood stiles and top rail, 6-13/16" bottom rail. Narrow 3-3/8" wood stiles available. Narrow 2-5/16" stiles available on sidelites.
- Pultruded, thermally efficient, bronze fiberglass sill.
- Standard stainless steel multi-point locking hardware.
- Forged brass interior and exterior handles in three styles and multiple finishes. Optional flush handles.
- Extruded aluminum 18x18 View Clear mesh sliding screens, color matched to the clad exterior. Optional 20x20 View Clear Plus mesh sliding screens.



Pictured: OXXO Sliding Door – Wide stiles and bottom rail on left; narrow stiles and bottom rail on right.

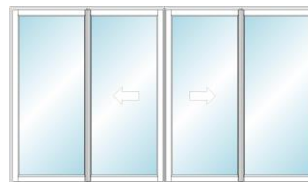
MINIMUM / MAXIMUM FRAME SIZES			
Custom sizing available in 1/16" increments. Additional sizes may be available upon approval.			
	2-WIDE	3-WIDE	4-WIDE
Minimum Frame Width	59-3/16"	92-11/16"	117-3/16"
Maximum Frame Width	117-3/16"	145-11/16"	233-3/16"
Minimum Frame Height	61-1/2"		
Maximum Frame Height	121-1/2"		

Performance Data:



2-wide Sliding Door: 95-1/4" x 97-3/4"

AIR INFILTRATION...0.24/0.08/A2
 WATER..... NO LEAKAGE @ 6.9PSF
 STRUCTURAL.....LC-PG45 (+45/-45)



4-wide Sliding Door: 189-1/4" x 97-3/4"

AIR INFILTRATION...0.05/0.04/A3
 WATER..... NO LEAKAGE @ 3.76PSF
 STRUCTURAL..... LC-PG25 (+25/-25)

For a comprehensive list of tested and rated sizes and configurations, please refer to the [Clad Door Product Performance Guide](#) (Structural) located in the Technical Resources Library on our website.

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E 272 Clear	Low-E 366	Low-E 366/i89	Low-E 272 Clear	Low-E 366	Low-E 366/i89
U-FACTOR.....0.32	U-FACTOR.....0.32	U-FACTOR.....0.27	U-FACTOR.....0.29	U-FACTOR.....0.29	U-FACTOR0.25
SHGC.....0.28	SHGC.....0.19	SHGC.....0.18	SHGC.....0.28	SHGC.....0.18	SHGC.....0.18
VT.....0.47	VT.....0.42	VT.....0.41	VT.....0.47	VT.....0.42	VT.....0.41
CR.....54	CR.....54	CR.....43	CR.....57	CR.....57	CR.....47

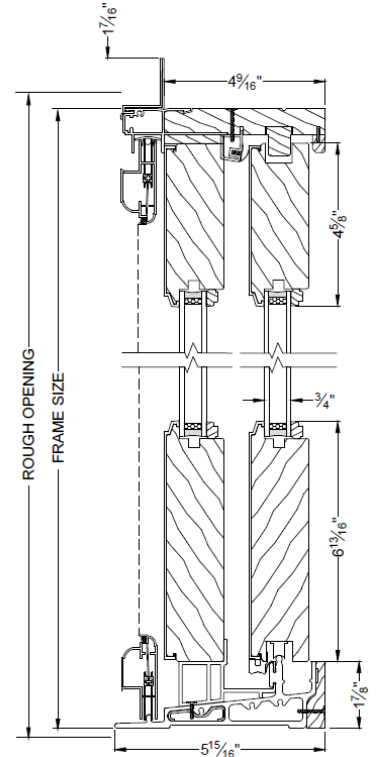
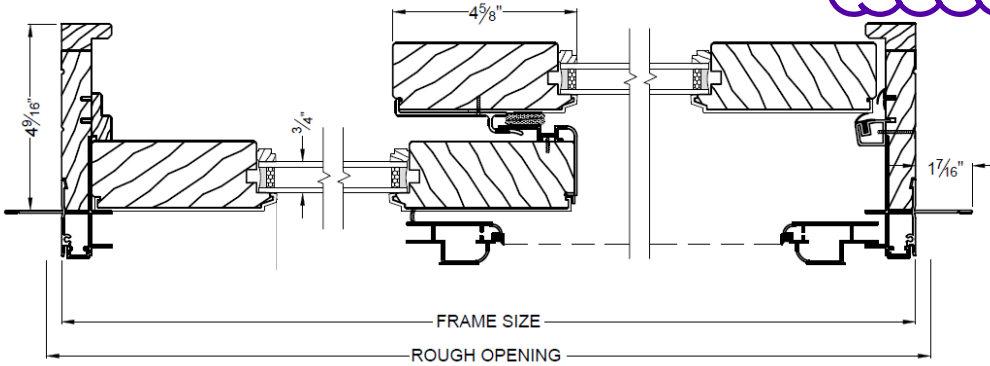
All values represent CA Sliding Patio Door units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the [Clad Patio Slider Product Performance Guide](#) (NFRC) located in the Technical Resources Library on our website.

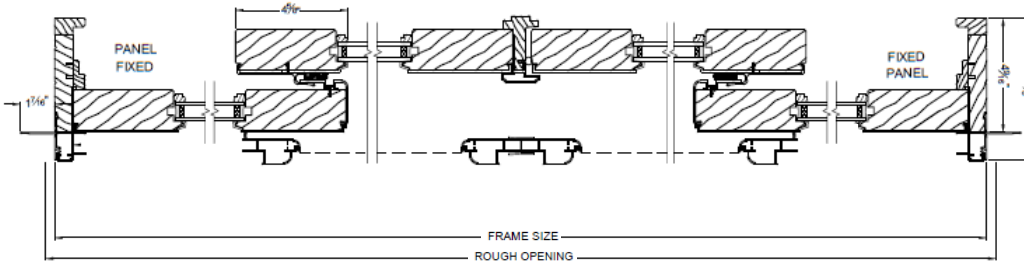
Standard 4-9/16" Jamb
HORIZONTAL OPERABLE SECTION – 2 PANEL



Standard 4-9/16" Jamb
VERTICAL OPERABLE SECTION

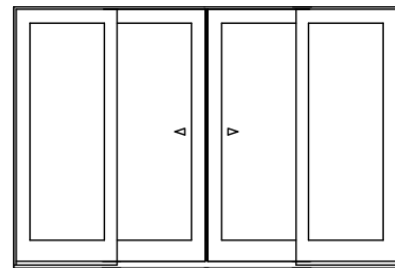
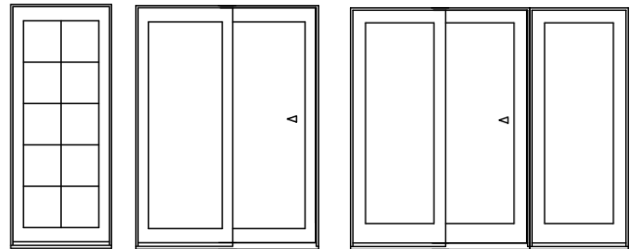
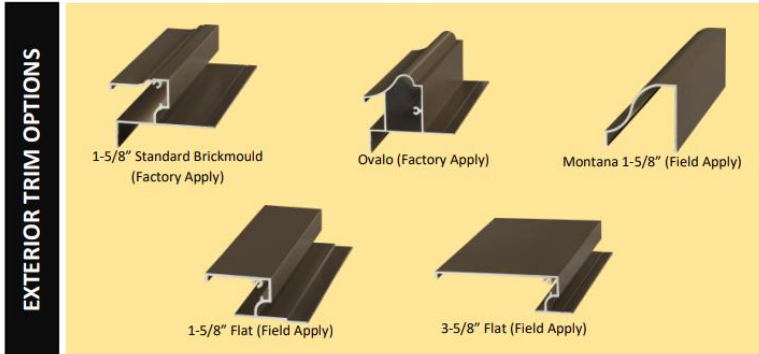


Standard 4-9/16" Jamb
HORIZONTAL OPERABLE SECTION – 4 PANEL



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

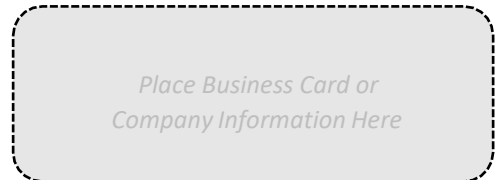
Typical configurations shown. Handing as viewed from exterior. Contact us for additional options.



Clad Sliding Patio Door (CA) Additional Features

- Color Palette of 50 powder coated finishes in four design collections that meet AAMA 2605 or 2604 specifications.
- Extensive offering of performance glass available in black warm edge or Cardinal spacer for optimum efficiency.
- Grille options including Simulated Divided Lites and Grilles-Between-Glass.
- 10 factory finished Ultra Coat Paint or Primed interior.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



ATTACHMENT 5

August 15, 2024 CHC Staff Report



Cultural Heritage Commission Agenda Report

ITEM NO. 3

DATE: August 15, 2024

FROM: Angelica Frausto-Lupo, Community Development Director
Matt Chang, Planning Manager

PREPARED BY: Robert (Dean) Flores, Senior Planner

SUBJECT: **Project No. COA24-0011 – A request for a Certificate of Appropriateness (COA) for a 963-square-foot single-story addition, 753 second-story addition, construction of new 233 square-foot front porch, a 530 square-foot rear porch, and a new detached 2-car garage at a single-family dwelling located at 1831 Laurel Street (APN: 5320-022-005). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).**

RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

BACKGROUND

Project Timeline/Previous Approvals

On December 20, 2023, the Cultural Heritage Commission (CHC) Chair approved a Chair Review application for a house relocation (within the same site) to move the existing two-story single-family residence closer to the front of the property (22'-3" north and 2'-3" east from the previous location). The house move was completed on July 10, 2024.

On June 13, 2024, the applicant submitted an application for a Certificate of Appropriateness for first- and second-story additions to an existing single-family residence. On July 24, 2024, the project application was deemed complete.

Site Characteristics

The subject property is a rectangular-shaped 17,510 square-foot lot located on the southerly side of Laurel Street between Marengo Avenue and Milan Avenue. The subject property is located in the Residential Estate zoning district, or RE Zone, and is surrounded by one- and two-story single-family residential uses. Neighborhood images are included on page A-1B of the architectural plans (**Attachment 2**).

The subject site is currently developed with an existing 3,189 square-foot two-story single-family dwelling with no existing garage. The site also features an existing pool located behind the home. The subject site is included in the City's Inventory of Historic Resources, listed as part of the Eligible Oneonta Park District (**5D1**). The eligible district is comprised of moderately sized period revival buildings built between 1907 and 1950.

Image 1: Street View of the Property



The single-family residence (see **Image 1** above) was built in 1910 in the Craftsman style. Character-defining features include the exterior shingle siding, second story balcony, covered porch on the east side, fixed wood windows, bay window, and exposed wood rafters.

Since being built, the property has undergone a few alterations – some permitted and some the City has no records of. According to building permit records:

- In 1951, a permit was issued to “expand window length,” (it is presumed that during this time, the home also added the metal awnings, metal railings, and window shutters),
- In 1961, a permit was issued for the installation of a pool,
- In 1962, a permit was issued for an interior remodel,
- In 2008, a demolition permit was issued for the demolition of the existing garage.

Building permit records are included as **Attachment 3**.

PROJECT DESCRIPTION

The applicant is requesting approval of a Certificate of Appropriateness to construct a 963-square-foot single-story addition, 753 second-story addition, construction of new 233 square-foot front porch and 530 square-foot rear porch to an existing two-story single-family dwelling. The proposed project also includes the construction of a new detached two-car garage. When complete, the property will include a total of 4,905 square feet of floor area. The additions will allow for a new office, two (2) new bedrooms, and two-and-a-half (2.5) bathrooms, for a total of six (6) bedrooms and six-and-a-half (6.5) baths. The architectural plans and proposed materials are included as **Attachment 2**.

PROJECT ANALYSIS

General Plan Consistency

The General Plan (2040) land use designation of the project is Very Low-Density Neighborhood, which allows for single-family dwellings at up to 3 units per acre. The proposed project, therefore, complies with the following General Plan goals, policies, and/or actions:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena’s character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

Zoning Code Compliance

The subject property is zoned RE, which is intended for the development of detached single-family homes and accessory structures. The existing land use and density of the project site complies with the South Pasadena Municipal Code (SPMC) Division 36.220. The purpose of the Residential Design Review process is to ensure that the proposed site layout and building design are suitable and compatible with the City’s design standards and guidelines. Residential Development Standards from SPMC Section 36.220.040 was applied to the proposed project. **Table 1** below lists the project’s conformance with applicable development standards.

Table 1: Residential Development Standards Compliance

Standard	Requirement	Existing	Proposed
Lot Coverage	40% (7,004 SF max. allowed)	9.6% 1,681 SF	21.9% 3,841 SF
Floor Area Ratio (FAR)	35% (6,129 SF max. allowed)	18.2% 3,189 SF	28% 4,905 SF
Building Height	35 ft. max.	27 ft.	28 ft., 4 in.
Off-Street Parking	2-Car (Covered)	No garage	2-car garage
Front Setback	25% of lot depth, 25 ft. minimum	37 ft., 6 in.	Unchanged
Side Setback	10% of lot width (10 ft. required)	West: 10 ft. East: 39 ft. 11 in.	Unchanged
Rear Setback	25 ft. minimum	95 ft. 2 in.	62 ft.

Certificate of Appropriateness (COA)

The proposed first and second floor additions require a Certificate of Appropriateness review and approval from the Cultural Heritage Commission as the addition is larger

than 200 square feet and also features alterations to the front elevation of the home. The subject property has been identified as a contributor to an eligible historic district by the City of South Pasadena. As such, an addition should be visually subordinate, or secondary, to the original structure.

As previously stated, the proposed project includes a 963 square-foot first story addition, a new 753 square-foot second story addition, two new porches, and a detached garage. The majority proposed work is concentrated in the middle and rear of the existing structure and maintains the character of the existing one-story structure. The only changes proposed to the front elevation include the construction of a new porch to replace the existing porch railings, installation of new attic venting, new windows, and the removal of the existing metal awning and window shutters, which are not presumed to be part of the original home (see **Attachment 4** – Project Narrative for more information regarding the home’s history).

The proposed first- and second-story additions will have a very limited visibility from the public right-of-way along Laurel Street. The second story addition is carefully differentiated from the existing structure in that it is articulated from the original home as it is recessed from both sides to clearly distinguish between the existing and new. The new addition also incorporates design elements such as incorporating slightly smaller shingle siding, clad (instead of wood) casement and double hung windows, and the installation of the front and rear porches. The existing and proposed elevations can be found on **Images 2-4**.

Image 2: Existing and Proposed North (Front) Elevations

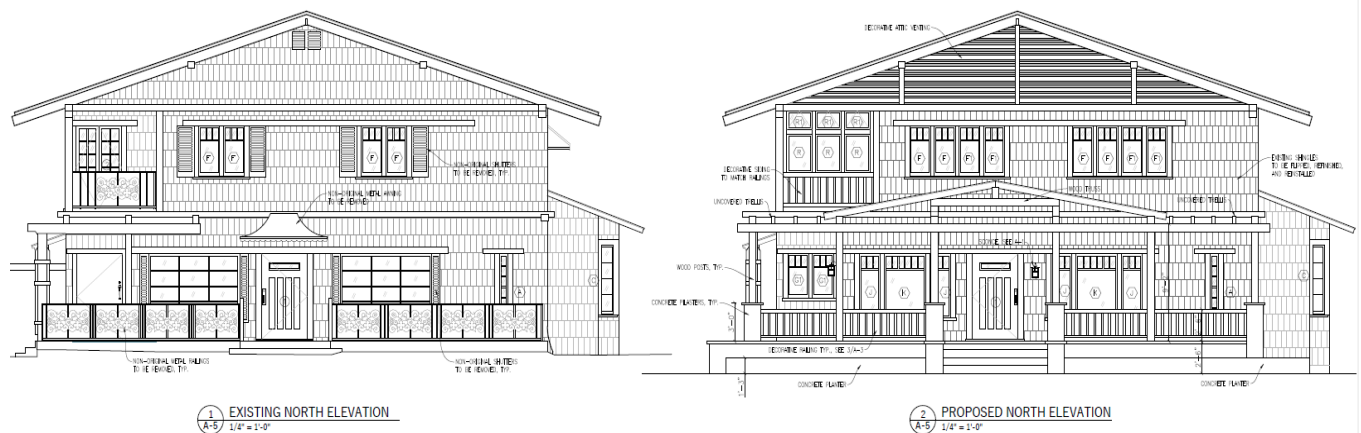


Image 3: Existing and Proposed South (Rear) Elevations

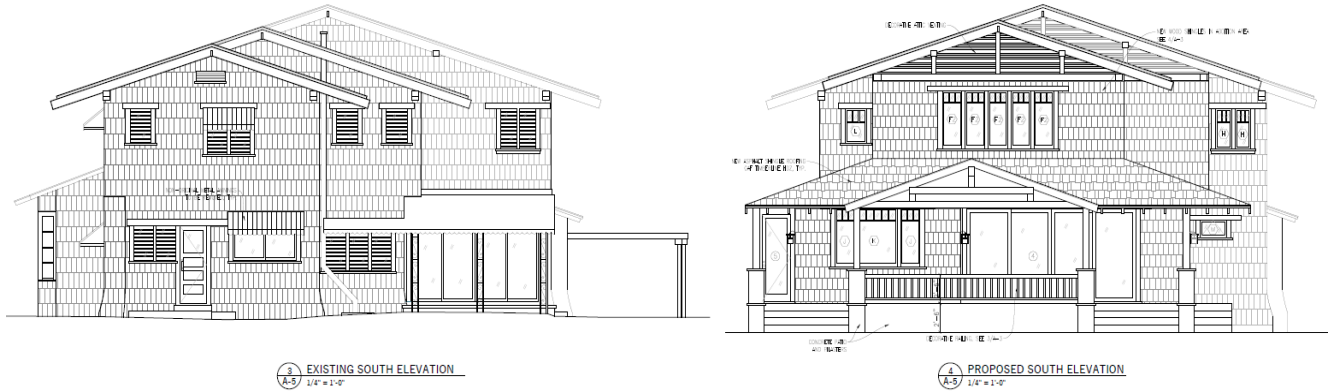


Image 4: Existing and Proposed East (Side) Elevations



FINDINGS

Required Certificate of Appropriateness (COA) Findings

In order to approve a Certificate of Appropriateness, the Cultural Heritage Commission shall first find that the design and layout of the proposed addition complies with the findings as stipulated in the South Pasadena Municipal Code.

Mandatory Findings

The Cultural Heritage Commission shall make all the required findings listed below.

1. The project is consistent with the goals and policies of the General Plan.

The project is consistent with the goals and policies of the General Plan for preservation, rehabilitation, and use of historic resources in the City. The existing home, built in 1910, is listed on the City of South Pasadena's Historic Inventory List as a potential contributor to the eligible Oneonta Park District. The proposed project has been designed to retain and preserve the character-defining features of the house. As proposed, the project is consistent with the following General Plan Goal 3 and Policy P3.4:

Goal 3: Preserve and enhance the distinctive residential neighborhoods; provide housing opportunities for all; reinvest in downtown corridors and neighborhood centers; and ensure that new development contributes its fair share towards the provision of affordable housing, adequate parks, schools, and other public facilities.

Policy P3.4: Conserve South Pasadena's character and scale, including its traditional urban design form, while creating places of enduring quality that are uniquely fit to their time and place.

2. The project is consistent with the goals and policies of Article IVH – Cultural Heritage Ordinance – of Chapter 2 of the South Pasadena Municipal Code.

The project is consistent with the goals and policies of the Cultural Heritage Ordinance. The project implements the goals of the Cultural Heritage Ordinance by encouraging and perpetuating the long-term, viable use of the cultural resource. The project preserves the architectural and aesthetic features of the historic home consistent in a manner that is generally consistent with the *Secretary of Interior's Standards*.

3. The project is consistent with the applicable criteria identified in subsection (e)(8) of this section which the commission applies to alterations, demolitions, and relocation requests.

The project, including the residence's addition, is consistent with the *City of South Pasadena's Design Guidelines*; the following are most relevant to the proposed modifications and addition to the property:

1. "Additions should be located at the rear or secondary sides of a historic building, set back from the primary facades, and should be limited in size and

scale in relation to the existing structure. Additions should have limited visibility from the street.” (p. 36)

2. “New additions should be compatible in mass and scale with the neighborhood, and should be visually subordinate to the original building.” (p. 37)
3. “Additions should be placed at the building rear and set back from the front to minimize the visual impact on the historic structure from the public right-of-way so that the original proportions and character remain prominent.” (p. 39)
4. “Façade treatments for new additions should be consistent with the existing building and its architectural style. Details and elements not found on the existing structure or inconsistent with the style should be avoided.” (p. 46)

The project is consistent with the standards in the Secretary of Interior’s Standards of Rehabilitation, as shown in **Table 3**.

Table 3: Consistency with Secretary of Interior Standards

Standard	Recommendation
Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	Consistent.
Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.	Consistent.
Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.	Consistent.
Standard 4: Changes to a property that have acquired historic significance will be retained and preserved.	Consistent.
Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.	Consistent.

Standard	Recommendation
<p>Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</p>	<p>Not applicable.</p>
<p>Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</p>	<p>Not applicable.</p>
<p>Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</p>	<p>Not applicable.</p>
<p>Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property, the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</p>	<p>Consistent.</p>
<p>Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p>	<p>Consistent.</p>

Project Specific Findings for a Certificate of Appropriateness

Finding 2. The project is appropriate to the size, massing, and design context of the historic neighborhood;

The project is appropriate to the size, massing and design context of the historic residence and the surrounding district, which is comprised of a mixture of one and two-story residential buildings. The first- and second-story additions are located to the middle and rear of the structure and incorporates compatible building materials, finishes, and detailing as the historic property. Therefore, the proposed addition would be harmonious and compatible with surrounding homes and the neighborhood.

Finding 3. In the case of an addition or enlargement, the project provides clear distinction between the new and historic elements of the cultural resource or improvement;

The new addition is located at the middle and rear of the home. The new addition on the first floor is setback an additional six feet on the easterly side of the home from the existing home's side yard setback. The additions to the second story are stepped back on both sides from the first floor. To provide clear distinction between the new and historic elements, the proposal utilizes a smaller-sized exterior shingle siding than the existing siding. The proposal also includes clad casement and double hung windows instead of the existing fixed wood windows.

Finding 5. The project adds substantial new living space while preserving the single story [architectural style or building type] character of the streetscape;

The project will add substantial new living space while preserving the character of the eligible historic district. The proposed additions will provide an additional bedroom, bathrooms, and an office space and is designed to limit the overall scale and massing of the existing structure. Other than the replacement of the existing front porch and other minor treatments, the overall front façade will preserve the existing character of the streetscape.

ENVIRONMENTAL ANALYSIS

This project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) analysis based on State CEQA Guidelines Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historical Resource Restoration/Rehabilitation).

STAFF RECOMMENDATION

Staff recommends that the Cultural Heritage Commission:

1. Finding the project exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15331 of the CEQA Guidelines.
2. Approve Project No. COA24-0011 subject to the conditions of approval (**Attachment 1**).

ALTERNATIVES TO CONSIDER

The Cultural Heritage Commission has the following options available;

1. The Cultural Heritage Commission can Approve the project as is or with modified condition(s) added or removed and provide findings; or

2. The Cultural Heritage Commission can Continue the project, providing the applicant with clear recommendations to revise the proposal; or
3. The Cultural Heritage Commission can Deny the project.

PUBLIC NOTICING

A Public Hearing Notice was published on August 2, 2024, in the South Pasadena Review. Hearing notices were sent to all properties within a 300-foot radius on July 31, 2024. In addition, the public was made aware that this item was to be considered at a public hearing by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website.

NEXT STEPS

If the Cultural Heritage Commission approves the project, a 15-day appeal period will commence in which any person affected by the decision may appeal the decision for a public hearing by the City Council. Should there be no appeals during this 15-day period, the applicant may proceed through the Plan Check Process with the Planning Division to review the construction plans to ensure that all conditions are satisfied prior to submittal with the Building Division.

ATTACHMENTS

1. Conditions of Approval
2. Architectural Plans
3. Building Permits
4. Project Narrative
5. Window & Door Brochures



Cultural Heritage Commission Agenda Report

ITEM NO. 5

DATE: September 19, 2024

FROM: Angelica Frausto-Lupo, Community Development Director
Robert (Dean) Flores, Senior Planner

PREPARED BY: Michael Donovan, Associate Planner

SUBJECT: 203 Oaklawn Avenue – Mills Act Request (Case No. MIL24-0001)

Recommendation

Staff and the Subcommittee of the Cultural Heritage Commission recommends that the Commission make a recommendation to the City Council to enter into a Mills Act contract for 203 Oaklawn Avenue.

Background

On February 26, 2024, a letter of intent to file a Mills Act application for the property located at 203 Oaklawn Avenue was filed with the City by the Property Owner, Michael Girvigian (**Attachment 1**).

On April 18, 2024 a Subcommittee composed of Commissioners Scott Severson and William Cross was formed to review the submitted materials for the Mills Act request and to conduct an on-site meeting with the homeowner to inspect the condition of the property.

On May 22, 2024 the subcommittee and the homeowner participated in the virtual tour of the home.

On June 25, 2024, a formal Mills Act application was filed by the Applicant's Representative, Marina Khrustalev.

Discussion/Analysis

The subcommittee finds that the subject property qualifies for a Mills Act contract because the property is a contributor to the Oaklawn Historic District and the proposed Rehabilitation and Restoration Plan for the historic resource is appropriate and meets the criteria for a Mills Act contract as listed in South Pasadena Municipal Code Section 2.68.b.1.c.

Staff has determined that items 12 and 20 under the Proposed Scope of Work do not meet Criteria (v) because the electrical upgrades, new gravity furnace, and asbestos mitigation are

found to not improve the structural integrity of the property or preserve and maintain character-defining features specifically identified as part of the official landmark nomination; and/or preserve and maintain character-defining features of the property that were discovered subsequent to its landmark designation.

