

# HOLY FAMILY VISION PROJECT

## SPECIFIC PLAN

*Adopted*

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*by Ordinance No. 2047*

*Prepared for*

**THE CITY OF SOUTH PASADENA**

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## Chapter 1

### INTRODUCTION

#### 1.1 Purpose of Specific Plan

The purpose of this Holy Family Vision Project Specific Plan is solely to ensure a well-planned, high quality environment for the renovation of the Holy Family Parish church facilities and Parochial School and the construction of a new school building, a new Parish Hall, and a new Parish Administration Center within its site on the east and west sides of Fremont Avenue between Rollin Street and Oak Street in the City of South Pasadena. Timely and efficient renovation of these properties can be ensured through this Specific Plan which, when adopted by City legislative action as ordinance, will serve both planning and regulatory functions. This document fulfills the Specific Plan requirements of the State of California.

#### 1.2 Authority

This document has been prepared in accordance with California Government Code Section 65450 *et seq.*, and will constitute the zoning for the project site. Land use standards and regulations contained within this document shall govern all areas within the project site. A legal description of the project boundaries is attached as Exhibit A to this Plan.

#### 1.3 Compliance with the General Plan

This Holy Family Vision Project Specific Plan implements each element of the City of South Pasadena's existing General Plan and the proposed new General Plan (except Housing and Economic Development, which address issues which are not germane to this Specific Plan) and is consistent with the goals and policies of both General Plans. The project setting, Specific Plan components, zoning and development standards, and implementation programs are presented in later chapters of this Plan.

##### ***1.3.1 Relationship to the South Pasadena General Plan***

This Holy Family Vision Project Specific Plan is in compliance with section 65451 of the California Government Code, which requires that Specific Plans list and discuss the conditions, regulations, programs, and proposed legislation necessary or convenient for the systematic implementation of the local general plan. This Holy Family Vision Project Specific Plan is consistent with the General Plan land use

designation of "Quasi-Public (Religious Facility)" and the zoning ordinance land use designation of "Community Facilities Specific Plan Zone" by virtue of a conforming amendment to the Land Use Map of the City's General Plan to place a small portion of the site which was not previously within the Quasi-Public (Religious Facility) planning district and a conforming amendment to the City's zoning map to include the entire project site in a newly created Community Facilities Specific Plan Overlay Zone.

The City of South Pasadena's General Plan was developed in compliance with State law and policies determined by the City Council and Planning Commission. As a land use policy document, the General Plan assists in the orderly development of future growth and change within the City toward adopted goals. In addition to a statement of goals and objectives, the General Plan contains policies and guidelines concerning various aspects of planned and coordinated growth.

### ***1.3.2 Application of Specific Plan Standards***

To the extent that the provisions of this Specific Plan are specifically intended to replace other regulations, guidelines, policies, and ordinances of the City, the provisions contained in this Specific Plan shall apply; otherwise, all other regulations, guidelines, policies, and ordinances shall remain in effect. Where there is any conflict between the provisions of this Plan and those of the City's zoning ordinance, Chapter 36 of the South Pasadena Municipal Code, or other provisions of the City's regulations, guidelines, policies, and ordinances, the provisions of this Plan shall control.

### ***1.3.3 Interpretation***

The Planning Commission of the City of South Pasadena shall have the responsibility to interpret the provisions of this Specific Plan and to resolve any ambiguities concerning the content or application of this Plan. All such interpretations shall be in writing, and shall be permanently maintained by the City of South Pasadena. Such an interpretation may be appealed to the City Council. Whenever any provision of this Specific Plan provides for an appeal of a decision by a City official, appeal shall be taken pursuant to the provisions of Section 36.110 of the zoning ordinance. In the event that any office or body charged with issuing a permit or approval under this Specific Plan should cease to exist, then the responsibilities imposed by this Specific Plan shall be assigned to the successor or successors to that office or body or as the City Council of the City of South Pasadena shall otherwise direct.

#### **1.4 Severability**

If any section, subsection, sentence, clause, phrase, or portion of this Holy Family Vision Project Specific Plan is for any reason held to be invalid by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining sections, subsections, sentences, clauses, phrases, or portions of this Specific Plan and to that extent the provisions of this Specific Plan are severable.

#### **1.5 Violations**

Violation of this Specific Plan shall constitute violation of the zoning ordinance of the City of South Pasadena and shall be remediable or punishable in the same manner as a zoning ordinance violation.

## **Chapter 2**

### **PROJECT SETTING**

#### **2.1 Location**

The Holy Family Vision Project Specific Plan area contains approximately 4.07 acres of land and is situated on both sides of Fremont Avenue between Rollin Street and Oak Street in the southern central portion of City of South Pasadena.

Regional access to the site is provided by the Pasadena Freeway (State Route 110), which links the City of South Pasadena with the City of Los Angeles metropolitan area to the southwest and the City of Pasadena to the north. From the 110 Freeway, the primary route to the site is south on Fremont Avenue. Figure 1 illustrates the project site on a regional location map, and Figure 2 consists of a USGS Vicinity Map of the project site.

#### **2.2 Project Description**

The General Plan designation for the site is Quasi-Public (Religious Facility) and the zoning is predominantly R-3 with a few R-1 parcels on the east side of Ramona Avenue and the Project Site is also located within the Community Facilities Specific Plan Overlay Zone. This Specific Plan establishes religious school uses throughout the site along with other accessory uses. It addresses the following: minor modification of Holy Family Church on the west side of Fremont Avenue to facilitate access by disabled persons; relocation or demolition of other existing structures on the west side



of Fremont Avenue; interior renovation of the Holy Family Center North and Holy Family Center South buildings on the east side of Fremont Avenue; reconfiguration of the parking lots; expansion of the exterior playground area for the school; and construction of a new Parish School building, a new Parish Hall, and a new Parish Administration Center.

For convenience and clarity, the existing and proposed buildings, as well as the overall site, are described below. Phasing for the project is described in Section 3.1, below.

The Project Site currently contains the following buildings on the west side of Fremont Avenue: Holy Family Church (1501 Fremont Avenue); a two-story rectory/administration building (1301 Rollin Street); the Cardinal's House (1506 Ramona Avenue); the Green House (1510 Ramona Avenue); the Blue House (1512 Ramona Avenue); a two-story classroom building; a one-story classroom building; the Parish Hall (1519 Fremont Avenue); the Parish Education Center and Kindergarten (1523 Fremont Avenue); the Oak Street House (1527 Fremont Avenue); and an annex/garage. The Holy Family Center North (1520 Fremont Avenue) and Holy Family Center South (1524 Fremont Avenue) buildings are located on the portion of the Project Site on the east side of Fremont Avenue.

Table 1 provides a summary of the existing structures at the project site. This table indicates the size and year of construction of the existing buildings.

With respect to the west side of Fremont Avenue, Holy Family Church will be modified to provide better access for disabled persons. The interiors of the Blue and Green Houses will be remodeled and the structures will be maintained on site and used for school and church purposes. The Cardinal's House and the Oak Street House will be moved from the site. If a suitable relocation site for the Cardinal's House cannot be found by the time relocation is to occur under this Specific Plan, the structure will be demolished. Relocation or other disposition of the Oak Street House shall be governed by the Historic Preservation Element of this Plan. All other structures on this portion of the Project Site west of Fremont ("the west campus") will be removed.

As for the portion of the Project Site on the east side of Fremont Avenue ("the east campus"), the interiors of the Holy Family Center North and the Holy Family Center South buildings will be renovated and minor alterations of the exteriors of those buildings will be made as well. Floor plans for those renovations appear as Figures 3 and 4.

The parking lot on the east campus will be restriped to increase capacity and the parking lot on the west campus will be designed as indicated on the Site Plan attached

as Figure 5. The driveways into the east campus parking lot from Rollin Street and Oak Street will be enlarged to allow for two-way circulation.

The exterior playground area for the school will be expanded by the addition of grass play areas and a basketball court. The grass play area will be located behind the Blue House and Green House along Ramona Avenue and as depicted on the Site Plan included in this Plan as Figure 5.

A new two-story Parochial School/Education Center, containing a full-size basement below grade, will be constructed at the southeast corner of Ramona Avenue and Rollin Street. Figures 6-10 depict the Parochial School/Education Center. A new one-story Parish Hall will be located along Fremont Avenue, approximately where the existing Parish Hall and Parish Center are now found. A new Pastoral Center will be built at the northwest corner of Fremont Avenue and Oak Street, in the present location of the Oak Street House. This building will be two stories tall and will have a full-size basement below grade. Figures 11-14 depict the new Pastoral Center and Parish Hall.

The Parochial School/Education Center will maintain the same capacity for 1st through 8th grades. The kindergarten class will increase from approximately 24 to 36 students. Total enrollment of the school shall not exceed 324 students, excluding the programs for religious education of students who attend other schools, such as the current C.C.D. program.

### **2.3 Existing General Plan, Zoning and Use**

The South Pasadena General Plan currently designates the project site on the east side of Fremont Avenue and a portion of the west side of Fremont Avenue as Quasi-Public (Religious Institution). Prior to approval of a concurrent amendment to the Land Use Element of the South Pasadena General Plan, that Element designated the following portions of the project site as Low Density Residential: the portion located at the corner of Fremont Avenue and Oak Street and the portion that fronts on Ramona Avenue. The amended General Plan Land Use Map now includes the entire Project Site in the Quasi-Public Facilities (Religious Institution) planning district. The proposed new General Plan proposes to change the name of that district to the "Community Facilities District."

The entire Project Site has been included in the Community Facilities Specific Plan Overlay Zone. As to the base zoning, the following portions of the project site are depicted on the City's current zoning map as included in the R-3 zone: (i) the portion fronting on Fremont Avenue; and (ii) the rectory/administration building located at the

corner of Ramona Avenue and Rollin Street. The residential properties Project Site fronting on Ramona Avenue have a base zoning of R-1.

The adjacent land uses to the east, south and west of the Project Site consist of single-family and multi-family residential dwellings. The adjacent land uses to the north, northwest, and northeast are other institutional/public uses, including South Pasadena High School, the high school athletic complex and the South Pasadena Women's Club. There are four other churches located along Fremont Avenue within a quarter-mile of the project site.

Currently the project site is utilized for a variety of religious use and school use operations. Church services primarily are held within Holy Family Church building on the west side of Fremont Avenue. However, special Easter and Christmas services occur in the smaller Holy Family Center South building on the east side of Fremont Avenue. Administrative offices and the rectory are located on the west side of Fremont Avenue, in the building located on the southeast corner of Ramona Avenue and Rollin Street. Church ministry services occur primarily within the Oak Street House and Parish Center on the west side of Fremont Avenue. Sunday school classes, meetings, and other ministry activities occur in Holy Family Center North and Holy Family Center South east of Fremont Avenue.

There are currently 110 total Code-compliant off-street parking spaces on the project site (65 spaces on the west campus and 45 spaces on the east campus). The asphalt parking area located between Holy Family Church and the school classrooms is used as a playground while school is in session, and as a student pickup area when school is dismissed. This area also serves as parking for the church and its ministries on weekday nights and during the weekends. Presently there is no grass play area for the children other than a very small area adjacent to the kindergarten.

## **Chapter 3**

### **SPECIFIC PLAN COMPONENTS**

#### **3.1 Land Use Plan and Phasing**

The land use plan for the Holy Family Vision Project Specific Plan is comprised of religious uses, school uses, and other accessory uses as depicted on the Site Plan attached as Figure 5.

The site will include the existing Holy Family Church, Holy Family Centers North and South, and the new Parochial School/Education Center, Parish Hall, and Parish Center buildings.

Project phasing reflects the need to facilitate orderly relocation of existing church and school functions. Phase One will consist of: improvements to the interior of Holy Family Center North and Holy Family Center South; restriping of the parking lot on the east campus; remodeling of the interiors of the Green and Blue Houses; and construction of new, wider driveways into the east-campus parking lot from Rollin Street and Oak Street. Phase Two will include the removal of the Oak Street House, the adjacent annex/garage and the Parish Center/Kindergarten classroom, as well as the construction of the new Pastoral Center at the corner of Fremont and Oak. Phase Three will be the construction of the new Parochial School/Education Center building at the corner of Rollin and Ramona, as well as the removal of the rectory/administration building and the Cardinal's House. Phase Four will be removal of the Parish Hall and classrooms, as well as the construction of the new Parish Hall, gathering area, and parking areas. The garages adjacent to the Green and Blue Houses will be removed in either Phase One or Phase Three. Figure 15 depicts the proposed phasing plan.

### **3.2 Traffic, Circulation and Parking**

**3.2.1 Goals.** Providing better parking facilities and better management of those facilities is a primary goal of the Holy Family Vision Project. While it may at first seem best to provide all the parking spaces that the Parish uses might require, other factors must be considered as well. Construction of substantial new parking facilities would be at variance with the historic development of the community, would discourage pedestrian activity, and would encourage more intense use of the Parish's properties. Hence, this Specific Plan balances these competing goals by increasing parking facilities on the project site, making more effective use of existing parking facilities in the vicinity, and restricting parking on Ramona Avenue. A traffic study has been conducted in support of this project, and parking lot layouts, driveways, and traffic management strategies were developed.

**3.2.2 Circulation Plan.** Circulation across the Project Site will be improved by the construction of a continuous driveway aisle connecting Oak Street to Rollin Street on the west side of Fremont Avenue. This design will provide substantial benefits over existing circulation conditions by facilitating easier ingress and egress to the Project Site and reducing traffic on Ramona Avenue.

**3.2.3 Existing Facilities.** The Parish's off-street parking located on the west side of Fremont Avenue is currently limited to 65 Code-compliant spaces (81 total spaces with 16 non-Code-compliant spaces). There are 45 Code-compliant off-street parking spaces located on the east side of Fremont Avenue (59 total spaces with 14 non-Code-compliant spaces). In sum, the project site currently contains a total of 110 Code-compliant off-street parking spaces and 30 additional spaces that do not meet Zoning Code requirements.

**3.2.4 Satisfaction of Parking Requirements.**

- A. On-Site Parking Facilities. Parking lot restriping will increase the amount of off-street parking provided by the Project Site itself. There will be 62 Code-compliant spaces on the west campus and 76 Code-compliant spaces on the east campus (representing a total of 138 Code-compliant parking spaces). Twenty-three of the 62 spaces on the west campus will be used for the playground area during school recess and lunch, leaving 31 off-street spaces to serve the west campus when school is in session. Eighteen more spaces will be provided on the proposed basketball court when school is not in session.
- B. Shared Parking Facilities. The Traffic Study prepared in conjunction with the EIR for this project demonstrated a peak parking demand of 300-320 parking spaces. That study also indicated that 50-100 of those needed spaces could be eliminated by the mass schedule required by this Specific Plan. Therefore, the remaining peak parking demand is 200-270 spaces. The Project Site will provide 76 spaces on the east campus, 62 spaces on the west campus, and 18 spaces on the basketball court for a total of 156 spaces. The High School lot on Bank Street will provide 105 spaces, for a total of 261 spaces. This is either 61 more spaces than required or 9 fewer spaces than required. If 9 additional spaces are required, they can be provided by the on-street spaces on Fremont between Rollin and Oak Streets or elsewhere in the vicinity of the church without creating substantial problems for the community. Thus, it is clear that the Vision Plan will either eliminate or substantially ameliorate the existing parking deficit in and near the Project Site and will not exacerbate that deficit.

A shared parking agreement providing for cooperative use of the Parish parking facilities and the Bank Street lot is attached as Exhibit B.

- C. Reconfiguration of Uses. Neither the City nor the Parish wish to encourage excessive entanglement of secular authorities in the religious activities of the Parish and its parishioners. Therefore, the Parish may relocate uses within and among the various buildings on the site, discontinue uses, and establish new

uses of the types permitted by Section 4.2 of this Specific Plan without providing additional parking provided that:

1. No such change requires the construction of a new building or adds habitable area to an existing building.
2. The Giving Bank shall not be relocated to the west campus.
3. No such change involves an interior remodel which creates a new public assembly space in addition to the Parish Hall, church sanctuary, and school assembly room. The creation of a meeting room for small groups shall not fall within this subsection 3.
4. No such change would result in a net loss of parking spaces.

**3.2.5 Regulation of Parking Facilities.** The following standards shall govern the operation of parking facilities under this Plan.

- A. The South Pasadena High School lots shall be advertised in the Parish paper and other bulletins as an alternative parking site.
- B. If the Bank Street lot or the east campus parking lot should become unavailable to the Parish for any reason other than a temporary unavailability associated with reconstruction of the High School facilities, the Parish shall, within sixty (60) days of the event, prepare a parking mitigation plan for review and approval by the Planning Commission, with appeal to the City Council. That parking mitigation plan shall identify additional parking facilities which will be made available or otherwise demonstrate to the reasonable satisfaction of the City that adequate parking will be available for the site. Failure to maintain adequate parking shall constitute non-compliance with this Specific Plan.
- C. Parking demand during Sunday morning peak hours will be reduced by the separation of Sunday mass church services. The Parish has proposed a Sunday Mass schedule as follows: 6:45 a.m., 8:00 a.m., 9:45 a.m., 11:30 a.m. and 12:45 p.m. This schedule allows approximately 45 minutes between the three most heavily attended masses, and will reduce the peak parking demand that occurs between those masses. While it would be inappropriate for this Specific Plan to legislate adherence to a specific Mass schedule, the Parish shall not regularly conduct masses which commence less than one hour apart during the hours of 8:00 a.m. to 1:00 p.m. on Sundays without demonstrating to the reasonable satisfaction of the Planning Director, subject to appeal to the

Planning Commission and City Council, that the proposed schedule will not over-tax available on- and off-street parking facilities.

- D. Prior to the issuance of a building permit pursuant to this Specific Plan with respect to the west campus, Holy Family Church shall record a restrictive covenant to tie the parcels which contain the parking facilities on the Project Site to the parcel which contains Holy Family Church. That covenant shall not permit separate sale of those properties without the consent of the City of South Pasadena. That consent shall not be withheld if the City has approved a parking mitigation plan pursuant to paragraph B. of this section.
- E. Upon request by the owners of the properties adjacent to those streets, a parking permit system will be instituted in the following areas: (i) along Ramona Avenue from Rollin Street to Oak Street; and (ii) along Oak Street from Ramona Avenue to Fremont Avenue. This system will prohibit parking on these two streets on Sunday morning unless the vehicle bears a permit issued to the owner or occupant of property within the permit-parking district.
- F. The Parish shall not schedule two or more public assembly events at such times as to create a demand for parking in excess of the peak parking demand associated with Sunday masses. This provision shall not: (i) prohibit the use of one or more assembly spaces for a single event, or (ii) interfere with use of the Parish Hall or the church building by students and faculty of the school during school hours.
- G. The Parish shall place signs adjacent to entrances to the Project Site parking lots directing vehicles to the Bank Street lot when the on-site lots are full.
- H. Prior to the issuance of a building permit for Phase 2, as described in Section 3.1 above, the Parish shall establish a Parking Committee to devise means to effectively manage parking supplies in the vicinity of the Project Site. The Committee shall include representatives of the Parish's neighbors to the east and west and of the South Pasadena Unified School District. The Committee shall consider means to encourage the effective use of off-street parking facilities in the vicinity of the Project Site, including: (i) preparation of a map of all available off-street parking facilities for distribution to parishioners, residents, and users of the High School property; (ii) the utility of efforts to encourage south-to-north circulation on the east and west campuses during school pick-up and drop-off and during Sunday morning hours; (iii) the utility of parking monitors in the east and west campus parking lots during Sunday morning hours to encourage efficient use of those lots and to direct parishioners

to other off-street parking facilities when necessary; (iv) the utility of further review by a traffic engineer of parking management plans, and (v) other appropriate measures to encourage efficient use of off-street parking facilities in the vicinity of the Project Site.

The Parking Committee shall meet periodically during project construction and on an as-needed basis thereafter. When evidence reasonably satisfactory to the Planning Commission demonstrates that the High School lots and other available off-street parking supplies are being fully and effectively utilized on a regular basis, as, for example, where parking counts demonstrate that the Bank Street lot is fully occupied at Sunday peak parking times for several consecutive Sundays, the Parking Committee may be disbanded.

### 3.3 Noise

The potential noise impacts of the development and operation of the Vision Project shall be mitigated as follows:

- A. Section 19A.13 of the City's noise ordinance shall apply to construction activities on the site.
- B. Prior to the issuance of a grading permit, the Parish shall obtain the Planning Director's approval of a construction traffic control plan. To the maximum extent reasonably feasible, this plan shall ensure that construction traffic avoids all of the following: (i) Ramona Avenue; (ii) Oak Street and Rollin Street west of the existing driveways at the Project Site; and (iii) drop-off and pick-up times for school children.
- C. Prior to issuance of building permits for each of the last three project phases, as those phases are described above in Section 3.1, the Parish shall inform the owners and occupants of all properties located along Ramona Avenue between Oak Street and Rollin Street and along Oak Street between Fremont and Ramona Avenues in writing of: (i) the location and duration of impending construction, (ii) the type of equipment that will be used, and (iii) a general description of the grading and construction plans for the coming Phase. During construction, the Parish shall update and redistribute that written information at least monthly.
- D. Prior to initiation of Phase Three, the Parish shall obtain the Planning Director's approval of an excavation and material removal plan. This plan shall specify the following: (i) the type of trucks that will be used; (ii) the number of daily truck



trips; (iii) the precise truck route; (iv) the disposal site; (v) and the specific times of day during which excavation and material hauling will occur. The excavation and removal plan also shall ensure that the trucks avoid Ramona Avenue, Oak Street, and the drop-off and pick-up times for school children to the maximum extent reasonably feasible.

- E. The Parish shall notify adjacent and surrounding residents on the 1500 block of Ramona Avenue and on Oak Street between Ramona and Fremont Avenues at least thirty (30) days prior to the annual Fiesta Days event, the annual auction, or other special events that would generate significant noise impacts in adjacent residential neighborhoods.
- F. No sound amplification equipment shall be allowed on the grass play area during the Fiesta Days special event or the annual auction. For other special events involving the grass play area, every reasonable effort shall be made to direct amplified sound away from Ramona Avenue. Except for the Saturday on which the annual auction is held, all amplification shall terminate by 9:00 p.m. on Saturdays and 8:00 p.m. on Sundays; on the Saturday night on which the annual auction is held, amplification shall terminate no later than 12:00 midnight. Removal of tables, chairs and equipment from the west campus following a special event shall take place prior to 11 p.m. or after 8:00 a.m. Particular care shall be taken to reduce the noise cause by dismantling tents, equipment and other items after all events.

### **3.4 School Enrollment**

School enrollment shall not exceed three hundred twenty-four (324) students. This subsection shall not apply to the church's programs for the religious education of students who attend other schools, such as the current C.C.D. program.

### **3.5 The "Giving Bank"**

The following standards shall govern the operation of the "Giving Bank" and other charitable activities involving the distribution of food, clothing or other tangibles:

- A. A Parish staffmember or volunteer shall be present on the site as early as program recipients are reasonably expected to be on-site in order to provide supervision and access to restrooms.
- B. The Parish shall provide recipients with written information, in a form approved by the Planning Director, in English, Spanish and any other language the

Planning Director reasonably determines to be read by a significant number of recipients which: (i) requires that recipients park their vehicles on the Project Site rather than on neighboring streets, (ii) informs recipients of the location of restrooms, (iii) informs recipients of the hours of program activities to discourage early arrivals, and (iv) informs recipients of the other requirements of this Specific Plan germane to the operation of the program.

- C. The Parish shall organize any queue of recipients so as to keep all waiting persons on the Project Site and to keep the queue from spilling on to adjacent rights-of-way.

### **3.6 The "Blue and Green Houses"**

The Blue House is immediately adjacent to a residentially zoned and occupied property adjacent to the Project Site. Accordingly, the use of that building is of concern. That building shall be used for instructional purposes of the school and religious programs, storage, building and grounds maintenance not involving the use of vehicles, or for small meetings. That building shall not be used for purposes which require the presence at one time of more than 20 members of the general public or recipients of ministry services.

The Parish shall maintain reasonable pedestrian access to the Blue and Green Houses from within the Project Site and shall encourage users of the Blue and Green Houses to take primary access to those buildings via the Project Site rather than via Ramona Avenue.

The existing driveways and curb cuts on the sites of the Blue and Green Houses may be retained upon removal of the garages from those properties upon approval of the Design Review Board pursuant to Section 3.8 of this Plan.

### **3.7 Historic Preservation**

#### **3.7.1. Introduction**

Preservation provides for the continued use of historic buildings, sites, and objects, by means of restoration, rehabilitation, and adaptive use. It affords us with tangible reminders of the stages of evolution in a community's past, whether it be an isolated building, a neighborhood, or a site associated with a particular community or institution. These tangible examples of life in the past provide us with physical reference points to our history. The City of South Pasadena has demonstrated its commitment to protect the special character of the community in its development of

a historic preservation program designed to integrate the values of the past, as embodied in its historic resources, with its planning for the future.

This Preservation Element of the Holy Family Parish Specific Plan furnishes guidelines for the preservation, rehabilitation, and relocation of historic buildings under its ownership, as well as for construction of compatible new buildings on the property. It also establishes standards of review and regulatory procedures. Its goals are to respect both the character of the surrounding historic neighborhood and the history and character of the Parish itself. In that regard, it is consistent with the goals of the draft General Plan for the city, specifically: the preservation and maintenance of sites that are significant reminders of the city's social, educational, religious, and architectural history; harmonizing physical change to assure continuity of the city's historic character and scale; and integrating preservation into the planning process.

The preservation element is divided into five components which reflect the provisions of the Environmental Impact Report, the March 25, 1997 Memorandum of Understanding between Holy Family Parish and residents of the 1500 block of Ramona Avenue, other related sections of this Specific Plan, and those city ordinances and policies which apply the Project Site.

### ***3.7.2 Regulation of Exterior Modifications of Blue and Green Houses***

It is the purpose and intent of this Plan that the Blue and Green Houses, along with Holy Family Church and Holy Family Center South ("Preserved Buildings"), be preserved on the site.

According to the Secretary of Interior's Standards and Guidelines for Rehabilitating Historic Structures (the "Standards"), rehabilitation is "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural and cultural value." It is the intent of the Holy Family Vision Project to rehabilitate and adaptively reuse the Blue and Green Houses while maintaining their exterior character-defining features. Maintenance of these features will ensure continued compatibility with the proposed Ramona Avenue Historic District.

The Holy Family Vision Project guidelines for rehabilitation are similar to the Standards and include the following principles:

- (i) Exterior rehabilitation of the Blue and Green Houses shall respect the historic significance and architectural features of the structures.
- (ii) The Preserved Buildings shall be used for their historic purpose or have new uses that require minimal change to the exterior character-defining features of the structures and their sites and environment.
- (iii) The Preserved Buildings shall be recognized as physical records of their time, place, and use. Changes that create a false sense of historical development shall be avoided.
- (iv) Most properties change over time; those changes that have acquired historic significance shall be retained and preserved.
- (v) Deteriorated historic features shall be repaired rather than replaced. If the deterioration is severe and requires replacement of a distinctive feature, then the new feature shall match the old in design, color, texture, and other visual qualities, and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (vi) Chemical or physical treatments that cause damage to historic materials shall not be used.
- (vii) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the Preserved Buildings.
- (viii) The California State Historic Building Code shall be used in the rehabilitation and reuse of these buildings. In particular, code provisions which govern accessibility and fire and life safety shall apply.
- (ix) The City of South Pasadena Cultural Heritage Commission shall apply the Secretary of Interior's Standards for major exterior alterations to these buildings. Adherence to the Standards for minor modifications such as those listed in Exhibit C shall be applied by the City of South Pasadena Planning Director pursuant to Section 5.1 of this Plan.

### ***3.7.3 Preservation Principles for Holy Family Church and Holy Family Center South***

It is the purpose and intent of this plan that the two most significant buildings on the Project Site, Holy Family Church and Holy Family Center South (former First Church of Christ Scientist), be recognized as possessing strong architectural, visual, and

historical characteristics and associations in the community of South Pasadena. In order to preserve Holy Family Church and Holy Family Center South for future generations, the following principles should be followed for rehabilitation, maintenance and repair of these historic buildings. The ability of the site to continue as a working parish is of utmost importance. Therefore preservation guidelines for these buildings shall be applied in a manner which provides for operational flexibility.

- (i) Rehabilitation, maintenance and repair of these buildings should respect the historic significance and architectural character of the structures.
- (ii) Features that are important in defining the overall historic character of the buildings shall be identified prior to any exterior alteration which may impact the historical features of the structure and, if feasible, be retained and preserved. These features include walls and surface finishes, brackets, railings, cornices, windows, doors, steps, columns, roof pitch, decorative detailing, exterior coatings, and color.
- (iii) Where future uses are required for Holy Family Center South (formerly the First Church of Christ Scientist), the rehabilitation plan for these reuses shall be appropriate to the historic integrity of the structure and protect character-defining features.
- (iv) Overall condition of building materials shall be evaluated to determine whether repairs to character-defining features are necessary when such repairs are proposed.
- (v) Materials should be cleaned only when necessary to halt deterioration or remove heavy soiling.
- (vi) Conservation and rehabilitation treatment specifications shall be obtained for specific building materials prior to commencing any significant maintenance or repair work on these structures.
- (vii) Rehabilitation, maintenance, and repair of these buildings shall be based on the Secretary of Interior's Standards and Guidelines for Rehabilitating Historic Structures.
- (viii) The California State Historic Building Code shall be used in rehabilitation and reuse of these buildings. In particular, code provisions which govern accessibility and fire and life safety shall apply.

- (ix) For major alterations to these buildings, the City of South Pasadena Cultural Heritage Commission shall apply these guidelines and the Secretary of Interior's Standards. Adherence to these guidelines and to the Standards for the minor modifications such as those listed in Exhibit C shall be applied by the City of South Pasadena Planning Director pursuant to Section 5.1 of this Plan.

The approval of this Specific Plan shall constitute design review and cultural heritage approval of the minor modifications to Holy Family Center South depicted in Figures 4, 4-A, and 4-B and reviewed by the Cultural Heritage Commission of the City on April 24, 1997.

### **3.7.4 Relocation of the Oak Street House**

It is the purpose and intent of this plan that the Oak Street House, constructed circa 1910, be recognized as a good example of transitional Craftsman architecture within the South Pasadena community. While the implementation of the Vision Project will require the removal of the structure from its current site, it is the desire of the community that the house be relocated and reused. Therefore, the following guidelines should be considered in identifying an appropriate new environment for the structure.

- (i) Every reasonable effort shall be made to keep the Oak Street House within the boundaries of the City of South Pasadena and to return the House to a residential use or a public use which requires minimal alteration to its character-defining features.
- (ii) If efforts fail to retain the building within the boundaries of the City of South Pasadena, the House should be relocated to a nearby community with a historic building relocation program or pursuant to a Memorandum of Understanding between the City of South Pasadena and the community of relocation which outlines the proposed new use and applicable rehabilitation standards for the building.
- (iii) The House should be relocated to an appropriate setting in order to retain its integrity of design, materials, feeling, and association.
- (iv) The new site must be of sufficient size and character to recall the basic qualities of the historic environment.

- (v) The relocated structure should have an orientation, setting, and general environment that is compatible, to the extent feasible, to those of the historic location and are compatible with the property's significance.
- (vi) If an appropriate relocation site for the House is not found to allow relocation by October 1, 1997, Holy Family Church shall have the right to demolish the building, although the Cultural Heritage Commission need not issue an approval for that demolition unless the Church has by that date made reasonable efforts pursuant to points (i) and (ii) above.
- (vii) These relocation guidelines and provisions will be applied through the current procedures of the City of South Pasadena Cultural Heritage Commission, Planning Commission, and City Council as provided in Section 5.1 of this Plan.

### ***3.7.5 Guidelines for Historic Documentation of the Parish Hall***

It is the purpose and intent of this plan that the Parish Hall, constructed in 1935, be recognized as an historically significant part of the Holy Family complex. The structure is to be demolished and replaced with a new Pastoral Hall. In order to retain some record of history of the property, it is important to document the structure.

Preceding the demolition of the Parish Hall, documentation of the building shall be conducted by an experienced historic preservation consultant. Documentation will record the significance of the property, its physical description, and its character-defining features. Recordation of the property shall consist of the following:

- (i) Completion of a brief Historic Structures Report for the building which defines the context of the structure, its architectural style, and existing condition. The report shall contain the items below.
- (ii) Measured drawings based on Historic American Buildings Survey (HABS) guidelines.
- (iii) A brief written historic and descriptive report in narrative format according to HABS guidelines, including an architectural data form.
- (iv) A site plan on 8 ½ x 11" paper showing the location of the building in relation to the Parish. This site plan shall include a photo key.

- (v) A sketch floor plan on 8 ½ x 11" paper to accompany the architectural data form.
- (vi) Large format (4x5" or larger negative) photographs in accordance with HABS guidelines. Views shall include several contextual views, all exterior elevations, detailed views of significant exterior architectural features, and interior views of significant historical architectural features or spaces.
- (vii) Field photographs (35mm) based on HABS guidelines. Views as detailed in large format photographs.
- (viii) The report shall include available historic photographs and plans.
- (ix) Holy Family Church shall provide one copy of the report to be archived with local historical materials at the main branch of the South Pasadena Public Library.
- (x) The implementation of the recordation process will be by a qualified historic preservation consultant with oversight by the Planning Director.

### ***3.7.6 Compatibility of New Construction with Existing Cultural Resources***

It is the purpose and intent of the Vision Project to create a visually harmonious and cohesive campus comprised of educational, religious, residential, and institutional buildings.

New construction on the Holy Family Church site should relate to the surrounding environmental contexts. With residential and institutional uses nearby, the design of new construction must be sensitive to the mix of uses in the vicinity. The Secretary of Interior's Standards can provide guidance to ensure such compatibility.

- (i) New buildings should respect, to the extent feasible, prevailing street orientation and the setbacks historically required by the city zoning ordinance, as do the setbacks depicted on the Site Plan attached as Figure 5 to this Plan and those required by Section 4.3 of this Plan. Adequate open space should be provided in order to create a buffer between new construction and existing buildings.
- (ii) The massing and proportion of new construction should respect prevailing volume, overall size, and magnitude of existing buildings. Fenestration and



entries on the one-story portions of the school building should support the residential character of the street.

- (iii) New construction should, to the extent feasible, use the materials, architectural vocabulary, color, and texture of major historic structures on the Project Site.
- (iv) To the extent feasible, mature landscaping should be provided to maintain visual privacy and neighborhood character at the residential edges of the project and as required by Section 3.8.2 of this Plan.
- (v) These compatibility provisions will be applied and overseen by the City of Pasadena Design Review Board under the usual design review procedures pursuant to Section 5.1 of this Plan.

### **3.8 Design Review**

#### ***3.8.1 New Structures***

Prior to issuance of a building permit for any new structure on the Project Site, the Parish shall submit the design of that building to design review pursuant to Sections 2.99-43 to 2.99-56 of the South Pasadena Municipal Code. Among the standards to be applied by the Design Review Board shall be the following: the placement and design of windows in the west elevation of the School building, in conjunction with setbacks and landscaping, shall be designed so as not to unreasonably intrude upon the reasonable expectations of privacy of the owners and occupants of adjacent residential properties. Placement of trash storage facilities shall be arranged so as: (i) to allow effective traffic circulation on the Project Site, (ii) to avoid nuisances to adjacent residential uses, and (iii) to result in no net loss of parking spaces.