Proposed Scope of Work:

The Applicant has provided information regarding the condition of the historic property and a Rehabilitation and Restoration Plan prepared by Marina Khrustaleva. The following is a list of the proposed work as stated in the Rehabilitation and Restoration Plan (**Attachment 2**):

Proposed Scope of Work	Est. Cost	Year
1. Repair rotten wood at the main roof, remove cap sheet, install new torch down modified bitumen roofing material with Title 24 rating. Repair flashing around the chimney.	\$ 43,000	2025
2. Repair framing members in the attic to address water intrusion around the chimney stack.	\$ 5,300	2025
3. Tear off 1350 sq. ft. shingle roof at the southwest patio, repairs to rotten wood, install new composite shingle roofing material.	\$ 22,050	2025
4. Tear off 260 sq. ft. rood on the front porch, repairs to damaged framing and gutter system, install new torch down bitumen roofing material.	\$ 7,500	2025
5. Repair leaking garage roof.	\$ 8,700	2025
6. Repair existing metal gutters to return to normal function.	\$ 3,800	2025
7. Repair non-reinforced lime and sand mortar chimney to ensure safety while using the fireplaces.	\$ 54,636 (including work under No. 15)	2025
8. Obtain the Structural Pest Control report and treat wood structure for termite damage as needed.	\$ 11,000	2025
9. Install 85-lineal feet of 4-inch drainpipe to address the visible drainage issues on the property.	\$ 13,021	2026
10. Replace damaged cast iron drains in crawl space exterior.	\$ 3,200	2026

11. Repair concrete walls with Arroyo stone posts along the northern and western property lines to avoid public hazard.	\$ 28,000	2026
12. Replace outdated knob and tube electric wiring and ungrounded three prong receptacles with modern wiring to ensure safety, including new 200 Amp service, four (4) sub panels, all new grounded circuits and lighting, arc fault breakers and smoke and carbon dioxide sensors.	\$ 86,000	2027
13. Replace outdated plumbing with all new waters and drains to six (6) baths (including garage bath) and one (1) kitchen.	\$ 58,000	2027
14. Examine sloped/uneven floors on the second floor and repair as needed.	\$ 5,200	2028
15. Repair fire boxes and flue systems in three (3) fireplaces to ensure safety, based on the inspection report.	\$ 54,636 (including work under No. 7)	2028
16. Remove three (3) gravity furnaces and existing asbestos ducting including asbestos mitigation.	\$ 5,100	2028
17. Restore 41 existing windows and exterior doors to return normal operation and paint touch up.	\$ 12,500	2029
18. Repair a staircase skylight to ensure operability.	\$ 1,350	2029
19. Restore plaster on the exterior walls.	\$ 35,700	2029
20. Repaint the house using historically appropriate color.		
21. Partially replace foundation at the southwest patio. Repair cracks in the concrete deck and block porch wall.	\$ 19,287	2030
22. Repair cracks in exterior concrete steps and clinker brick paving.	\$ 15,200	2030
23. Reinforce the garage opening and install a steel beam to ensure seismic stability.	\$ 5,640	2031
24. Replace non-original overweight garage door and an outdated opening mechanism with a modern lightweight garage door of historically appropriate design.		

Total:	\$ 444,484	2025-2031
---------------	------------	-----------

The financial analysis for the project is included in the attached Rehabilitation and Restoration Plan. The total cost of the proposed scope of work is approximately \$353,384, excluding items 12 and 16. Additionally, the total tax savings for a Mills Act Contract over the 10-year period is \$198,000, which is less than the proposed scope of work cost of \$353,384.

Criteria for Mills Act Contract (SPMC Section 2.68.b.1.c.)

As outlined in the Cultural Heritage Ordinance, in considering the merits of a proposed Mills Act Contract, the Commission shall use the following criteria in making a recommendation to the City Council. Below are the Subcommittee’s recommended findings of the project’s compliance with each criterion as follows:

- (i) Financial Investment. The estimated tax benefit is not expected to exceed the applicant’s proposed financial investment in the cultural resource over the first 10 years of the contract.**

The applicant is proposing to invest \$353,384 in qualified repairs and restoration over the first ten-years of the Mills Act contract. The tax benefit over the same period is expected to be \$198,900. Thus, the estimated tax benefit is not expected to exceed the applicant’s proposed financial investment in the cultural resource over the first ten years of the contract. Criterion (i) is met.

- (ii) Public Benefit. The proposed Mills Act contract features a work plan that will provide a benefit to the public by: rehabilitating the property for continued occupancy or adaptive reuse; improved viability through systems upgrades and structural reinforcement upgrades; preserving and maintaining the character-defining features of the property, and/or restoring character-defining features of the property that have been significantly altered or removed over time.**

The home was built in 1911 and shows a number of issues. The main roof and southwest patio show signs of rotten wood, with signs of leakage in the garage roof and second floor of home. Concrete walls along the north and west side property lines show cracks and will be repaired with Arroyo stone posts to ensure safety. The exterior walls and foundation around the home show cracks and will be repaired to ensure stability. Uneven floors are evident on the second floor and the chimney shows signs of deterioration – each to be repaired for stability. The garage opening needs reinforcement and the non-original garage door provides an outdated opening mechanism that is to be replaced with a historically accurate design. System upgrades include replacing outdated plumbing fixtures, repairing gutters, and installing new drain pipes to alleviate problems with

drainage around the property and home. Existing windows and exterior doors will also be restored to return to normal operation. Therefore, Criterion (ii) is met.

- (iii) Retroactive Limitations. The estimated tax benefit will not be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty.**

No work has been or will be conducted prior to approval of the Mills Act contract. The items on the proposed Rehabilitation and Restoration Plan is proposed during the first ten-year period from 2025-2032. None of the estimated tax benefit will be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved. Therefore, Criterion (iii) is met.

- (iv) Limitations on Maintenance. The estimated tax benefit will not be used for routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements.**

No maintenance work is proposed, therefore, Criterion (iv) is met.

- (v) Limitations on Interior Work. The estimated tax benefit will not be used for work within the interior of a cultural resource unless the commission determines the following exceptions should be made: the interior work is necessary to improve the structural integrity of the property; the interior work is necessary to preserve and maintain character-defining features within the cultural resource that are specifically identified as part of the official landmark nomination; and/or the interior work is necessary to preserve and maintain character-defining features of the property that were discovered subsequent to its landmark designation. The commission must first determine that those interior features are character-defining based on substantial evidence provided by the applicant.**

The proposed Rehabilitation and Restoration Plan does include interior work, but is necessary to improve the structural integrity of the property such as foundation drainage along with outdated plumbing features, fireplace repair, and uneven/sloped floors on the second floor. Therefore, Criterion (v) is met.

- (vi) Limitations on Landscaping. The estimated tax benefit will not be used for landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination.**

No landscaping work is proposed using the estimated tax benefit, therefore, Criterion (vi) is met.

Fiscal Impact:

The estimated tax savings for the owners is \$198,900 over a 10-year period. The total estimated cost to the city as a result of property tax reduction is approximately \$51,714 over the first 10-year period of the contract, which amounts to an average of \$5,171 annually.

Environmental Review:

In accordance with the California Environmental Quality Act (CEQA), the project qualifies for an exemption under the California Environmental Quality Act (CEQA) Guidelines Section 15308, Class 8: Actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.

Public Notification:

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and reports on the City's website, in the *South Pasadena Review* newspaper on September 5, 2024, and individual property mailings to those within 300 feet of the project site.

Next Steps:

The recommendation of the Commission will be presented to the City Council.

Attachments:

1. Letter of Intent
2. Mills Act Application/ Rehabilitation and Restoration Plan

ATTACHMENT 1

Letter of Intent

From: Michael Girvigian
203 Oaklawn Avenue
South Pasadena, CA 91030

To: City of South Pasadena,
Community Development Department

Re: Mills Act Application, Letter of Intent

Date: 2/20/2024

This is a letter of intent to file the Mills Act Application for the property at 203 Oaklawn Avenue. The site is located on the west side of Oaklawn Avenue and is a part of the Oaklawn Historic District designated in 2010. Our family lived here since 1977. My father, Raymond Girvigian, an acclaimed historical architect and historical preservationist, wrote the draft of the bill later known as the Mills' Act. He was able to convince senator James Mills to back the legislation and get it passed into law. My father passed away in 2022. To preserve my father's legacy, I am committed to ensure the house he lived and worked in will be maintained and restored to the highest standards of treating historic structures.

The 2-story house was designed in 1912 by architect George Lawrence Stimson and built under the supervision of his father, developer George Woodbury Stimson. The cost of the construction was estimated as \$18,000. The elder Stimson lived in our house for several years after it was built. The younger lived next door, at 207 Oaklawn Avenue (this house was awarded with a Mill's Act contract, as well as several other properties in the district).

The house represents the Italian Revival style. The character-defining features include symmetrical massing, a flat roof with a balustrade, an overhanging dented cornice, vertical double-hung windows around the house, and smooth stucco. The east (front) elevation features a projecting middle portion. A central window on the second floor is surrounded by

a decorative plaster framing with a segmental arch broken pediment. A prominent porch with a balustrade is supported with a combination of massive square posts and Tuscan columns. There are two wide wood entry doors with large glazing and decorative metal grills, and an elevated three-step porch landing. The north (side) elevation features a recessed loggia with a triple arch facing a curved driveway with two approaches from Columbia Street. A two-car garage is facing Fremont Avenue.

The property is abutting Columbia Street on the north and Fremont Avenue on the west. Two sides of the block along Columbia Street and Fremont Avenue are surrounded by a solid wall with massive Arroyo stone posts designed by Charles and Henry Greene. 17 of these stone posts belong to the subject property. One of two entry portals serving as pedestrian gates on the west side of Oaklawn Avenue is located on the public right-of-way, outside of the property boundaries.

The house has not undergone any major remodel or restoration since it was built. Several alterations included:

- 1928 – adding a one-story sun parlor to the north-west corner of the house;
- 1940 – building an interior elevator shaft (elevator later removed);
- 1946 – termite repair;
- 1960 – building an attached wrap-around rear patio along west and south sides of the house; constructing a swimming pool; interior kitchen remodel; partial electrical and plumbing upgrade;
- 1961 – interior remodel of the utility area in the garage (a bathroom and a dressing room); replacing garage doors;
- 1988 – adding a workshop to the garage;
- 1989 – foundation maintenance (seismic retrofit);
- 2005 – building an exterior elevator shaft on the south (side) elevation.

Reroofing work on the house and the garage was done in 1961, 1973, 1978, and 1990.

As a result of the building age, which is 112 years old, there is significant deferred maintenance. Several features require historically accurate renovations to ensure structural stability and authenticity of the house. The preliminary scope of work to be implemented under the Mills Act in 2025-2034 includes the following:

Exterior:

- Repair rotten wood at the main roof, remove cap sheet, install new torch down modified bitumen roofing material with Title 24 rating. Repair flashing around the chimney.
- Tear off 1350 sq. ft. shingle roof at the southwest patio, repairs to rotten wood, install new composite shingle roofing material.
- Tear off 260 sq. ft. roof on the front porch, repairs to damaged framing and gutter system, install new torch down bitumen roofing material.
- Repair existing metal gutters to return to normal function.
- Repair non-reinforced lime and sand mortar chimney to ensure safety while using the fireplaces.
- Restore plaster on the exterior walls.
- Repaint the house using historically appropriate color.
- Restore 41 existing windows and exterior doors to return normal operation and paint touch up.
- Replace damaged cast iron drains in crawl space exterior.
- Partially replace foundation at the southwest patio. Repair cracks in the concrete deck and block porch wall.
- Repair cracks in exterior concrete steps and clinker brick paving.
- Repair concrete walls with Arroyo stone posts along the northern and western property lines.
- Install 85-lineal feet of 4-inch drainpipe to address the visible drainage issues on the property.

Garage:

- Reinforce the garage opening and install a steel beam to ensure seismic stability.
- Replace non-original overweight garage door and an outdated opening mechanism with a modern lightweight garage door of historically appropriate design.

Interior (structural/safety issues):

- Obtain the Structural Pest Control report and treat wood structure for termite damage as needed.

- Repair framing members in the attic to address water intrusion around the chimney stack.
- Repair a staircase skylight to ensure operability.
- Examine sloped/uneven floors on the second floor and repair as needed.
- Repair fire boxes and flue systems in 3 fireplaces to ensure safety, based on the inspection report.
- Remove 3 gravity furnaces and existing asbestos ducting including asbestos mitigation.
- Replace outdated knob and tube electric wiring and ungrounded three prong receptacles with modern wiring to ensure safety, including new 200 Amp service, 4 sub panels, all new grounded circuits and lighting, arc fault breakers and smoke and carbon dioxide sensors.
- Replace outdated plumbing with all new waters and drains to 6 baths (including garage bath) and 1 kitchen.

Interior (decorative – not a part of the Mill’s Act application):

- Restore, wax, and touch up interior wood paneling, stairs, fireplace mantels, window shutters, and ceiling beams in the foyer and living room.
- Protect original hand-painted wallpaper in the dining room and restore cracks.
- Repair water-damaged plaster from roof leaks and associated painting.

All the proposed tasks will meet the Secretary of the Interior Standards for Historic Rehabilitation. Please schedule this proposal for a discussion with the Cultural Heritage Commission.

Sincerely,

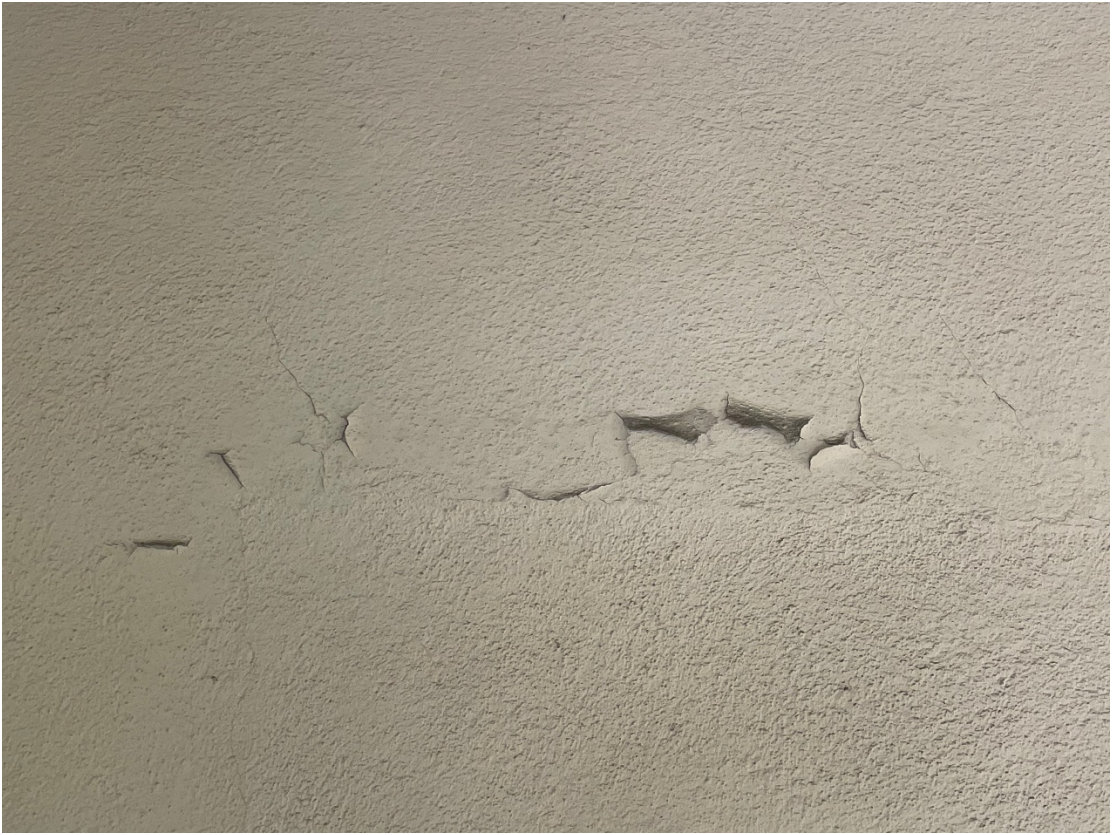


Michael Girvigian

203 Oaklawn Avenue
Mills Act Application, Letter of Intent
Attachment: Photographs, 2024



203 Oaklawn Ave, front (east) elevation



Cracks in exterior plaster and peeling paint



Interior cracks demonstrating structural damage



Evidence of roof leaks on the second floor



Evidence of drainage issues in the basement



Damaged roof of the porch



Damaged roof of the sun parlor



Deteriorated original windows with cracks and peeling paint





Mahogany staircase (not a part of the project)



Staircase skylight to be repaired



One of three fireplaces to be repaired



Hand-painted wallpaper in the dining room (not a part)



Attached rear porch – roof and foundation damage





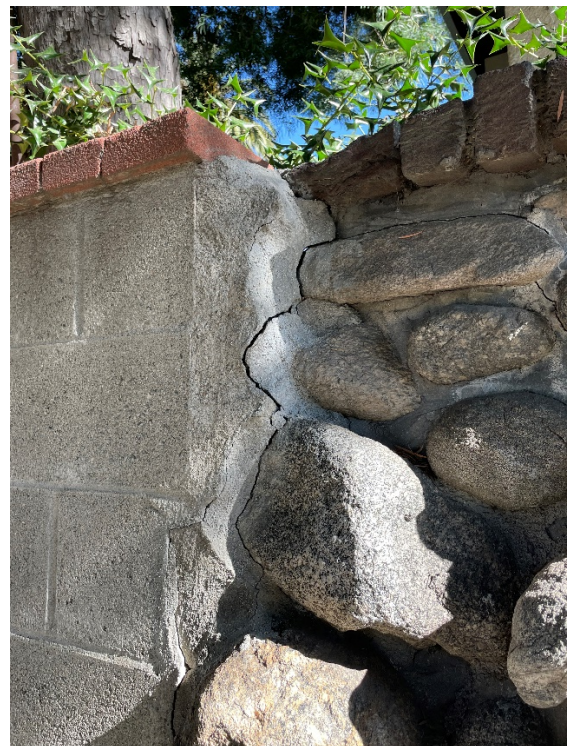
Non-original garage door



Clinker brick pavement to be repaired



Oaklawn portal adjacent to the property (not a part of the project)



Block walls and Arroyo stone posts to be repaired

ATTACHMENT 2

Mills Act Application/Rehabilitation and Restoration Plan



Mills Act Application Packet

203 Oaklawn Avenue, South Pasadena, CA 91030

- Background
- Rehabilitation Plan, Maintenance List
- Work Plan and Cost Estimate
- Financial Analysis
- Attachments

Prepared for: Michael Girvigian

Prepared by: Marina Khrustaleva

August, 2024

Mills Act Application, 203 Oaklawn Avenue, South Pasadena

Background

The two-story house was designed in 1912 by architect George Lawrence Stimson and built under the supervision of his father, developer George Woodbury Stimson. The cost of the construction was estimated as \$18,000. The elder Stimson lived in our house for several years after it was built. The younger lived next door, at 207 Oaklawn Avenue (this house was awarded with a Mill's Act contract, as well as several other properties in the district).

The house represents the Italian Renaissance Revival style. It became a smaller version of the house that George Stimson originally designed for himself at 391 S Orange Grove Boulevard in Pasadena, now known as the Wrigley Mansion or the Tournament of Roses headquarters. That house was under construction from 1906 to 1914; supposedly, Stimson Sr. found it too big for him and sold it to chewing gum magnate William Wrigley Jr. and his wife Ada.



Wrigley Mansion, 1956

The character-defining features of the house at 203 Oaklawn Avenue include symmetrical massing, a flat roof with a balustrade, an overhanging dented cornice, vertical double-hung windows around the house, and smooth stucco. The east (front) elevation features a projecting middle portion. A central window on the second floor is surrounded by a decorative plaster framing with a segmental arch broken pediment. A prominent porch with a balustrade is supported with a combination of massive square posts and Tuscan columns. There are two wide wood entry doors with large glazing and decorative metal grills, and an elevated three-step porch landing. The north (side) elevation features a recessed loggia with a triple arch facing a curved driveway with two approaches from Columbia Street. A two-car garage is facing Fremont Avenue.

The property is abutting Columbia Street on the north and Fremont Avenue on the west. Two sides of the block along Columbia Street and Fremont Avenue are surrounded by a solid wall with massive Arroyo stone posts designed by Charles and Henry Greene. Seventeen of these stone posts belong to the subject property. One of two entry portals serving as pedestrian gates on the west side of Oaklawn Avenue is located on the public right-of-way, outside of the property boundaries.

The interior of the house has been minimally altered and preserved original decorative features: mahogany wood paneling, stairs, fireplace mantels, window shutters, and ceiling beams in the foyer and living room. The dining room is adorned with hand-painted wallpaper by Mildred Bryant Brooks. She was an acclaimed etching artist and lived at 1837 Monterey Road in South Pasadena. She was famous for creating murals in private homes in the 1950s; her other surviving work can be seen at the Blinn House, the headquarters of Pasadena Heritage, at 160 N Oakland Avenue in Pasadena. Most likely, the murals appeared here after 1954 when the previous owner, Willard John Stone Jr., conducted a number of home improvements.

The house has not undergone any major remodel or serious restoration since it was built. Based on the building permits, alterations included:

- 1928 – adding a one-story sun parlor to the north-west corner of the house;
- 1940 – building an interior elevator shaft (elevator later removed);

- 1946 – termite repair;
- 1960 – building an attached wrap-around rear patio along west and south sides of the house; constructing a swimming pool; interior kitchen remodel; partial electrical and plumbing upgrade;
- 1961 – interior remodel of the utility area in the garage (a bathroom and a dressing room); replacing garage doors;
- 1988 – adding a workshop to the garage;
- 1989 – foundation maintenance (seismic retrofit);
- 2005 – building an exterior elevator shaft on the south (side) elevation.

Reroofing work on the house and the garage was done in 1961, 1973, 1978, and 1990.

As a result of the building age, which is 112 years old, there is significant deferred maintenance. Several features require historically accurate renovations to ensure structural stability and authenticity of the house.

Mills Act Application, 203 Oaklawn Avenue, South Pasadena

Section II: Rehabilitation Plan, Maintenance List, and Reporting System

<i>Proposed Scope of Work</i>	<i>Year</i>
Repair rotten wood at the main roof, remove cap sheet, install new torch down modified bitumen roofing material with Title 24 rating. Repair flashing around the chimney.	2025
Repair framing members in the attic to address water intrusion around the chimney stack.	2025
Tear off 1350 sq. ft. shingle roof at the southwest patio, repairs to rotten wood, install new composite shingle roofing material.	2025
Tear off 260 sq. ft. roof on the front porch, repairs to damaged framing and gutter system, install new torch down bitumen roofing material.	2025
Repair leaking garage roof	2025
Repair existing metal gutters to return to normal function.	2025
Repair non-reinforced lime and sand mortar chimney to ensure safety while using the fireplaces.	2025
Obtain the Structural Pest Control report and treat wood structure for termite damage as needed.	2025
Install 85-lineal feet of 4-inch drainpipe to address the visible drainage issues on the property.	2026
Replace damaged cast iron drains in crawl space exterior.	2026
Repair concrete walls with Arroyo stone posts along the northern and western property lines to avoid public hazard.	2026
Replace outdated knob and tube electric wiring and ungrounded three prong receptacles with modern wiring to ensure safety, including new 200 Amp service, 4 sub panels, all new grounded circuits and lighting, arc fault breakers and smoke and carbon dioxide sensors.	2027

Replace outdated plumbing with all new waters and drains to 6 baths (including garage bath) and 1 kitchen.	2027
Examine sloped/uneven floors on the second floor and repair as needed.	2028
Repair fire boxes and flue systems in 3 fireplaces to ensure safety, based on the inspection report.	2028
Remove 3 gravity furnaces and existing asbestos ducting including asbestos mitigation.	2028
Restore 41 existing windows and exterior doors to return normal operation and paint touch up.	2029
Repair a staircase skylight to ensure operability.	2029
Restore plaster on the exterior walls.	2029
Repaint the house using historically appropriate color.	2029
Partially replace foundation at the southwest patio. Repair cracks in the concrete deck and block porch wall.	2030
Repair cracks in exterior concrete steps and clinker brick paving.	2030
Reinforce the garage opening and install a steel beam to ensure seismic stability.	2031
Replace non-original overweight garage door and an outdated opening mechanism with a modern lightweight garage door of historically appropriate design.	2031
Interior decorative features – not a part of the Mill’s Act application:	
Restore, wax, and touch up interior wood paneling, stairs, fireplace mantels, window shutters, and ceiling beams in the foyer and living room.	2032
Protect hand-painted wallpaper by artist Mildred Bryant Brooks in the dining room and restore cracks.	2032
Repair water-damaged plaster from roof leaks and provide associated painting.	2032

Reporting System:

The property owners of 203 Oaklawn Avenue will provide written updates to the City of South Pasadena every three years, documenting progress and providing updates and photos on the Mills Act work plan.

Certificates of Appropriateness (CoA) will be obtained by property owners if any major exterior work triggers the threshold of by the City of South Pasadena Cultural Heritage Ordinance. Building permits will be obtained all types of work requiring permits.

Progress reports will include detailed work descriptions, photographs of work completed, and copies of permits and CoAs.

Mills Act Application, 203 Oaklawn Avenue, South Pasadena
 Section III: Cost Estimate of Rehabilitation/Maintenance Plan

All work efforts described in these plans will be carried out in accordance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. Architects and/or contractors leading work efforts will have demonstrated historic preservation experience and will meet the *Secretary of the Interior's Professional Qualifications Standards* in their respective fields.