#### ***3.8.2 Landscaping, Fencing and Walls***

Simultaneously with the application required by §3.8.1 of this Specific Plan with respect to the school building, the Parish shall submit a landscaping, fencing and walls plan which depicts the landscaping and fencing along the Ramona Avenue frontage of the Parish's property and any perimeter walls to be constructed on the west campus in the Phases 1 through 4 described in Section 3.1 above for review and approval by the Design Review Board of the City of South Pasadena pursuant to Sections 2.99-43 to 2-99.56 of the South Pasadena Municipal Code. The Plan shall conform to the following:

- A. The guiding principle in the development of the landscaping and fencing plan shall be the maintenance of a residential aesthetic along Ramona Avenue.
- B. To the extent reasonably feasible, the plan shall maintain on the Ramona frontage of the Project Site the existing mature trees and shrubs now located along that frontage. If it is reasonably feasible to do so, those mature plants shall remain *in situ* during construction and shall be protected from damage during construction. A plan to preserve and protect landscaping during construction shall be included in the landscaping, fencing and walls plan. If it is necessary to relocate trees now located on the Ramona frontage of the property, either temporarily or permanently, and any tree does not survive relocation, that tree shall be replaced with a 24" box or larger tree.
- C. The plan shall provide for the placement in the parkway along the Ramona Avenue frontage of the Project site of 2 mature Washington Palms or 2 mature street trees of another species which is acceptable to the Design Review Board.

Prior to the issuance of a final inspection approval or certificate of occupancy for the remodeled structures on the east campus, the Parish shall submit a landscaping, fencing and walls plan which depicts the landscaping, fencing and walls along the eastern boundary of the east campus for review and approval by the Design Review Board of the City of South Pasadena pursuant to Sections 2.99-43 to 2.99-56 of the South Pasadena Municipal Code. The guiding principle in the development of the east campus landscaping, fencing and walls plan shall be the establishment of an effective buffer between the Project Site and adjacent residential uses.

### **3.8.3 Lighting**

Any outdoor security lighting on the project site shall be submitted to design review pursuant to Sections 2.99-43 to 2.99-56 of the South Pasadena Municipal Code prior to issuance of any electrical or other permit for those lights by the City.

### **3.8.4 Basketball Court**

Prior to issuance of any permit for the construction of the basketball court shown in Figure 5, the Parish shall submit a plan for the design and construction of the court for review and approval by the Design Review Board of the City of South Pasadena pursuant to Sections 2.99-43 to 2.99-56 of the South Pasadena Municipal Code. Any decision of the Design Review Board pursuant to this section may be appealed to the Planning Commission and City Council.

### **3.8.5 Open Space Improvements**

Any permanent improvements to open space areas, included play equipment for which foundations are required, shall be submitted to design review pursuant to Sections 2.99-43 to 2.99-56 of the South Pasadena Municipal Code prior to issuance by the City of any permit for the construction of those improvements and shall not be permitted unless consistent with this Specific Plan.

## **Chapter 4**

### **ZONING AND DEVELOPMENT STANDARDS**

#### **4.1 Purpose and Intent**

The regulations set forth in this chapter have been established to provide for the orderly development of the Specific Plan area. Application of these regulations is intended to provide the most appropriate use of the land, create harmonious relationships among land uses and protect the health, safety and welfare of the community. This Specific Plan is adopted to provide appropriate standards for the development of this non-commercial, institutional use. Therefore the standards stated here are specifically intended to displace the requirements of the City's zoning ordinance which would otherwise apply to developments on the Project Site, but with no implication, in the absence of a comprehensive City review, that they are appropriate for institutional uses in general.

#### **4.2 Permitted Uses**

No person shall use or permit the use of a lot governed by this Specific Plan for any use other than those listed in this section, nor shall any person use or permit the use of a lot governed by this Specific Plan for any of the following uses unless such use is consistent with the standards and requirements of this Specific Plan:

##### **4.2.1 Principal Permitted Use**

- A. Churches, temples or other places used primarily for religious services, including parochial schools, convents and rectories;
- B. Schools and other educational facilities;

- C. Charitable, social service, and other programs and other non-commercial activities conducted in conjunction with a religious use; and,
- D. The uses depicted on the Site Plan attached as Figure 5.

#### **4.2.2 Accessory Uses**

- A. Accessory buildings or structures not used for habitation.
- B. Off-street parking spaces, accessory to a principal use.
- C. The storage of building materials during the construction of any building or part thereof and for a period of thirty days (30) days after construction is completed.

#### **4.2.3 Bonding**

City staff shall require appropriate security to ensure satisfactory repair of any damage to public infrastructure caused by construction on the Project Site.

### **4.3 Standards of Development**

#### **4.3.1 Lots**

Lot area, width, and coverage shall be as provided by the Section 36.401 of the South Pasadena Municipal Code.

#### **4.3.2 Buildings**

- A. Length. No building or structure shall exceed a length of 180 feet. Facing requirements shall be governed by Section 36.401(2.)(c) of the South Pasadena Municipal Code.
- B. Height. No new structure shall exceed a height of forty-five feet (45') measured from "grade" as that term is defined by Section 36.27 of the South Pasadena Municipal Code nor shall any portion of a new structure which is within sixty feet (60') of R1-zoned and occupied property exceed thirty-eight feet (38') in height measured from "grade, hillside lots" as that term is defined in Section 36.27 of the South Pasadena Municipal Code.

- C. Driveways. All driveways shall have a minimum paved clear width of ten feet (10') for one-way drives and sixteen feet (16') for two-way drives.

#### **4.3.3 Yards**

- A. Although the Project Site consists of multiple parcels, in order to provide for a cohesive site design, the yard requirements of this Specific Plan are intended to be applied as if the west campus were a single through-lot with front yards along Ramona and Fremont Avenues and the east campus were a single lot. Therefore, for purposes of applying setback requirements, the Ramona and Fremont Avenue frontages of the Project Site shall be deemed the fronts of lots and the adjacent setbacks shall be considered front yards. The Rollin and Oak Street frontages of the Project site shall be deemed the sides of lots and the adjacent setbacks shall be considered side yards. Only the east campus shall be deemed to have a rear yard.
- B. Development shall comply with Section 36.401(3.)(a)(1) and (c) of the South Pasadena Municipal Code or provide front- and rear-yard setbacks of the same or greater dimension as the front and rear-yard setbacks existing on an abutting parcel.
- C. Except with respect to the first story of any structure and except with respect to architectural projections including towers such as those depicted in Figures 9 and 10, no portion of a building or structure shall encroach through a plane projected from an angle of forty-five degrees (45°) as measured at finished grade along the front property line towards the rear property line or perpendicularly away from the front property line. However, this standard shall not apply to structures located adjacent to Fremont Avenue because a second-story set-back requirement is not appropriate along those portions of the Project Site both because those portions of the site abut that major arterial street and face existing two-story institutional uses.
- D. Development shall (i) comply with Section 36.401(3.)(b) of the South Pasadena Municipal Code, (ii) provide a side-yard setback of the same or greater dimension as the average of the two side-yard setbacks of the improved parcel nearest to each end of the required side yard, or (iii) provide side yards of the depth established by an adjacent structure existing on the Project Site at that time the development is proposed.

- E. Projections into required yards shall be permitted as provided in Section 36.401(3.)(e) of the South Pasadena Municipal Code, provided however, that habitable towers of the kind depicted in Figures 9, 10, 13 and 14 shall constitute architectural features within the scope of subparagraph 4) of that Section.

#### **4.3.4 Open Areas**

- A. Requirement. No structure which requires a foundation shall be constructed in either of the following areas: (i) the landscape buffer areas along Ramona Avenue; and (ii) the open space play area.
- B. Exception. Nothing in this section shall preclude the erection of playground equipment in the open space play area, whether or not foundations for such equipment are required.
- C. Design Review. Design review of improvements within open space areas shall be required as provided in Section 3.8.5 of this Specific Plan.

#### **4.3.5 Parking Standards**

Off-street parking for the Vision Project shall be provided as required by Table 2 of this Plan and consistently with the provisions of Section 3.2 of this Plan.

#### **4.3.6 Design Guidelines**

Design Guidelines for Construction on the Project Site shall be provided by the Historic Preservation Element of this Specific Plan and, to the extent consistent with the Historic Preservation Element, the guidelines adopted by Resolution 6305 of the City of South Pasadena.

#### **4.3.7 Signs**

Any sign which is not visible from public rights-of-way outside the Project Site, such as building identification signs, parking signs, and traffic control signs, may be installed and maintained by the Parish without permit or approval by the City. Signs visible from public rights-of-way, other than temporary banners and posters, shall be approved pursuant to design review under Sections 2.99-43 to 2.99-56 of the South Pasadena Municipal Code. Alternatively, the Design Review Board may approve a signage program for the Project Site and the Planning Director thereafter may approve individual signs and issue permits pursuant to the approved signage program. No

permanent signs shall be placed along the Ramona frontage of the Project Site other than as required by law.

#### **4.3.8 Fences and Walls**

Fences and walls may exceed the height limitations established by Sections 36.161-5(C)6., 36.167, and other provisions of the South Pasadena Municipal Code upon approval of the Design Review Board pursuant to Section 3.8 of this Specific Plan.

## **Chapter 5**

### **IMPLEMENTATION PROGRAMS**

#### **5.1 Procedural Implementation**

This Plan provides comprehensive guidance for the development of the Holy Family Vision Project. Discretionary development approvals shall be reviewed for consistency with the general intent and regulations of this Specific Plan. The Exhibits and Figures included in this Plan represent the intention of Holy Family Vision Project as to the intended development but may in some cases require revision to comply with the approvals of the City required by this Specific Plan.

All development and construction, except minor changes which do not alter the physical or architectural characteristics of the development, shall be subject to the provisions of this section.

The following documents shall be prepared for approval to the City of South Pasadena to ensure that development of the site proceeds in an orderly manner:

##### **5.1.1 Environmental Review**

An Initial Study has been prepared for the proposed project as required by the California Environmental Quality Act of 1970 as amended (CEQA) to determine its potential environmental effects and the need for measures to mitigate these effects. A "2nd Draft Environmental Impact Report for the Vision Project - Master Plan for the Holy Family Catholic Church and Parochial School" ("the EIR") and an Addendum to the EIR have been prepared and certified by the City of South Pasadena.

**5.1.2 General Plan Amendment**

An amendment to the Land Use Plan of the South Pasadena General Plan has been approved by the City of South Pasadena to include the entire project site in the Quasi-Public (Religious Institution) planning district.

**5.1.3 Zoning Text Amendment**

An amendment to the text of the South Pasadena zoning ordinance has been approved by the City of South Pasadena to create a "Community Facilities Specific Plan Overlay Zone."

**5.1.4 Zoning Map Amendment**

An amendment to the South Pasadena zoning map has been approved by the City of South Pasadena to place the Project Site in the Community Facilities Specific Plan Overlay Zone.

**5.1.5 Specific Plan**

This Specific Plan has been reviewed and approved by the City of South Pasadena to provide land use, design, and other controls on the proposed project in conformance with the City's General Plan.

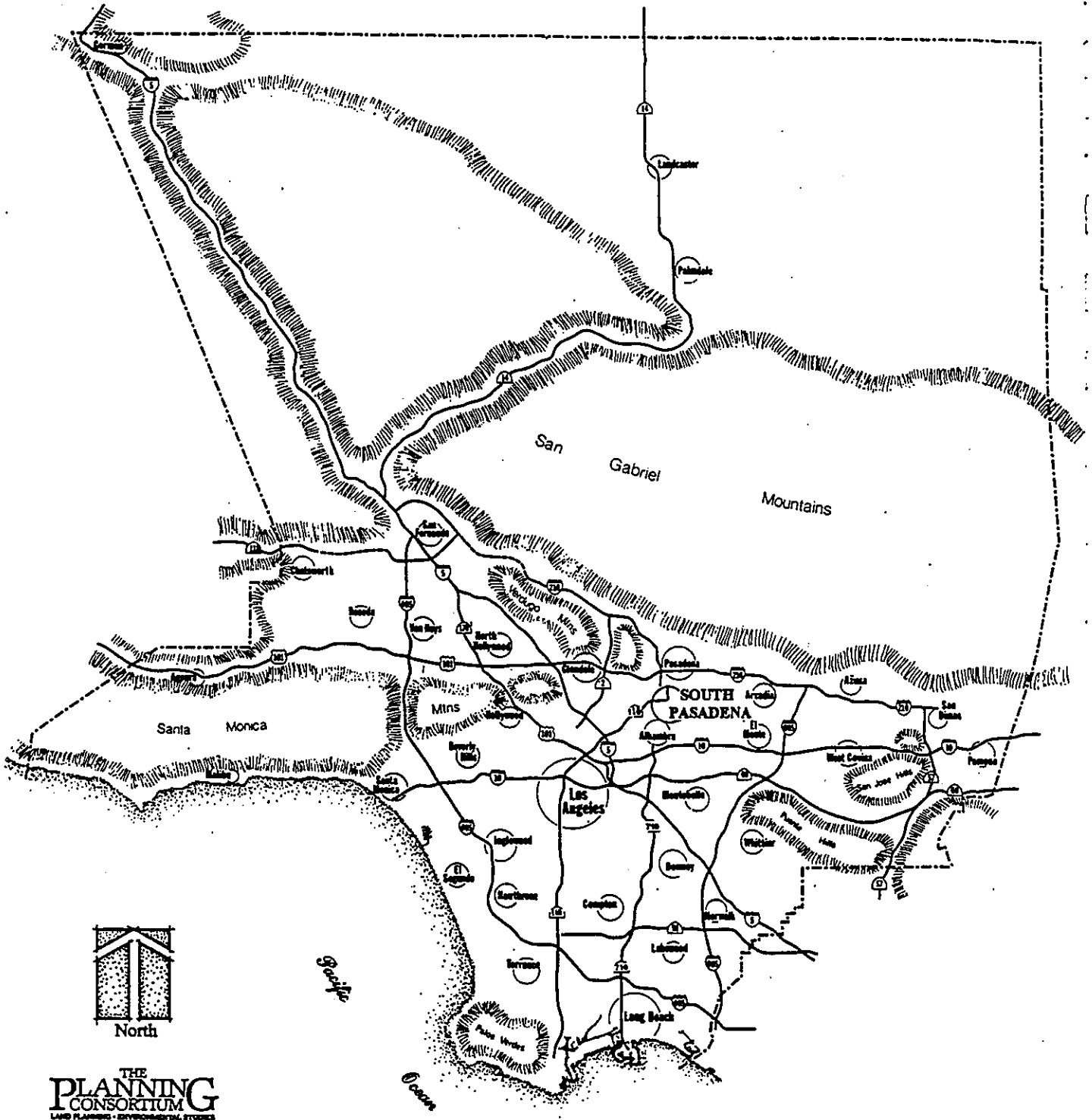
**5.1.6 Subsidiary Approvals**

As described by this Specific Plan, development of the Holy Family Vision Project shall be consistent with the following subsidiary approvals:

- A. Parking mitigation plan
- B. Construction traffic control plan
- C. Excavation and material removal plan
- D. Landscaping, fencing and walls plan
- E. Design review
- F. Certificates of appropriateness and other approvals pursuant to the Historic Preservation Element of this Plan.



# REGIONAL LOCATION MAP



**VISION PROJECT - MASTER PLAN  
 HOLY FAMILY CATHOLIC CHURCH  
 AND PAROCHIAL SCHOOL**

Figure 1

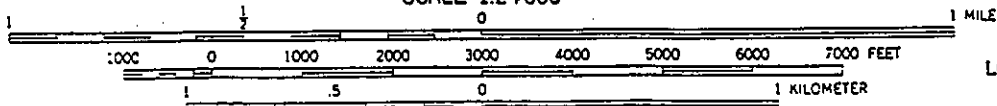
**CITY OF SOUTH PASADENA  
 ENVIRONMENTAL IMPACT REPORT**

LOS ANGELES QUADRANGLE  
CALIFORNIA-LOS ANGELES CO.  
7.5 MINUTE SERIES (TOPOGRAPHIC)

USGS VICINITY MAP



SCALE 1:24 000



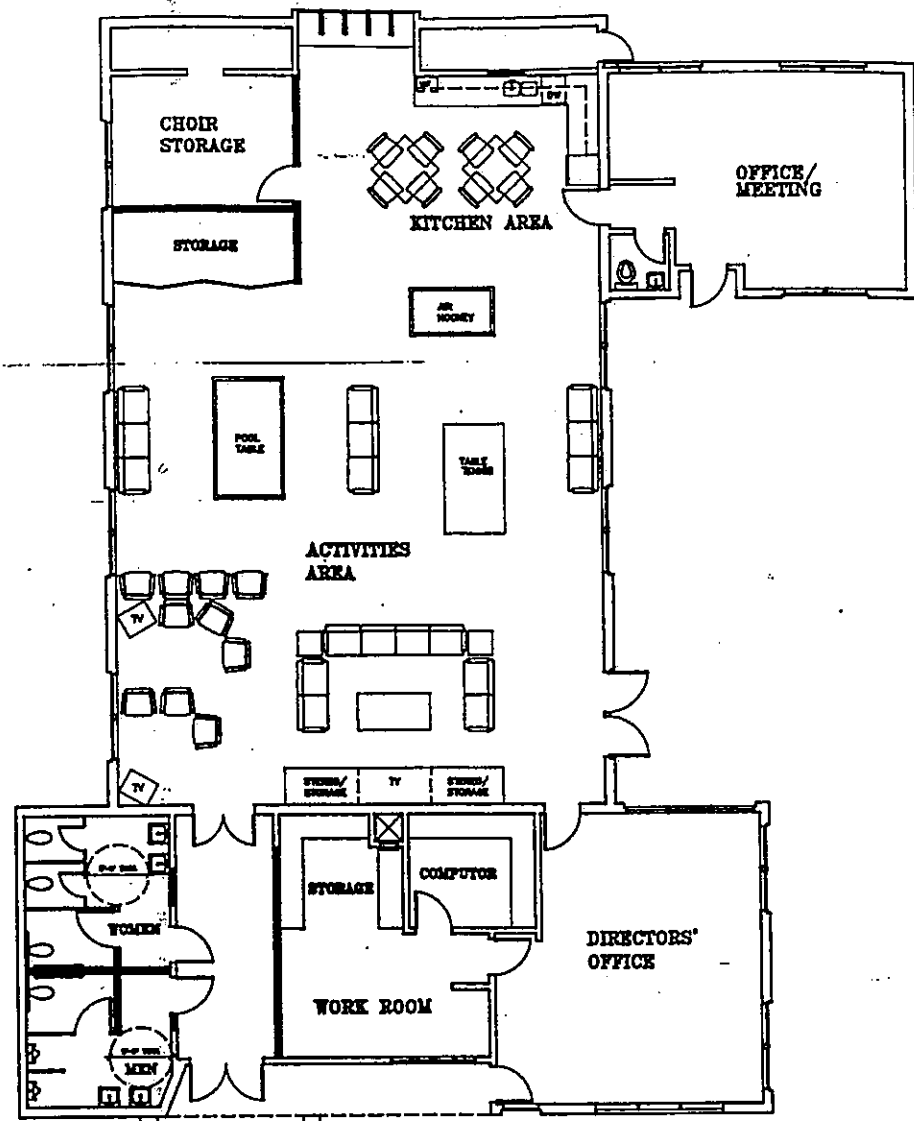
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PHOTOREVISED 1981  
MINOR REVISION 1994

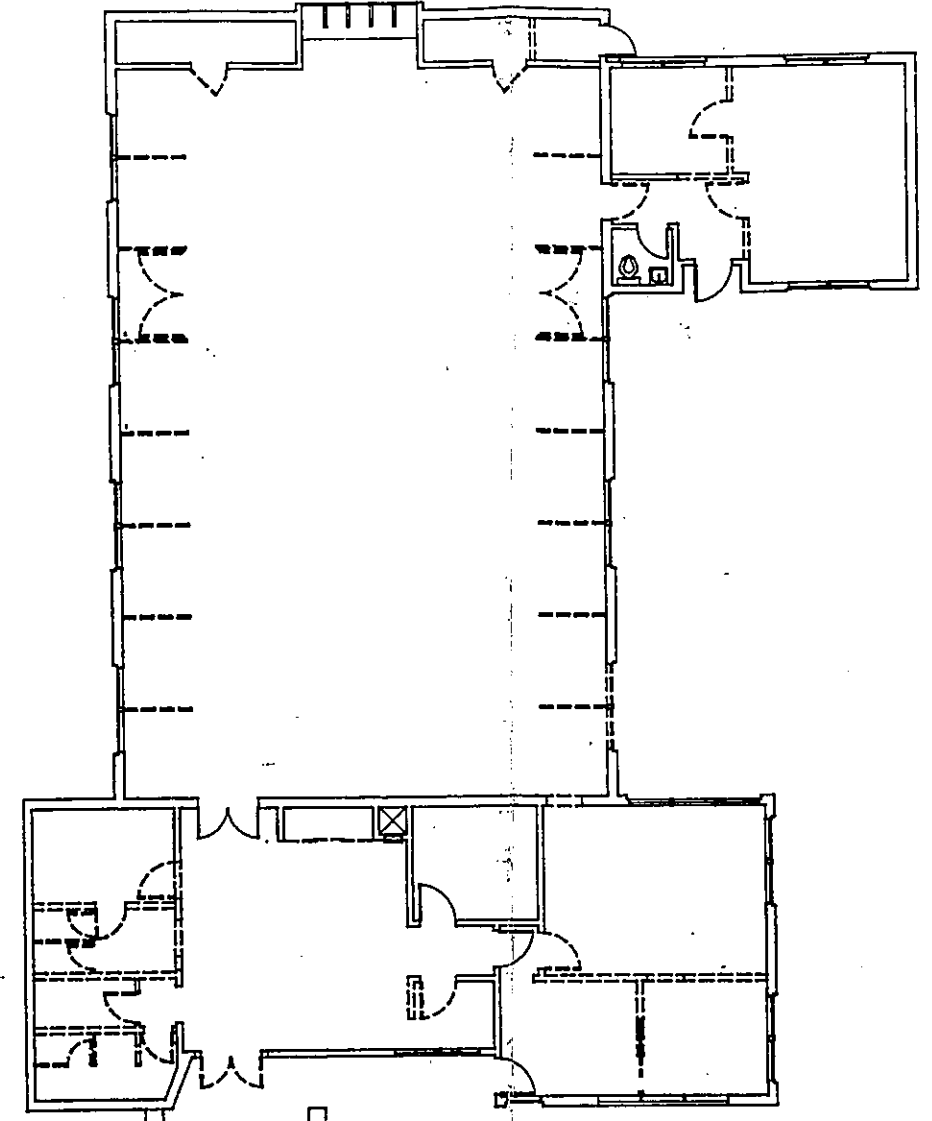
VISION PROJECT - MASTER PLAN  
HOLY FAMILY CATHOLIC CHURCH  
AND PAROCHIAL SCHOOL

Figure 2

CITY OF SOUTH PASADENA  
ENVIRONMENTAL IMPACT REPORT



PROPOSED FLOOR PLAN  
1/16" = 1'-0"



DEMOLITION PLAN  
1/16" = 1'-0"

DRAWING LEGEND  
 - - - - - (C) WALL, DOOR, ETC. TO BE DEMOLISHED.  
 \_\_\_\_\_ (C) WALL, DOOR, ETC. TO REMAIN.  
 \_\_\_\_\_ NEW WALL.

DRAWING LEGEND  
 - - - - - (C) WALL, DOOR, ETC. TO BE DEMOLISHED.  
 \_\_\_\_\_ (C) WALL, DOOR, ETC. TO REMAIN.  
 \_\_\_\_\_ NEW WALL.

GROUND FLOOR PLAN  
 HOLY FAMILY CENTER - NORTH

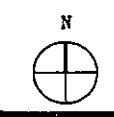
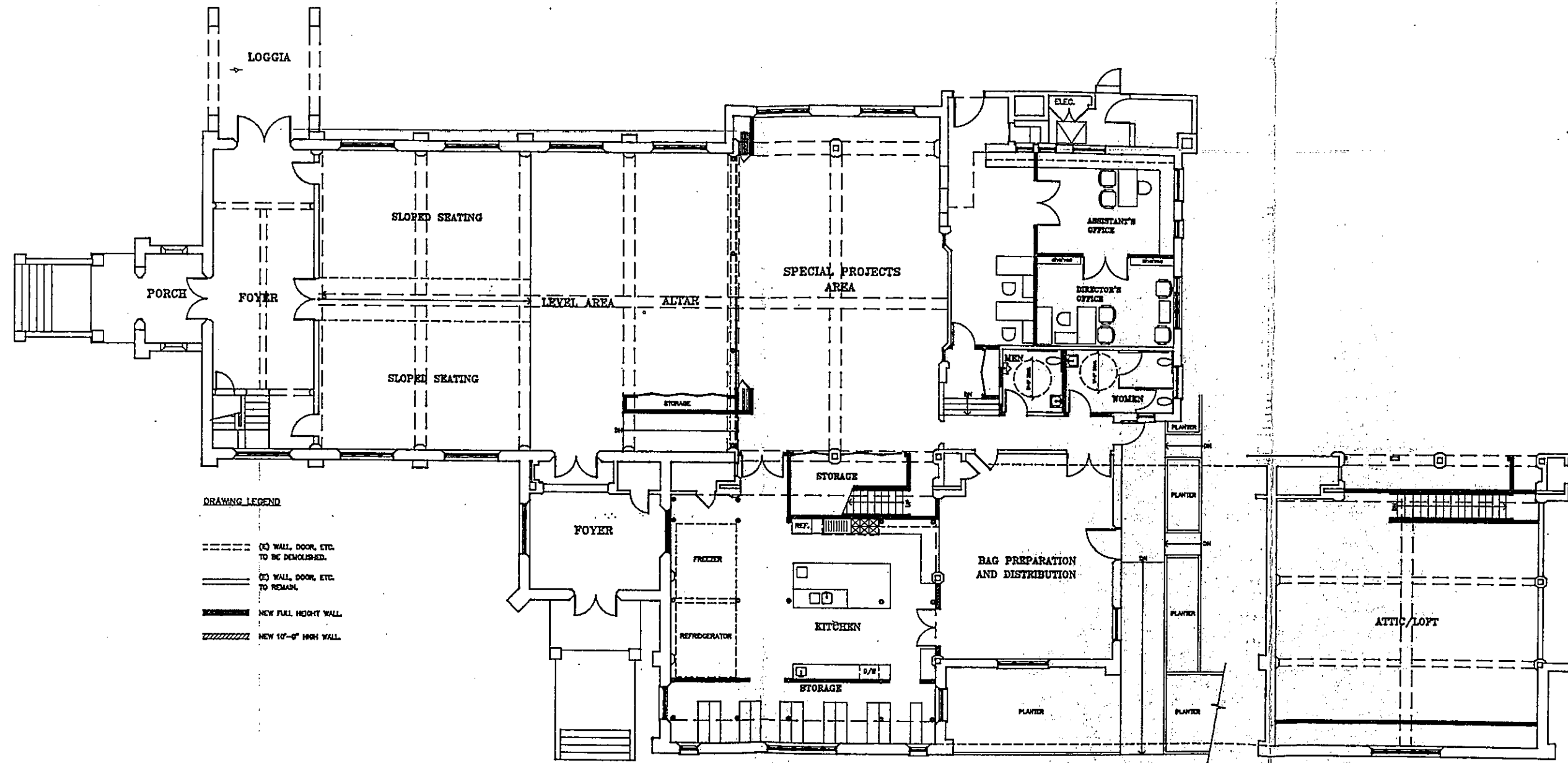


Figure 3

APRIL 11, 1997  
 McLaughlin Associates  
 Architects  
 64 West Bellevue Drive Suite 100  
 Pasadena, California 91105  
 818-356-9638 FAX 818-793-3781



DRAWING LEGEND

- (C) WALL, DOOR, ETC. TO BE DEMOLISHED.
- (C) WALL, DOOR, ETC. TO REMAIN.
- ▬ NEW FULL HEIGHT WALL.
- ▨ NEW 10'-0" HIGH WALL.

PROPOSED GROUND FLOOR PLAN  
 HOLY FAMILY CENTER - SOUTH


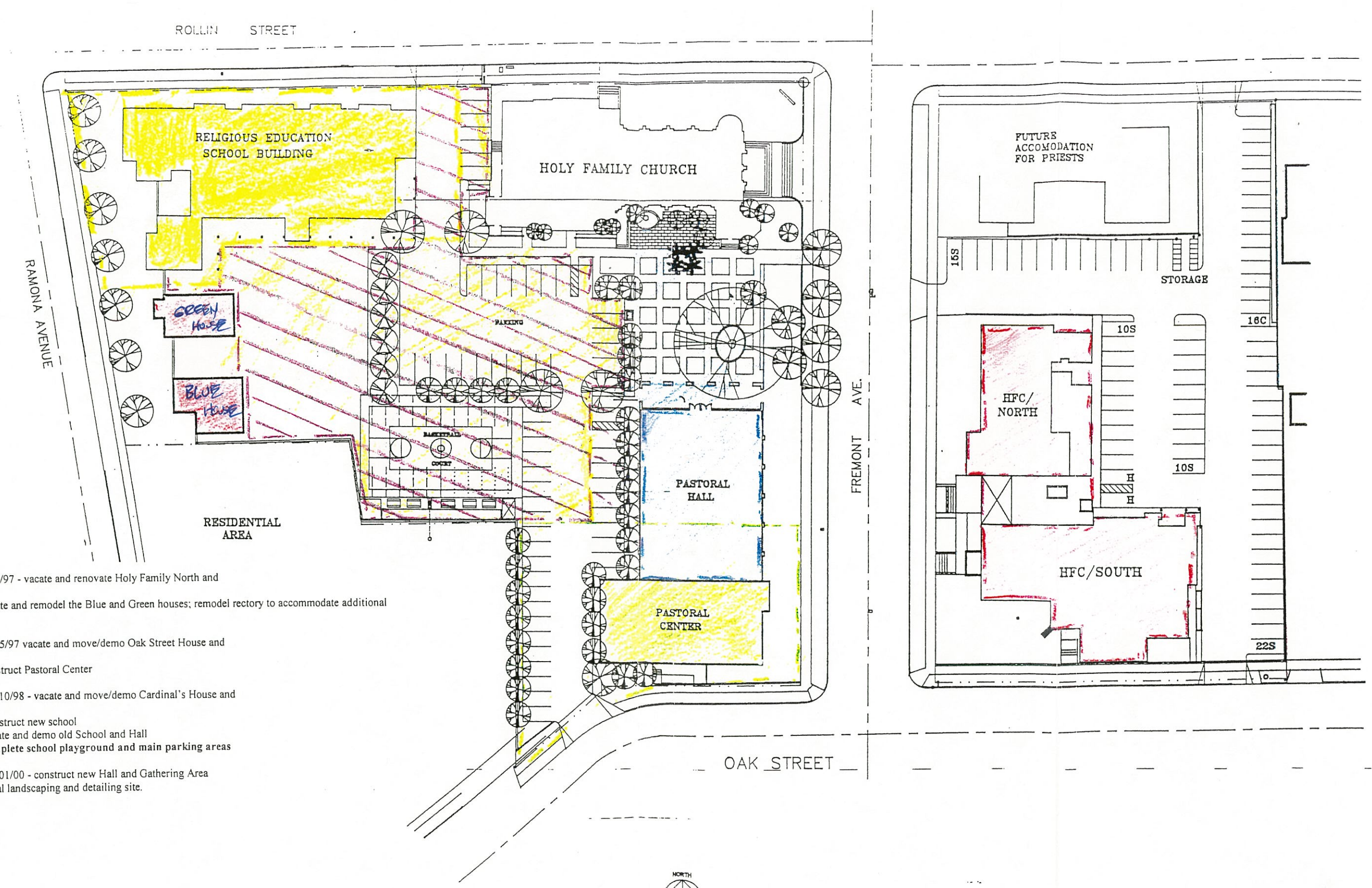
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 SCALE 1/16" = 1'-0"

Figure 4

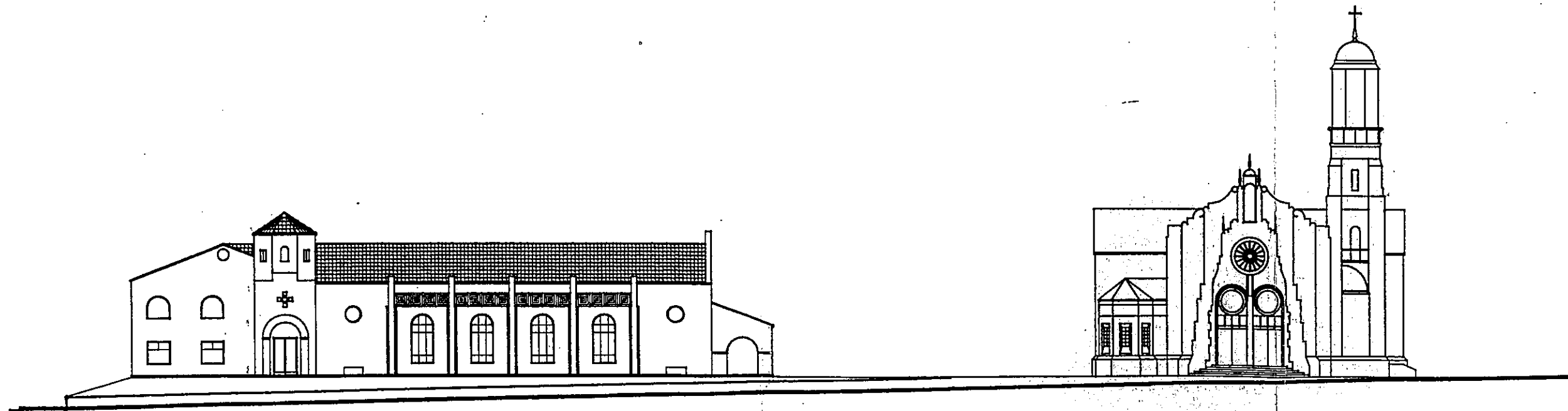
APRIL 23, 1997  
 McLaughlin Associates  
 Architects  
 64 West Bellevue Drive Suite 100  
 Pasadena, California 91105  
 818-356-9638 FAX 818-793-3781



- **Phase I** - 05/01/97 to 09/25/97 - vacate and renovate Holy Family North and South.  
06/01/97 to 08/15/97 - vacate and remodel the Blue and Green houses; remodel rectory to accommodate additional ministries.
- **Phase II** - 09/25/97 to 10/05/97 vacate and move/demo Oak Street House and Convent.  
10/05/97 to 06/01/98 - construct Pastoral Center
- **Phase III** - 06/01/98 to 07/10/98 - vacate and move/demo Cardinal's House and Rectory.  
06/01/98 to 06/01/99 - Construct new school  
06/01/99 to 07/01/99 - vacate and demo old School and Hall  
07/01/99 to 09/01/99 - complete school playground and main parking areas
- **Phase IV** - 07/01/99 to 02/01/00 - construct new Hall and Gathering Area  
02/01/00 to 04/10/00 - Final landscaping and detailing site.