<i>Proposed Scope of Work and Description</i>	<i>Est. Cost, \$</i>
Repair rotten wood at the main roof, remove cap sheet, install new torch down modified bitumen roofing material with Title 24 rating. Repair flashing around the chimney. <i>All preparatory work will be undertaken in compliance with the Secretary of Interior's Standards. All surfaces to be treated with the gentlest means possible.</i>	43,300.00
Repair framing members in the attic to address water intrusion around the chimney stack. <i>Wood elements shall be restored and may be replaced in-kind only if deteriorated beyond repair.</i>	5,300.00
Tear off 1350 sq. ft. shingle roof at the southwest patio, repairs to rotten wood, install new composite shingle roofing material.	22,050.00
Tear off 260 sq. ft. roof on the front porch, repairs to damaged framing and gutter system, install new torch down bitumen roofing material.	7,500.00
Repair leaking garage roof	8,700.00
Repair existing metal gutters to return to normal function.	3,800.00

Obtain the Structural Pest Control report and treat wood structure for termite damage as needed (fumigation treatment)	11,000.00
Install 85-lineal feet of 4-inch drainpipe to address the visible drainage issues on the property.	13,021.00
Replace damaged cast iron drains in crawl space exterior.	3,200.00
Repair concrete walls with Arroyo stone posts along the northern and western property lines to avoid public hazard. <i>Examine existing joints between the stones and block for mortar that has failed or can be expected to fail in the next two years. Remove those blocks, stone and joints with the re-pointing method. Replace blocks with identical sound blocks. Replace missing stones with local Arroyo stones of matching size.</i>	28,000.00
Replace outdated knob and tube electric wiring and ungrounded three prong receptacles with modern wiring to ensure safety, including new 200 Amp service, 4 sub panels, all new grounded circuits and lighting, arc fault breakers and smoke and carbon dioxide sensors. <i>Bring the electric wiring up to the current California Building Code.</i>	86,000.00
Replace outdated plumbing with all new waters and drains to 6 baths (including garage bath) and 1 kitchen.	58,000.00
Examine sloped/uneven floors on the second floor and repair as needed. <i>Ensure structural stability.</i>	5,200.00
Repair non-reinforced lime and sand mortar chimney to ensure safety while using the fireplaces. Repair fire boxes and flue systems in 3 fireplaces to ensure safety, based on the inspection report.	54,636.00
Remove 3 gravity furnaces and existing asbestos ducting including asbestos mitigation.	5,100.00
Restore 41 existing windows and exterior doors to return normal operation and paint touch up. <i>Windows, entry doors, and hardware need to be adjusted to ensure operability. The hardware may be replaced in-kind only if deteriorated beyond repair.</i>	12,500.00
Repair a staircase skylight to ensure operability.	1,350.00

Restore plaster on the exterior walls. Repaint the house using historically appropriate color. <i>Damaged or deteriorated paint shall be removed using the gentlest method possible (preferably hand-scraping or hand-sanding).</i>	35,700.00
Partially replace foundation at the southwest patio. Repair cracks in the concrete deck and block porch wall. <i>New concrete shall match original in tone and texture.</i>	19,287.00
Repair cracks in exterior concrete steps and clinker brick paving. <i>New concrete shall match original in tone and texture. Level brick paving and use matching salvaged bricks where possible.</i>	15,200.00
Reinforce the garage opening and install a steel beam to ensure seismic stability. Replace non-original overweight garage door and an outdated opening mechanism with a modern lightweight garage door of historically appropriate design.	5,640.00

Total investment in Rehabilitation and Maintenance: **\$444,484**
(without an allowance for potential chimney restoration)

Potential Mills Act Property Tax Savings over a 10-year period¹: **\$198,900**

Potential Cost to the City of South Pasadena over a 10-year period: **\$51,714**

¹ This is only a preliminary estimate, final tax adjustments are conducted by the Los Angeles County Assessor's Office.

Mills Act Application, 203 Oaklawn Avenue, South Pasadena

Section IV: Historical Property Tax Analysis²

AIN: 5317-014-015

A: DETERMINE ANNUAL INCOME AND ANNUAL OPERATING EXPENCES:

Gross Income (Monthly Rent x 12) Zillow.com Rent Estimate: \$13,300/month	\$159,600.00
Less 3% Vacancy & Collection Loss	\$4,788.00
Effective Annual Income:	\$154,812.00
Less Expenses 20% Insurance, Utilities (gas, electricity, water, trash), Maintenance, Management	\$30,962.00
Annual Net Income:	\$123,850.00

B: DETERMINE CAPITALIZATION RATE:

2024 Interest Component	7.25%
Historical Property Risk Component	4%
Property Tax Rate	1.02%
Amortization Component (50 years) Improvements to Land Value Ratio \$1,999,200 / \$2,856,000 $0.7 \times 0.02 = 0.014$	0.14%
Total Capitalization Rate:	13.67% (0.1367)

² For informational purposes only. This worksheet estimates the tax adjustment possible through the Mills Act Program. This is only a preliminary estimate, the final tax adjustments are conducted by the Los Angeles County Assessor’s Office. The analysis is based on the City of Los Angeles 2022 Historical Property Tax Adjustment Worksheet Guide: https://planning.lacity.gov/odocument/ebe6cf65-af96-4c7e-b950-5239951787a9/Tax_Adjustment_Worksheet_2022.pdf

C: CALCULATE MILLS ACT ASSESSED VALUE:

Annual Net Income / Capitalization Rate	\$905,998.53
---	--------------

D: DETERMINE ESTIMATED TAX REDUCTION:

Current Taxes (2023) (Current Assessed Value x 0.0102) \$2,856,000 x 0.0102	\$29,131.20
Less Mills Act Taxes (Mills Act Value x 0.0102)	\$9,241.18
Potential Annual Mills Act Property Tax Savings ³ :	\$19,890.02

Annual Cost to the City (26%)	\$5,171.40
-------------------------------	------------

³ For informational purposes only. This worksheet estimates the tax adjustment possible through the Mills Act Program. This is only a preliminary estimate, the final tax adjustments are conducted by the Los Angeles County Assessor’s Office.

LIST OF ATTACHMENTS:

1. Proof of Legal Description
2. Historical Building Permits
3. Current Condition Photographs
4. Monthly Rent Estimate (similar rentals analysis)
5. 2023 Property Tax Bill
6. 2024 Historic Interest Component Letter
7. Confidential Inspection Report, Boston Brick and Stone, 11/10/2023

Can be provided upon request:

1. 2023 Annual Maintenance Expenses
2. General Contractor's Estimate, Nott Construction, 11/2/2023
3. Fireplace Proposal, Boston Brick and Stone, 11/22/2023
4. Drainage Proposal, Boston Brick and Stone, 12/17/2023
5. Deck Foundation Proposal, Foundation Repair LA Inc., 12/12/2023

RECORDING REQUESTED BY:
Snyder & Hancock
AND WHEN RECORDED MAIL THIS DEED AND, UNLESS
OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO
Scott A. Hancock, Snyder & Hancock
1112 Fair Oaks Avenue
South Pasadena CA 91030
Order No.:
Escrow No.:

A.P.N. 5317-014-015

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

TRUST TRANSFER DEED

GRANT DEED (EXCLUDED FROM REAPPRAISAL UNDER PROPOSITION 13, I.E., CALIF. CONST. ART 13A §1 ET SEQ.)
THE UNDERSIGNED GRANTOR(S) DECLARE(S) UNDER PENALTY OF PERJURY THAT THE FOLLOWING IS TRUE AND CORRECT:
DOCUMENTARY TRANSFER TAX IS \$ 0.00 This conveyance transfers an interest into or out of a Living Trust, R&T 11930
 Computed on full value of property conveyed, or computed on full value less value of liens or encumbrances remaining at time of sale or transfer
 There is no Documentary transfer tax due. (state reason and give Code § or Ordinance number)

Unincorporated area: city of South Pasadena AND Los Angeles County
This is a Trust Transfer under §62 of the Revenue and Taxation Code and Grantor(s) has (have) checked the applicable exclusion:
 Transfer to a revocable trust; Transfer to a short-term trust not exceeding 12 years with Trustor holding the reversion;
 Transfer to a trust where the Trustor or the Trustor's spouse is the sole beneficiary; Change of trustee holding title;
 Transfer from trust to Trustor or Trustor's spouse where prior transfer to trust was excluded from reappraisal and for a valuable consideration, receipt of which is acknowledged.
 Other:

GRANTOR(S): Michael Raymond Girvigian

hereby GRANT(S) TO: Michael Raymond Girvigian and Kathleen Elizabeth Bauman, Trustees of the Michael Raymond Girvigian and Kathleen Elizabeth Bauman Trust, dated June 2, 2023

the following described real property in the City of South Pasadena
County of Los Angeles, State of California:

Commonly known as 203 Oaklawn Ave South Pasadena, California, legally described as Lot 53 of Tract Number 139 in the City of South Pasadena, County of Los Angeles, State of California as per Map recorded in Book 14, Pages 6 and 7 of Maps, in the Office of the County Recorder of said County
Dated: 6/2/2023

Michael Raymond Girvigian

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Los Angeles)

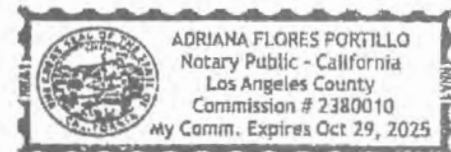
On 6/2/2023 before me, Adriana Flores Portillo, Notary Public
(HERE INSERT NAME AND TITLE OF THE OFFICER)

personally appeared Michael Raymond Girvigian

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE (SEAL)
Michael Raymond Girvigian and Kathleen Elizabeth Bauman,
NAME STREET ADDRESS CITY, STATE & ZIP

CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS

ATTACHMENT 2

LOCATION

203 OAKLAWN

LOT 53

BLOCK

TRACT

139

OWNER

G. LAURENCE STIMSON

NEW HOUSE

TRENCH

FRAME

WIRING

RGH. PLMB.

SEWER

FIN. PLMB.

FIN. BLDG.

ELEC. FIX.

DATE

NUMBER

CLASSIFICATION

CONTRACTOR

ESTIMATED
COST

7-1-12

681

BUILDING

ELEC. WIRING

ELEC. FIXTURES

PLUMBING

SEWER

HOUSE CONN.

18,000⁰⁰

Made in Duplicate

No. 5995

City of South Pasadena

Department of Building Inspection

This permit becomes null and void if work is not commenced within 90 days from date of issue.

South Pasadena, Calif. 3-28 1928

Permission is hereby granted to CHAS. M. HEALD, Owner

Owner's Address: 203 OAKLAWN

City and State: SO. PASA. Phones

Contractor's Name: SAME

Contractor's Address:

City and State: Phones

To ADDITION OF SON PARLOR

On Lot: 53 Block

Tract: 139

Street and Number: 203 OAKLAWN

Subject to the provisions of the Building Ordinances of the City of South Pasadena.

Estimated Value, \$ 1500⁰⁰

Fee, \$ 1.90

BUILDING INSPECTOR

By: R. H. Hollister

(Owner must post Inspection Card on job)

NOTIFY FOR INSPECTION

1-Trench is dug.
2-Foundation is in.
3-Joists are laid.

4-Frame is up.
5-Rough plumbing is in.
6-Electric wires are in.

7-Plumbing fixtures are in.
8-Electric fixtures are in.
9-Final completion.

WHEN

**CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS**

LOCATION

203 OAKLAWN AVE.

LOT

53

BLOCK

TRACT

139

OWNER

CHARLES M. HEALD

SAME

ALTERATIONS

TRENCH

FRAME

WIRING

RGH. PLMB.

SEWER

FIN. PLMB.

FIN. BLDG.

ELEC. FIX.

DATE

NUMBER

CLASSIFICATION

CONTRACTOR

ESTIMATED
COST

10-11-30

6691

BUILDING

G. LAWRENCE STIMSON 350.00

ELECT. WIRING

ELECT. FIXTURES

PLUMBING

SEWER

HOUSE CONN.

**CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS**

LOCATION 203 OAKLAWN

LOT _____ BLOCK _____ TRACT _____

OWNER Mrs. Chas. M. Heald
Construct & Install Elevator Shaft

TRENCH _____ FRAME _____ WIRING _____ RGH. PLMB. _____ SEWER _____ FIN. PLMB. _____ FIN. BLDG. _____ ELEC. FIX. _____

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	ESTIMATED COST
------	--------	----------------	------------	----------------

2-28-40	8307	BUILDING	FORS CONSTR. CO.	1300.00
9-27-40	9179	ELEC. <u>Wiring</u>	So. Pas. Electric	1.25
		ELEC. FIXTURES		
		PLUMBING		
		SEWER		
		HOUSE CONN.		

JOB CARD

Address: 203 Oaklawn Avenue

Date: Feb. 14, 1961

Owner: Walter Stone

Contractor: Shelby & Turner Roof

Permit Number: 45363 Value: 836.00 Fee: 6.00

Job: reroof house & garage 2-15# felt mopped 105# cap sheet
mopped

Rough Inspection

Final Inspection *House Only* 2-16-61

Inspector

Nelson
Inspector

601116

JOB CARD

Address: 203 Oaklawn Avenue

Date: May 10, 1961

Owner: Stone

Contractor: T. Evergreen

Permit Number: 46681

Value: 900.00

Fee: 6.00

Job: add patio to existing single family residence

Rough Inspection

FOOTINGS - 5-31-61

NELSON.

Final Inspection

10-23-61

BLOK & CELLS - 6-6-61 JRN.

PIER FOOTINGS - OC. 6-8-61 JRN

Inspector

4- Post Footings at

6-22-61 JRN.

Inspector

Letter 10/5/61.

**CITY OF SOUTH PASADENA
BUILDING AND ALLIED PERMITS**

LOCATION 203 Oaklawn Avenue

LOT 53 **BLOCK** **TRACT** 139

OWNER Willard Stone

DESCRIPTION swim pool

#1097 **\$ 3,000.00**

DATE	NUMBER	CLASSIFICATION	CONTRACTOR	PERMIT FEE
9-26-61	47554	PLAN CHECKING	Paddock Pools	4 50
9-28-61	47572	BUILDING	" "	12 00
		TEMP POWER		
		ELEC. WIRING		
		EXCAVATION		
9-28-61	47572	PLUMBING	Paddock Pools	12 00
		SEWER		
		HOUSE CONN.		
		DRIVEWAY		
		FURNACE		

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena, California 91030
(818) 789-9101

PLANNING & BUILDING DIVISION

PLAN CHECK APPLICATION

64

Building Address 203 OAKLAWN

Lot No. 53 Block 179 Tract 139

Owner RAY GIRVIGNIAN

Mailing Address 203 OAKLAWN

City So. Pas Zip 91030 Tel. 818 9411466

Arch., Engr., Designer TOM NUTT

Address 1228 BLAIR AV. Tel. 213 2553396

City So. Pas Zip 91030 State Lic. No. 66252

Proposed Construction ADD WORKSHOP TO GARAGE

Sq. Ft. Size 852 No. Stories 1 No. Dw. Units 1

New Add. Alter. Repair Demolition

U.B.C. Edition _____ Type Const. V-N Occ. Group _____

Occ. Load _____ F. D. Appr. Required H. D. Appr. Required

Grading Permit Obtained N.A. Variance Required Obtained N.A.

Use Permit Required Des. Rev. Required APN _____

No. Bedrooms _____ Lot Size _____

Special Conditions _____

VALUATION: \$ 10,000

F	PLAN CHECKING FEE	78 ⁰⁰
E	TOTAL	
S	Permit No. <u>006484</u>	Date <u>6/20/88</u>

***WARNING:** Plan Check Fees, where no action is taken by the applicant in One Hundred Eighty (180) Days and no Building Permit is issued, are forfeited to the City.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant Tom Nutt Date 6-20-88

Mailing Address 1228 BLAIR AV.

City, State, Zip So. Pas. CA 91030

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101

PLANNING & BUILDING DIVISION

BUILDING PERMIT

Building Address 203 OAKLAND AVE			U.S.C. Edition 85	Type Const. VN	Occ. Load	Occ. Group R-3
Lot No.	Tract	Tract	USE ZONE	Variance Required		Appr.
Owner MR. RAYMOND GIRVINIAN			Lot Size			
Mailing Address 203 OAKLAND AVE			VALUATION: \$ 1200			
City SOUTH PASADENA	Zip 91030	Tel.				
Contractor URBAN REINFORCING MAINTENANCE			BUILDING FEE	29	-	
Address 1777 ORANGEWOOD STREET			S.M.I. FEE		50	
City PASADENA	Zip 91066	Tel. 313 449-4267	PLAN CHECKING FEE			
State Lic. & Classif. A-488698	City Lic. No. 32155		SOUTH PASADENA			
Arch., Engr., Designer			FINAL			
Address	Tel.		SPECIAL INSURANCE			
City	Zip	State Lic. No. 32155	BUILDING & SAFETY			
Proposed Construction FOUNDATION			DATE: 9/12/89			
MAINTENANCE			PERMIT NO.: 008837	WORKERS COMP. EXP. 5-1-90	PROCESSED BY: RON	
Sq. Ft. Size ± 3,000	No. Stories 2	No. Units ONE	Date: 9-12-89			
New <input type="checkbox"/> Add. <input type="checkbox"/> Alter. <input type="checkbox"/> Repairs <input checked="" type="checkbox"/> Demolition <input type="checkbox"/>						
WORKER'S COMPENSATION DECLARATION I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C.) Policy No. 0737561 Company STATE FUND						
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California. Date _____ Applicant _____ NOTICE TO APPLICANT: If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.						
CONSTRUCTION LENDING AGENCY I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.) Lender's Name _____ Lender's Address _____						
I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. Signature of Applicant [Signature] Date 9/12/89 Mailing Address 1777 ORANGEWOOD STREET City, State, Zip PASADENA CA 91066						
OWNER-BUILDER DECLARATION I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500). <input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.) <input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.) <input type="checkbox"/> I am exempt under Sec. _____, B.&P.C. for this reason _____ Date _____ Owner _____						

INSPECTOR COPY

CONST. HRS. 8 AM-7 PM ONLY
ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.

CITY OF SOUTH PASADENA

1414 Mission Street • South Pasadena • California 91030 • (818) 799-9101

PLANNING & BUILDING DIVISION

BUILDING PERMIT

Building Address 203 OAK LAWN AVE			U.B.C. Edition 88	Type Const. RV	Occ. Load	Occ. Group R3												
Lot No. 53	Tract -	Tract No. 139	USE ZONE B7E	Variance Required	Appr.													
SMOKE DETECTORS REQUIRED																		
Owner RAY GIKVIEL			VALUATION: \$ 7,000.00															
Mailing Address 203 OAK LAWN AVE.			<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>BUILDING FEE</td> <td style="text-align: right;">90 -</td> </tr> <tr> <td>S.M.I. FEE</td> <td style="text-align: right;">50</td> </tr> <tr> <td>PLAN CHECKING FEE</td> <td></td> </tr> <tr> <td>Energy Compl. Fee</td> <td></td> </tr> <tr> <td>Penalty</td> <td></td> </tr> <tr> <td>SPECIAL INSP.</td> <td></td> </tr> </table>				BUILDING FEE	90 -	S.M.I. FEE	50	PLAN CHECKING FEE		Energy Compl. Fee		Penalty		SPECIAL INSP.	
BUILDING FEE	90 -																	
S.M.I. FEE	50																	
PLAN CHECKING FEE																		
Energy Compl. Fee																		
Penalty																		
SPECIAL INSP.																		
City So Pas	Zip	Tel. 213 682-3848	EXPIRED 90 50															
Contractor JW CONST + Roofing																		
Address 1008 S. San Gabriel Bl			<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>PERMIT 19818</td> <td>WORKERS COMP. EXP. 11-24-90</td> <td>PROCESSED BY: JK</td> </tr> <tr> <td colspan="2"></td> <td>Date: 4-9-90</td> </tr> </table>				PERMIT 19818	WORKERS COMP. EXP. 11-24-90	PROCESSED BY: JK			Date: 4-9-90						
PERMIT 19818	WORKERS COMP. EXP. 11-24-90	PROCESSED BY: JK																
		Date: 4-9-90																
City San Gabriel	Zip 91776	Tel. 213 265-8960	EXPIRED															
State Lic. & Classif. 382082 C-39																		
City Lic. No. 34967			<p style="text-align: center;">LICENSED CONTRACTOR'S DECLARATION</p> <p>I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.</p> <p>Exp. Date 9/91 Signature of Contractor [Signature]</p>															
Arch., Engr., Designer																		
Address			<p style="text-align: center;">OWNER-BUILDER DECLARATION</p> <p>I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).</p> <p><input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does not work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)</p> <p><input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)</p> <p><input type="checkbox"/> I am exempt under Sec. _____, B. & P.C. for this reason _____</p>															
City																		
Proposed Construction TO re-roof house & garage w/ base, ply & cap			<p style="text-align: center;">CONSTRUCTION LENDING AGENCY</p> <p>I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)</p> <p>Lender's Name _____</p> <p>Lender's Address _____</p>															
Sq. Ft. Size																		
No. of Units			<p>I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.</p> <p>Signature of Applicant [Signature] Date 4-9-90</p> <p>Mailing Address 1008 S. San Gabriel Bl</p> <p>City, State, Zip SAN GABRIEL, CA</p>															
New <input type="checkbox"/> Add. <input type="checkbox"/> Alter. <input type="checkbox"/> Repair <input checked="" type="checkbox"/> Demolition <input type="checkbox"/>																		
<p style="text-align: center;">WORKER'S COMPENSATION DECLARATION</p> <p>I hereby affirm that I have a certificate of consent to self-insure or a certificate of Worker's Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C.).</p> <p>Policy No. 1016311 Company St. Paul</p>			<p style="text-align: center;">CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE</p> <p>I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.</p> <p>Date _____ Applicant _____</p> <p>NOTICE TO APPLICANT: If, after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.</p>															
<p style="text-align: center;">CONSTRUCTION LENDING AGENCY</p> <p>I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097, Civil Code.)</p> <p>Lender's Name _____</p> <p>Lender's Address _____</p>																		

INSPECTOR COPY

CONST. HRS. 8 AM-7 PM ONLY
ORD. NO. 1582

This is a building permit when properly filled out, signed and validated, and is subject to expiration if work thereunder is suspended for 180 days.



City of South Pasadena

1414 Mission Street
 South Pasadena, CA 91030
 Office Hrs: 7:30 am to 5:00 pm, M-Th
 7:30 am to 4:00 Friday
 Phone Number (626) 403-7220
 Insp. Request (626) 403-7226

BUILDING PERMIT APPLICATION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5 of the Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Section 7044 of the Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044 of the Business and Professions Code).

I am exempt under Section _____, Business and Professions Code for the following reason: _____

Signature: _____ Date: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7080) of Division 17 of the Business and Professions Code, and my license is in full force and effect.

Signature: [Signature] Date: 12-13-09

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. The policy number is _____.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and I agree that I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code. I shall not be in compliance with those provisions.

Signature: [Signature] Date: 12-13-09

CONSTRUCTION LENDING AGENCY

See the back of this form for required statement

AUTHORIZATION OF ENTRY

I certify that I have read this application and state that the information given is correct. I agree to comply with all federal and state laws and city ordinances relating to building construction, and I authorize a representative of this City to enter upon the property for which I have applied for this permit for the purpose of making inspections.

Name: [Signature] Signature: _____ Date: 12-13-09

DESCRIPTION OF WORK		
Add elevator to outside of house		
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
OCCUPANCY GROUP	TYPE OF CONSTRUCTION	AREA
NUMBER OF STORIES	FIRE SPRINKLERS <input type="checkbox"/> YES <input type="checkbox"/> NO	CODE IN EFFECT
STATISTICAL CLASSIFICATION	PLANNING FILE NO.	
NO.:	UNITS:	
\$ 25,000 ⁰⁰	\$ 25,000 ⁰⁰	
INITIAL VALUATION	REVISED VALUATION	
PLAN CHECK FEE 1/2 HR.	\$ 35.50	
ADDITIONAL PLAN CHECK FEE \$		
PLAN CHECK NUMBER 12863	INITIALS MTR	DATE 12/14/09
PERM# 25128		
ADDITIONAL PLAN CHECK NUMBER	INITIALS	DATE
<input type="checkbox"/> SCHOOL FEES PAID	<input type="checkbox"/> SCAQMD	
<input type="checkbox"/> SANITATION DIST. PAID	<input type="checkbox"/> INDUSTRIAL WASTE APPROVAL	
<input type="checkbox"/> HEALTH DEPT. APPROVAL	<input type="checkbox"/> OSHA PERMIT OBTAINED	
<input type="checkbox"/> FIRE DEPT. APPROVAL	<input type="checkbox"/> PUBLIC WORKS FEES PAID	
BUILDING PERMIT FEE	\$	499.02
ISSUANCE FEE	\$	26.00
SMIP FEE	\$	(2.50)
PLAN MAINTENANCE FEE	\$	
TOTAL	\$	525.02
PERMIT NUMBER 12864	INITIALS MTR	DATE 12/14/09
PERM# 25128		
DATE OF FINAL	DATE OF FINAL	
7/11/08	[Signature]	

SITE ADDRESS 203 Oak Lawn		
ASSESSOR PARCEL NUMBER		
BOOK	PAGE	PARCEL
ADDITIONAL INFORMATION / LEGAL DESCRIPTION		
OWNER'S NAME Raymond G. Higgins		
STREET ADDRESS 203 Oak Lawn		
CITY Pasadena	STATE CA	ZIP CODE 91030
PHONE NUMBER		
PRINCIPAL DESIGNER'S NAME Tom Nott		LICENSE NO. C-6252
STREET ADDRESS 1508 Mission St		
CITY Pasadena	STATE CA	ZIP CODE 91030
PHONE NUMBER 626 403 0844		
CONTACT PERSON Tom Nott		
PHONE NUMBER 626 403 2146		
CONTRACTOR'S NAME Nott Construction		
STREET ADDRESS 1508 Mission St.		
CITY Pasadena	STATE CA	ZIP CODE 91030
LICENSE CLASS B	LICENSE NUMBER 796905	EXPIRATION DATE 3/31/05
PHONE NUMBER 626 403 2146		
WORKERS' COMPENSATION INSURANCE COMPANY NAME Stake Fund		
WORKERS' COMP. INSURANCE POLICY NUMBER 179 3661-244	EXPIRATION DATE 6-1-05	

COLUMBIA STREET



Existing Oaklawn Portals
PROPOSED VERTICAL LIFT ENCLOSURE

GIRVIGIAN RESIDENCE
203 OAKLAWN AVE.
EAST OF OAKLAWN HIST. DIST.