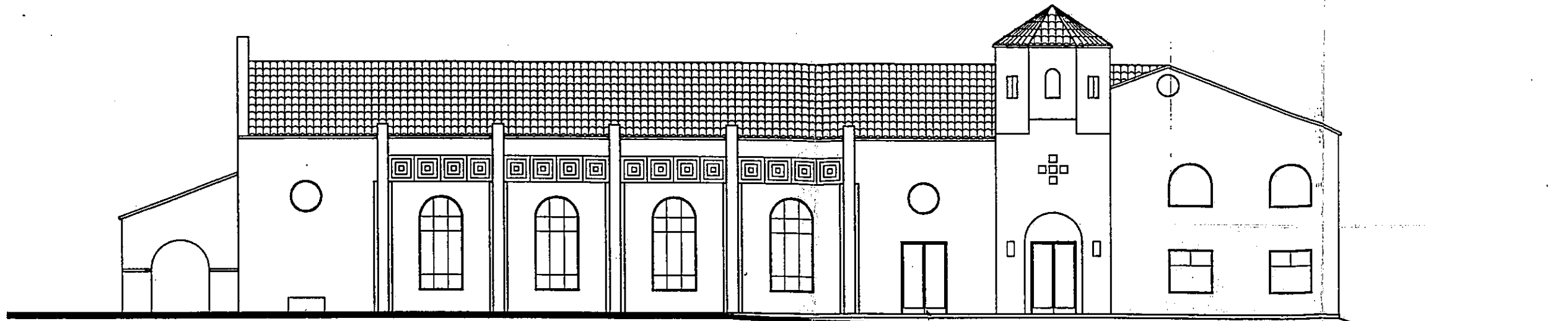
PROPOSED SITE PLAN ALTERNATE  
 HOLY FAMILY CHURCH  
 VISION PROJECT

Figure 15

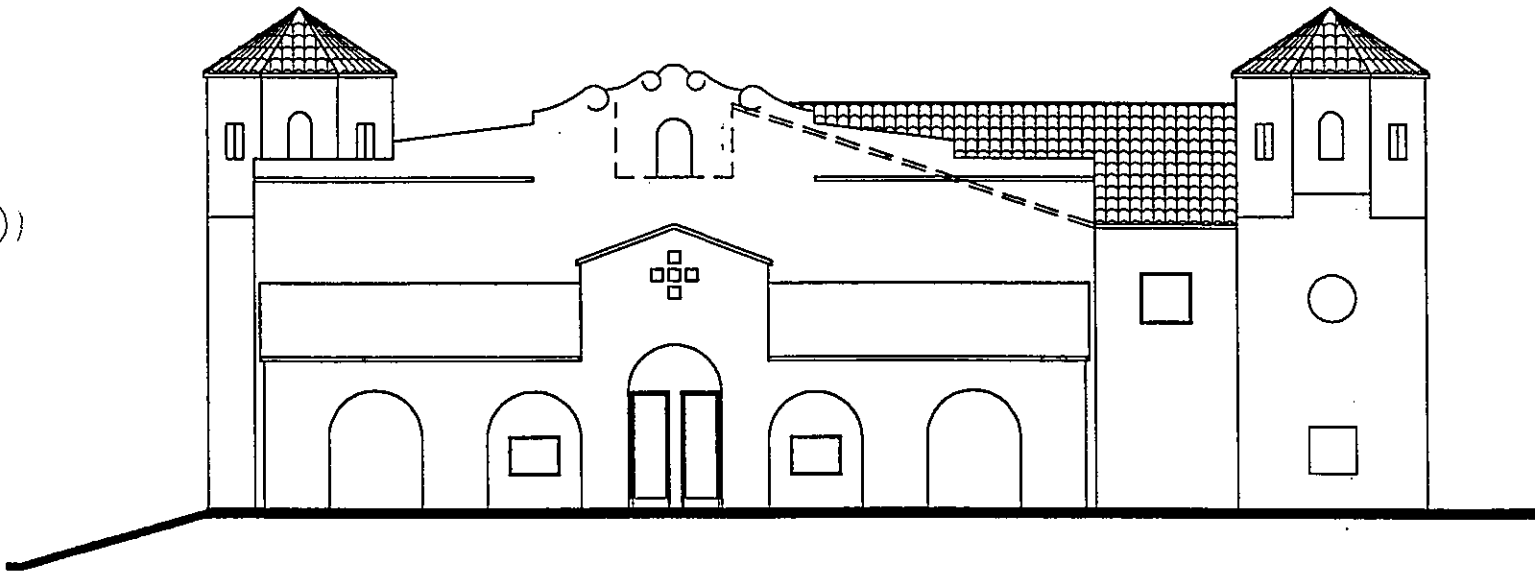


EAST ELEVATION

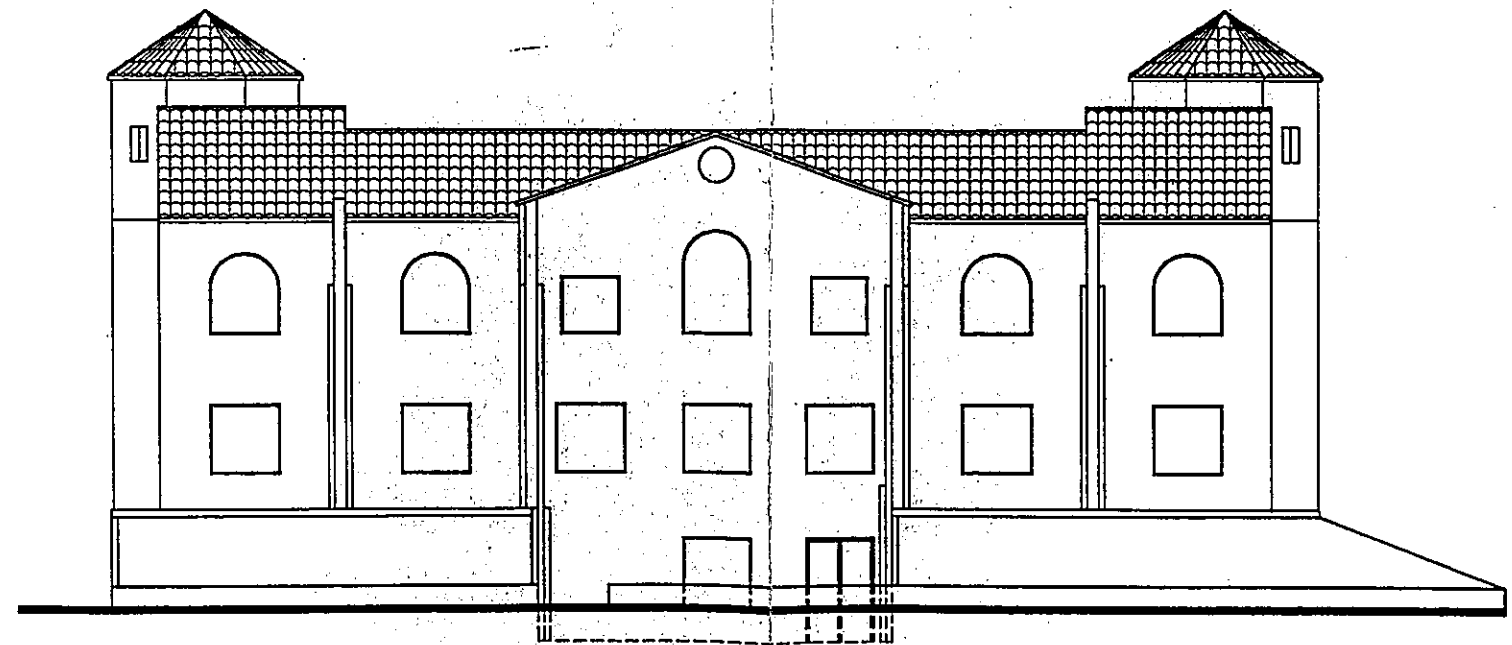
Figure 14



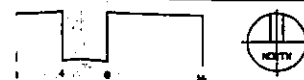
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



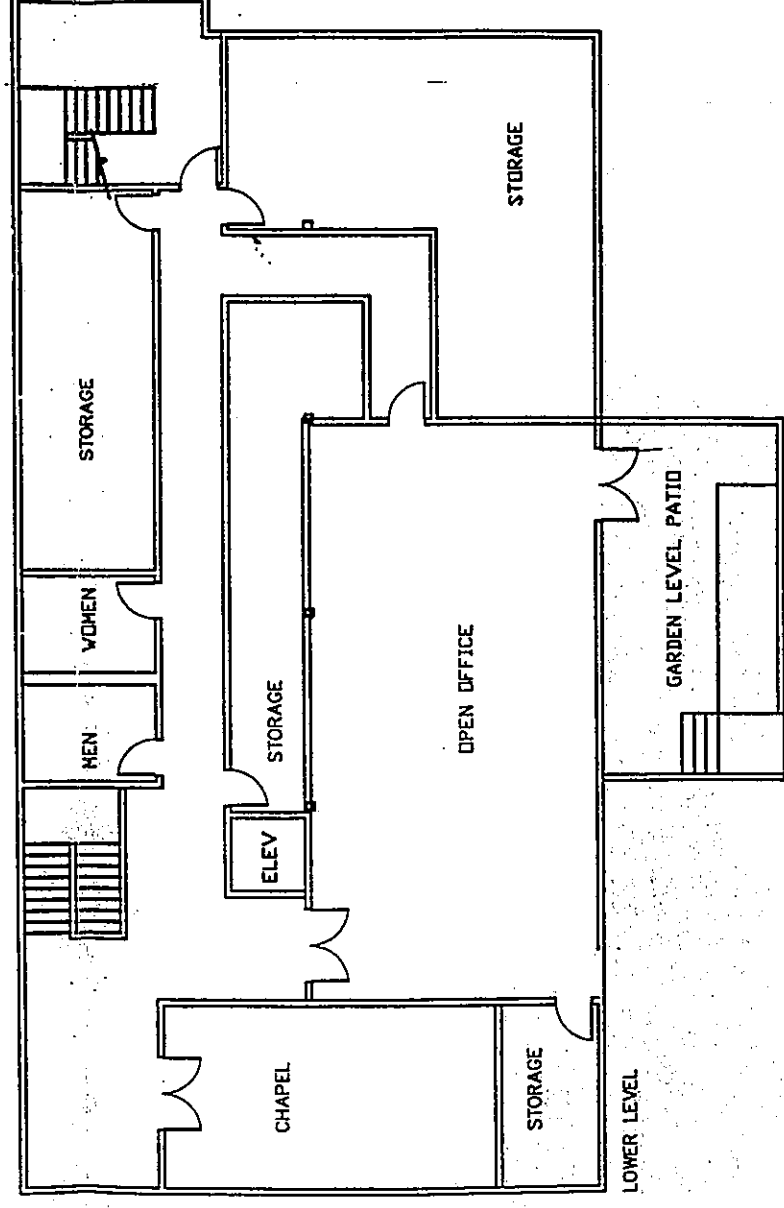
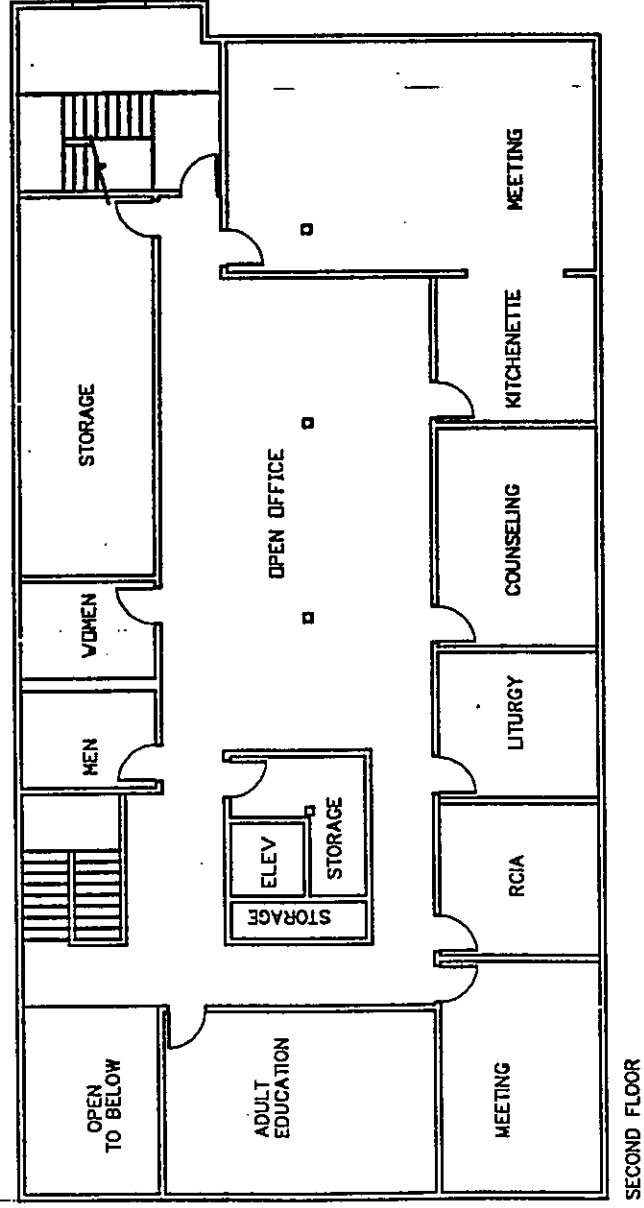
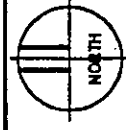
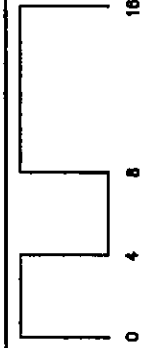
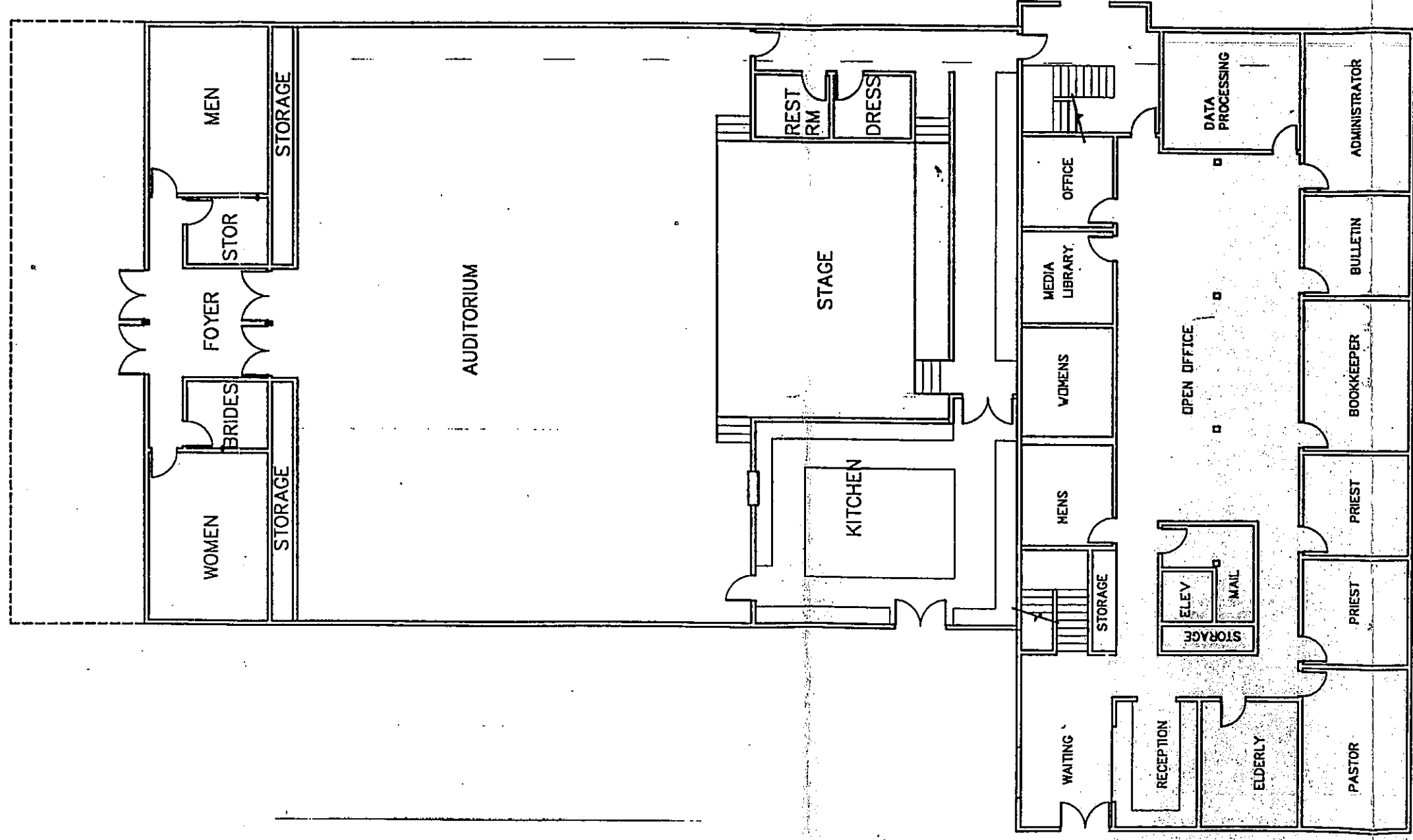


Figure 12



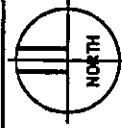


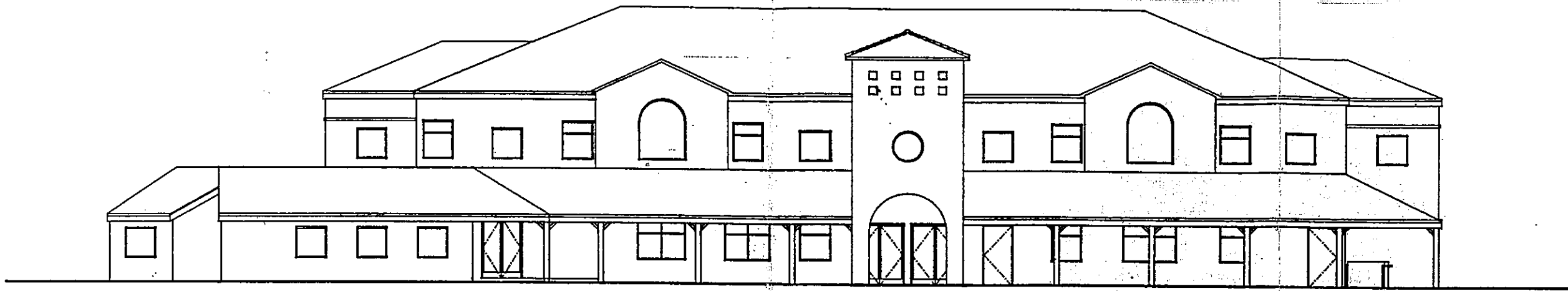


GROUND FLOOR

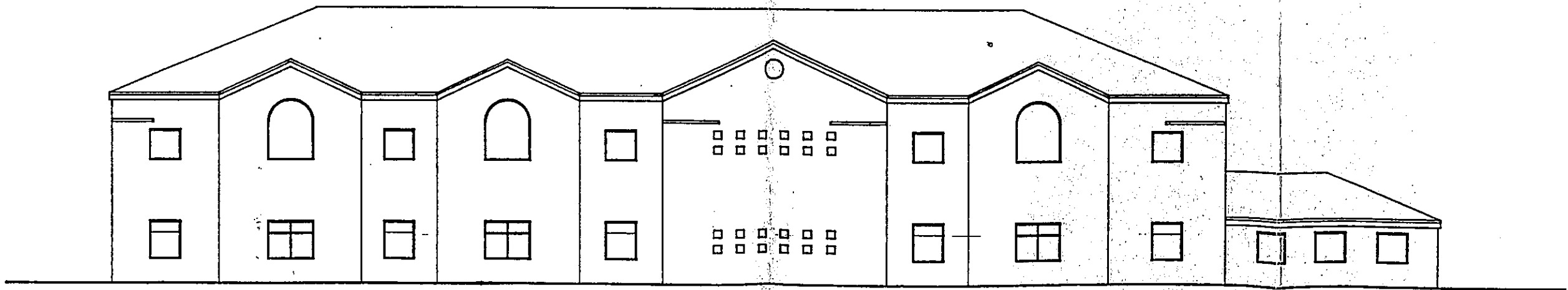
Figure 11

PASTORAL CENTER  
 HOLY FAMILY CHURCH  
 VISION PROJECT





SOUTH ELEVATION



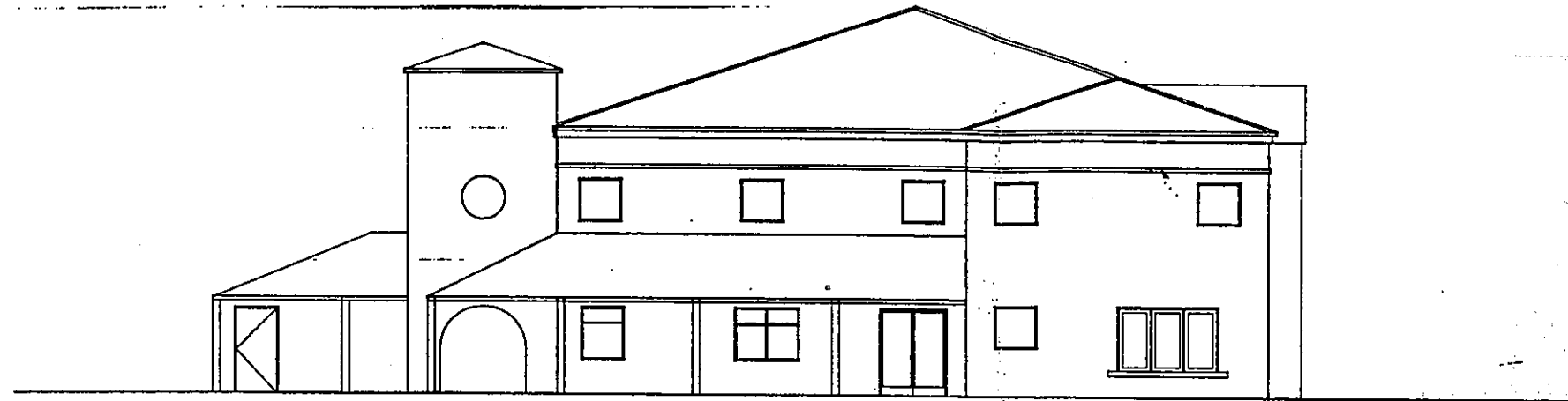
NORTH ELEVATION

SCHOOL / RELIGIOUS EDUCATION  
 HOLY FAMILY CHURCH  
 VISION PROJECT

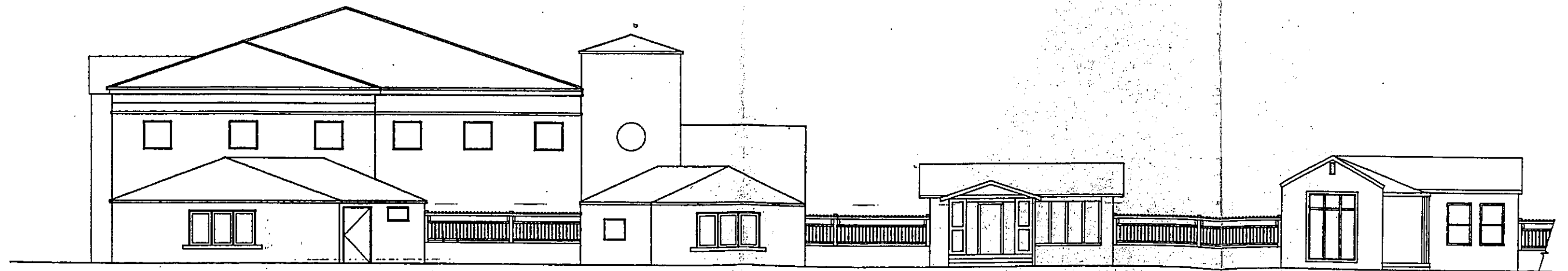


Figure 9

MARCH 28, 1997  
 McLaughlin / TDM  
 Associated Architects  
 61 West Bellevue Dr. Suite 100  
 Pasadena, California 91108  
 818-356-8638 FAX 818-783-3781

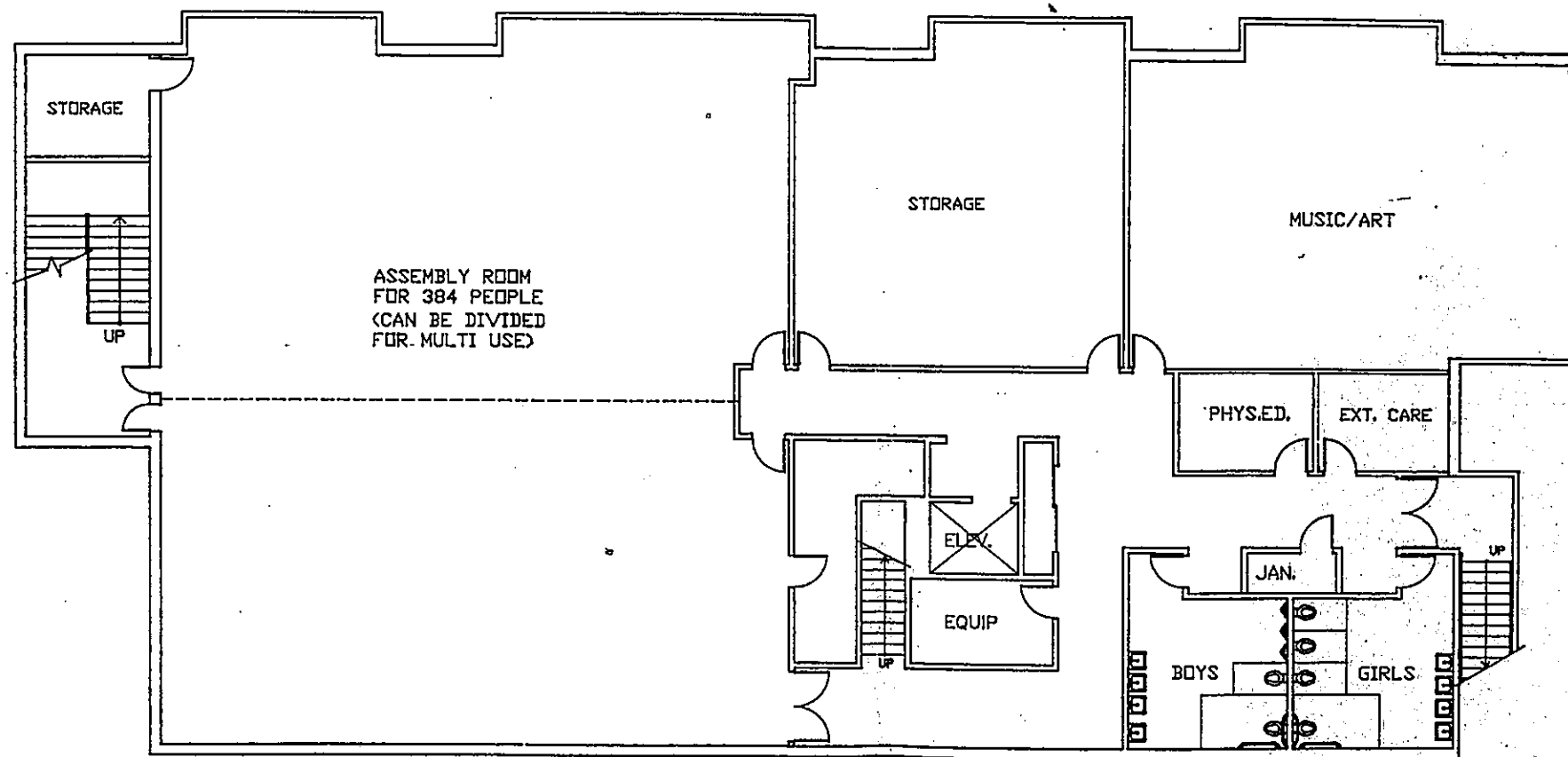


EAST ELEVATION



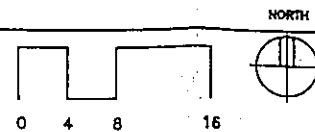
WEST ELEVATION

Figure 10



LOWER LEVEL FLOOR PLAN

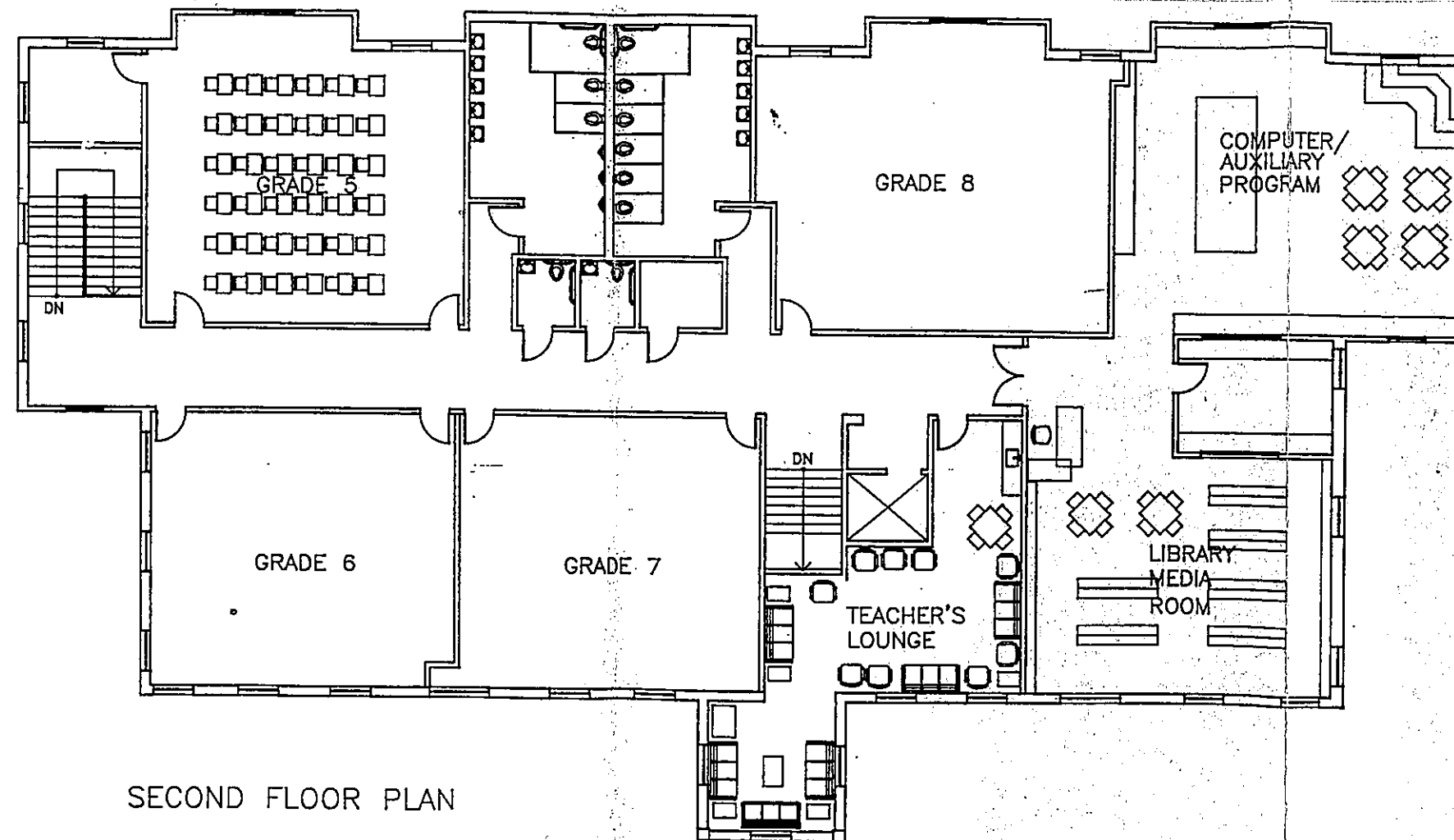
SCHOOL / RELIGIOUS EDUCATION  
 HOLY FAMILY CHURCH  
 VISION PROJECT



MARCH 28, 1997

McLaughlin / TDM  
 Associated Architects  
 64 West Bellevue Dr. Suite 100  
 Pasadena, California 91105  
 818-356-9638 FAX 818-793-3781

Figure 8



SECOND FLOOR PLAN

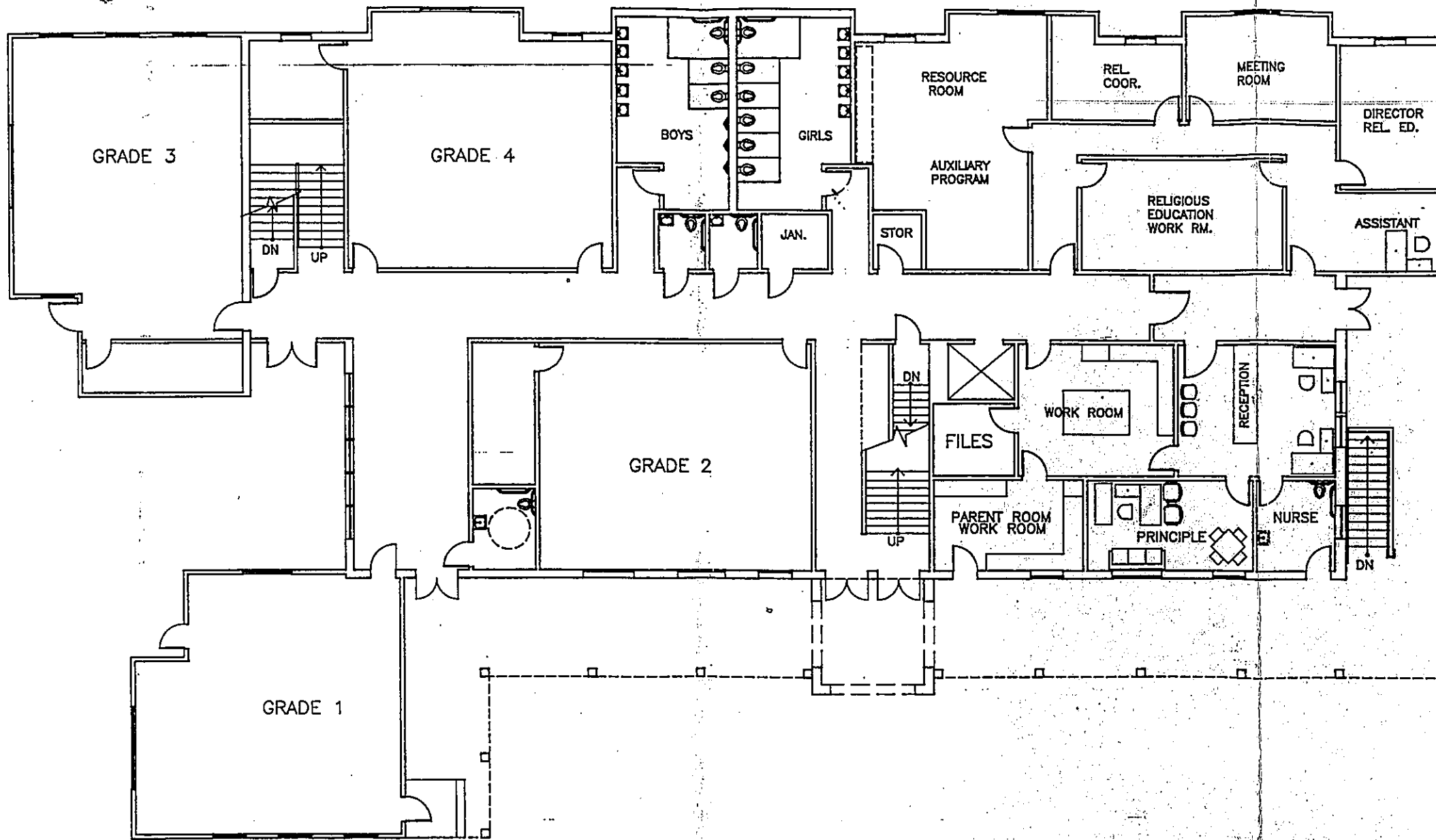
SCHOOL/RELIGIOUS EDUCATION - ALTERNATE PLAN  
 HOLY FAMILY CHURCH  
 VISION PROJECT



Figure 7

MARCH 28, 1997

McLaughlin / TDM  
 Associated Architects  
 64 West Bellevue Dr. Suite 100  
 Pasadena, California 91105  
 818-356-9638 FAX 818-793-3781