AVE.

VICINITY MAP

U.T.S. APPROX. SCALE, RT. 1:50' 100' 150' 200'

CITY OF SOUTH PASADENA

THESE PLANS WERE REVIEWED FOR SUBSTANTIAL COMPLIANCE WITH THE FOLLOWING CODE(S) ONLY

ZONING BLDG ELEC MECH GRAC

ALL OBSERVED NONCOMPLIANCE HAS BEEN NOTED. THESE PLANS ARE SUBJECT TO FURTHER REVIEW AND REVISION. THESE PLANS AND CALCULATIONS SHALL NOT BE USED TO OBTAIN ANY PERMITS UNDER ANY STATE LAW, COUNTY OR CITY ORDINANCE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENTLY ADOPTED CODES AND ORDINANCES REGARDING THE INFORMATION PRESENTED.

THESE PLANS HAVE NOT BEEN REVIEWED FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT

INITIALS	DATE	INITIALS	DATE
<i>[Signature]</i>	12-14-04	<i>[Signature]</i>	12/14/11

SEPARATE PERMITS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY

NOTE: LIFT ENCLOSURE ADDITION TO BE INSTALLED UNDER THE EXISTING RT. EAVE, SHALL MATCH ADJACENT HIST. FABRIC FOR MATERIALS & FINISHES, AND WILL BE SCREENED FROM PUBLIC VIEW BY EXISTING LANDSCAPING

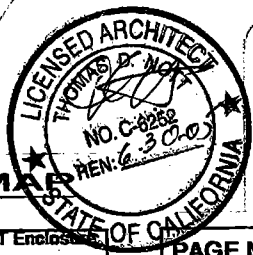
NOTE #1: This property is a contributing element of the Oaklawn Historic District and is "Eligible" for City & National Register Designation; NOTE 2: Therefore the Owner may elect to employ applicable portions of the STATE HISTORICAL BLDG. CODE (Title 24, Part 9) and its published regulations in Div. II, Chapter 4 of the CAL. BLDG. CODE.

INDEX OF DRAWINGS

- Page No. 1: Vicinity Map
- Page No. 2: Side Yard Site Plan
- Page No. 3: Floor Plans
- Page Np. 4: Enclosure Sections
- Page No. 5: Interior Room
- Page No. 6: Exterior Elevations
- Page No. 7: Structural Details

LEGAL DESCRIPTION: Lot 53 of OPF Tract No. 139, CITY OF SOUTH PASADENA, Map Book 14, pages 6 & 7. In Los Angeles County Recorder's Office.

Proposed WHEELCHAIR LIFT Enclosure
Girvigian Residence
203 Oaklawn Ave. (POBox 220)
South Pasadena, CA 91031
ph & fax: 323/882-3848



VICINITY MAP

PAGE NO. 1
Date: 12-13-11

203 Oaklawn Avenue

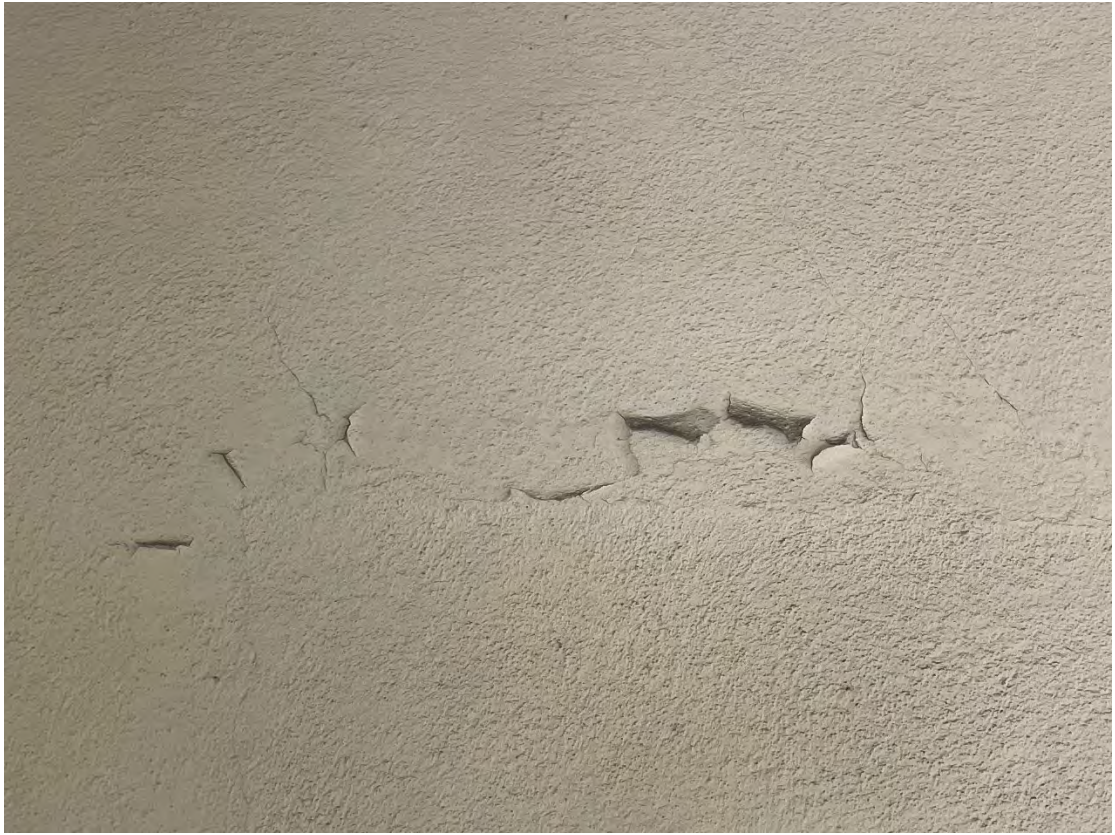
Current Condition Photographs, 2024



203 Oaklawn Ave, front (east) elevation



203 Oaklawn Ave, side (north) elevation



Cracks in exterior plaster and peeling paint



Interior cracks demonstrating structural damage



Evidence of roof leaks on the second floor



Evidence of drainage issues in the basement



Damaged roof of the porch



Damaged roof of the sun parlor



Deteriorated original windows with cracks and peeling paint





Mahogany staircase (not a part of the project)



Staircase skylight to be repaired



One of three fireplaces to be repaired



Hand-painted wallpaper in the dining room (not a part)



Attached rear porch – roof and foundation damage





Non-original garage door



Clinker brick pavement to be repaired



Oaklawn portal adjacent to the property (not a part of the project)



Block walls and Arroyo stone posts to be repaired

203 Oaklawn Ave, monthly rent estimate - \$13,300 (per Zillow.com)



Zillow

Edit Save Share More

6 bd | 5 ba | 5,162 sqft
203 Oaklawn Ave, South Pasadena, CA 91030

Off market
Zestimate®: \$3,520,900 | Rent Zestimate®: \$13,300

Est. refi payment: \$22,469/mo Refinance your loan



5 days ago



\$9,900/mo

ooo

4 bds | 5 ba | 4,255 sqft - House for rent
930 Regent Park Dr, La Canada Flintridge, CA...



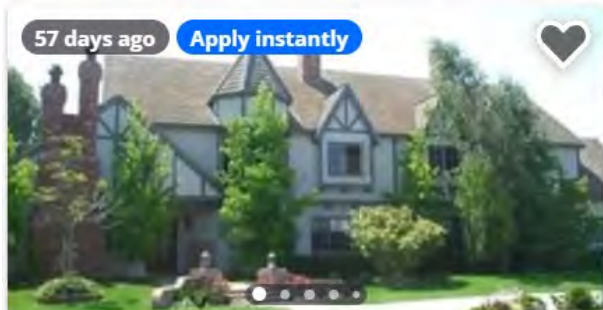
65 days ago



\$11,000/mo

ooo

5 bds | 5 ba | 4,419 sqft - House for rent
5441 Burning Tree Dr, La Canada Flintridge, CA...



57 days ago

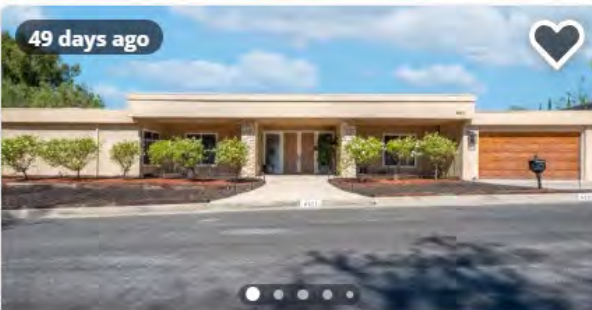
Apply instantly



\$12,895/mo

ooo

5 bds | 6 ba | 5,912 sqft - House for rent
3076 Calle De Marejada, Camarillo, CA 93010



49 days ago



\$12,250/mo

ooo

5 bds | 5 ba | 4,610 sqft - House for rent
4321 Clear Valley Dr, Encino, CA 91436



46 days ago



\$13,300/mo

ooo

5 bds | 5 ba | 4,365 sqft - House for rent
630 S Madison Ave, Pasadena, CA 91106



66 days ago



\$15,800/mo

ooo

5 bds | 6 ba | 4,989 sqft - House for rent
1203 Patton Way, San Marino, CA 91108

2023

ADJUSTED SECURED PROPERTY TAX BILL

2023

CITIES, COUNTY, SCHOOLS AND ALL OTHER TAXING AGENCIES IN LOS ANGELES COUNTY ATTACHMENT 5
SECURED PROPERTY TAX FOR FISCAL YEAR JULY 1, 2023 TO JUNE 30, 2024

KEITH KNOX, TREASURER AND TAX COLLECTOR

FOR ASSISTANCE, CALL 1(213) 974-2111 OR 1(888) 807-2111, ON THE WEB AT propertytax.lacounty.gov

ASSESSOR'S ID. NO. YR SEQ CK

5317 014 015 23 000 13

PROPERTY IDENTIFICATION

DETAIL OF TAXES DUE FOR

OWNER OF RECORD AS OF JANUARY 1, 2023
ASSESSOR'S ID. NO.: 5317 014 015 23 000
REB

AGENCY	RATE	PRIOR AMT	CORRECTED AMT
GENERAL TAX LEVY ALL AGENCIES		\$ 33,589.98	\$ 28,490.00

MAILING ADDRESS

0003132-0003132 LTRR 12--5- GEN001 612860 STJ725R



GIRVIGIAN, MICHAEL R CO TR
M GIRVIGIAN AND K BAUMAN TRUST
203 OAKLAWN AVE
SOUTH PASADENA CA 91030-1828



VOTED INDEBTEDNESS			
UNIFIED SCHOOLS	.128185	\$ 4,305.73	\$ 3,651.99
COMMNTY COLLEGE	.025101	843.14	715.12
METRO WATER DIST	.003500	117.56	99.72

DIRECT ASSESSMENTS

SAFE CLEAN WATER	**	\$ 115.87	\$ 115.87
FLOOD CONTROL	**	59.05	59.05
LIGHT/LANDSCAPE	**	104.09	104.09
MWD STANDBY #15	**	9.26	9.26
LIBRARY TAX	**	82.50	82.50
RPOSD MEASURE A	**	93.43	93.43
SGV MOSQUITO&VCD	**	16.80	16.80
CNTY SAN DIST 16	**	160.00	160.00
SPUSD PARCEL TAX	**	447.47	447.47
USGV MWD CHG	**	10.00	10.00
TRAUMA/EMERG SRV	**	258.10	258.10

ELECTRONIC FUND TRANSFER (EFT) NUMBER

ID#: 19 5317 014 015 0 YEAR: 23 SEQUENCE: 000 3
PIN: E4IALE

SPECIAL INFORMATION

FOR THE FOLLOWING REASON:
ROLL BILL CORRECTION ESCAPED ASSMT PER
SECS 4831 OR 531 R&T CODE; SEE YEAR & AIN

PENALTY DATE ON YOUR 2ND INSTALLMENT
PAYMENT IS CHANGED TO 04-10-24

TOTAL TAXES DUE	\$34,313.40
LESS PAYMENTS	\$20,106.50
PLUS: PENALTIES PAID OR DUE	\$.00
REFUNDS ISSUED	\$.00
NET BALANCE DUE	\$14,206.90
FIRST INSTALLMENT TAX	\$.00
SECOND INSTALLMENT TAX	\$14,206.90

PROPERTY LOCATION AND/OR PROPERTY DESCRIPTION

203 OAKLAWN AVE SOUTH PASA
TRACT NO 139 LOT 53

VALUATION INFORMATION

ROLL YEAR 23-24	PRIOR ASSESSED VALUE	CURRENT ASSESSED VALUE
LAND	1,080,250	856,800
IMPROVEMENTS	2,285,748	1,999,200
TOTAL	3,365,998	2,856,000
LESS EXEMPTION: HOME	7,000	7,000
NET TAXABLE VALUE	3,358,998	2,849,000

ASSESSOR'S REGIONAL OFFICE

REGION #05 INDEX: TRA: 09030
EAST DISTRICT OFFICE
1190 DURFEE AVE.
SOUTH EL MONTE CA 91733
(626)258-6001

ACCT. NO.: PRINT NO.: 411
MAILED BY: 02-08-24 AUTH. NO.: 000002 GA

ANY RETURNED PAYMENT MAY BE SUBJECT TO A FEE UP TO \$50.00.

DETACH AND MAIL WITH YOUR PAYMENT
SAVE MONEY! SAVE TIME! PAY ONLINE!

ADJUSTED 2023

GIRVIGIAN, MICHAEL R CO TR
M GIRVIGIAN AND K BAUMAN TRUST
203 OAKLAWN AVE

*PAID ON LEASE
4/19/24*

ASSR CHANGE REB 000002 GA
ASSESSOR'S ID. NO. YR SEQ CK PK
5317 014 015 23 000 13 2

PAYMENT DUE **04/10/24**
IF NOT RECEIVED OR POSTMARKED BY **04/10/24**
REMIT AMOUNT OF **\$15,637.59**

2ND INSTALLMENT DUE
\$14,206.90

INDICATE AMOUNT PAID

MAKE PAYMENT PAYABLE TO:
Please write the ASSESSOR'S ID. NO.
on the lower left corner of your payment.

LOS ANGELES COUNTY TAX COLLECTOR
P.O. BOX 60186
LOS ANGELES, CA 90060-0186



STATE BOARD OF EQUALIZATION
PROPERTY TAX DEPARTMENT
PO BOX 942879, SACRAMENTO, CALIFORNIA 94279-0064
1-916-274-3350 • FAX 1-916-285-0134
www.boe.ca.gov

TED GAINES
First District, Sacramento

SALLY J. LIEBER
Second District, San Francisco

ANTONIO VAZQUEZ
Third District, Santa Monica

MIKE SCHAEFER
Fourth District, San Diego

MALIA M. COHEN
State Controller

YVETTE M. STOWERS
Executive Director

No. 2023/035

September 25, 2023

TO COUNTY ASSESSORS:

HISTORICAL PROPERTY INTEREST COMPONENT – 2024 LIEN DATE

A city, county, or city and county may contract with the owner of qualified historical property to restrict the use of the property in such a way as to promote the property's continued preservation. In exchange for agreeing to the restrictions on use, a property owner receives a preferential assessment treatment. Under this treatment, which is set forth in sections 439 through 439.4 of the Revenue and Taxation Code (RTC), the Assessor must value the property by applying the capitalization of income method in a specified manner.

RTC section 439.2 requires the State Board of Equalization (Board) to annually determine the interest component of the capitalization rate that the Assessor shall use in applying the specified method. Specifically, RTC section 439.2, subdivisions (b)(1) and (c)(1) require that the interest component "...be determined by the board and announced no later than October 1 of the year preceding the assessment year and that was the yield rate equal to the effective average interest rate on conventional mortgages as most recently determined by the Federal Home Loan Mortgage Corporation, or as that entity may be known in the future, as of September 1, rounded to the nearest one-fourth of 1 percent."

The most recently published information provides that the effective average interest rate on conventional mortgages was 7.18 percent. Rounded to the nearest one-quarter percent, the interest component of the capitalization rate used in the valuation of enforceable restricted historical property for the 2024 assessment year is **7.25 percent**.

For your reference, a table is enclosed listing the interest components announced for current and prior assessment years.

Sincerely,

/s/ David Yeung

David Yeung
Deputy Director
Property Tax Department

DY:gs
Enclosure

Confidential Inspection Report

LOCATED AT:
203 Oaklawn Ave
Pasadena, California 91030

PREPARED EXCLUSIVELY FOR:
Michael Girvian

INSPECTED ON:
Friday, November 10, 2023



Inspector, Mario Perez
Boston Brick & Stone

Introduction

DESCRIPTION OF SERVICE

Customer is aware that in order to access the fireplace and chimney system, the inspector may be required to walk on the roof, crawl through the attic and set ladders up against the structure. The Inspector will use reasonable care to avoid damage to the property while accessing the chimney. When the possibility of damage is high the inspector will not access the chimney and the inspection report will indicate that the access was restricted, thereby preventing a conclusive evaluation of the component. In any case, damage to the roof, gutters, attic, wiring and or ducting may occur. Customer agrees not to hold the Inspector or Boston Brick & Stone responsible for any damage or repair that may occur as a result of this inspection.

The observations, evaluations and explanations offered in this report are based on the condition of the system at the time of this inspection. Customer acknowledges that this is a Level II inspection described by the NFPA 211 and that destructive testing which includes the removal or any part of the system or surrounding structure which would cause damage, is not part of this inspection agreement. It is possible that a Level III inspection, which does allow destructive testing, may be recommended to fully determine the condition of this fireplace and chimney system.

GENERAL DISCLAIMER

In consideration of a fee, we've agreed to conduct a Level-Two chimney inspection, as defined by the National Fire Protection Association (NFPA 211) to identify damage, defects, or deficiencies that may have resulted from, movement, improper use, or deterioration due to the passage of time. The inspection does not involve dismantling components or destructive testing, and would not reveal construction defects or conditions that are concealed. Also, we do not light fires or smoke-test chimneys to confirm that they draft well, inasmuch as drafting can be affected by barometric pressure and the surrounding terrain. Testing the gas line for flow of gas is not covered in this inspection, please consult with the local gas company for the area or a gas/plumbing contractor.

Only those systems specifically identified in this report were part of this inspection and evaluation. No other systems, including but not limited to masonry chimney vents, incinerators, or other concrete or masonry stacks were part of this inspection, evaluation and report. In the event that this report does not cover a system that was expected to be evaluated, the customer is advised to contact the offices of Boston Brick & Stone immediately.

Non - Reinforced Masonry Chimney

Dining Room Fireplace

GENERAL INFORMATION

This system is a non-reinforced masonry chimney. Non-reinforced chimneys were constructed before 1938 when the applicable building code did not require masonry to be reinforced. The chimney bricks were mortared together with a lime and sand mortar. This mortar has poor ability to withstand seismic activity. This mortar will deteriorate rapidly if exposed to excessive moisture. Circa 1938 chimneys were required to be reinforced and Portland cement was used in the mortar between the bricks. A reinforced chimney with Portland cement mortar is vastly superior to a non-reinforced lime and sand mortar chimney.

THIS CHIMNEY AND FIREPLACE SYSTEM IS NOT CURRENTLY SAFE TO USE FOR BURNING WOOD, GAS OR OTHER FUEL.

STRUCTURE TYPE

There is one fireplace built within the walls of the house that passes through two floors. The chimney is not located at or near the ridge line of the roof.



FIREBOX

The firebox is the component of the fireplace and chimney system where the wood or gas is burned. It is normally lined with a heat resistant brick known as firebrick. The firebrick is considered a liner and will wear out over time requiring replacement, just the same as the brake shoes in your car.

The fire box opening is 32.5-inches wide and 36-inches high. The firebox is 23-inches deep which is measured from the backwall to the back of the lintel. The back wall is 32-inches wide.

The height of the fire box opening is greater than the width. Per industry standards the height of the fire box is approximately two thirds of the width. For example if the fire box is 36-inches wide it should be approximately 24-inches high. This condition may disrupt the draw of the fireplace, allowing dangerous flue gasses to enter the living space which if occurs is a serious health hazard.

The walls in the firebox sound loose or hollow when knocked upon. This is an indication that the firebox lining is no longer protecting the structural walls of the chimney.



FIREBOX DESIGN

The firebox lining is yellow colored firebrick set in a Running Bond pattern with the narrow face of the brick exposed.

SCREENS DOORS AND GRATES

The log grate appeared to be in satisfactory condition at the time of inspection.

The fireplace did not have a fire safety screen at the time of inspection. The fire safety screen is designed to prevent sparks and embers from leaving the fireplace. It also creates a safety zone and helps protect clothing from being pulled in to the fireplace.

GAS SYSTEM

There was no visible evidence found of a gas line run to this fireplace at the time of inspection.

LINTEL

Rear wall of the firebox extends less than 8-inches above the lintel. Per current code the firebox will have the back wall extend a minimum of 8-inches above the lintel. The current design may result in the spillage of smoke and/or dangerous gases into the living space. However this does not appear to be a problem on this fireplace system. There are obvious signs of use with no visible signs of any drafting problems. Additionally the original design of this smoke chamber may prohibit a full 8-inch rise above the lintel.



The required lintel is missing. This can allow premature damage to the masonry structure above the opening and the facing. A lintel will need to be installed



References - California Building Code: Masonry Fireplaces 2111.7 Lintels Masonry over a fireplace opening shall be supported by a non-combustible lintel unless self supporting.

FACING AND MANTEL

There is a void between the facing and the firebox opening. Gaps can allow the transfer of heat to combustible materials. This is a potential fire hazard.



There are combustible materials on the facing which violate the code for the clearance to combustibles. Although this is a code violation there did not appear to be any damage due to this.



EXTERIOR HEARTH

The exterior hearth does not meet the code required dimensions. Although this does not meet current code standards and therefore is considered to be a fire hazard, there were no indications of subsequent damage due to this at the time of inspection.



DAMPER

There is no damper installed. At the time the house was built a damper was not required. A damper can help conserve energy when the fireplace is not in use.

BREAST PLATE

The breast plate is a component of the fireplace located between the top of the lintel and the throat. Damaged breast plates are a common cause of structural fires. The breast plate protects the wood framing directly above the firebox opening. A correctly designed breast plate assists in the transfer of flue gasses from the firebox to the smoke chamber.

The breast plate in this system has cracked and may no longer be capable of containing the heat produced by the fire and protecting the framing above it.



SMOKE CHAMBER

The smoke chamber is the component of the fireplace system that sits directly above the firebox. The smoke chamber is the transition from the firebox to the flue, it is shaped similar to an upside down funnel. Incorrectly designed smoke chambers are a common reason for drafting problems and are a major contributor to structure fires because of the proximity of combustible framing directly above the smoke chamber. This area gets very hot during a fire. We have seen many fire and heat damaged structural members above the firebox when we are in the process of replacing the entire chimney. The code requires an unlined smoke chamber to be at least 8-inches thick and 2 to 4-inches of air space between the exterior of the masonry and the wood framing. The typical inspection process cannot, under normal circumstances, determine if these code requirements have been complied with. Correctly designed smoke chambers do not angle more than 45 degrees and are parged smooth to minimize turbulence in the flow of air. Experience in the chimney industry has proven that the older masonry chimneys seldom meet this requirement. To address this danger the industry has produced and tested refractory materials that when applied per the manufacturer's specifications - drastically reduces this danger. Some of these materials bring a non-conforming smoke chamber up to the current code requirements. This means that if the fireplace does not meet the required 8-inch thickness and does not have the required air space around it, it can meet these requirements simply by lining it with the approved refractory material.

Per code the smoke chamber is required to be parged smooth. This smoke chamber has not been parged smooth, leaving exposed bricks, an unsmooth surface and voids. The voids are a potential fire hazard and may allow heat migration. The unsmooth surfaces can create turbulence and negatively affect the draw of the fireplace thereby allowing dangerous gasses to enter the living space.



FLUE SYSTEM

This flue system is unlined and only one brick in width from interior to exterior flue, therefore even somewhat minor damage can become a fire safety risk. This type of system is commonly relined to correct this concern

The flue is unlined. The inside dimension of the flue is 9.75-inches by 15.5-inches. The total approximate height of the flue is 25-feet.

This flue system has deteriorated mortar joints between brick of interior flue. This is considered a fire safety hazard and is standardly corrected by relining or recoating of interior flue.



FLUE TO FIREBOX RATIO

The effective flue area (meaning the space inside the flue where smoke is expected to actually travel) should be approximately 10% of the fire box opening. This flue far exceeds 10% of the fire box opening. This can create an issue where the flue will not get hot enough to pull the smoke up and out and can allow smoke to back in to the living space which is a serious health hazard.

References - California Building Code: Masonry Chimneys 2113.16.1 Minimum Flue Area (masonry fireplaces) Round chimney flues shall have a minimum net cross-sectional area of at least 1/12th of the fireplace opening. Square chimney flues shall have a minimum net cross-sectional area of at least 1/10th of the fireplace opening. Rectangular chimney flues with an aspect ratio less than 2:1 shall have a minimum net cross-sectional area of at least 1/10th of the fireplace opening. Rectangular chimney flues with an aspect ratio 2:1 or more shall have a minimum net cross-sectional area of at least 1/8th of the fireplace opening.

OTHER FLUES OR VENTS WITHIN CHIMNEY STACK

There are vents in the chimney stack which are still servicing one or more appliances in the basement/crawl space.



ATTIC

It was noted during the attic inspection that there is wood framing within 2-inches of the chimney stack. Although this is a code violation there was no evidence of damage due to this found.



During the attic inspection evidence of water intrusion was noted on the framing members around the chimney stack. Flashing issues found have been noted in this report.





References - California Building Code: Masonry Chimneys 2113.19 Chimney Clearances Any portion of a masonry chimney located in the interior of the building or within the exterior wall of the building shall have a minimum airspace clearance to combustibles of 2-inches. Chimneys located entirely outside the exterior walls of the building, including chimneys that pass through the soffit or cornice, shall have a minimum airspace clearance of 1-inch. The airspace shall not be filled, except to provide fireblocking in accordance with Section 2113.20. (see code for the 3 exceptions to this rule).

CRAWL SPACE AND FOUNDATION

During the crawl space inspection it was noted that the form boards were left in place from original construction. This is a potential fire hazard; these should have been removed after the exterior hearth was set. This is also a violation of the current code.



The water heater and furnaces are venting into the base of the chimney. This can cause accelerated deterioration.



EXTERIOR

The outside dimensions of the chimney stack at the narrowest point are 29-inches by 57-inches.

The chimney is 41-inches off of the highest point of contact with the roof. It is approximately 30-feet off grade.

The exterior of the chimney stack appeared to be in satisfactory condition at the time of inspection. There were no visible indications of damage.



CODE HEIGHT AND LOCATION OF CHIMNEY

This chimney meets the code height requirements for the date of construction.

FLASHING AT CHIMNEY AND ROOFLINE INTERSECTION

The flashing around the chimney looks questionable. There is roofing paper against the chimney about 12-inches above the roof line. This is a code violation and there are signs of water intrusion in the attic.



ROOFING MATERIAL AND PITCH

The roofing material immediately around the chimney is composed of torched down modified bitumen sheeting.

The roof directly around the chimney is set at a minimal to flat slope.

CROWN

The crown appeared to be in satisfactory condition at the time of inspection.



RAIN CAP AND SPARK ARRESTOR

This chimney system has more than one flue terminating at a similar height with no separation. This can cause drafting problems by allowing flue gasses to exit one flue and then travel down another.



SUMMARY AND REQUIRED REPAIRS

The inspection revealed deficiencies within the firebox, smoke chamber and flue lining system. Please see inspection report for details. These deficiencies must be repaired in an approved manner by a licensed and qualified chimney specialist before the system can be used to burn wood, gas or any other fuel. See proposal and contract for a detailed list of the required repairs.

The water heater and furnace should be rerouted out of the chimney.

Recommended Repairs

- Rebuild the firebox and redesign the back wall
- Redesign the height of the firebox opening if needed
- Install a lintel bar
- Install a fire safety screen
- Address the hearth extension
- Address the facing
- Address the clearance to combustibles around the firebox opening
- Chip and reline the breast plate and smoke chamber
- Reline the flue system install a smoke guard if needed after the reclining of the flue
- Seal the crown
- Install a baffle between the flues
- Address the water heater and furnace into the chimney
- Install a fire safety screen
- Address the flashing at the roof and chimney intersection
- Address the clearance to combustibles in the attic and under the hearth extension

Living Room Fireplace

GENERAL INFORMATION

This system is a non-reinforced masonry chimney. Non-reinforced chimneys were constructed before 1938 when the applicable building code did not require masonry to be reinforced. The chimney bricks were mortared together with a lime and sand mortar. This mortar has poor ability to withstand seismic activity. This mortar will deteriorate rapidly if exposed to excessive moisture. Circa 1938 chimneys were required to be reinforced and Portland cement was used in the mortar between the bricks. A reinforced chimney with Portland cement mortar is vastly superior to a non-reinforced lime and sand mortar chimney.

THIS CHIMNEY AND FIREPLACE SYSTEM IS NOT CURRENTLY SAFE TO USE FOR BURNING WOOD, GAS OR OTHER FUEL.

STRUCTURE TYPE

There are two fireplaces, built one on top of another and outside the walls of the house that pass through two floors. The chimney is located parallel to the roof line. This fireplace is located in the lower floor.



FIREBOX

The fire box opening is 31.5-inches wide and 38.25-inches high. The firebox is 21-inches deep which is measured from the backwall to the back of the lintel. The back wall is 31-inches wide.

The height of the fire box opening is greater than the width. Per industry standards the height of the fire box is approximately two thirds of the width. For example if the fire box is 36-inches wide it should be approximately 24-inches high. This condition may disrupt the draw of the fireplace, allowing dangerous flue gasses to enter the living space which if occurs is a serious health hazard.

The ash dump door is missing. This is a potential fire hazard if the ash pit clean door is missing.



The walls in the firebox sound loose or hollow when knocked upon. This is an indication that the firebox lining is no longer protecting the structural walls of the chimney.



FIREBOX DESIGN

The firebox lining is yellow colored firebrick set in a Running Bond pattern with the narrow face of the brick exposed.

SCREENS DOORS AND GRATES

The fireplace did not have a fire safety screen at the time of inspection. The fire safety screen is designed to prevent sparks and embers from leaving the fireplace. It also creates a safety zone and helps protect clothing from being pulled in to the fireplace.

There is no log grate installed in the firebox.

GAS SYSTEM

The gas line has been capped off inside the fire box. The gas shut off valve was not tested.



LINTEL

Rear wall of the firebox extends less than 8-inches above the lintel. Per current code the firebox will have the back wall extend a minimum of 8-inches above the lintel. The current design may result in the spillage of smoke and/or dangerous gases into the living space. However this does not appear to be a problem on this fireplace system. There are obvious signs of use with no visible signs of any drafting problems. Additionally the original design of this smoke chamber may prohibit a full 8-inch rise above the lintel.



The required lintel is missing. This can allow premature damage to the masonry structure above the opening and the facing. A lintel will need to be installed



FACING AND MANTEL

There are combustible materials on the facing which violate the code for the clearance to combustibles. Although this is a code violation there did not appear to be any damage due to this.



EXTERIOR HEARTH

The exterior hearth does not meet the code required dimensions. Although this does not meet current code standards and therefore is considered to be a fire hazard, there were no indications of subsequent damage due to this at the time of inspection.



DAMPER

There is no damper installed. At the time the house was built a damper was not required. A damper can help conserve energy when the fireplace is not in use.

BREAST PLATE

The breast plate in this system has cracked and may no longer be capable of containing the heat produced by the fire and protecting the framing above it.



SMOKE CHAMBER

The smoke chamber is not parged. There are common bricks at with deterioration of the grout between the bricks that can allow the transfer of heat to combustible materials.



FLUE SYSTEM

The flue is unlined. The inside dimension of the flue is 11-inches by 15.5-inches. The total approximate height of the flue is 25-feet.

The flue system is incomplete due to missing liners. The liners should start at the top of the smoke chamber and continue all the way to the top of the chimney. Missing flue liners can cause turbulence in the air flow which creates drafting problems and creosote deposits. Additionally the code required thickness of the chimney without a liner is 8-inches, which has not been met in this chimney.

There is deterioration of the mortar between the bricks inside the flue system. The flue system changes from unlined to lined from 10-feet above the top of the firebox opening. The liners should start at the top of the smoke chamber and continue all the way to the top of the chimney.





FLUE TO FIREBOX RATIO

The effective flue area (meaning the space inside the flue where smoke is expected to actually travel) should be approximately 10% of the fire box opening. This flue far exceeds 10% of the fire box opening. This can create an issue where the flue will not get hot enough to pull the smoke up and out and can allow smoke to back in to the living space which is a serious health hazard.

OTHER FLUES OR VENTS WITHIN CHIMNEY STACK

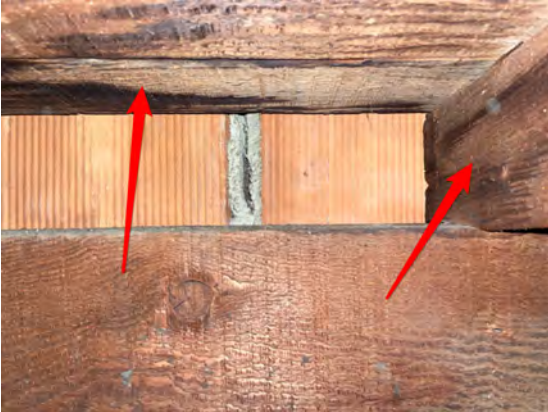
There are other vents in the chimney stack that were once servicing an appliance in the basement/crawlspace. These vents are no longer in service but could contribute to water intrusion problem.

There is a second fireplace that is still in service. This can has cross drafting issues.

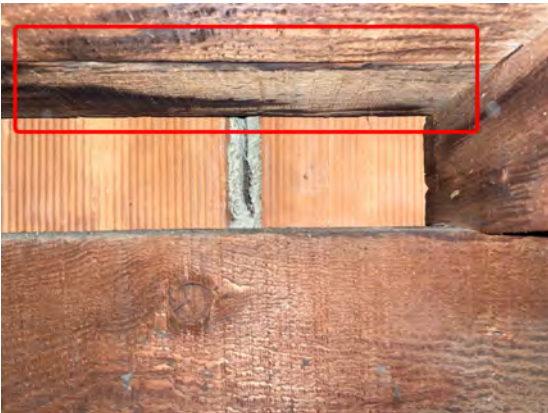


ATTIC

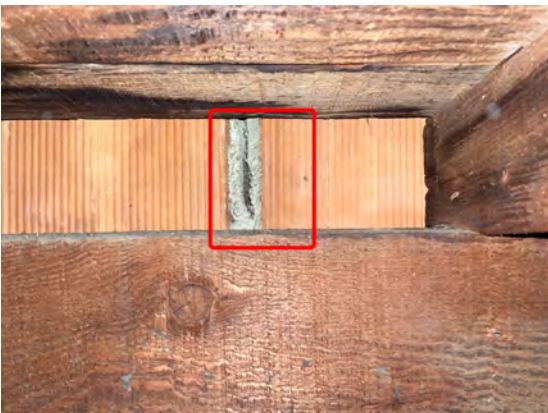
It was noted during the attic inspection that there is wood framing within 2-inches of the chimney stack. Although this is a code violation there was no evidence of damage due to this found.



During the attic inspection evidence of water intrusion was noted on the framing members around the chimney stack. The flashing should be evaluated by a professional.



There is missing mortar between the bricks visible in the attic. This is a potential fire hazard.



CRAWL SPACE AND FOUNDATION

There are penetrations in to the structure which are no longer in use. These penetrations weaken the structure and allow vermin to enter the chimney system.



EXTERIOR

The outside dimensions of the chimney stack at the narrowest point are 69-inches by 59.5-inches.

The chimney is 59-inches off of the highest point of contact with the roof. It is approximately 30-feet off grade.

CODE HEIGHT AND LOCATION OF CHIMNEY

This chimney meets the code height requirements for the date of construction.

FLASHING AT CHIMNEY AND ROOFLINE INTERSECTION

The flashing should be evaluated by a professional due to the signs of water intrusion in the attic.



ROOFING MATERIAL AND PITCH

The roofing material immediately around the chimney is composed of torched down modified bitumen sheeting.

CROWN

The crown appeared to be in satisfactory condition at the time of inspection.



RAIN CAP AND SPARK ARRESTOR

This chimney system has more than one flue terminating at a similar height with no separation. This can cause drafting problems by allowing flue gasses to exit one flue and then travel down another.



SUMMARY AND REQUIRED REPAIRS

The inspection revealed deficiencies within the firebox, smoke chamber and flue lining system. Please see inspection report for details. These deficiencies must be repaired in an approved manner by a licensed and qualified chimney specialist before the system can be used to burn wood, gas or any other fuel. See proposal and contract for a detailed list of the required repairs.

Recommended Repairs

- Rebuild the firebox and redesign the back wall
- Redesign the height of firebox opening if needed
- Install a lintel bar
- Install a fire safety screen
- Address the hearth extension
- Address the facing
- Address the clearance to combustibles around the firebox opening
- Chip and reline the breast plate and smoke chamber
- Reline the flue system install a smoke guard if needed after the relining of the flue
- Seal the crown
- Install a baffle between the flues
- Address the water heater and furnace into the chimney
- Install a fire safety screen
- Address the flashing at the roof and chimney intersection
- Address the clearance to combustibles in the attic and under the hearth extension

Master Bedroom Fireplace

GENERAL INFORMATION

THIS CHIMNEY AND FIREPLACE SYSTEM IS NOT CURRENTLY SAFE TO USE FOR BURNING WOOD, GAS OR OTHER FUEL.

STRUCTURE TYPE

There are two fireplaces built one on top of the other and outside of the walls of the house which extend through two stories. The edge of the roof where the chimney is located is parallel to the ground. This fireplace is located above the Living room fireplace.



FIREBOX

The fire box opening is 32-inches wide and 30-inches high. The firebox is 20-inches deep which is measured from the backwall to the back of the lintel. The back wall is 26-inches wide.

There are thermal fractures in the walls of the firebox. Thermal fractures can be expected when a fireplace is used. The standard correction for these thermal fractures is to grind them out and repoint with new refractory mortar. Repointing these fractures will also help curb further deterioration.



FIREBOX DESIGN

The firebox lining is yellow colored firebrick set in a Running Bond pattern with the narrow face of the brick exposed.

SCREENS DOORS AND GRATES

The log grate appeared to be in satisfactory condition at the time of inspection.

There was a suitable fire safety screen in place at the time of inspection.

GAS SYSTEM

There was no visible evidence found of a gas line run to this fireplace at the time of inspection.

LINTEL

The required lintel is missing. This can allow premature damage to the masonry structure above the opening and the facing. A lintel will need to be installed



FACING AND MANTEL

There are combustible materials on the facing which violate the code for the clearance to combustibles. Although this is a code violation there did not appear to be any damage due to this.

EXTERIOR HEARTH

The exterior hearth does not meet the code required dimensions. Although this does not meet current code standards and therefore is considered to be a fire hazard, there were no indications of subsequent damage due to this at the time of inspection.

DAMPER

There is no damper installed. At the time the house was built a damper was not required. A damper can help conserve energy when the fireplace is not in use.

BREAST PLATE

The breast plate in this system has cracked and may no longer be capable of containing the heat produced by the fire and protecting the framing above it.



SMOKE CHAMBER

The smoke chamber is not parged coated and the flue is offset from the smoke chamber. This can create a drafting problem. There is a gap below the first clay liner. This is a potential fire hazard. The gap can allow the transfer of heat to combustible materials.



FLUE SYSTEM

The flue is unlined. The inside dimension of the flue is 11-inches by 11-inches. The total approximate height of the flue is 25-feet.

The mortar in the joints between the liners is deteriorating leaving voids and gaps. There were also one or more cracked flue liners found in the chimney. This is a potential fire hazard as heat and flue gasses may escape the flue causing dangerous secondary chimney conditions. This is also a health hazard as the poisonous gasses may enter the living space.

The mortar in the joints between the liners is deteriorating leaving voids and gaps. There were also one or more cracked flue liners found in the chimney. The horizontal crack is at the roof line. This is a potential fire hazard as heat and flue gasses may escape the flue causing dangerous secondary chimney conditions. This is also a health hazard as the poisonous gasses may enter the living space.



FLUE TO FIREBOX RATIO

The flue is slightly undersized however this system may still function despite this.

SUMMARY AND REQUIRED REPAIRS

The inspection revealed deficiencies within the firebox, smoke chamber and flue lining system. Please see inspection report for details. These deficiencies must be repaired in an approved manner by a licensed and qualified chimney specialist before the system can be used to burn wood, gas or any other fuel. See proposal and contract for a detailed list of the required repairs.

Recommended Repairs

- Rebuild the firebox and redesign the back wall
- Redesign the height of firebox opening if needed
- Install a lintel bar
- Install a fire safety screen
- Address the hearth extension
- Address the facing
- Address the clearance to combustibles around the firebox opening
- Chip and reline the breast plate and smoke chamber
- Chip the damaged liners
- Reline the flue system install a smoke guard if needed after the reclining of the flue
- Seal the crown
- Install a baffle between the flues
- Address the water heater and furnace into the chimney
- Install a fire safety screen
- Address the flashing at the roof and chimney intersection
- Address the clearance to combustibles in the attic and under the hearth extension



Cultural Heritage Commission Agenda Report

ITEM NO. 6

DATE: September 19, 2024

FROM: Angelica Frausto-Lupo, Community Development Director

PREPARED BY: Robert (Dean) Flores, Senior Planner

SUBJECT: **Project No. MIL24-0002 is a request to review and make a recommendation to the City Council for a proposed Mills Act Contract application (Project No. MIL24-0002) for a residence at 1209 Indiana Avenue (APN: 5314-010-061) that is a Designated Historic Landmark (#60). In accordance with the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption under Section 15308, Class 8 (Actions by Regulatory Agencies for Protection of the Environment).**

Recommendation

The Subcommittee of the Cultural Heritage Commission recommends that the Commission make a recommendation to the City Council to enter into a Mills Act Contract for 1209 Indiana Avenue.

Background

On August 27, 2023, Michael Emerling and Ruth Ballenger, the applicants and homeowners, submitted a letter of intent to file a Mills Act application for the property located at 1209 Indiana Avenue was filed with the City (**Attachment 1**).

On May 16, 2024, a Subcommittee composed of Commissioners Scott Severson and Jeremy Ding was formed to review the submitted materials for the Mills Act request and to conduct an on-site meeting with the homeowner to inspect the condition of the property.

On July 16, 2024, the applicant's representative, Debi Howell-Ardilla, submitted a formal application and work plan for a Mill's Act request (**Attachment 2**).

On July 17, 2024, the City Council designated the subject property as an Historic Landmark, based on the recommendation provided by the Cultural Heritage Commission.

On July 30, 2024, the subcommittee, City staff, and the homeowners participated in a tour of the home.

Based on the submitted materials and subsequent house tour, the subcommittee finds that the subject property qualifies for a Mills Act Contract because the property is a designated Historic Landmark, and the proposed Work Plan for the historic resource is appropriate and meets the criteria for a Mills Act Contract as listed in South Pasadena Municipal Code Section 2.68.b.1.c.

Discussion/Analysis

The Applicant has provided information regarding the condition of the historic property and a Work Plan (pages 5-11 of **Attachment 2**). The following is a list of the proposed work as stated in the Work Plan:

Proposed Scope of Work	Est. Cost	Year
1. Re-roof, repairs, and capentry work on the roof/sheathing.	\$ 75,000	2027
2. Repair Exterior Wood – Repairs/carpentry work and repainting of wood elements including shingles, roof eaves, and balcony railing; repainting in period-appropriate palette.	\$ 65,000	2030
3. Geotechnical Evaluation/Report for the site. The retaining wall on the hillside portion of the site shows signs of failure/deteriation.	\$ 50,000	2033
Total:	\$ 190,000	2027-2033

The financial analysis for the project is included in the provided Work Plan. The total cost of the proposed scope of work is approximately \$190,000. Maintenance does not qualify for a Mills Act Contract, and therefore the maintenance costs have not been included in overall scope of work. Additionally, the Financial Analysis section of **Attachment 2** (pages 10-11) shows that the total tax savings for a Mills Act Contract over the 10-year period is \$186,787 which is less than the proposed scope of work cost of \$190,000.

Criteria for Mills Act Contract (SPMC Section 2.68.b.1.c.)

As outlined in the Cultural Heritage Ordinance, in considering the merits of a proposed Mills Act Contract, the Commission shall use the following criteria in making a recommendation to the City Council. Below are the Subcommittee's recommended findings of the project's compliance with each criterion as follows:

- (i) Financial Investment. The estimated tax benefit is not expected to exceed the applicant's proposed financial investment in the cultural resource over the first 10 years of the contract.**

The applicant is proposing to invest \$190,000 in qualified repairs and restoration over the first ten-years of the Mills Act contract. The tax benefit over the same period is expected to be \$186,787. Thus, the estimated tax benefit is not expected to exceed the applicant's proposed financial investment in the cultural resource over the first ten years of the contract. Criterion (i) is met.

- (ii) Public Benefit. The proposed Mills Act Contract features a work plan that will provide a benefit to the public by: rehabilitating the property for continued occupancy or adaptive reuse; improved viability through systems upgrades and structural reinforcement upgrades; preserving and maintaining the character-defining features of the property, and/or restoring character-defining features of the property that have been significantly altered or removed over time.**

The home was built in 1911 and shows several issues. The roof of the home features water leaks and therefore requires a re-roof and repair of the underlying roof system. Additionally, the proposed exterior wood work features proposed repairs and replacement (where necessary) of the existing wood shingles. Lastly, the proposed geotechnical evaluation/report is necessary to ensure the integrity of the property is maintained as the existing retaining wall shows signs of failure and disrepair. Therefore, Criterion (ii) is met.

- (iii) Retroactive Limitations. The estimated tax benefit will not be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved, unless it can be shown that the completed work was necessary in the interest of the public health or safety following involuntary damage or destruction caused by fire, act of nature, or any other casualty.**

No work has been or will be conducted prior to approval of the Mills Act contract. The items on the proposed Work Plan are proposed during the first ten-year period from 2027-2033. None of the estimated tax benefit will be used for any maintenance or alteration work that was previously completed or initiated before the contract is approved. Therefore, Criterion (iii) is met.

- (iv) Limitations on Maintenance. The estimated tax benefit will not be used for routine maintenance work except for exemplary or exceptional properties that have financially burdensome maintenance requirements.**

No routine maintenance of the house will utilize the tax benefit. Therefore, Criterion iv. is met.

(v) Limitations on Interior Work. The estimated tax benefit will not be used for work within the interior of a cultural resource unless the commission determines the following exceptions should be made: the interior work is necessary to improve the structural integrity of the property; the interior work is necessary to preserve and maintain character-defining features within the cultural resource that are specifically identified as part of the official landmark nomination; and/or the interior work is necessary to preserve and maintain character-defining features of the property that were discovered subsequent to its landmark designation. The commission must first determine that those interior features are character-defining based on substantial evidence provided by the applicant.

The proposed Work Plan does not include interior work. Therefore, Criterion (v) is met.

(vi) Limitations on Landscaping. The estimated tax benefit will not be used for landscaping work unless it will be used for specific landscape features that were identified as part of the official landmark nomination.

No landscaping work is proposed using the estimated tax benefit. Therefore, Criterion (vi) is met.

Fiscal Impact:

The estimated tax savings for the owners is \$186,787 over a 10-year period. The total estimated cost to the city as a result of property tax reduction is approximately \$53,199 over the first 10-year period of the contract, which amounts to an average of \$4,836 annually.

Environmental Analysis

The designation of landmarks qualifies for an exemption under the California Environmental Quality Act (CEQA) Guidelines Section 15308, Class 8. Class 8 consists of actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment. Construction activities and relaxation of standards allowing environmental degradation are not included in this exemption.

Public Noticing

The public was made aware that this item was to be considered this evening by virtue of its inclusion on the legally publicly noticed agenda, posting of the same agenda and

reports on the City's website, in the *South Pasadena Review* newspaper on September 5, 2024, and individual property mailings to those within 300 feet of the project site.

Next Steps

The recommendation of the Commission will be presented to the City Council.

Attachments

1. Letter of Intent
2. Mills Act Application/Work Plan

ATTACHMENT 1

Letter of Intent

Michael Emerling and Ruth Ballenger

1209 Indiana Avenue
South Pasadena, California 91030
(p) 626.824.1913 (e) mikeE@alumni.caltech.edu

Matt Chang, Planning Manager; Mark Gallatin, Chair, Cultural Heritage Commission
City of South Pasadena Planning & Building Department
1414 Mission Street
South Pasadena, CA 91030

August 27, 2023

Dear Mr. Chang and Mr. Gallatin:

We are writing to express our interest in applying for the Mills Act for our home at 1209 Indiana Avenue, South Pasadena (APN #5314-010-061), an intact Chalet-Craftsman Bungalow constructed in 1911. Our understanding is that our home is listed on the South Pasadena Inventory of Cultural Resources but has not yet been formally designated on the Register of Cultural Resources. This finding of individual landmark eligibility for our property was confirmed in 2015 through the City of South Pasadena Historic Resources Survey update, which assigned a California Historical Resources status code of "5S3" to the property.

Since purchasing the home in 2006, it has served as our family's primary residence. Over the years, we have invested time and resources to maintain our home in good repair. However, several issues have emerged recently that ideally need attention soon, in particular due to the rains we experienced in 2023 (and with the upcoming El Nino weather pattern predicted for 2023/2024). Some of the issues include recent leaks in the roof which were particularly pronounced during the rains this last year. These leaks are evidenced by recent damage in the wood detailing in the front of the structure. Additionally, an existing retaining wall at the west side of our property, separating our house from a sloped, undeveloped hill sitting above the wall, shows signs of cracking and potential failure. During heavy rains, the wall does not prevent all water from passing through to our property, which is concerning for the site overall as well as for the distinctive wood shingles on our exterior walls, which extend down to the concrete foundation.

We understand that our residence needs to be designated on the Register to qualify for the Mills Act program. To complete the landmark nomination, and to make sure our Mills Act workplan meets the City's requirements, we have asked local preservation specialist Debi Howell-Ardila to prepare both applications. She has conducted a site visit and started a literature review for the property; based on this, Debi has shared her opinion that our home qualifies for designation as a distinctive, intact Chalet-Craftsman Bungalow and that, given the repair, rehabilitation, maintenance items needed, our home would be a very strong candidate for a potential Mills Act contract.

We do understand that this Letter of Intent arrives late in the year to submit a Mills Act application (we just learned of the program recently), but we wonder if the City and CHC have discretion to expedite review of our application for this year. The Mills Act would help us address the pressing issues before us (repair/replace the roof to stop the leaks and wood damage, to study the best method for mitigating potential flowing water damage to the structure and address the retaining wall, and to plan for the rehabilitation/repairs and repainting of the wonderful original wood features on the exterior of our house), but we are concerned about waiting another year before being able to address these issues. The Mills Act program and property tax abatement would serve as a great help as we continue to maintain our property and address these time-sensitive issues.