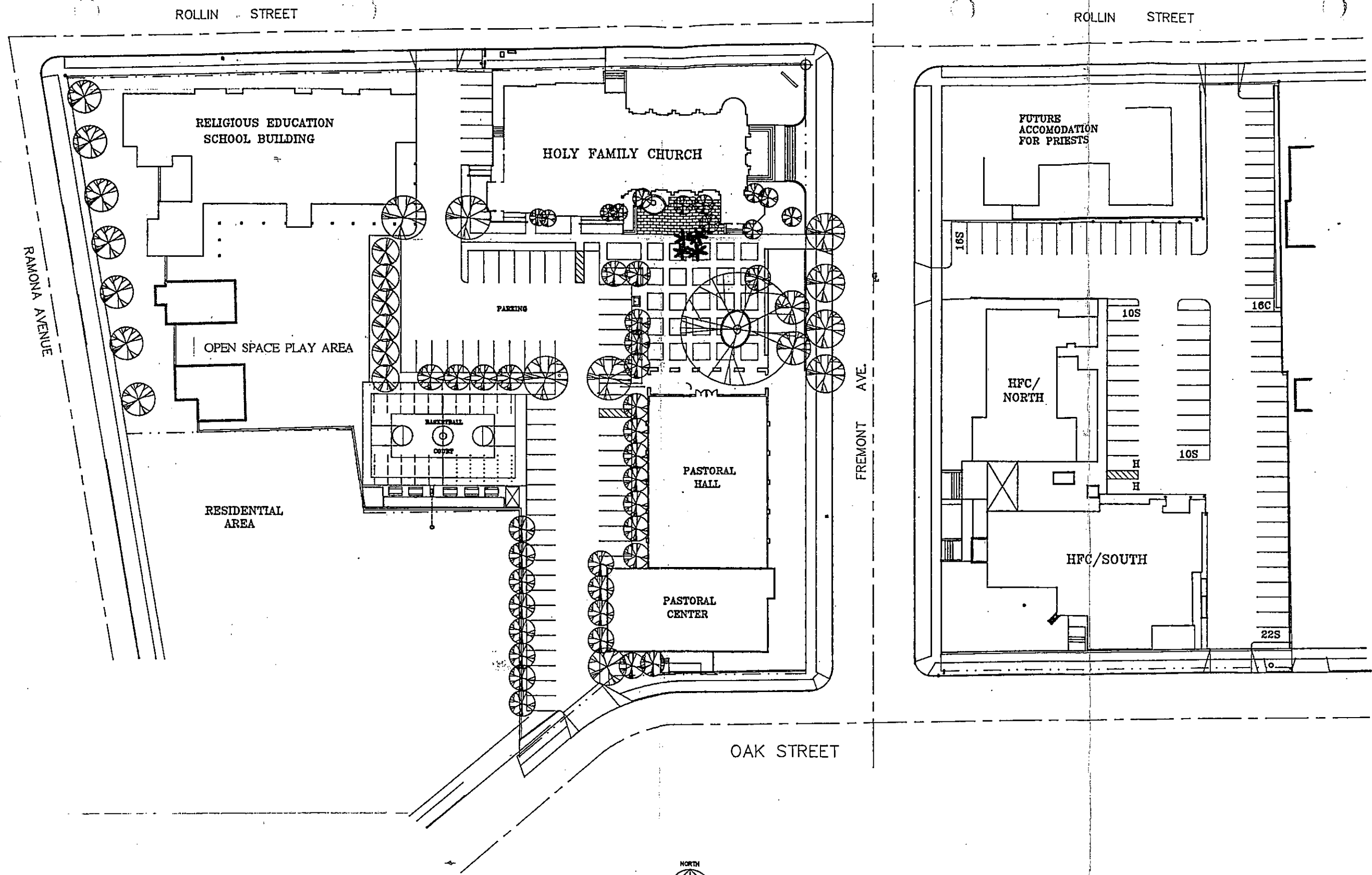
FIRST FLOOR PLAN

SCHOOL/RELIGIOUS EDUCATION - ALTERNATE PLAN  
 HOLY FAMILY CHURCH  
 VISION PROJECT



Figure 6

MARCH 28, 1997  
 McLaughlin / TDM  
 Associated Architects  
 64 West Bellevue Dr. Suite 100  
 Pasadena, California 91105  
 818-356-9638 FAX 818-793-3781



PROPOSED SITE PLAN ALTERNATE  
 HOLY FAMILY CHURCH  
 VISION PROJECT

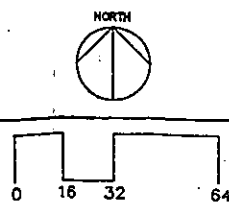
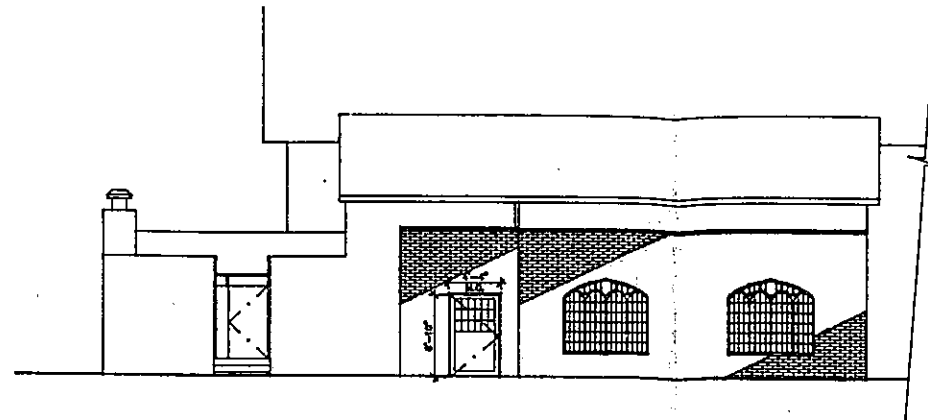
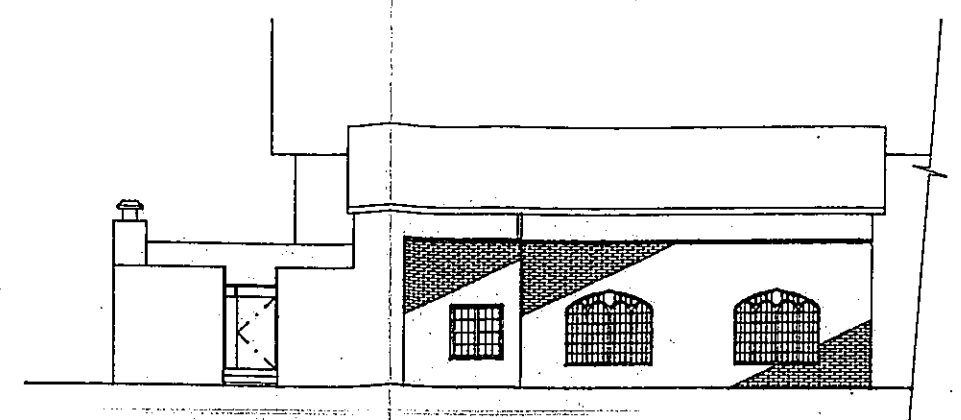


Figure 5

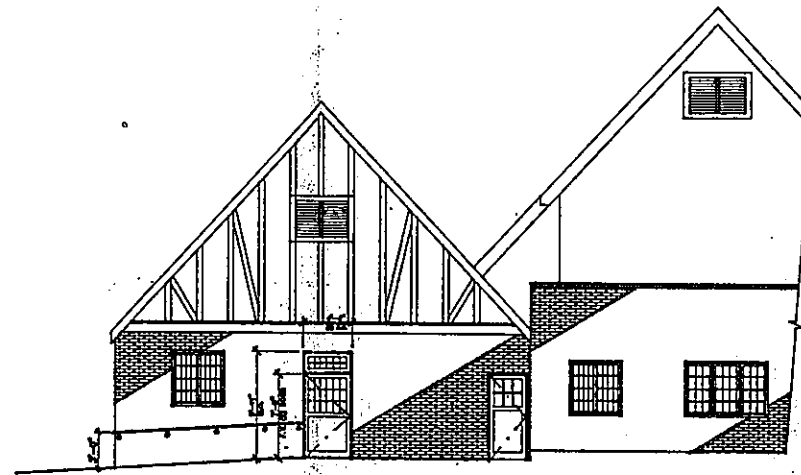
MARCH 28, 1997  
 McLAUGHLIN / TDM  
 ASSOCIATED ARCHITECTS  
 64 West Bellvue Dr. Suite 100  
 Pasadena, California 91105  
 818-356-8638 FAX 818-793-3781



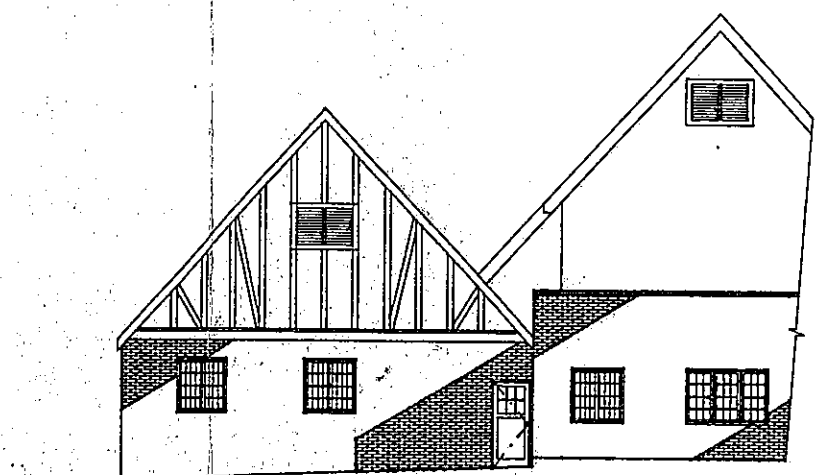
PROPOSED (PARTIAL) NORTH ELEVATION



EXISTING (PARTIAL) NORTH ELEVATION

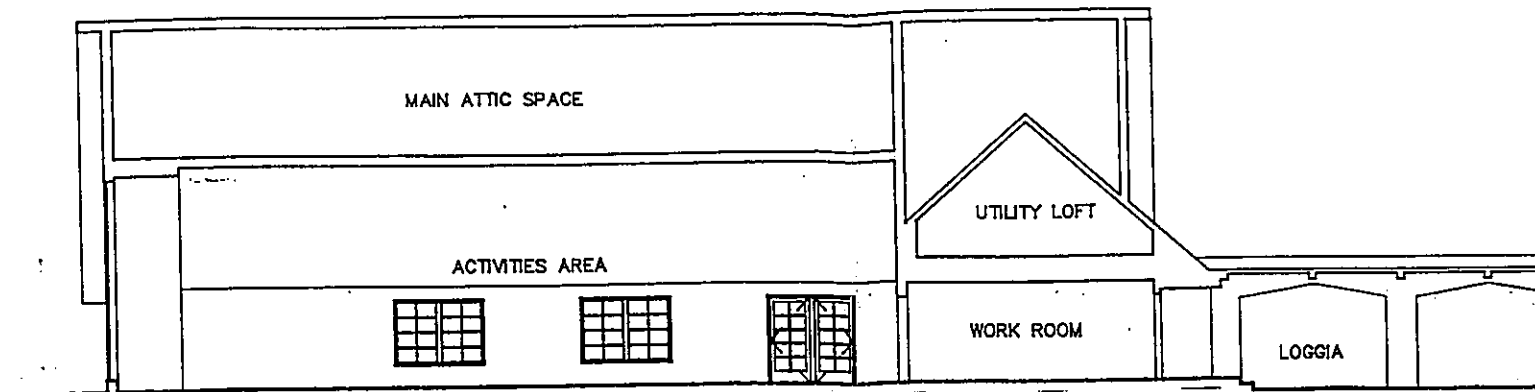


PROPOSED (PARTIAL) EAST ELEVATION

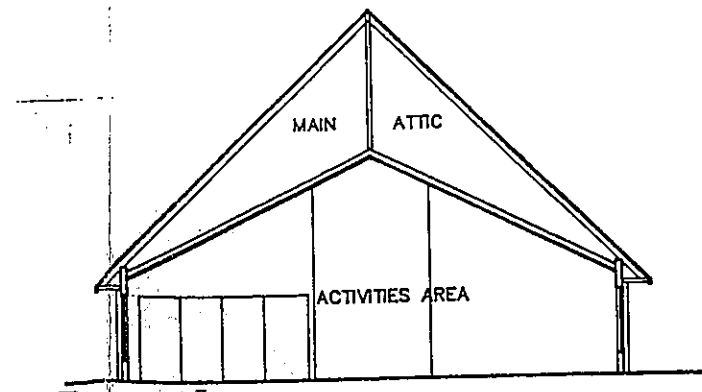


EXISTING (PARTIAL) EAST ELEVATION

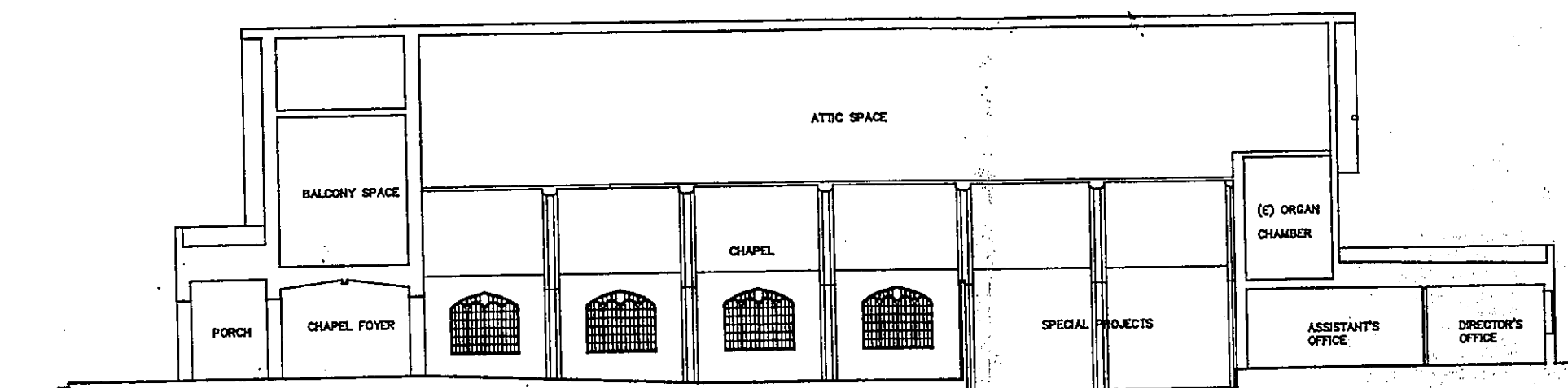




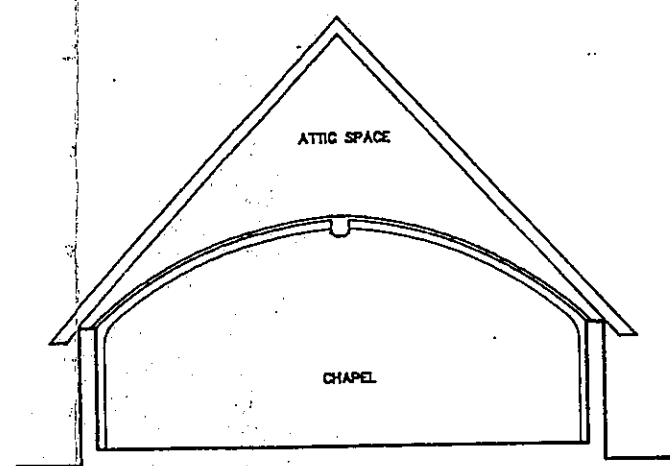
1. HOLY FAMILY CENTER NORTH : LONGITUDINAL SECTION ( B-B )



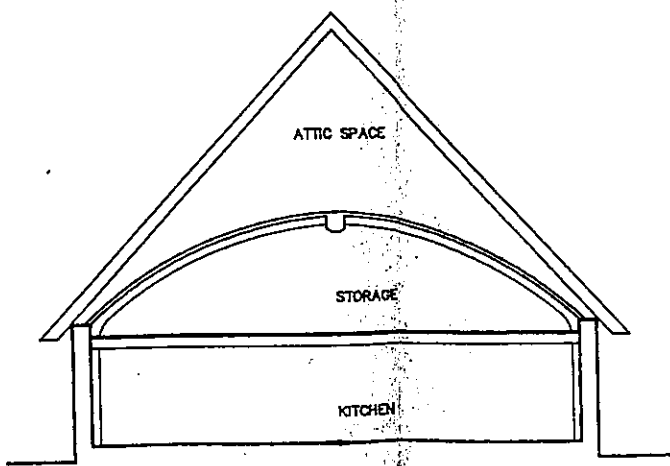
CROSS-SECTION ( A-A )



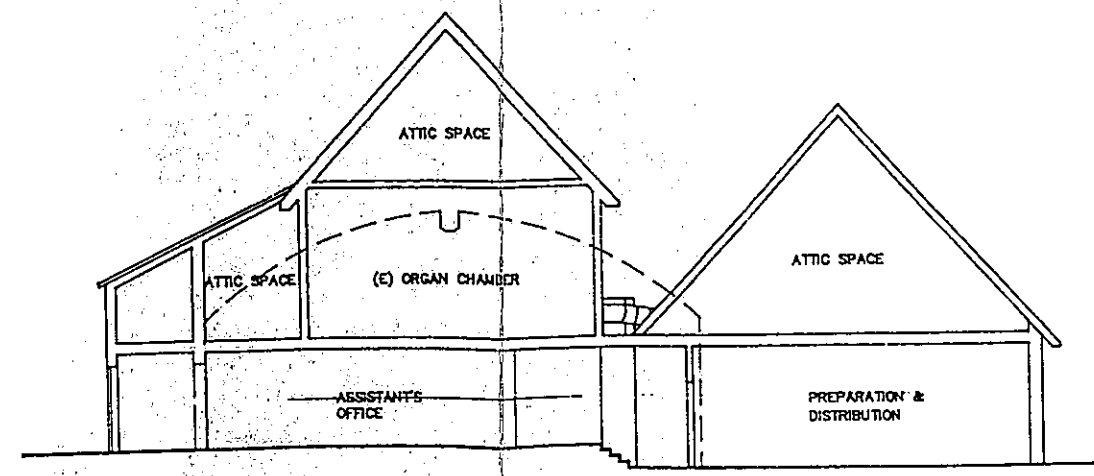
LONGITUDINAL SECTION ( D-D )



CROSS SECTION ( C-C )



CROSS SECTION ( F-F ) THRU KITCHEN LOOKING NORTH



CROSS SECTION ( E-E )

2. HOLY FAMILY CENTER SOUTH :

PROPOSED BUILDING SECTIONS  
HOLY FAMILY CENTER NORTH & SOUTH

1/16" = 1'-0"