Following this letter, you'll find a brief overview of the existing conditions of the façade of our house, along with a few images of the retaining wall and exterior materials overall. Thank you for your consideration. We look forward to hearing from you on next steps, and whether an expedited application process for 2023 might be possible.

Sincerely,



Michael Emerling and Ruth Ballenger

Appendix A

Photographic Overview

Figure 1 1209 Indiana Avenue, northeast perspective



Figure 2 1209 Indiana Avenue, southeast perspective



Figure 3 Detail, façade, 1209 Indiana Avenue, southeast perspective



Figure 4 Detail, façade and south elevation, 1209 Indiana Avenue, east perspective



Figure 5 Roof eave treatment and details, façade and south elevation, east perspective



Figure 6 Façade detail, east perspective



Figure 7 Overview of retaining wall, south perspective



Figure 8 Detail of cracks and water penetration in retaining wall, south perspective



ATTACHMENT 2

Mills Act Application/Work Plan



Mills Act Application | C.G. Gates Residence 1209 Indiana Avenue, South Pasadena

Prepared for:

City of South Pasadena
Department of Planning and Building
South Pasadena, CA 91030

Prepared by:

Debi Howell-Ardila, MHP
Michael Emerling and Ruth Ballenger

July 2024

Mills Act Application, C.G. Gates Residence

1209 Indiana Avenue, South Pasadena

Table of Contents

Section	Page
1 Project Background.....	1
2 Mills Act Work Plan, Schedule and Reporting System.....	6
3 Description of Work Plan and Priorities	7
4 Financial Analysis	10

Appendix A: Owner’s Letter of Intent

Appendix B: Original Landmark Nomination

Appendix C: Supporting Documents

1. Legal Description
 2. Annual Property Tax Statement
 3. Homeowner’s Insurance Bill
 4. Homeowner’s Earthquake Insurance Bill
 5. Utility Bill: Southern California Edison, Electric Bill
 6. Utility Bill: SoCalGas, Gas Bill
 7. Utility Bill: City of South Pasadena, Water Bill
-

1. Project Background

This Mills Act Historic Property Contract application is for the single-family residence at 1209 Indiana Avenue, South Pasadena (Assessor's Parcel Number 5314-010-061). Located near the base of Monterey Hills, north of Monterey Road, the property was constructed in 1911 for Charles Clark Gates and his family. As noted in the 2014 *City of South Pasadena Citywide Historic Context Statement*, the property is a textbook example of the Craftsman architectural style, Swiss Chalet subtype.¹ Highly intact on the exterior and interior, the Gates Residence meets the eligibility criteria for an individual local landmark as described in the 2014 *City of South Pasadena Citywide Historic Context Statement*.²



Roughly square in plan, 1209 Indiana Avenue occupies a slanted, hillside parcel; the home is set back by a raised lawn and berm. Two stories in height, the home rests on a raised concrete foundation and is capped with a prominent, medium-pitched, front-gable roof. As is typical for the Craftsman-Chalet style, much of the decorative detailing of the building centers on the character and detailing of the roof eaves. Features include wide overhanging eaves resting on triangular knee braces with turned, multi-color posts, decoratively carved bargeboards, and a low wood screen displaying perforations forming geometric patterns. The second story extends slightly beyond the first, with banded wood molding and carved faux purlins highlighting the division between second and first stories and emphasizing the horizontal axis. Exterior sheathing materials consist primarily of wood shingles and some horizontal wood siding.

A partial length porch occupies the southern portion of the façade; the porch is elevated on low, concrete steps and sheltered beneath a flat roof with extended eaves, accented with faux purlins/rafter tails and intricately carved bolsters. The porch roof rests on decorative, turned wood columns with square post supports. A low wall with turned posts fronts the patio. Off the patio, a single wood door with one large, central light with metal framing provides access to the residence.

The property's Craftsman-Swiss Chalet style elements are seen in a variety of features, including the mass and scale of the property; the generous use of wood, including in exterior shingles, siding, and decorative accents at the roof eaves and front porch; the prominent, medium-pitched roof form; the roofline treatment (e.g., the use of wide eaves); screen with geometric perforations below the roof gable; grouped, multi-light wood-framed windows, among other features.

The side elevations of the residence mirror the fenestration patterns and materials seen on the façade. The north elevation displays grouped wood-framed windows (including tripartite two-over-three frame casements and three-over-two double-hung windows) and a varied wall plane, with a square two-story

¹ Additional information on the life and local presence of the Gates family is provided in the accompanying landmark nomination application for 1209 Indiana Avenue.

² City of South Pasadena, Planning and Building Department. 2014. *South Pasadena Citywide Historic Context Statement*. Available at: <https://www.southpasadenaca.gov/government/departments/planning-and-building/planning-division>. Accessed 30 April 2021.

projection and a one-story bay window providing depth. Along the concrete foundation of the home on the north elevation are several basement-level openings with simple wood frames.

Similarly, the south elevation wall plane is broken up by a one-story projection with wood-framed windows, capped with decorative wood eaves. The rear elevation exhibits a small, square addition, also clad in wood shingles. A secondary entrance elevated on concrete steps is also located at the rear elevation. In the westernmost portion of the parcel is concrete patio and a concrete-clad retaining wall. Mature landscaping and trees further enhance the property. The property is in good repair overall. Alterations appear to be minimal and include a small, low addition on the rear elevation and potentially a second-story remodel that resulted in the addition of some small windows on the side and rear elevations.

A photographic overview of the property can be viewed in Appendix A, which presents the original landmark nomination for the property.

Summary of Landmark Eligibility

South Pasadena Landmark Criterion 4: Its exemplification of a particular architectural style of an era of history of the City)

As noted in South Pasadena's *Citywide Historic Context Statement*, which utilized a photo of 1209 Indiana Avenue to illustrate the features of the style, the property is an intact, textbook example of the Swiss Chalet/Craftsman architectural style. The property is eligible for local landmark listing under Criterion 4 of the Cultural Heritage Ordinance. The property displays all of the character-defining features identified as key for the Craftsman theme/Swiss Chalet subtheme in the *Citywide Historic Context Statement*:

- Rectangular plan and compact, 2-story massing
- Flat, usually symmetrical primary façade
- Moderately pitched front gable roof with wide, overhanging eaves/rake, and exposed rafter tails
- Wood shingle, horizontal wood siding
- Wide porch, recessed or projecting
- Second-story balcony with plank railing, usually with decorative cut-outs
- Divided light casement or double hung wood windows
- Decorative brackets and bargeboards

In addition, with few visible alterations, the property meets the integrity threshold defined in the *Citywide Historic Context Statement*.

An outgrowth of the Arts and Crafts movement, the Swiss Chalet style is a subtype of the Craftsman architectural style, which dominated residential design in South Pasadena (and beyond) through the early 20th century. As noted in the *Citywide Historic Context Statement*, South Pasadena

retains intact streets and neighborhoods, along with prominent individual examples, illustrating the importance of Arts and Crafts architecture and the role it played in residential development in the early 20th century. Southern California, and Pasadena in particular, was a center of the American Arts and Crafts movement; the philosophy, aesthetics, and major proponents and practitioners all influenced South Pasadena.³

³ City of South Pasadena, Planning and Building Department. 2014. *South Pasadena Citywide Historic Context Statement*, p. 111.

The *Citywide Historic Context Statement* provides additional context for this variant of the Craftsman style:

The Swiss Chalet style – constructed primarily of stained wood, in which wide overhanging eaves and balconies helped integrate the outdoors as part of the living space – was compatible with the goals of the Arts and Crafts movement. The Chalet style Craftsman house usually consists of a single, rectangular two-story volume covered by front-facing gable roof. The primary façade is typically symmetrical and frequently features a wide porch topped by a second-story balcony. Porches and balconies usually have plank railings with decorative cutouts. Brackets and bargeboards are usually more decorative than those found in other variations of Craftsman architecture.⁴

During CHC review of the landmark nomination, 1209 Indiana Avenue was found to meet the eligibility standards for local landmark designation under the “Architecture & Design” context, “Craftsman” theme, and “Swiss Chalet style” subtheme of the *Citywide Historic Context Statement*. The nomination was forwarded to City Council for adoption of the designation resolution (presently scheduled for July 2024).

The property’s principal character-defining features are as follows:

- Large, hillside lot and setback from the street
- Two-story mass and generally symmetrical design composition
- Complex roof form and detailing, with prominent medium-pitched front gable, with wide overhanging eaves resting on carved triangular knee braces with turned posts and purlins/dentils; roof eaves have uneven rakes, with a lower, longer expanse on the south elevation
- Elevated, partial-length porch with decorative wood posts, vertical, wood-plank ceiling, and low wood railing
- Sheathing materials, such as horizontal wood siding, wood shingles
- Grouped, multi-light wood-frame windows, with three-over-two and fixed panes on façade

As noted in this Mills Act application and the accompanying landmark nomination, the Gates Residence reflects all of these characteristics.

In addition, the home has few exterior or interior alterations, easily retaining its historic integrity in all seven areas: location, design, setting, workmanship, materials, association, and feeling.

⁴ City of South Pasadena, Planning and Building Department. 2014. *South Pasadena Citywide Historic Context Statement*, p. 273.

Figure 1 South Pasadena *Citywide Historic Context Statement*, with the Gates Residence at 1209 Indiana Avenue as intact example of Swiss Chalet architectural style

Sub-Theme: Swiss Chalet Style

The Swiss Chalet style - constructed primarily of stained wood, in which wide overhanging eaves and balconies helped integrate the outdoors as part of the living space - was compatible with the goals of the Arts and Crafts movement. The Chalet style Craftsman house usually consists of a single, rectangular two-story volume covered by a front-facing gable roof. The primary façade is typically symmetrical and frequently features a wide porch topped by a second-story balcony. Porches and balconies usually have plank railings with decorative cutouts. Brackets and bargeboards are usually more decorative than those found in other variations of Craftsman architecture.

Character-defining features include:

- Rectangular plan and compact, 2-story massing
- Flat, usually symmetrical primary façade
- Moderately pitched front gable roof with wide, overhanging eaves and rake, and exposed rafter tails
- Wood shingle, horizontal wood siding, or cement plaster exterior wall finish, sometimes in combination
- Wide porch, recessed or projecting
- Second-story balcony with plank railing, usually with decorative cut-outs
- Divided light casement or double hung wood windows, sometimes with diamond-patterned lights
- Decorative brackets and bargeboards

Swiss Chalet: Extant Example



1209 Indiana Avenue, Gates Estate

Source: Historic Resources Group, 2014, City of South Pasadena Citywide Historic Context Statement, p. 273

Summary of Mills Act Application Steps Completed

In January 2024, the property owners prepared and submitted a landmark nomination package to the City of South Pasadena. This landmark nomination was subsequently approved by the Cultural Heritage Commission (CHC) with a recommendation to forward to City Council for approval and addition to the City's Register of Local Landmarks.

In January 2024, the property owners also filed a Letter of Intent to apply for the Mills Act, which was subsequently discussed at the Cultural Heritage Commission (CHC) hearing. The CHC favorably reviewed the Letter of Intent and created a subcommittee for the landmark designation to tour the property and offer input on the proposed landmark nomination and Mills Act workplan items. Commissioners Kris Morrish and Conrado Lopez attended a remote site visit to tour the property and inspect the proposed Mills Act workplan items. In May 2024, a separate CHC subcommittee for the Mills Act application was formed, consisting of commissioners Jeremy Ding and Scott Severson.

With the Gates Residence over 113 years old, a number of critical preservation/rehabilitation and repair projects are needed for the property. The Mills Act property tax abatement would help the owners complete these projects and ensure the long-term preservation of this important property. The proposed Mills Act workplan priorities are:

1. Roof System: repairs to roof structure, to mitigate leaking; re-sheathing 2027
2. Exterior Wood: repairs/carpentry work and repainting of wood elements, including wood siding and shingles, roof eaves, and balcony railing; resealing and repainting in period-appropriate palette 2030
3. Retaining Wall: Geotechnical evaluation and stabilization plan 2033

The application also describes additional projects that will be needed in a long-term preservation plan for the home (but have not been added as capitalized expenses in the Mills Act workplan).

This application reflects all feedback and suggestions provided by the CHC to date. Section 2 provides an overview of the application schedule and reporting system; Sections 3 and 4 present the Description of Work Plan and Priorities and the Financial Analysis.

Appendices include the original Letter of Intent (Appendix A), photographic overview of issues (Appendix B), the original Landmark Nomination (Appendix C), and documentation for the financial analysis (Appendix D).

As the owners of a distinctive historic property, the applicants understand the importance of ensuring that all repair, maintenance and rehabilitation projects follow the City guidelines and the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. Each project, as well as the corresponding Standards-compliant treatment approach, is described in more detail in this application.

2. Schedule and Reporting System

Project	Completion Year
1. Roof System: repairs to roof structure, to mitigate leaking; re-sheathing	2027
2. Exterior Wood: repairs/carpentry work and repainting of wood elements, including wood siding and shingles, roof eaves, and balcony railing; resealing and repainting in period-appropriate palette	2030
3. Retaining Wall: Geotechnical evaluation and stabilization plan	2033
4. Maintenance: Termite inspections/mitigation	Annual inspection
5. Maintenance: Roof inspections and repairs as needed	Triannual inspection
6. Maintenance: Paint inspection and repairs as needed	Triannual inspection

Noncapitalized Projects

1. Plumbing repairs and modernization
2. HVAC/heating system upgrades

Reporting System

The property owners of 1209 Indiana Avenue will provide bi-annual written updates to the City of South Pasadena in the final quarter of the year, documenting progress and providing updates and photographs on the Mills Act work plan.

Prior to commencement of work efforts, Certificates of Appropriateness (CoA) will be obtained by the property owners as required by the City of South Pasadena Cultural Heritage Ordinance. Progress reports will include detailed work descriptions, photographs of work completed, and copies of permits and CoAs/CHC guidance and input as applicable.

3. Description of Work Plan and Priorities

Work efforts described in these plans will comply with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*.

Proposed Project & Description	Est. Cost	Priority
--------------------------------	-----------	----------

<p>1. Main Residence, Re-Roof, Repairs, and Carpentry</p> <p>Remove/replace composition shingles. Address water leaks in house, repair underlying roof system and structure where needed. Uninstall and re-install solar panels on south elevation. In areas of the roof line with wood features, repairs and carpentry work to address any damaged or deteriorated wood rafters and eaves, fascia, and other wood framing. If needed, replacement of any wood features will be made to match existing in materials, appearance, patterning, finishes/texture, and size/profile. Paint color to either match existing or reflect a period-appropriate palette.</p>	\$75,000	High
--	----------	------

No power-washing will be used for exterior materials or character-defining features. Cracked and peeling paint to be removed with Peel Away, lightly hand-sanded, primed, and set with two coats of paint. *Secretary’s Standards* treatment approach: identify, retain, and preserve “the functional and decorative features that are important in defining the overall historic character of the building. This includes the roof’s shape, such as hipped, gambrel, and mansard; decorative features such as cupolas...chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.”

Overview of prominent, low-pitched roof (façade)



Section 3 Description of Work Plan and Priorities (continued)

Proposed Project & Description	Est. Cost	Priority
--------------------------------	-----------	----------

- | | | |
|--|----------|------|
| 2. Exterior Wood: repairs/carpentry work and repainting of wood elements including shingles, roof eaves, and balcony railing; repainting in period-appropriate palette | \$65,000 | High |
|--|----------|------|

Original wood shingles and exterior wood features on each elevation are in need of repairs and limited carpentry work. Remove damaged shingle siding where it occurs at all elevations. Spot replace any deteriorated waterproof paper beneath the removed shingles. Install new shingles in a pattern and of a kind to blend the old and new materials. Wash and stain/repaint wood shingles. Where necessary, any replacement of wood shingles and features will be in-kind to match existing in materials, appearance/patterning, finishes/texture, and size/profile. Treatment approach will include the gentlest methods possible—**contractors will not use power-washing or machine sanding** for any character-defining features. Gentlest means possible will be used in prepping for repainting of the exterior.

Overview of wood shingles and features



Section 3 Description of Work Plan and Priorities (continued)

Proposed Project & Description	Est. Cost	Priority
3. Geotechnical Evaluation for Site	\$ 50,000	Medium

With its hillside parcel and raised, undeveloped lot directly adjacent to the west, the retaining wall on the western portion of the property shows signs of failure. Settlement and water run-off from the hillside are causing slow-moving damage, including cracks and spalling, to the concrete retaining wall, which is located several feet from the west elevation of the house. Under this item, a geotechnical evaluation will be prepared by a structural engineer meeting the qualifications set forth in the South Pasadena Cultural Heritage Ordinance to recommend a plan for repairs, reinforcement, and/or reconstruction of part or all of the western elevation retaining wall.

The geotechnical evaluation would also propose remediation/mitigation measures to stabilize the site. Any work efforts recommended as a result of the study would be optional or included in the second 10-year Mills Act term for the property.

All work will be completed according to industry standards and applicable building codes; project design and implementation will avoid direct or indirect impacts to character-defining features.

Overview of damaged concrete retaining wall and proximity to west elevation of residence



4. Mills Act Work Plan, Financial Analysis

Proposed Project & Description	Est. Cost	Schedule
1. Roof System: repairs to roof structure; re-sheathing	\$ 75,000	2027
2. Exterior Wood: repairs/carpentry work and repainting of wood elements, including wood siding and shingles, roof eaves, and balcony railing; resealing and repainting in period-appropriate palette	\$ 65,000	2030
3. Retaining Wall: Geotechnical evaluation and stabilization plan	\$ 50,000	2033
Owner's Total Investment in 1209 Indiana Avenue:	\$ 190,000	
Total Tax Savings for Owners (10-year period)	\$ 186,787	
Average Annual Cost to the City of South Pasadena:	\$ 4,836	

4. Mills Act Work Plan, Financial Analysis, 1209 Indiana Avenue (con't)

Mills Act Application, 1209 Indiana Avenue, Financial Analysis													
Property Address:	1209 Indiana, South Pasadena, California 91030					Assessor's ID #: 5314-010-061							
Type:	Single-family Residence					Current Assessed Value: \$ 1,835,054							
Landmark #:	City of South Pasadena Register (City Council Nomination Hearing, 7/17/2024)												
REVENUES	Annual Increase	Current Yr 2024	Year 1 2025	Year 2 2026	Year 3 2027	Year 4 2028	Year 5 2029	Year 6 2030	Year 7 2031	Year 8 2032	Year 9 2033	Year 10 2034	
1. Monthly Revenues		6,000.00	6,180.00	6,365.40	6,556.36	6,753.05	6,955.64	7,164.31	7,379.24	7,600.62	7,828.64	8,063.50	
2. Annual Rental Income	3.0%	72,000.00	74,160.00	76,384.80	78,676.34	81,036.63	83,467.73	85,971.77	88,550.92	91,207.45	93,943.67	96,761.98	
ANNUAL EXPENSES													
3. Insurance	5.0%	3,995.15	4,194.91	4,404.65	4,624.89	4,856.13	5,098.94	5,353.88	5,621.58	5,902.66	6,197.79	6,507.68	
4. Utilities	6.0%	6,028.43	6,390.14	6,773.54	7,179.96	7,610.75	8,067.40	8,551.44	9,064.53	9,608.40	10,184.91	10,796.00	Total Costs
5. Maintenance	5.0%	14,390.00	15,109.50	15,864.98	16,658.22	17,491.13	18,365.69	19,283.98	20,248.18	21,260.58	22,323.61	23,439.79	\$190,045.67
6/7. Management / Other		0.00											
TOTAL EXPENSES													
8. Sum lines 3 through 7		\$24,413.58	\$25,694.54	\$27,043.17	\$28,463.07	\$29,958.02	\$31,532.03	\$33,189.30	\$34,934.28	\$36,771.64	\$38,706.31	\$40,743.47	
ANNUAL NET INCOME													
9. Line 2 minus line 8		\$47,586.42	\$48,465.46	\$49,341.63	\$50,213.28	\$51,078.62	\$51,935.71	\$52,782.46	\$53,616.64	\$54,435.80	\$55,237.36	\$56,018.51	
CAPITALIZATION RATE													
10. Interest Component	4.75%												
11. Historic Property Risk Component	4.00%												
12. Property Tax Component	1.016%												
13. Amortization Component (Improvement/Land Value x .03)	0.75%												
14. Total Capitalization Rate	10.52%												
NEW ASSESSED VALUE													
15. Mills Act Assessment (Line 9 divided by Line 14)		\$452,514.45	\$462,922.29	\$473,569.50	\$484,461.60	\$495,604.21	\$507,003.11	\$518,664.18	\$530,593.46	\$542,797.11	\$555,281.44	\$568,052.92	
TAXES: AMOUNT TO BE PAID													
16. Tax under Mills Act (Line 15 x .01035146)		4,684.19	4,791.92	4,902.14	5,014.88	5,130.23	5,248.22	5,368.93	5,492.42	5,618.74	5,747.97	5,880.18	
17. Current Tax	1.160%	22,510.94	22,772.07	23,036.22	23,303.44	23,573.76	23,847.22	24,123.85	24,403.68	24,686.77	24,973.13	25,262.82	Total Tax Savings
18. Tax Savings (Line 17 minus line 16)		17,826.75	17,980.15	18,134.09	18,288.56	18,443.54	18,599.00	18,754.91	18,911.27	19,068.02	19,225.16	19,382.64	\$186,787.33
TAXES: COST TO CITY													
19. Annual Cost to City	26%	\$4,634.96	\$4,674.84	\$4,714.86	\$4,755.03	\$4,795.32	\$4,835.74	\$4,876.28	\$4,916.93	\$4,957.69	\$4,998.54	\$5,039.49	Annual Average \$4,836.33

Appendix A

Letter of Intent, August 2023

Michael Emerling and Ruth Ballenger

1209 Indiana Avenue
South Pasadena, California 91030
(p) 626.824.1913 (e) mikeE@alumni.caltech.edu

Matt Chang, Planning Manager; Mark Gallatin, Chair, Cultural Heritage Commission
City of South Pasadena Planning & Building Department
1414 Mission Street
South Pasadena, CA 91030

August 27, 2023

Dear Mr. Chang and Mr. Gallatin:

We are writing to express our interest in applying for the Mills Act for our home at 1209 Indiana Avenue, South Pasadena (APN #5314-010-061), an intact Chalet-Craftsman Bungalow constructed in 1911. Our understanding is that our home is listed on the South Pasadena Inventory of Cultural Resources but has not yet been formally designated on the Register of Cultural Resources. This finding of individual landmark eligibility for our property was confirmed in 2015 through the City of South Pasadena Historic Resources Survey update, which assigned a California Historical Resources status code of "5S3" to the property.

Since purchasing the home in 2006, it has served as our family's primary residence. Over the years, we have invested time and resources to maintain our home in good repair. However, several issues have emerged recently that ideally need attention soon, in particular due to the rains we experienced in 2023 (and with the upcoming El Nino weather pattern predicted for 2023/2024). Some of the issues include recent leaks in the roof which were particularly pronounced during the rains this last year. These leaks are evidenced by recent damage in the wood detailing in the front of the structure. Additionally, an existing retaining wall at the west side of our property, separating our house from a sloped, undeveloped hill sitting above the wall, shows signs of cracking and potential failure. During heavy rains, the wall does not prevent all water from passing through to our property, which is concerning for the site overall as well as for the distinctive wood shingles on our exterior walls, which extend down to the concrete foundation.

We understand that our residence needs to be designated on the Register to qualify for the Mills Act program. To complete the landmark nomination, and to make sure our Mills Act workplan meets the City's requirements, we have asked local preservation specialist Debi Howell-Ardila to prepare both applications. She has conducted a site visit and started a literature review for the property; based on this, Debi has shared her opinion that our home qualifies for designation as a distinctive, intact Chalet-Craftsman Bungalow and that, given the repair, rehabilitation, maintenance items needed, our home would be a very strong candidate for a potential Mills Act contract.

We do understand that this Letter of Intent arrives late in the year to submit a Mills Act application (we just learned of the program recently), but we wonder if the City and CHC have discretion to expedite review of our application for this year. The Mills Act would help us address the pressing issues before us (repair/replace the roof to stop the leaks and wood damage, to study the best method for mitigating potential flowing water damage to the structure and address the retaining wall, and to plan for the rehabilitation/repairs and repainting of the wonderful original wood features on the exterior of our house), but we are concerned about waiting another year before being able to address these issues. The Mills Act program and property tax abatement would serve as a great help as we continue to maintain our property and address these time-sensitive issues.

Following this letter, you'll find a brief overview of the existing conditions of the façade of our house, along with a few images of the retaining wall and exterior materials overall. Thank you for your consideration. We look forward to hearing from you on next steps, and whether an expedited application process for 2023 might be possible.

Sincerely,

Michael Emerling and Ruth Ballenger

Figure 1 1209 Indiana Avenue, northeast perspective



Figure 2 1209 Indiana Avenue, southeast perspective



Figure 3 Detail, façade, 1209 Indiana Avenue, southeast perspective



Figure 4 Detail, façade and south elevation, 1209 Indiana Avenue, east perspective



Figure 5 Roof eave treatment and details, façade and south elevation, east perspective



Figure 6 Façade detail, east perspective



Figure 7 Overview of retaining wall, south perspective



Figure 8 Detail of cracks and water penetration in retaining wall, south perspective



Appendix B

Landmark Designation Application,
January 2024

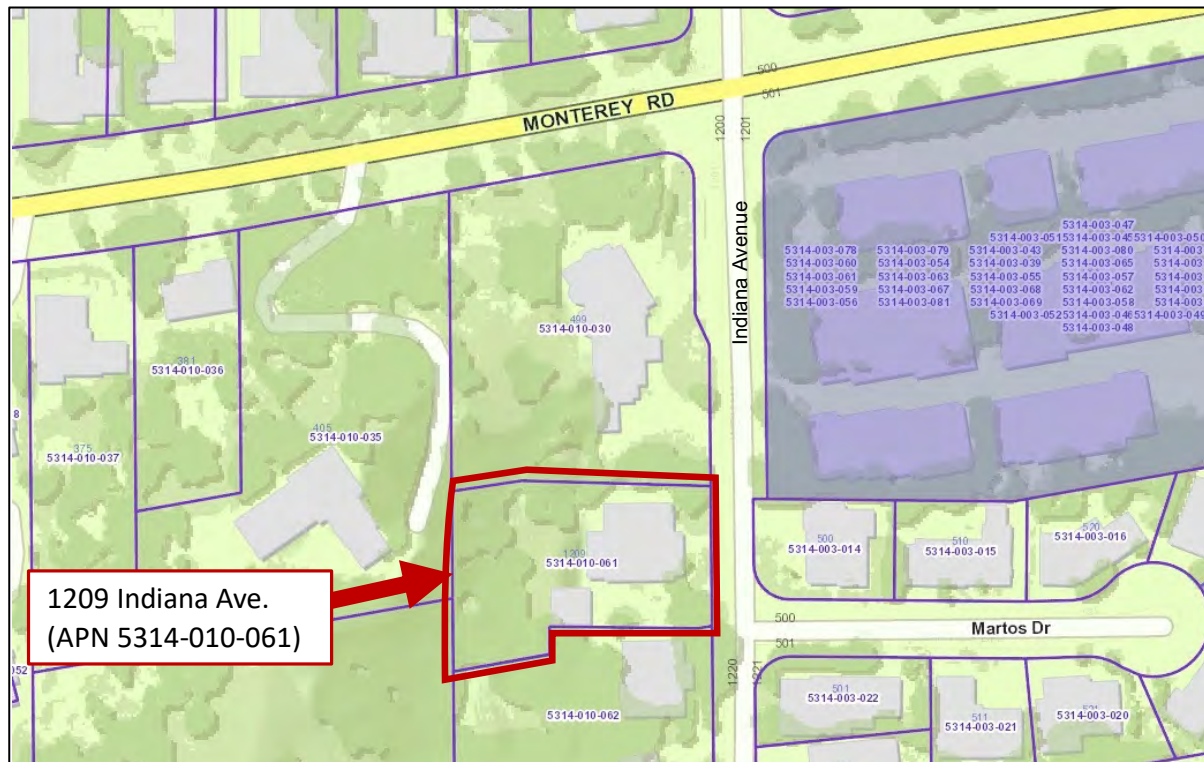
South Pasadena Cultural Heritage Commission

Landmark/Historic District Nomination Form

A. Property Identification

Name of building or site	Gates Residence
Property address	1209 Indiana Avenue, South Pasadena
Current ownership	Michael Emerling and Ruth Ballenger
Owner address	1209 Indiana Avenue, South Pasadena, California
Legal description	Assessor's Parcel Number 5314-010-061
Date of construction	1911 (Source: City of South Pasadena Citywide Historic Resources Survey)
Original Owner	Charles Clark Gates
Architect/Builder	N/A
Original use	Single-family residence
Present use	Single-family residence
Other significant ownership	N/A

Figure 1 Property Location, 1209 Indiana Avenue, South Pasadena



Source: Los Angeles County Tax Assessor Records, modified by author

B. Property Description

Architectural style/period: Craftsman architectural style, Swiss Chalet subtype

Construction materials: Wood-frame construction, sheathed in horizontal wood siding and wood shingles

Historic Status/survey code: (1) **South Pasadena Inventory of Cultural Resources:** "5S3" California Historic Resources Status Code ("appears individually eligible for local listing through survey"); identified as individually eligible in all three City of South Pasadena historic resource surveys, as recently as 2015

Summary of Character-Defining Features:

- Large, hillside lot and setback from the street
- Two-story mass and generally symmetrical design composition
- Complex roof form and detailing, with prominent medium-pitched front gable, with wide overhanging eaves resting on carved triangular knee braces with turned posts and purlins/dentils; roof eaves have uneven rakes, with a lower, longer expanse on the south elevation
- Elevated, partial-length porch with decorative wood posts, vertical, wood-plank ceiling, and low wood railing
- Sheathing materials, such as horizontal wood siding, wood shingles
- Grouped, multi-light wood-frame windows, with three-over-two and fixed panes on façade

Narrative description, including significant exterior and interior architectural features:

Constructed in 1911, 1209 Indiana Avenue is a highly intact, textbook example of a Craftsman-Swiss Chalet style single-family residence in South Pasadena.

Roughly square in plan, 1209 Indiana Avenue occupies a slanted, hillside parcel; the home is set back by a raised lawn and berm. Two stories in height, the home rests on a raised concrete foundation and is capped with a prominent, medium-pitched, front-gable roof. As is typical for the Craftsman-Chalet style, much of the decorative detailing of the building centers on the character and detailing of the roof eaves. Features include wide overhanging eaves resting on triangular knee braces with turned, multi-color posts, decoratively carved bargeboards, and a low wood screen displaying perforations forming geometric patterns. The second story extends slightly beyond the first, with banded wood molding and carved faux purlins highlighting the division between second and first stories and emphasizing the horizontal axis.

Exterior sheathing materials consist primarily of wood shingles and some horizontal wood siding.

A partial length porch occupies the southern portion of the façade; the porch is elevated on low, concrete steps and sheltered beneath a flat roof with extended eaves, accented with faux purlins/rafter tails and intricately carved bolsters. The porch roof rests on decorative, turned wood columns with square post supports. A low wall with turned posts fronts the patio. Off the patio, a single wood door with one large, central light with metal framing provides access to the residence.

The property's Craftsman-Swiss Chalet style elements are seen in a variety of features, including the mass and scale of the property; the generous use of wood, including in exterior shingles, siding, and decorative accents at the roof eaves and front porch; the prominent, medium-pitched roof form; the roofline

treatment (e.g., the use of wide eaves); screen with geometric perforations below the roof gable; grouped, multi-light wood-framed windows, among other features.

The side elevations of the residence mirror the fenestration patterns and materials seen on the façade. The north elevation displays grouped wood-framed windows (including tripartite two-over-three frame casements and three-over-two double-hung windows) and a varied wall plane, with a square two-story projection and a one-story bay window providing depth. Along the concrete foundation of the home on the north elevation are several basement-level openings with simple wood frames.

Similarly, the south elevation wall plane is broken up by a one-story projection with wood-framed windows, capped with decorative wood eaves.

The rear elevation exhibits a small, square addition, also clad in wood shingles. A secondary entrance elevated on concrete steps is also located at the rear elevation. In the westernmost portion of the parcel is concrete patio and a concrete-clad retaining wall.

Mature landscaping and trees further enhance the property. The property is in good repair overall. Alterations appear to be minimal and include a small, low addition on the rear elevation and potentially a second-story remodel that resulted in the addition of some small windows on the side and rear elevations.

The photographs below provide a visual overview of the property and its existing conditions.

Figure 2 Overview of sloped, hillside parcel, façade, northeast perspective



Figure 3 Overview of façade, east perspective



Figure 4 Overview of façade, southeast perspective



Figure 5 North elevation, overview, northwest perspective (shows addition at rear elevation)



Figure 6 South elevation overview, southern perspective (shows roof cross-gable and addition)



Figure 7 North elevation and side yard, west perspective



Figure 8 Swiss Chalet/Craftsman character-defining features on the façade, with decorative wood accents throughout the patio, second-story porch railing with geometric cut-outs, and wide wood roof eaves with decorative detailing, southeast perspective



Figure 9 Detail of roof detailing and entrance porch, east perspective



Figure 10 Detail, northern portion of façade, east perspective



Figure 11 Tripartite wood windows and frames and wood-shingle siding, façade, east perspective



Figure 12 Tripartite wood windows and flared second-story base marked with faux, carved purlins, façade, east perspective



Figure 13 Corner of east and north elevations, northeast perspective



Figure 14 North elevation bay window, wood shingles, and window detailing, north perspective



Figure 15 Detail of wood shingles, south elevation, southwest perspective



Figure 16 Detail of south elevation windows, triangular knee braces, and decorative carved brackets marking division between first and second stories, southwest perspective



Figure 17 Overview of south elevation second story, south perspective



Figure 18 Detail of porch steps, landing, and wood entrance door with side lights, east perspective



Additions/modifications

Based on available data and visual inspection of the property, 1209 Indiana Avenue has few visible alterations and appears highly intact from its 1911 date of construction and period of significance.

Given that 1209 Indiana Avenue originally belonged to a larger parcel facing Monterey Road (499 Monterey Road), a limited number of building permits are available for the property. To date, no primary sources (including building permits or other documentation) have been identified to confirm the original date of construction or original owner; the Los Angeles County Tax Assessor lists a date of 1911 as the date of construction.

Available sources, along with visual observation, indicate the following alterations:

- Pre-1930: Addition of small two-story wing on rear elevation (source, Sanborn Fire Insurance Company map)
- 1939: Construction of two-car garage (extant, noncontributing) (source, building permit #6887)
- 1962: Electrical upgrades (source, building permit #49267)
- 1979: Re-roof (source, building permit, number illegible)
- 1992: Plumbing upgrades (source, building permit #013589)
- 1996: Re-roof (source, building permit #017781)
- 2002: Electrical upgrades/repairs (source, building permit #20555)
- 2008: Mechanical upgrades/repairs (source, building permit #016215)
- 2010: Electrical upgrades/repairs (source, building permit #026379)
- 2014: Electrical upgrades/repairs (source, building permit #034084)
- Unknown date: Some windows on the second story appear nonoriginal and might have been added with an attic conversion (source, visual observations; permits not available)

Ownership History

The original (and longest) owner of 1209 Indiana Avenue was Charles Clark Gates and his wife Pearl, who resided in the home for nearly 40 years, from 1911 until their deaths in 1950 and 1951, respectively. Gates was the nephew of well-known local philanthropist and lumber magnate Peter Goddard Gates, who bought property and settled in South Pasadena with his four brothers in the early 1900s.¹ Wealthy, retired lumber manufacturers, the Gates brothers built a large estate around the area of 1209 Indiana Avenue, along Monterey Road, including a park, orchards, stables, tennis courts, and “even its own fire station.”² Based out of this large family complex at Monterey Road and “Gates Place” (as Indiana Avenue was named in the early twentieth century), South Pasadena became a summer getaway as well as home base for the extended Gates family members.

Born in Illinois in 1879, Charles Clark Gates and his wife Pearl moved to South Pasadena in 1911 from St. Louis, Missouri.³ The residence at 1209 Indiana Avenue originally formed part of a larger parcel extending north to 499 Monterey Road, which is still occupied by a large Swiss Chalet-style home originally belonging to members of the Gates family, including Charles Clark Gates’ parents, Mr. and Mrs. Albert Hawkins

¹ Apostol, Jane. 1987. “South Pasadena: A Centennial History” (South Pasadena Public Library), p. 57.

² City of South Pasadena, Planning and Building Department. 2014. *South Pasadena Citywide Historic Context Statement*, p. 96.

³ “Society,” 28 May 1911, *Los Angeles Times*. Available at ProQuest Historical Newspapers, Los Angeles Times.

Gates.⁴ The parcels were divided at an unknown date, after 1950, into separate lots in a configuration that mirrors the present property lines.

Once they arrived in South Pasadena, Charles and Pearl Gates quickly became part of the small, local social scene, with their travels, social engagements, and family milestones amply covered in the local newspapers of the day. Following in the family footsteps, Charles Clark Gates also worked in the lumber industry, as an executive in the family's lumber company, which included mills and branches in Arkansas (specializing in yellow pine and oak), Louisiana, and Alabama. In the obituary for Albert Hawkins Gates, who passed away in South Pasadena in 1914, the *Forrest City Times* of Forrest City, Arkansas, noted that Mr. Gates had been president of the Gates Lumber Company, based in Wilmar, Arkansas, and had accumulated a "fortune in the lumber mills, and had extensive interests on the Pacific coast."⁵

The homes of the Gates estate faced Monterey Road (including 499, 509, and 515 Monterey, among which only 499 Monterey is extant) and extended north along Indiana Avenue (including the extant residences at 1209 and 1215 Indiana Avenue, both of which were constructed in 1911). Until 1924, when the Gates brothers subdivided a large portion of the land extending northward, "Indiana Avenue" was named "Gates Place," as noted above. The home at 1209 Indiana Avenue occupies a parcel that was originally part of a tract known as "Thomas Green's Subdivision of South Pasadena Highlands," filed in 1887. Prior to the Gates family arrival in the early 1900s, Gates Place/Indiana Avenue was known as "Bellevue Avenue." (The small cul-de-sac "Gates Place" that survives northeast of 1209 Indiana Avenue continues to reflect the family's early presence in the neighborhood.)

In terms of the family, one of Peter Goddard Gates' best known philanthropic gifts was to the California Institute of Technology, in the form of a \$200,000 donation in 1917 to establish the Gates Chemical Laboratories.⁶ Peter G. Gates passed away in 1925 at the age of 69; his nephew Charles was among the recipients of bequests made in the elder Gates' will.⁷ In reaction to Gates' death, Arthur Fleming, chair of the California Institute of Technology board of trustees, commented that "Pasadena and the California Institute of Technology [have lost] a valuable friend. Ever interested in those things which he believed essential to the welfare of his country, he gave generously to the case of education."⁸

In terms of Charles Clark Gates' career, in addition to his role in the family's lumber manufacturing business, he and two of the Gates relatives, Don S. and Don F., launched an ambitious venture in 1919 in cattle grazing. The acquisition also made the Gates "among the largest holders of cattle grazing acreage in America," with a controlling interest in the Tehachapi Cattle Company, which owned thousands of head of cattle spanning 150,000 acres from Bakersfield to the Tehachapi Mountains.⁹ By 1940, Charles Clark Gates had retired. In 1942, he was among a group of business leaders honored as "Quarter Century Boys" in the Rotary Club of Los Angeles.¹⁰ The Gates' had three children, Albert D., Edith E., and Louise, all of whom were residents of 1209 Indiana Avenue during the Gates family tenure in the home.

⁴ "November Wedding Is an Outstanding Event," 22 November 1927, *Pasadena Evening Post*.

⁵ 5 June 1914, "Death of Albert H. Gates: He Was One of the Pioneer Lumbermen of South Arkansas," *The Forrest City Times* (Forrest City, Arkansas).

⁶ "Peter Gates Dead in East: Brother in Pasadena Gates New from New York," 14 July 1925, *Los Angeles Times*. Available at ProQuest Historical Newspapers, Los Angeles Times. See also "Gates Rites to Be Held in Pasadena: Body of Philanthropist to Be Brought Here from New York City," 14 July 1925, *The Pasadena Post*.

⁷ "Southland Kin Aided in Gates Will: Thirteen Get Varying Bequests from Estate of Lumber Man," 2 September 1925, *Los Angeles Times*. Available at ProQuest Historical Newspapers, Los Angeles Times.

⁸ "Peter Gates Dead in East: Brother in Pasadena Gates New from New York," 14 July 1925, *Los Angeles Times*. Available at ProQuest Historical Newspapers, Los Angeles Times.

⁹ "Gates Family in Big New Cattle Deal," 22 September 1919, *The Pasadena Post*.

¹⁰ "Rotary Club Pays Tribute to Its 25-Year Members," 21 March 1942, *Los Angeles Times*. Available at ProQuest Historical Newspapers, Los Angeles Times.

Figure 19 1907 image of 515 Monterey Road, part of Gates family estate and home of retired lumber magnate, Don S. Gates; the residence was demolished in 1968



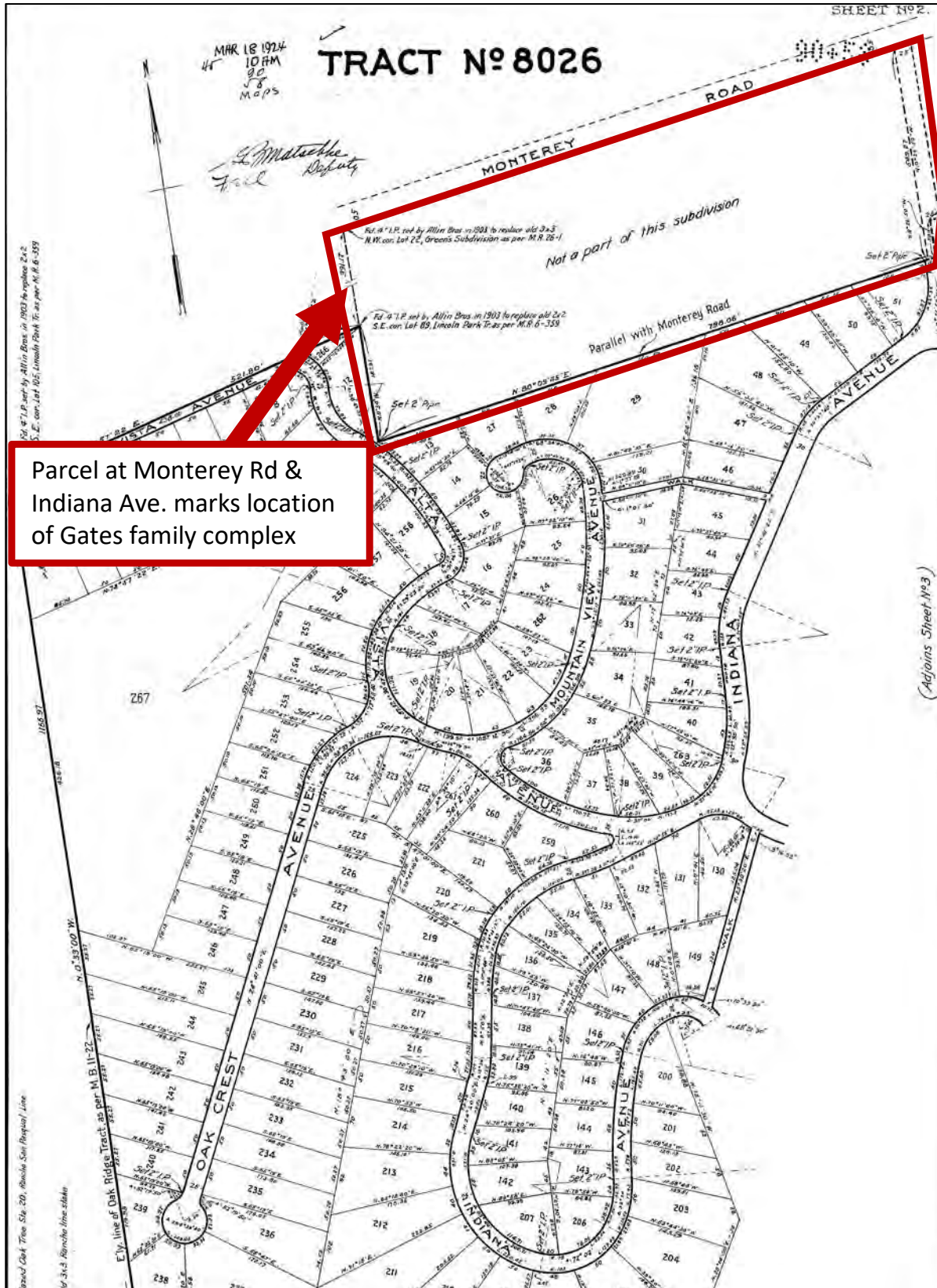
Source: Rick Thomas, 6 December 2018, "Throwback Thursday: Anatomy of a Craftsman Take Down," South Pasadenan

Figure 20 Peter G. Gates residence, 1907, 509 Monterey Road; the residence was demolished in 1968



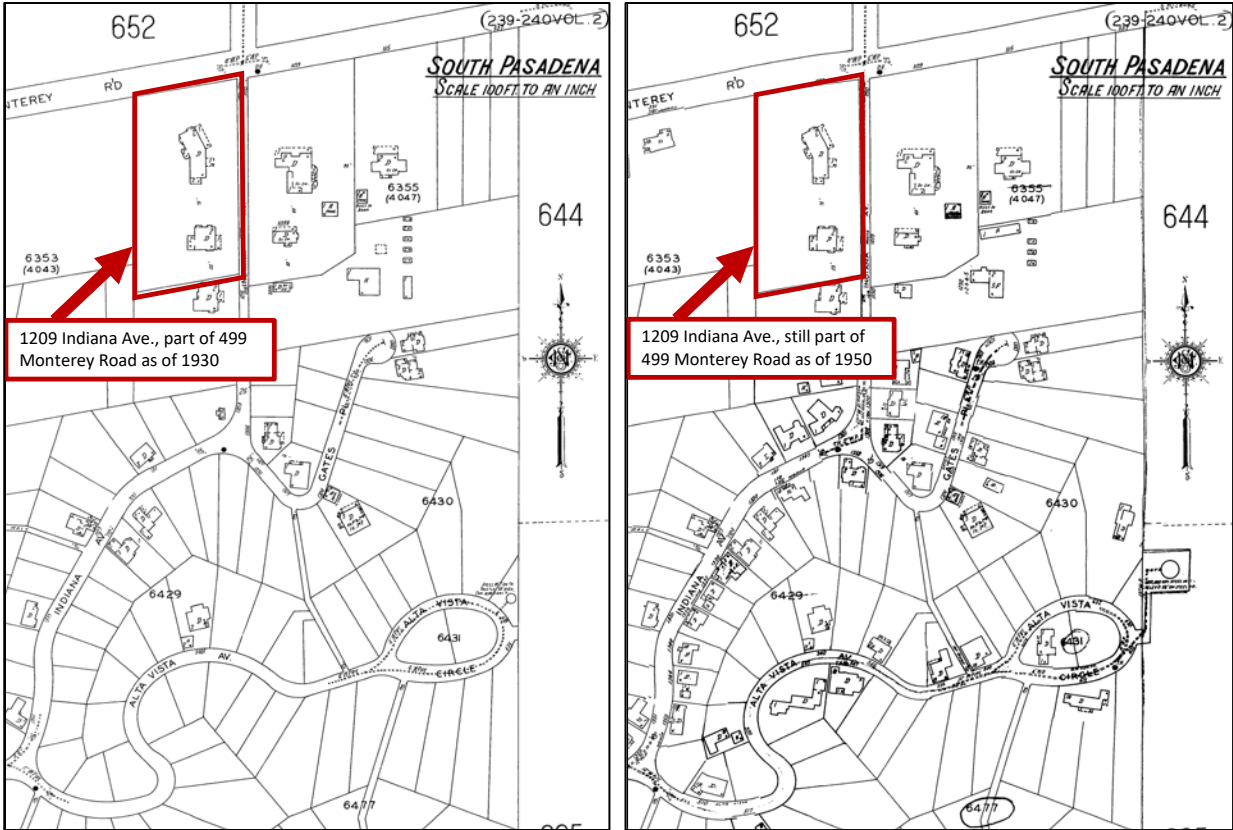
Source: Rick Thomas, 6 December 2018, "Throwback Thursday: Anatomy of a Craftsman Take Down," South Pasadenan

Figure 21 Tract No. 8026, filed by Charles and Fred Gates in 1924, retained the large parcels facing Monterey Road (still part of Gates family estate) and subdivided land extending north



Source: Los Angeles County Public Works Department, Land Records

Figure 22 1209 Indiana Avenue, part of 499 Monterey Road and Gates family estate as of 1930 (left) and 1950 (right); map on right shows increased level of development through postwar era



Source: Los Angeles Public Library, Sanborn Fire Insurance Map Collection; modified by author

Discussion of Criteria 3 and 6

As discussed above, 1209 Indiana Avenue is a surviving remnant of the Gates family estate, which included stately Craftsman-style homes at 499, 509, and 515 Monterey Road, and northward along present-day Indiana Avenue (known until the mid-1920s as “Gates Place”). Until at least 1950, 1209 Indiana Avenue formed part of one unified parcel with 499 Monterey Road. The east side of Indiana Avenue and parcels extending northward also appear to have belonged to the Gates family estate (though no buildings along the east appear extant).

Extant remnants of the Gates family estate include 499 Monterey Road, 1209 Indiana Avenue, and 1215 Indiana Avenue (which was owned by Don F. Gates and constructed in 1911, during a time when most of the surrounding hillside property belonged to the Gates family).

Although the residence at 1209 Indiana Avenue is associated with Charles Clark Gates, and the Gates family was well-known in early twentieth-century South Pasadena, the strength of the association and Gates’ own professional achievements are not such that they confer eligibility on 1209 Indiana Avenue itself, as a single property, under Criterion 3 (“identification with a person, persons or groups who significantly contributed to the culture and development of the City, state or United States”) or Criterion 6 (“identification as the work of a person or persons whose work has influenced the heritage of the City, the state or the United States”). Research has not indicated that, on his own, Charles Clark Gates, while he was a successful entrepreneur and lumber manufacturer in the family business, “significantly contributed to the culture and development” of South Pasadena or the heritage of the City.

While research on the Gates family and its South Pasadena estate is beyond the present scope, it is recommended that subsequent research consider possible eligibility as an historic district for 1209 and 1215 Indiana Avenue and 499 Monterey Road as the surviving elements of the Gates family estate.

C. Discussion of Designation Criteria

Please indicate rationale for qualification under one or more criteria in Section 2.63(B) of the South Pasadena Cultural Heritage Commission

South Pasadena Landmark Criterion 4: Its exemplification of a particular architectural style of an era of history of the City)

As noted in South Pasadena's *Citywide Historic Context Statement*, which utilized a photo of 1209 Indiana Avenue to illustrate the features of the style, the property is an intact, textbook example of the Swiss Chalet/Craftsman architectural style. The property is eligible for local landmark listing under Criterion 4 of the Cultural Heritage Ordinance. The property displays all of the character-defining features identified as key for the Craftsman theme/Swiss Chalet subtheme in the *Citywide Historic Context Statement*:

- Rectangular plan and compact, 2-story massing
- Flat, usually symmetrical primary façade
- Moderately pitched front gable roof with wide, overhanging eaves/rake, and exposed rafter tails
- Wood shingle, horizontal wood siding
- Wide porch, recessed or projecting
- Second-story balcony with plank railing, usually with decorative cut-outs
- Divided light casement or double hung wood windows
- Decorative brackets and bargeboards

In addition, with few visible alterations, the property meets the integrity threshold defined in the *Citywide Historic Context Statement*.