Figure 4-A

APRIL 14, 1997

McLaughlin Associates  
Architects  
84 West Bellevue Drive Suite 100  
Pasadena, California 91105  
818-356-9638 FAX 818-793-3781

**SUMMARY OF EXISTING STRUCTURES  
HOLY FAMILY CHURCH AND PAROCHIAL SCHOOL**

<u>Building # of Number</u>	<u>Function/Use</u>	<u>Stories</u>	<u>Building Height</u>	<u>Gross Sq. Feet</u>	<u>Year Built</u>
<b>Buildings West of Fremont Avenue</b>					
1	Church Cathedral	1	48'	9,375	1929
2	Rectory/Administration	2	24'	6,350	1952
3	Cardinal's House/Office	1	14'	1,250	1939
4	Green House/Prayers, Meditation, Meetings	1	14'	1,152	1921
5	Blue House/Auction Hq.	1	14'	1,436	1924
6	School Classrooms Grades 1 - 4	2	28'	3,456	1949
7	School Classrooms Grades 5 - 8	1	14'	4,916	1937
8	Parish Hall/Meetings & Dinners	2	30'	5,616	1937
9	Parish Education Center and Kindergarten (former convent)	1-2	24'	5,888	1952
10	Oak Street House/Administration	2	24'	3,348	1909
11	Annex/Garage	1	11'	1,195	1929
			Subtotal	43,892	
<b>Buildings East of Fremont Avenue</b>					
12	Holy Family Center/North	1	24'	4,608	1950
13	Holy Family Center/South	1	34'	8,440	1922
			Subtotal	13,048	
			<b>Total Square Feet</b>	<b>57,030</b>	

Source: McLaughlin/TDM Associated Architects  
and Holy Family Church Administration

Table 1

**REQUIRED PARKING  
FOR  
PROPOSED NEW CHURCH FACILITIES  
(JOINT USE)**

Bldg #	Building	Required Off-Street Parking Standard	Nighttime/ Sunday		
			Daytime		
<b>Buildings West of Fremont Avenue</b>					
1.	Church/Cathedral (600 seats)	1 per 6 seats	None*	None*	(100)
2.	Classroom/Ed. Center (27 full-time and part-time teachers and staff)	1 per each employee/faculty member	27	--	
3.	Parish Hall (4,608 SF Assembly Hall and stage)	1 per 50 SF for assembly		92	
4.	Pastoral Center/Admin Bldg. 14,112 SF office	1 per 250 SF for office	57	--	
		Subtotals:	84	92	(192)
<b>Buildings East of Fremont Avenue</b>					
5.	HFC - North 5,568 SF office 1,080 SF assembly	1 per 250 SF (office - daytime) 1 per 50 SF (assembly - nighttime)	23	22	
6.	HFC - South (369 seats)	1 per 6 SF fixed seats	None*	None*	(62)
		Subtotals:	23	22	(84)
<b>TOTAL REQUIRED PARKING:</b>			<b>107</b>	<b>114</b>	<b>(276)</b>

\* The main Church/Cathedral and the Holy Family Center - South church building are existing non-conforming uses that were constructed prior to parking standards being required. Therefore, these existing uses are exempt from the current parking standards set forth in the Zoning Code. The numbers in parenthesis represent the required parking if these facilities were required to meet current parking standards.

PROPERTY LOCATION AND/OR PROPERTY DESCRIPTION

- 1501 Fremont Ave. - Newtonia Place Lot Com at NE Cor of Lot 38 TH  
S 89° 34'30" W 192 FT with a uniform depth  
of 115 FT S 0° 47'30" W Part of Lot 38
- 1519 Fremont Ave. - Newtonia Place Lot Com at SE Cor of Lot 26  
TH S 89°34'30" W 260.6 FT TH Complete  
Description in Assessor records Lot 38
- 1523 Fremont Ave. - North Oneonta Tract N 50 FT of Lot 1
- 1524 Fremont Ave. - JJ Young's Sub of SW Pt. of Lot 2 Blk A  
Marengo TR Lots 3, 4, 5 and 7 and S 40 FT of  
Lot 2 and (Ex of ST) Lot 6 and W 47 FT of  
Lot 12
- 1527 Fremont Ave. - North Oneonta Tract Lot Com at NW Cor of  
Fremont Ave and Oak St TH N 89°56'30" W  
Complete Description in Assessor Records  
Beg Part of Lot 1
- 1506 Ramona Ave. - \*Land Desc in Doc. 0067494, 77-1-20  
\* TR=Newtonia Place \*Por of Lot 38
- 1510 Ramona Ave. - Newtonia Place Lot Com at Intersection of E  
Line of Ramona Ave with S Line of Complete  
Description in Assessor Record Lot 38
- 1512 Ramona Ave. - Newtonia Place Lot Com at Intersection of  
E Line of Ramona Ave. with N Line of Complete  
Description in Assessor Records Part of  
Lot 27
- 1301 Rollin St. - Newtonia Place Lot Com at NW Cor of Lot 38 TH  
SE on NW Line of Ramona Ave Complete  
Description in Assessor Records Lot 38
- 1311 Rollin St. - Newtonia Place Lot Com S 89°34'30" W 192 FT  
From NE Cor of Lot 38 TH S 0° Complete  
Description in Assessor Records Lot 38

PLEASE COMPLETE THIS INFORMATION

RECORDING REQUESTED BY:

Holtsnider  
Parish Administrator  
Holy Family Parish  
1301 Rollin Street  
South Pasadena, CA 91030

AND WHEN RECORDED MAIL TO:

Karl Holtsnider  
Parish Administrator  
Holy Family Parish  
1301 Rollin Street  
South Pasadena, CA 91030

**COPY** of document Recorded  
..... **97-287497**  
has not been compared with original.  
Original will be returned when  
processing has been completed.  
ANGELES COUNTY REGISTRAR - RECORDER

1997

THIS SPACE FOR RECORDER'S USE ONLY

**AGREEMENT FOR JOINT USE OF OFF-STREET PARKING  
FACILITIES**

Title of Document

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION  
(\$3.00 Additional Recording Fee Applies)

L:\VOL1\RWG\FORMS\RECORD.COV

EXHIBIT B

When recorded,  
please return to:

Karl Holtsnider  
Parish Administrator  
Holy Family Parish  
1301 Rollin Street  
South Pasadena, CA 91030

**AGREEMENT FOR JOINT USE OF  
OFF-STREET PARKING FACILITIES**

THIS AGREEMENT ("Agreement" herein) is entered into this 7th day of January, 1997, by and between the South Pasadena Unified School District ("DISTRICT" herein) and the Archbishop of Los Angeles, a corporation sole, with respect solely to that property of the Archbishop known as Holy Family Parish, located in South Pasadena, California ("CHURCH" herein) and more fully identified in Recital B and Attachment B hereto.

**R E C I T A L S**

A. DISTRICT owns the real property commonly known as 1401 Fremont Avenue, South Pasadena, California, more fully identified in Attachment "A" to this agreement and identified hereinafter as "the South Pasadena High School Campus."

B. CHURCH owns the real property commonly known as 1501 and 1524 Fremont Avenue, South Pasadena, California, more fully identified in Attachment "B" to this agreement and identified hereinafter as "the Holy Family Campus."

C. Schools are "daytime uses" and churches are a "nighttime and/or Sunday uses" as Section 36.704(2) of the South Pasadena Municipal Code defines those terms.

D. The outer boundaries of the Holy Family Campus are located within one hundred fifty feet (150') of the parking facilities existing at the South Pasadena High School Campus.

E. South Pasadena High School typically is in session weekdays between 9:00 a.m. to 3:00 p.m. Maximum attendance of the Holy Family Campus occurs during the 9:30 a.m. Sunday mass. Thus, there is no substantial conflict in the principal operating hours of DISTRICT and the CHURCH.

F. DISTRICT and CHURCH desire that the parking facilities existing at South Pasadena High School Campus be available to CHURCH for use in conjunction with CHURCH's activities and that parking facilities located at the Holy Family

Campus be available to DISTRICT for use in conjunction with DISTRICT activities.

NOW, THEREFORE, in consideration of the foregoing and the mutual covenants and agreements herein contained, DISTRICT and CHURCH hereby agree as follows:

Section 1. Term of Agreement. This Agreement shall be effective and commence on the date of execution of this Agreement and shall remain in effect until terminated as provided in Section 6 below.

Section 2. Use of Parking Facilities.

(a) Subject to the limitations set forth in Section 3 of this Agreement, CHURCH shall have the non-exclusive right to use all available parking spaces existing at the South Pasadena High School campus on weekends. For purposes of this section, "weekend" shall mean the period from 12:01 a.m. on a Saturday through 11:59 p.m. on the following Sunday or the following Monday if that Monday shall be a holiday when South Pasadena High School is not in session.

(b) Subject to the limitations set forth in Section 3 of this Agreement, DISTRICT shall have the non-exclusive right to use all available parking spaces existing at the Holy Family Campus on the evenings of all home games involving South Pasadena High School's football team and at other mutually agreed times when CHURCH will not have need of those parking spaces. The parties acknowledge that CHURCH will not make parking at the Holy Family Campus available to DISTRICT on Sunday mornings or when CHURCH's school is in session.

Section 3. Limitations on Use of Parking Facilities. The non-exclusive rights established by Section 2 of this Agreement shall be exercised only for purposes reasonably related to religious services and other activities conducted by CHURCH at the Holy Family Center or for purposes reasonably related to the educational and other activities conducted by DISTRICT; provided, however, that CHURCH shall not use DISTRICT's facilities in conjunction with its Giving Bank or any similar foodbank activities.

Section 4. Alteration of Parking Facilities. This Agreement shall not preclude DISTRICT or CHURCH from at any time taking the following actions with respect to the parking facilities existing on the properties to which this agreement pertains: (1) relocating parking spaces; (2) increasing the number of parking spaces; or (3) decreasing the number of parking spaces. However, a party altering its property pursuant to this Section agrees to provide reasonable advance written notice of the alterations to the other party hereto and to the City of South Pasadena.

Section 5. Nature of Right Granted. This Agreement does not grant, and shall not be construed as granting, either CHURCH or DISTRICT an easement or any other interest in the real property of the other. Instead, only revocable licenses are granted.

Section 6. Termination of Agreement. Either party may cancel this Agreement without cause at any time upon thirty (30) days' written notice to the other party and to the City of South Pasadena.

Section 7. Liability. Each party hereby agrees to defend, indemnify and hold harmless the other party and the indemnified party's officers, agents, and employees from and against any and all liabilities, losses, claims, and causes of action of any nature whatsoever, arising from or related to the use of the real property of the indemnified party pursuant to this agreement by or for the benefit of the indemnifying party.

Section 8. Headings. The titles of the sections, subsections, and paragraphs set forth in this Agreement are inserted for convenience and reference only and shall be disregarded in construing or interpreting any of the provisions of this contract.

Section 9. Completeness of Contract. This Agreement supersedes any and all other agreements, either oral or written, between the parties with respect to the subject matter herein. Each party to this Agreement acknowledges that no representations by any party which are not embodied herein and no other agreement, statement or promise not contained in this Agreement shall be valid and binding. Any modification of this Agreement will be effective only if it is in writing signed by the parties.

Section 10. Notices. Any notices required by this Agreement shall be sent by the parties to the addresses noted below or to such other address as either party may hereafter provide the other in writing:

Parish Administrator  
Holy Family Catholic Church  
1301 Rollin Street  
South Pasadena, California 91030

Superintendent of Schools  
South Pasadena Unified School District  
1030 El Centro Street  
South Pasadena, California 91030

Any such notices shall be conclusively deemed to have been received by the addressee two days after the deposit thereof in the United States Mail, postage prepaid and properly addressed.



Section 11. Governing Law. This Agreement shall be construed and governed in accordance with the laws of the State of California.

Section 12. Severability. If any provision of this Agreement is found by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions shall nevertheless continue in full force and effect without being impaired or invalidated in any way.

Section 13. Counterparts. This Agreement may be executed in counterparts, each of which so executed shall be deemed an original irrespective of the date of the execution, and said counterparts shall together constitute one and the same agreement.

Executed as of the day and year first above written.

SOUTH PASADENA UNIFIED SCHOOL DISTRICT

By *Eric R. Lusk*  
(name)  
(title) *Asst. Supt. of Business*

Approved as to form:

\_\_\_\_\_  
(name)  
(title)

CARDINAL ROGER MAHONEY,  
ARCHBISHOP OF LOS ANGELES, A CORPORATION SOLE

By: *Clement Connolly*  
Clement Connolly  
Attorney-in-fact

STATE OF CALIFORNIA )  
 ) ss.  
COUNTY OF LOS ANGELES )

On Feb 15, 1997, before me, Joan E Shaw  
Notary Public, personally appeared M. Scott C. Connolly,  
personally known to me (or proved to me on the basis of  
satisfactory evidence) to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that  
he/she/they executed the same in his/her/their authorized  
capacities, and that by his/her/their signature(s) on the  
instrument, the person(s), or the entity upon behalf of which the  
person(s) acted, executed the instrument.

WITNESS my hand and official seal,

Signature Joan E Shaw

(Seal)



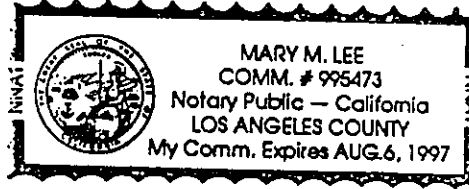
STATE OF CALIFORNIA )  
 ) ss.  
COUNTY OF LOS ANGELES )

On Jan. 30, 1997, before me, Mary M. Lee  
Notary Public, personally appeared Eva Rae Lveck,  
~~personally known to me~~ (or proved to me on the basis of  
satisfactory evidence) to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that  
~~he/she/they~~ executed the same in ~~his/her/their~~ authorized  
capacities, and that by ~~his/her/their~~ signature(s) on the  
instrument, the person(s), or the entity upon behalf of which the  
person(s) acted, executed the instrument.

WITNESS my hand and official seal,

Signature Mary M. Lee

(Seal)



## ATTACHMENT A

### South Pasadena High School Legal Description Property on Which Parking Area is Located

APN: 5319-026-903

TRA: 09030 - South Pasadena - 73

LEGAL: Lot/Sect 30 Blk/Div/Twn A \*TR-FOOTES Add To So Pasadena\* 1/2 Vac St Adj  
On N and Lots 19 and 20 and Lots 11 Thru 18 and Lots 21 Thru 30.

APN: 5319-027-906

TRA: 09030 - South Pasadena - 73

LEGAL: So Pasadena Lot 36 and S 40 FT (Ex of St) of Lot 25 and S 40 FT of Lot 26 and  
S 40 FT of W 25 FT of Lot 27 and W 9 FT of Lot 37 and W 9 FT of S 40 of Lot 38.  
Lot/Sect 30 Blk/Div/Twn A \*TR-FOOTES Add To So Pasadena\* 1/2 Vac St Adj on So  
and Lots 1 and 2 and Lots 3 thru 10

## ATTACHMENT B

### PROPERTY LOCATION AND/OR PROPERTY DESCRIPTION

- 1501 Fremont Ave. - Newtonia Place Lot Com at NE Cor of Lot 38 TH  
S 89° 34'30" W 192 FT with a uniform depth  
of 115 FT S 0° 47'30" W Part of Lot 38
- 1519 Fremont Ave. - Newtonia Place Lot Com at SE Cor of Lot 26  
TH S 89°34'30" W 260.6 FT TH Complete  
Description in Assessor records Lot 38
- 1523 Fremont Ave. - North Oneonta Tract N 50 FT of Lot 1
- 1524 Fremont Ave. - JJ Young's Sub of SW Pt of Lot 2 Blk A  
Marengo TR Lots 3, 4, 5 and 7 and S 40 FT of  
Lot 2 and (Ex of ST) Lot 6 and W 47 FT of  
Lot 12
- 1527 Fremont Ave. - North Oneonta Tract Lot Com at NW Cor of  
Fremont Ave and Oak St TH N 89°56'30" W  
Complete Description in Assessor Records  
Beg Part of Lot 1
- 1506 Ramona Ave. - \*Land Desc in Doc. 0067494, 77-1-20  
\* TR=Newtonia Place \*Por of Lot 38
- 1510 Ramona Ave. - Newtonia Place Lot Com at Intersection of E  
Line of Ramona Ave with S Line of Complete  
Description in Assessor Record Lot 38
- 1512 Ramona Ave. - Newtonia Place Lot Com at Intersection of  
E Line of Ramona Ave. with N Line of Complete  
Description in Assessor Records Part of  
Lot 27
- 1301 Rollin St. - Newtonia Place Lot Com at NW Cor of Lot 38 TH  
SE on NW Line of Ramona Ave Complete  
Description in Assessor Records Lot 38
- 1311 Rollin St. - Newtonia Place Lot Com S 89°34'30" W 192 FT  
From NE Cor of Lot 38 TH S 0° Complete  
Description in Assessor Records Lot 38

## EXHIBIT C

The following constitute minor modifications which may be made to a historic structure upon review of the Planning Director under the Historic Preservation Element of this Plan:

1. Repair, replacement and installation of the following systems provided that such work does not affect the exterior of a property or require new duct installation throughout the interior:
  - a) electrical work; b) plumbing pipes and fixtures; c) heating system improvements; d) fire and smoke detector installation; e) sprinkler systems installation; f) ventilation system installation; g) bathroom improvements where work is restricted to an existing bathroom.
2. Repainting of exterior surfaces, provided that color is compatible with surrounding buildings and that harmful surface preparation treatments including, but not limited to, water blasting, sandblasting and chemical cleaning are not used.
3. Repair or partial replacement of porches, cornices, exterior siding, doors, balustrades, stairs or other trim when the repair or replacement is done in-kind or closely matches existing materials and forms.
4. Caulking, weatherstripping, reglazing, and repainting of windows.
5. Installation of new window jambs, jamb liners, and screens.
6. Roof repair or replacement of historic roofing with materials that closely match existing materials and forms.
7. Repair, replacement or installation of gutters and downspouts.
8. Anchoring of masonry walls to floor systems so long as anchors are embedded and concealed from exterior view such as in the Hilti systems.
9. Stabilization of foundations and addition of foundation bolts.