An outgrowth of the Arts and Crafts movement, the Swiss Chalet style is a subtype of the Craftsman architectural style, which dominated residential design in South Pasadena (and beyond) through the early 20th century. As noted in the *Citywide Historic Context Statement*, South Pasadena

retains intact streets and neighborhoods, along with prominent individual examples, illustrating the importance of Arts and Crafts architecture and the role it played in residential development in the early 20th century. Southern California, and Pasadena in particular, was a center of the American Arts and Crafts movement; the philosophy, aesthetics, and major proponents and practitioners all influenced South Pasadena.¹¹

The *Citywide Historic Context Statement* provides additional context for this variant of the Craftsman style:

The Swiss Chalet style – constructed primarily of stained wood, in which wide overhanging eaves and balconies helped integrate the outdoors as part of the living space – was compatible with the goals of the Arts and Crafts movement. The Chalet style Craftsman house usually consists of a single, rectangular two-story volume covered by front-facing gable roof. The primary façade is typically symmetrical and frequently features a wide porch topped by a second-story balcony. Porches and balconies usually have plank railings with decorative cutouts. Brackets and bargeboards are usually more decorative than those found in other variations of Craftsman architecture.¹²

¹¹ City of South Pasadena, Planning and Building Department. 2014. *South Pasadena Citywide Historic Context Statement*, p. 111.

¹² City of South Pasadena, Planning and Building Department. 2014. *South Pasadena Citywide Historic Context Statement*, p. 273.

Figure 23 South Pasadena *Citywide Historic Context Statement*, with the Gates Residence at 1209 Indiana Avenue as intact example of Swiss Chalet architectural style

Sub-Theme: Swiss Chalet Style

The Swiss Chalet style - constructed primarily of stained wood, in which wide overhanging eaves and balconies helped integrate the outdoors as part of the living space - was compatible with the goals of the Arts and Crafts movement. The Chalet style Craftsman house usually consists of a single, rectangular two-story volume covered by a front-facing gable roof. The primary façade is typically symmetrical and frequently features a wide porch topped by a second-story balcony. Porches and balconies usually have plank railings with decorative cutouts. Brackets and bargeboards are usually more decorative than those found in other variations of Craftsman architecture.

Character-defining features include:

- Rectangular plan and compact, 2-story massing
- Flat, usually symmetrical primary façade
- Moderately pitched front gable roof with wide, overhanging eaves and rake, and exposed rafter tails
- Wood shingle, horizontal wood siding, or cement plaster exterior wall finish, sometimes in combination
- Wide porch, recessed or projecting
- Second-story balcony with plank railing, usually with decorative cut-outs
- Divided light casement or double hung wood windows, sometimes with diamond-patterned lights
- Decorative brackets and bargeboards

Swiss Chalet: Extant Example



1209 Indiana Avenue, Gates Estate

Source: Historic Resources Group, 2014, City of South Pasadena Citywide Historic Context Statement, p. 273

In summary, as demonstrated in this nomination, 1209 Indiana Avenue meets the eligibility standards for local landmark designation under the “Architecture & Design” context, “Craftsman” theme, and “Swiss Chalet style” subtheme of the *Citywide Historic Context Statement*.

The property’s principal character-defining features are as follows:

- Large, hillside lot and setback from the street
- Two-story mass and generally symmetrical design composition
- Complex roof form and detailing, with prominent medium-pitched front gable, with wide overhanging eaves resting on carved triangular knee braces with turned posts and purlins/dentils; roof eaves have uneven rakes, with a lower, longer expanse on the south elevation
- Elevated, partial-length porch with decorative wood posts, vertical, wood-plank ceiling, and low wood railing
- Sheathing materials, such as horizontal wood siding, wood shingles
- Grouped, multi-light wood-frame windows, with three-over-two and fixed panes on façade

D. Present Condition

- Exterior** Good/fair
The exterior shows some signs of deteriorated wood sealants and features (such as the porch wall with geometric cut-outs on the second-story balcony), wood shingles and sheathing, in particular at wall joints and in some areas along the building foundation. In addition, the property requires repairs to the roof to remedy leaking. The distinctive carved, decorative features of the roof line, including brackets, bargeboards, purlins, rafters, and porch banister, will require *Secretary’s Standards*-compliant treatment and refinishing in the next several years, in order to protect and retain this character-defining feature. Some of the windows need repairs/repainting.
- Interior** Good/fair
The interior retains original wood-plank floors, pocket doors, and other built-in features.
- Site** Good/Fair
The west portion of the parcel is marked by a concrete retaining wall, which marks the division of the residence and the undeveloped hillside lot extending west. The concrete retaining wall shows signs of cracking and water penetration and is in need of a geotechnical study and plan for stabilization.

Neighborhood context The residence at 1209 Indiana Avenue represents a highly intact, distinctive example of the Swiss Chalet/Craftsman architectural style. The property is located in the foothills of South Pasadena and originally formed part of the Gates family estate, which spanned Monterey Road, from 499 to 515 Monterey, and extended north on Indiana Avenue.

E. Proponents

Michael Emerling and Ruth Ballenger, owners
Deborah Howell-Ardila, MHP, Historic Preservation Specialist

F. Owner Consent (Although individual properties may be designated as South Pasadena historic landmarks or parcels within historic districts without owner consent, every effort should be made to inform owners of the advantages and opportunities designate and to secure owner support.) If you, as owners, support the designation of your property as a landmark or a parcel in a historic district, please so signify in the space below:

I/we certify that I/we am/are the owners of the property being hereby nominated for designation as a landmark or as a parcel within a historic district under the Cultural Heritage Ordinance of the City of South Pasadena, California and hereby consent to said designation of the property as a landmark or parcel within a historic district.

_____ Dated _____

Appendix C

Supporting Documents

1. Legal Description of Property
2. Los Angeles County Property Tax Statement
3. Homeowner's Insurance Bill
4. Utility Bill: Southern California Edison, Electric Bill
5. Utility Bill: SoCalGas, Gas Bill
6. Utility Bill: City of South Pasadena, Water Bill

14

EXHIBIT A

The land referred to is situated in the County of Los Angeles, City of South Pasadena, State of California, and is described as follows:

Parcel 1:

Those portions of Lots 9 and 10 of Thomas Green's Subdivision of South Pasadena Highlands, in the City of South Pasadena, California of Los Angeles, State of California, as per map recorded in Book 26 Page 1 of Miscellaneous Records, in the office of the County Recorder of said County, described as follows:

Beginning at a point on the east line of said Lot 9, distant northerly thereon 50 feet from the southeast corner of said Lot 9, Thence westerly parallel with the southerly line of Monterey Road 125 feet to the west line of said Lot 10; Thence northerly along said west line 25 feet to a point on said line, distant northerly thereon 75 feet from southwest corner of said Lot 10; Thence easterly in a direct line to the point of beginning.

Parcel 2:

Those portions of Lots 9, 10 and 23 of Thomas Green's subdivision of South Pasadena Highlands, in the City of South Pasadena, County of Los Angeles, State of California, as per Map recorded in Book 26 Page 1 of Miscellaneous Records, in the office of the County Recorder of said county; Also that portion of Belleview Avenue vacated, all described as follows:

Beginning at the intersection of the center line of Belleview Avenue 50 feet wide, as shown on said map, with the easterly prolongation of the south line of said Lot 23; Thence westerly along said prolongation and south line, 150 feet to the southerly prolongation of the west line of said Lot 10; Thence northerly along said prolongation and west line 100 feet to a point on said west line, distant northerly thereon 50 feet from the southwest corner of said Lot 10; Thence easterly parallel with the south line of Monterey Road 150 feet to said center line of Indiana Avenue; Thence southerly along said center line 100 feet to the point of beginning.

Parcel 3:

Those portions of Lots 11 and 23 of Thomas Green's subdivision of South Pasadena Highlands, in the City of South Pasadena, County of Los Angeles, State of California, as per Map recorded in Book 26 Page 1 of Miscellaneous Records, in the office of the County Recorder of said County, described as follows:

Beginning at the southwest corner of said Lot 11; Thence southerly along the southerly prolongation of the west line of said Lot 11, a distance of 50 feet to the south line of said Lot 23; Thence easterly along said south line 50 feet to the southerly prolongation of the east line of said Lot 11; Thence northerly along said prolongation and east line 125 feet to the south line of the land described in the Deed to Carl Block, ET UX., recorded July 29, 1939 as Instrument No. 24, in Book 16793 Page 171 official records of said county; Thence westerly along said

17
south line 50 feet to the west line of said Lot 11; Thence southerly along said west line 75 feet to the point of beginning.

2023

2023

ANNUAL SECURED PROPERTY TAX BILL

CITIES, COUNTY, SCHOOLS AND ALL OTHER TAXING AGENCIES IN LOS ANGELES COUNTY

SECURED PROPERTY TAX FOR FISCAL YEAR JULY 1, 2023 TO JUNE 30, 2024

KEITH KNOX, TREASURER AND TAX COLLECTOR

FOR ASSISTANCE, CALL 1(213) 974-2111 OR 1(888) 807-2111, ON THE WEB AT propertytax.lacounty.gov

PROPERTY IDENTIFICATION

ASSESSOR'S ID. NO.: 5314 010 061 23 000
 OWNER OF RECORD AS OF JANUARY 1, 2023
 SAME AS BELOW

MAILING ADDRESS 000002658 02 AV 0.498
 0002658-0002658 SNGL 001 1234-- 569549

EMERLING, MICHAEL CO TR
 1209 INDIANA AVE
 SOUTH PASADENA CA 91030-3611



DETAIL OF TAXES DUE FOR

AGENCY	AGENCY PHONE NO.	RATE	AMOUNT
GENERAL TAX LEVY ALL AGENCIES		1.000000	\$ 18,350.54
VOTED INDEBTEDNESS			
METRO WATER DIST		.003500	\$ 64.22
COMMNTY COLLEGE		.025101	460.62
UNIFIED SCHOOLS		.128185	2,352.26
DIRECT ASSESSMENTS			
SAFE CLEAN WATER	(833) 275-7297		\$ 101.69
FLOOD CONTROL	(626) 979-5498		62.75
LIGHT/LANDSCAPE	(626) 403-7240		104.09
MWD STANDBY #15	(866) 807-6864		9.26
LIBRARY TAX	(626) 403-7330		82.50
RPOSD MEASURE A	(833) 265-2600		76.74
SGV MOSQUITO&VCD	(800) 273-5167		16.80
CNTY SAN DIST 16	(562) 908-4288		160.00
SPUSD PARCEL TAX	(800) 676-7516		447.47
USGV MWD CHG	(866) 807-6864		10.00
TRAUMA/EMERG SRV	(866) 587-2862		212.00

ASSESSOR'S ID. NO. YR SEQ CK
5314 010 061 23 000 53

Save Money - Save Time - Pay Online
ftc.lacounty.gov

PIN:

SPECIAL INFORMATION

PROPERTY LOCATION AND/OR PROPERTY DESCRIPTION
 1209 INDIANA AVE SOUTH PASA
 MR 26-1 SEE ASSESSOR'S MAPS POR OF VAC
 ST AND POR OF LOTS 9 THRU 11 AND 23

ROLL YEAR 23-24
 LAND
 IMPROVEMENTS

VALUATION INFORMATION
 CURRENT ASSESSED VALUE TAXABLE VALUE
 1,468,047 1,468,047
 367,007 367,007

ASSESSOR'S REGIONAL OFFICE

REGION #05 INDEX: TRA:09030
 EAST DISTRICT OFFICE
 1190 DURFEE AVE.
 SOUTH EL MONTE CA 91733
 (626)258-6001

TOTAL 1,835,054
 LESS EXEMPTION:
 NET TAXABLE VALUE 1,835,054

ACCT. NO.: PRINT NO.: 745793 BILL ID.:

1ST	\$11,255.47 DUE NOVEMBER 3, 2023 (After December 10, 2023, add 10% penalty)	2ND	\$11,255.47 DUE FEBRUARY 1, 2024 (After April 10, 2024, add 10% penalty and \$10 cost)	1ST + 2ND	\$22,510.94 IF PAYING BOTH BY DECEMBER 10, 2023 (include 1st & 2nd stubs if paying by mail)
-----	--	-----	---	-----------	--

ANY DELINQUENT PAYMENT MAY BE SUBJECT TO A FEE UP TO \$50 (SEE REVERSE SIDE FOR MORE INFORMATION)



A Liberty Mutual Company

SAFECO INSURANCE COMPANY OF ILLINOIS

Administrative office: 175 Berkeley St., Boston, MA 02116 (A stock insurance company.)

QUALITY CREST HOMEOWNERS POLICY DECLARATIONS

INSURED:

MICHAEL EMERLING
RUTH BALLENGER
1209 INDIANA AVE
SOUTH PASADENA CA 91030-3611

POLICY NUMBER: [REDACTED]

POLICY PERIOD FROM: DEC. 20 2023
AT: 12:01 A.M.
TO: DEC. 20 2024

RESIDENCE PREMISES:

Same

AGENT:

E BROOX RANDALL & SONS, INC.
4751 WILSHIRE BLVD #350
LOS ANGELES CA 90010-3849

TELEPHONE: (800) 697-6122

IMPORTANT NOTICES

- Your policy has renewed effective December 20, 2023.
- **THIS POLICY DOES NOT PROVIDE EARTHQUAKE COVERAGE.**
- The limit of liability for this structure (Coverage A) is based on an estimate of the cost to rebuild your home, including an approximate cost for labor and materials in your area, and specific information that you have provided about your home.

COVERAGES	LIMIT	PREMIUM
SECTION I - PROPERTY COVERAGES		
A - Dwelling	\$ 1,962,700	\$ 4,899.00
B - Other Structures	392,540	
C - Personal Property	1,472,030	
D - Loss of Use	FAIR COST	
SECTION II - LIABILITY COVERAGES		
E - Personal Liability (each occurrence)	1,000,000	55.00
F - Medical Payments (each person)	10,000	
INCLUDED COVERAGES		
Full Value on Personal Property		Included
2085 - Additional Interest		Included
Extended Dwelling Coverage Amount	1,962,700	Included
438-B.F.U.		Included
California Workers Compensation		Included
Building Ordinance or Law Coverage (10%)	196,270	Included

OPTIONS	LIMIT	PREMIUM
Option G - Unscheduled Jewelry, Furs, Fine Arts	\$ 50,000	\$ 200.00
Option ID - Identity Recovery - \$250 deductible	25,000	12.00
Equipment Breakdown Coverage	50,000	24.00

CREDITS	PERCENTAGE	SAVINGS
Account Credit	15%	\$ -705.00
Burglar Alarm Credit	10%	-490.00

DEDUCTIBLE(S)	PERCENTAGE	AMOUNT
Section I	N/A	\$ 5,000

LICENSE, TAX OR FEE:	PREMIUM
California Seismic Safety Fee	\$.15

**SAFECO INSURANCE COMPANY OF ILLINOIS
QUALITY CREST HOMEOWNERS POLICY DECLARATIONS**

CONTINUED

POLICY NUMBER: [REDACTED]

TOTAL ANNUAL PREMIUM	\$ 3,995.15
-----------------------------	--------------------

You may pay your premium in full or in installments. There is no installment fee for the following billing plans: Full Pay, Annual 2-Pay. Installment fees for all other billing plans are listed below. If more than one policy is billed on the installment bill, only the highest fee is charged. The fee is:

- \$0.00 per installment for recurring automatic deduction (EFT)
- \$0.00 per installment for recurring credit card or debit card
- \$2.00 per installment for all other payment methods

INSURABLE INTERESTS

[REDACTED]
[REDACTED]
[REDACTED] R
[REDACTED]

[REDACTED]
[REDACTED] /
[REDACTED] 1



A Liberty Mutual Company

OCTOBER 22, 2023

E BROOX RANDALL & SONS, INC.
 4751 WILSHIRE BLVD #350
 LOS ANGELES CA 90010-3849

POLICY NUMBER
 [REDACTED]

AGENT TELEPHONE:
 (800) 697-6122

MICHAEL EMERLING
 RUTH BALLENGER
 1209 INDIANA AVE
 SOUTH PASADENA CA 91030-3611

EARTHQUAKE COVERAGE OFFER

Your residential property insurance policy does not cover earthquake damage to your home or its contents.

To cover earthquake damage to your home and its contents you need to purchase a separate earthquake insurance policy. The coverage provided by an earthquake insurance policy is different from, and typically more limited than, the coverage provided by your residential property insurance policy.

California law requires insurance companies to offer earthquake insurance in conjunction with a residential property insurance policy. If you do not accept the offer of earthquake insurance below within 30 days of the mailing of this notice, your insurance company shall presume that you have not accepted this offer of earthquake insurance.

You may purchase earthquake insurance coverage on the following terms:

	LIMITS:
A. Amount of Dwelling/Building Coverage Limit:	\$ 1,962,700
B. Deductible:	15% / \$ 294,405
C. Contents Coverage Limit:	\$ 5,000*
D. Additional Living Expenses Coverage Limit:	\$ 1,500*
E. Estimated Annual Premium:	\$ 3,796.00

The deductible represents the amount of damage your covered property must incur before the earthquake insurance coverage begins. If your covered loss is less than the applicable deductible, you may not receive any payment.

If you choose not to accept this offer within the 30-day period, you may apply for earthquake coverage at a later date.

Your insurance company contracts with the California Earthquake Authority (CEA) to offer earthquake insurance to its customers. For an additional premium, you can choose CEA coverage options such as higher limits for Contents or Additional Living Expenses, increased building code upgrade limits, or a lower deductible. You can also choose to buy certain CEA coverages separately.

Contact your insurance agent or your insurance company to obtain details regarding this offer of earthquake insurance and other coverage options.



Go paperless at www.sce.com/ebilling. It's fast, easy and secure.

For billing and service inquiries
1-866-701-7868
www.sce.com

Your electricity bill

EMERLING, MICHAEL R / Page 1 of 10

Customer Account

Date bill prepared
02/27/24

Amount due \$1,067.12
Due by 03/18/24

1209 INDIANA AVE
SOUTH PASADENA, CA
91030-3611

SETTLEMENT BILL

Your account summary

Credit from previous billing	-\$219.54
Payment Received 02/06/24	-\$175.00
Credit balance	-\$394.54
Your new charges	\$1,461.66
Total amount you owe by 03/18/24	\$1,067.12

This is your 12-month settlement bill

Your 12-month billing period for Net Energy Metering (NEM) is now complete. Your 12-month settlement charges are \$1,361.27.

You are billed annually for your energy charges because they can be offset by energy credits over your 12-month billing period. Any charges not offset by credits are due now.

Summary of your billing detail

Service account	Service address	Billing period	Your rate	New charges
8002179852	1209 INDIANA AVE SOUTH PASADENA, CA	01/24/24 to 02/22/24	DOMESTIC (SCE)	\$10.24
8002179852	1209 INDIANA AVE SOUTH PASADENA, CA	01/24/24 to 02/22/24	NEM DOMESTIC	\$90.15
8002179852	1209 INDIANA AVE SOUTH PASADENA, CA	02/23/23 to 02/22/24	DOMESTIC (SCE)	\$1,361.27
Billing adjustment				
				\$1,461.66

Please return the payment stub below with your payment and make your check payable to Southern California Edison.
If you want to pay in person, call 1-800-747-8908 for locations, or you can pay online at www.sce.com.

(14-574) Tear here

Tear here



Customer account [REDACTED]
Please write this number on the memo line of your check. Make your check payable to Southern California Edison.

Amount due by 03/18/24 **\$1,067.12**

Amount enclosed \$

STMT 02272024 P

EMERLING, MICHAEL R
1209 INDIANA AVE
SOUTH PASADENA CA 91030-3611

P.O. BOX 600
ROSEMEAD, CA 91771-0002





ACCOUNT NUMBER [REDACTED]
 SERVICE FOR
 RUTH L BALLENGER
 1209 INDIANA AVE
 S PASADENA CA 91030-3611

DATE MAILED Jan 16, 2024 Page 1 of 2
 1-800-427-2200 English
 1-800-342-4545 Español
 1-800-252-0259 TTY
 M-F, 7am-8pm Sat, 7am-6pm
 24 Hour Emergency Services Available
 socalgas.com

Account Summary

Amount of Last Bill		\$236.98
Payment Received	01/04/24	- 236.98
Current Charges		+ 302.24
Total Amount Due		\$302.24

This bill reflects modified gas charges due to a rate change.

Current Charges

Rate: GR - Residential Climate Zone: 1 Baseline Allowance: 50 Therms
 Meter Number: 13353686 (Next scheduled read date Feb 9 2024) Cycle: 9

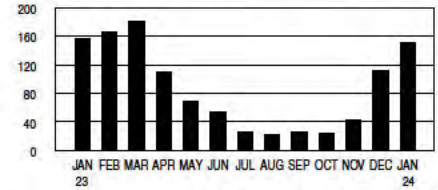
Billing Period	Days	Meter Number	Current Reading	Previous Reading	Difference	Billing x Factor	BTU x Factor	Total Therms
12/11/23 - 01/11/24	31	13353686	9620	9475	145	1.000	1.035	150

GAS CHARGES		Amount(\$)
Customer Charge	31 Days x \$.16438	5.10
Gas Transportation (Details below)	150 Therms	
	Baseline	Over Baseline
Therms used	50	100
Rate/Therm	\$.88683	\$1.32561
Charge	\$44.34	+ \$132.56
Gas Commodity	150 Therms x \$.53507	80.26
Total Gas Charges		\$262.26

TAXES & FEES ON GAS CHARGES		Amount(\$)
State Regulatory Fee	150 Therms x \$.00229	.34
Public Purpose Surcharge	150 Therms x \$.12369	18.55
South Pasadena City Users Tax	\$281.15 x 7.50%	21.09
Total Taxes and Fees on Gas Charges		\$39.98
Total Current Charges		\$302.24

DATE DUE	Feb 5, 2024
AMOUNT DUE	\$302.24

Gas Usage History (Total Therms used)



	Jan 23	Dec 23	Jan 24
Total Therms used	156	112	150
Daily average Therms	5.2	3.6	4.8
Days in billing cycle	30	31	31

We can help you manage higher bills this season with energy-saving tips and tools, assistance programs, and more. Learn more at socalgas.com/ManageHigherBills

SoCalGas' gas commodity cost per therm for your billing period:
 Jan. \$.49299 Dec. \$.55822

PLEASE KEEP THIS PORTION FOR YOUR RECORDS. (FAVOR DE GUARDAR ESTA PARTE PARA SUS REGISTROS.)
 PLEASE RETURN THIS PORTION WITH YOUR PAYMENT. (FAVOR DE DEVOLVER ESTA PARTE CON SU PAGO.)



Save Paper & Postage
 PAY ONLINE
 socalgas.com

ACCOUNT NUMBER [REDACTED]

DATE DUE	Feb 5, 2024
AMOUNT DUE	\$302.24

Please enter amount enclosed.

\$

Write account number on check and make payable to SoCalGas.

RUTH L BALLENGER
 1209 INDIANA AVE
 S PASADENA CA 91030-3611

SoCalGas
 PO BOX C
 MONTEREY PARK CA 91756-5111

CY 09 6527 0101



City of South Pasadena
PO BOX 889328
LOS ANGELES, CA 90088-9328

Utility Statement

On 07/01/23, the City of South Pasadena updated the Credit Card Transaction Fee to 3%. Merchant Fees will be 2.99%. For inquires please call Finance at 626-403-7250. Billing inquiries, call 877-583-7933 or email southpasadena@munibilling.com.

NBP0520A 238 1 AV 0.507
7000000246 00.0004.0179 238/1



RUTH BALLENGER & MICHAEL EMERLING
1209 INDIANA AVE
SOUTH PASADENA CA 91030-3611

PREVIOUS BALANCE	\$251.71
PAYMENTS	\$251.71
CURRENT CHARGES	\$260.07
TOTAL DUE 06/21/2024	\$260.07

ACCOUNT NUMBER	[REDACTED]	Meter #	Start Read	End Read	Consumption
CUSTOMER	RUTH BALLENGER & MICHAEL EMERLING	3306541	03/20/24 - 3141	05/14/24 - 3159	18
SERVICE ADDRESS	1209 INDIANA AVE SOUTH PASADENA CA 91030				
BILL DATE	05/22/2024				
SERVICE	START	END	USAGE	AMOUNT	
Water Meter 1"	03/20/2024	05/15/2024		\$141.72	
Water Consumption (18 @ \$3.75) Per	03/20/2024 - 3141	05/14/2024 - 3159	18	\$67.50	
Efficiency Fee (18 @ \$0.14) Per HCF	03/20/2024 - 3141	05/14/2024 - 3159	18	\$2.52	
Sewer Basic Charge	03/20/2024	05/15/2024		\$30.45	
Wastewater Discharge Fee	03/20/2024	05/15/2024		\$2.00	
UTAX				\$15.88	
Payment 04/26/2024				(\$251.71)	
TOTAL CURRENT CHARGES				\$260.07	

Please detach below perforation and return with payment

ACCOUNT NUMBER	[REDACTED]
SERVICE ADDRESS	1209 INDIANA AVE
AMOUNT DUE	\$260.07
DUE DATE	06/21/2024
NAME	RUTH BALLENGER & MICHAEL EMERLING
CUSTOMER ID COMPANY ID	1196214 1087

Return this stub. Write your account number on your check in the memo area. To pay by automated phone, call 877-556-7929. Use the code 129711 to sign-up online at <https://southpasadena.secure.munibilling.com>

City of South Pasadena 2022 Water Quality Report is now available online at <https://rebrand.ly/2sknqxt>



CITY OF SOUTH PASADENA
PO BOX 889328
LOS ANGELES, CA 90088-9328

